



COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
(949) 644-3200 Fax: (949) 644-3229
www.newportbeachca.gov

**CITY OF NEWPORT BEACH
ZONING ADMINISTRATOR STAFF REPORT**

June 12, 2014
Agenda Item No. 1:

SUBJECT: Birkett Condominium Conversion - (PA2014-071)
712 and 712 ½ Orchid Avenue
▪ Condominium Conversion No. CC2014-003

APPLICANT: David Birkett and Margarete Jordon, Property Owners

PLANNER: Jason Van Patten, Planning Technician
(949) 644-3234, jvanpatten@newportbeachca.gov

ZONING DISTRICT/GENERAL PLAN

- **Zone:** R-2 (Two-Unit Residential)
- **General Plan:** RT (Two-Unit Residential)

PROJECT SUMMARY

A request to convert an existing duplex into a two-unit condominium project. The code required two-car parking per unit is provided and no waivers of Title 19 development standards are proposed with this application.

RECOMMENDATION

- 1) Conduct a public hearing; and
- 2) Adopt Draft Zoning Administrator Resolution No. _ approving Condominium Conversion No. CC2014-003 (Attachment No. ZA 1).

DISCUSSION

- The property fronts Orchid Avenue between Fourth and Fifth Avenue in Corona del Mar and is located in the R-2 (Two-Unit Residential) Zoning District.
- The property is developed with a duplex built to condominium standards and contains separate utility connections for each unit. The building permit was issued January 6, 2005 and construction was finalized March 12, 2007.

- The Land Use Element of the General Plan designates the site as RT (Two-Unit Residential). The existing duplex is consistent with this designation.
- The existing duplex was originally intended to be developed as condominiums. A tentative parcel map for condominium purposes was filed and approved concurrent with construction of the units. However, construction was completed prior to the recordation of the parcel map, and subsequently, the building was finished as a duplex instead of a two-unit condominium. As a result, a condominium conversion is required.
- The condominium conversion application is for the purpose of regulating the conversion of the existing rental units to condominiums and to alleviate any hardships placed upon existing or prospective tenants affected by the conversion.
- Tentative Parcel Map No. NP2005-052 was approved by the Zoning Administrator on October 31, 2005, and the final map (No. 2005-243) was recorded with the County of Orange on July 24, 2007, which satisfies a general requirement of Municipal Code Chapter 19.64 (Conversion of Rental Units to Ownership).
- One garage parking space and one tandem carport parking space are provided for each dwelling unit within the duplex, which satisfies the off-street parking requirements of Chapter 20.40 (Off-Street Parking) of the Newport Beach Municipal Code.
- Pursuant to Section 19.64.040 (Tenant Notification), existing tenants have been notified informing them of this application and their rights with regards to their tenancy.
- A special inspection of the duplex for the purpose of identifying building safety violations was conducted on May 22, 2014. The inspection identified two safety violations related to the height of guardrails and missing carbon monoxide detectors. The project is conditioned requiring the applicant to resolve all building safety violations prior to the conversion of rental units to ownership.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15301, of the California Environmental Quality Act (CEQA) Guidelines - Class 1 (Existing Facilities). This exemption authorizes minor alterations to existing structures involving negligible or no expansion of use including but not limited to the division of existing multiple-family or single-family residences into common-interest ownership, and subdivision of existing

commercial or industrial buildings, where no physical changes occur which are not otherwise exempt. The proposed project involves the division of an existing duplex where no significant physical changes are proposed.

PUBLIC NOTICE

Notice of this application was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant and tenants, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

An appeal may be filed with the Director of Community Development within 14 days following the date of action. For additional information on filing an appeal, contact the Planning Division at (949) 644-3200.

Prepared by:



Jason Van Patten
Planning Technician

JM/jvp

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Site Photographs
	ZA 4	Condominium Inspection Report
	ZA 5	Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2014-0##

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING CONDOMINIUM CONVERSION NO. CC2014-003 FOR A TWO-UNIT DUPLEX LOCATED AT 712 AND 712 ½ ORCHID AVENUE (PA2014-071)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by David Birkett and Margarete Jordon, Property Owners, with respect to property located at 712 and 712 ½ Orchid Avenue, and legally described as Lot 1 of Parcel Map No. 2005-243 requesting approval of a condominium conversion.
2. The applicant proposes a condominium conversion to convert an existing duplex into a two-unit condominium project. No waivers of Title 19 development standards for condominium conversions are proposed with this application.
3. The subject property is located within the Two-Unit Residential (R-2) Zoning District and the General Plan Land Use Element category is Two-Unit Residential (RT).
4. The subject property is not located within the coastal zone.
5. A public hearing was held on June 12, 2014, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project has been determined to be categorically exempt under the requirements of the California Environmental Quality Act, Class 1 (Existing Facilities).
2. The Class 1 exemption involves negligible or no expansion of an existing use. This classification includes the division of existing multiple-family or single-family residences into common-interest ownership, and subdivision of existing commercial or industrial buildings, where no physical changes occur which are not otherwise exempt. The proposed project involves the conversion of an existing duplex into a two-unit condominium development.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 19.64.070 (Standards for Condominium Conversion) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

- A. *The minimum number, and the design and location of off-street parking spaces shall be provided in conformance with the provisions of the Zoning Ordinance in effect at the time of approval of the conversion.*

Facts in Support of Finding:

- A-1. The existing duplex provides a single-car garage and a tandem carport space for each unit, for a total of four spaces.
- A-2. The four spaces provided meet the number of spaces required (2 per unit) pursuant to Section 20.40.040 (Off-Street Parking Spaces Required) and the design and location are in conformance with provisions of Chapter 20.40 (Off-Street Parking) of the Zoning Code.

Finding:

- B. *Each dwelling unit within a building shall have a separate sewer connection to the City sewer.*

Facts in Support of Finding:

- B-1. The existing duplex was constructed with two separate sewer connections to the City sewer.

Finding:

- C. *Each sewer lateral shall be retrofitted/fitted with a cleanout at the property line.*

Facts in Support of Finding:

- C-1. The existing duplex was constructed with two separate sewer cleanouts located at the property line.

Finding:

- D. *Each unit shall maintain a separate water meter and water meter connection.*

Facts in Support of Finding:

- D-1. The existing duplex was constructed with two separate water meters and water meter connections.

Finding:

- E. The electrical service connection shall comply with the requirements of Chapter 15.32 (Underground Utilities) of the Newport Beach Municipal Code.*

Facts in Support of Finding:

- E-1. The existing duplex was constructed with an electrical service connection that was at such time, determined to be in compliance with the requirements of Chapter 15.32.

Finding:

- F. The applicant for a condominium conversion shall request a special inspection from the Building Division for the purpose of identifying any building safety violations. The applicant shall correct all identified safety violations prior to approval of a final map for the condominium conversion.*

Facts in Support of Finding:

- F-1. A special inspection was completed by the Building Division on May 22, 2014, and two safety violations were identified. Existing guardrails do not meet the minimum height requirement of 42 inches and carbon monoxide detectors were not provided on all floors.
- F-2. As conditioned, the project will not be condominiums until all safety violations have been corrected.

Finding:

- G. Permanent lot stakes and tags shall be installed at all lot corners by a licensed surveyor or civil engineer unless otherwise required by the City Engineer.*

Facts in Support of Finding:

- G-1. As required, permanent lot stakes and tags were installed at all lot corners.

Finding:

- H. For residential conversions, the project shall be consistent with the adopted goals and policies of the General Plan, particularly with regard to the balance and dispersion of housing types within the City.*

Facts in Support of Finding:

- H-1. The General Plan does not include any specific goals for the dispersion of rental housing within the area. Housing Program 2.1.1 of the Housing Element of the

General Plan, which restricts the conversion of rental units to condominiums in developments containing 15 or more units, does not apply.

- H-2. Although the conversion from rental to ownership will reduce the number of rental opportunities in the area, the elimination of two rental units will not create a detrimental impact to housing opportunities in the area or City, as two units represents a very small fraction of the City's supply of rental housing (estimated to be approximately 17,500 units).

Finding:

- I. The establishment, maintenance or operation of the use or building applied for shall not, under the circumstances of the particular case, be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City.*

Facts in Support of Finding:

- I-1. The proposed project is to convert an existing duplex into two condominiums on property located within the R-2 zoning district.
- I-2. The use of the property will continue to be for two-unit residential purposes and there is no evidence suggesting this use has been detrimental to the health, safety, peace, comfort, and welfare of those residing or working in the neighborhood, or the City.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Condominium Conversion Application No. CC2014-003, subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.
2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal is filed with the Community Development Director in accordance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

PASSED, APPROVED AND ADOPTED THIS 12th DAY OF JUNE, 2014.

By:

Brenda Wisneski, AICP, Zoning Administrator

EXHIBIT "A"

CONDITIONS OF APPROVAL

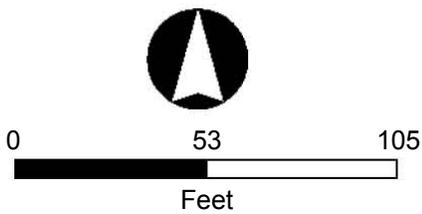
1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval. (Except as modified by applicable conditions of approval.)
2. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
3. No more than two dwelling units shall be permitted on the site.
4. Two-car parking, including one enclosed garage space and one covered or enclosed parking space, shall be provided on site for each dwelling unit per requirements of the Zoning Code. All parking spaces shall be maintained clear of obstructions for the parking of vehicles at all times.
5. Prior to the final of the building permit for the special inspection, the applicant shall resolve all building safety violations identified during the special inspection.
6. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 Planning and Zoning of the Newport Beach Municipal Code.
7. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Birkett Condominium Conversion including, but not limited to, the CC2014-003 (PA2014-071). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Attachment No. ZA 2

Vicinity Map



Newport
Beach
GIS



Disclaimer: Every reasonable effort has been made to assure the accuracy of the data provided, however, The City of Newport Beach and its employees and agents disclaim any and all responsibility from or relating to any results obtained in its use.

Imagery: 2009-2013 photos provided by Eagle Imaging www.eagleaerial.com

5/6/2014

Attachment No. ZA 3

Site Photographs



Attachment No. ZA 4

Condominium Inspection Report



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

CONDOMINIUM CONVERSION INSPECTION REPORT (CHECKLIST)

Inspection Fee: \$246.00 per unit (\$123.00/hr – 2 hrs minimum) No. Units 2 Condo Conv. No. X 2014-1397
 Address: 712 + 712 1/2 Orchid Date: 5-19-14
 Existing Occ: Grp R3/U Type of Construction: IB
 Owner: David Birkett Phone Number: 714-308-2433
 Assigned to Inspector: DTAYLOR Date: 05-22-14 Phone: (949) 644-32 63

THE FOLLOWING CHECKLIST WILL BE USED DURING THE INSPECTION TO VERIFY EXISTING BUILDING CONDITIONS AND COMPLIANCE TO MINIMUM STANDARDS FOR THE CONDOMINIUM CONVERSION.

A. EACH UNIT MUST COMPLY WITH THE MINIMUM STANDARDS OF THE UNIFORM HOUSING CODE AS ADOPTED BY THE CITY OF NEWPORT BEACH.

1. Does the unit meet minimum sanitation requirements? (y) (n)

Comment: _____

2. Does the unit meet minimum structural and occupancy standards? (y) (n)

Comment: _____

3. Does the unit meet minimum exiting safety standards? (y) (n)

Comment: _____

4. Does the unit meet minimum plumbing standards? (y) (n)
Is there a garbage disposal installed on a dedicated circuit? (y) (n)

Comment: _____

5. Does the unit meet minimum standards of heating and venting? (y) (n)

Comment: _____

6. Does the unit meet minimum standards for electrical safety? (y) (n) _____

Comment. _____

B. EACH UNIT MUST COMPLY WITH CURRENT MINIMUM LIFE SAFETY REQUIREMENTS OF THE UNIFORM BUILDING CODE AS ADOPTED BY THE CITY OF NEWPORT BEACH.

7. Do the existing stairs and handrails comply with minimum safety requirements of Chapter 10 UBC? (y) (n) _____
Did they comply when originally constructed? (y) (n) _____

Comment. _____

8. Do the existing guardrails comply with minimum safety requirements of Section 509 of the Uniform Building Code (y) _____ (n)
Did they comply when originally constructed? (y) (n) _____

Comment. GUARDRAILS AT 36" AND IN COMPLIANCE AT TIME OF CONSTRUCTION. NEW CODE REQUIRES 42" HIGH GUARDRAILS.

9. Are smoke detectors installed in each bedroom and other required locations per section 310.9.1.1 of the UBC (y) (n) _____

Comment: CARBON MONOXIDE DETECTORS REQUIRED ON EACH LEVEL. MISSING AT LOWEST AND/OR HIGHEST AREAS OF STAIRWELL,

10. Is there a required occupancy separation rating? 1 hr(s) (y) (n) _____
If so, does it meet the requirements of section 302 UBC? (y) (n) _____
Comment _____

11. Is the roof a minimum Class C fire retardant roof? (y) (n) _____
Owner to submit letter of certification by a licensed roofing contractor of fire retardancy and remaining life of the roof. (y) (n) _____

Comment _____

12. Is safety glazing installed in areas subject to human impact? (y) (n) _____

Comment. _____

Other Comments. _____

C. EACH UNIT IS REQUIRED TO BE INDIVIDUALLY SERVED BY SEPARATE UTILITIES.
Note: the City does not consider it feasible to separate sewer piping when existing units are integrally piped through lower units to units above. (Please demonstrate for the inspector that utilities serving the units are not connected.)

13. Is this unit served by its own water meter and piping? (y) (n) _____
Are the materials used in the system approved for the use? (y) (n) _____
Are there apparent cross connection hazards in the system? (y) (n)

NOTE: New water service and water meter must go to the secondary unit.
Existing water meter and service line must remain with original address.
(Contact Water Meter Division with any questions: (949) 644-3019)

Comments: _____

14. Is this unit served by its own gas meter and piping? (y) (n) _____
Are the materials used in the system approved for the use? (y) (n) _____
Are there apparent safety hazards in the system? (y) (n)

Comments: _____

15. Is this unit served by its own electric meter and wiring? (y) (n) _____
Is the unit served by a minimum 100amp service? (y) (n) _____
Is a new or relocated service required to be fed underground? (y) (n) _____
Are there apparent safety hazards in the system? (y) (n)

16. Is this unit served by its own sewer and piping? (y) (n) _____
Are the materials used in the system approved for the use? (y) (n) _____
Is there an approved cleanout installed at the property line? (y) (n) _____

Comments: _____

Other Comments: _____

Signed By: D. Jay

Date: 05-22-14

Attachment No. ZA 5

Project Plans

SHEET 1 OF 1
 DATE OF SURVEY: MARCH, 2004
 SCALE: 1" = 20'

RECORD OF SURVEY NO. 2004-1083

IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA

BEING A SURVEY OF THAT CERTAIN LAND SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF ORANGE, CITY OF NEWPORT BEACH,
 DESCRIBED AS FOLLOWS: LOT 14, BLOCK 742 OF CORONA DEL MAR, AS SHOWN ON A MAP RECORDED IN BOOK 3, PAGES 41 AND 42 OF
 MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

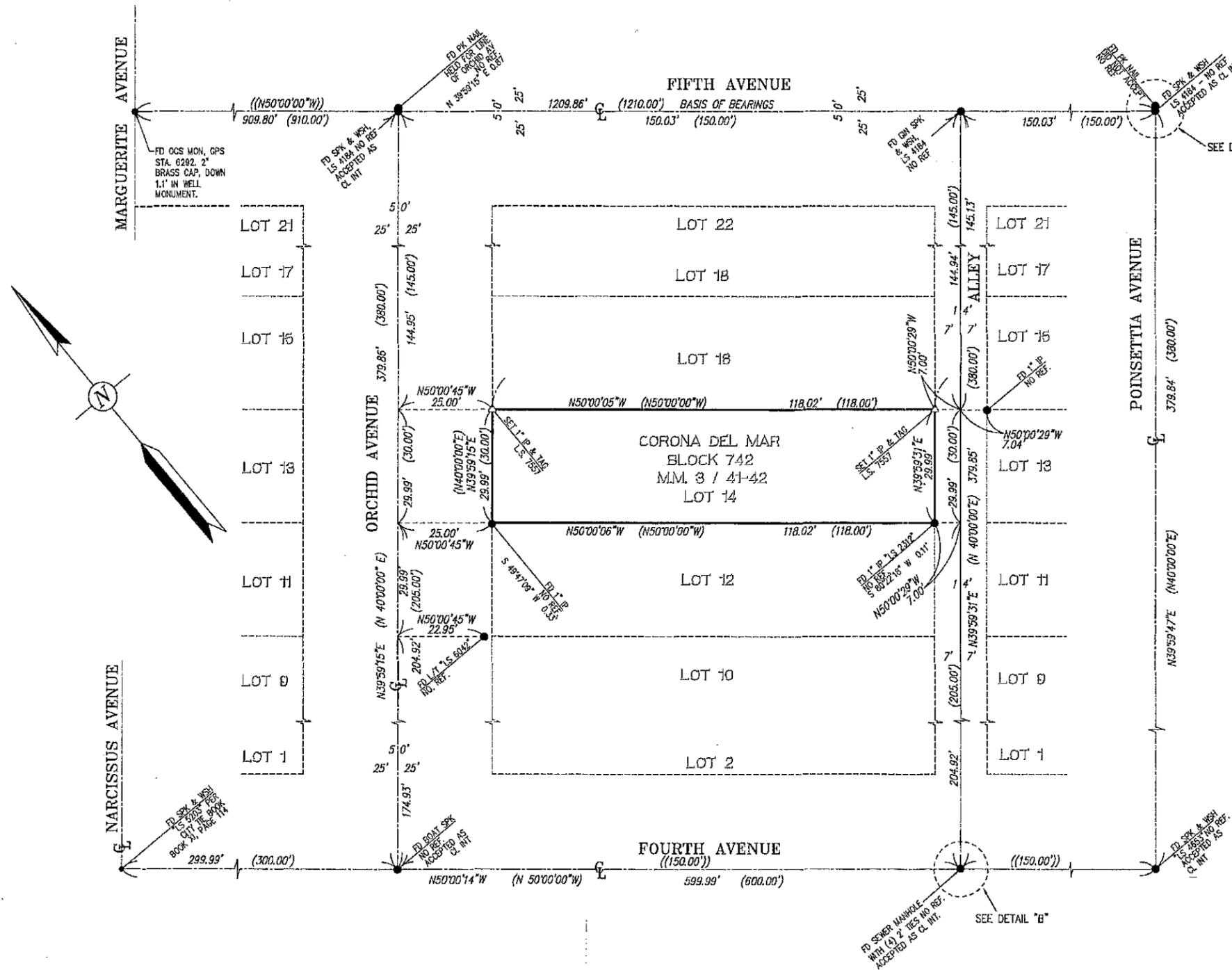
JOSEPH PADILLA 7557 P.L.S. GUIDA SURVEYING, INC. APRIL 2004

ACCEPTED AND FILED AT THE REQUEST OF THE
 ORANGE COUNTY SURVEYOR

DATE: _____
 TIME: _____ FEE \$ _____
 INSTRUMENT NO. _____
 BOOK _____ PAGE _____

TOM DALY
 COUNTY CLERK-RECORDER

BY: _____
 DEPUTY



DETAIL "A"

DETAIL "B"

STATEMENT OF PURPOSE:

THE PURPOSE OF THIS SURVEY IS TO MONUMENT THE LOT LINES OF LOT 14, BLOCK 742 OF CORONA DEL MAR, AS SHOWN ON A MAP RECORDED IN BOOK 3, PAGES 41 AND 42 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

MONUMENT NOTES:

- FD. MON. AS NOTED
- △ SET MONUMENT AS NOTED W/TAG LS 7557
- () RECORD DATA PER MAP OF CORONA DEL MAR, MM 3/41-42
- (()) RECORD DATA PER MAP OF CORONA DEL MAR, MM 3/41-42 AND MEASURED

BASIS OF BEARING:

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FIFTH AVENUE, BEING NORTH 50°00'00" WEST PER THE MAP OF CORONA DEL MAR, MISCELLANEOUS MAPS BOOK 3, PAGES 41 AND 42 OFFICIAL RECORDS OF ORANGE COUNTY, CALIFORNIA.

COUNTY SURVEYOR'S STATEMENT:

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYOR'S ACT THIS DAY OF APRIL 2004.

RAYMOND L. MATHE
 COUNTY SURVEYOR

THIS SET OF PLANS AND SUPPORTING DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO SHOW COMPLIANCE WITH THE CALIFORNIA BUILDING CODE AS ADOPTED BY THIS JURISDICTION. ISSUANCE OF A BUILDING PERMIT BASED UPON THESE PLANS IS RECOMMENDED SUBJECT TO APPROVAL BY OTHER APPLICABLE AGENCIES AND ANY CONDITIONS NOTED HEREIN.

THE STAMPING OF THESE PLANS AND SUPPORTING DOCUMENTS SHALL NOT BE CONSTRUED TO PERMIT OR BE AN APPROVAL OF THE VIOLATION OF ANY PROVISIONS OF ANY STATE OR LOCAL LAW.

BY: Charles Abbot ARCHITECT, INC. DATE: 3/9 4/10/04

BY: MICHAEL K. SULLIVAN, DEPUTY COUNTY SURVEYOR L.S. 6254, EXPIRATION DATE, 06-30-06 SPB CONDITION ON A-1

SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT AT THE REQUEST OF MILDRED A. ROSS IN MARCH, 2004.

Joseph Padilla
 JOSEPH PADILLA, PLS 7557 EXP. 12/31/05



PA2014-071 for CC2014-003
 712 and 712 1/2 Orchid Avenue
 David Birkett

1 of 30
 PC#0478-2004

GENERAL NOTES

- 1 - ALL ARRANGEMENTS, IDEAS & PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY THE PROPERTY OF RICHARD K. NATLAND, ARCHITECT & WERE CREATED, EVOLVED & DEVELOPED FOR USE ON & IN CONSTRUCTION WITH THIS SPECIFIC PROJECT.
- 2 - NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OF PLAN SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF RKN.
- 3 - WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE REFERENCE OVER SCALED DIMENSIONS.
- 4 - ALL CONSTRUCTIONS TO COMPLY WITH THE 1997 UBC'S EDITION & ALL APPLICABLE NEWPORT BEACH, STATE CODES, REGULATIONS & ORDINANCES.
- 5 - CONTRACTOR SHALL EXAMINE THE CONSTRUCTION DOCUMENT & NOTIFY RKN OF ANY DISCREPANCIES, ERRORS OR OMISSIONS HE/SHE MAY FIND BEFORE PROCESSING WITH THE WORK.
- 6 - NOTIFY RKN OF ANY DESIGN CHANGES PROPOSED BY OWNER OR CONTRACTOR DURING COURSE OF CONSTRUCTION, SUCH CHANGES AFFECTING ARCHITECTURAL DESIGN MAY ALSO AFFECT STRUCTURAL DESIGN.

PROJECT ANALYSIS

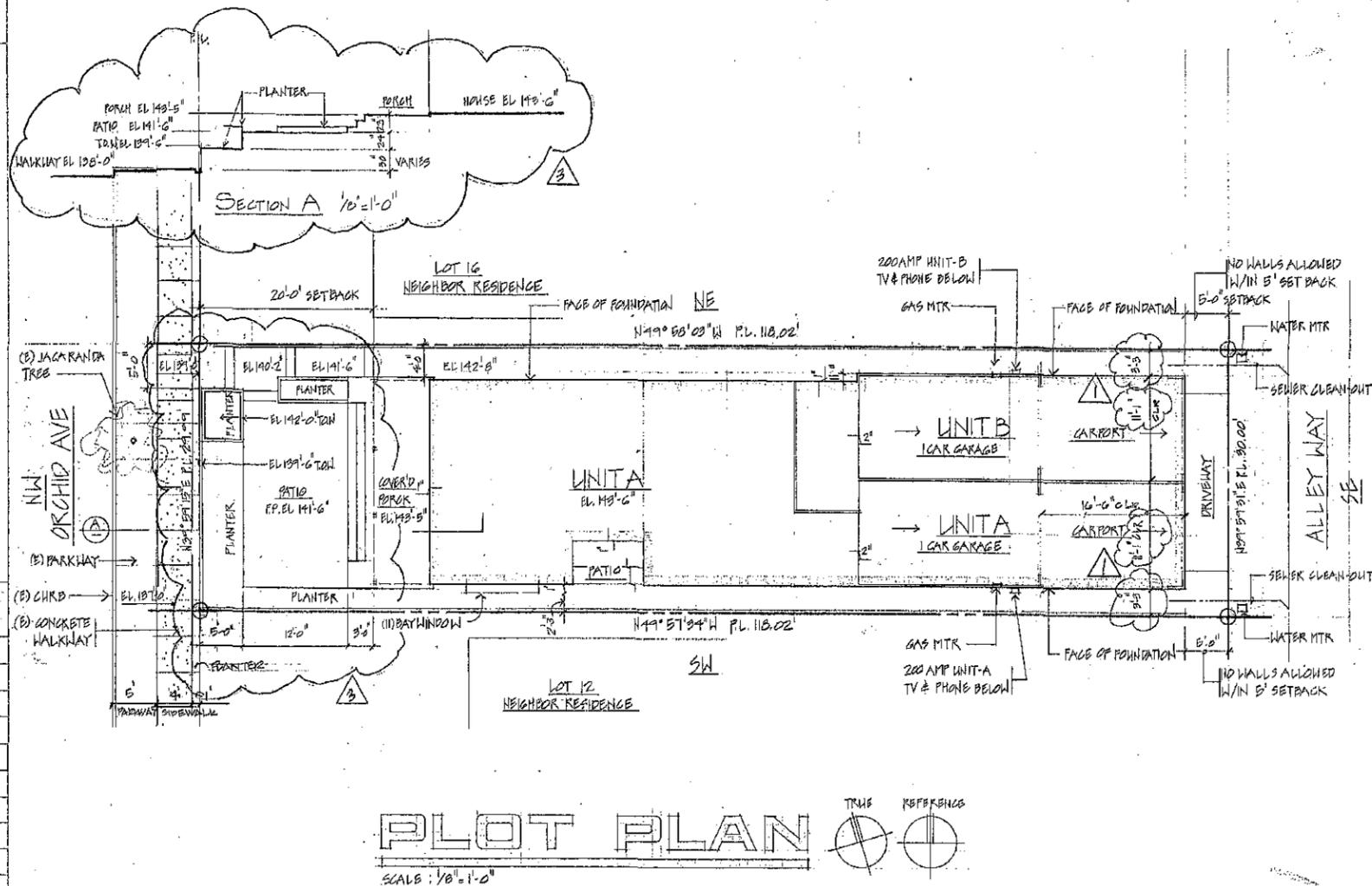
LEGAL DESCRIPTION : LOT / BLOCK : 14 / 742	SQUARE FOOTAGE UNIT A & UNIT B
TRACT : M3 / 41-42	TOTAL HABITABLE : FIRST FLR : 10,025,552 FT
CITY : NEWPORT BEACH	SECOND FLR : 17,339,132 FT
COUNTY : ORANGE	TOTAL : 28,414,684 FT
STATE : CALIFORNIA	GARAGE : 504,932 FT
OCCUPANCY : R-3/4-1 DUPLEX	TOTAL : 33,414,616 FT
CONST. TYPE : VN	OPEN DECKS : 443 SQ FT & BALCONY: 198 SQ FT
UBC CODE : 1997	LOT AREA 118.02 X 90 = 3,541 SQ FT
STORY : THREE	BUILDABLE AREA 24 X 93' = 2,232 SQ FT
	ALLOWABLE 2,232 X 1.5 = 3,348 SQ FT
	OPEN SPACE REQUIRED = 3,456 CUBIC FT
	ACTUAL 11.3 X 16 X 2 (GARPORT) = 2,820 " "
	ACTUAL 5 X 8 X 2 (PATIO) = 1,160 " "

SHEET INDEX

SHT NO.	DESCRIPTION	SHT NO.	DESCRIPTION
A-1	PLOT PLAN & GENERAL NOTES	S-1	FOUNDATION PLAN & STRUCT. DETAILS
A-2	FIRST & SECOND FLOOR PLANS	S-2	SECOND FLOOR FRAMING PLAN & STRUCT. DET.
A-3	ROOF DECK & ROOF FLOOR PLANS	S-3	ROOF FRAMING PLAN & STRUCT. DETAILS
A-4	EXTERIOR ELEVATIONS (FRONT & REAR) SECT. G, H	S-4	STRUCTURAL NOTES
A-5	EXTERIOR ELEVATIONS (RIGHT & LEFT)	T-24	TITLE 24
A-6	BUILDING SECTIONS A, B, C, D, E, F.	ME-1	MECH/ELECT FIRST & SECOND FLR PLANS
A-7	DOORS & WINDOWS SCHEDULES	ME-2	MECH/ELECT DECK FLOOR PLAN
A-8	STAIRS SECTIONS & DETAILS	D-1	DRAINAGE/GRADING PLAN & NOTES
A-9	INTERIOR ELEVATIONS / UNIT-A	D-2	EROSION CONTROL PLAN
A-10	INTERIOR ELEVATIONS / UNIT-B	I	TOPOGRAPHIC SURVEY PLAN
		RW-1	RETAINING WALLS

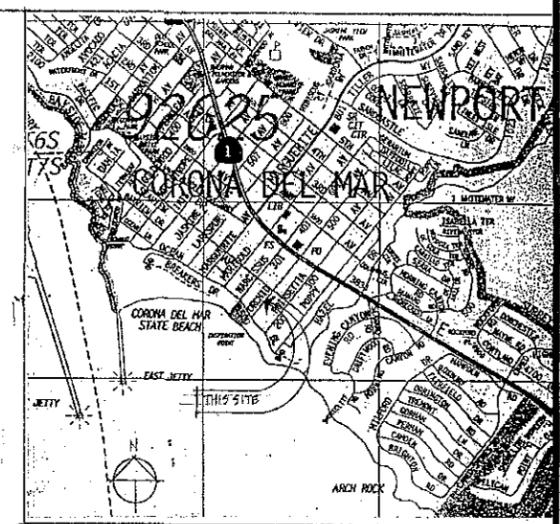
CONSULTANTS

REGISTERED CIVIL ENGINEER PHILIP W. TAGGART 1300 BRISTOL ST N, SUITE 100 NEWPORT BEACH, CA 92660 (949) 261-7140	SOUTHLAND ENERGY CONSULTANTS PAUL KANDARIAN 1491 GLENHAYRE ST. LAGUNA BEACH, CA 92651 (949) 497-3210	COAST GEOTECH 17747 ARTESIA BLVD LA MIRADA (714) 921-0169 REPORT DATE: JAN. 9, 2004 REPORT NUMBER: W/D 237103
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PLOT PLAN
SCALE: 1/8" = 1'-0"
TRUE REFERENCE

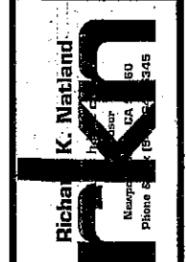
- NOTES:**
- PROVIDE TREES IN THE PARKWAY ADJOINING THIS SITE TO THE SATISFACTION OF THE GENERAL SERVICES DEPT. (TBL (949) 644-3003). APPROVAL FROM GENERAL SERVICES IS REQUIRED ON THE BUILDING INSPECTION CARD PRIOR TO FINAL INSPECTION.
 - REMOVAL OF ANY CITY TREES REQUIRED PRIOR APPROVAL FROM GENERAL SERVICES DEPT.
 - EXISTING SEWER LATERAL TO BE CHANGED AND A CLEAN-OUT INSTALLED AT THE PROPERTY LINE TO COMPLY WITH CITY STANDARD IF ANY OF THE FOLLOWING CONDITIONS OCCUR. PROVIDE PUBLIC WORKS STANDARD DETAIL ON DRAWINGS:
 - a. ALTERATION TO THE BUILDING SEWER IS DONE.
 - b. ADDITIONAL PLUMBING FIXTURES REQUIRE INCREASE IN SIZE OF BUILDING SEWER LINE.
 - c. WHEN IT IS FOUND THAT THE BUILDING SEWER IS INSTALLED IN AN ILLEGAL OR UNSANITARY MANNER.
 - d. IF AREA OF STRUCTURAL REMOVAL/ADDITION IS GREATER THAN 50% OF EXISTING AREA. EXCEPTION: SEWER LATERAL DOES NOT HAVE TO BE REPLACED IF INSPECTED USING A CAMERA DEVICE AND CERTIFIED BY A PRIVATE INSPECTION AGENCY TO BE IN GOOD CONDITION TO THE SATISFACTION OF THE PUBLIC WORKS DEPT. (SD BURT (949) 644-3002) CLEAN-OUT HAS TO BE INSTALLED.
 - FENCES, PATIO COVERS, SEPARATE STRUCTURES TO HAVE SEPARATE REVIEW AND PERMIT.
 - PROVIDE FENCE ONLY ADJACENT TO PUBLIC RIGHT-OF-WAY.



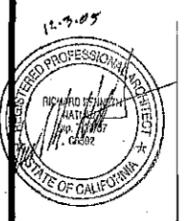
VICINITY MAP

REVISIONS	BY
NORTH EAST DIM. 1.2404	
12.5.05 DRAINAGE PLAN	B

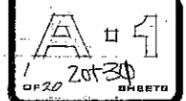
SUBMITTALS	DATE
PLAN CHK #1	2.02.04
PLAN CHK #2	5.4.04
" #3	6.4.04
PLAN CHK #4	7.21.04



THE UNIT COMPLEX
DIANE STELLAR
712 ORCHID AVE
CORONA DEL MAR
CA 92625

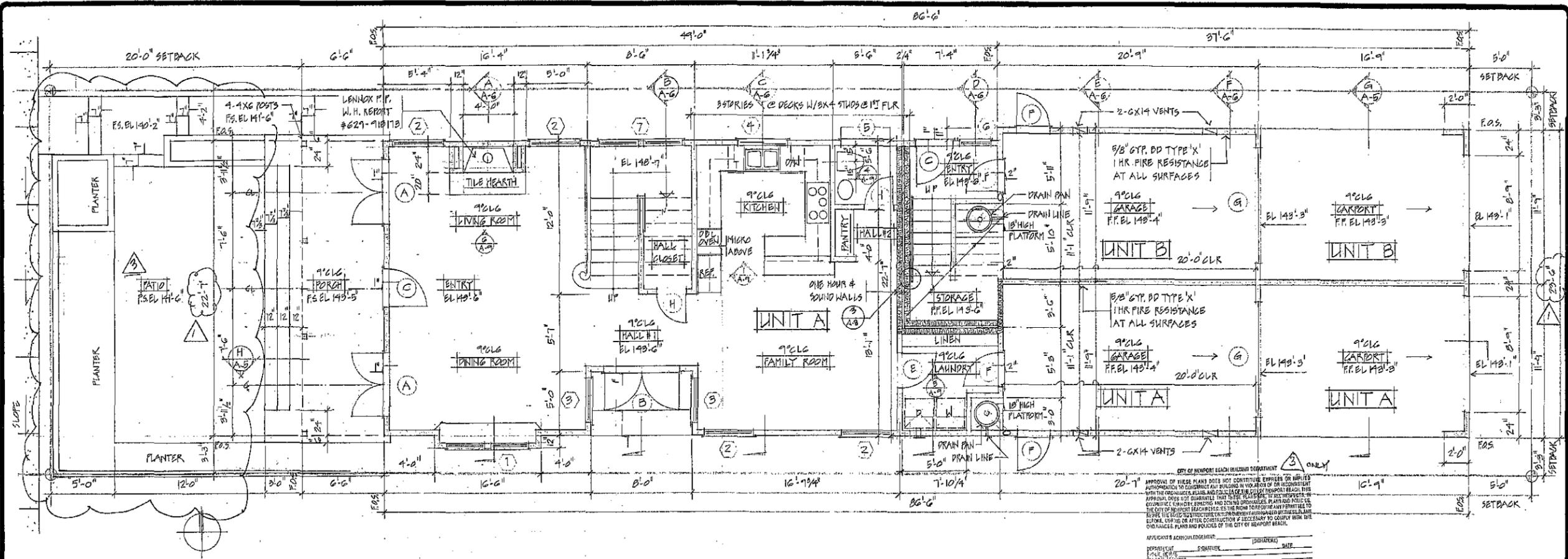


DRAWN DIANE AN
CHECKED RKN
DATE 12/22/03
SCALE 1/8" = 1'-0"
JOB NO. STELLAR
SHEET

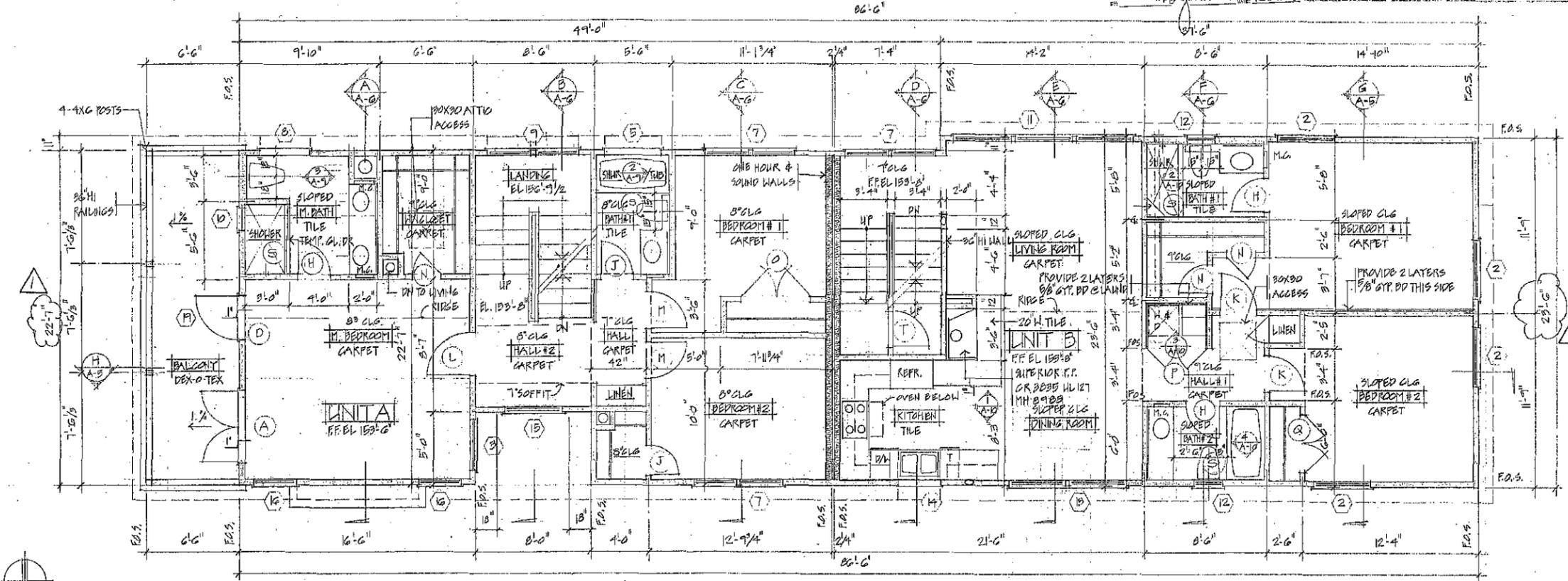


PLOT PLAN & GENERAL NOTES
PLAN DATE: 7/21/04

PA2014-071 for CC2014-003
712 and 712 1/2 Orchid Avenue
David Birkett



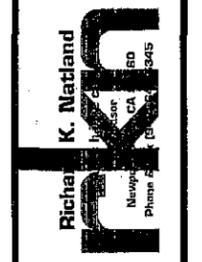
FIRST FLOOR PLAN 1/4"=1'-0"



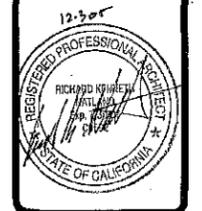
SECOND FLOOR PLAN 1/4"=1'-0"

REVISIONS	BY
1. PROPOSED PLAN	AS
2. NORTH SOUTT DIM. 7.26.04	AS

SUBMITTALS	DATE
PLAN CHK #1	2.20.04
PLAN CHK #2	5.4.04
" #3	6.4.04
" #4	7.21.04



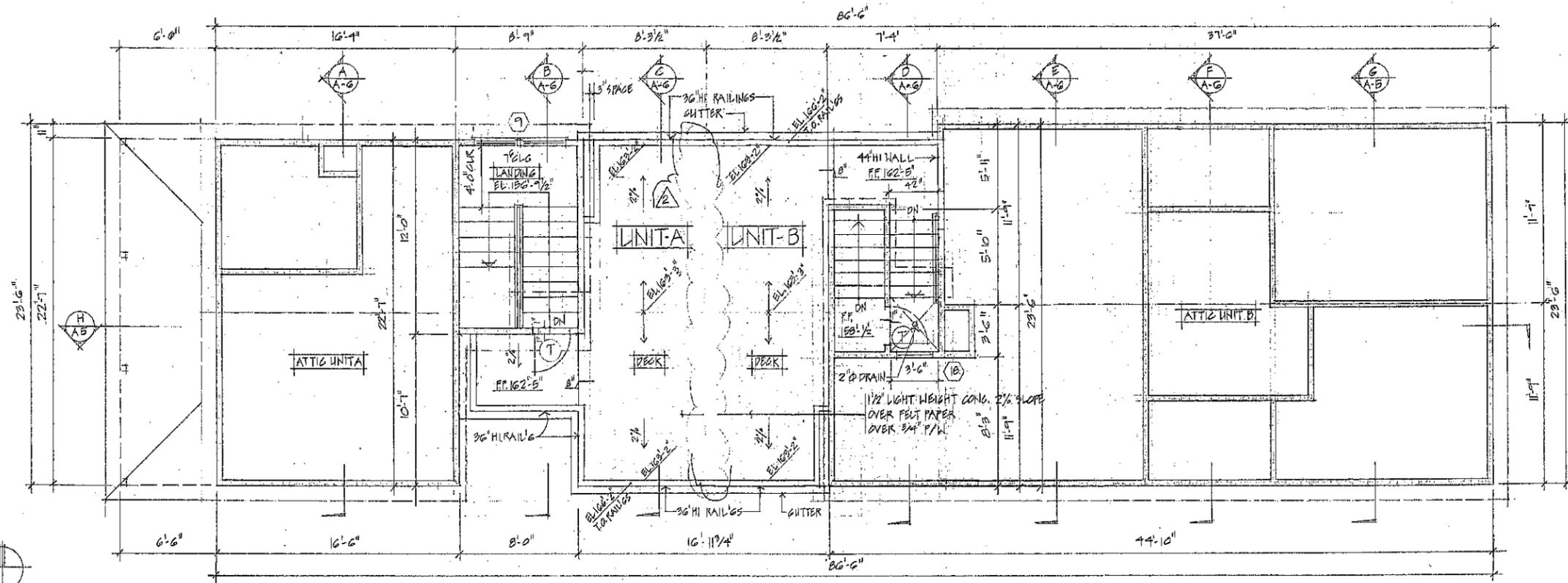
THE UNIT DUPLEX
 DIANE STELLAR
 712 ORCHID
 CORONA DEL MAR
 CA 92625



DRAWN	DIANE AN
CHECKED	RKN
DATE	12/22/03
SCALE	1/4"=1'-0"
JOB NO.	STELLAR
SHEET	

24 of 30
 SHEETS

FIRST & SECOND FLOOR PLANS
 PLAN DATE 7/10/04



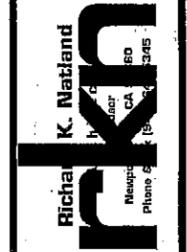
ROOF DECK FLOOR PLAN 1/4" = 1'-0"

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APPROVAL TO ISSUE: 7/14/05

REVISIONS	BY

SUBMITTALS	DATE
PLAN CHK #1	2/20/04
PLAN CHK #2	5/4/04
" " #3	6/4/04
" " #4	7/21/04



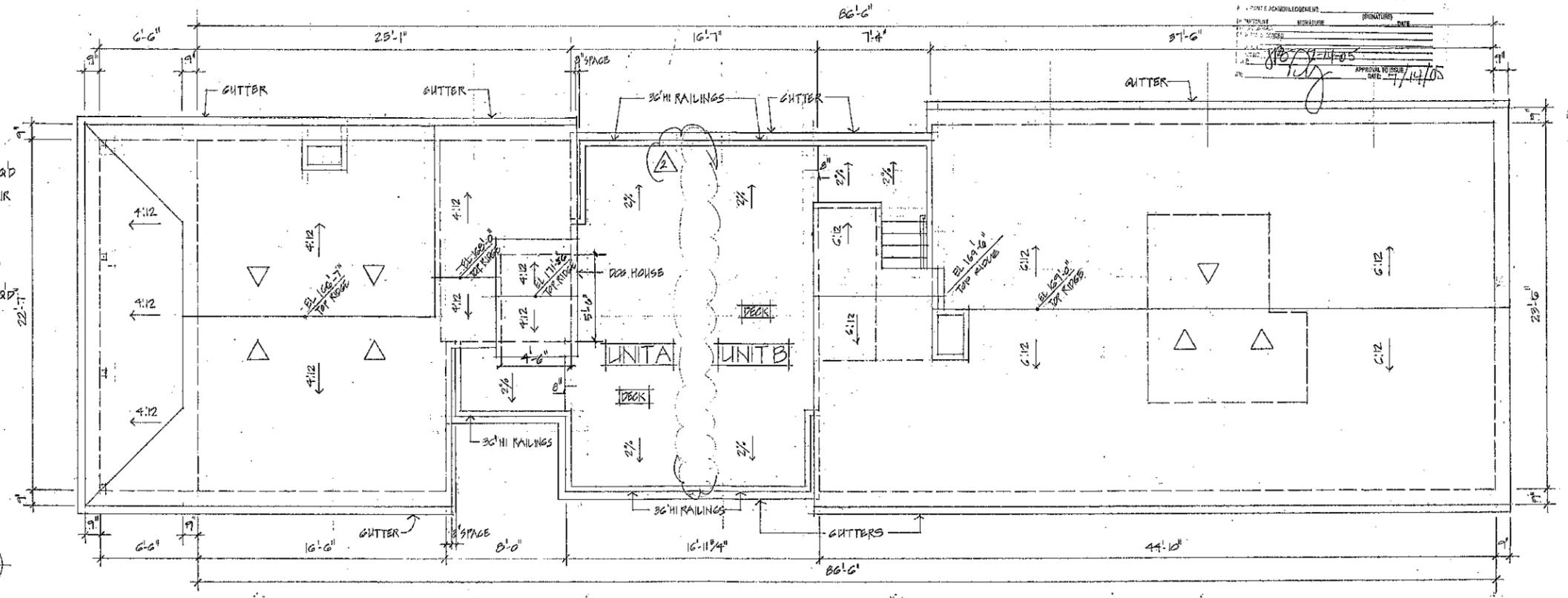
TWO UNIT DUPLEX
 DIANE STELLAR
 712 ORCHID
 CORONA DEL MAR
 CA 92625

ATTIC VENTILATION:
FURNACE ATTIC/UNIT B
 (2X6) + (2X6) = 1,930 ft²
 1,930 ft² x 1.44 = 1997 # INCHES FREE AIR REQ'D
 PROVIDE 3 - D18 DORMERS @ 90# # FREE AIR EACH.

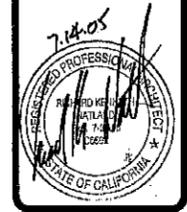
FURNACE ATTIC/UNIT A
 (16.5 X 13.5) + (6 X 2) = 1,800 ft²
 1,800 ft² x 1.44 = 2592 # INCHES FREE AIR REQ'D
 PROVIDE 4 - D18 DORMERS @ 90# # FREE AIR EACH

GARAGES UNIT A & UNIT B
 PROVIDE 2 - 6X14 SCREENED VENT EACH.

ROOF MATERIALS:
 GAF TIMBERLINE CLASS 'A' ASPHALT ROOF SHINGLES WEATHERED WD BLEND.

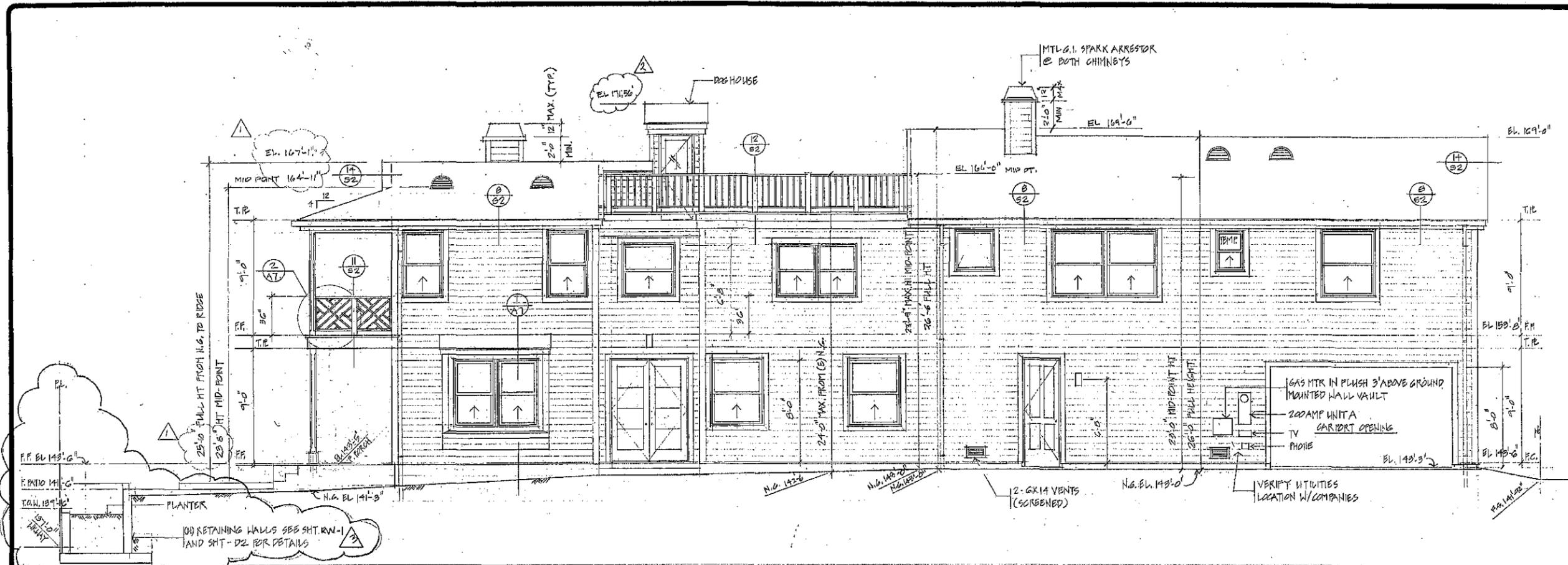


ROOF PLAN 1/4" = 1'-0"

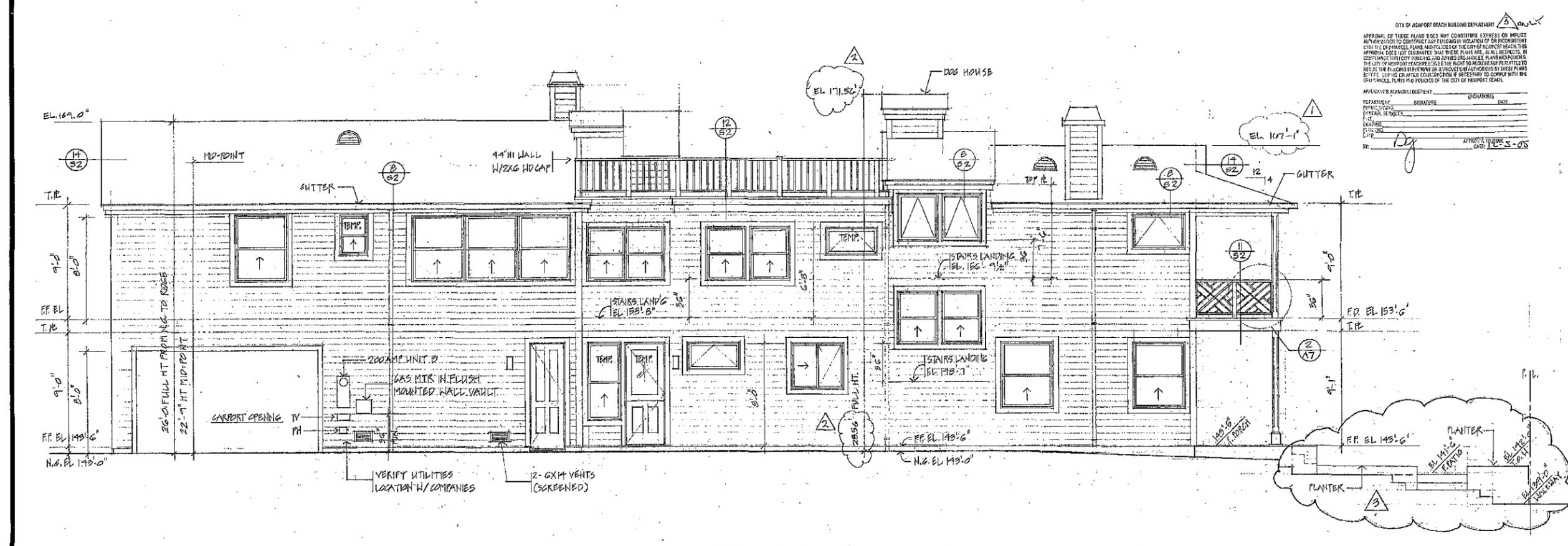


DRAWN	DATE
DIANE AN	12/22/00
CHECKED	SCALE
RKN	1/4" = 1'-0"
JOB NO.	STELLAR
SHEET	3 of 30





SOUTHWEST ELEVATION (RIGHT) 1/4" = 1'-0"



NORTHEAST ELEVATION (LEFT) 1/4" = 1'-0"

CITY OF HEMET/BEACH BUILDING DEPARTMENT

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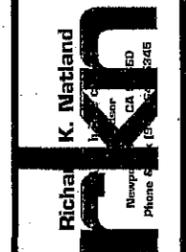
APPLICANT'S ACKNOWLEDGEMENT:

REPRESENTATIVE: _____ SIGNATURE: _____ (RESIDENTS) DATE: _____

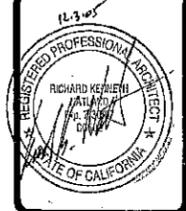
DATE: 12-2-03

REVISIONS	BY
5-24-05: HT. ADJUST.	1
7-13-05 REMOVE DECK DIVISION	2
12-5-05 DRAINAGE PLAN	3

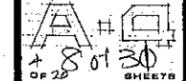
SUBMITTALS	DATE
PLAN CHK #1	2-20-04
PLAN CHK #2	5-4-04
" " #3	6-4-04



TWO UNIT DUPLEX
DIANE STELLAR
112 ORCHID
CORONA DEL MAR
CA 92625



DRAWN	DYANA AN
CHECKED	RKN
DATE	12/2/03
SCALE	1/4" = 1'-0"
JOB NO.	STELLAR
SHEET	



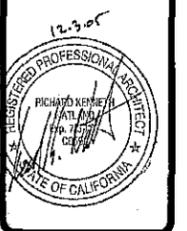
RIGHT & LEFT ELEVATIONS
PL# 0478-2004

REVISIONS	BY
5/24/08 ADJUST.	▲
12/2/08 DRAINAGE PLAN	▲

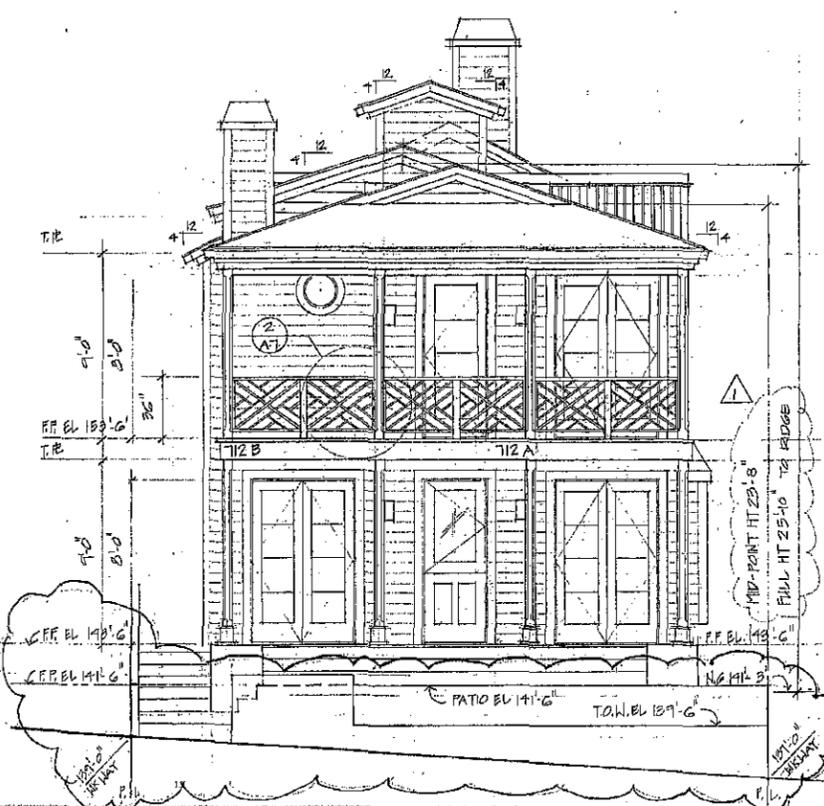
SUBMITTALS	DATE
PLAN CHK #1	2/20/08
PLAN CHK #2	5/4/08
" #3	6/4/08

Richard K. Natland
 ARCHITECT
 1000 S. GARDEN ST. #100
 ANAHEIM, CA 92805
 PHONE 714.771.1111

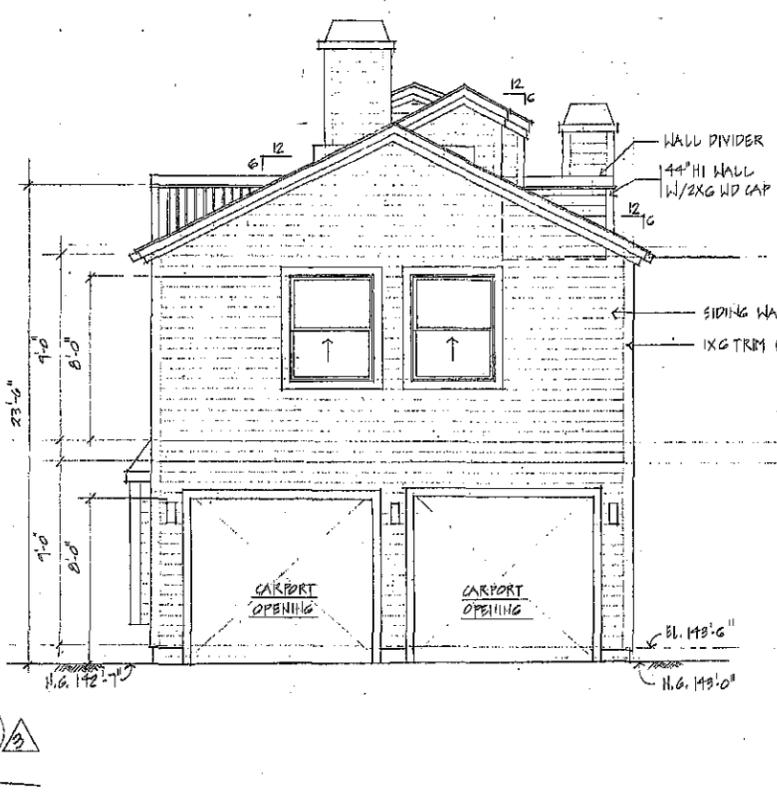
TWO UNIT DUPLEX
 DIANE STELLAR
 712 ORCHID
 CORONA DEL MAR
 CA 92625



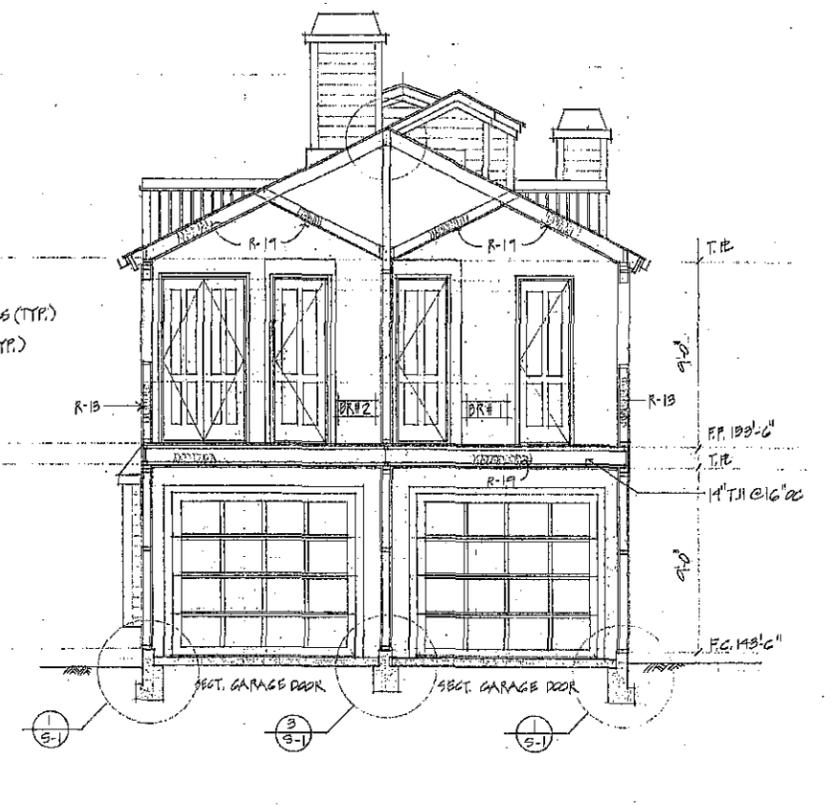
DRAWN BY DIANA AN
 CHECKED BY RKN
 DATE 12/22/08
 SCALE 1/4" = 1'-0"
 JOB NO. STELLAR
 SHEET 12 OF 30
A#5
 5 OF 20 SHEETS



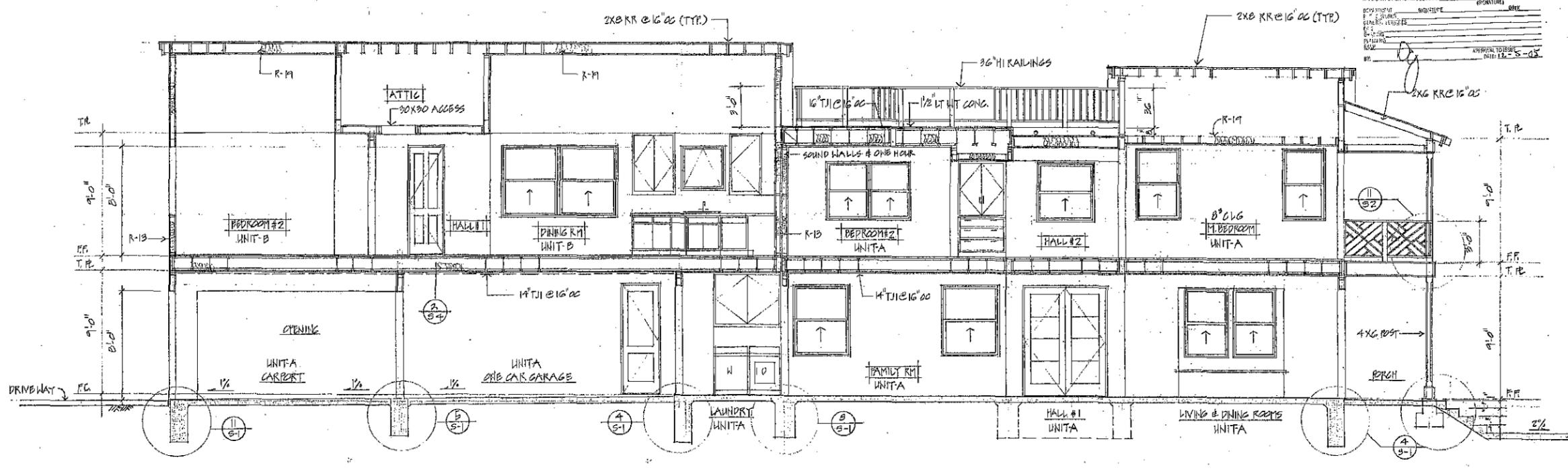
NORTHWEST ELEVATION (FRONT) 1/4" = 1'-0"



SOUTHEAST ELEVATION (REAR) 1/4" = 1'-0"



SECTION G 1/4" = 1'-0"



SECTION H 1/4" = 1'-0"

CITY OF REDFORD BEACH BUILDING DEPARTMENT **3 ONLY**
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 APPROVAL TO ISSUE DATE 12-5-08

REVISIONS	BY

SUBMITTALS	DATE
PLAN CHK #1	2/20/04
PLAN CHK #2	5/4/04
"	6/14/04

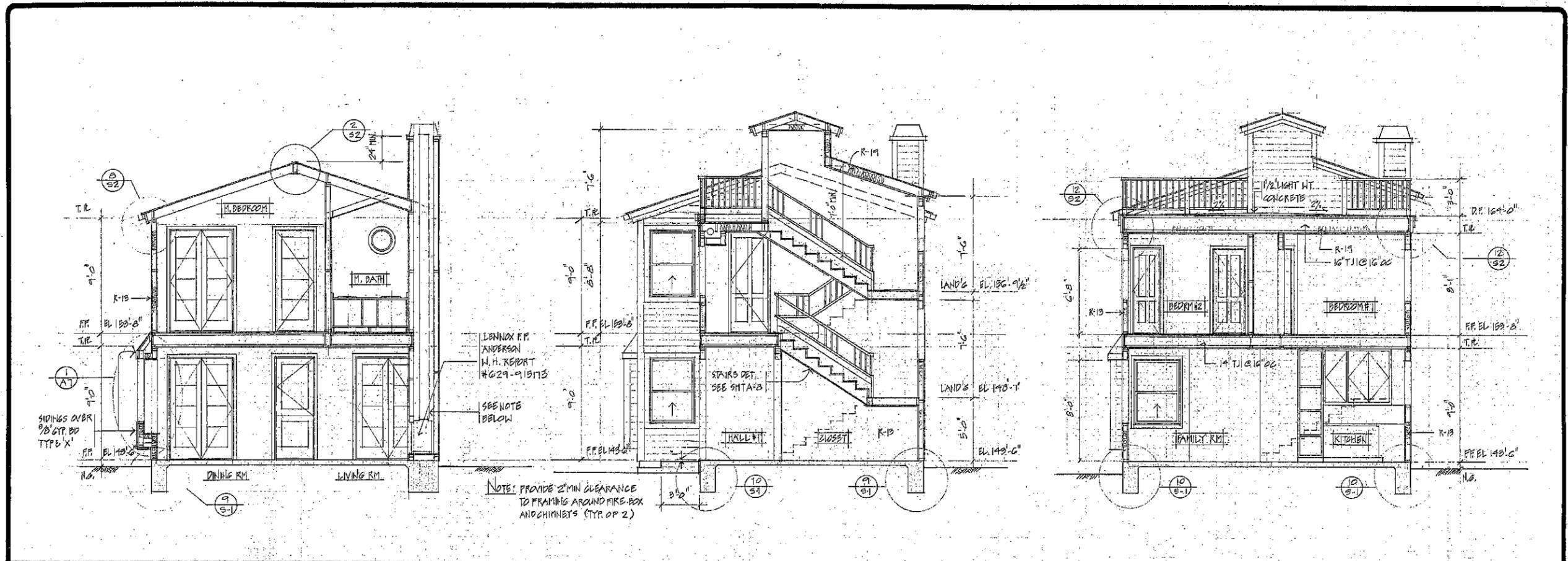


THIS UNIT DUPLEX
 DIXIE STELLAR
 712 ORCHID
 CORONA DEL MAR
 CA 92625

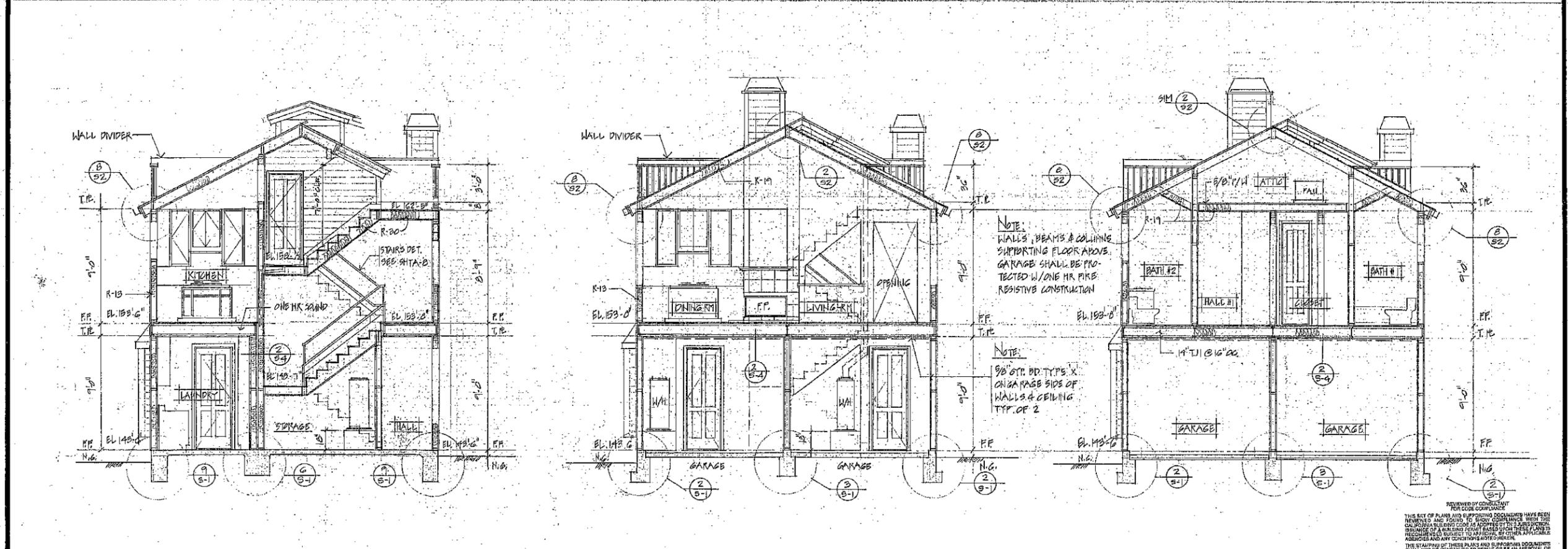


DRAWN	DIANA AN
CHECKED	RKN
DATE	12/22/03
SCALE	1/4" = 1'-0"
JOB NO.	STELLAR
SHEET	15 of 30
DATE	6/10/04

PC# 0478 - 200 BUILDING SECTIONS A, B, C, D, E, F



SECTION A 1/4" = 1'-0" SECTION B 1/4" = 1'-0" SECTION C 1/4" = 1'-0"



SECTION D 1/4" = 1'-0" SECTION E 1/4" = 1'-0" SECTION F 1/4" = 1'-0"

REVIEWED BY CONSULTANT FOR CODE COMPLIANCE
 THIS SET OF PLANS AND ALL PERTINENT DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO SHOW COMPLIANCE WITH THE CALIFORNIA BUILDING CODE AS AMENDED. THE REGISTERED ARCHITECT'S LIABILITY OF A BUILDING DEPARTMENT OFFICIAL ON THESE PLANS IS LIMITED TO THE BUILDING CODE AS AMENDED, AND OTHER APPLICABLE AGENCIES AND ANY CONDITIONS NOTED HEREON.
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 RICHARD K. NATLAND
 REGISTERED PROFESSIONAL ARCHITECT
 No. 60845
 STATE OF CALIFORNIA
 DATE 6/10/04