



COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
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**CITY OF NEWPORT BEACH
ZONING ADMINISTRATOR STAFF REPORT**

July 10, 2014

Agenda Item No. 2:

SUBJECT: Vaughan Residence Condominium Conversion - (PA2014-076)
618 and 618 ½ Poinsettia Avenue

- Condominium Conversion No. CC2014-004
- Tentative Parcel Map No. NP2014-006
County Tentative Parcel Map No. 2014-114

APPLICANT: Robert Vaughan

PLANNER: Benjamin M. Zdeba, Assistant Planner
(949) 644-3253, bzdeba@newportbeachca.gov

ZONING DISTRICT/GENERAL PLAN

- **Zone:** R-2 (Two-Family Residential)
- **General Plan:** RT (Two-Unit Residential)

PROJECT SUMMARY

A condominium conversion and tentative parcel map to convert an existing duplex into a condominium project. The code required two-car parking per unit is provided and no waivers of Title 19 development standards are proposed with this application.

RECOMMENDATION

- 1) Conduct a public hearing; and
- 2) Adopt Draft Zoning Administrator Resolution No. ZA2014-___ approving Condominium Conversion No. CC2014-004 Tentative Parcel Map No. NP2014-006 (Attachment No. ZA 1).

DISCUSSION

- The site is located in Corona del Mar, south of Fourth Avenue and north of Third Avenue, in the R-2 Zoning District. The adjacent properties are also zoned for

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residential use. The area of the lot is approximately 3,540 square feet (30' X 118'), which is typical in this neighborhood.

- The site is developed with a duplex built to condominium standards with separate utility connections for each unit. The building permit to add a second unit and related parking was issued in May 2010 and construction was completed in March 2011. A subsequent building permit was issued in July 2013 for a remodel and addition which is still under construction.
- The Land Use Element of the General Plan designates the site as Two-Unit Residential (RT), and the current development is consistent with this designation.
- The property is not located within the Coastal Zone.
- This property is ineligible for the exemptions within Section 19.52.020.B (Park Fee, Applicability) since the new unit was finished less than five years ago on March 8, 2011.
- One garage parking space and one tandem carport parking space are provided for each dwelling unit, which satisfies the off-street parking requirements of Chapter 20.40 (Off-Street Parking) of the Municipal Code.
- A tentative parcel map for two-unit condominium purposes has been submitted in conjunction with the condominium conversion application for the purpose of creating two separate ownership units.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15301, of the California Environmental Quality Act (CEQA) Guidelines - Class 1 (Existing Facilities). This exemption authorizes minor alterations to existing structures involving negligible or no expansion of use including but not limited to the division of existing multiple-family or single-family residences into common-interest ownership, and subdivision of existing commercial or industrial buildings, where no physical changes occur which are not otherwise exempt. The proposed project involves the division of an existing duplex where no significant physical changes are proposed.

PUBLIC NOTICE

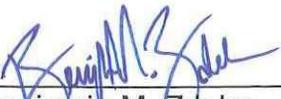
Notice of this application was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal

Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

An appeal of the Parcel Map and Condominium Conversion may be filed with the Director of Community Development within fourteen (14) days following the date of action. For additional information on filing an appeal, contact the Planning Division at (949) 644-3200.

Prepared by:



Benjamin M. Zdeba
Assistant Planner

GR/bmz

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Project Plans
	ZA 4	Condominium Inspection Report
	ZA 5	County Tentative Parcel Map No. 2014-114

Attachment No. ZA 1

Draft Resolution

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RESOLUTION NO. ZA2014-___

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING CONDOMINIUM CONVERSION NO. CC2014-004 AND TENTATIVE PARCEL MAP NO. NP2014-006 FOR A TWO-UNIT CONDOMINIUM DEVELOPMENT LOCATED AT 618 AND 618 ½ POINSETTIA AVENUE (PA2014-076)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Robert Vaughan with respect to property located at 618 and 618 ½ Poinsettia Avenue, and legally described as Lot 20, Block 643, Corona del Mar as shown on a Map recorded in Book 3, Pages 41 and 42 of Miscellaneous Maps, Records of Orange County, California, requesting approval of a condominium conversion and tentative parcel map.
2. The applicant proposes a condominium conversion and tentative parcel map to convert an existing duplex into a condominium project. The code required two-car parking per unit is provided and no waivers of Title 19 development standards are proposed with this application.
3. The subject property is located within the R-2 (Two-Unit Residential) Zoning District and the General Plan Land Use Element category is RT (Two-Unit Residential).
4. The subject property is not located within the coastal zone.
5. A public hearing was held on July 10, 2014, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project has been determined to be categorically exempt pursuant to Title 14 of the California Code of Regulations (Section 15315, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act) under Class 1 (Existing Facilities).
2. The Class 1 exemption involves negligible or no expansion of an existing use. This classification includes the division of existing multiple-family or single-family residences into common-interest ownership, and subdivision of existing commercial or industrial buildings, where no physical changes occur which are not otherwise exempt. The proposed project involves the conversion of an existing duplex into a two-unit condominium development.

SECTION 3. REQUIRED FINDINGS.

Condominium Conversion

In accordance with Section 19.64.070 (Standards for Condominium Conversions) of the Newport Beach Municipal Code, the following findings are set forth:

Finding

- A. *The minimum number, and the design and location of off-street parking spaces shall be provided in conformance with the provisions of the Zoning Ordinance in effect at the time of approval of the conversion.*

Facts in Support of Finding

- A-1. The existing duplex consists of 3,326 square feet including two, single-car garages and two covered spaces.
- A-2. The four spaces provided meet the number of spaces required (2 per unit) per Chapter 20.40 (Off-Street Parking) of the Zoning Ordinance.

Finding

- B. *Each dwelling unit within a building shall have a separate sewer connection to the City sewer.*

Facts in Support of Finding

- B-1. The duplex has two separate sewer connections to the City sewer.

Finding

- C. *Each sewer lateral shall be retrofitted/fitted with a cleanout at the property line.*

Facts in Support of Finding

- C-1. The duplex has two separate sewer cleanouts located at the property line.

Finding

- D. *Each unit shall maintain a separate water meter and water meter connection.*

Facts in Support of Finding

- D-1. The duplex has two separate water meters and water meter connections.

Finding

- E. *The electrical service connection shall comply with the requirements of Chapter 15.32 (Underground Utilities) of the Newport Beach Municipal Code.*

Facts in Support of Finding

- E-1. The duplex complies with the requirements of Chapter 15.32.

Finding

- F. *The applicant for a condominium conversion shall request a special inspection from the Building Division for the purpose of identifying any building safety violations. The applicant shall correct all identified safety violations prior to approval of a final map for the condominium conversion.*

Facts in Support of Finding

- F-1. A special inspection was completed by the Building Division on June 26, 2014, and one safety violation was identified inasmuch as carbon monoxide detectors were not provided in all required locations.
- F-2. Since the front unit is currently undergoing renovation, several items in the special inspection could not be verified in the field; however, the building permit set indicates the required improvements will be constructed.
- F-3. As conditioned, the project will not be condominiums until all housing and safety violations have been corrected and verified.

Finding

- G. *Permanent lot stakes and tags shall be installed at all lot corners by a licensed surveyor or civil engineer unless otherwise required by the City Engineer.*

Facts in Support of Finding

- G-1. As conditioned, the project will comply with this requirement prior to recordation of the final parcel map.

Finding

- H. *For residential conversions, the project shall be consistent with the adopted goals and policies of the General Plan, particularly with regard to the balance and dispersion of housing types within the City.*

Facts in Support of Finding

- H-1. The project is consistent with the adopted goals and policies of the Land Use Element and other Elements of the General Plan and the Local Coastal Program Land Use Plan. The project site is designated as RT (Two-Unit Residential) by the Land Use Element of the General Plan. The proposed project is consistent with the RT land use category, which is intended to provide for a range of two-family dwelling units such as duplexes and townhomes.
- H-2. An existing, remodeled two-unit dwelling rental will be converted into a two-unit condominium project. The residential density on the site will remain the same.

Finding

- I. The establishment, maintenance or operation of the use or building applied for shall not, under the circumstances of the particular case, be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City.*

Facts in Support of Finding

- I-1. The application of the project conditions will ensure the health, safety, peace, comfort, and general welfare of persons residing or working in the neighborhood and the City.
- I-2. The proposed project is to convert an existing, remodeled duplex into two condominiums on property located within the R-2 zoning district.
- I-3. Public improvements will be required of the Applicant per the Municipal Code and the Subdivision Map Act.

Tentative Parcel map

The Zoning Administrator determined in this case, that the proposed parcel map is consistent with the legislative intent of Title 20 of the Newport Beach Municipal Code and is approved based on the following findings per Section 19.12.070 (Required Findings for Action on Tentative Maps) of Title 19 (Subdivision Code):

Finding:

- A. The proposed map and the design or improvements of the subdivision are consistent with the General Plan and any applicable specific plan, and with applicable provisions of the Subdivision Map Act and this Subdivision Code.*

Facts in Support of Finding:

- A-1. The proposed parcel map is for two-unit condominium purposes. The existing duplex was constructed in 2011 to condominium standards. The residential density on the site (two-units) will remain the same. The proposed subdivision and improvements are

consistent with the density of the R-2 Zoning District and the "Two-Unit Residential" General Plan Land Use designation.

A-2 The proposed parcel map does not apply to any specific plan area.

Finding:

B. *The site is physically suitable for the type and density of development.*

Facts in Support of Finding:

B-1. The lot is physically suitable for two-unit development because it is regular in shape and has a slope of less than 20 percent.

Finding:

C. *The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage nor substantially and avoidably injure fish or wildlife or their habitat. However, notwithstanding the foregoing, the decision making body may nevertheless approve such a subdivision if an environmental impact report was prepared for the project and a finding was made pursuant to Section 21081 of the California Environmental Quality Act that specific economic, social or other considerations make infeasible the mitigation measures or project alternatives identified in the environmental impact report.*

Facts in Support of Finding:

C-1. This project has been reviewed, and it has been determined that it qualifies for a Class 1 and a Class 15 categorical exemption pursuant to Title 14 of the California Code of Regulations (Sections 15301 and 15315, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act). Under Class 1 (Existing Facilities), the division of existing multiple family or single-family residences into common interest ownership is exempt under Class 1 of CEQA. Under Class 15 (Minor Land Divisions), the division of property in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels is exempt when the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope greater than 20 percent.

Finding:

D. *The design of the subdivision or the type of improvements is not likely to cause serious public health problems.*

Facts in Support of Finding:

- D-1. The proposed parcel map is for residential condominium purposes. The development will comply with all Building, Public Works, and Fire Codes, which are in place to prevent serious public health problems. Public improvements will be required of the developer per Section 19.28.010 (General Improvement Requirements) of the Municipal Code and Section 66411 of the Subdivision Map Act. All ordinances of the City and all Conditions of Approval will be complied with.

Finding:

- E. *The design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision. In this connection, the decision making body may approve a map if it finds that alternate easements, for access or for use, will be provided and that these easements will be substantially equivalent to ones previously acquired by the public. This finding shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to the City Council to determine that the public at large has acquired easements for access through or use of property within a subdivision.*

Facts in Support of Finding:

- E-1. The design of the development will not conflict with easements acquired by the public at large, for access through, or use of property within the proposed development, because there are no public easements located on the property.

Finding:

- F. *That, subject to the detailed provisions of Section 66474.4 of the Subdivision Map Act, if the land is subject to a contract entered into pursuant to the California Land Conservation Act of 1965 (Williamson Act), the resulting parcels following a subdivision of the land would not be too small to sustain their agricultural use or the subdivision will result in residential development incidental to the commercial agricultural use of the land.*

Facts in Support of Finding:

- F-1. The property is not subject to the Williamson Act because the subject property is not designated as an agricultural preserve and is less than 100 acres in area.
- F-2. The site, which is developed for residential use, lies in a residentially zoned area.

Finding:

- G. *That, in the case of a "land project" as defined in Section 11000.5 of the California Business and Professions Code: (1) There is an adopted specific plan for the area to*

be included within the land project; and (2) the decision making body finds that the proposed land project is consistent with the specific plan for the area.

Facts in Support of Finding:

G-1. The property is not a “land project” as previously defined in Section 11000.5 of the California Business and Professions Code because the existing subdivision does not contain 50 or more parcels.

G-2. The project is not located within a specific plan area.

Finding:

H. *That solar access and passive heating and cooling design requirements have been satisfied in accordance with Sections 66473.1 and 66475.3 of the Subdivision Map Act.*

Facts in Support of Finding:

H-1. The proposed parcel map and improvements are subject to Title 24 of the California Building Code that requires new construction to meet minimum heating and cooling efficiency standards depending on location and climate. The Newport Beach Building Division enforces Title 24 compliance through the plan check and inspection process. The existing duplex was constructed in compliance with Title 24.

Finding:

I. *The subdivision is consistent with Section 66412.3 of the Subdivision Map Act and Section 65584 of the California Government Code regarding the City’s share of the regional housing need and that it balances the housing needs of the region against the public service needs of the City’s residents and available fiscal and environmental resources.*

Facts in Support of Finding:

I-1. The proposed parcel map is consistent with Section 66412.3 of the Subdivision Map Act and Section 65584 of the California Government Code regarding the City’s share of the regional housing need. The residential density on the site will remain the same, which allows two units in the R-2 Zoning District. Therefore, the parcel map for condominium purposes will not affect the City in meeting its regional housing need.

Finding:

J. *The discharge of waste from the proposed subdivision into the existing sewer system will not result in a violation of existing requirements prescribed by the Regional Water Quality Control Board.*

Facts in Support of Finding:

J-1. Wastewater discharge into the existing sewer system will remain the same and does not violate Regional Water Quality Control Board (RWQCB) requirements.

Finding:

K. *For subdivisions lying partly or wholly within the Coastal Zone, that the subdivision conforms with the certified Local Coastal Program and, where applicable, with public access and recreation policies of Chapter Three of the Coastal Act.*

Facts in Support of Finding:

K-1. The subject property is not located within the Coastal Zone.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Tentative Parcel Map No. NP2014-006 and Condominium Conversion No. CC2014-004 (PA2014-076), subject to the conditions set forth in Exhibit "A", which is attached hereto and incorporated by reference.
2. The Condominium Conversion and Tentative Parcel Map action shall become final and effective fourteen days after the adoption of this Resolution unless within such time an appeal is filed with the Community Development Director in accordance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

PASSED, APPROVED AND ADOPTED THIS 10th DAY OF JULY, 2014.

EXHIBIT "A"

CONDITIONS OF APPROVAL

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval. (Except as modified by applicable conditions of approval.)
2. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Parcel Map and Condominium Conversion.
3. No more than two-dwelling units shall be permitted on the site.
4. In accordance with the provisions of Chapter 13 of the Newport Beach Municipal Code or other applicable section or chapter, additional street trees may be required and existing street trees shall be protected in place during construction of the subject project, unless otherwise approved by the General Services Department and the Public Works Department through an encroachment permit or agreement.
5. Two-car parking, including one enclosed garage space and one covered or enclosed parking space, shall be provided on site for each dwelling unit per requirements of the Zoning code. All parking spaces shall be maintained clear of obstructions for the parking of vehicles at all times.
6. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
7. Prior to the recordation of the parcel map, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
8. Prior to the final of the building permit for the special inspection, the applicant shall resolve all building safety violations identified in the Condominium Conversion Inspection Report dated June 26, 2014.
9. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Condominium Conversion and Parcel Map including, but not limited to, Condominium Conversion No. CC2014-004 and Tentative Parcel Map No. NP2014-006 (PA2014-076). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether

incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

10. The parcel map shall expire if the map has not been recorded within 24 months of the date of approval, unless an extension is granted by the Planning Director in accordance with the provisions of Section 19.16 of the Newport Beach Municipal Code.

Public Works Conditions

11. Prior to the recordation of the parcel map, the applicant shall pay a park dedication fee for one (1) unit in accordance with the fee amount in effect at the time of recordation.
12. A parcel map shall be recorded. The map shall be prepared on the California coordinate system (NAD88). Prior to recordation of the map, the surveyor/engineer preparing the map shall submit to the County Surveyor and the City of Newport Beach a digital-graphic file of said map in a manner described in Section 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18. **The map to be submitted to the City of Newport Beach shall comply with the City's CADD Standards. Scanned images will not be accepted.**
13. Prior to recordation of the parcel map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County Surveyor in a manner described in Sections 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18. Monuments (1- inch iron pipe with tag) shall be set on each lot corner unless otherwise approved by the Subdivision Engineer. Monuments shall be protected in place if installed prior to completion of construction project.
14. All improvements shall be constructed as required by Ordinance and the Public Works Department.
15. An encroachment agreement is required for any private improvements in the public right-of-way and shall comply with City Council Policy L-6 (Private Encroachments in Public Rights-of-Way).
16. Each dwelling unit shall be served by its individual water meter and sewer lateral and cleanout. Each water meter and sewer cleanout shall be installed with a traffic-grade box and cover. Water meters and sewer cleanouts shall be located within the public right-of-way.
17. An encroachment permit is required for all work activities within the public right-of-way.

18. The existing damaged curb, gutter, and sidewalk along the Poinsettia Avenue frontage shall be reconstructed. Limits of reconstruction shall be determined by the Public Works Inspector.
19. In case of damage done to public improvements surrounding the development site by the private construction, additional reconstruction within the public right-of-way could be required at the discretion of the Public Works Inspector.
20. All on-site drainage shall comply with the latest City Water Quality requirements.
21. All above ground improvements shall stay a minimum 5-foot clear within the alley setback, including planting.
22. Existing street trees on Poinsettia Avenue shall be protected in place. Removal of street trees shall require the approval of the Parks and Trees Division of the Municipal Operations Department and the Public Works Department.

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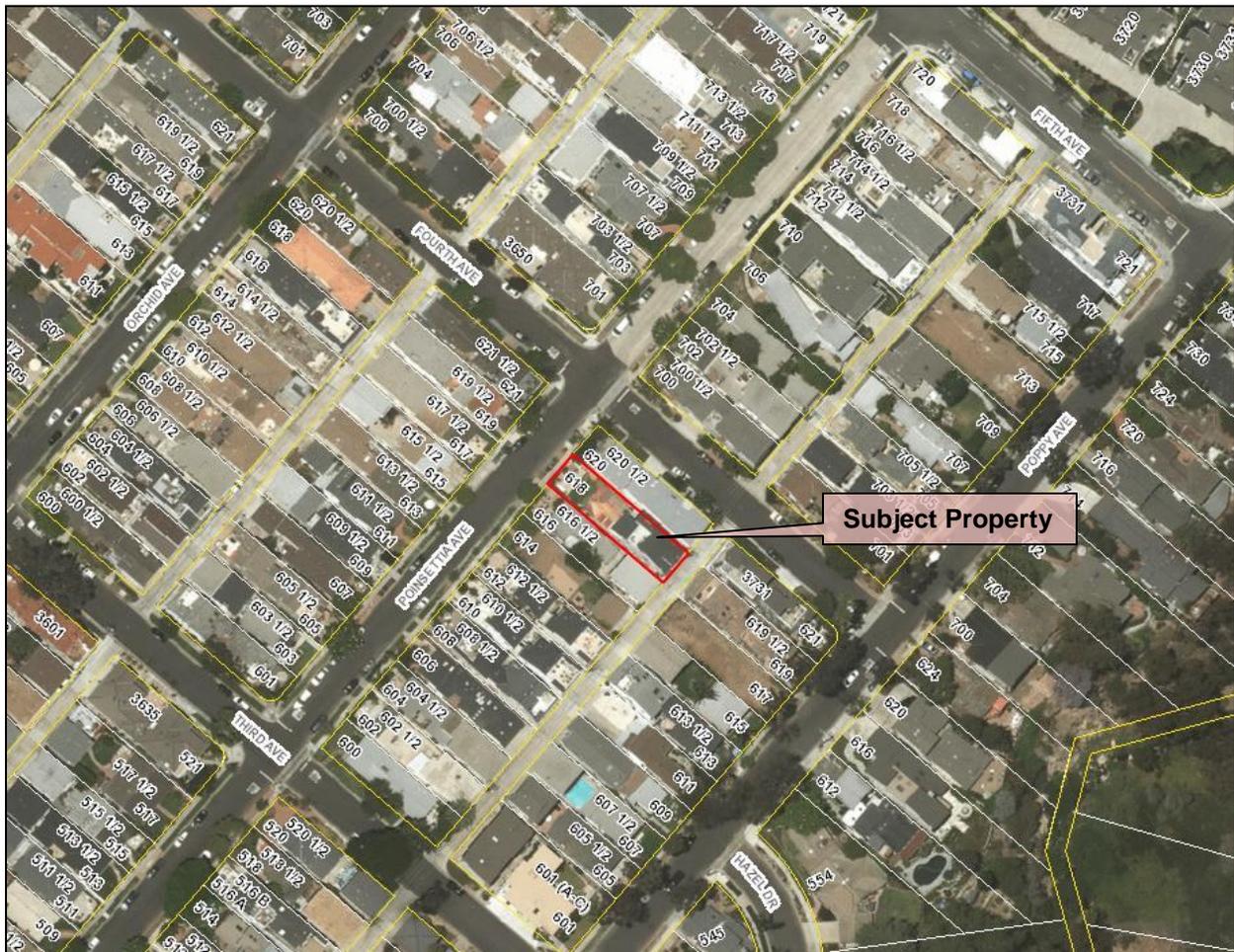
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Attachment No. ZA 2

Vicinity Map

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VICINITY MAP



Condominium Conversion No. CC2014-004
Tentative Parcel Map No. NP2014-006
PA2014-076

618 and 618 ½ Poinsettia Avenue

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Attachment No. ZA 3

Project Plans

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ABBREVIATIONS

A.B.	ANCHOR BOLT	D.P.	DAMP PROOFING	INT.	INTERIOR	RM.	ROOM
A/C	AIR CONDITIONING	DR.	DOOR	INV. EL.	INVERT ELEVATION	RO.	ROUGH
A.C.	ASPHALT	DRESSG.	DRESSING	JAN. CLO.	JANITOR'S CLOSET	R/O	ROUGH OPENING
ACOUS.	ACOUSTIC	D.S.P.	DOWNSPOUT	JST.	JOIST	R/S	RUBBER
AC. T.	ACCESS TILE	D.W.	DRY STANDPIPE	JT.	JOINT	RUB.	RUBBER
A.D.	ACCESS DOOR	DWG.	DRAWING OR DRAWINGS	K.D.	KILN DRIED	RUMD.	ROUND (OR DIAMETER)
A.D.	AREA DRAIN	DUR.	DRAWER	KIT.	KITCHEN	S	SOUTH
ADJ.	ADJUSTABLE	Ø	DIAMETER (OR ROUND)	K.P.	KICK PLATE	S. & P.	SHelf AND POLE
A.F.F.	ADJUSTABLE ABOVE FINISH FLOOR		DITTO	LAD.	LADDER	S.A.G.	SUPPLY AIR
AGGR.	AGGREGATE	E	EAST	LAM.	LAMINATE	S.C.	SOLID CORE
AIA	AMERICAN INSTITUTE OF ARCHITECTS	EA.	EACH	LAM.	LAMINATE	SCHED.	SCHEDULE
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	E.C.	EVAPORATIVE COOLER	LAV.	LAVATORY	SCUP.	SCUPPER
AL.	ALUMINUM	E.G.	EXISTING GRADE	LBS. (or#)	POUNDS	SDP.	SOAP DISPENSER
ALT.	ALTERNATE	E.J.	ELEVATION	L.DG.	LANDING	SECT.	SECTION
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE INCORPORATED	EL./ELEV.	ELECTRICAL	LEV.	ELEVATION	SEL. STR.	SELECT (TOP S.S.)
A.P.	ACCESS PANEL	EMER.	EMERGENCY	LIN.	LINEAR	S.F.	SHEET
APPROX.	APPROXIMATE	E.N.	EDGE NAILING	LIN. FT.	LINEAR FOOT	SHR.	SHOER
A.S.F.	ASPHALT SATURATED FELT	ENCL.	ENCLOSURE	LIV. RM.	LIVING ROOM	SHT.	SHEET
ASPH.	ASPHALT	ENT.	ENTRANCE/ENTRY	L.P.	LOW POINT	SHTG.	SHEATHING
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	E.P.	ELECTRIC PANEL	L.T.	LAUNDRY TRAY	SIM.	SIMILAR
		EQ.	EQUAL	LUM.	LIGHT	SL. GL.	SLOPE SLIDING GLASS
		EQUIP.	EQUIPMENT	LUM.	LUMINOUS	SLPG.	SLOPING
		EST.	ESTIMATE	LVR.	LOUVER	SM. DET.	SMOKE DETECTOR
		E.W.	EACH WAY	M.	MATERIAL	SPEC.	SPECIFICATION
		E.W.M.M.	ELECTRICALLY	M.A.	MACHINE	SQR.	SQUARE
				M.B.	MACHINE BOLT	SQ. FT.	SQUARE FOOT or
				M.C.	MEDICINE CABINET		SQUARE FEET
				M.E.	METAL	S.S.	SINGLE STRENGTH
				M.F.	METAL FINISH	S.S.K.	SERVICE SINK
				M.G.	METAL GROUND	S.STL.	STAINLESS STEEL
				M.H.	METAL HANGING	ST.	STREET
				M.I.	METAL INSULATION	STA.	STATION
				M.L. & P.	METAL LATH AND PLASTER	STD.	STANDARD
				M.L.D.	METAL LATH AND DOOR	STGR.	STAGGER
				M.L.D.	METAL LATH AND DOOR	STL.	STEEL
				M.L.D.	METAL LATH AND DOOR	STN.	STONE
				M.L.D.	METAL LATH AND DOOR	STOR.	STORAGE
				M.L.D.	METAL LATH AND DOOR	STRUC.	STRUCTURE
				M.L.D.	METAL LATH AND DOOR	STRUC.	STRUCTURE
				M.L.D.	METAL LATH AND DOOR	SUSP.	SUSPENDED
				M.L.D.	METAL LATH AND DOOR	S.W.R.	SIDE WALL
				M.L.D.	METAL LATH AND DOOR	SYN.	SYMMETRICAL
				M.L.D.	METAL LATH AND DOOR	SYN.	SYNTHETIC
				M.L.D.	METAL LATH AND DOOR	SYS.	SYSTEM
				M.L.D.	METAL LATH AND DOOR	S4S	SURFACED FOUR SIDES
				M.L.D.	METAL LATH AND DOOR	T.	TILE
				M.L.D.	METAL LATH AND DOOR	T & B	TOP AND BOTTOM
				M.L.D.	METAL LATH AND DOOR	T & G	TONGUE AND GROOVE
				M.L.D.	METAL LATH AND DOOR	T.B.	TIMBER
				M.L.D.	METAL LATH AND DOOR	T.C.	TOP OF CURB/TOP OF CONCRETE
				M.L.D.	METAL LATH AND DOOR	TEL.	TELEPHONE </td
				M.L.D.	METAL LATH AND DOOR	TEMP.	TEMPERED
				M.L.D.	METAL LATH AND DOOR	TER.	TERRAZZO
				M.L.D.	METAL LATH AND DOOR	THK.	THICK OR THICKNESS
				M.L.D.	METAL LATH AND DOOR	THRES.	THRESHOLD
				M.L.D.	METAL LATH AND DOOR	T.O.	TRIMMED OPENING
				M.L.D.	METAL LATH AND DOOR	T.P.	TOILET PAPER
				M.L.D.	METAL LATH AND DOOR	T.P.	TOP OF PAVEMENT
				M.L.D.	METAL LATH AND DOOR	TRAN.	TRANSOM
				M.L.D.	METAL LATH AND DOOR	TRD.	TREAD
				M.L.D.	METAL LATH AND DOOR	T.S.	TOP OF
				M.L.D.	METAL LATH AND DOOR	T-SH.	TOP OF SHEATHING
				M.L.D.	METAL LATH AND DOOR	T-V.	TOP OF VENTILATION
				M.L.D.	METAL LATH AND DOOR	T.W.	TOP OF WALL
				M.L.D.	METAL LATH AND DOOR	TYP.	TYPICAL
				M.L.D.	METAL LATH AND DOOR	U.B.C.	UNIFORM BUILDING CODE
				M.L.D.	METAL LATH AND DOOR	UNFIN.	UNFINISHED
				M.L.D.	METAL LATH AND DOOR	UN.N.O.	UNLESS NOTED
				M.L.D.	METAL LATH AND DOOR	UR.	URINAL
				M.L.D.	METAL LATH AND DOOR	V.	VENT
				M.L.D.	METAL LATH AND DOOR	VAR.	VARIABLE
				M.L.D.	METAL LATH AND DOOR	V.C.P.	VITRIFIED CLAY PIPE
				M.L.D.	METAL LATH AND DOOR	VEN.	VEENEK
				M.L.D.	METAL LATH AND DOOR	VENT.	VENTILATE OR VENTILATOR
				M.L.D.	METAL LATH AND DOOR	VERT.	VERTICAL
				M.L.D.	METAL LATH AND DOOR	VEST.	VESTIBULE
				M.L.D.	METAL LATH AND DOOR	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
				M.L.D.	METAL LATH AND DOOR	VOL.	VOLUME
				M.L.D.	METAL LATH AND DOOR	V.T.R.	VENT THROUGH ROOF
				M.L.D.	METAL LATH AND DOOR	V.T.M.	VENT THROUGH WALL
				M.L.D.	METAL LATH AND DOOR	W	WEST
				M.L.D.	METAL LATH AND DOOR	W/O	WITH OR WITHOUT
				M.L.D.	METAL LATH AND DOOR	W.C.	WATER CLOSET
				M.L.D.	METAL LATH AND DOOR	W.D.	WOOD
				M.L.D.	METAL LATH AND DOOR	W.F.	WIDE FLANGE
				M.L.D.	METAL LATH AND DOOR	W.H.	WATER HEATER
				M.L.D.	METAL LATH AND DOOR	W.I.	WROUGHT IRON
				M.L.D.	METAL LATH AND DOOR	WID.	WIDTH
				M.L.D.	METAL LATH AND DOOR	W.P.	WEATHERPROOF
				M.L.D.	METAL LATH AND DOOR	W.P.G.	WATERPROOFING
				M.L.D.	METAL LATH AND DOOR	W.R.	WATER RESISTANT
				M.L.D.	METAL LATH AND DOOR	W.S.	WOOD SCREW
				M.L.D.	METAL LATH AND DOOR	W.T.	WATERTIGHT
				M.L.D.	METAL LATH AND DOOR	WT.	WEIGHT

PROJECT SUMMARY

SCOPE: CONSTRUCT REAR UNIT & GARAGES & CARPORT
 OF WORK *EXISTING FRONT UNIT TO REMAIN
 DEMO EXISTING GARAGE - 400 SF.
 NEW REAR UNIT:
 1st FLR - 40 SF.
 2nd FLR - 93 SF.
 3rd FLR - 45 SF. (15 BATH)
 TOTAL REAR UNIT = 178 SF.
 GARAGES = 480 SF.
 * ENCLOSED TOTAL = 198 SF.
 CARPORT = 304 SF.
 2nd FLR DECK = 192 SF.
 3rd FLR DECK = 182 SF.
 NEWLY ENCLOSED FRONT UNIT AREA = 40 SF.
 EXISTING FRONT UNIT AREA = 108 SF.
 FRONT UNIT TOTAL = 110 SF.

INDEX OF DRAWINGS

- T-1 TITLE SHEET & INDEX
- GN-1 GENERAL NOTES
- F-2A ENERGY COMPLIANCE FORMS
- C-1 SURVEY & TOPO
- A-1 GRADING & SITE PLAN
- A-2 FLOOR PLAN & SECTIONS
- A-3 FRAMING PLAN & FOUNDATION
- A-4 EXTERIOR ELEVATIONS
- A-5 ELECTRICAL PLAN
- D-1 ARCHITECTURAL DETAILS
- S01 STRUCTURAL DETAILS
- S02 STRUCTURAL DETAILS
- HFX-1 HARDY FRAME DTLS.
- HFX-2 HARDY FRAME DTLS.

CODE ANALYSIS

CONTRACT = R-3/U-1
 BLDG. TYPE = VB
 2007 CBC
 2007 CMC
 2007 CPC
 2007 CEC

LEGAL DESCRIPTION

LOT 20
 OF BLOCK 642 OF CORONA DEL MAR TRACT
 CITY OF NEWPORT BEACH, COUNTY OF ORANGE.

OWNER

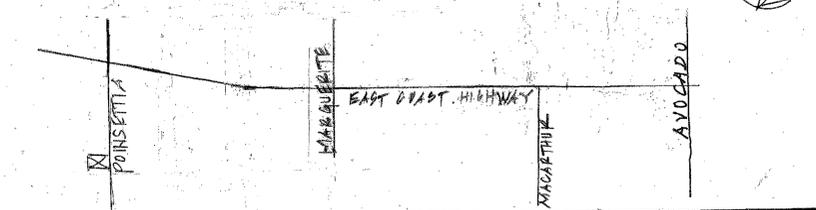
ROBERT VAUGHAN
 618 POINSETTIA
 CORONA DEL MAR, CA
 949/611-6969

CONSULTANTS

SURVEY: RON MEYERMA
 23010 LAKEFOREST DR, #409
 LA GUNA HILLS, CA 92653
 949/858-2824

STRUCTURAL: ARX ENGINEERS
 1520 BROOKHOLLOW, #45
 SANTA ANA, CALIF 92705
 714/662-0510

VICINITY MAP



CITY OF NEWPORT BEACH BUILDING DEPARTMENT
 APPROVAL OF THESE PLANS DOES NOT CONSTITUTE EXPRESS OR IMPLIED
 AUTHORIZATION OF THE CITY OF NEWPORT BEACH TO CONSIDER THESE PLANS
 AS A BASIS FOR ANY OTHER ACTION OR AS A BASIS FOR ANY OTHER
 CONSIDERATION OF THE CITY OF NEWPORT BEACH. THE CITY OF NEWPORT
 BEACH IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS
 OR FOR ANY CONSEQUENCES THAT MAY RESULT FROM THE USE OF THESE
 PLANS. THE CITY OF NEWPORT BEACH IS NOT RESPONSIBLE FOR ANY
 DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE
 INCURRED BY ANY PARTY AS A RESULT OF THE USE OF THESE PLANS.
 THE CITY OF NEWPORT BEACH IS NOT RESPONSIBLE FOR ANY
 DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE
 INCURRED BY ANY PARTY AS A RESULT OF THE USE OF THESE PLANS.

NOTES:
 * POOLS, SPAS, FENCES, PATIO COVERS, SITE RET. WALLS, DEMOLITION, GRADING/PRAIRAGE
 REQUIRE SEPARATE PERMITS.
 * SEPARATE UTILITIES REQUIRED FOR EACH DWELLING UNIT.
 * SEPARATE SUBMITTALS: I.E. SHOP DRAWINGS, DETAILS, REPORTS, MEMO TRUSS DRAWINGS, ETC.
 * DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR
 ENGINEER OF RECORD, AND CERTIFIED PRIOR TO SUBMITTAL FOR
 PLAN REVIEW.

PLAN CHANGES

PROJECT: 618 POINSETTIA CORONA DEL MAR

DRAWING CONTENTS: TITLE SHEET

DRAWN BY: DATE

JOB NO.

DRAWING NUMBER: T-1

CHANGE NUMBER: 1

DATE: 10/22/10

#0296-2010-1022-10

GENERAL NOTES AND SPECIFICATIONS

For convenience of reference and to facilitate the letting of contracts and subcontracts, the specifications are separated into titled sections. Such separations shall not operate to make the architect an arbiter to establish finality between the Contractor and Subcontractors.

CONTENTS:

Table with 2 columns: DIVISION NUMBER and TITLE. Lists divisions 1 through 16 including General Requirements, Site Work, Concrete, Masonry, Metals, Structural and Miscellaneous, Carpentry, Moisture Protection, Doors, Windows and Glass, Finishes, Specialties, Equipment, Furnishings, Special Construction, Conveying Equipment, Mechanical, and Electrical.

DIVISION 1 - GENERAL REQUIREMENTS

SECTION 1-A ARCHITECT'S STATUS:

The Architect does not guarantee the Contractor's performance, and no provisions of the contract documents shall relieve the Contractor from any liability due to negligence, incompetence or errors of omissions or commission of the Contractor.

SECTION 1-B CODES:

All codes having jurisdiction shall be observed strictly in the construction of the project, including all applicable city and county building, zoning, electrical, mechanical, plumbing, and fire codes. Contractor shall verify all code requirements before commencement of construction and bring any discrepancies between code requirements and the construction documents to the attention of the Architect.

SECTION 1-C ERRORS AND OMISSIONS:

Errors and omissions which may occur in Contract Documents shall be brought to the attention of the Architect in writing and written instructions shall be obtained before proceeding with the work. The Contractor will be held responsible for the results of any errors, discrepancies, or omissions which the Contractor failed to notify the Architect of before construction and/or fabrication of the work.

SECTION 1-D JOB CONDITIONS:

The Contractor and Sub-contractor shall verify all dimensions and job conditions at the job site sufficiently in advance of work to be performed to assure the orderly progress of the work.

SECTION 1-E WORK NECESSARY TO COMPLETE CONSTRUCTION:

It is the purpose of these plans and specifications to describe a complete and finished project other than items marked "I.C." (Not in contract)

SECTION 1-F CLEAN UP:

Contractors shall maintain the premises clean and free of all trash, debris and shall protect all adjacent work from damage, soiling, paint overspray, etc. All fixtures, equipment, glazing, floors, etc. shall be left clean and ready for occupancy upon completion of the project.

DIVISION 2 - SITEWORK

SECTION 2-A EARTHWORK: SEE CIVIL ENGINEERS BRADING PLANS.

SOIL REPORT:

Perform all work in this section in conformance with the Final Soils, Compaction and Geological Reports. CUTS TO BE MADE AT 10' INTERVALS OR EXCAVATION 5' OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, IF REQUIRED, OBTAIN PERMIT FROM STATE OF CALIF., DIVISION OF INDUSTRIAL SAFETY.

DIVISION 3 - CONCRETE

SECTION 3-A CONCRETE WORK (CAST-IN-PLACE):

CONCRETE: 2500 PSI at 28 days, 7.5 gallons water maximum per sack of cement (U.N.D.)

PORTLAND CEMENT: ASTM C-150 Type I or II. Low alkali, mill tested and certified. Use Type V cement for soil containing sulphate concentrations of more than 0.2 percent.

WATER: From domestic sources, clean and free from all organic or other deleterious materials.

AGGREGATES: ASTM C-33

SAWD: ASTM C-33

ADMIXTURE: Suncem Red Label

FOUNDATIONS: Install as included in these drawings or as amended by the CONTRACTOR'S RESPONSIBILITY INSPECTION & 3000 PSI CONCRETE.

SECTION 3-B REINFORCING STEEL:

WORKMANSHIP: All work shall comply with the requirements set forth in the "Manual of Standard Practice for Detailing Reinforced Concrete Structures," published by the American Concrete Institute except where more exacting requirements are specified in the Contract Documents.

REINFORCING STEEL:

- A. FOOTINGS, SLABS AND WALLS: ASTM A-615, Grade 60 (#4 & SMALLER) fy = 40ksi; COILINGS AND PILEHEADS: ASTM A-615, Grade 60 (#6 & GREATER) fy = 60ksi. B. MINIMUM COVERAGE: Minimum 2" concrete for steel where concrete is formed, 3" where not formed; 1-1/2" from top surface of slab unless otherwise noted on plans.

REINFORCING MESH: On-grade building slabs shall be ASTM A-185 electrically welded wire fabric, sizes and gauges as shown on the drawings.

DIVISION 4 - MASONRY

SECTION 4-A BRICK MASONRY AND PAVERS:

GENERAL: Provide labor, materials, equipment and other services to complete exterior brick masonry where indicated on drawings. Brick and pavers as selected by Architect conforming to ASTM C62 Grade MM size as indicated on drawings. Mortar shall be colored using colors by "Admixtite Inc.," as selected by Architect. Use "Mortar-Fat" as distributed by Gibco Inc., Tulsa, Oklahoma in lieu of lime. Size and pattern as indicated on drawings. Installation as specified in Section "CONCRETE UNIT MASONRY" and Tile Council of America "Handbook Method" F112-77 for first floor and F141-77 for second floor installations.

SECTION 4-B CONCRETE UNIT MASONRY:

COORDINATION: Coordinate with all other Trades whose work relates to block masonry installation for placing of all required blocking, sub-framing, backing, furring, etc., to insure proper locations.

PLACEMENT OF ITEMS FURNISHED BY OTHER TRADES: Place anchors, bolts, pipes, sleeves, nailers, blockouts, rebar, fittings, conduits, etc., provided by other trades within masonry. Cooperate with trades involved.

MEASUREMENTS: Verify all dimensions shown on drawings by taking field measurements; proper fit and attachment of all block masonry is required.

GROUTS: Mix one part Portland cement, not more than three parts sand and not more than two parts 3/8" maximum size pea gravel by volume, and shall have a minimum compressive strength of 2000 PSI at 28 days of age.

MORTAR - MIX: ASTM C-270 consisting of one part Portland cement, 1/4 part Gibco Inc. "Mortar-Fat" not more than four parts sand, all by volume. Mortar shall have a minimum compressive strength of 1800 PSI at 28 days of age. No fire clay permitted in mortar used for structural units. All materials for mortars shall be measured by volume, sand and cement mixed dry, "Mortar-Fat" and then water added to bring to the proper consistency for use. No mortars that have stood for more than one hour shall be used.

CONSTRUCTION (GENERAL):

A. GENERAL: Walls shall be straight, plumb, and true, with all courses true to line and level, built to dimensions shown. Cells shall be filled solid with grout as indicated. Blocks shall be laid up with waterproof Type S mortar. Clean units before placing. Use masonry saw for cutting.

B. ALIGNMENT OF VERTICAL CELLS: Masonry shall be built to preserve the unobstructed vertical continuity of the cells. The vertical alignment shall be sufficient to maintain a clear, unobstructed vertical opening not less than 3 inches in all directions. Lay units clean and dry.

C. CLEANOUTS: Cleanout opening shall be provided at the bottoms of all cells to be filled at each lift or pour of grout, when such lift or pour of grout is in excess of 4 feet in height. Cleanouts shall be sealed after inspection and before grouting.

BLOCK MASONRY UNITS: Grade "M" hollow load-bearing units per ASTM C-90. (See 1506B.C.)

REINFORCING STEEL: Lap reinforcing not less than 30 bar diameters at splice points. Stagger splices in wall reinforcing. Lap horizontal reinforcing a minimum of 18 inches around corners. Horizontal reinforcing steel shall be carefully installed in bond beams, lintels, etc., as the work progresses. Vertical reinforcing shall be placed prior to laying the wall and shall be held in place by standard reinforcing supports. Horizontal bars shall be tied to vertical bars as the work progresses and shall be embedded in grout. Placing of horizontal reinforcing in joints or mortar will not be permitted.

DIVISION 5 - METALS, STRUCTURAL AND MISCELLANEOUS

SECTION 5-A MISCELLANEOUS AND STRUCTURAL METALS:

WORKMANSHIP: Work shall comply with A.I.S.C. "Manual of Steel Construction" latest edition, unless more exacting requirements are specified in the Contract Documents. ALL STEEL SHALL BE ERECTED BY A LICENSED FABRICATOR.

STRUCTURAL STEEL: ASTM A-36. BURNED UP BEAMS: ASTM A992 (fy = 50ksi)

PIPE: Standard steel pipe - ASTM A53, Grade B or as specifically noted on the drawings.

MISCELLANEOUS ITEMS: Miscellaneous metal items and their related components are not necessarily individually described. The most important and those requiring detailed description are specified. Miscellaneous items not described shall be furnished in accordance with the intent of the drawings and specifications and as required to complete the work. FIELD WELDING REQUIRES CONTINUOUS INSPECTION AND SHALL BE DONE BY LICENSED WELDER. USE DEPUTY INSPECTOR'S APPROVED BOLTS: TYPE A-307.

DIVISION 6 - CARPENTRY

SECTION 6-A ROUGH CARPENTRY

REFERENCED SPECIFICATIONS AND STANDARDS:

A. DOUGLAS FIR (DF): AMERICAN SOFTWOOD LUMBER STD. PS-20-70 (F.C.B.C.)

B. DOUGLAS FIR PLYWOOD: Product Standard PS-1-95 and rules for DFPA grade trademarks of American Plywood Association's C.B.C.

C. MARKING: Wood and timber shall be marked with its grade and plywood with its grade trademark in accordance with the referenced standards. A piece with defects rendering it unsuitable for use intended shall not be used regardless of grading.

LUMBER GRADING: Unless otherwise noted lumber shall conform to the following:

A. Floor joists, headers, lintels, ceiling joists and rafters shall be S4S seasoned No. 2 grade or better Douglas Fir - unless otherwise noted on the drawing.

B. Concealed floor beams, roof beams and posts shall be S4S seasoned No. 1 Douglas Fir - unless otherwise noted on the drawings.

C. Exposed floor beams, roof beams and posts shall be saw-graded seasoned No. 1 Douglas Fir free of heart-center unless otherwise noted on the drawings.

D. All studing, blocking, furring and plates shall be S4S seasoned "stud" grade Douglas Fir - unless otherwise noted on the drawings.

E. Exterior wood trim shall be saw sized seasoned select tight knot Cedar or Pine - unless otherwise noted on the drawings.

F. Exterior wood siding shall be saw sized seasoned select tight knot Cedar or Pine or better in patterns as shown on the drawings.

G. Exposed eave and rake sheathing shall be select tight knot Cedar or Pine or better (see plan).

H. Roof decking shall be plywood sheathing exterior grade (see plan).

I. Plywood sheathing shall be Group 1 exterior (C-D) INT-DFPA, C-C EST DFPA, Structural 1 (C-D) INT-DFPA or Structural 1 CC EXT-DFPA.

1. Subfloors shall be "A-C" plugged, Group 2 or 3, 5/8" T & G underlayment grade. (See plan)

2. Wall sheathing shall be 3/8" thick, unless otherwise noted. (See plan)

J. G.W. I-AM'S 3 SIMPLE SPANS 24F-V4, CANTILEVER 24F-VB SUBFLOORING INSTALLATION NOTES: Plywood (5/8") shall be secured to framing members with adhesive (B.T. Goodrich "Plasticon 400" or equal) and 8d common or 6d deformed shank nails spaced not over 12" o.c. at ridges and intermediate supports unless noted otherwise. Wood floors shall be level to within 1/8" in 48" and 1/4" in 96".

HANGERS, FRAMING ANCHORS AND FASTENERS: Stamped and fabricated steel of the type indicated as required. Nails to be those furnished by manufacturer for this specific use. Nails shall be fully driven in all holes in the anchor. "Teco", "Trifast", "Simpson" or "Artcor," conforming to the requirements indicated shall be provided. All hangers and anchors shall be galvanized or shop painted with rust inhibitive paint.

CONNECTIONS: All nails in strap connectors shall be 16d nails in all nail holes.

NAILS: All wood framing members shall be well nailed in accordance with the Code sections applicable. All exterior nails shall be galvanized. Minimum nailing for framing shall be PER THE REQUIREMENT (2007) C.B.C.

POWER DRIVEN STUDS FOR ANCHORING WOOD PLATES: For non-structural interior partitions in lieu of anchor bolts and washers. Place at 32 inches on centers and not more than 9 inches from end of member at a joint or corner for plates or sills. Studs shall be driven to penetration of not less than 1 1/2" nor more than 1 3/4" using a power actuated cut meeting requirements of Cal-OSHA.

STUD WALLS: 2 x 4 at 16" o.c. unless otherwise noted, plumb to 1/8" in 8'-0", straight 1/8" in 16'-0". All exterior studs shall be full length to ceilings. Unbraced studs over 14'-0" and less than 20'-0" shall be 2 x 6.

HEADERS AND BEAMS:

A. 1 1/2" minimum bearing, and shall be of size designed on plans, all beams installed with crown up unless otherwise noted. Cantilevered beams shall be installed with crown down.

B. Provide 4 x 4 posts or 2 - 2 x 4 studs minimum under all beams and headers unless otherwise noted.

C. All subfills, over 8'-0" in length shall be double 2 x 4.

D. Double 2 x 4's, spiked together, may be used in lieu of 4 x 4 posts, where contained within walls unless specifically noted otherwise on plans.

WALL BRACING: All walls shall be temporarily braced until joists or rafters are nailed in place; sufficient additional braces shall be also employed to maintain the plumbness, squareness and straightness of all walls until the construction has advanced to a point where all portions of the building are held rigidly in the proper position. Diagonal brace all exterior and interior load-bearing walls at corners and not less than every 25 lin. ft., unless otherwise noted on plans, refer to floor plans for shearwall bracing and let-in braces.

FIREBLOCK AND BLOCKING: (Maximum concealed space - 10'-0") and at mid-height. Ceiling cones, soffit cones and floors, as well as soffits. Block at 2' o.c. behind all siding. Block mid-height all walls to receive stucco.

PLATES: Lap top plates minimum 4'-0". Provide Simpson Strong Tie St-21 (16 Ga. 1 1/2" x 11-5/8") at plates where lags are not possible. Interior plates shall be bolted with approved driven studs shot into concrete as noted above.

PRESERVATIVE-TREATED LUMBER: Install pressure treated lumber in contact with concrete.

BUILDING PAPER: Federal Specification UU-8790. Install under exterior siding and trim and carefully apply so as to form a watertight membrane. Each course of paper shall overlap the course beneath it 6" minimum. Where paper meets any opening the paper shall be carefully lapped over the frame to prevent the passage of water behind the frame. Install salskraft paper at exterior door and window frames.

SECTION 6-B FINISH CARPENTRY:

MILLWORK: Manufacture millwork and casework per Manual of Millwork of Woodwork Institute of California, custom grade unless noted otherwise.

INSTALLATION: Install all shelving, casework, millwork, doors, hardware, railing, trim, counters, utility backboards and other finish carpentry.

SECTION 6-C INSULATION: Sbsi shall be provided and installed per Title 24, California Administrative Code. Dwelling units shall receive a minimum of R19 blanket insulation at roofs and R13 at walls, unless noted otherwise, provide thermal insulation in all exterior stud walls, extending full height of walls, fitted tightly between studs.

DIVISION 7 - MOISTURE PROTECTION

SECTION 7-A ROOFING AND MEMBRANES:

CEGAR SHINGLE ROOF: Number 1 grade; red Cedar shingles; 5" to the weather, random joints. Apply over 1 x 6 sheathing spaced @ 9" o.c. (apply over plywood sheathing where occurs). See plans for fire retardant treated shingles where occurs.

CLAY TILE/CONCRETE TILE (MIN. CLASS A) (PER ICC STD.)

1. Roof tiles shall be installed as per manufacturer's specifications. Weight, color and shape to be approved by Architect and/or owner.

2. All conc. tile roofs shall include the installation of hurricane clips or equivalent hold down devices on the first course of eave tiles and all hip and ridge tiles with a minimum of 2-6d nails per clip.

3. Concrete tile roof - 3" head lap 2/8" lb. felt lapped at all joints, 26 gauge G.S. valley flashing

4. Valley tiles shall be cut/breaking tiles at valley will not be accepted)

5. Openings through tiles for vents, etc., shall be adequately supported by additional blocking or framing as required. Flashing around pipes, vents, flues, chimneys, etc. shall be of soft aluminum, or other approved flexible flashing material and shall be formed to match contours of tile.

SECTION 7-B SHEET METAL:

MEASUREMENTS: Verify all dimensions shown on drawings by taking field measurements; proper fit and attachment on all parts is required.

STANDARDS: All work included in this section shall be performed in accordance with the Recommendation contained in the latest edition of the manual "Suggested Specifications for Architectural Sheet Metal Work," published by the Sheet Metal and Air Conditioning Contractor's National Association.

ZINC-COATED (GALVANIZED) STEEL: (Called "galvanized iron" hereinafter and on drawings) conform to Federal Spec. QQ-575A, Type 1 Class A, either galvanized or bonderized, ASTM-A93. Coating class 1.50 oz. per Sq. ft. Unless otherwise indicated, all metal 26 gauge.

VALLEY FLASHING: 26 gauge galvanized iron, 18" wide for shingles, 24" wide for shakes (1 1/2" high) raised center diverter. The center of all flashings for all through roof vents and all electrical service connections, shall not be less than 16" from center of any valley.

COMBUSTION AIR: Shall be taken from attic space. Attic to receive 2 rectangular vents spaced for cross ventilation. Ventilation required: 2 Sq. inches per 1000 B.T.U. With 200 Sq. inches minimum. Openings shall be covered with 20" non-corrosive mesh screen.

ATTIC VENTILATION: Ventilating area openings shall be not less than 1/50 of attic space except area may be 1/300 provided at least 50 percent of required area is provided in upper portion of space, not less than 3" above eave or cornice vents (BACK WIRE MESH WITH 1/8" MIN. SPA. OPENINGS) WEEP SCREENS: AT STUCCO FINISHES, USE 26 GA. G.I. SCREENS, MIN. 4" ABOVE GRADE & 1" ABOVE EXTERIOR FINISH SURFACE

DIVISION 8 - DOORS, WINDOWS AND GLASS

SECTION 8-A WOOD DOORS:

STANDARDS: All doors shall comply with the requirements of the Woodwork Institute of California, standard grades; Title 24, California Administrative Code.

EXTERIOR DOORS:

A. FLUSH WOOD DOORS: 1 3/4" solid core, flush face, paint grade tempered Masonite face, unless otherwise noted.

B. ENTRY DOORS: See drawings.

C. PRESH OPENINGS: SHALL HAVE TEMPERED GLASS & BE ETC. MARKED AS SUCH.

INTERIOR DOORS:

A. PASSAGE DOORS: 1 3/8" hollow core, paint grade, Masonite face, unless otherwise noted. (UPE & PANEL COLONIST) UNLESS NOTED OTHERWISE (SEE DRAWING)

B. WARDROBE DOORS: Shall be Glid-e-all or approved equal with Glid-e-all #VEN 177-1 or Acme #4000 Series hardware or 1-1/8" or 1-3/8" hollow core, flush painted Masonite doors, unless otherwise noted. OR USE WARDROBE DOOR HARDWARE DOORS

SECTION 8-B SLIDING DOORS AND WINDOWS:

SLIDING WINDOWS: WOOD OR VINYL WITH nail-on fin unless otherwise noted. (ALL SHALL BE DUAL GLAZED)

SLIDING DOORS: WOOD OR VINYL WITH nail-on fin unless otherwise noted. (ALL SHALL BE DUAL GLAZED)

SCREENS: Provide 1/2" framed fiberglass screen at each open vent.

GLASS: Shall be sized in conformance with C.B.C. Tempered glass as required by C.B.C. AND SHALL BE ETC. MARKED AS SUCH.

STANDARDS: Title 24, California Administrative Code; Safety Standard for Architectural Glazing Materials (16 CFR1201) issued by the Consumer Product Safety Commission & 2007 C.B.C.

FLASH ALL EXTERIOR OPENINGS PER C.B.C. USE 26 GA. G.I. HEAD FLASHING @ 2" MIN. THICK @ SIDES AND BOTTOM. OPENINGS: BOTTOM WANS. USED FOR EGRESS SHALL HAVE A NET CLEAR OPENING AREA OF NOT LESS THAN 5.7 SQ. FT. @ 6'0" (IF CLEAR) AND HAVE A CLEAR OPENING WIDTH OF 20 INCHES MIN.

DIVISION 9 - FINISHES

SECTION 9-A GYPSUM DRYWALL CONSTRUCTION:

STANDARDS: All work specified herein shall be in accordance with "American Standard Specifications for the Application and Finishing of Gypsum Wallboard", as approved by the American Standards Association, latest edition; applicable parts thereof are hereby made a part of this specification except where more stringent requirements are called for in this specification. In local codes, or by the manufacturer of the gypsum wallboard, whose requirements shall be followed.

GYPSUM WALLBOARD: ASTM-C36 with recessed longitudinal edges. Thickness will be as called for in the drawings. USE "BULLHORN" CORNERS.

NAILS: Annular ringed nails, ASTM C-380 1 3/8" or 1 1/2". Nailing shall be inspected and approved by the Building Department prior to taping joints.

SECTION 9-B LATHING AND PLASTERING:

MATERIALS:

A. REFERENCE SPECIFICATIONS: Lathing materials and their application and plaster materials and their application shall be in strict accordance with the applicable sections of the "Handbook of Recommended Specifications for Lathing, Furring, and Plastering", of the National Foundation for Lathing and Plastering Inc.

B. WIRE MESH: 1 1/2" mesh, seventeen gauge, galvanized before or after weaving, or approved equal.

C. WATERPROOF PAPER: Plaster kraft building paper, Federal Specifications UU-730, or equal (GRADE 1)

* USE 2-LAYERS, WHEN OVER OILY WOOD SURF.

D. METAL LATH: Shall be standard diamond mesh, galvanized weighing three (3) pounds per Sq. ft.

E. RIB LATH: Shall be flat rib, 1/8", 3.4 lbs. per Sq. yard, galvanized.

SECTION 9-C TILE, MARBLE & GRANITE:

STANDARDS: THE INSTITUTE OF AMERICA

APPLICATION: ALL COUNTERTOP WALLS & FLOORS SHALL BE INSTALLED OVER 1" LATH & MARBLE FIBER OVER WATERPROOF PAPER BACKING. MAKE ALL CUTS W/SAWS.

SECTION 9-D SYNTHETIC COUNTER TOPS: Where indicated on interior elevations, shall be cultured marble or corian with splash. Colors will be selected by color coordinator. All pullman tops will be covered with heavy paper and taped securely by installer.

Pullman tops shall have one piece integral type lavatories.

SECTION 9-E RESILIENT FLOORING:

INSTALLATION: Install all work in strict accordance with manufacturer's written instructions and only by Contractors approved by the manufacturer. Apply primer in accordance with recommendations of the manufacturer.

SECTION 9-F PAINTING:

APPLICATION:

A. Application of paint or other coating shall be in strict accordance with manufacturer's directions. Ready-mixed paint shall not be thinned, except as permitted in the application instructions.

B. All exterior and interior surfaces shall receive the painters finish except color coordinated factory finish surfaces.

C. All surfaces to be finished shall be clean and free of foreign materials (dirt, grease, asphalt, rust and etc.).

D. Application shall be in a workmanlike manner providing a smooth surface. Application rate shall be that recommended by the manufacturer. Application may be by brush or roller or by spray if paint is formulated for spray application.

MATERIALS:

A. PAINT: Dunn-Edwards or approved equal.

B. STAIN: Olympic Stain or approved equal.

FINISHES:

A. EXTERIOR WOOD: Two coats stain.

B. EXTERIOR METAL: One coat semi-gloss enamel over one coat metal primer.

C. INTERIOR FINISHES: TWO COATS FLAT OR ENAMEL OVER 1 COAT PRIMER.

DIVISION 10 - SPECIALTIES

SECTION 10-A GENERAL SPECIALTIES:

INSTALLATION: All items shall be installed in strict accordance with the respective manufacturer's published instructions and approved installation drawings. Adhesive installation will not be permitted.

SECTION 10-B HARDWARE (FINISH):

HARDWARE LIST: The Contractor shall provide a detailed list of all hardware, materials, manufacture and catalog numbers. This schedule shall be prepared by the hardware supplier and submitted to the General Contractor not later than 15 days after winning the award of the finish hardware contract. Provide six copies. Supplier shall be responsible for a complete job whether or not listed.

DIVISION 11 - EQUIPMENT

SECTION 11-A APPLIANCE AND SPECIAL EQUIPMENT:

MEASUREMENTS: Verify all dimensions shown on the Drawings by taking field measurements; proper fit and attachment of all parts is required.

DIVISION 12 - FURNISHINGS

Not included in these specifications.

DIVISION 13 - SPECIAL CONSTRUCTION

Not included in these specifications.

DIVISION 14 - CONVEYING EQUIPMENT

Not included in these specifications.

DIVISION 15 - MECHANICAL

SECTION 15-A HEATING:

RULES AND REGULATIONS: All work and materials shall be in full accordance with the latest Federal, State and local rules and regulations. Nothing in these plans or specifications shall be construed to permit work not conforming to these codes.

DRAWINGS: (Prepared by Owner's Mechanical Engineer)

A. The work shall be installed as indicated on drawings, however, changes to accommodate installation of this work with other work or in order to meet architectural or structural conditions, shall be made without additional cost to Owner.

B. For purposes of clarity and legibility, the drawings are essentially diagrammatic to the extent that offsets, bends, special fittings and exact locations are not indicated. Contractor shall make use of all data in all of the Contract Documents, and shall verify this information at the site.

C. PROVIDE CONDENSATE DRAIN TO APPROV. PLUMBING FIXTURE OR TRAP

MATERIALS AND EQUIPMENTS:

A. DUCTWORK: Supply ducts shall be minimum of approved equal. Ductwork shall comply with the minimum height standards as set forth in the Uniform Mechanical Code and the return ducts shall be galvanized sheet metal. Galvanized fittings shall be insulated with 1" fiberglass. Provide automatic fire dampers where required.

FABRICATION AND INSTALLATION:

A. FURNACE CLOSETS: Shall be

TITLE 24 REQUIREMENTS

BUILDING ENERGY ANALYSIS REPORT
PROJECT: Robert Vaughn Residence
Project Designer: Don Montelone Associates
Report Prepared by: James H Terry

TABLE OF CONTENTS
Cover Page 1
Table of Contents 2
Form CF-1R Certificate of Compliance 3
Form MF-1R Mandatory Measures Summary 9
HVAC System Heating and Cooling Loads Summary 12

PERFORMANCE CERTIFICATE: Residential (Part 1 of 5) CF-1R
FIELD INSPECTION ENERGY CHECKLIST
INSULATION Construction Type
HVAC SYSTEMS
HVAC DISTRIBUTION
WATER HEATING

CALCULATED CFM OF CONTINUOUS VENTILATION RATE IS: (SqF House Area/100 + (Bedrooms + 1)*7.5 CFM)

TITLE 24 REQUIREMENTS

PERFORMANCE CERTIFICATE: Residential (Part 2 of 5) CF-1R
SPECIAL FEATURES INSPECTION CHECKLIST
HERS REQUIRED VERIFICATION
BUILDING COMPLIES - NO HERS VERIFICATION REQUIRED

PERFORMANCE CERTIFICATE: Residential (Part 3 of 5) CF-1R
ANNUAL ENERGY USE SUMMARY
BUILDING COMPLIES - NO HERS VERIFICATION REQUIRED
STATEMENT OF COMPLIANCE
Documentation Author

CERTIFICATE OF COMPLIANCE: Residential (Part 4 of 5) CF-1R
OPAQE SURFACE DETAILS
FENESTRATION SURFACE DETAILS
EXTERIOR SHADING DETAILS

PROVIDE CONTINUOUS VENTILATION RATE OF XXX CFM AND MIN 50 CFM FANS FOR EACH BATH/SHOWER ROOM AND MIN 100 CFM FAN FOR KITCHEN

TITLE 24 REQUIREMENTS

CERTIFICATE OF COMPLIANCE: Residential (Part 5 of 5) CF-1R
BUILDING ZONE INFORMATION
HVAC SYSTEMS
HVAC DISTRIBUTION
WATER HEATING SYSTEMS
MULTI-FAMILY WATER HEATING DETAILS

CERTIFICATE OF COMPLIANCE: Residential (Part 5 of 5) CF-1R
BUILDING ZONE INFORMATION
HVAC SYSTEMS
HVAC DISTRIBUTION
WATER HEATING SYSTEMS
MULTI-FAMILY WATER HEATING DETAILS

MANDATORY MEASURES SUMMARY: Residential (Page 1 of 3) MF-1R
HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY
COOLING SYSTEM PSYCHROMETRICS

UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL OBTAIN CF-R FORMS FOR EACH BATH/SHOWER ROOM AND MIN 100 CFM FAN FOR THE CALIFORNIA ENERGY COMMISSION AT: www.energy.ca.gov/t24

TITLE 24 REQUIREMENTS

MANDATORY MEASURES SUMMARY: Residential (Page 2 of 3) MF-1R
11500.1 All air distribution system ducts and plenums installed, are sealed and insulated to meet the requirements of QAC Section 11500.1.1

MANDATORY MEASURES SUMMARY: Residential (Page 3 of 3) MF-1R
11500.11 Permanently installed luminaires located in rooms or areas other than in bedrooms, bathrooms, garages, laundry rooms, closets, and utility rooms shall be high efficiency luminaires.

HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY
COOLING SYSTEM PSYCHROMETRICS (Indoor, Room, and Outdoor Air)
HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

TERRY ENGINEERING

14742 NEWPORT AVENUE, SUITE 105 TUSTIN, CALIFORNIA 92780



FOR ROBERT VAUGHN RESIDENCE 618 POINSETTA CORONA DEL MAR, CA. 92625

T-24 FORMS & MANDATORY FEATURES

Sheet Title: T-24 FORMS & MANDATORY FEATURES
Date: 02/09/2010
Scale: AS NOTED
Drawn: CL
Checked: JT
Plot Date: 02/12/2010
Job No: 100044
Sheet:

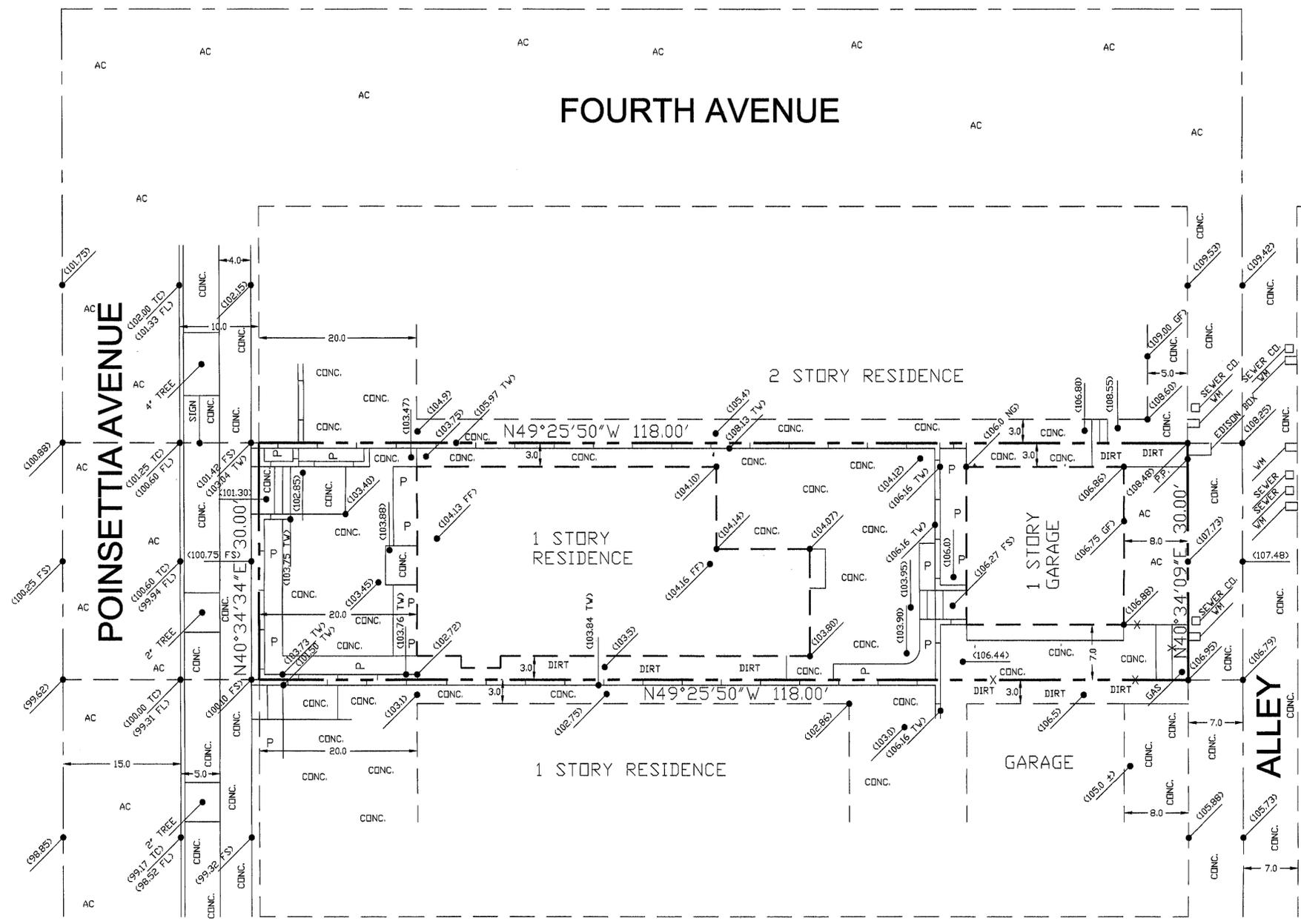
T24

ISSUED

05-14-10



0' 8' 16'
NORTH
SCALE: 1"=8'



17' x 160 + 106.36

21' x 106.44 + 106.87

LEGEND	
	DESCRIPTION
(123.45)	MEAS. ELEVATIONS
()	REC. BRG. & DIST.
#	BRICK WALL
---	BUILDING
---	LOT LINE
WM	WATER METER
F.F.	FINISH FLOOR
G.F.	GARAGE FLOOR
CONC.	CONCRETE
F.S.	FINISH SURFACE
M.H.	MAN-HOLE
AC.	ASPHALT
T.G.	TOP-GRATE



R-8-09

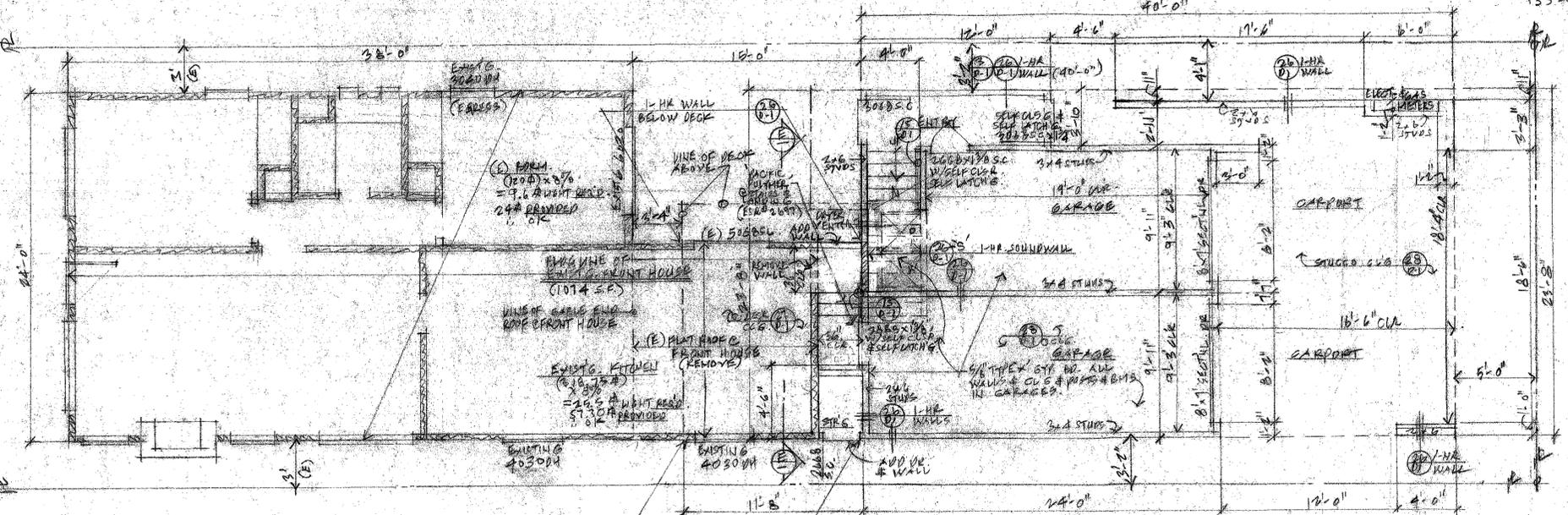
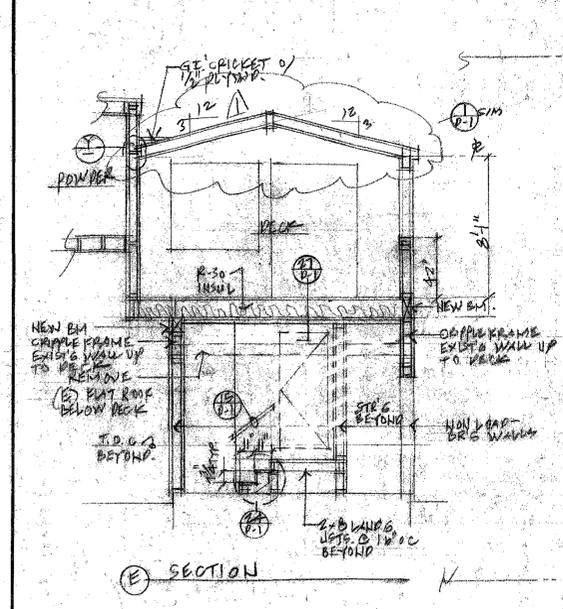
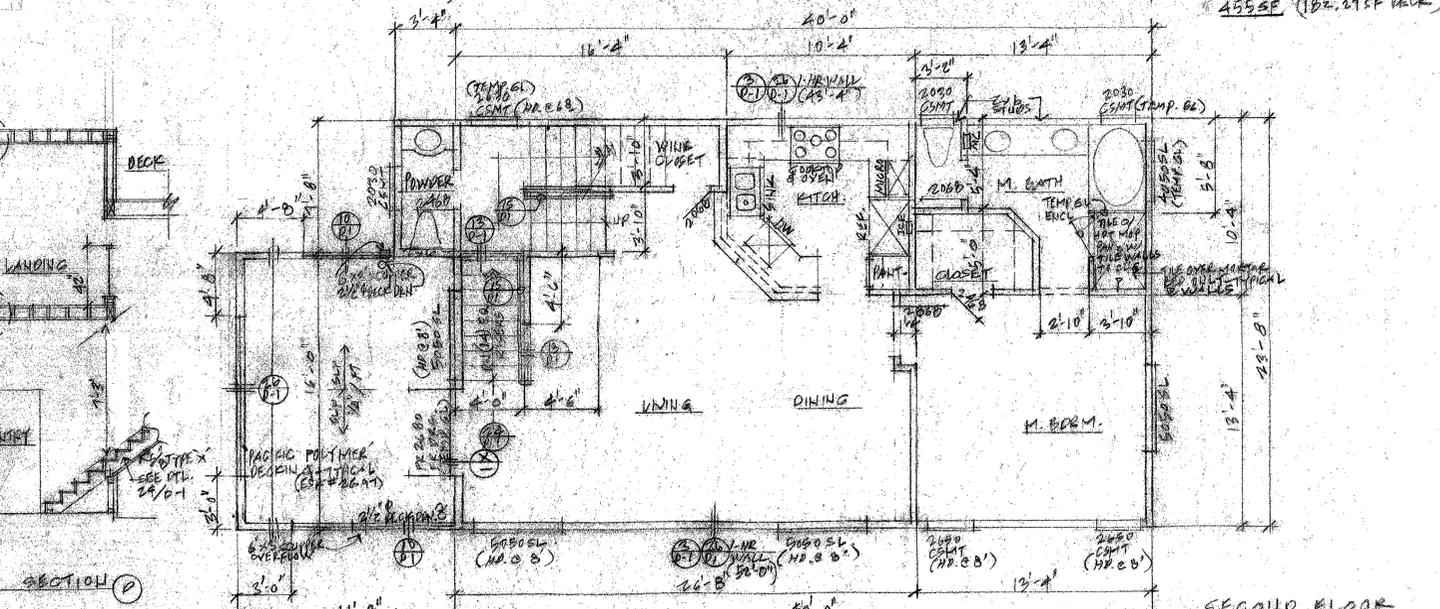
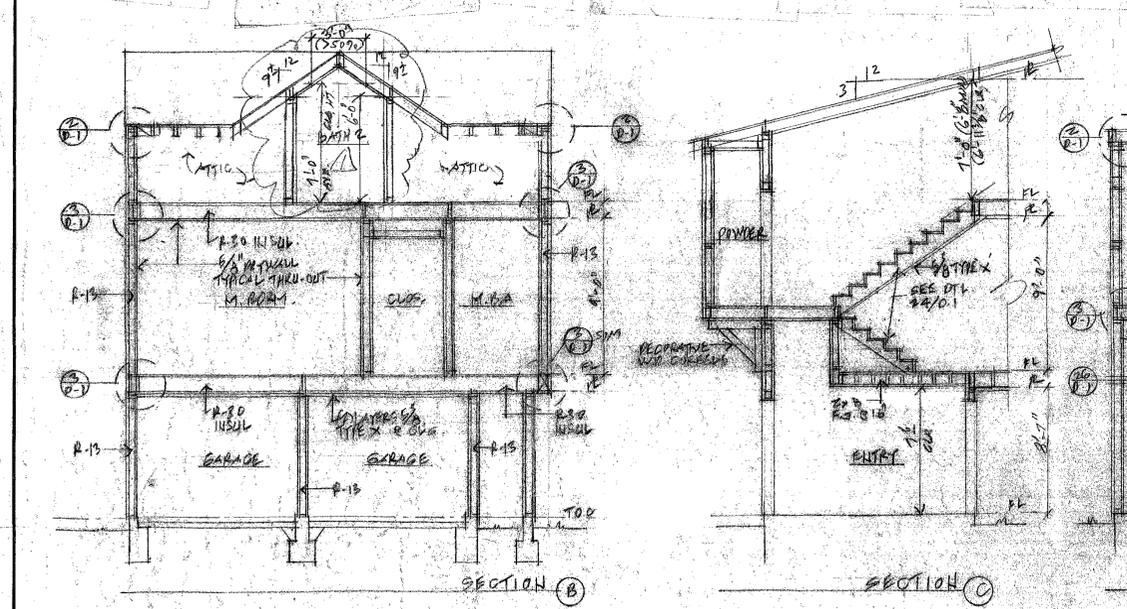
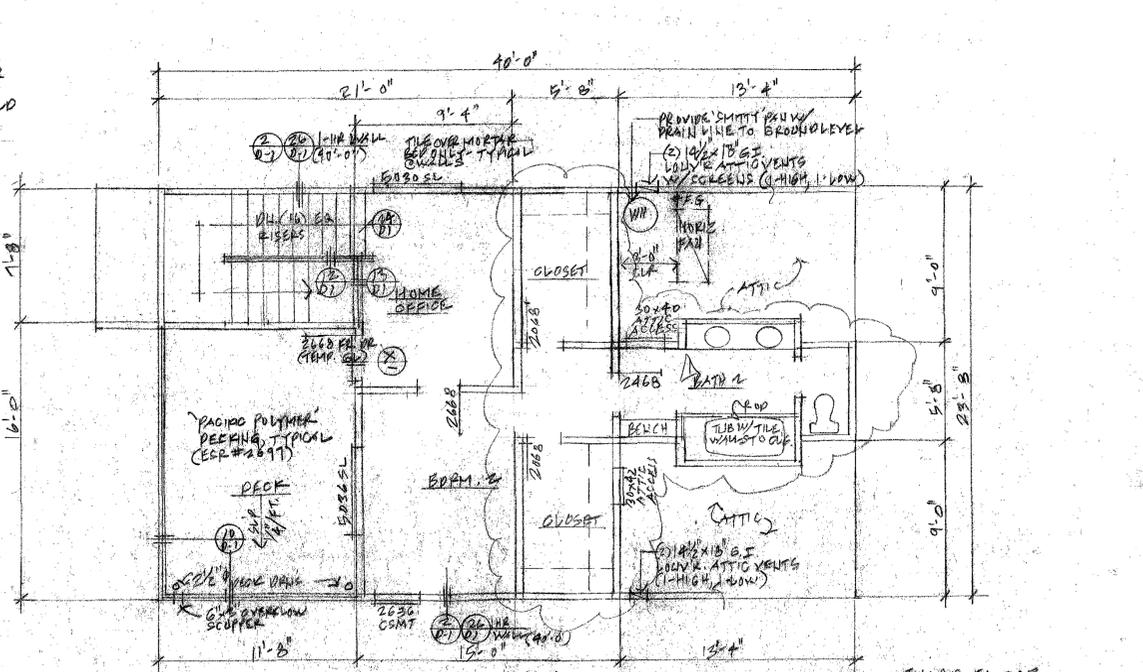
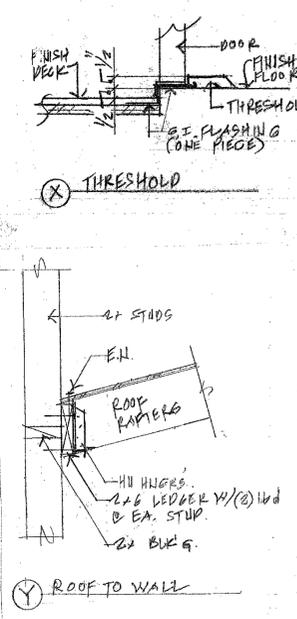
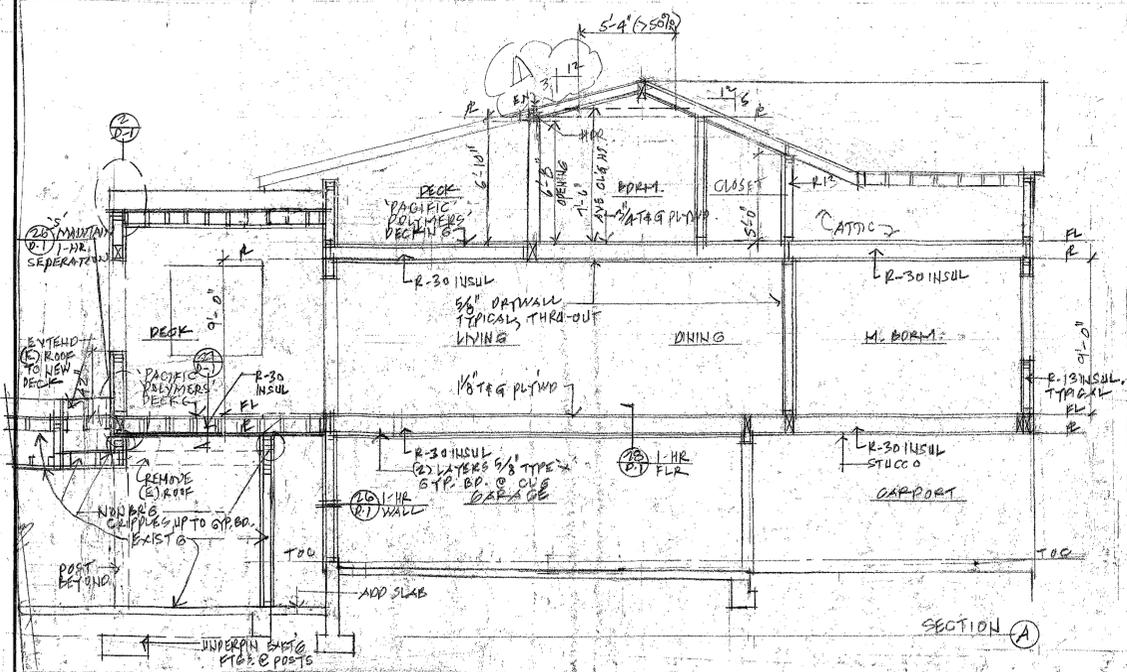
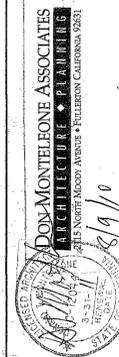
NOTE: RECORD EASEMENTS ARE NOT PLOTTED IF ANY.

<p>RdM SURVEYING INC. RON MIEDEMA L.S. 4653 23010 LAKE FOREST DRIVE #409 LAGUNA HILLS, CA 92653 (949) 858-2924 OFFICE (949) 858-3438 FAX RDMSURVEYING@CDX.NET</p>	<p>TOPOGRAPHIC SURVEY JOB:13-49 DATE: 12-8-09</p>	<p>OWNER: ROBERT VAUGHN 618 POINSETTIA CORONA DEL MAR, CA</p>	<p>LEGAL DESCRIPTION: LOT 20, BLOCK 643, CORONA DEL MAR TRACT</p>	<p>BENCH MARK: SOUTHERLY P.L. PROD AT TOP OF CURB. ELEVATION = 100.00 ASSUMED DATUM.</p>	<p>ADDRESS OF PROJECT: 618 POINSETTIA CORONA DEL MAR, CA</p>
---	---	---	---	--	--

DJK

C1

1	8/6/10	
2		
3		
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5		
6		
7		
8		
9		
10		



- LEGEND:
- NEW WALLS
 - RANGES
 - EXIST'G TO REMAIN (FRONT UNIT)

CITY OF NEWPORT BEACH BUILDING DEPARTMENT

APPROVAL OF THESE PLANS DOES NOT CONSTITUTE EXPRESS OR IMPLIED WARRANTY OF ANY KIND BY THE CITY OF NEWPORT BEACH BUILDING DEPARTMENT. THE CITY OF NEWPORT BEACH BUILDING DEPARTMENT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE PLANS OR FOR THE RESULTS OF THE CONSTRUCTION OF THE PROJECT. THE CITY OF NEWPORT BEACH BUILDING DEPARTMENT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE PLANS OR FOR THE RESULTS OF THE CONSTRUCTION OF THE PROJECT.

RESUBMITTED FOR APPROVAL:

DATE: 10/22/10

BY: DK/JH

DATE: 10/13/09

SCALE:

DRAWN:

JOB:

SHEET:

12

FIRST FLOOR

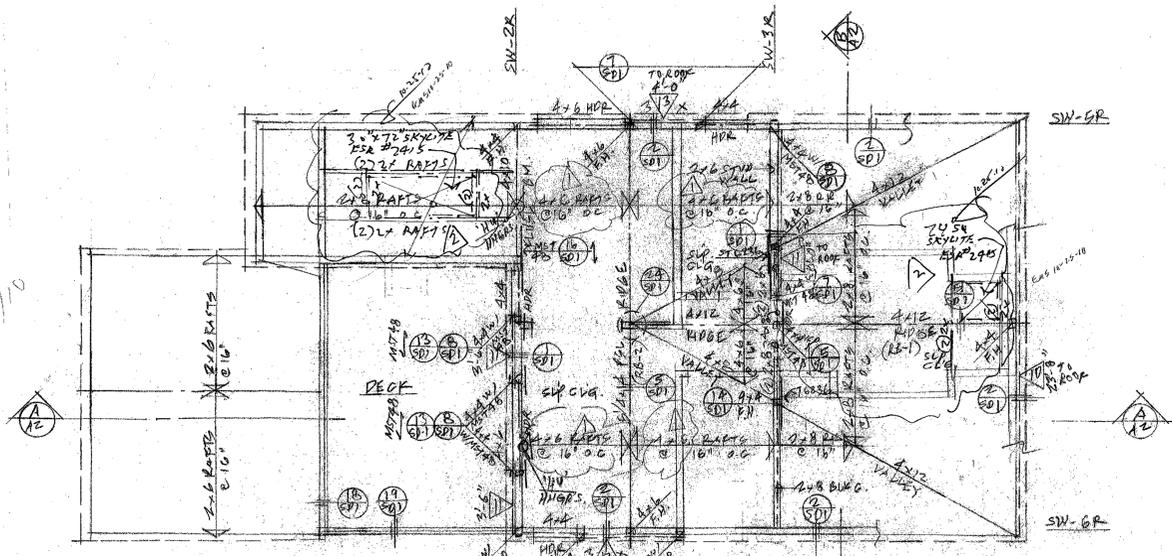
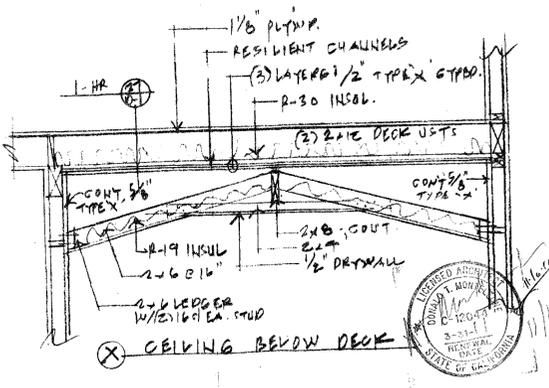
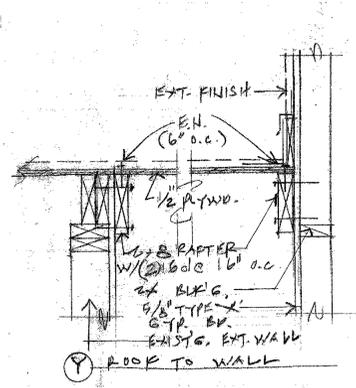
LIVING AREA = 1432 S.F.

GARAGES = 400 S.F.

TOTAL = 1832 S.F.

+ ENCLOSED AREA = 40 S.F.

+ 40 S.F.



FOUNDATION PLAN NOTES

- SEE SPECIFICATIONS ON SHEET SN-1 FOR ADDITIONAL INFORMATION.
- BUILDING PAD SOIL BEARING VALUE SHOULD BE AT LEAST 1500 P.S.F.
- CEMENT USED IN FOUNDATIONS SHALL BE TYPE V, UNLESS OTHERWISE REQUIRED BY THE SOIL ENGINEER.
- THE FLOOR SLAB SHALL BE POURED LEVEL TO WITHIN 1/8" INCH IN 10 FEET.
- THE FLOOR SLAB AND FOUNDATION MAY BE POURED HOMOGENEOUSLY (AT THE SAME TIME) OR IN TWO POURS, WITH A COLD JOINT BETWEEN THE SLAB AND FOUNDATION. AT THE CONTRACTOR'S DISCRETION, THE DETAILS DRAWN GENERALLY SHOW TWO POURS.
- ANCHOR BOLTS: AT ALL EXTERIOR WALLS, INSTALL A 5/8" DIA. ANCHOR BOLTS @ 48" O.C. WITH MINIMUM EMBEDMENT OF 7 INCHES INTO CONCRETE (UNLESS OTHERWISE SPECIFIED). INCLUDING AT LEAST ONE WITHIN A MAXIMUM OF 12" FROM EACH END. PLATES SMALLER THAN 24" IN LENGTH, SHALL BE PROVIDED WITH AT LEAST TWO ANCHOR BOLTS UNLESS OTHERWISE INDICATED ON PLANS. PROVIDE ALL EXTERIOR WALLS AS INDICATED ON PLANS. SEE FLOOR FRAMING PLAN FOR REFERENCE IN PROVIDING AN EXTENSION OF ANCHOR BOLTS ABOVE CONCRETE. HARDWARE SHALL BE TIED IN PLACE PRIOR TO PLACEMENT OF CONCRETE.
- SHOT PINS: NOT TO BE USED.
- FOUNDATION SLAB SHALL BE TREATED LUMBER OR FOUNDATION RED WOOD.
- FOUNDATIONS: SEE FOUNDATION PLAN OR FLOOR FRAMING PLAN FOR REFERENCE TO HOLDOWN LOCATION AND HARDWARE EXTENSIONS TO CONCRETE FOUNDATION.

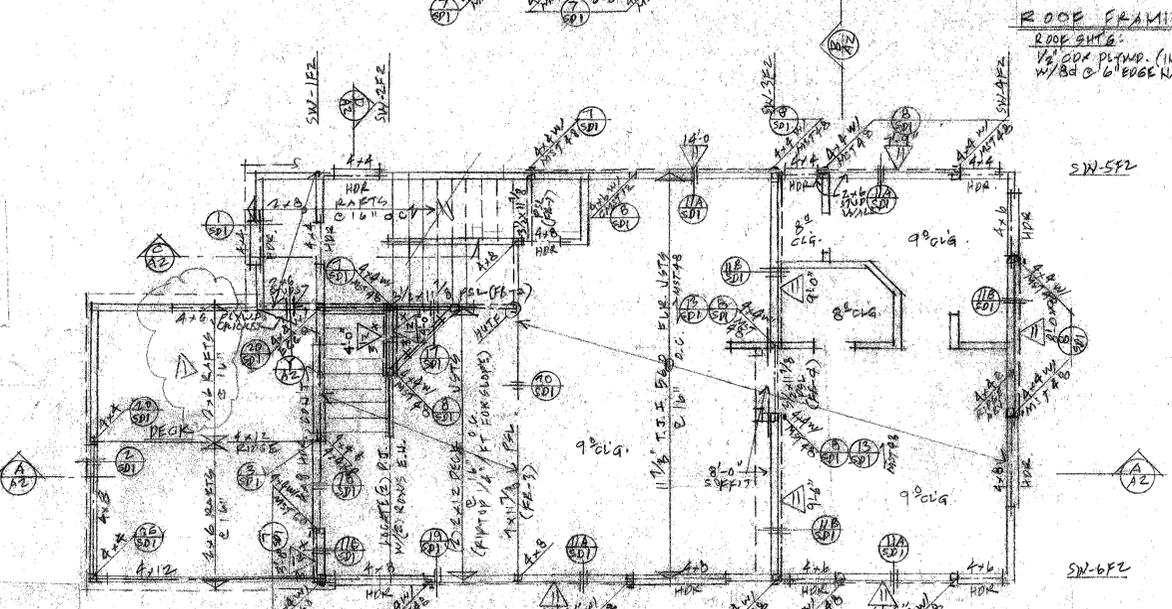
FRAMING NOTES:

- USE 3/4" PAPER BACKED LATH FOR TOP PLATE SPLICING.
- ROOF DAPHRAGM PER 1/2" O.C. PLYWOOD W/8" @ 6" R:2 (COMMON WALL) PANEL S/W BATTING 24" OR BETTER.
- DECK & FLOOR DAPHRAGM 3/4" O.C. PLYWOOD 16" @ 16" OR 8" @ 8" (COMMON WALL) UNDO. PANEL LD. BATTING 24" OR BETTER.
- ROOFING MATERIAL ON THE ROOF SHALL NOT EXCEED 65 POUNDS.
- SIZE OF EXTERIOR AND INTERIOR STUD WALLS SHOULD MATCH WITH ARCHITECTURAL DRAWINGS. CONSIDER THE FOLLOWING MINIMUM REQUIREMENTS: ALL INTERIOR WALLS SHALL BE 2x4 STUDS @ 16" O.C. UNDO. EXTERIOR WALLS FIRST STORY SHALL BE 2x4 SECOND & THIRD STORY SHALL BE 2x4 STUDS @ 16" O.C.
- SEE STRUCTURAL NOTES FOR HARDWARE REQUIREMENTS.
- ALL HARDWARE PRODUCTION PROVIDE BY SIMPSON STRONG-TIE CO.
- ALL STRUCTURAL BEAM/BEAM, BEAM/COLUMN AND COLUMN FOUNDATION MUST BE POSITIVELY CONNECTED WITH SIMPSON OR EQUIVALENT CONNECTORS FINGERLESS OR LACK OF CONNECTION DETAILING ON PLANS. STANDARD CONNECTIONS UNLESS OTHERWISE NOTED.
- BEAM/COLUMN SIMPSON "CCO" OR EQUIVALENT UNDO. PLAN SIMPSON "THU" OR EQUIVALENT UNDO. ON PLAN
- ANY PLUMBING DRAIN PIPE OR VENT PIPE CUT THROUGH STUD WALL SHALL BE 2x4 STUD WALL OR 2x4 STUD WALLS WITH PLYWOOD SHEAR PANEL ON NON-PLUMBING WALL.
- CUTTING AND NOTCHING: IN EXTERIOR AND BEARING PARTITIONS, ANY WOOD STUDS MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. CUTTING OR NOTCHING OF STUDS TO A DEPTH NOT GREATER THAN 40% OF THE WIDTH OF THE STUD IS PERMITTED IN NON-BEARING PARTITIONS SUPPORTING NO LOADS OTHER THAN THE WEIGHT OF THE PARTITION.
- BORED HOLES: A HOLE NOT GREATER IN DIAMETER THAN 40% OF THE STUD WIDTH MAY BE BORED IN ANY WOOD STUD. BORED HOLES NOT GREATER THAN 60% OF THE WIDTH OF THE STUD ARE PERMITTED IN NON-BEARING PARTITIONS OR IN ANY WALL WHERE EACH BORED STUD IS DOUBLED. PROMOTED NOT MORE THAN TWO SUCH SUCCESSIVE DOUBLED STUDS ARE 50 BORED. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8" INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT NOTCH.
- STUD WALLS NEED TO BE VERIFIED WITH ARCH. DRAWINGS.
- ROOF DAPHRAGM NAILING TO BE INSPECTED BEFORE LOVERING FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO SUPPORTS.
- ROOF DAPHRAGM NAILING TO BE INSPECTED BEFORE LOVERING FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO SUPPORTS.
- COORDINATE AND VERIFY ALL DIMENSIONS WITH ARCHITECT DRAWINGS.
- ANY PENETRATIONS INTO PRESSURE TREATED WOOD MUST BE GALVANIZED, STAINLESS STEEL, SILICON BRONZE OR COPPER NAILS.
- EPKRY INSTALLATION TO HAVE "SPECIAL INSPECTION" WITH COMPLETION OF REQUIRED FORM.
- STRUCTURAL OBSERVATION REQUIRED FOR ALL NEW BUILDINGS AS PER INFO BULLETIN 251.

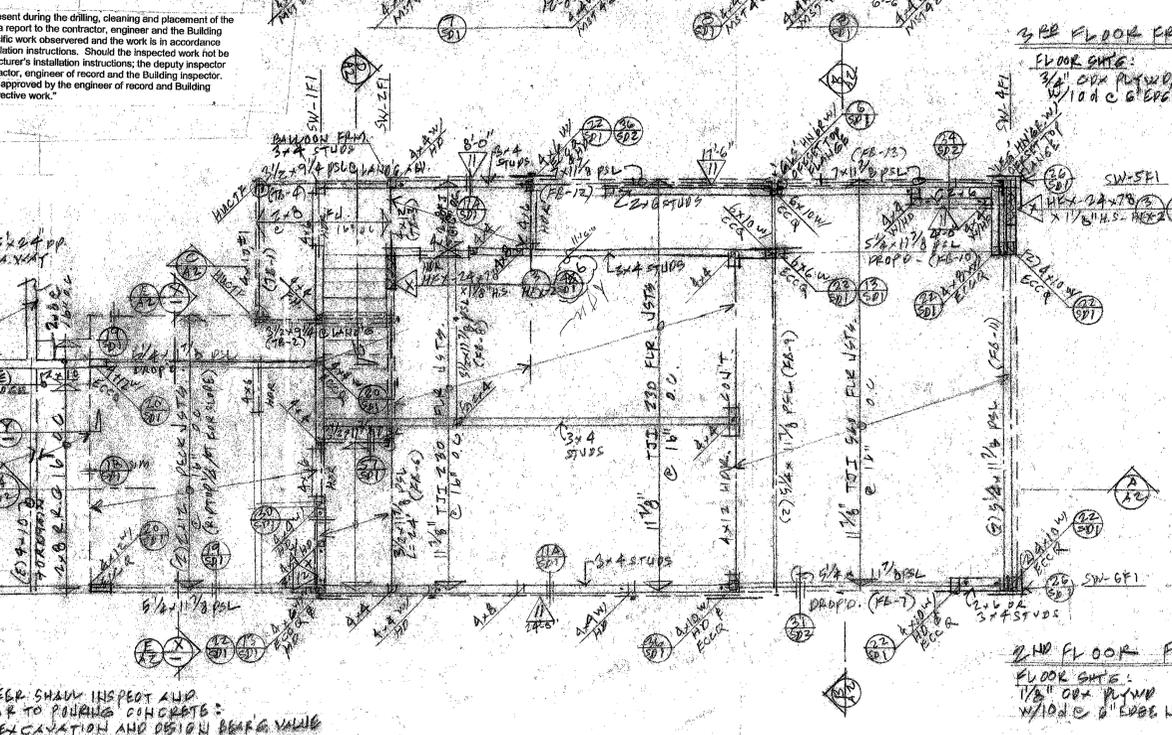
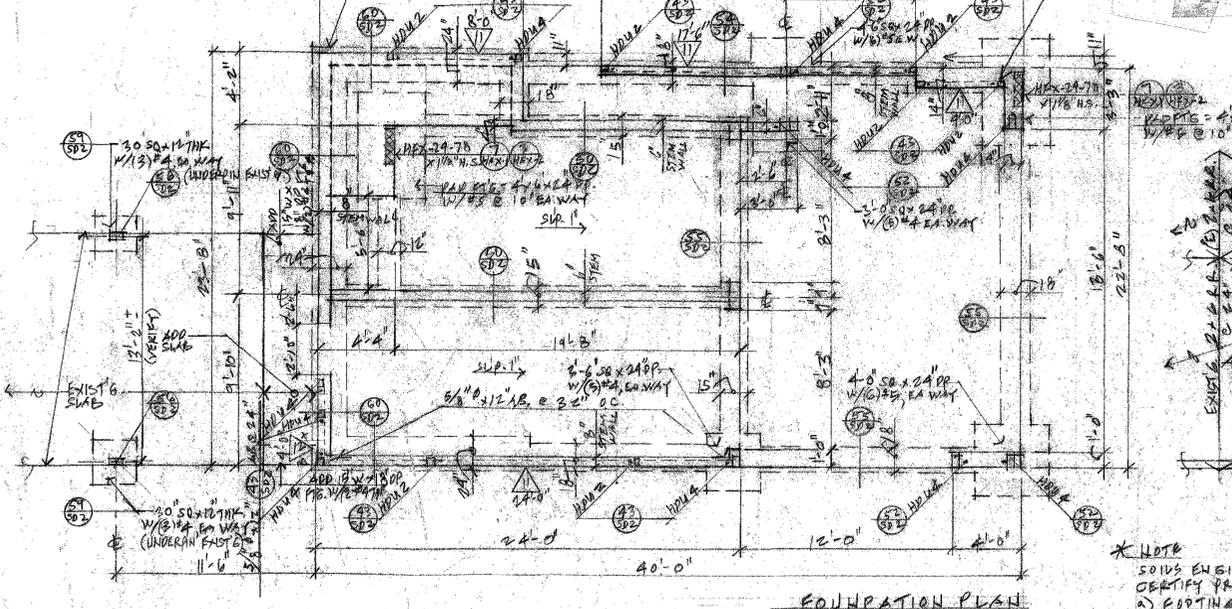
SHEAR SCHEDULE

SYM	SIDE	#1	MATERIAL	WALLS	EDGE	FIELD	GRD. FLOOR	UPPER FLR.	AS3
ONE	180	2	3/4" PAPER BACKED LATH UNDO. W/16 GA. STAPLES	6	12	5/8" @ 48"	16" @ 8"	16" @ 8"	24" O.C.
ONE	280	3/8"	PLYWOOD (24/0)	84	6	12	5/8" @ 48"	16" @ 8"	16" O.C.
WALL CONSTRUCTION:	2x SILL STUDS & TOP PLATES. USE END POST PER HOLDOWN REQUIREMENTS								
TWO	552	3/8"	PLYWOOD (24/0)	84	6	12	5/8" @ 24"	16" @ 8"	10" O.C.
WALL CONSTRUCTION:	3x SILL, 3x STUDS @ BOUNDARIES, & 3x TOP PLATE, OFFSET ADJOINING PANELS ON OPPOSING SIDES. USE MIN. 4x END POST.								
ONE	552	3/8"	PLYWOOD (24/0)	84	4	12	5/8" @ 37"	16" @ 3"	12" O.C.
WALL CONSTRUCTION:	2x SILL STUDS, & TOP PLATES. USE END POST PER HOLDOWN REQUIREMENTS								
ONE	430	3/8"	PLYWOOD (24/0)	84	4	12	5/8" @ 37"	16" @ 3"	10" O.C.
WALL CONSTRUCTION:	3x SILL @ FOUNDATION, 2x SILL @ RAISED FLOOR OR SECOND STORY, 3x STUDS @ ADJOINING PANELS, & 2-2x TOP PLATES. USE 3x END POST (MIN) OR AS READ BY HOLDOWN								
TWO	864	3/8"	PLYWOOD (24/0)	84	4	12	5/8" @ 16"	3/8" @ 0.4	5.5" O.C.
WALL CONSTRUCTION:	3x SILL, 3x STUDS @ BOUNDARIES, & 3x TOP PLATE, OFFSET ADJOINING PANELS ON OPPOSING SIDES. USE MIN. 4x END POST.								
ONE	550	3/8"	PLYWOOD (24/0)	84	3	12	5/8" @ 16"	16" @ 3"	8" O.C.
WALL CONSTRUCTION:	3x SILL @ FOUNDATION, 2x SILL @ RAISED FLOOR OR SECOND STORY, 3x STUDS @ ADJOINING PANELS, & 2-2x TOP PLATES. USE 3x END POST (MIN) OR AS READ BY HOLDOWN								
TWO	1104	3/8"	PLYWOOD (24/0)	84	3	12	5/8" @ 16"	3/8" @ 0.4	8" O.C. @ E.S.
WALL CONSTRUCTION:	3x SILL, 3x STUDS @ BOUNDARIES, & 3x TOP PLATE, OFFSET ADJOINING PANELS ON OPPOSING SIDES. USE MIN. 4x END POST.								
ONE	730	3/8"	PLYWOOD (24/0)	84	2	12	5/8" @ 16"	16" @ 2"	6" O.C.
WALL CONSTRUCTION:	3x SILL @ FOUNDATION, 2x SILL @ RAISED FLOOR OR SECOND STORY, 3x STUDS @ ADJOINING PANELS, & 2-2x TOP PLATES. USE 3x END POST (MIN) OR AS READ BY HOLDOWN								
TWO	1464	3/8"	PLYWOOD (24/0)	84	2	12	5/8" @ 16"	3/8" @ 0.4	6" O.C. @ E.S.
WALL CONSTRUCTION:	3x SILL, 3x STUDS @ BOUNDARIES, & 3x TOP PLATE, OFFSET ADJOINING PANELS ON OPPOSING SIDES. USE MIN. 4x END POST.								
ONE	870	15/32"	PLYWOOD (32/0)	168	1	12	5/8" @ 16"	16" @ 2"	5" O.C.
WALL CONSTRUCTION:	3x SILL @ FOUNDATION, 2x SILL @ RAISED FLOOR OR SECOND STORY, 3x STUDS @ ADJOINING PANELS, & 2-2x TOP PLATES. USE 3x END POST (MIN) OR AS READ BY HOLDOWN								
TWO	1740	15/32"	PLYWOOD (32/0)	168	1	12	5/8" @ 16"	3/8" @ 0.4	5" O.C. @ E.S.
WALL CONSTRUCTION:	3x SILL, 3x STUDS @ BOUNDARIES, & 3x TOP PLATE, OFFSET ADJOINING PANELS ON OPPOSING SIDES. USE MIN. 4x END POST.								

- NOTES:**
- WHERE PANEL NAILING IS SPACED @ 2" O.C. OR CALCULATED SHEAR LOAD EXCEEDS 300 PSF, USE:
 - 3x STUDS @ ADJOINING PANELS w/ STAGGERED NAILS
 - 3x SILL @ FOUNDATION LEVEL
 - NAIL DOUBLE TOP PLATES TOGETHER w/ 16d SINNER NAILS @ 4" O.C.
 - WHERE PLYWOOD SHEAR PANELS OCCUR ON BOTH SIDES OF WALL:
 - USE 3x STUDS @ ALL BOUNDARIES (NOT PLATES, TOP PLATES, & ADJOINING PANELS)
 - OFFSET ADJOINING PANELS ON OPPOSING SIDES.
 - WHERE SILL NAILING IS 2" OR LESS, OR LAG SCREW IS USED PROVIDE 3x BLK, MIN. ANCHOR, OR BEAM INSURE THAT THE WOOD BEAM BOLD AND DOES NOT TEND TO SPILT. PRE-DRILL FOR NAILS IF SPLITTING IS OBSERVED, USING A DRILL SIZE 3/4 OF THE DIAMETER OF THE SILL NAILING.
 - SHOT PINS - NOT TO BE USED.
 - USE 5/8" x 8" SIMPSON SET-UP (CC-ES ESR-2506) EPOXY ADHESIVE AS A FIX @ EXISTING FOUNDATIONS FOR SHEAR SCHEDULE SPACING AND 5" MIN. EMBEDMENT.
 - ALL PLYWOOD EDGES TO BE BLOCKED-USE 3x BLOCKING AT 2" O.C. NAILING.
 - FRAMING MEMBERS SHALL BE 2x STUD AT 16" ON CENTER
 - PLYWOOD USE STRUCTURAL 1.
 - TABLE BASED ON C.I.C. 2007 EDITION.
 - SEISMIC FORCE IS INCREASED 25% FOR CONNECTIONS OF DAPHRAGM TO SHEAR WALL PER 12.3.3.4, ASCE7-05.



26. FOOTINGS SHALL BE 18" x 24" W/1/2" #5 TOP & BOTTOM, U.H.2 (SEE PLAN FOR WIDTHS)



* NOTE
 SOILS ENGINEER SHALL INSPECT AND CERTIFY PRIOR TO POURING CONCRETE:
 a) FOOTING EXCAVATION AND DESIGN BEARING VALUE
 b) ALL GRADING AND COMPACTION OF SUBGRADE.

CITY OF NEWPORT BEACH BUILDING DEPARTMENT

DATE: 10/22/10

APPROVED: [Signature]

PROJECT: [Project Name]

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Attachment No. ZA 4

Condominium Inspection Report

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CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

CONDOMINIUM CONVERSION INSPECTION REPORT
(CHECKLIST)

Inspection Fee: \$246.00 per unit No. Units 2 Condo Conv. No. X2014-~~1217~~
 (\$123.00/hr - 2 hrs minimum)
 Address: 618 POWSETTA AVE Date: 06-26-14
 Existing Occ: Grp R3/U Type of Construction: II B
 Owner: LAUGHAN Phone Number: _____
 Assigned to Inspector: DON TAYLOR Date: 06-26-14 Phone: (949) 644-3263

THE FOLLOWING CHECKLIST WILL BE USED DURING THE INSPECTION TO VERIFY EXISTING BUILDING CONDITIONS AND COMPLIANCE TO MINIMUM STANDARDS FOR THE CONDOMINIUM CONVERSION.

A. EACH UNIT MUST COMPLY WITH THE MINIMUM STANDARDS OF THE UNIFORM HOUSING CODE AS ADOPTED BY THE CITY OF NEWPORT BEACH.

1. Does the unit(s) meet minimum sanitation requirements? (y) X (n) _____

Comment: _____

2. Does the unit meet minimum structural and occupancy standards? (y) REAR (n) FRONT

Comment: REAR UNIT OK. FRONT UNIT UNDER CONSTRUCTION AND NOT COMPLIANT AT THIS TIME.

3. Does the unit meet minimum exiting safety standards? (y) REAR (n) FRONT

Comment: REAR UNIT OK. FRONT UNIT UNDER CONSTRUCTION AND NOT COMPLIANT AT THIS TIME.

4. Does the unit meet minimum plumbing standards? (y) X (n) _____
 Is there a garbage disposal installed on a dedicated circuit? (y) X (n) _____

Comment: _____

5. Does the unit meet minimum standards of heating and venting? (y) X (n) _____

Comment: _____

6. Does the unit meet minimum standards for electrical safety? (y) REAR (n) FRONT
Comment: REAR UNIT OK. FRONT UNIT UNDER CONSTRUCTION
AND NOT COMPLIANT AT THIS TIME.

B. EACH UNIT MUST COMPLY WITH CURRENT MINIMUM LIFE SAFETY REQUIREMENTS OF THE UNIFORM BUILDING CODE AS ADOPTED BY THE CITY OF NEWPORT BEACH.

7. Do the existing stairs and handrails comply with minimum safety requirements of Chapter 10 Section CRC 2013 R311.7? (y) REAR (n) FRONT
Did they comply when originally constructed? (y) X (n) _____
Comment: REAR UNIT OK. FRONT UNIT UNDER CONSTRUCTION
AND NOT COMPLIANT AT THIS TIME.

8. Do the existing guardrails comply with minimum safety requirements of Section CRC 2013 R312? (y) REAR (n) FRONT
Did they comply when originally constructed? (y) X (n) _____
Comment: REAR UNIT OK. FRONT UNIT UNDER CONSTRUCTION
AND NOT COMPLIANT AT THIS TIME.

9. Are smoke detectors/carbon monoxide alarms installed in each bedroom and other required locations per Section CRC 2013 R314 & R 315? (y) _____ (n) X
Comment: INSTALL CARBON MONOXIDE DETECTORS OUTSIDE
SLEEPING ROOMS AND MINIMUM ONE ON EACH LEVEL.

10. Is there a required occupancy separation rating? 1 hr(s) (y) X (n) _____
If so, does it meet the requirements of Section CRC 2013 R302.2? (y) REAR (n) FRONT
Comment: REAR UNIT OK. FRONT UNIT UNDER CONSTRUCTION
AND NOT COMPLIANT AT THIS TIME.

11. Is the roof a minimum Class C fire retardant roof? (y) X (n) _____
Owner to submit letter of certification by a licensed roofing contractor of fire retardancy and remaining life of the roof. (y) _____ (n) X
Comment: CLASS 'A' RE ROOF IN 2013 AND NEW CLASS 'A'
ROOF ON REAR UNIT 2011.

12. Is safety glazing installed in areas subject to human impact? (y) X (n) _____
Comment: _____

Other Comments: _____

C. EACH UNIT IS REQUIRED TO BE INDIVIDUALLY SERVED BY SEPARATE UTILITIES.
Note: the City does not consider it feasible to separate sewer piping when existing units are integrally piped through lower units to units above. (Please demonstrate for the inspector that utilities serving the units are not connected.)

13. Is this unit served by its own water meter and piping? (y) (n) _____
Are the materials used in the system approved for the use? (y) (n) _____
Are there apparent cross connection hazards in the system? (y) _____ (n)

NOTE: New water service and water meter must go to the secondary unit.
Existing water meter and service line must remain with original address.
(Contact Water Meter Division with any questions: (949) 644-3019)

Comments: LABEL METERS FOR UNIT SERVED.

14. Is this unit served by its own gas meter and piping? (y) (n) _____
Are the materials used in the system approved for the use? (y) (n) _____
Are there apparent safety hazards in the system? (y) _____ (n)

Comments: _____

15. Is this unit served by its own electric meter and wiring? (y) (n) _____
Is the unit served by a minimum 100amp service? (y) (n) _____
Is a new or relocated service required to be fed underground? (y) (n) _____
Are there apparent safety hazards in the system? (y) _____ (n)

16. Is this unit served by its own sewer and piping? (y) (n) _____
Are the materials used in the system approved for the use? (y) (n) _____
Is there an approved cleanout installed at the property line? (y) (n) _____

Comments: LABEL CLEANOUTS FOR UNIT SERVED.

Other Comments: ADDRESS NUMBERS REQUIRED FOR 2ND UNIT

Signed By: D. Jan

Date: 06-27-14

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Attachment No. ZA 5
County Tentative Parcel Map No. 2014-114

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POINSETTIA AVENUE

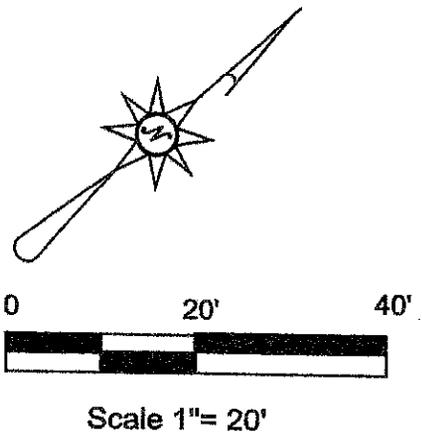
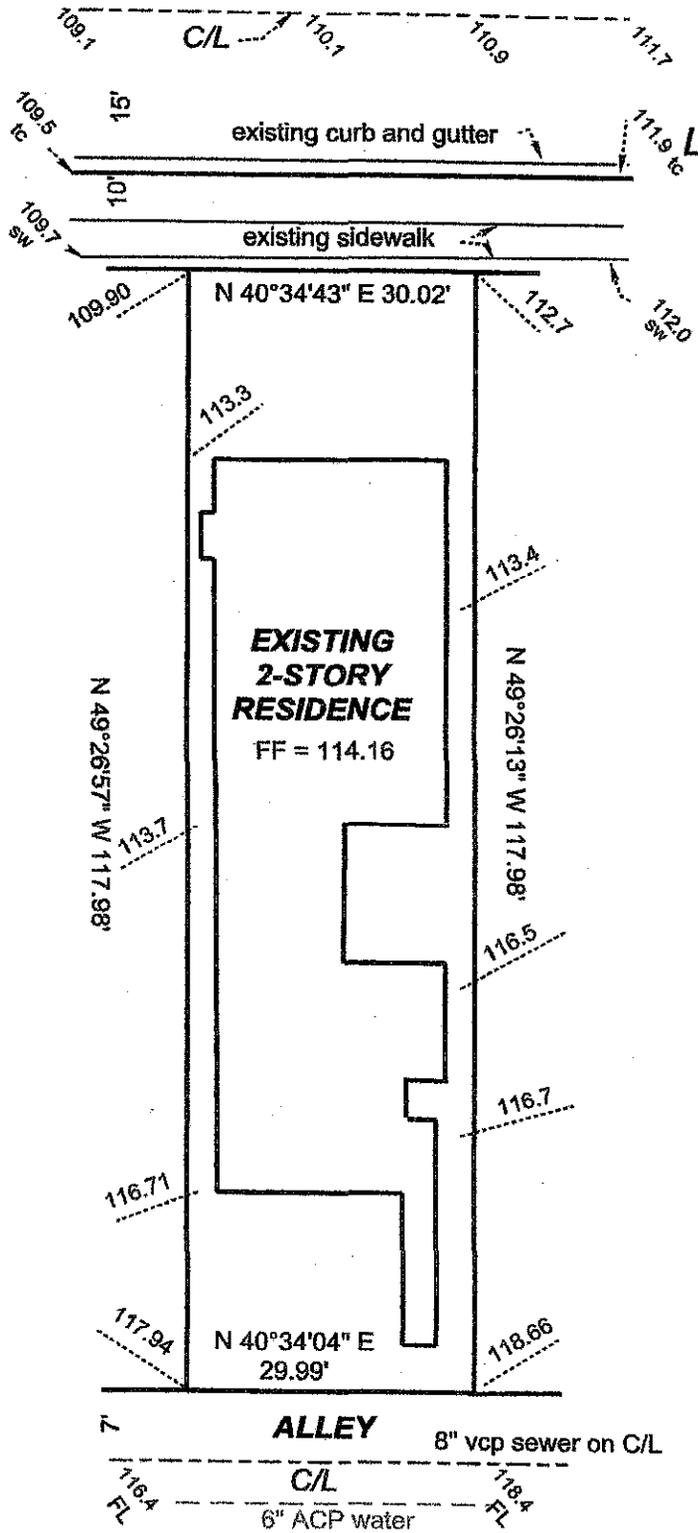
TENTATIVE PARCEL MAP 2014-114

FOR CONDOMINIUM PURPOSES
LOT 20 BLOCK 643 CORONA DEL MAR

OWNER-DEVELOPER

ROBERT VAUGHAN
618 POINSETTIA AVENUE
CORONA DEL MAR CA 62625

Date of Survey March 10, 2014



Prepared in the office of
Leonard C. Stiles
 Leonard C. Stiles
 PLS 5023 License expires 12/31/2015

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PA2014-076 for CC2014-004 NP2014-006
 618 and 618 1/2 Poinsettia Avenue
 Robert Vaughan