CITY OF NEWPORT BEACH
PLANNING COMMISSION
2011 Hearing
Agenda Item No.

SUBJECT: Gina's Pizza Minor Use Permit - (PA2011-006)
3142 Balboa Boulevard
- Minor Use Permit No. UP2011-002

APPLICANT: Andrew Costa

PLANNER: Melinda Whelan, Assistant Planner
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PROJECT SUMMARY

A minor use permit to allow a food service, eating and drinking establishment with no late hours, an outdoor dining area, and a Type 41 (On Sale Beer and Wine, Eating Place) Alcoholic Beverage Control (ABC) license.

RECOMMENDATION

1) Conduct a public hearing; and

2) Adopt Resolution No. ____ approving Minor Use Permit No. UP2011-002 subject to the findings and conditions in the attached Draft Resolution (Attachment No. PC 1).

INTRODUCTION

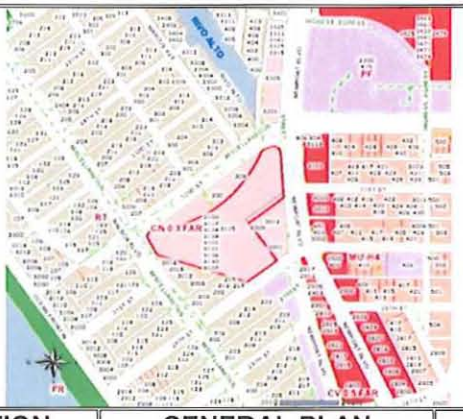
Project Setting

The subject property is bounded by Newport Boulevard, Balboa Boulevard, 30th Street, and 32nd Street. The area in the vicinity of the project site is developed with residential uses across 32nd Street and Balboa Boulevard.

The shopping center is currently closed for renovation and will reopen this summer as "The Landing". Gina's Pizza would occupy space provided as a part of the 2,515-square-foot addition along the western wing of the existing retail shops with the closest access from Balboa Boulevard. Access to the existing shopping center is obtained through driveways along 32nd Street, Newport Boulevard and Balboa Boulevard. The area of the subject property is 163,786 square feet (approximately 3.76 acres).

VICINITY MAP

GENERAL PLAN



ZONING

LOCATION	GENERAL PLAN	ZONING	CURRENT USE
ON-SITE	CN (Neighborhood Commercial)	CN (Commercial Neighborhood)	Vacant (under construction) Landing Shopping Center
NORTH	RT (Two-Unit Residential)	R-2 (Two-Unit Residential)	Single-unit and two-unit dwellings
SOUTH	RT	R-2	Retail, public parking lot, and single-unit and two-unit dwellings
EAST	CN	CN	On-site vacant (under construction) Landing Shopping Center
WEST	RT	R-2	Single-unit and two-unit dwellings

Background

The renovation of the existing shopping center was approved through Use Permit Nos. UP2009-037, UP2010-002, and Parcel Map No. NP2009-013 (PA2010-153) in February of 2010. Included in the approval was a waiver of five required off-street parking spaces through the approval of a parking management program. An additional parking waiver for three parking spaces was approved in December 2010.

Two new food service, eating and drinking establishments were approved within the shopping center for Chipotle Mexican Grill at 3101 Newport Boulevard through Use Permit No. UP2010-015 and Outdoor Dining Permit No. OD2010-004 (under the expired Zoning Code); and Crow Burger at 3107 Newport Boulevard through Minor Use Permit No. UP2010-036 which, also includes outdoor dining.

Project Description

The applicant requests approval of a minor use permit to allow a food service, eating and drinking establishment with no late hours, an outdoor dining area and a Type 41 (On Sale Beer and Wine, Eating Place) Alcoholic Beverage Control (ABC) license. The gross floor area of the establishment is 2,083 square feet and the interior net public area will be 816.11 square feet with a maximum of 50 seats. A proposed 458-square-foot outdoor dining area will be partially covered with a maximum 22 seats, and a fire pit. The requested hours of operation of the restaurant are 7:00 a.m. to 10:00 p.m., Sunday through Thursday; 7:00 a.m. to 11:00 p.m. Friday and Saturday; and 7:00 a.m. and 10:00 p.m., daily for the outdoor dining area.

Per the Zoning Code, the review authority for minor use permits for food service, eating and drinking establishments with no late hours is the Zoning Administrator. However, per Zoning Code Section 20.62.040 the Zoning Administrator elected to refer this application to the Planning Commission for consideration and final decision, due to recent hearings and discussions regarding the shopping center. Please see the memorandum from the Zoning Administrator found in Attachment No. PC 2.

DISCUSSION

General Plan/Coastal Land Use Plan/Zoning

The Zoning District is Commercial Neighborhood (CN) for the subject property. The General Plan and Local Coastal Program Coastal Land Use designation is Neighborhood Commercial (CN). The CN land use category is intended to provide for a range of retail and service uses developed in one or more distinct centers oriented to primarily serve the needs of and maintain compatibility with residential uses in the immediate area. The proposed eating and drinking establishment is consistent with this land use category.

Outdoor Dining

The proposed establishment includes a 458-square-foot outdoor dining area that accommodates 22 seats. The outdoor dining area is located westerly of the interior dining within a triangular area adjacent the rear property line of the existing Gallo's sandwich shop. At its closest point the area is approximately 18 feet from the residential property to the south. The interior of the establishment will open to the outdoor dining area through a single door. A 36-inch-tall railing, which is compliant with ABC licensing requirements, will provide a barrier from the adjacent the shopping center walkway and parking lot. The outdoor dining area will be partially covered by an open beam trellis structure adjacent to a 6-foot-tall prefab stucco wall parallel to the property line shared with Gallo's. The draft resolution includes a condition that requires the closure of the door opening from the interior to the outdoor dining by 10:00 p.m. daily to minimize the impacts of noise to the surrounding neighborhood.

Additionally, the design of the outdoor dining area will include a 3-foot-11-inch-high, ¼-inch-thick tempered glass extension attached to the trellis to overlap the existing 6-foot wall providing a 9-foot-5-inch-tall combination barrier. This design is consistent with the recommendation found in the Acoustical Report (Attachment No. PC 6) to reduce noise levels to meet the requirements of Section 10.26 of the Municipal Code and mitigate noise nuisance to the residential properties to the south. Also, consistent with the recommendation in the Acoustical Report, the tempered glass will extend past the patio service corridor toward the rear of the shopping center an additional 10 feet for a total length of 50 feet.

Section 10.26.025 provides maximum allowable exterior noise levels. If the measurement location is between two different zones the lower noise level standard applicable to the noise zone shall apply. The subject property is within approximately 18 feet, at its closest point, to a residential property. Therefore, Noise Zone I for single, two or multiple family residential which has a maximum exterior daytime (7:00 a.m. to 10:00 p.m.) noise level of 55 dBA applies unless the existing ambient noise level is higher as indicated in the Acoustical Report. The ambient noise level from adjacent Balboa Boulevard is 59.8 dBA.

The Acoustical Report concluded that with the 9-foot-5-inch-tall combination barrier the normal voice conditions would be reduced to 44.1 dBA and the worst case condition (22 people speaking at once) would be reduced to 54.1 dBA. The worst is case is below the 55dBA and well below the ambient noise level from adjacent Balboa Boulevard.

The Police Department agrees that the closing hour of 10:00 p.m. for the outdoor dining area and providing the combination barrier is sufficient to minimize the impact of noise to the neighboring residential areas and reduce the impact that the alcohol license will have on the community, police related activities, and calls for police services. As a result, Planning Division staff believes this measure is sufficient to limit the potential

impacts to the surrounding community and that the closing hour will effectively mitigate the potential negative impacts of the proposed outdoor dining area.

Alcoholic Beverage Sales

The Police Department has prepared an Alcohol Related Statistics report (Attachment No. PC 3) for the project site. The data from the Alcohol Related Statistics Report is incorporated into the factors for consideration, provided below.

Factors to Consider

Section 20.48.030 (Alcohol Sales) requires the Planning Commission to consider certain factors when making the required findings to approve the Use Permit. A discussion of these factors in support of the Use Permit is provided below.

1. *The crime rate in the reporting district and adjacent reporting districts as compared to other areas in the City.*

Reporting District	Part One Crimes (Serious offenses)	Part Two Crimes (All other offenses)	Part One Crimes Rate (per 100,000 people)
RD No. 15	343	242	11,506.43
RD No. 13	112	79	5,812.62
RD No. 16	167	107	6,003.49
Newport Beach	2,884	3,350	3,297.31

The establishment is located within Reporting District 15, which includes McFadden Square, Cannery Village, and Lido Marina Village. The Part One Crimes Rate in Reporting District 15 (RD 15) is higher than the Part One Crimes Rate for the City and adjacent districts (For a map of the City of Newport Beach Reporting Districts, see Attachment No. PC 4). The crime rate in this reporting district is 484 percent above the City wide reporting district average. The higher crime rate within this reporting district is largely due to the combination of the number of visitors to the Balboa Peninsula, the high concentration of alcohol licenses, and high ratio of non-residential to residential uses in the area. While the proposed establishment is located in an area which has a higher than average concentration of alcohol licenses, staff feels it is appropriate to allow the sale of alcohol with the proposed eating and drinking establishment because the of the type of food service with no late hours and that the renovated shopping center has been designed to accommodate eating and drinking establishments. Additionally, alcohol related calls for service have not been an issue in the past for the existing shopping center and the Police Department is not concerned with the approval of this operation as conditioned including the additional alcohol license.

2. *The numbers of alcohol-related calls for service, crimes, or arrests in the reporting district and the adjacent reporting districts.*

Reporting District	DUI/Drunk Arrests	Total Arrests	Calls for Service
RD No. 15	361	796	6,663
RD No. 13	39	161	2,554
RD No. 16	110	323	3,261
Newport Beach	1,270	3,595	62,294

RD 15 has a higher number of DUI/Drunk Arrests, Total Arrests, and Calls for service recorded in 2009 compared to the adjacent reporting districts. The existing Gina's Pizza location in Corona Del Mar received no notable police related activity in the past year. Prior to renovation, the shopping center did not accommodate any uses which possessed ABC licenses allowing alcohol sales for on-site consumption. The existing shopping center had not been subject to a significant number of alcohol related calls for service in the past and the renovated shopping center has been designed to accommodate eating and drinking establishments. The Police Department does not have a concern with the proposed operation with recommended conditions and staff believes that the additional license is not expected to exacerbate calls for service.

3. *The proximity of the establishment to residential zoning districts, day care centers, hospitals, park and recreation facilities, places of worship, schools, other similar uses, and any uses that attract minors.*

The proposed outdoor dining area is approximately 18 feet, at its closest point, to a residential property to the south. The draft resolution has been conditioned to require the closure of the door opening from the interior to the outdoor dining area by 10:00 p.m. daily to minimize the impacts of noise to the surrounding neighborhood. Additionally, the design of the outdoor dining area will include a 9-foot-5-inch-tall combination prefab stucco and tempered glass barrier. This combination barrier is designed reduce noise levels to meet the requirements of Section 10.26 of the Municipal Code and mitigate noise nuisance to the residential properties to the south. The nearest recreational facility, the 32nd Street Beach, is located approximately 600 feet to the west of the subject property. The nearest church, St. James Anglican Church, is located approximately 1,300 feet to the northeast of the subject property. The project site is not located in close proximity to a daycare center or school. The proposed use is also surrounded by other commercial uses including several other eating and drinking establishments.

The Balboa Peninsula in general is characterized by a high number of visitors in which commercial and residential zoning districts are located in close proximity to one another. The draft resolution has been conditioned to minimize negative impacts that the proposed eating and drinking establishment may have to surrounding land uses and ensure that the use remains compatible with the surrounding community.

4. *The proximity of the other establishments selling alcoholic beverages for either off-site or on-site consumption.*

The location of the proposed establishment is in close proximity to several establishments with alcohol licenses including Chipotle, Crow Burger, Malarky's Irish Pub, Rudy's, Ho Sum Bistro, and Pavilions. The Police Department has prepared an Alcohol Related Statistics report for the project site that indicates an over concentration of alcohol licenses within this statistical area.

Reporting District	Active ABC License	Per Capita
RD No. 15	79	1 per 38 residents
RD No. 13	6	1 per 321 residents
RD No. 16	6	1 per 464 residents
County-wide	5,589	1 per 542 residents

The per capita ratio of 1 license for every 38 residents is higher than the adjacent districts and the average ratio for Orange County. This is due to the higher concentration of commercial land uses and low number of residential properties (For a map of the City of Newport Beach Reporting Districts, see Attachment No. PC 4). Despite a higher than average concentration, this additional license is not expected to be detrimental because the small size of the establishment and the limited hours of operation.

5. *Whether or not the proposed amendment will resolve any current objectionable conditions.*

The Zoning District for the subject property specifies that the designated land use is intended to serve both residents and visitors. The shopping center and its close proximity to the beach and other commercial districts create a neighborhood focal point for both residents and visitors to stop and eat as they visit the Balboa Peninsula. Adding beer and wine to the menu will compliment the food service and will be provided for the convenience of customers. The draft resolution has been conditioned to limit objectionable conditions due to noise and trash at the subject establishment. The Police Department has no objections to the operation as proposed principally given the proposed hours of operation, license type, and overall size of the use.

The Police Department has reviewed the concentration and crime statistics and the potential impact of the proposed application on crime and police services and recommends approval of the establishment with a Type 41 ABC license with a closing hour of 10:00 p.m. Sunday through Thursday; 11:00 p.m. Friday and Saturday; and 10:00 p.m. daily for the outdoor dining area. This closing time will avoid increased crime and minimize the demand on police services in this area.

The Type 41 alcohol license and limited hours of operation effectively eliminate the conversion of the establishment into a late hour bar or tavern. The Police Department has provided recommended conditions of approval related to design and security of the establishment. In addition, all employees serving alcohol will be required to receive

ABC-required Licensee Education on Alcohol and Drugs (LEAD) training. Refer to Attachment No. PC 5 for a copy of the Police Department Recommendation.

Parking

The approved parking management plan requires that the shopping center be parked at a rate of one space per 200 square feet of gross floor area and allows for eating and drinking establishments to occupy a maximum 15 percent of the gross floor area. Gina's Pizza is the third eating and drinking establishment to request authorization within the shopping center under renovation, and it falls within the 15 percent allotted for eating and drinking establishments. The proposed project combined with previously permitted eating and drinking establishments accounts for 87 percent (6,224 square feet) of the gross floor area allotted for eating and drinking establishments.

Staff has prepared a table to track restaurants within the shopping center to ensure that uses do not exceed allowed limits and to ensure compliance with the parking requirements of the approved parking management plan (Attachment No. PC 6).

REQUIRED FINDINGS

Use Permit Findings

In accordance with Section 20.52.020 F, the Planning Commission must make the following findings for approval:

1. The use is consistent with the General Plan and any applicable specific plan.

2. The use is allowed within the applicable zoning district and complies with all other applicable provisions of this Zoning Code and the Municipal Code.

3. The design, location, size, and operating characteristics of the use are compatible with the allowed uses in the vicinity.

4. The site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities.

5. Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, a safety, or general welfare of persons residing or working in the neighborhood of the proposed use.

Additionally, In accordance with Section 20.48.030 (Alcohol Sales) of the Newport Beach Municipal Code, the following finding for a use permit is set forth:

1. The use is consistent with the purpose and intent of Section 20.48.030 (Alcohol Sales of the Zoning Code.

In summary, staff believes the findings for approval can be made and the facts in support of the required findings are presented in the draft resolution (Attachment No. PC 1). The proposed use is consistent with the General Plan, Local Coastal Program Coastal Land Use Plan, and Zoning Code. Adequate parking is provided for the project site within the parking pool provided for the shopping center. The hours of operation are compatible with uses in the area and the 10:00 p.m. closing hour Sunday through Thursday, 11:00 p.m. closing hour Friday and Saturday, and 10:00 p.m. closing hour daily for the outdoor dining area will ensure the establishment does not operate as a late hour bar or lounge. Beer and wine will be provided as a convenience to the public, and operational conditions of approval recommended by the Police Department have been included to ensure the restaurant is compatible with the surrounding neighborhood. The 9-foot-5-inch-tall combination barrier will reduce anticipated noise levels to meet the requirements of Section 10.26 of the Municipal Code and mitigate noise nuisance to the residential properties to the south.

Alternatives

If the Planning Commission does not believe the findings for approval can be made, the Planning Commission may deny the subject application. In addition, the Planning Commission may approve a modified project or modify conditions of approval to address areas of concern.

Environmental Review

The project is categorically exempt under Section 15303, of the California Environmental Quality Act (CEQA) Guidelines - Class 3 (New Construction or Conversion of Small Structures). The Class 3 exemption includes a store, motel, office, restaurant, or similar structure not involving significant amounts of hazardous substances, and not exceeding 2,500 square feet in floor area.

The proposed project involves the establishment of a restaurant in an existing tenant space. The proposed use is less than 2,500 square feet. Therefore, the use qualifies for a categorical exemption under Class 3.

Public Notice

Notice of this hearing was published in the Daily Pilot, mailed to property owners within 300 feet of the property and posted at the site a minimum of 10 days in advance of this hearing consistent with the Municipal Code. Additionally, the item appeared upon the agenda for this meeting, which was posted at City Hall and on the City website.

Prepared by:

Melinda Whelan, Assistant Planner

Submitted by:

Gregg Ramirez, Senior Planner

ATTACHMENTS

PC 1 Draft Resolution and Conditions of Approval
PC 2 Letter from Zoning Administrator
PC 3 Alcohol Related Statistics
PC 4 Newport Beach Reporting Districts Map
PC 5 Police Department Recommendation
PC 6 Acoustical Report
PC 7 The Landing Square Footage Tracking Table
PC 8 Plans
PC 9 Photos

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Tmplt: 11/23/09

Attachment No. PC 1

Draft Resolution and Conditions

RESOLUTION NO. ####

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF NEWPORT BEACH APPROVING MINOR USE PERMIT NO. UP2011-002 FOR A FOOD SERVICE, EATING AND DRINKING ESTABLISHMENT WITH NO LATE HOURS, OUTDOOR DINING, AND A TYPE 41 (ON SALE BEER AND WINE, EATING PLACE) ALCOHOLIC BEVERAGE CONTROL (ABC) LICENSE LOCATED AT 3142 BALBOA BOULEVARD (PA2011-006).

THE PLANNING COMMISSION OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Andrew Costa, with respect to property located at 3142 Balboa Boulevard, and legally described as Lots E, F, and H on Parcel Map, as per map filed in book 32, page 41 of Parcel Maps, in the office of the County Recorder in the County of Orange, together with that portion of Lake Avenue shown as Parcel "G" on said Parcel Map, vacated and abandoned by Resolution No. 1012 of the City Council of Newport Beach, recorded May 15, 1981 as Instrument No. 40308 in book 14079, page 939 of official records in the office of said County Recorder, also together with a portion of Section 28, Township 6 south, range 10 west, San Bernardino Meridian, as per Parcel Nos. 1, 2, and 3 of the official plat filed in the district land office August 4, 1980 requesting approval of a minor use permit.

2. The applicant proposes a food service, eating and drinking establishment with no late hours, outdoor dining and a Type 41 (On Sale Beer and Wine, Eating Place) Alcoholic Beverage Control (ABC) license. The gross floor area of the establishment is 2,083 square feet, the interior net public area will be 816 square feet, and the outdoor dining area will be 458 square feet. The establishment will provide a maximum of 50 interior seats and 22 exterior seats. The hours of operation are from 7:00 a.m. to 10:00 p.m., Sunday through Thursday and 7:00 a.m. to 11:00 p.m. Friday and Saturday, for the interior of the establishment; from 7:00 a.m. to 10:00 p.m., daily, for the outdoor dining area.

3. The subject property is located within the Commercial Neighborhood (CN) zoning district and the General Plan Land Use Element category is Neighborhood Commercial (CN).

4. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Neighborhood Commercial (CN).

5. Per a memorandum from the Zoning Administrator dated March 31, 2011, pursuant to Zoning Code Section 20.62.040 the Zoning Administrator elected to refer this application to the Planning Commission for consideration and final decision.

6. A public hearing was held on April 21, 2011, in the City Hall Council Chambers, 3300 Newport Boulevard, Newport Beach, California. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Planning Commission at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project has been determined to be categorically exempt under the requirements of the California Environmental Quality Act under Class 3, (New Construction or Conversion of Small Structures).

2. The Class 3 exemption includes a store, motel, office, restaurant or similar structure not involving significant amounts of hazardous substances, and not exceeding 2,500 square feet in floor area. This exemption also includes accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences. The proposed project involves the establishment of a restaurant in an existing retail tenant space and the construction of a new outdoor patio. The proposed use is less than 2,500 square feet. Therefore, proposed use and outdoor patio qualifies for a categorical exemption under Class 3.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 20.48.030 of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

A. The use is consistent with the purpose and intent of Section 20.48.030 (Alcohol Sales of the Zoning Code.

Facts in Support of Finding:

A-1. The project has been reviewed and conditioned to ensure that the purpose and intent of Section 20.48.030 (Alcohol Sales) of the Zoning Code is maintained and that a healthy environment for residents and businesses is preserved. The service of beer and wine is intended for the convenience of customers dining at the restaurant. Operational conditions of approval recommended by the Police Department relative to the sale of alcoholic beverages will ensure compatibility with the surrounding uses and minimize alcohol related impacts.

In accordance with Section 20.52.020.F of the Newport Beach Municipal Code, the following findings and facts in support of the findings for a use permit are set forth:

Finding:

B. The use is consistent with the General Plan and any applicable specific plan;

Facts in Support of Finding:

B-1. The General Plan land use designation for this site is CN (Neighborhood Commercial). The CN designation is intended to provide for a limited range of retail and service uses developed in one or more distinct centers oriented to serve the needs of and maintain compatibility with residential uses in the immediate area. An eating and drinking establishment with alcohol sales and accessory outdoor dining is a consistent use within this land use designation. Restaurant uses can be expected to be found in this area and similar locations and are complementary to the surrounding commercial and residential uses.

B-2. Eating and drinking establishments are common in the vicinity along the Balboa Peninsula and are frequented by visitors and residents alike. The establishment is similar to previous and currently approved uses within the shopping center and with no late hours the food service with outdoor dining is compatible with the land uses permitted within the surrounding neighborhood. The new establishment will improve and revitalize the existing retail building and the surrounding neighborhood.

B-3. The subject property is not part of a specific plan area.

Finding:

C. The use is allowed within the applicable zoning district and complies with all other applicable provisions of this Zoning Code and the Municipal Code;

Facts in Support of Finding:

C-1. The site is located in the CN (Commercial Neighborhood) Zoning District. The CN zoning district is intended to provide for areas appropriate for a limited range of retail and service uses developed in one or more distinct centers oriented to serve primarily the needs of and maintain compatibility with residential uses in the immediate area. The proposed food service, eating and drinking establishment with an outdoor dining area and beer and wine alcohol service is consistent with land uses permitted by the CN Zoning District and meets all applicable use and development standards of the Zoning Code.

Finding:

D. The design, location, size, and operating characteristics of the use are compatible with the allowed uses in the vicinity;

Facts in Support of Finding:

D-1. The operation of the restaurant will be restricted to the hours between 7:00 a.m. to 10:00 p.m., Sunday through Thursday, and 7:00 a.m. to 11:00 p.m. Friday and Saturday. The operation of the outdoor dining area will be restricted to the hours between 7:00 a.m. and 10:00 p.m., daily.

D-2. The approved plans as conditioned provide a 9-foot-5-inch-tall combination barrier using a 3-foot-11-inch-high, ¼-inch-thick tempered glass extension attached to the trellis to overlap the existing 6-foot-tall wall consistent with the recommendation found in the Acoustical Report. This combination barrier will reduce noise levels to meet the requirements of Section 10.26 of the Municipal Code and mitigate noise nuisance to the residential properties to the south. Also, consistent with the recommendation in the Acoustical Report, the tempered glass will extend past the patio exit corridor 10 feet for a total length of 50 feet. The use permit has been conditioned to provide this combination barrier as approved by the acoustical engineer and provided on the approved plans dated April 5, 2011. The use permit has also been conditioned to require the door opening from the interior to the outdoor dining area be closed at 10:00 p.m. The applicant is also required to control trash and litter around the subject property. These conditions will ensure that the establishment will comply with exterior noise standards and shield the restaurant activity from the residential uses to the south.

D-3. The operational conditions of approval recommended by the Police Department relative to the sale of alcoholic beverages will ensure compatibility with the surrounding uses and minimize alcohol related impacts. The project has been conditioned to ensure the welfare of the surrounding community so that the business remains a restaurant and does not become a bar or tavern. The project has been conditioned so that no dancing or live entertainment will be permitted on the premises.

D-4. The applicant is required to install a grease interceptor, obtain Health Department approval prior to opening for business, and comply with the California Building Code to ensure the safety and welfare of customers and employees within the establishment.

Finding

E. The site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities; and

Facts in Support of Finding

E-1. The project site is located within the addition to the remodeled existing retail building as part of the shopping center renovation. The renovated center is designed to provide up to 15 percent of the total building area for eating and drinking establishments. Sufficient parking is provided consistent with the parking management plan for the shopping center to meet the intensity of the eating and drinking establishment use. The limited hours of operation and the noise mitigation provided by the combination barrier adjacent the outdoor dining area ensure that the operating characteristics are physically suitable for the neighborhood.

E-2. Adequate public and emergency vehicle access, public services, and utilities are provided within the renovated shopping center.

E-3. The tenant improvements to the project site will comply with all Building, Public Works, and Fire Codes. All ordinances of the City and all conditions of approval will be complied with.

Finding

F. Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, a safety, or general welfare of persons residing or working in the neighborhood of the proposed use.

Facts in Support of Finding

F-1. The project has been reviewed and includes conditions of approval to ensure that potential conflicts with the surrounding land uses are minimized to the greatest extent possible. The operator is required to take reasonable steps to discourage and correct objectionable conditions that constitute a nuisance in parking areas, sidewalks and areas surrounding the subject property and adjacent properties during business hours, if directly related to the patrons of the establishment. The outdoor dining area and door opening from the interior to this area must be closed by 10:00 p.m. to limit the exterior noise to the surrounding residents. Additionally, the 9-foot-5-inch-tall combination barrier will be provided to ensure noise levels comply with Title 10 of the Municipal Code.

F-2. Gina's Pizza is the third eating and drinking establishment to request authorization within the shopping center under renovation, and it falls within the 15 percent allotted for eating and drinking establishments with the approved parking management plan therefore, adequate parking will be provided.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Planning Commission of the City of Newport Beach hereby approves Use Permit No. UP2011-002, subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.

2. This action shall become final and effective fourteen days after the adoption of this Resolution unless within such time an appeal is filed with the City Clerk in accordance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

PASSED, APPROVED AND ADOPTED THIS 21st DAY OF April, 2011.

AYES:

NOES:

ABSTAIN:

ABSENT:

BY:_____
Earl McDaniel, Chairman

BY:_____
Michael Toerge, Secretary

EXHIBIT "A"

CONDITIONS OF APPROVAL
Project Specific Conditions in Italics

PLANNING

1. *The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated April 5, 2011. (Except as modified by applicable conditions of approval.)*

2. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.

3. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.

4. This approval was based on the particulars of the individual case and does not in and of itself or in combination with other approvals in the vicinity or Citywide constitute a precedent for future approvals or decisions.

5. This Use Permit may be modified or revoked by the City Council or Planning Commission should they determine that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.

6. Any change in operational characteristics, hours of operation, expansion in area, or other modification to the approved plans, shall require an amendment to this Use Permit or the processing of a new Use Permit.

7. All proposed signs shall be in conformance with the approved Comprehensive Sign Program for the project site and provisions of Chapter 20.42 of the Newport Beach Municipal Code.

8. Use Permit No. 2011-003 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.54.060 of the Newport Beach Municipal Code, unless an extension is otherwise granted.

9. *Prior to the issuance of building permits, Fair Share Traffic Fees shall be paid for the outdoor dining area in excess of 25 percent of the interior net public area in accordance with Chapter 15.38 of the Newport Beach Municipal Code.*

10. A copy of this approval letter shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.

11. *The hours of operation for the interior of the eating and drinking establishment are limited from 7:00 a.m. to 10:00 p.m., Sunday through Thursday; and 7:00 a.m. to 11:00 p.m.,*

Friday and Saturday. The hours of operation for the outdoor dining area are limited from 7:00 a.m. to 10:00 p.m., daily. All activities within the outdoor dining area, including cleanup activities, shall cease at the specified closing hour and no later.

12. *The door from the interior to the outdoor dining area shall be closed by 10:00 p.m., daily, to limit the impact of interior noise to residents in the vicinity.*

13. *The 9-foot-5-inch-tall combination barrier shall be provided adjacent the outdoor dining area consistent with the Acoustical Report and the approved set of plans dated April 5, 2011. The combination barrier shall include a 3-foot-11-inch-high, ¼-inch-thick tempered glass extension attached to the trellis to overlap the existing 6-foot-tall property line wall providing a 9-foot-5-inch-tall combination barrier. Also, consistent with the recommendation in the Acoustical Report, the tempered glass will extend past the patio exit corridor 10 feet for a total length of 50 feet. This combination barrier is intended to reduce noise levels to meet the requirements of Section 10.26 of the Municipal Code therefore; the outdoor dining area is not permitted to operate without this barrier.*

14. Live entertainment and dancing shall be prohibited as a part of the regular operation.

15. A covered wash-out area for refuse containers and kitchen equipment, with minimum useable area dimensions of 36-inches wide, 36-inches deep and 72-inches high, shall be provided, and the area shall drain directly into the sewer system, unless otherwise approved by the Building Director and Public Works Director in conjunction with the approval of an alternate drainage plan.

16. A grease interceptor shall be provided for the restaurant facility in accordance with the provisions of the California Plumbing Code.

17. *The outdoor dining floor area in excess of the 25 percent allowance will be deducted from the 15 percent of gross floor area limitation for eating and drinking establishment uses within the Landing Shopping Center.*

18. *The accessory outdoor dining shall be used only in conjunction with the related adjacent establishment.*

19. *The outdoor dining area shall be limited to 458 square feet in area and provide seating for twenty two persons maximum.*

20. *The seating and dining in the outdoor area shall be limited to dining table height (approximately 30 inches) and table surface area of 24 inches by 30 inches minimum. The use of elevated counters, tables, and barstools are prohibited in the outdoor dining area.*

21. *The interior dining area shall be limited to a maximum net public area of 817 square feet and provide seating for fifty persons maximum.*

22. *Prior to issuance of building permits, plans for the outdoor dining area shall be reviewed and approved by the Planning Division. Final material, height, and location of the fence barrier, 9-foot-5-inch-tall combination barrier and trellis shall be subject to approval by the Building and Planning Division staff.*

23. *The boundary of the accessory outdoor dining area shall be marked through the use of a 36-inch-high rail as shown on the approved plans. The 9-foot-5-inch-tall combination barrier is for noise mitigation and fences, walls, or similar structures such as the trellis shall serve only to define the outdoor dining area and not constitute a permanent all weather enclosure.*

24. *No form of advertisement shall be placed on an awning, umbrella or elsewhere in the outdoor dining area. The outdoor dining area, including any trellis or umbrella, shall be maintained in a clean orderly condition at all times.*

25. *The installation of roof coverings in addition to the proposed trellis shall not have the effect of creating a permanent enclosure. The use of umbrellas for shade purposes shall be permitted. The use of any other type of overhead covering shall be subject to review and approval by the Planning Director and may require an amendment to this permit.*

26. There shall be no exterior advertising or signs of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Interior displays of alcoholic beverages or signs which are clearly visible to the exterior shall constitute a violation of this condition.

27. *The type of alcoholic beverage license issued by the California Board of Alcoholic Beverage Control shall be a Type 41 in conjunction with the service of food as the principal use of the facility.*

28. All owners, managers and employees selling alcoholic beverages shall undergo and successfully complete a certified training program in responsible methods and skills for selling alcoholic beverages. The certified program must meet the standards of the California Coordinating Council on Responsible Beverage Service or other certifying/licensing body, which the State may designate. The establishment shall comply with the requirements of this section within 180 days of the issuance of the certificate of occupancy. Records of each owner's, manager's and employee's successful completion of the required certified training program shall be maintained on the premises and shall be presented upon request by a representative of the City of Newport Beach.

29. This approval does not permit the premises to operate as a bar, tavern, cocktail lounge, or nightclub as defined by the Newport Beach Municipal Code.

30. No alcoholic beverages shall be consumed on any property adjacent to the licensed premises under the control of the licensee.

31. No "happy hour" type of reduced price alcoholic beverage promotion shall be allowed except when offered in conjunction with food ordered from the full service menu. There shall be no reduced price alcoholic beverage promotion after 9:00 p.m.

32. The petitioner shall not share any profits or pay any percentage or commission to a promoter or any other person based up on monies collected as a door charge, cover charge, or any other form of admission charge, including minimum drink orders or the sale of drinks.

33. The quarterly gross sales of alcoholic beverages shall not exceed the gross sales of food during the same period. The licensee shall at all times maintain records, which reflect separately the gross sales of food and the gross sales of alcoholic beverages of the licensed business. These records shall be kept no less frequently than on a quarterly basis and shall be made available to the Police Department on command.

34. There shall be no on-site radio television, video, film, or other electronic or media broadcasts, including recordings to be broadcasted at a later time, which include the service of alcoholic beverages, without first obtaining an approved special event permit issued by the City of Newport Beach.

35. No games or contests requiring or involving the consumption of alcoholic beverages shall be permitted.

36. Food service from the regular menu must be available to patrons up to thirty (30) minutes before the scheduled closing time.

37. Strict adherence to maximum occupancy limits is required.

38. A Special Events Permit is required for any event or promotional activity outside the normal operational characteristics of the approved use, as conditioned, or that would attract large crowds, involve the sale of alcoholic beverages, include any form of on-site media broadcast, or any other activities as specified in the Newport Beach Municipal Code to require such permits.

39. Any event or activity staged by an outside promoter or entity, where the applicant, operator, owner or his employees or representatives share in any profits, or pay any percentage or commission to a promoter or any other person based upon money collected as a door charge, cover charge or any other form of admission charge is prohibited.

40. The proprietor shall actively control any noise generated by the patrons of the facility.

41. The site shall not be excessively illuminated based on the luminance recommendations of the Illuminating Engineering Society of North America, or, if in the opinion of the Planning Director, the illumination creates an unacceptable negative impact on surrounding land uses or environmental resources. The Planning Director

may order the dimming of light sources or other remediation upon finding that the site is excessively illuminated.

42. The operator of the facility shall be responsible for the control of noise generated on the subject facility. Pre-recorded music may be played in the tenant space, provided exterior noise levels outlined below are not exceeded. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 and other applicable noise control requirements of the Newport Beach Municipal Code. The maximum noise shall be limited to no more than depicted below for the specified time periods unless the ambient noise level is higher:

	Between the hours of 7:00 a.m. and 10:00 p.m.		Between the hours of 10:00p.m. and 7:00 a.m.	
Location	Interior	Exterior	Interior	Exterior
Residential Property	45dBA	55dBA	40dBA	50dBA
Residential Property located within 100 feet of a commercial property	45dBA	60dBA	45dBA	50dBA
Mixed Use Property	45dBA	60dBA	45dBA	50dBA
Commercial Property	N/A	65dBA	N/A	60dBA

43. Prior to the issuance of a building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.

44. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or the leasing agent.

45. Construction activities shall comply with Section 10.28.040 of the Newport Beach Municipal Code, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday and 8:00 a.m. and 6:00 p.m. on Saturday. Noise-generating construction activities are not allowed on Sundays or Holidays.

46. *No amplified music, outside paging system, loudspeaker, televisions or other noise generating device are permitted in conjunction with the outdoor dining area.*

47. No outside paging system shall be utilized in conjunction with this establishment.

48. No temporary "sandwich" signs or similar temporary signs shall be permitted, either on-site or off-site, to advertise the restaurant.

49. Temporary signs shall be prohibited in the public right-of-way unless otherwise approved by the Public Works Department in conjunction with the issuance of an encroachment permit or encroachment agreement.

50. All trash shall be stored within the building or within dumpsters stored in the trash enclosure found to the rear of the west shops within in the rear parking lot. The trash

enclosure shall be screened with three walls and a self-latching gate or otherwise be screened from view of neighboring properties, except when placed for pick-up by refuse collection agencies. The trash enclosure shall have a decorative solid roof for aesthetic and screening purposes. The trash dumpsters shall have a top, which shall remain closed at all times, except when being loaded or while being collected by the refuse collection agency.

51. Trash receptacles for patrons shall be conveniently located both inside and outside of the establishment, however, not located on or within any public property or right-of-way.

52. The exterior of the business shall be maintained free of litter and graffiti at all times. The owner or operator shall provide for daily removal of trash, litter debris and graffiti from the premises and on all abutting sidewalks within 20 feet of the premises.

53. The applicant shall ensure that the trash dumpsters and/or receptacles are maintained to control odors. This may include the provision of either fully self-contained dumpsters or periodic steam cleaning of the dumpsters, if deemed necessary by the Planning Division. Cleaning and maintenance of trash dumpsters shall be done in compliance with the provisions of Title 14, including all future amendments (including Water Quality related requirements).

54. Deliveries and refuse collection for the facility shall be prohibited between the hours of 10:00 p.m. and 8:00 a.m., daily, unless otherwise approved by the Planning Director, and may require an amendment to this Use Permit.

55. Storage outside of the building in the front or at the rear of the property shall be prohibited, with the exception of the required trash container enclosure.

56. Trash receptacles for patrons shall be conveniently located both inside and outside of the establishment, however, not located on or within any public property or right-of-way.

57. All mechanical equipment shall be screened from public view per Section 20.30.020 of the Zoning Code.

58. Prior to final of the building permits, the applicant shall prepare and submit a practical program for controlling litter, spills, and stains resulting from the use on the site and adjacent areas to the Planning Division for review. The building permit shall not be finaled and use cannot be implemented until that program is approved. The program shall include a detailed time frame for the policing and cleanup of the public sidewalk and right-of-way in front of the subject property as well as the adjacent public right-of-way (25 feet north and south of the subject property) not just in front of the subject tenant space. Failure to comply with that program shall be considered a violation of the use permit and shall be subject to administrative remedy in accordance with Chapter 1.05 of the Newport Beach Municipal Code that includes issuance of a citation of violation and monetary fines.

59. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Gina's Pizza including, but not limited to, the Use Permit No. UP2011-003. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Fire Department Conditions

60. An automatic fire extinguishing system protecting commercial cooking shall be required in the Type I hood. Prior to installation, plans will need to be submitted and approved by the fire department.

61. Post occupant load near the main exit.

62. Panic hardware is required from all exits with an occupant load of 50 or more.

63. Hardware on the exit door/gate from the outdoor dining area must meet the hardware requirements for the 2010 California Building Code Sec 1008.1.9.4

64. Permits are required for an assembly and open burning (gas fire pit). Permits can be obtained through the Fire Department.

65. A cover for the proposed fire pit will be required. This cover is intended to prevent any person from falling into the fire pit. The mesh cover is to be placed over the fire pit when the fire pit is in operation.

66. A separate plan will need to be submitted for any fire sprinkler modifications. The plans must be submitted and approved prior to any work being done on the sprinkler system.

Building Division Conditions

67. The applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code.

68. *Public sanitation facilities shall be available to the general public (patrons) during regular business hours of the operation, unless otherwise approved by the Building Division.*

69. *The construction plans must meet all applicable State Disabilities Access requirements for the interior and the exterior dining areas.*

70. *Approval from the Orange County Health Department is required prior to the issuance of a building permit.*

71. *The outdoor dining area including the fire pit, trellis and 9-foot-5-inch-tall combination barrier included in the approved plans must comply with the most recent applicable City-adopted version of the California Building Code.*

Attachment No. PC 2

Letter from Zoning Administrator

CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

MEMORANDUM

DATE: March 31, 2011

TO: Melinda Whelan, Assistant Planner

FROM: Jaime Murillo, Zoning Administrator

SUBJECT: Gina's Pizza (3138 Balboa Boulevard) - Minor Use Permit Request
Referral to Planning Commission

Based on my understanding of the project description and the location of the proposed project within the Landing Shopping Center, I am referring the review of the minor use permit request to the Planning Commission for consideration and final action.

The redevelopment of the shopping center was extensively reviewed by the Planning Commission under the approval of Use Permit No. UP2010-002 and during said review, it was the Planning Commission's understanding that all use permits for food service uses within the shopping center would return to the Planning Commission for their review. Also, during the recent review of other eating and drinking establishments within this shopping center, the neighboring residential property owners have expressed significant concern with regard to the establishment of new food service uses that sell alcoholic beverages and the potential noise disturbances associated with outdoor dining areas. Given the close proximity of the subject proposed outdoor dining area to the residential dwelling units to south, it is anticipated that there will be increased neighborhood concern with this project. Based on these reasons, I feel it is appropriate at this time to refer the review of the minor use permit request to the Planning Commission and to provide the applicant timely review and consideration of their request.

Attachment No. PC 3

Alcohol Related Statistics

City of Newport Beach

Police Department

Memorandum

March 7, 2011

TO: Melinda Whelan, Assistant Planner

FROM: Paul Salenko, Crime Analyst

SUBJECT: Alcohol Related Statistics

At your request, our office has reviewed police services data for the **Gina's Pizza** at **3138 Balboa Blvd.** This area encompasses our reporting district (RD) number **15** as well as part of Census Tract 635. This report reflects **City of Newport Beach** crime data for calendar year 2009, which is the most current data available.

Calls for Service Information

City wide there were approximately 69,294 calls for police services during this time, of which 6,663 were in **RD15**. A "call for service" is, ***any contact of the police department by a citizen which results in the dispatching of a unit or causes the contacted employee to take some sort of action,*** such as criminal investigations, alarm responses, traffic accidents, parking problems, and animal control calls, etc.

Crime Information

There were 6,194 crimes reported to the Newport Beach Police Department during this period. Of this total, 2,884 were Part One Crimes. Part One crimes are the eight most serious crimes (***Homicide, forcible Rape, Robbery, Aggravated Assault, Burglary, Larceny-theft, Auto Theft and Arson***) as defined by the FBI in the Uniform Crime Reports. The remaining 3,350 were Part Two crimes. The Part One crime rate for the entire city during this same period was 3,297.31 per 100,000 people. The national Part One crime rate was 3,667.02* per 100,000 people.

Crimes	**RD 15**	**Newport Beach**	**California***	**National***
Part 1	343	2,884	1,184,073	10,639,369
Part 2	242	3,350	N/A	N/A
Part 1Crime Rate	11,506.43	3,297.31	3,203.52	3,465.52

The number of active ABC licenses in this RD is 79**

Per capita ratio 1 license for every 38 residents.

This reporting district had a total of 946 reported crimes as compared to a City wide reporting district average of 162 reported crimes. This reporting district is 784 crimes more or 483.95% above the City wide reporting district average. This location is within an RD that is over the Orange County per capita average of ABC licenses**.

Arrest Information

There were 80 DUI arrests and 281 Plain Drunk arrest in this area during this same period as compared to 1,270 for the entire city. This RD amounts to 28.43% of the DUI/Drunk arrests made in the entire City. According to a recent national study by the Department of Justice, more than 36% of adult offenders convicted of crimes in 1996 had been drinking at the time of their arrest.

Arrests (DUI/Drunk)	**RD** 15	**Newport Beach**	**California***	**National***
	361	1,270	324,442	2,094,731
Total Arrests	796	3,595	1,474,004	13,687,241

Additional Information

The Alcoholic Beverage Outlets ordnance states that the Planning Commission shall consider the crime rate in the adjacent reporting districts. The two adjacent reporting districts you requested are RD 13 and RD 16

Crimes	**RD** 13	**RD** 16
Part 1	112	167
Part 2	79	107
Crime Rate	5,812.62	6,003.49
Arrests (DUI/Drunk)	39	110
Total Arrests	161	323
Calls For Service	2,554	3,261
Number of active ABC licenses	6**	6**
Per capita ratio1 license for every	321* residents	464* residents.

Note: It is important to remember that when dealing with small numbers any change greatly affects any percentage changes.

The population figure used for the Crime Rate was 86,252.

*These numbers are from the 2009 Uniform Crime Reports, which is the most recent edition.

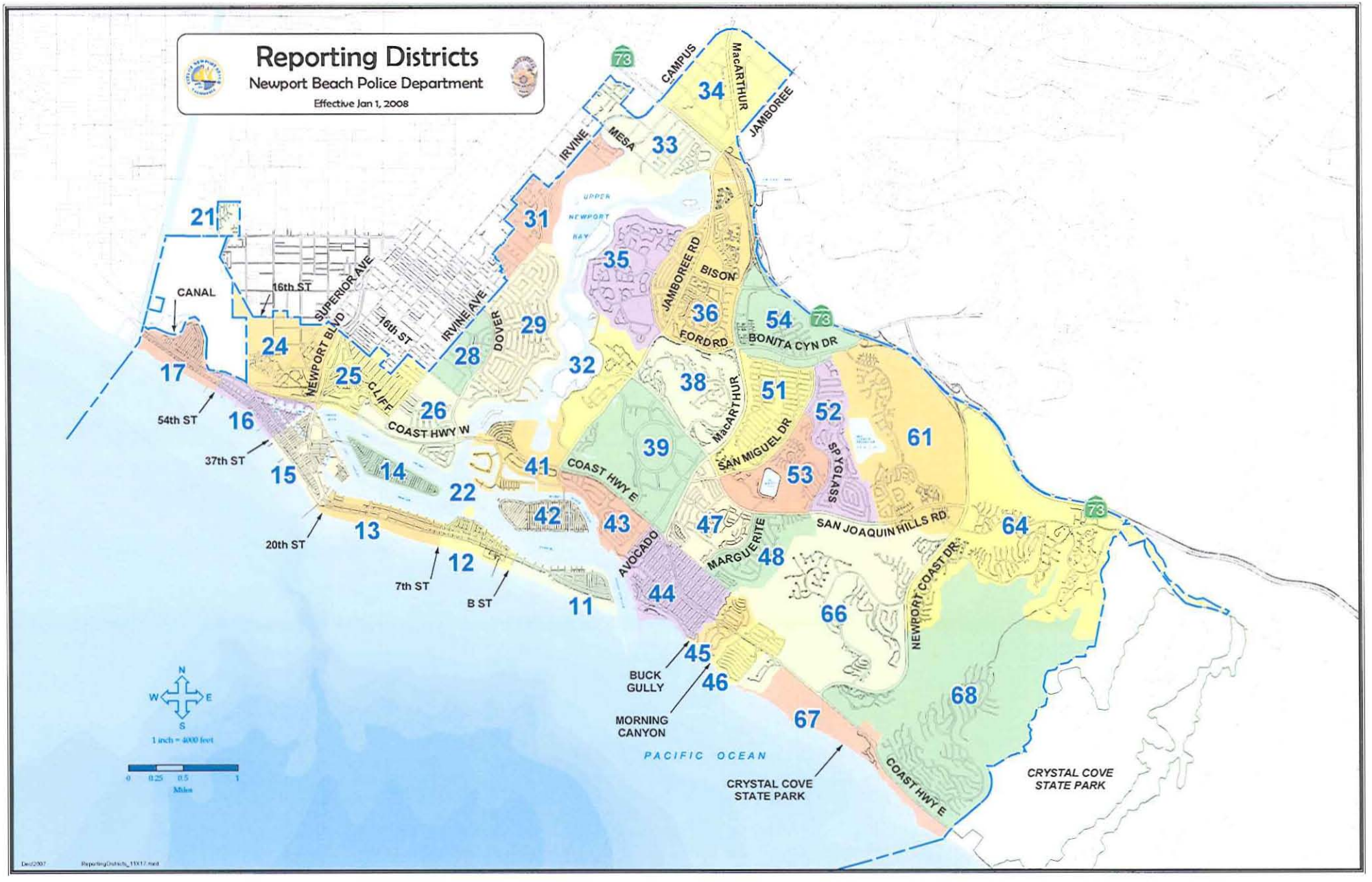
The **number of active ABC licenses is the total of all types of licenses known to the police department as of the date of this document. As of June 30, 2009 the Orange County average of active, retail ABC licenses was 1 license for every 542 residents. (5,589 licenses and a population of 3,026,786)

If you are in need of any further assistance, please contact me at (949) 644-3791.

Paul Salenko
Crime Analysis Unit

Attachment No. PC 4

Newport Beach Reporting Districts Map


Reporting Districts
Newport Beach Police Department
Effective Jan 1, 2008
CAMPUS
MacARTHUR
JAMBOREE
IRVINE
MESA
UPPER NEWPORT BAY
JAMBOREE RD
BISON
FORD RD
BONITA CYN DR
SUPERIOR AVE
16th ST
CANAL
NEWPORT BLVD
IRVINE AVE
DOVER
CLIFF
COAST HWY W
54th ST
37th ST
20th ST
7th ST
B ST
COAST HWY E
AVOCADO
SAN MIGUEL DR
SPYGLASS
SAN JOAQUIN HILLS RD
MARGUERITE
NEWPORT COAST DR
BUCK GULLY
MORNING CANYON
PACIFIC OCEAN
CRYSTAL COVE STATE PARK
CRYSTAL COVE STATE PARK
N
W
E
S
1 inch = 4000 feet
0 0.25 0.5 1
Miles
Dec/2007
ReportingDistricts_11X17.mxd

Attachment No. PC 5

Police Department Recommendation

City of Newport Beach
Police Department

Memorandum

April 6, 2011

TO: Melinda Whelan, Assistant Planner

FROM: Detective Bryan Moore

SUBJECT: Gina's Pizza, 3138 Balboa Boulevard, Use Permit No. 2011-002, (PA2011-006).

At your request, the Police Department has reviewed the project application for *Gina's Pizza,* located at 3138 Balboa Boulevard, Newport Beach. The applicant requests a minor use permit to allow a food service eating and drinking establishment. The establishment is proposed within an existing commercial building with a gross floor area of 1,994 square feet, a net public area of 812 square feet and a maximum of 50 seats. Additionally, the request includes an outdoor dining area with a gross area of 458 square feet and 22 seats. The requested hours of operation for the interior dining are 7 a.m. to 10 p.m., Sunday through Thursday, and 7 a.m. to 11 p.m., Friday and Saturday. The requested hours of operation for the outdoor patio are from 7 a.m. to 10 p.m., daily.

The applicant will apply for a Type 41 (On Sale Beer & Wine – Eating Place) license with the Department of Alcoholic Beverage Control.

I have included a report prepared by Crime Analyst Paul Salenko that provides detailed statistical information related to calls for service in and around the applicant's place of business. This report indicates that this new location **is** within an area where the number of crimes is at least 75% higher than the average of all reporting districts in the City. This location **is** also within an RD that is over the Orange County per capita of ABC licenses.

Applicant History

The applicant, Andrew Costa, has been a resident of Corona del Mar for the past 30 years. His family first opened Gina's Pizza in CDM over 35 years ago. Today, Mr. Costa is the principle owner/operator of the CDM location, as well as two others in Laguna Beach. Gina's Pizza also has two additional locations in Irvine and Costa Mesa, which are operated by Andrew's business partners.

The proposed Gina's Pizza will be consistent with the Costa family's long standing tradition of eating establishments, which is a family style Italian

restaurant dedicated to handcrafted, quality comfort food. Per the plans provided by Mr. Costa, there will be no fixed bar at this location.

Police Activities and Calls for Service Data (Gina's Pizza - CDM)
There was no notable police related activity at this location in the past year.

Recommendations
The Police Department has no objections to this operation as proposed by the applicant. We believe that the recommended conditions will be sufficient to mitigate the issuance of an additional beer and wine license in this area.

The Police Department does, however, have some concerns with regard to the rear patio and its proximity to the nearby residents. We would be in favor of any noise mitigating measures recommended by the Planning Department.

Signs and Displays
Any signs or displays would need to conform to City requirements. There shall be no exterior advertising or signs of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Interior displays of alcoholic beverages or signs, which are clearly visible to the exterior, shall constitute a violation of this condition.

Hours of Operation
The proposed hours of operation are from 7 a.m. to 10 p.m., Sunday through Thursday and 7 a.m. to 11 p.m., Friday and Saturday.

The proposed hours of operation for the outdoor patio are from 7 a.m. to 10 p.m., daily.

Security
The Police Department has no recommendations.

Employee Training
Require all owners, managers, and employees selling alcoholic beverages to undergo and successfully complete a certified training program in responsible methods and skills for serving and selling alcoholic beverages.

Additional Comments
For the purposes of this application, staff may also want to consider establishing conditions that would require a Special Event Permit. A Special Event Permit may be required for any event or promotional activity outside the normal operational characteristics of the proposed operation. For example, events likely to attract large crowds, events for which an admission fee is charged, events that include any form of contract promoters, or any other activities as specified in the Newport Beach Municipal Code to require such permits.

Other Recommended Conditions

In addition, the Police Department has determined that the following conditions would be appropriate for the conditional use permit for the business:

1. Approval does not permit the premises to operate as a bar, tavern, cocktail lounge or nightclub as defined by the Newport Beach Municipal Code, unless the planning commission first approves a Use Permit.

2. No alcoholic beverages shall be consumed on any property adjacent the licensed premises under the control of the licensee.

3. Food from the full service menu must be made available during any "happy hour" type of reduced price alcoholic beverage promotion. There shall be no reduced price alcoholic beverage promotion after 9 p.m.

4. Petitioner shall not share any profits or pay any percentage or commission to a promoter or any other person based upon monies collected as a door charge, cover charge, or any other form of admission charge, including minimum drink orders or the sale of drinks.

5. The quarterly gross sales of alcoholic beverages shall not exceed the gross sales of food during the same period. The licensee shall at all times maintain records, which reflect separately the gross sales of food and the gross sales of alcoholic beverages of the licensed business. These records shall be kept no less frequently than on a quarterly basis and shall be made available to the Police Department on demand.

6. There shall be no on-site radio, television, video, film or other electronic media broadcasts, including recordings to be broadcasted at a later time, which include the service of alcoholic beverages, without first obtaining an approved Special Event Permit issued by the City of Newport Beach.

7. There shall be no live entertainment allowed on the premises.

8. There shall be no dancing allowed on the premises.

9. No games or contests requiring or involving the consumption of alcoholic beverages shall be permitted.

10. Food service from the regular menu must be available to patrons up to thirty (30) minutes before the scheduled closing time.

11. Strict adherence to maximum occupancy limits is required.

Alcoholic Beverage Control License
Upon approval of the CUP, the ABC license will be conditioned as necessary to maintain the health, safety and welfare of the Community.

If you have any questions, please contact me at (949) 644-3725.

Detective Bryan Moore
ABC Liaison/Vice/Intelligence

Craig Fox, Captain
Detective Division Commander

Attachment No. PC 6

Acoustical Report

COLIA ACOUSTICAL CONSULTANTS
177 Riverside, #F
Newport Beach, CA 92663
Certified Acoustical Consultants
Phone 714 960-7511
Fax 714 960-6775
Email: RColia@socal.rr.com

L11-021R

April 4, 2011

Mr. Andy Costa
Gina's Pizza
3142 W. Balboa Blvd.
Newport Beach, CA 92663

SUBJECT: Acoustical Report of Measurement of Potential Noise Levels At the New Restaurant at 3142 W. Balboa Boulevard in Newport Beach

Dear Mr. Costa;

This letter has been prepared to detail the results of measurements of the ambient noise levels along Balboa Boulevard between 30th Street and 32nd Street in Newport Beach. These measurements were made with a clear view to the vehicular traffic on Balboa. The measurement location was at a point representing the closest property of the residences near the west side of the proposed project, near the proposed patio.

The measurements were made between 8:00 P.M. and 8:30 P.M. on March 19, 2011 at the location shown in Figure 2. This site was selected to represent the equivalent distance to the property lines of the residences without being on their property. The measurements were made using the A-weighted scale of a Bruel and Kjaer 2230 Precision Integrating Sound Level Meter, Type I. The meter was calibrated before the measurements and was found to be within 0.1 dB of tolerance.

The results of the measurement indicate an average noise level (Leq) of 59.8 dB. The ambient noise level of existing traffic in the area indicates high traffic volumes on Balboa Street and 32nd Street on a spring weekend evening. One might expect higher traffic flows in summer and fall nights.

RESULTS

At West Residential Property Side across Balboa Street:

Site 1: Measured **59.8 dBA** at reprentative 8 P.M. hour.

The City Exterior Noise Standard is **55** dBA, daytime (7:00 A.M. to 10:00 P.M).

The proposed restaurant at 3142 W. Balboa will have a southwest facing outdoor patio that will seat a maximum of 22 people. Normal conversation between two people averages 65 dBA at 3 feet apart. With 22 people speaking at once the worst case noise level at 3 feet would combined to be 78.4 dBA at the patio. The residential outdoor space to the south is about 18.3 feet south of the subject patio at their closest distance. The noise drop-off rate is 6 dB per each doubling of distance. The noise drop-off with distance was calculated by the following formula:

20 Log (3'/18.3') + 78.4 = **62.7 dBA**

The noise from the patio will traverse across the parking lot and will decrease with distance (of 18.3 feet) to 62.7 dBA at the residential areas to the south. Even if the noise level of louder voices would increase to 75 dBA in conversation the projected impact at 18.3 feet would fall to 72.7 dBA to the south. Table 1 show these results in summary. The worst-case level of 72.7 dBA is higher the daytime standard of 55 dBA and is also higher than the existing traffic noise level of 59.8 dBA at 8 P.M. from Balboa Street.

Thus, the patio noise impact in normal conditions is over the City standard of 55 dBA and is greater than ambient street noise. The worst-case noise level is significantly more than the ambient street traffic and is higher than the noise standard.

TABLE 1

Summary of Results – New South-Facing Patio, 22 people

Patio Noise Level	*Distance to Residences Feet*	*Noise Level @ Residences*	*Daytime Std. dBA*	*Ambient Balboa Blvd.*
65 dBA	18.3	62.7	55	59.8 dBA
75 dBA (worst-case)	18.3	72.7	55	59.8 dBA

L11-021R
April 4, 2011

Exterior Noise Control

The potential noise impact from the future proposed outdoor patio of the Gina's Pizza may be as high as 62.7 to 72.7 dBA in a worst-case condition. The City of Newport Beach has an outdoor standard of 55 dBA during daytime hours (7:00 A.M. to 10:00 P.M.). Because the potential noise impact is 17.7 dB higher than the exterior noise standard, acoustical shielding around the patio (patio perimeter) is recommended.

On the south and west sides of the patio a 9-foot high total barrier or combination barrier is recommended. The top acoustical barrier may consist of:

-1/4 inch tempered glass in a solid wood (or metal) frame sealed airtight,

-1/2 inch Plexiglas, or

-5/8 inch Lexan

On the perimeter of the patio there is an existing two (2) inch thick prefab wall about 5-6-feet tall. The architect has proposed hanging from the patio cover trellis a ¼ inch tempered glass barrier that would overlap the existing prefab wall by about 6 inches. This concept when finished will provide the acoustical shielding needed. The same prefab wall and tempered glass overhang (combination wall) should also apply for the patio exit corridor for a length of 10 feet from the patio. A second option is the patio exit door could be standard size and contain solid wood, filled metal or ¼ inch tempered glass. The barrier from the trellis should then also wrap around above the door to the same height.

The shielded noise impact with the nine (9) foot barrier or this combination wall will be 44.1 dBA in normal voice conditions and 54.1 dBA in the worst-case condition. See the shielded levels (SLEV) in Table 2. These shielded values meet the City daytime of 55 dBA. The owner has indicated the patio will close at about 9:00 P.M. on Sundays and weekdays, and will close at 10:00 P.M. on Fridays and Saturdays.

If you have any questions regarding this information please call.

Sincerely;

Richard Colla
Certified Acoustical Consultants

TABLE 2

SOUND BARRIER CALCULATION WORKSHEET

AREA	SORC ELEV	PAD ELEV	DSLE	SORC ELEV	OBS. ELEV	OBS-BARR DIST	BLOS ELEV	TOB ELEV	ATTN (dB)	ULEV	SLEV	TOTAL	WALL HT.
So.	0.0	9.0	40.0	5.0	14.0	38.0	6.1	9.0	11.8	62.7	44.1		9.0
So.	0.0	9.0	40.0	5.0	14.0	38.0	6.1	9.0	11.8	72.7	54.1		9.0

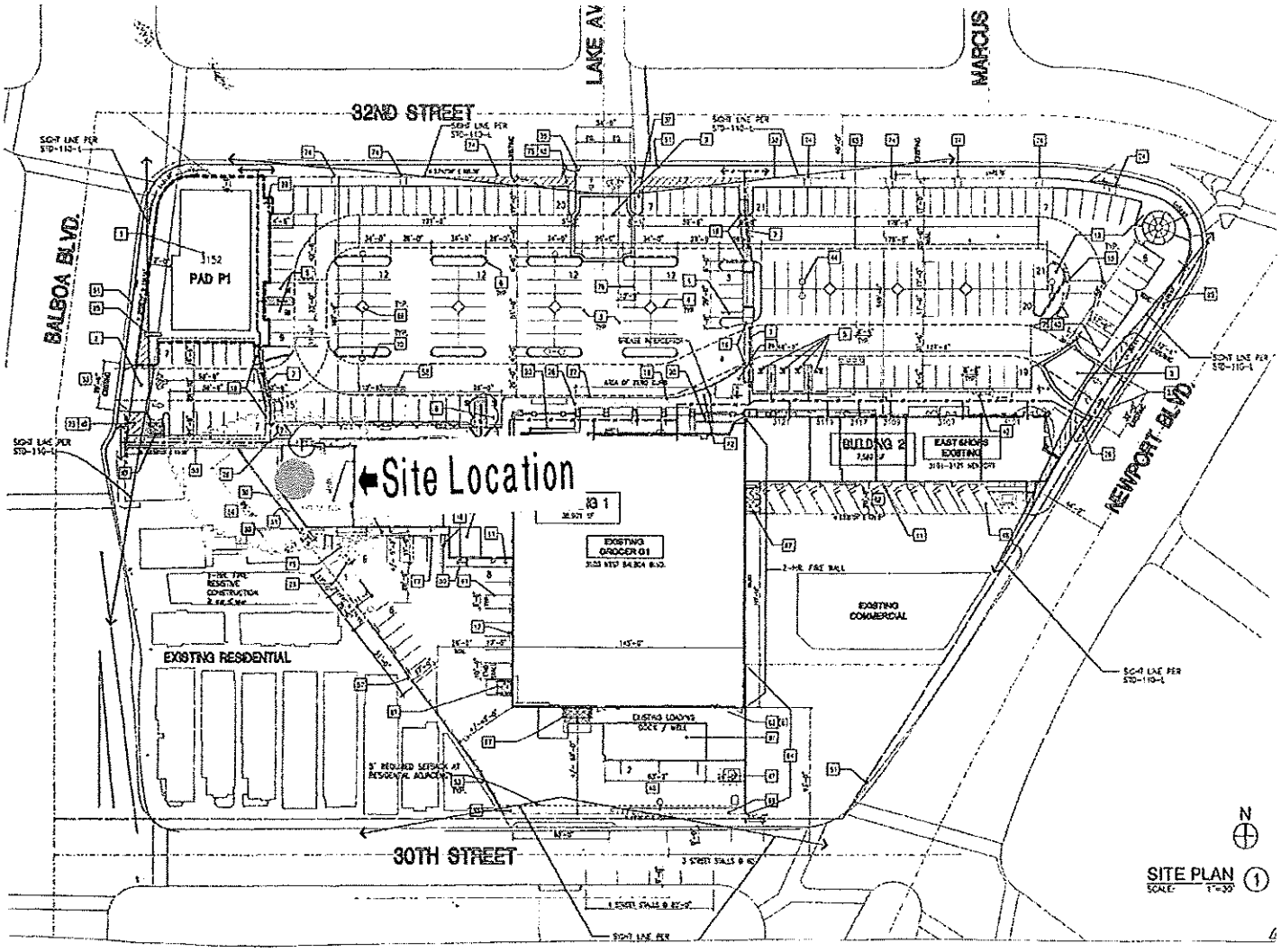


FIGURE 1: Site Location Map

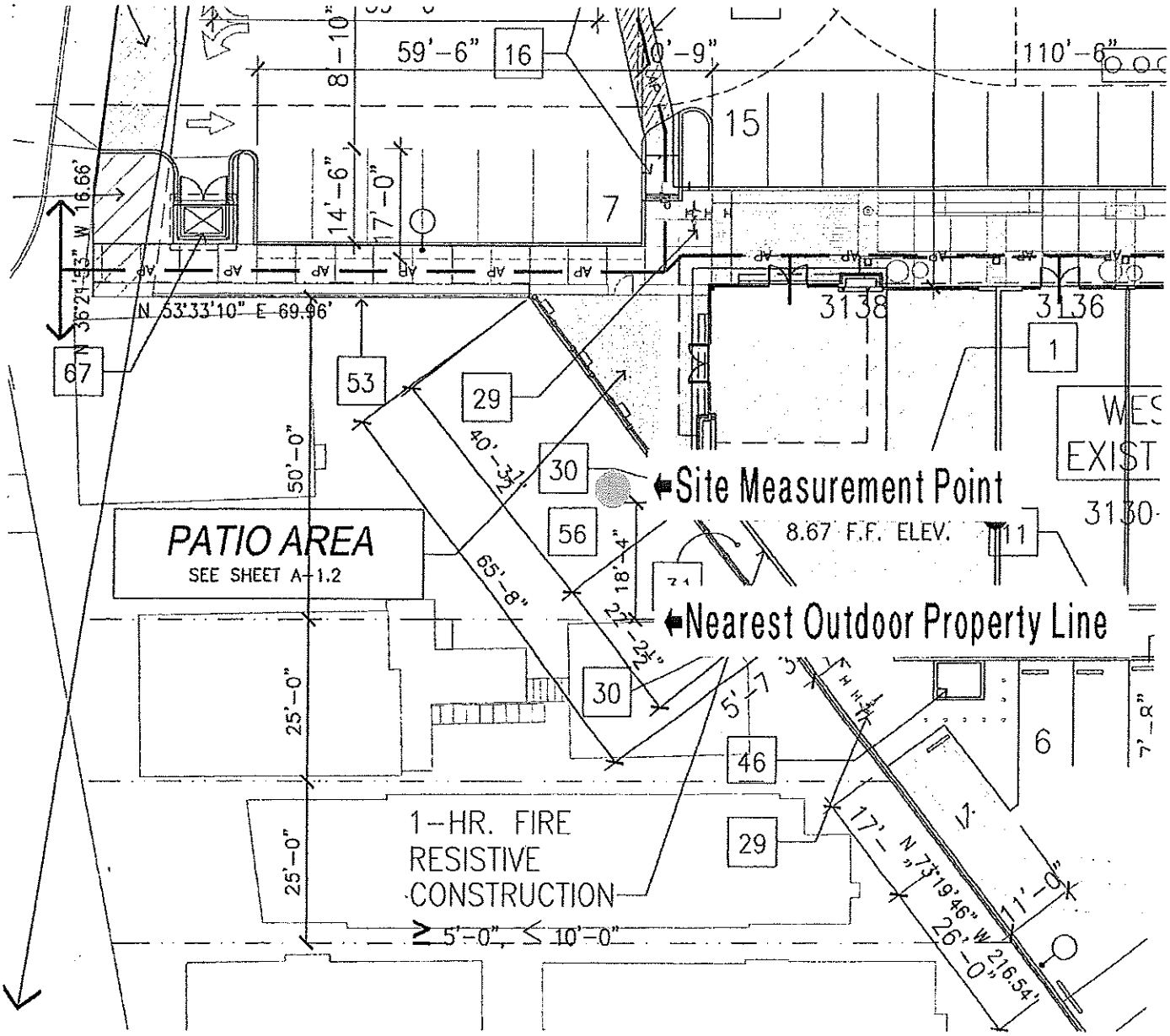


FIGURE 2: Site Measurement Location

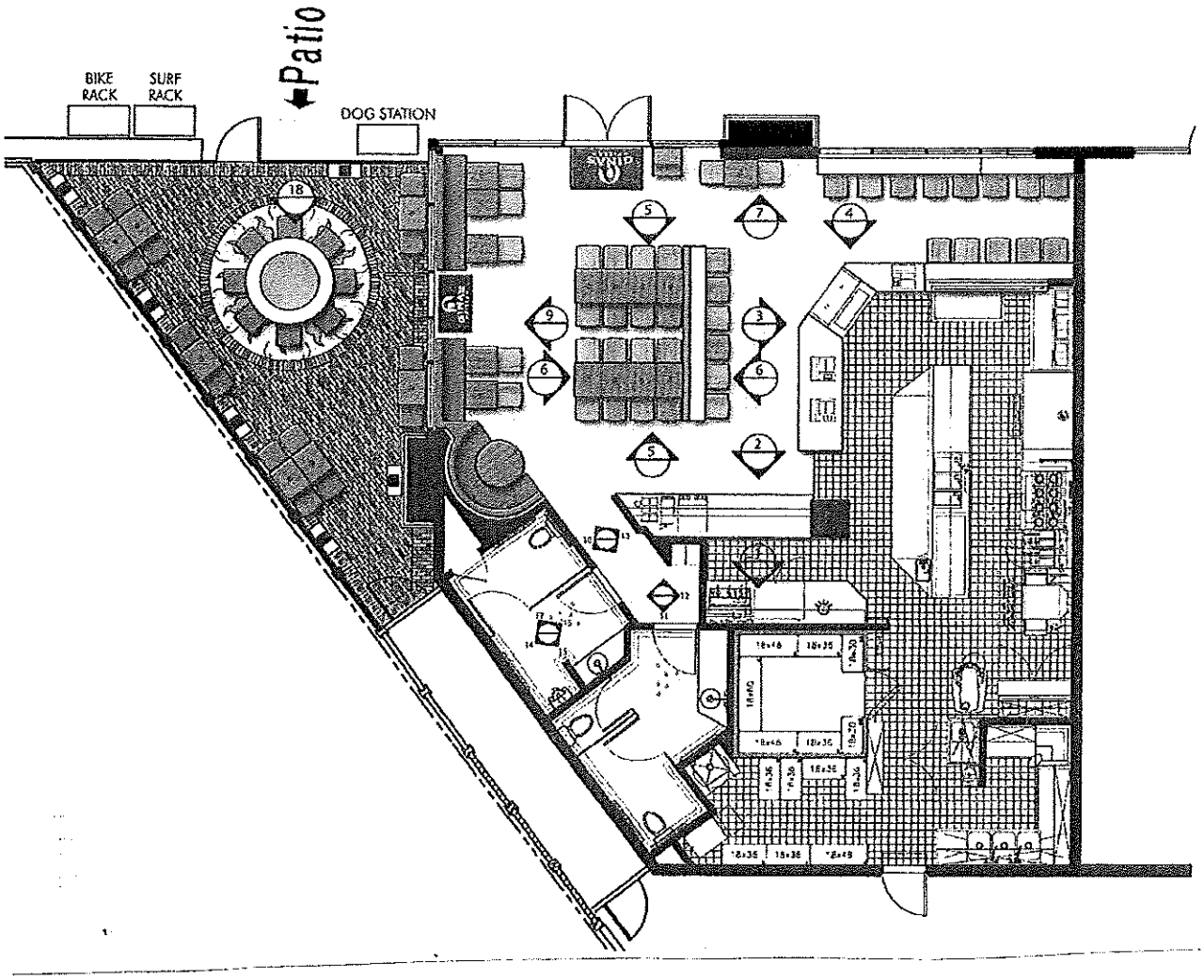


FIGURE 3: Patio Location and Layout

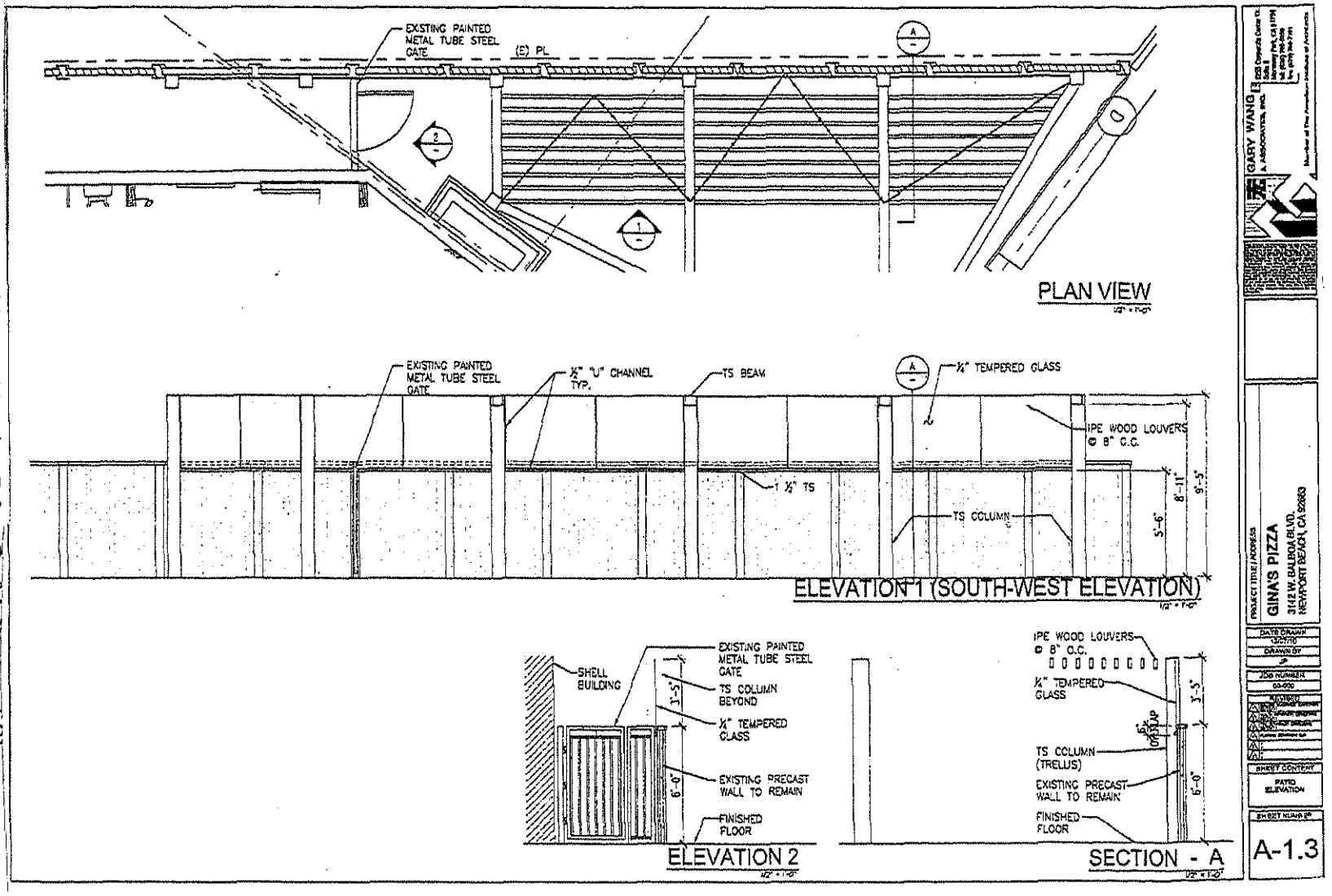


FIGURE 4: Section of Patio with Combination 5-foot Prefab Wall and Glass Hanging from Trellis

Attachment No. PC 7

The Landing Square Footage Tracking Table

The Landing Shopping Center

3101-3121 Newport Blvd. and 3100-3138 Balboa Blvd. Last Updated: 03-03-2011

Table 2. Summary of Eating and Drinking Establishments

Suite Number	Tenant	Interior Gross Floor Area	Interior Net Public Area	Outdoor Patio Area	25% of Net Public Area	Outdoor Patio in Excess of 25% of Net Public Area	Total Area Parked for Restaurants
S3101	Chipotle	1,700	500	336	125	211	1,911
S3107	Crow Burger	1,878	650	259	162	97	1,975
	Gina's Pizza	2,083	812	458	203	255	2,338
TOTAL		**5,661**	**1,962**	**1,053**	**490**	**563**	**6,224**
Total Permitted		**47,878**				**600**	**7,182**
% of Maximum Currently Utilized		**12%**				**94%**	**87%**

Interior Gross Floor Area of Shopping Center: 47,878 sq ft

Attachment No. PC 8

Plans

GINA'S PIZZA

3142 W. BALBOA BLVD., NEWPORT BEACH, CA 92663

RECEIVED BY
PLANNING DEPARTMENT
APR 05 2011

CITY OF NEWPORT BEACH

SYMBOLS

- DETAIL NUMBER / SHEET NUMBER — SECTION
- DETAIL NUMBER / SHEET NUMBER — DETAIL
- DETAIL NUMBER / SHEET NUMBER / ELEVATION NUMBER — INTERIOR ELEVATION
- 01.08' F.F. ELEV — DATUM ELEVATION
- DOOR NUMBER
- KITCHEN AREA — ROOM NUMBER & NAME
- KEYNOTE
- EQUIPMENT NUMBER

GENERAL NOTES

001410

1. ALL WORK, INCLUDING MATERIALS AND WORKMANSHIP, SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES, LAWS, AND ORDINANCES AND AS SPECIFIED BY ALL GOVERNING AUTHORITIES WHERE APPLICABLE. REFERENCE IS TO THE LATEST ADOPTED EDITION OR REVISION. IN THE EVENT OF CONFLICT WITH CODE REQUIREMENTS, THAT CODE REQUIREMENT OR NOTE WHICH ESTABLISHES THE HIGHER STANDARD SHALL TAKE PRECEDENCE.
2. THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS, EQUIPMENT, AND TRANSPORTATION NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK.
3. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BIDDING ANY PORTION OF THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING WORK. SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT OR WHERE THERE IS A DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND THE FIELD CONDITIONS, OR WITHIN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING IMMEDIATELY FOR CLARIFICATION.
4. DIMENSIONS ARE FROM FACE OF WALL OR TO CENTER OF WALL AS INDICATED ON DRAWINGS, UNLESS NOTED OTHERWISE.
5. WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. WALLS NOT DIMENSIONED ARE TO ALIGN WITH EXISTING WALLS OR BE ADJUSTED OR APPLIED TO EXISTING WALLS PER DRAWINGS. DOORS NOT DIMENSIONED AND SHOWN JAMB TIGHT SHALL BE SET 3" FROM PERPENDICULAR WALL TO OUTER EDGE OF DOOR JAMB.
6. REFERENCE TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAILS OR DRAWINGS.
7. THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE AND PROVIDE NECESSARY BRACING PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS, AND FINISH MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
8. THE STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS, AS WELL AS THE DRAWINGS OF OTHER CONSULTANTS, ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF WORK SHOWN ON THE DRAWINGS OF CONSULTANTS. THE CONTRACTOR SHALL BRING ANY DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE DRAWINGS OF THE CONSULTING ENGINEERS TO THE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS AND NOT BROUGHT TO THE ARCHITECT'S ATTENTION SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE AND AT NO EXPENSE TO THE OWNER OF ARCHITECT.
9. PRIOR TO PERFORMANCE OF WORK, THE CONTRACTOR SHALL REQUIRE EACH SUBCONTRACTOR TO NOTIFY THE CONTRACTOR OF ANY WORK CALLED OUT IN THE DRAWINGS FOR HIS TRADE THAT CANNOT BE FULLY GUARANTEED.
10. CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF ALL OPENINGS WITH ALL DRAWINGS AND MANUFACTURED ITEMS WHERE APPLICABLE.
11. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF ACTS OR OMISSION OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
12. THE CONTRACTOR HEREIN AGREES TO REPAIR OR REPLACE ANY OF ALL WORK, TOGETHER WITH ANY OTHER ADJACENT WORK WHICH MAY BE DISPLACED IN CONNECTION WITH SUCH REPLACEMENT, THAT MAY PROVE TO BE DEFECTIVE IN WORKMANSHIP OR MATERIALS WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, ORDINARY WEAR AND UNUSUAL ABUSE OR NEGLECT EXCEPTED.
13. CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, LANDSCAPING, MATERIALS, ETC. DURING CONSTRUCTION. CONTRACTOR SHALL PATCH AND REPAIR ALL SURFACES DISRUPTED OR DAMAGED DURING CONSTRUCTION TO MATCH EXISTING ADJACENT SURFACES.
14. THE CONTRACTOR SHALL ON A DAILY BASIS KEEP THE PREMISES FREE FROM ALL ACCUMULATIONS OF WASTE MATERIAL OR RUBBISH CAUSED BY HIS EMPLOYEES, SUBCONTRACTORS, OR WORK, AND AT THE COMPLETION OF THE WORK SHALL REMOVE ALL RUBBISH, DEBRIS, EQUIPMENT, AND SURPLUS MATERIALS FROM IN AND ABOUT THE BUILDING AND LEAVE THE PREMISES "BROOM CLEAN".
15. ANY DEVIATION FROM THE CONSTRUCTION DOCUMENTS OR SPECIFICATIONS BY THE CONTRACTOR OR OWNER WITHOUT THE ARCHITECT'S APPROVAL IN WRITING RELEASES THE ARCHITECT OF RESPONSIBILITY AND LIABILITY IN CONNECTION WITH ALL WORK SO INVOLVED.
16. CLARIFICATIONS OR AND/OR INCONSISTENCIES WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. ADDITIONAL CHARGES WILL NOT BE GRANTED BASED ON CLAIMS OF INCOMPLETE, INACCURATE, OR INCONSISTENT DRAWINGS AND SPECIFICATIONS
17. THE ARCHITECT SHALL REVIEW OR TAKE OTHER APPROPRIATE ACTION UPON CONTRACTOR'S SUBMITTALS SUCH AS SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, BUT SHALL DO SO ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH INFORMATION GIVEN AND THE DESIGN CONCEPT EXPRESSED IN THE CONTRACT DOCUMENTS. REVIEW OF SUCH SUBMITTALS IS NOT CONDUCTED FOR THE PURPOSE OF DETERMINING THE ACCURACY AND COMPLETENESS OF OTHER DETAILS SUCH AS DIMENSIONS AND QUANTITIES OR FOR SUBSTANTIATING INSTRUCTIONS FOR INSTALLATION OR PERFORMANCE OF EQUIPMENT OF SYSTEMS. ALL OF HIGH REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT'S REVIEW SHALL NOT CONSTITUTE ACCEPTANCE OF SAFETY PRECAUTIONS OR UNLESS OTHERWISE SPECIFICALLY STATED BY THE ARCHITECT, OF ANY CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES.

ACCESSIBILITY NOTES

121810

ENTRANCE AND CIRCULATION

1. THE TENANT SPACE, ALL ITS EXITS FROM THE BUILDING, THE PRIMARY PATH OF TRAVEL FROM THE ENTRANCE TO THE TENANT SPACE, AND SANITARY FACILITIES, DRINKING FOUNTAINS AND PUBLIC TELEPHONES SERVING THE TENANT SPACE MUST BE ACCESSIBLE TO THE HANDICAPPED, SUBJECT TO FIELD VERIFICATION.
2. MINIMUM MANEUVERING CLEARANCE AT DOOR SHALL BE AS SHOWN IN FIGURES 118-26A AND 118-26B. THE FLOOR OR GROUND AREA WITHIN THE REQUIRED CLEARANCES SHALL BE LEVEL AND CLEAR.

   THE LEVEL AREA SHALL HAVE A LENGTH IN THE DIRECTION OF THE DOOR SWING OF AT LEAST 60 INCHES AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 44 INCHES AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION. 1133B.3.4.3

   THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 24 INCHES PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 18 INCHES PAST THE STRIKE EDGE FOR INTERIOR DOORS. 1133B.2.4.3
3. EXTERIOR LANDING MAY SLOPE UP TO 1/4" PER FOOT IN ANY DIRECTION FOR SURFACE DRAINAGE.
4. CLOSER-EFFORT TOP OPERATE DOORS. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5LBF FOR EXTERIOR AND INTERIOR DOORS. SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLAN OF SLIDING OR ROLLING DOORS. COMPENSATING DEVICES OF AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOOR ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MINIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBS. 1133B.2.5
5. HAND-ACTUATED DOOR OPENING HARDWARE, HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. HARDWARE SHALL BE MOUNTED BETWEEN 30 INCHES AND 44 INCHES ABOVE THE FLOOR. LEVERS AND LOCKING DOORS THAT ARE HAND-ACTUATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER-TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTUATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION. 1133B.2.3
6. FLOORS SHALL HAVE A NON-SLIP SURFACE.
7. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY DISABLED PERSONS AS SET FORTH IN THESE BUILDING STANDARDS AND AS SPECIFICALLY REQUIRED IN SECTION 1117B5.8. SEE FIGURE 118-E.

   THE SYMBOL SPECIFIED ABOVE SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO. 15090 IN FEDERAL STANDARD 595B. 1117B.5.8.1.1

   CHARACTERS, SYMBOLS AND THEIR BACKGROUND SHALL HAVE A NONGLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT ON DARK BACKGROUND OR DARK ON LIGHT BACKGROUND. 1117B.5.2

   CHARACTERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO OF BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO OF BETWEEN 1:5 AND 1:10. 1117B.5.3
8. DOORWAYS LEADING TO MEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY AN EQUILATERAL TRIANGLE, 1/4 INCH THICK WITH EDGES 12 INCHES LONG AND A VERTEX POINTING UPWARD. WOMEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE, 1/4 INCH THICK AND 12 INCHES IN DIAMETER. UNISEX SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE, 1/4 INCH THICK, 12 INCHES IN DIAMETER WITH A 1/4 INCH THICK TRIANGLE SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12-INCH DIAMETER. THESE GEOMETRIC SYMBOLS SHALL BE CENTERED ON THE DOOR AT A HEIGHT OF 60 INCHES AND THEIR COLOR AND CONTRAST SHALL BE DISTINCTLY DIFFERENT FROM THE COLOR AND CONTRAST OF THE DOOR. SEE ALSO SECTION 1117B5.1, ITEM 1 FOR ADDITIONAL SIGNAGE REQUIREMENTS APPLICABLE TO SANITARY FACILITIES. 1117B5.8

DINING FACILITIES

1. EATING, DRINKING, AND BAR AREA SHALL HAVE ONE WHEELCHAIR SEATING SPACE FOR EACH 20 SEATS, WITH AT LEAST ONE MINIMUM WHEELCHAIR SEATING SPACE PER FUNCTIONAL AREA. SUCH SEATING SHALL BE DISPERSED AND ARRANGED TO PROMOTE USE BY WHEELCHAIR OCCUPANTS, AND SHALL COMPLY WITH SECTION 1122B. FIXED OR BUILT-IN SEATING, TABLES, AND COUNTERS, ACCESS TO SUCH SEATING SPACES SHALL BE PROVIDED WITH MAIN AISLES NOT LESS THAN 36 INCHES CLEAR WIDTH. IN ESTABLISHMENTS WHERE SEPARATE AREAS ARE DESIGNATED FOR SMOKING AND NONSMOKING PATRONS, THE REQUIRED NUMBER OF ACCESSIBLE FIXED TABLES (OR COUNTERS) SHALL BE PROPORTIONALLY DISTRIBUTED BETWEEN THE SMOKING AND NONSMOKING AREAS. ACCESSIBLE SEATING SPACES SHALL BE INTEGRATED WITH GENERAL SEATING TO ALLOW A REASONABLE SELECTION OF SEATING AREA AND TO AVOID MAKING ON AREA SPECIFICALLY DESIGNATED AS THE AREA FOR PERSONS WITH DISABILITIES. THE RATIO OF ACCESSIBLE SEATING IS BASED ON THE TOTAL NUMBER OF SEATS PROVIDED. WHERE FOOD OR DRINK IS SERVED AT COUNTERS EXCEEDING 24 INCHES IN HEIGHT FOR CONSUMPTION BY CUSTOMERS SEATED OR STANDING AT THE COUNTER, A PORTION OF THE MAIN COUNTER WHICH IS 60 INCHES IN LENGTH MINIMUM SHALL BE PROVIDED IN COMPLIANCE WITH SECTION 1122B. 1104B.5(4)
2. KNEE SPACE FOR WHEELCHAIR SEATING IS 27" MAX. HIGH X 30" WIDE X 19" DEEP. THE MAX. HEIGHT OF THE TABLE TOP IS BETWEEN 28" - 34".
3. TABLEWARE, DISHWARE, CONDIMENTS, FOOD, BEVERAGE DISPLAY SHELVES SHALL COMPLY WITH SECTION 1122B.4, SEE FIGURE 11 B-17.
4. KITCHEN SINKS ARE REQUIRED TO HAVE A LEVER, PUSH TYPE OR ELECTRONICALLY OPERATED FAUCETS, WITH A 5 LB. MAX OPERATING FORCE. SELF CLOSING FAUCETS SHALL REMAIN OPEN TO SECONDS MIN. 1115B.9.7.

SANITARY FACILITIES

1. RESTROOMS SHALL MEET ACCESSIBILITY STANDARDS AS DEFINED BY SECTION 1115B. 1004.0
2. TOILET AND URINAL FLUSH CONTROLS SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. CONTROLS FOR THE FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF THE TOILET AREAS, NO MORE THAN 44 INCHES ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.
3. HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
4. FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS PER FOOT. LEVER OPERATED, PUSH TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.
5. THE STRUCTURAL STRENGTH OF GRAB BARS, TUB AND SHOWER SEATS, FASTENERS, AND MOUNTING DEVICES SHALL MEET THE FOLLOWING SPECIFICATIONS: (1115B.7.2)
   A. BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF A 250-LB POINT LOAD SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT. (1115B.7.2(1))
   B. SHEAR STRESS INDUCED IN A GRAB BAR OR SEAT BY THE APPLICATION OF A 250-LB POINT LOAD SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT, AND THE MOUNTING BRACKETS OR OTHER SUPPORTS IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS. (1115B.7.2(2))
   C. SHEAR FORCE INDUCED IN FASTENER OR MOUNTING DEVICES FROM THE APPLICATION OF A 250-LB POINT LOAD SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SURROUNDING STRUCTURE, WHICHEVER HAS THE SMALLER ALLOWABLE LOAD (1115B.7.2(3))
   D. TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF A 250-LB POINT LOAD, PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF A 250-LB POINT LOAD, SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL LOAD BETWEEN THE FASTENER AND SUPPORTING STRUCTURE. (1115B.7.2(4))
   E. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS. (1115B.7.2(5))
6. LOCATE FLOOR DRAINS SO AS NOT TO INTERFERE WITH A LEVEL PATH OF TRAVEL TO AND AROUND ALL FIXTURES.

ELECTRICAL 1004.0

1. THE CENTER OF JUNCTION BOX FOR ELECTRICAL AND COMMUNICATION SYSTEM RECEPTACLE OUTLETS SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION MEETING THE CLEARANCES AND REACH RANGE REQUIREMENTS OF SECTION 1118B AND NOT (1117B.6.3 & 3-216-7(C.1)) LESS THAN 15" ABOVE THE FLOOR OR WORKING PLATFORM.
2. THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF CONTROLS OR SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, OR COOLING, HEATING, AND VENTILATING EQUIPMENT SHALL MEET THE REQUIREMENTS OF PART 2, CALIFORNIA BUILDING CODE (CBC), SECTION 1118B. SPACE ALLOWANCE AND REACH RANGES FOR PERSONS WITH DISABILITIES AND SHALL NOT BE MORE THAN 48" ABOVE THE FLOOR OR WORKING PLATFORM.
3. THE CENTER OF FIRE ALARM INITIATING DEVICES (BOXES) SHALL BE LOCATED 48" ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE, OR SIDEWALK.

ABBREVIATIONS

A.C.	ASPHALTIC CONCRETE	MAX.	MAXIMUM
A.F.F.	ABOVE FINISHED FLOOR	MIN.	MINIMUM
ACT.	ACOUSTICAL TILE	M.B.	MARKER BOARD
ADMIN.	ADMINISTRATION	MET.	METAL
BLD'G	BUILDING	(N)	NEW
B.N.	BULL NOSE	N.I.C.	NOT IN CONTRACT
B.L.	BUILDING LINE	NO.	NUMBER
C.B.	CHALK BOARD	O.C.	ON CENTER
CEM	CEMENT	O.D.	OUTSIDE DIAMETER
CEM. PLAS.	CEMENT PLASTER	OPENG	OPENING
C.F.	CUBIC FEET	OPP.	OPPOSITE
CL'G	CEILING		
CLSR'M	CLASSROOM	PL.	PLATE
CLR	CLEAR	PLYW'D	PLYWOOD
CMU	CONCRETE MASONRY UNIT	PR.	PAIR
CONC.	CONCRETE		
C.T.	CERAMIC TILE	REQ.	REQUIRED
DET.	DETAIL	SQ.FT.	SQUARE FEET
DETS	DETAILS	SHT	SHEET
DIA	DIAMETER	SIM.	SIMILAR
		S.S., STS.	STAINLESS STEEL
(E)	EXISTING	S.	STANDARD
EXIST'G	EXISTING	STRUC.	STRUCTURAL
EL.	ELEVATION		
ELEV.	ELEVATION, ELEVATOR	T.O.	TOP OF
E.P.	ELECTRICAL PANEL	T.A.	TOP OF ASPHALT PAVING
EQ.	EQUAL	T.B.	TACK BOARD
		T.C.	TOP OF CONC., T.O. CURB
F.G.	FINISH GRADE	T.W.	TOP OF WALL
F.H.C.	FIRE HOSE CABINET	TYP.	TYPICAL
FIN.	FINISH, FINISHED		
FLR	FLOOR	U.N.O.	UNLESS NOTED OTHERWISE
FTG	FOOTING		
		V.C.T.	VINYL COMPOSITION TILE
GA.	GAUGE	VERT.	VERTICAL
GALV	GALVANIZED	VEST.	VESTIBULE
GYP. BD.	GYPSUM BOARD		
		W/	WITH
HORIZ.	HORIZONTAL	W/O	WITHOUT
I.C.	INTERCOM	W.I.	WROUGHT IRON
I.D.	INSIDE DIAMETER		
INFO.	INFORMATION		

PROJECT TEAM

TENANT:
GINA'S PIZZA
3142 W. BALBOA BLVD.,
NEWPORT BEACH, CA 92663
CONTACT PERSON: ANDY COSTA
PHONE: 949.7600998

BUILDING OWNER:
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ARCHITECT:
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626.2886898 F.626.2881737

PROJECT SUMMARY

PROJECT ADDRESS:
GINA'S PIZZA
3142 W. BALBOA BLVD.,
NEWPORT BEACH, CA 92663

DEFERRED SUBMITTAL:
1. SIGNAGE
2. FIRE SPRINKLERS
3. PATIO

PROJECT DESCRIPTION:
TENANT IMPROVEMENT FOR RESTAURANT IN AN EXISTING SHELL.

 # OF EMPLOYEES: 8

CODE ANALYSIS:
2010 CALIFORNIA BUILDING CODE
2010 CALIFORNIA PLUMBING CODE
2010 CALIFORNIA MECHANICAL CODE
2010 CALIFORNIA ELECTRICAL CODE
2008 CALIFORNIA ENERGY EFFICIENCY CODE
TITLE 24 ACCESSIBILITY CODE

CONSTRUCTION TYPE: TYPE V-B (SPRINKLERED)
FIRE ALARM: NO

OCCUPANCY: A-2

PREVIOUS PERMITTED USE: M

HOURS OF OPERATION: SUN – THURS – 7AM–10PM, FRI/SAT – 7AM–11PM

TOTAL AREAS: 1,394.49 S.F.

GROSS FLOOR AREA: 2,083.00 S.F.

NET INTERIOR PUBLIC AREA: 816.11 S.F.

NET PATIO PUBLIC AREA: 458.15 S.F.

 # OF SEATS (INTERIOR): 50

 # OF SEATS (EXTERIOR): 22

OCCUPACY SUMMARY:

	AREA (SF)	OLF	OCC.
DINING AREA	765.53	15	52
SERVICE/KITCHEN/STORAGE	1,077.23	200	6
RESTROOM	239.24		
			58 OCCUPANTS
PATIO AREA	458.15	15	31

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T-1.2	GENERAL NOTES	E-3.0	POWER PLAN
T-1.3	ACCESSIBILITY NOTES		
T-1.4	ENLARGED SITE PLAN & KEYNOTES	M-0.0	GENERAL NOTES & SCHEDULE
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		M-2.0	MECHANICAL DETAIL
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A-1.2	PATIO FLOOR PLAN, TRELLIS PLAN, & ELEVATIONS		
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A-2.1	INTERIOR ELEVATIONS	P-2.0	WATER PLAN & GAS PLAN
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A-2.3	ENLARGED RESTROOM FLOOR PLAN & INTERIOR ELEVATIONS	P-4.0	PLUMBING DETAILS
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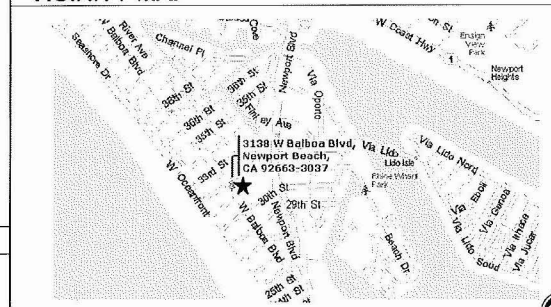
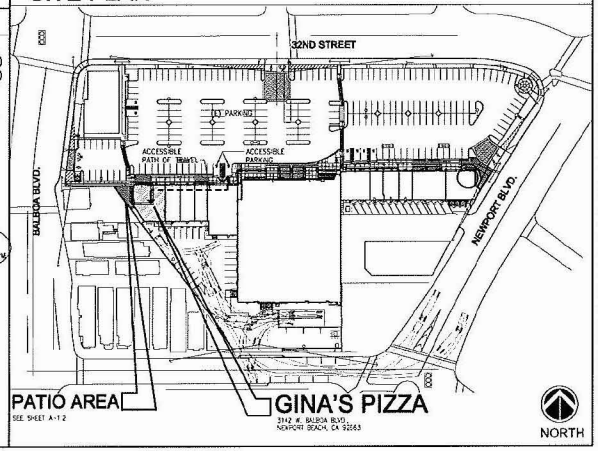
A-3.0	DETAILS		
A-3.1	DETAILS		
K-1.0	EQUIPMENT PLAN		
K-1.1	EQUIPMENT SCHEDULE		

VICINITY MAP



SITE PLAN



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PROJECT TITLE / ADDRESS
GINA'S PIZZA
3142 W. BALBOA BLVD.
NEWPORT BEACH, CA 92663

DATE DRAWN: 12/07/10
DRAWN BY: JP
JOB NUMBER: 00-000

REVISED
1. PLANNING DEPARTMENT CORRECTIONS 02/01/11
2. PLANNING DEPARTMENT CORRECTIONS 03/11/11
3. CITY OF NEWPORT CORRECTIONS 03/21/11
4. PLANNING DEPARTMENT SUP
5. :
6. :

SHEET CONTENT
INDEX NOTES, PROJECT INFO, VICINITY MAP, BLDG, DEPT NOTES

SHEET NUMBER
T-1.0

PARKING DATA:

PARKING CALCULATION: 1 SPACE PER 50 SF NET PUBLIC AREA
+1 SPACE FOR EACH EMPLOYEE ON DUTY

NET PUBLIC AREA (INTERIOR) = 816.11 SF

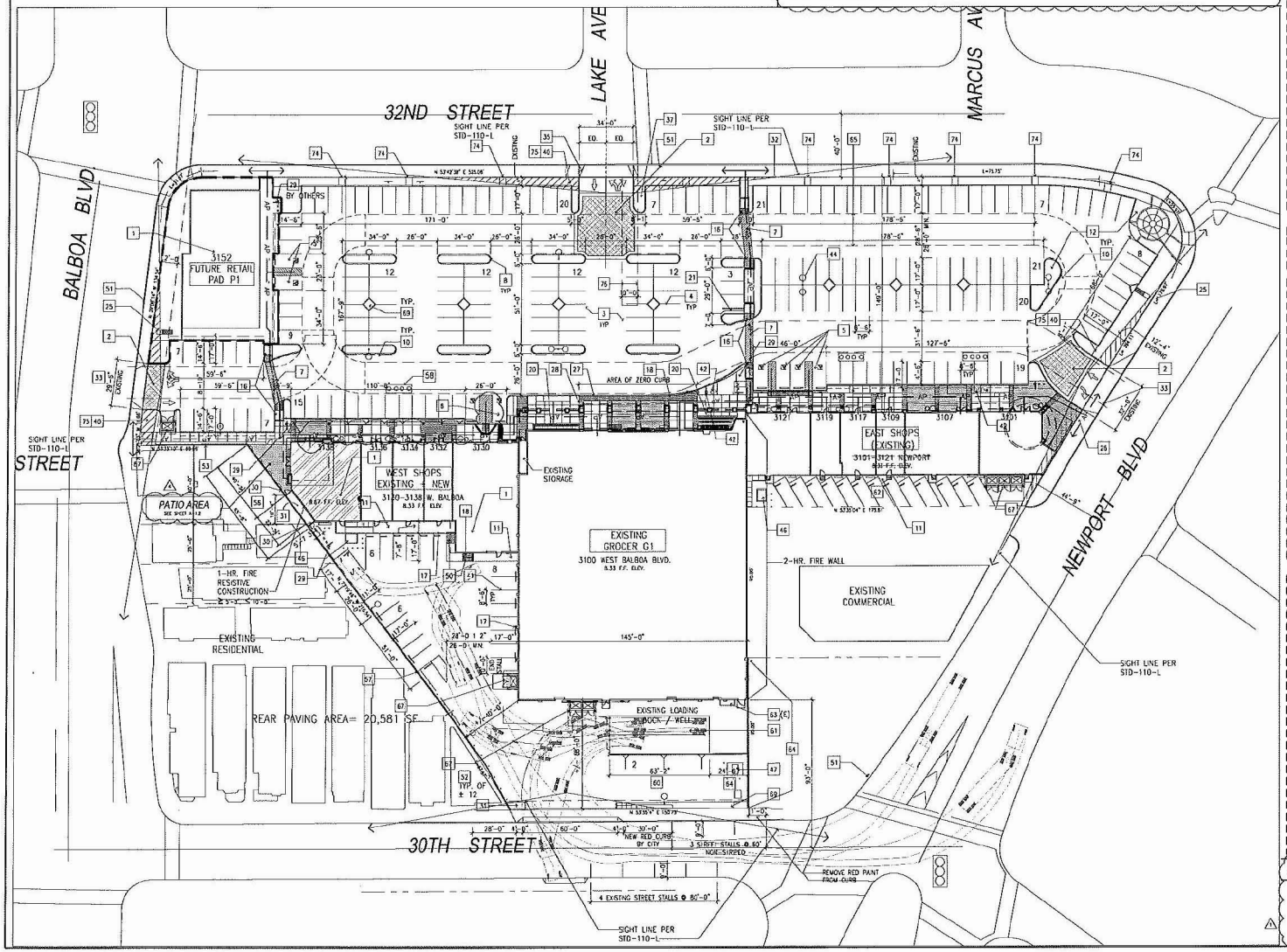
NET PUBLIC AREA (PATIO) = 458.15 SF

25% INTERIOR NET PUBLIC AREA = 204 SF
CREDIT APPLIED TO PATIO

TOTAL PUBLIC AREA APPLIED TO PARKING CALCULATIONS: 1070.26 SF

REQUIRED PARKING (INTERIOR NET PUBLIC AREA - 816.11 SF): 17 SPACES
REQUIRED PARKING (EXTERIOR PATIO - 254.15 SF): 6 SPACES
REQUIRED PARKING (EMPLOYEE): 8 SPACES
TOTAL REQUIRED PARKING : 31 SPACES

PARKING PROVIDED = 235 SPACES
ACCESSIBLE PARKING PROVIDED = 8 SPACES (INCLUDING 1 VAN ACCESSIBLE)



- VAN ACCESSIBLE PARKING SPACE
- ACCESSIBLE ROUTE STRIPPING
- CONCRETE CURB
- EXISTING CONCRETE CURB TO REMAIN
- FIRE LANE CURB
- CONCRETE PAVING - MEDIUM BROOM FINISH / GREY
- LANDSCAPE AREA
- ACCESSIBLE PATH OF TRAVEL SIGN
- ACCESSIBLE PARKING SIGNAGE
- ACCESSIBLE PARKING SPACE SYMBOL
- ACCESSIBLE CURB RAMP
- WHEEL STOP LOCATION
- TRUNCATED DOMES PAVER TILES
- CONCRETE GROOVING
- 36" HIGH STONEFACED CMU CART CORRAL W/ CONCRETE CAP
- CART CORRAL
- BENCH
- CONCRETE PAVERS W/ SAND BASE-OLSEN BLEND
- CART BUMPERS ENTIRE LENGTH OF WALL MOUNT AT 6.5" (TO CENTER) ABOVE SURFACE AND AT 33" (TO CENTER) ABOVE SURFACE
- MONUMENT SIGN
- EXISTING SIGN
- CURB
- BRICK BANDING - ACME RED SUNSET FULL BRICK ON CONCRETE SUBSLAB
- BIKE RACK
- LOCKABLE WROUGHT IRON GATES
- 5' REQUIRED SET BACK AT RESIDENTIAL ADJACENCY. NO PUBLIC ACCESS
- EXISTING PROPERTY LINE
- EXISTING DRIVE
- PAINTED STOP STRIPPING
- DRIVE APRON PER CITY STANDARDS - CENTER ON LAKE AVE.
- SLOPING TRANSITION CURB
- EXISTING D.O.C. TO REMAIN
- NEW TRANSFORMER LOCATION W/ PROTECTIVE BOLLARDS
- INTERSECTION LINE OF SITE PER PUBLIC WORKS
- ACCESSIBLE PARKING WARNING SIGNAGE
- EXISTING PARKING SPACE TO BE RE-STRIPPED
- EXISTING GREASE INTERCEPTOR
- METAL HANDRAIL
- LIGHT POLE LOCATION
- LEVEL CLEAR LANDING
- TRANSFORMER LOCATION
- EXISTING TRANSFORMER LOCATION
- STOP SIGN LOCATION
- DASHED LINE INDICATES 2' OVER HANG
- ACCESSIBLE RAMP
- EXISTING FIRE HYDRANT
- 4'-0" HIGH CONCRETE FILLED METAL PIPE BOLLARD W/ REFLECTORS @ THE TOP @ 8'-0" O.C. ALONG SOUTHWESTERLY PROPERTY LINE AS SHOWN
- 36" HIGH GREEN SCREEN WALL
- GAS METERS
- RELOCATED GAS METERS
- 6'-0" HIGH PRECAST FENCE
- EXISTING FENCING
- GREASE INTERCEPTOR
- EXISTING GAS METER
- 6'-0" HIGH GREEN SCREEN WALL
- EXISTING LOADING DOCK / WELL
- EASEMENT TO ADJACENT PROPERTY FOR ROADWAY PURPOSES
- ELECTRICAL SWITCH GEAR
- EXISTING BLOCK WALL
- DASHED LINE INDICATES FIRE APPARATUS ACCESS DRIVE
- LANDSCAPE POT
- TRASH ENCLOSURES
- FUTURE PATIO RAIL
- LANDSCAPE PLANTER
- PAINTED TRAFFIC ARROW
- LIGHT POLE LOCATION
- 4'-0" HIGH CONCRETE FILLED METAL PIPE BOLLARD
- 6'=0" HIGH CONCRETE FENCE W/ PRECAST I-BEAM POST AT 5'-0" O.C.
- ACCESS PATH
- FIRE LANE ENTRANCE SIGN
- UTILITY EASEMENT

NOTES:

1. LANDLORD TO PROVIDE DETECTABLE WARNING AT CURB.
2. LANDLORD TO SPECIFY DETECTABLE WARNING PRODUCT AND INCORPORATE A COPY OF PRODUCT WARRANTY ONTO DRAWINGS PER DEPARTMENT POLICY CBC 11338.8.5
3. CONTRACTOR TO PROVIDE A DETECTABLE WARNING SAMPLE TO THE BUILDING INSPECTOR FOR APPROVAL OF COLOR CONTRAST WITH FINISH SURFACE.

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3. PLANS, DEPARTMENT CORRECTIONS 08/30/11
4. PLANNING
5. :
6. :

SHEET CONTENT

SHEET NUMBER

ROOM FINISH SCHEDULE

ALL FINISHES SPECIFIED ARE FOR PERFORMANCE. EQUAL MANUFACTURES MAY BE PROVIDED W/ APPROVAL FROM ARCHITECT

ROOM NUMBER	ROOM NAME	FLOOR: 12"x12" CERAMIC TILE	FLOOR: 6"x6" CERAMIC TILE	FLOOR: 6"x6" QUARRY TILE	FLOOR: GALVANIZE FLOOR	BASE: 6" CERAMIC TILE W/ 3/8" R COVE	BASE: 6"x6" QUARRY TILE W/ 3/8" R COVE	BASE: 6" CERAMIC TILE	BASE: 6" METAL W/ 3/8" RADIUS COVE	WALLS MATERIAL: 5/8" DRYWALL TYPE "X"	WALLS MATERIAL: 5/8" DRYWALL TYPE "X" W/R MOISTURE RESISTANT DRYWALL BACKING	WALLS MATERIAL: GALV. METAL	WALLS FINISH: PAINT FINISH	WALLS FINISH: FRP	WALLS FINISH: 5/8 WALL FLOCRAMIC	WALLS FINISH: CERAMIC TILE	WALLS COLOR: SEE PAINT SCHEDULE	WALLS COLOR: LIGHT COLOR, TYPE LRV (SMOOTH & WASHABLE)	CEILING HT.: SEE CEILING PLAN ON SHT. A1.1	CEILING MATERIAL: 5/8" DRYWALL TYPE "X"	CEILING MATERIAL: 2"X4" WASHABLE SUSP. CYP. CEILING PANEL	CEILING MATERIAL: 2"X2" SUSP. CYP. CEILING PANEL	CEILING MATERIAL: GALV. METAL	CEILING FINISH: FACTORY FINISH	CEILING FINISH: SMOOTH, WASHABLE, SEMI-GLOSS	CEILING FINISH: PAINT FINISH	CEILING COLOR: LIGHT COLOR TYPE L.R.V.
100	DINING AREA	•						•		•			•							•						•	
101	SERVICE AREA			•			•			•			•		•			•		•		•			•	•	•
102	KITCHEN AREA			•			•			•				•	•			•				•			•		•
103	STORAGE AREA			•			•			•				•	•			•				•			•		•
104	WALK-IN COOLER			•			•					•			•			•					•		•		
105	MEN'S RESTROOM		•			•					•		•			•		•		•					•	•	•
106	WOMEN'S RESTROOM		•			•					•		•			•		•		•					•	•	•

DOOR SCHEDULE

NO.	MANUFACTURER	MFG #	SIZE	FRAME	FACE/EDGE	THK	CORE	LITE	HARDWARE	REMARKS
01	EXISTING STOREFRONT DOOR		3'-0" X 7'-0" (PAIR)	EXISTING	EXISTING	EXISTING	-	(E)TEMP. GLASS	EXISTING PUSH PULL	SEE KEYNOTE # 4, 10" KICK PLATE
02	EXISTING STOREFRONT DOOR		3'-0" X 7'-0"	EXISTING	EXISTING	EXISTING	-	(E)TEMP. GLASS	EXISTING PUSH PULL, PROVIDE NEW PANIC HARDWARE	SEE KEYNOTE # 4, 10" KICK PLATE
03	EXISTING REAR DOOR		3'-0" X 7'-0"	EXISTING	EXISTING	EXISTING	EXISTING		EXISTING SELF-CLOSING, PANIC HARDWARE	10" KICK PLATE
04	CEC0		3'-0" X 6'-8"	H. METAL	SC. WOOD BIRCH FIN	1 3/4"	SOLID		SELF-CLOSING, LEVER TYPE	10" KICK PLATE
05	CUSTOM GATE		3'-0" X 3'-0"	-	MATCH RAILING	-	-		PROVIDE NEW SELF CLOSER & NEW PANIC HARDWARE	

WALL SCHEDULE

NO.	DESCRIPTION
01	EXISTING CMU WALL TO REMAIN GC TO FUR OUT ON TENAT SIDE
02	EXISTING GLASS STOREFRONT SYSTEM TO REMAIN
03	NOT USED
04	3 5/8" X 25 GA. MTL. STUD WALL W/ 5/8" TYPE "X" GYP. BD. BOTH SIDES (WATER-RESISTANT ON TOILET SIDE) (SEE DETAIL 2 ON SHEET A-3.0)
05	3 5/8" X 25 GA. MTL. STUD LOW WALL W/ 5/8" TYPE "X" GYP. BD. BOTH SIDES.
06	NEW STOREFRONT GLAZING TO MATCH EXISTING

WALL LEGEND

- EXISTING WALL TO REMAIN
- NON BEARING WALL 25 GA. METAL STUD @ 16" O.C. U.N.O.
- METAL STUD LOW WALL 20 GA @ 16" O.C. U.N.O.
- WALK-IN BOX PANEL

KEYNOTES

NO.	DESCRIPTION
1	(E) STRUCTURAL COLUMN TO REMAIN
2	TACTILE EXIT SIGN (CBC SEC. 1003.2.8.6 AND SEC.11178.5) SEE DET. 8/T-1.3 .
3	PROVIDE SIGN OF INTERNATIONAL SYMBOL OF ACCESSIBILITY (CBC SEC. 11178.3) SEE DET. 5/T-1.3 .
4	PROVIDE SIGN "DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS".
5	SEE DETAIL 1/T-1.3 FOR TYPICAL THRESHOLD DETAIL

HEALTH DEPT. NOTES

1. ALL EQUIPMENT SHALL MEET NATIONAL SANITATION FOUNDATION DESIGN AND INSTALLATION REQUIREMENTS OR IT'S EQUIVALENT.
2. LIGHT FIXTURES IN FOOD PREPARATION, OPEN FOOD STORAGE AND UTENSIL WASHING AREAS ARE TO BE PROTECTED AGAINST BREAKAGE THROUGH THE USE OF PLASTIC SHIELDS, PLASTIC SLEEVES, SHATTER PROOF BULBS AND/OR OTHER APPROVED DEVICES.
3. EXTERIOR DOORS SHALL BE SELF-CLOSING AND FIT TO A MAXIMUM 1/4" AT THE BASE AND SIDES.
4. PROVIDE PERMANENTLY MOUNTED SINGLE SERVICE SOAP AND TOWEL DISPENSERS AT ALL HAND WASH BASINS.
5. SEAL ALL CRACKS AND CREVICES IN COUNTERS, CABINETS, AROUND METAL FLASHING, SINK BACKSPLASHES AND AROUND PIPES AND CONDUITS WITH A NON-HARDENING SILICONE SEALANT.
6. QUARRY TILE TO BE "DAL TILE"
7. ALL WALL & DRYWALL CEILING ARE TO BE PAINTED W/ SAME PAINT AS INDICATED ON THE FINISH SCHEDULE
8. ALL EXPOSED PIPES AND CONDUITS SHALL BE SPACED AT LEAST ¾" FROM THE WALL.
9. ALL CABINETS SHALL BE LAMNATED INSIDE AND OUT.

GENERAL NOTES

1. CONSIDERATION WILL NOT BE GRANTED FOR ANY ALLEGED MISUNDERSTANDINGS OF THE AMOUNT OF WORK TO BE PERFORMED. TENDER OF PROPOSAL SHALL CONVEY FULL AGREEMENT TO THE ITEMS AND CONDITIONS INDICATED ON THE DRAWINGS. SHOULD THE CONTRACTOR FIND DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENT OR BE IN DOUBT AS TO THE INTENT THEREOF, THE CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE ARCHITECT AND/OR THE OWNER'S REPRESENTATIVE PRIOR TO SUBMITING HIS PROPOSAL FOR WORK.
2. T. G. C. SHALL FIELD VERIFY THE EXACT EXISTING SPACE CONDITIONS, DIMENSIONS AND COLUMN SPACING PRIOR TO CONSTRUCTION AND INFORM ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND BETWEEN DRAWINGS AND SITE CONDITIONS. ANY CHANGES OR REWORK DUE TO UNREPORTED DIFFERENCES SHALL BE AT T. G. C'S EXPENSE
3. ALL COLUMNS IN THE LEASE SPACE TO HAVE AT LEAST 1-HOUR FIRE SURROUND OR FIRE RATING AS REQUIRED BY LOCAL CODE (5/8" TYPE 'X' GYP. BD. ON METAL STUD FRAMING FROM FLOOR TO DECK AND SEALED TIGHT.

NOTES:

1. MAXIMUM OCCUPANT LOAD SHALL BE POSTED IN EACH DINING AND WAITING AREA. CBC 1004.3
2. NO PENETRATION TO EXISTING RATED WALLS, FURRED OUT ON TENANT SIDE.
3. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, BY PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. ALL EXISTING DOORS MUST COMPLY.
4. THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2" LOWER THAN THE TRESHOLD OF THE DOORWAY.

FIRE ALARM NOTES

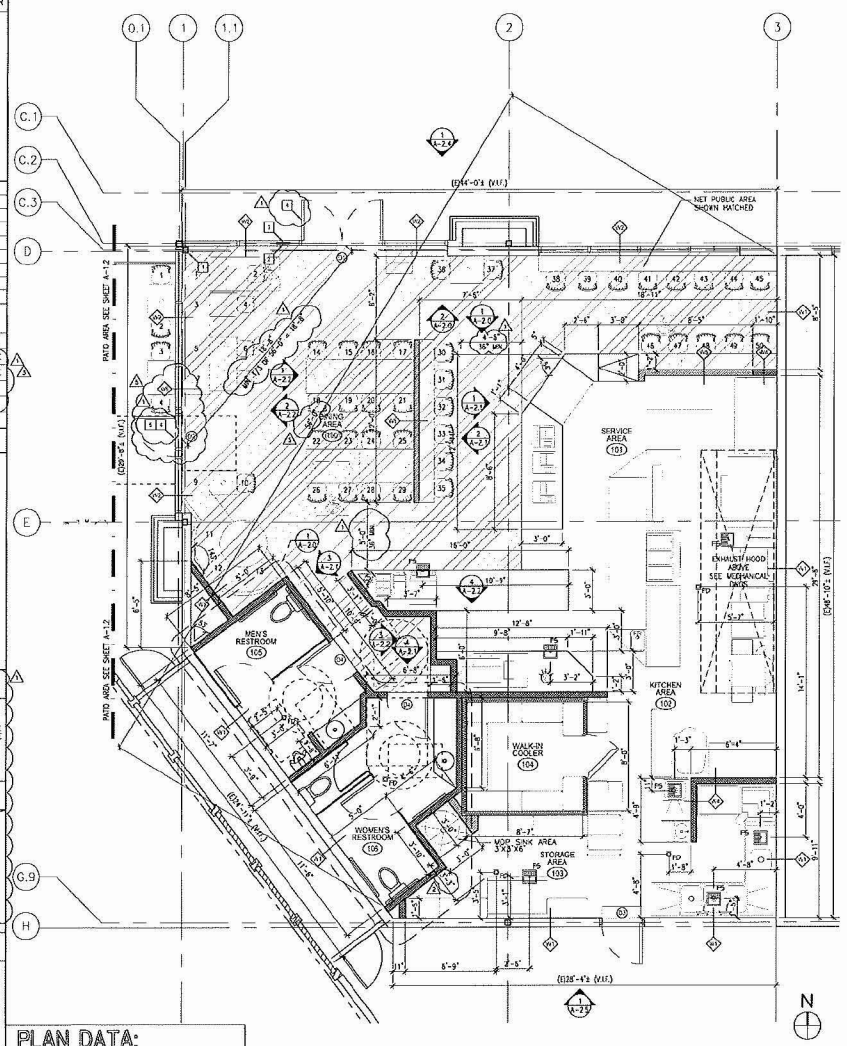
BUILDING NOT EQUIPED WITH FIRE ALARM AND RESTAURANT IS LESS THAN 300 OCCUPANTS. NOT REQUIRED

NOT USED

1. APPROVED NOTIFICATION APPLIANCES FOR THE HEARING IMPAIRED SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF NFPA 72 IN THE FOLLOWING AREAS: (11149.1.1 AND 907.9.1.1)
   A. SANITARY FACILITIES, INCLUDING RESTROOMS, BATHROOMS AND SHOWER ROOMS.
   B. CORRIDORS
   C. OCCUPIED ROOMS WHERE AMBIENT NOISE IMPAIRS HEARING OF FIRE ALARM
   D. LOBBIES
2. NOTIFICATION APPLIANCES FOR THE HEARING IMPAIRED SHALL BE PROVIDED WITH THE FOLLOWING: PLACEMENT THAT THE RESULT IN MOUNTING OF A MINIMUM OF 80" (2 METERS) ABOVE THE FLOOR OR 6" (0.15 M) BELOW THE CEILING.
3. STROBE SPACING TO COMPLY WITH NFPA TABLE 4-4.4.1.1(a) FOR WALL MOUNTED AND TABLE 4-4.4.1.1(b) FOR CEILING MOUNTED.
4. STROBES IN THE SAME ROOM AND ALL STROBE VISIBLE FROM THE SAME LOCATION SHALL BE SYNCHRONIZED TO FLASH SIMULTANEOUSLY.

FIRE NOTES

1. PROVIDE FIRE EXTINGUISHER AS REQUIRED BY FIRE DEPT. FIELD INSPECTOR.
2. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED
3. EXIT LIGHTING AND SIGNS: MINIMUM 6" X 3/4" LETTERS ON CONTRASTING BACKGROUND.
4. ANY DECORATION USED SHALL BE NON-COMBUSTIBLE OR FLAMEPROOFED IN AN APPROVED MANNER.
5. THE INSTALLATION OR OPERATION OF SPECIAL FIRE EXTINGUISHER SYSTEM MUST BE CHECKED AND APPROVED BY THE FIRE DEPT. PRIOR TO INSTALLATION.
6. PROVIDE OUTSIDE GAS SHUT-OFF VALVE CONSPICUOUSLY MARKED.
7. SEPARATE PLANS FOR ALL FIXED AND MOBILE FIRE PROTECTION EQUIPMENT, AND ALL FIRE ALARM SYSTEMS SHALL BE SUBMITTED TO THE FIRE MARSHALL FOR APPROVAL PRIOR TO INSTALLATION.
8. BUILDING OCCUPANT SHALL SECURE PERMITS REQUIRED BY THE FIRE DEPARTMENT FROM THE FIRE PREVENTION BUREAU PRIOR TO OCCUPYING THIS BUILDING.
9. PLANS FOR THE FOLLOWING FIRE SPRINKLER ALTERATIONS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR FIRE DEPARTMENT APPROVAL PRIOR TO INSTALLATION



FLOOR PLAN 1
SCALE: 1/4"=1'-0"

PLAN DATA:

TOTAL SQUARE FOOTAGE:	1,994.49 S.F.
NET INTERIOR PUBLIC AREA: (SHOWN HATCHED)	816.11 S.F.
NUMBER OF SEATS:	50

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5. :
6. :

SHEET CONTENT
FLOOR PLAN AND SCHEDULES

SHEET NUMBER
A-1.0

ELECTRICAL FIXTURE LEGEND

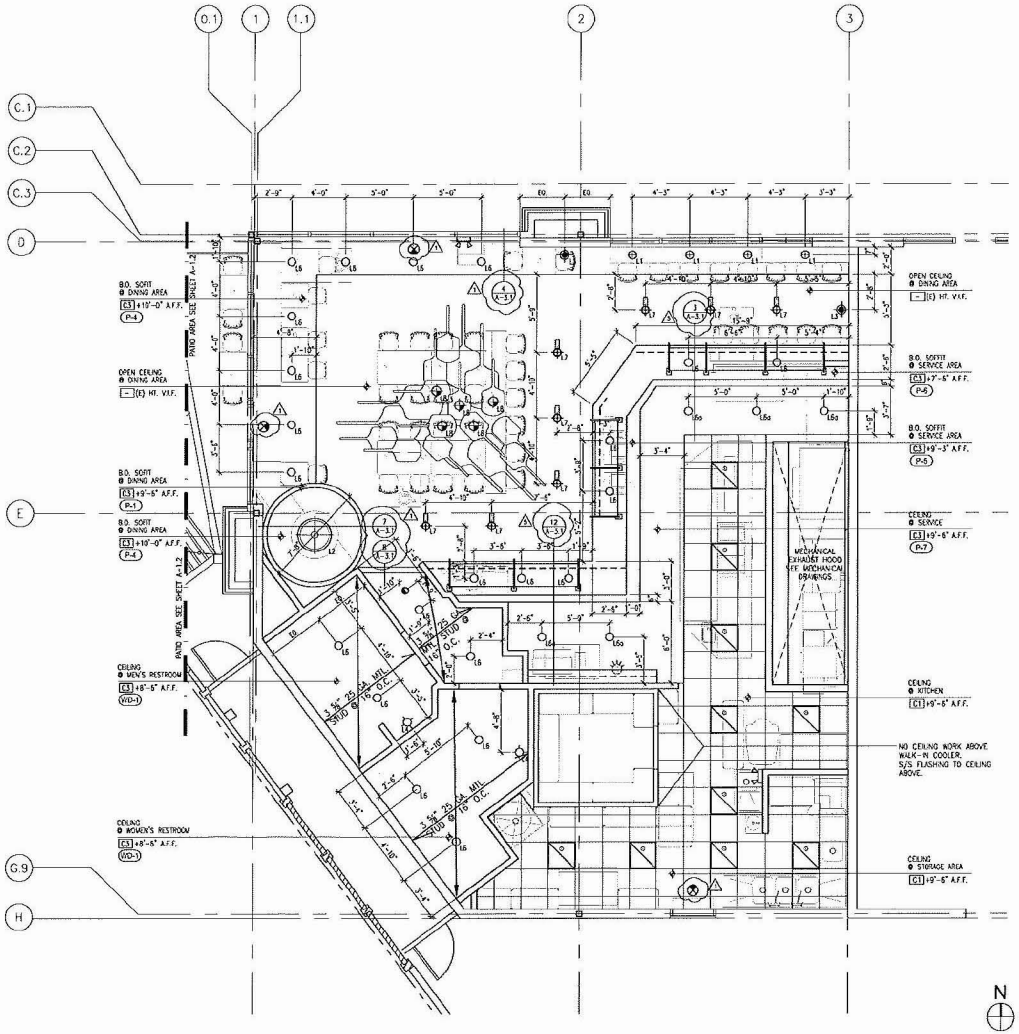
SYMBOL	DESCRIPTION	LAMP X WATTS	REMARK
	FLUORESCENT 2' x 2' FIXTURE		
L1	AMBER GLASS PENDANT LIGHTING UNIVERSE STYLE: 2585234, 600MDPRISAN FINISH: AMBER GLASS / ANTIQUE BRONZE	MR16 50W	
	CANDELARIA CHANDELIER 12 LIGHT LUMENS STYLE: R097401 FINISH: DEEP PATINA BRONZE		
L3	SIGNAGE WALL SCONCE 10" BARN LIGHT ELECTRIC STYLE: BLE-19-A CLASSIC SIGN LIGHT ANGLE SHADE FINISH: MATTE BLACK	50W	
L4	HUDSON VALLEY WALL SCONCE LUMENS STYLE: R234093 FINISH: BLACK POLISHED NICKLE	60W	
L5	4" DOWN LIGHT	50W	
L5a	4" DOWN LIGHT WITH LENS	50W	
L7	MONOPOINT	50W	
L8	BURNSIDE CLASSIC CLOTH CORD PENDANT REJUNVATION STYLE: A2340 FINISH: OIL RUB BRONZE		
	TETRA ALTO LED STRIP LIGHT		
	STRIP UP LIGHT		
	UNIVERSAL MOUNTED EXIT SIGN, FLORESCENT, 120V WITH BATTERY BACKUP SINGLE FACE RED LETTER	2 X 7W	
	CEILING MOUNTED EMERGENCY LIGHT,TWO HEADS WITH BATTERY PACK, 120V, WHITE COLOR	25 W	
	AIR-CONDITION SUPPLY REGISTERS (SEE M-DRAWINGS FOR DETAILS)	SEE M-DRAWINGS FOR DETAILS	
	AIR-CONDITION RETURN REGISTERS (SEE M-DRAWINGS FOR DETAILS)	SEE M-DRAWINGS FOR DETAILS	
	EXHAUST FAN (SEE M-DRAWINGS FOR DETAILS)	SEE M-DRAWINGS FOR DETAILS	

CEILING SCHEDULE

	MANUFACTURER	DESCRIPTION	MATERIAL	FINISH
C1	2' x 2' T-BAR	SUSPENDED HEAVY DUTY T-BAR GRID CEILING SYSTEM TO COMPLY WITH ASCE 7-05 13.5.6.2.2, ASTM C635, ASTM C636, AND CISCA. (SEE NOTE #2)	"CLEAN ROOM VL" GYP. BD. PANELS OR APPROVED SMOOTH AND WASHABLE PANEL	WHITE WITH WHITE TRACK SMOOTH & WASHABLE IN ALL KITCHEN AREAS
	SPACE NOT USED			
C3	-	DRYWALL CEILING ON METAL FRAMING	5/8" TYPE 'X' GYP. BD.	SMOOTH AND WASHABLE

NOTE

1. ALL OUTLETS, REGISTERS, ETC. ON CEILING AND WALLS PAINTED TO MATCH SURFACE
2. THE WIDTH OF THE PERIMETER SUPPORTING CLOSURE ANGLE SHALL BE NO LESS THAN 2" IN EACH ORTHOGONAL HORIZONTAL DIRECTION ONE END OF THE CEILING GRID SHALL BE ATTACHED TO THE CLOSURE ANGLE. THE OTHER END IN EACH HORIZONTAL DIRECTION SHALL HAVE A ¾" CLEARANCE FROM THE WALL AND SHALL REST UPON AND BE FREE TO SLIDE ON A CLOSURE ANGLE. SEE SHEET A-3.00 DETAIL 7.
3. COORDINATE LIGHTING INSTALLATION/MECHANICAL REGISTER INSTALLATION WITH M-SHEETS
4. GC TO COORDINATE WITH INTERIOR DESIGNER AND OWNER FOR LIGHT FIXTURES.



REFLECTED CEILING PLAN (1)
SCALE: 1/4"=1'-0"

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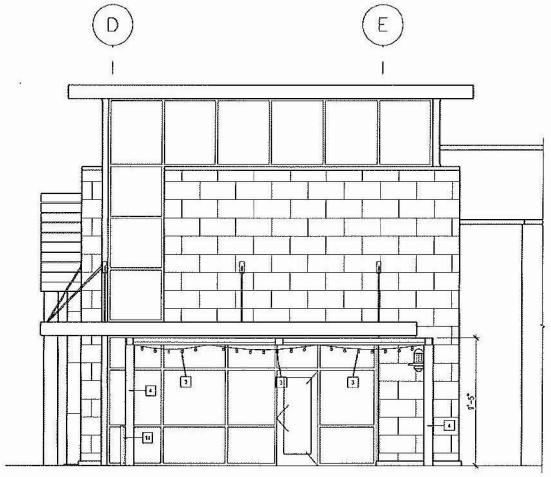
JOB NUMBER	00-000

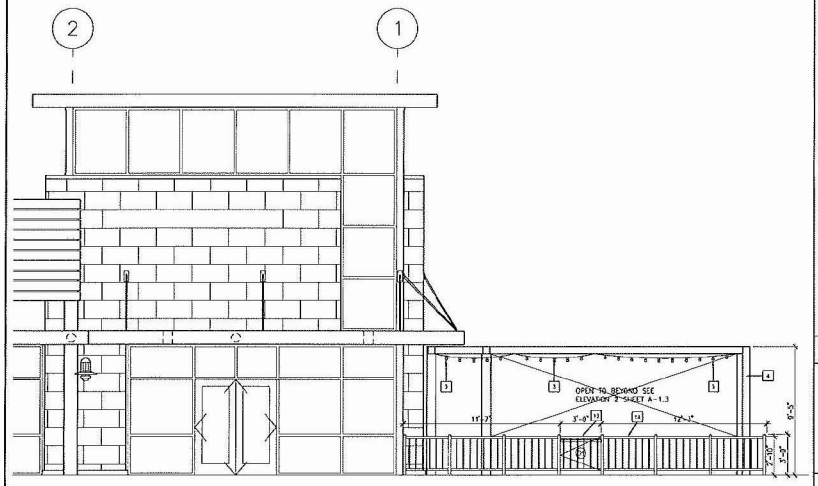
REVISED
1. BUILDING DEPARTMENT CORRECTIONS 01/24/11
2. HEALTH DEPARTMENT CORRECTIONS 02/24/11
3. FIRE DEPARTMENT CORRECTIONS 03/24/11
4. PLANNING DEPARTMENT D.P.
5. -
6. -

SHEET CONTENT
REFLECTED CEILING PLAN SCHEDULES

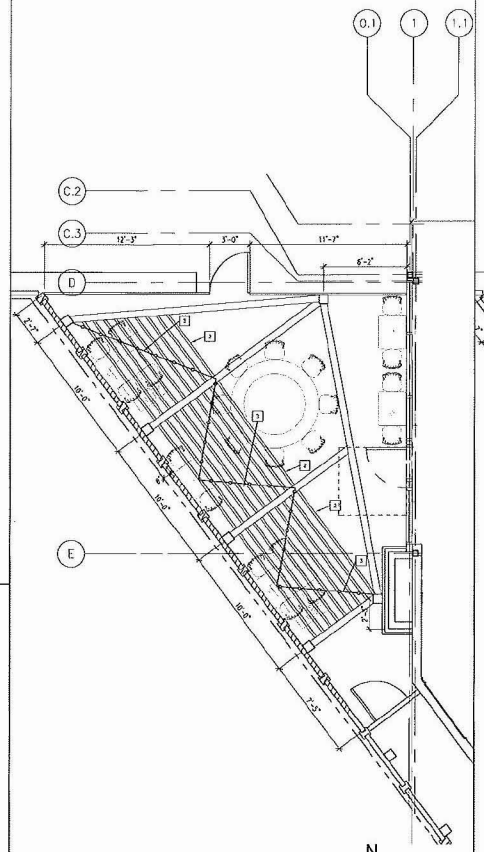
SHEET NUMBER
A-1.1



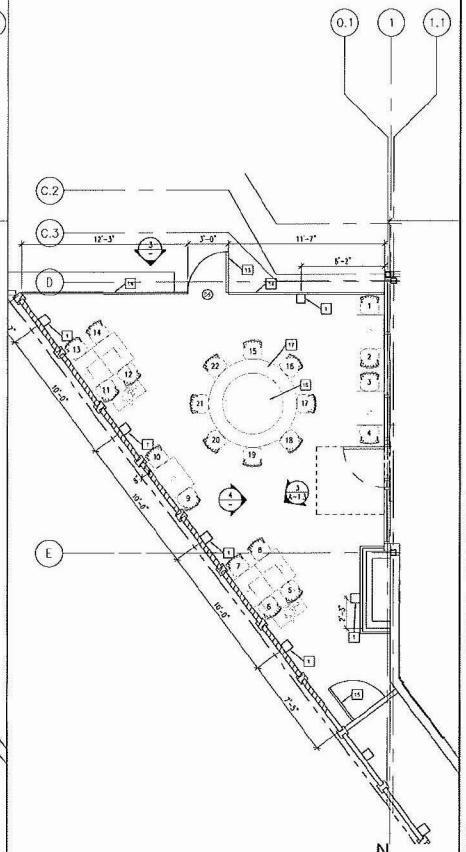
EXTERIOR WEST ELEVATION (4)
SCALE: 1/4"=1'-0"



EXTERIOR NORTH ELEVATION (3)
SCALE: 1/4"=1'-0"



PATIO TRELLIS PLAN (2)
SCALE: 1/4"=1'-0"



PATIO FLOOR PLAN (1)
SCALE: 1/4"=1'-0"

PLAN DATA:

NET PATIO PUBLIC AREA: (SHOWN HATCHED)	424.97 S.F.
NUMBER OF SEATS:	22

KEYNOTES

NO.	DESCRIPTION	NO.	DESCRIPTION
1	(N) 8X8 TS COLUMN	10	FINISHED FLOOR
2	IPE WOOD LOUVERS @ 8" O.C	11	1 1/2" TUBE STEEL
3	FESTOON LIGHTING (WHITE GLOBE, BLACK CORD)	12	GINA'S PIZZA EXTERIOR WALL
4	METAL TRELLISS PAINTED P-1, SEE SHT. A-2.0	13	3'-0" WIDE X 3'-0" HIGH DOOR. SEE DOOR SCHEDULE SHEET A-1.0
5	1/4" TEMPERED GLASS		
6	1/2" "U" CHANNEL	14	36" HIGH WROUGHT IRON FENCE
7	EXISTING PRECAST CONCRETE WALL	15	6'-0" HIGH WROUGH IRON DOOR.
8	EXISTING PAINTED TUBE STEEL GATE	16	GAS FIRE PIT
9	(N) 6X6 TS BEAM	17	LEDGE TABLE BUILD AROUND FIRE PIT.

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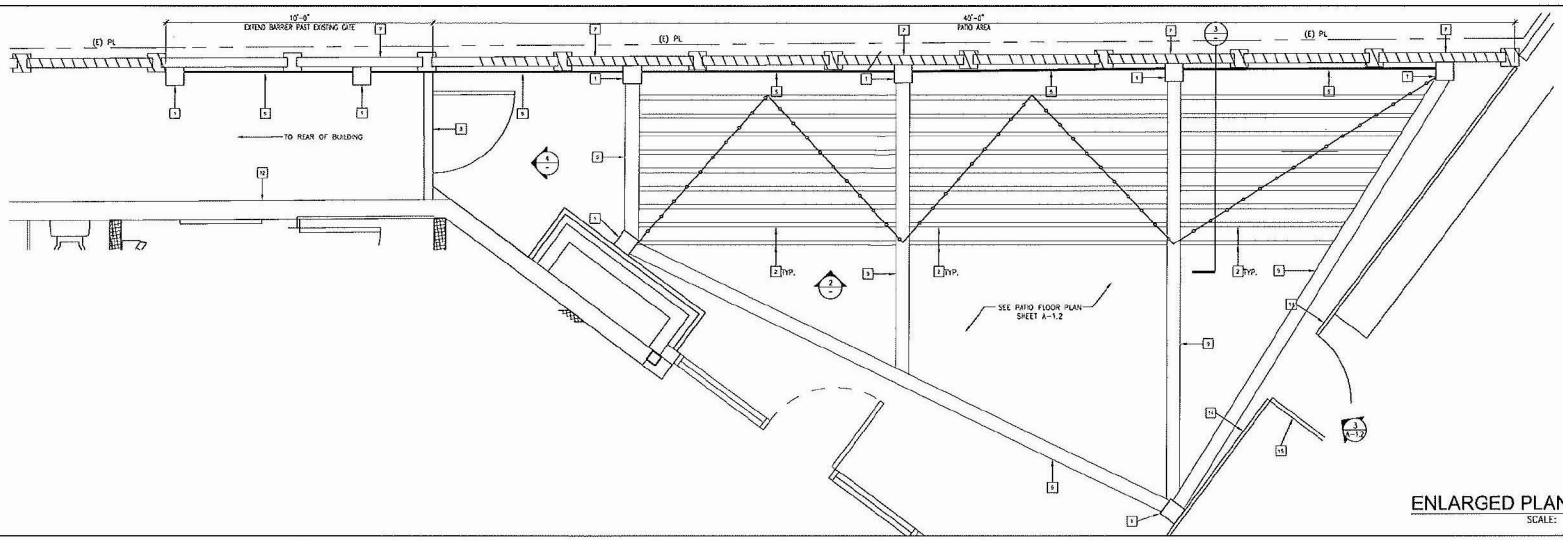
PROJECT TITLE / ADDRESS
GINA'S PIZZA
3142 W. BALBOA BLVD.
NEWPORT BEACH, CA 92663

DATE DRAWN	12/07/10
DRAWN BY	JP
JOB NUMBER	00-000

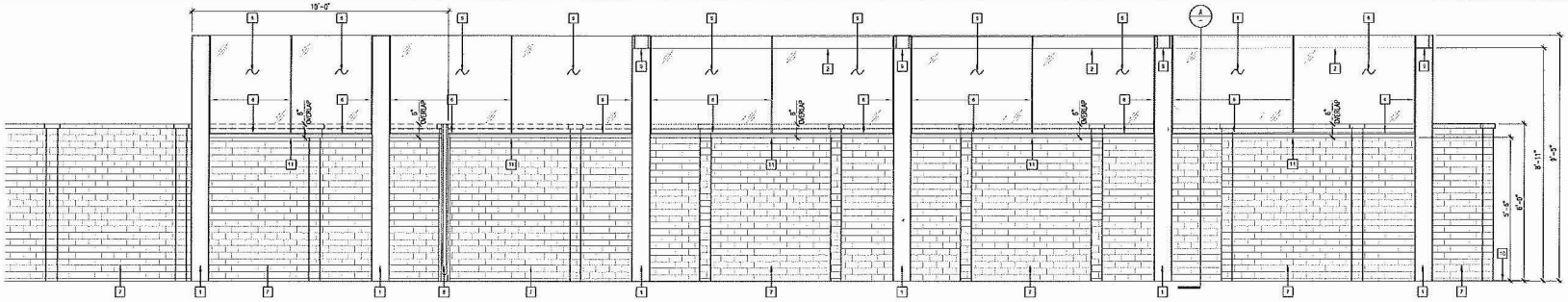
REVISED
- 1 PLANNING DEPARTMENT CORRECTIONS 03/29/11
- 2 HEALTH DEPARTMENT CORRECTIONS 03/29/11
- 3 FIRE DEPARTMENT CORRECTIONS 03/29/11
- 4 PLANNING DEPARTMENT CUP
- 5 :
- 6 :

SHEET CONTENT
PATIO FLOOR PLAN

SHEET NUMBER
A
A-1.2



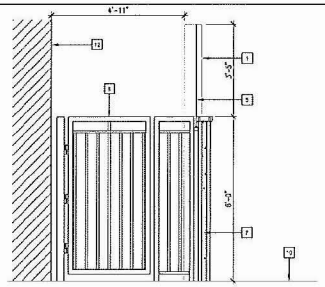
ENLARGED PLAN VIEW (1)
SCALE: 1/2"=1'-0"



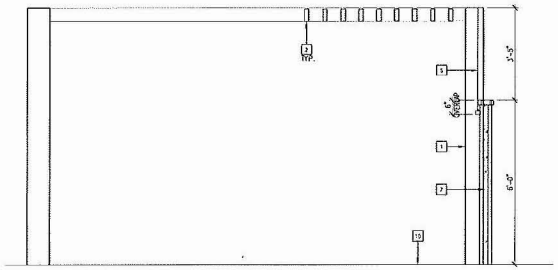
ELEVATION 1 (SOUTH-WEST ELEVATION) (2)
SCALE: 1/2"=1'-0"

KEYNOTES

NO.	DESCRIPTION	NO.	DESCRIPTION
1	(N) 8X8 TS COLUMN	10	FINISHED FLOOR
2	IPE WOOD LOUVERS @ 8" O.C.	11	1 1/2" TUBE STEEL
3	FESTOON LIGHTING (WHITE GLOBE, BLACK CORD)	12	GINA'S PIZZA EXTERIOR WALL
4	METAL TRELLISS PAINTED P-1, SEE SHT. A-2.0	13	3'-0" WIDE X 3'-0" HIGH DOOR. SEE DOOR SCHEDULE SHEET A-1.0
5	1/4" TEMPERED GLASS		
6	1/2" "U" CHANNEL	14	36" HIGH WROUGHT IRON FENCE
7	EXISTING PRECAST CONCRETE WALL	15	6'-0" HIGH WROUGH IRON DOOR.
8	EXISTING PAINTED TUBE STEEL GATE	16	GAS FIRE PIT
9	(N) 6X6 TS BEAM	17	LEDGE TABLE BUILD AROUND FIRE PIT.



GATE ELEVATION (4)
SCALE: 1/2"=1'-0"



SECTION (3)
SCALE: 1/2"=1'-0"

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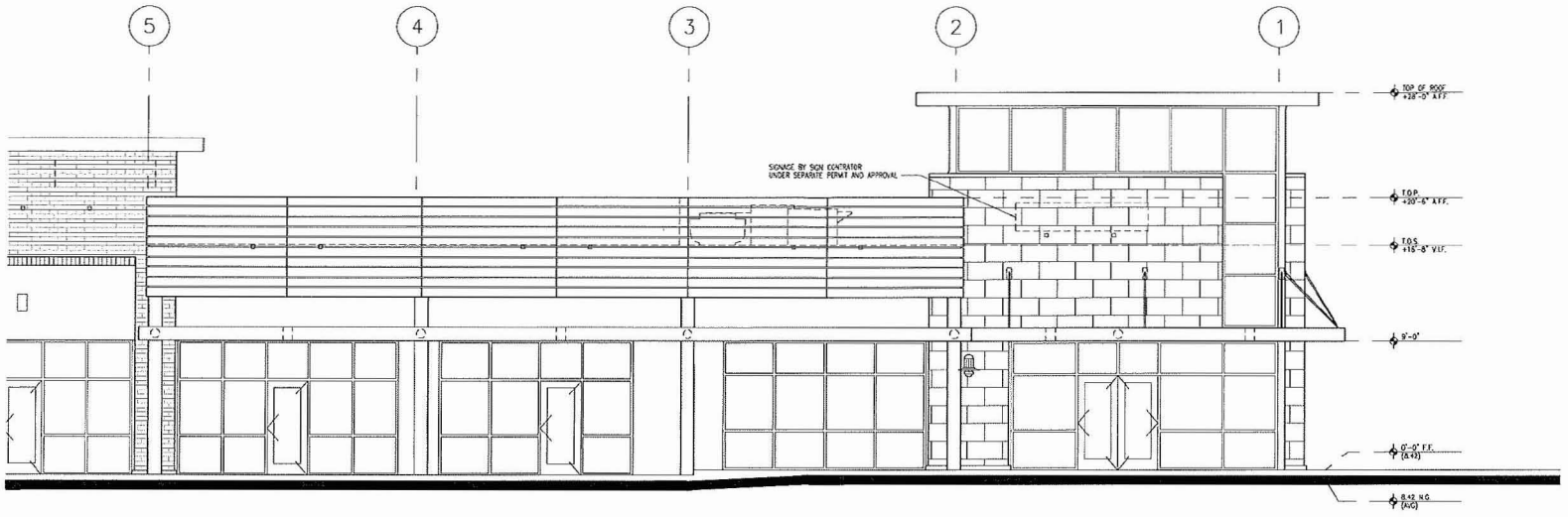
PROJECT TITLE / ADDRESS
GINA'S PIZZA
3142 W. BALBOA BLVD.
NEWPORT BEACH, CA 92663

DATE DRAWN	12/07/10
DRAWN BY	JP
JOB NUMBER	00-000

REVISED
1 BUILDING DEPARTMENT CORRECTIONS 02/25/11
2 HEALTH DEPARTMENT CORRECTIONS 02/25/11
3 FIRE DEPARTMENT CORRECTIONS 02/25/11
4 PLANNING DEPARTMENT CUP
5 -
6 -

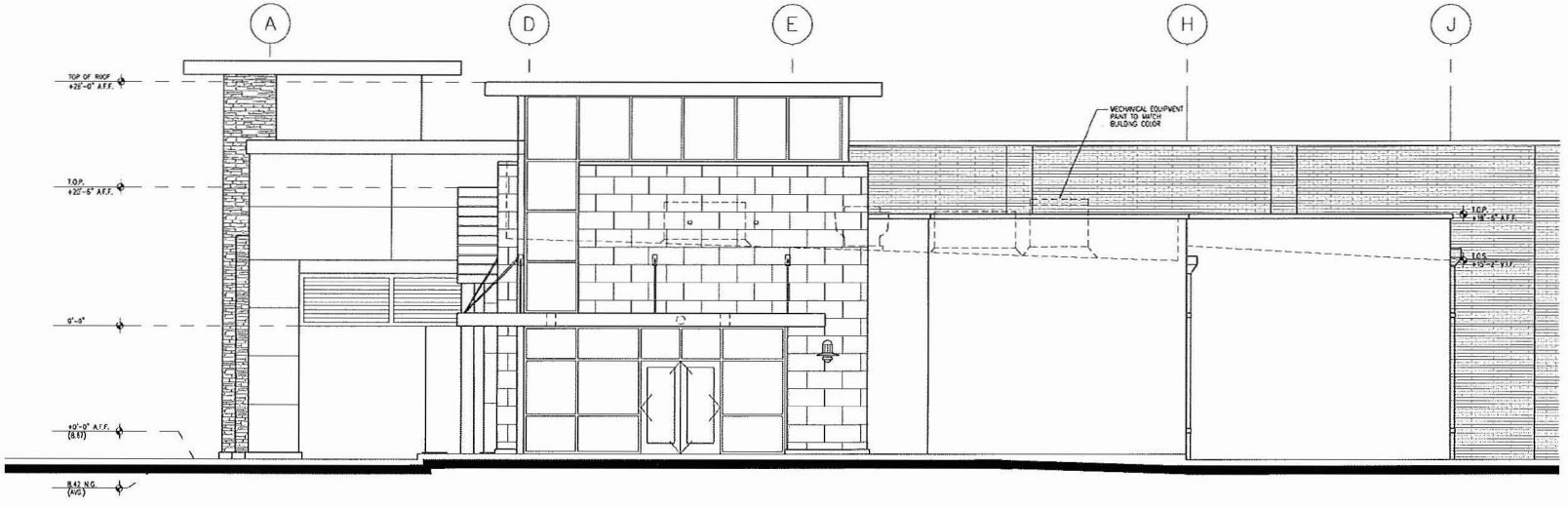
SHEET CONTENT
PATIO ELEVATION

SHEET NUMBER
A-1.3



EXTERIOR NORTH ELEVATION - SHOPS WEST (1)

SCALE: 1/2"=1'-0"



EXTERIOR WEST ELEVATION - SHOPS WEST AND GROCER (2)

SCALE: 1/2"=1'-0"

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PROJECT TITLE / ADDRESS

GINA'S PIZZA
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NEWPORT BEACH, CA 92663

DATE DRAWN	12/07/10
DRAWN BY	JP
JOB NUMBER	00-000

REVISED

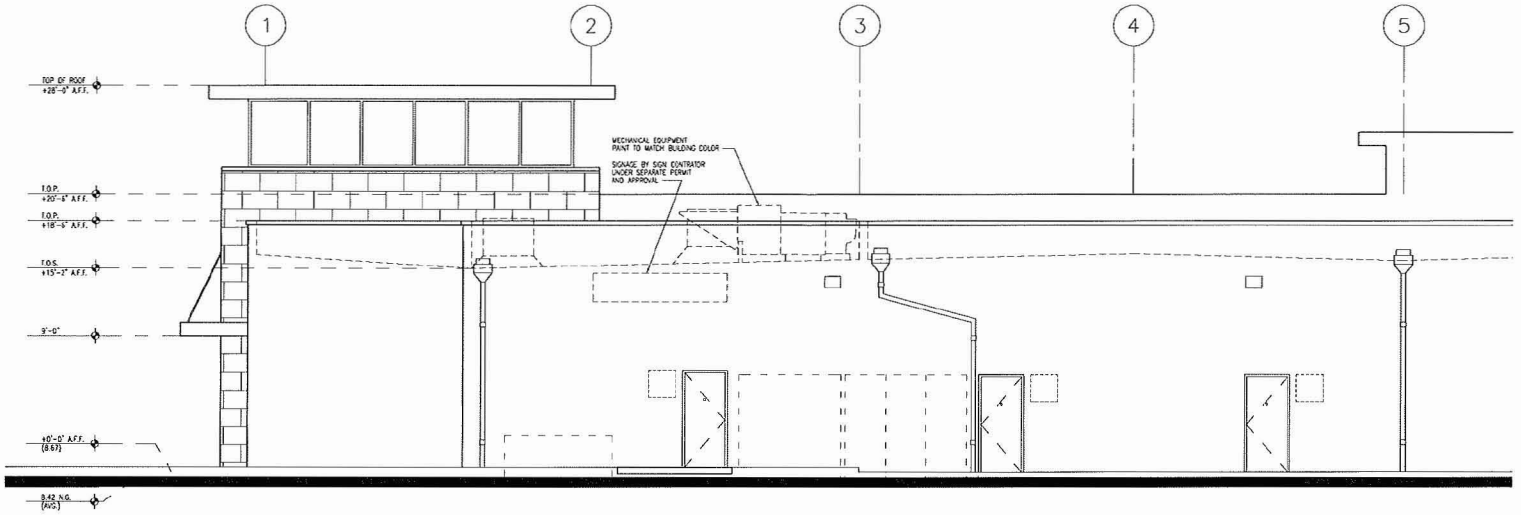
1	PLANNING DEPARTMENT CORRECTIONS 02/08/11
2	CITY DEPARTMENT CORRECTIONS 02/08/11
3	FIRE DEPARTMENT CORRECTIONS 02/08/11
4	PLANNING DEPARTMENT SUP
5	-
6	-

SHEET CONTENT

EXTERIOR ELEVATIONS

SHEET NUMBER

A-2.4



EXTERIOR SOUTH ELEVATION - SHOPS WEST (1)

SCALE: 1/2"=1'-0"

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PROJECT TITLE / ADDRESS

GINA'S PIZZA

3142 W. BALBOA BLVD.
NEWPORT BEACH, CA 92663

DATE DRAWN	12/07/10
DRAWN BY	JP
JOB NUMBER	00-000

REVISED

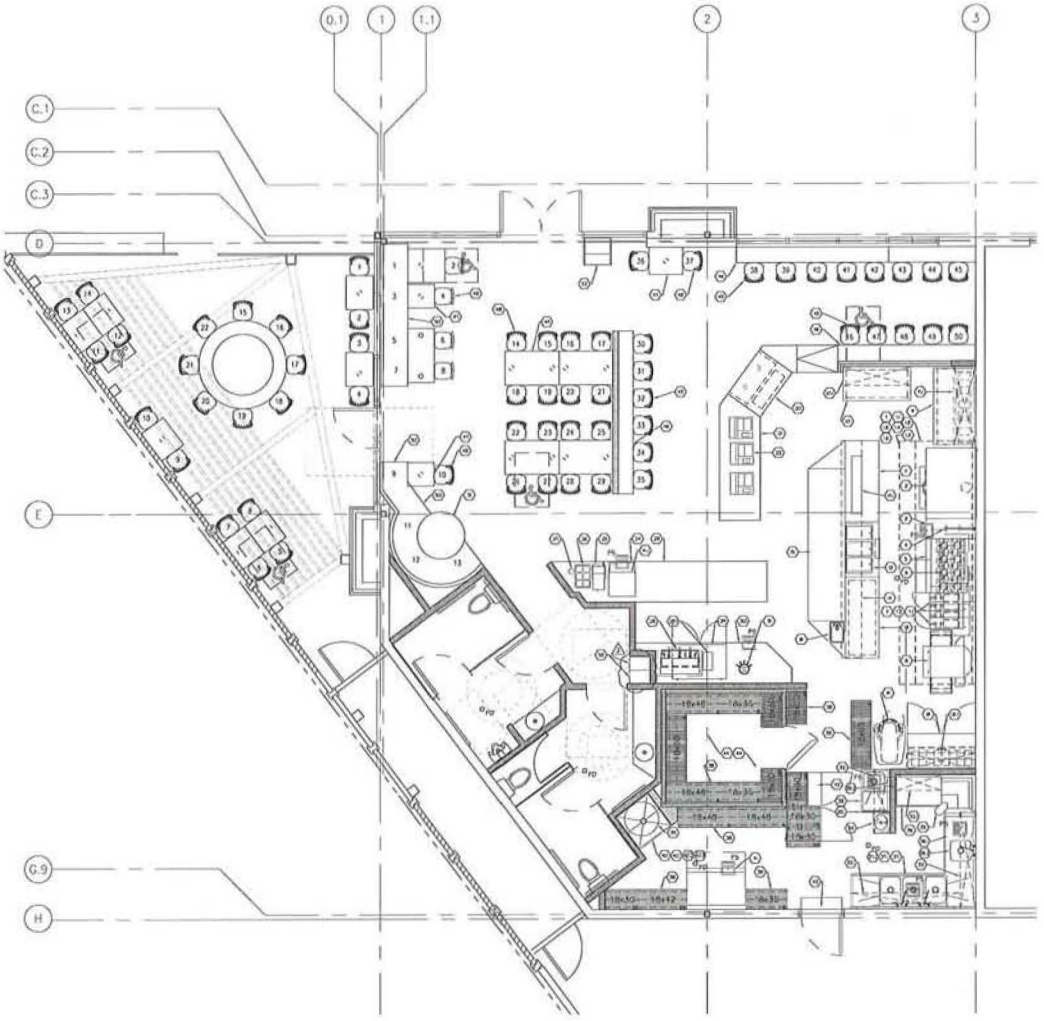
1	BLDG. DEPARTMENT CORRECTIONS 02/25/11
2	HEALTH DEPARTMENT CORRECTIONS 02/25/11
3	FIRE DEPARTMENT CORRECTIONS 02/28/11
4	PLANNING DEPARTMENT CUP
5	
6	

SHEET CONTENT

EXTERIOR ELEVATIONS

SHEET NUMBER

A-2.5



EQUIPMENT PLAN (1)
SCALE: 1/4"=1'-0"

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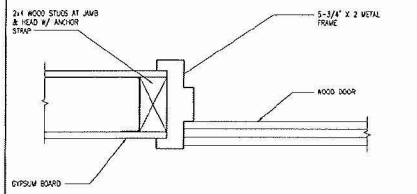
PROJECT TITLE / ADDRESS
GINA'S PIZZA
3142 W. BALBOA BLVD.
NEWPORT BEACH, CA 92663

DATE DRAWN	12/07/10
DRAWN BY	JP
JOB NUMBER	00-000

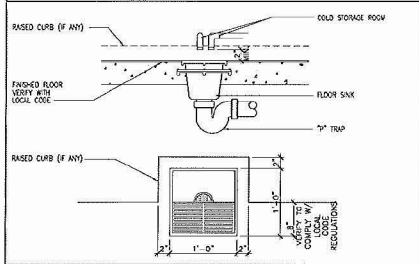
REVISED
1 NOV. 30/2007 CORRECTING REVISIONS
2 JAN. 30/2008 CORRECTING REVISIONS
3 FEB. 20/2008 CORRECTING REVISIONS
4 MARCH 30/2007 SUP
5
6

SHEET CONTENT
EQUIPMENT PLAN

SHEET NUMBER
K-1.0



TYPICAL DOOR - PLAN (13)
SCALE: NOT TO SCALE



FLOOR SINK (14)
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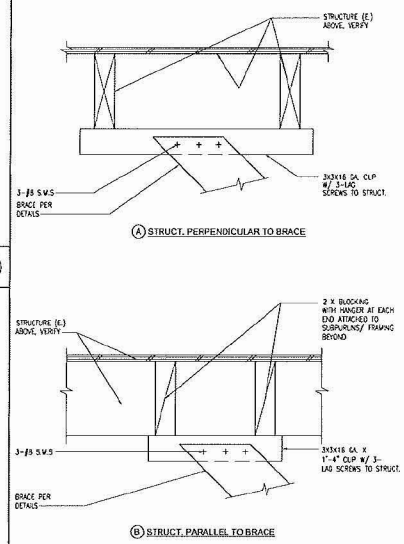

BRACE CONNECTION (10)
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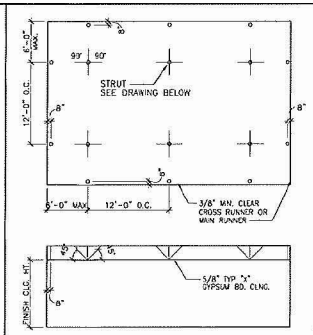


SUSPENDED CEILING NOTES:

(ALL HANGERS TO BE #8 GALV. WIRE @ 2'-0" O.C. IF CEILING SYSTEMS ARE NOTE CONNECTED TO PARTITIONS)

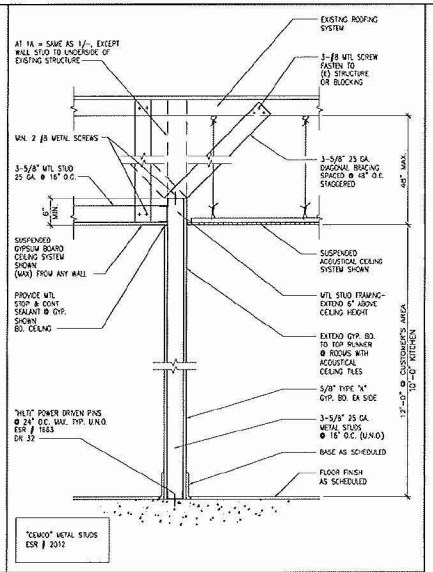
A. PROVIDE LATERAL SUPPORT WITH NO.12 GA. WIRES SPLAYED IN 4 DIRECTIONS, 90° APART. CONNECT AT MAIN RUNNER WITH 2'-0" OF CROSSRUNNER AND TO STRUCTURE ABOVE AT ANGLE NOT TO EXCEED 45 DEGREES FROM PLANE OF CEILING. THESE LATERAL SUPPORTS TO BE 12'-0" O.C. WITH FIRST POINT 4'-0" FROM EACH WALL

B. ALLOWANCE TO BE PROVIDE FOR LATERAL MOVEMENT OF SYSTEM. MAIN AND CROSS RUNNERS MAYBE ATTACHED TO ADJACENT WALLS WITH CLEARANCE BETWEEN WALL AND RUNNER AT REMAINING 2 WALLS. LIGHT FIXTURES RECESSED NOT OVER 55 LBS. AND PENDANT NOT OVER 20 LBS MAY BE POSITIVELY ATTACHED TO CEILING SYSTEM RUNNERS WITH SCREWS OR BOLTS
AIR DIFFUSERS NOT OVER 20 LBS. MAY BE POSITIVELY ATTACHED TO CEILING SYSTEM RUNNERS WITH SCREWS OR BOLTS

C. AIR DIFFUSERS NOT OVER 30 LBS. RECEIVING NO EXTRA LOAD FROM DUCTWORK MAY BE POSITIVELY ATTACHED TO CEILING WITH SCREWS OR BOLTS. LIGHTING FIXTURES, FURNISH AND INSTALL COMPLETE WITH LAMPS BALLASTS AND REQUIRED MOUNTING HARDWARE. PRIOR TO ORDERING FIXTURES, VERIFY MOUNTING METHODS AND FINISHES. ALL FLOURESCENT FIXTURES MOUNTED IN "T-BAR" CEILINGS TO BE INDEPENDENTLY SUSPENDED WITH 2 #10 STEEL WIRES DIAGONALLY. INSTALLATIONS IN FIRE-RATED AREAS TO BEDONE ACCORDING TO CODE.

D. CONTRACTOR TO PROVIDE COMPRESSION UNIT STRUT @ 12" O.C.

TYPICAL SUSPENDED CEILING DIAGRAMS (6)
SCALE: N.T.S.



TYPICAL NON-BEARING WALL (2)
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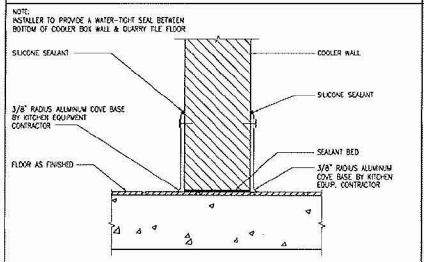
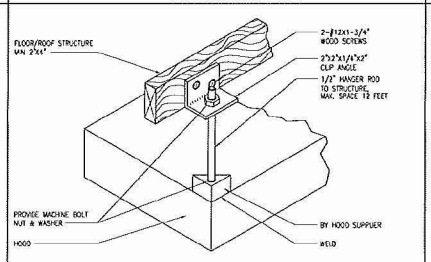


WALK-IN COOLER BASE - SECTION (15)
SCALE: NOT TO SCALE



HOOD SUPPORT @ JOIST (11)
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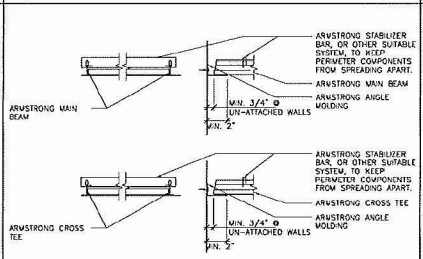
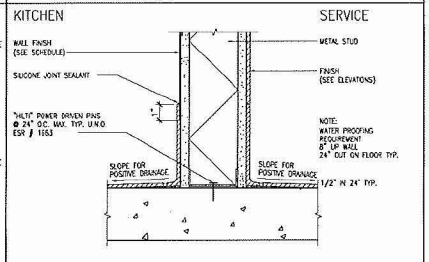


Side View Category D, E & F Details



BASE - SECTION (3)
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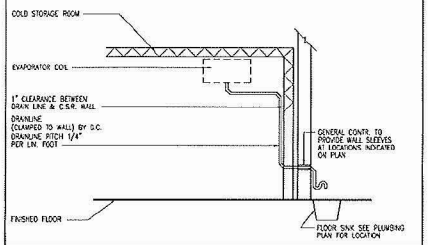

COOLER CONDENSATE DRAIN (16)
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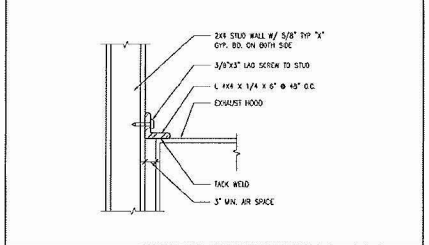
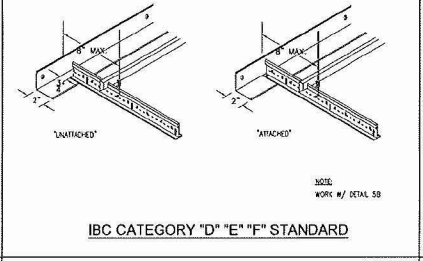
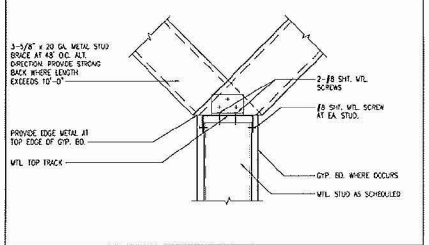


HOOD SUPPORT @ WALL (12)
SCALE: N.T.S.



IBC CATEGORY "D" "E" "F" STANDARD

TYPICAL SUSPENDED CEILING DETAIL (8)
SCALE: N.T.S.



NOTE:
WALLS AND BRACES SHALL NOT ATTACH TO SUSP. CEIL. RAILS

WALL ATTACHMENT (4)
SCALE: NOT TO SCALE

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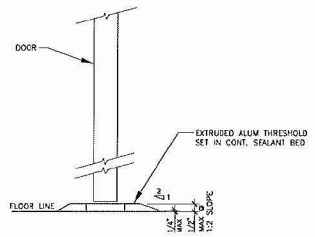
PROJECT TITLE / ADDRESS
GINA'S PIZZA
3142 W. BALBOA BLVD.
NEWPORT BEACH, CA 92663

DATE DRAWN	12/07/10
DRAWN BY	JP
JOB NUMBER	00-000

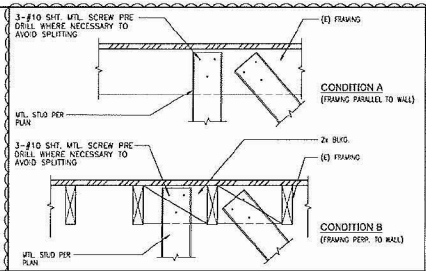
REVISED
1 BUILDING DEPARTMENT CORRECTIONS 10/04/11
2 BUILDING DEPARTMENT CORRECTIONS 10/06/11
3 BUILDING DEPARTMENT CORRECTIONS 11/04/11
4 PLANNING DEPARTMENT CLIP
5 :
6 :

SHEET CONTENT
DETAILS

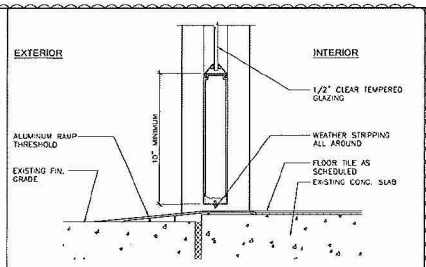
SHEET NUMBER
A-3.0



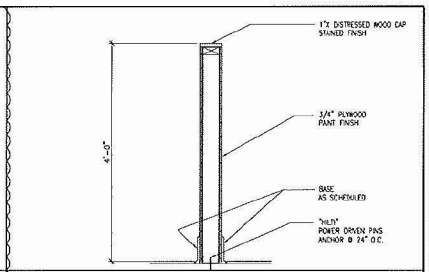
TYP. THRESHOLD DETAIL (13)
SCALE: N.T.S.



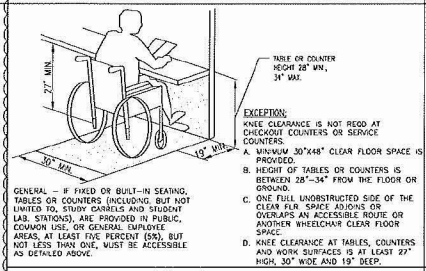
STUD ATTACHMENT (9)
SCALE: N.T.S.



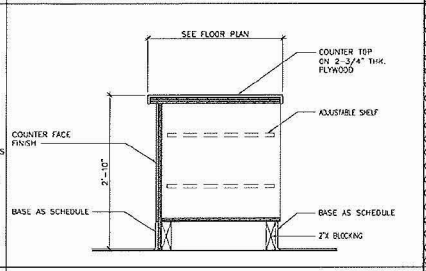
ALUMINUM THRESHOLD (5)
SCALE: 3"=1'-0"



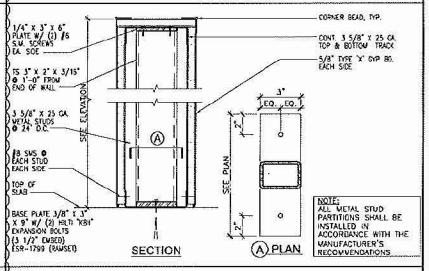
LOW WALL (1)
SCALE: 1"=1'-0"



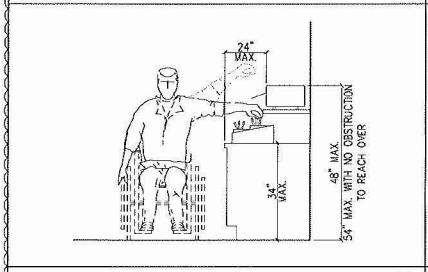
REQUIRED KNEE CLEARANCE (10)
SCALE: N.T.S.



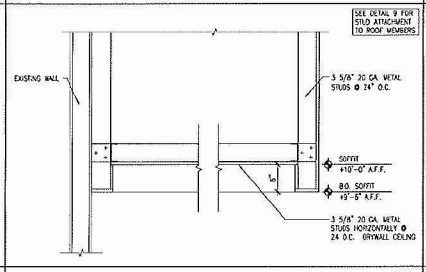
SERVICE COUNTER (6)
SCALE: 1"=1'-0"



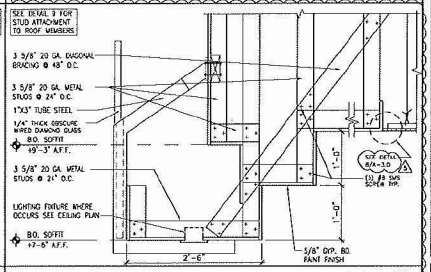
TYPICAL LOW WALL PARTITION (2)
SCALE: 3"=1'-0"



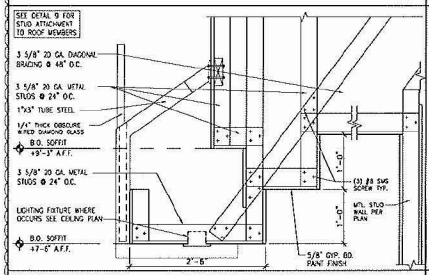
ACCESSIBLE SIDE REACH (11)
SCALE: N.T.S.



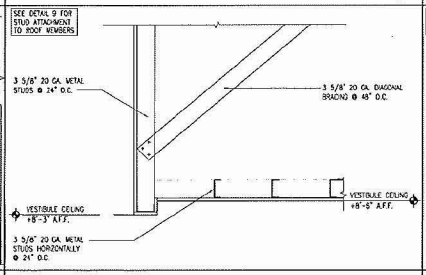
SOFFIT - SECTION (7)
SCALE: NOT TO SCALE



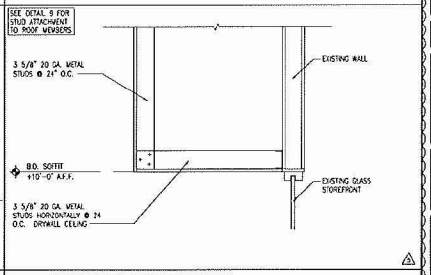
SOFFIT @ SERVICE AREA - SECTION (3)
SCALE: NOT TO SCALE



SOFFIT @ SERVICE AREA - SECTION (12)
SCALE: NOT TO SCALE



CEILING @ VESTIBULE - SECTION (8)
SCALE: NOT TO SCALE



SOFFIT @ DINING AREA - SECTION (4)
SCALE: NOT TO SCALE

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THE REPORTS AND SPECIFICATIONS ON THE PLANS SHALL BE CONSIDERED SUPPLEMENTAL TO THE CITY OF LOS ANGELES BUILDING CODE. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING CODE, THE REPORTS AND SPECIFICATIONS ON THE PLANS, AND THE REQUIREMENTS OF THE BUILDING OFFICIAL. THE REPORTS AND SPECIFICATIONS ON THE PLANS SHALL BE CONSIDERED SUPPLEMENTAL TO THE CITY OF LOS ANGELES BUILDING CODE. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING CODE, THE REPORTS AND SPECIFICATIONS ON THE PLANS, AND THE REQUIREMENTS OF THE BUILDING OFFICIAL.

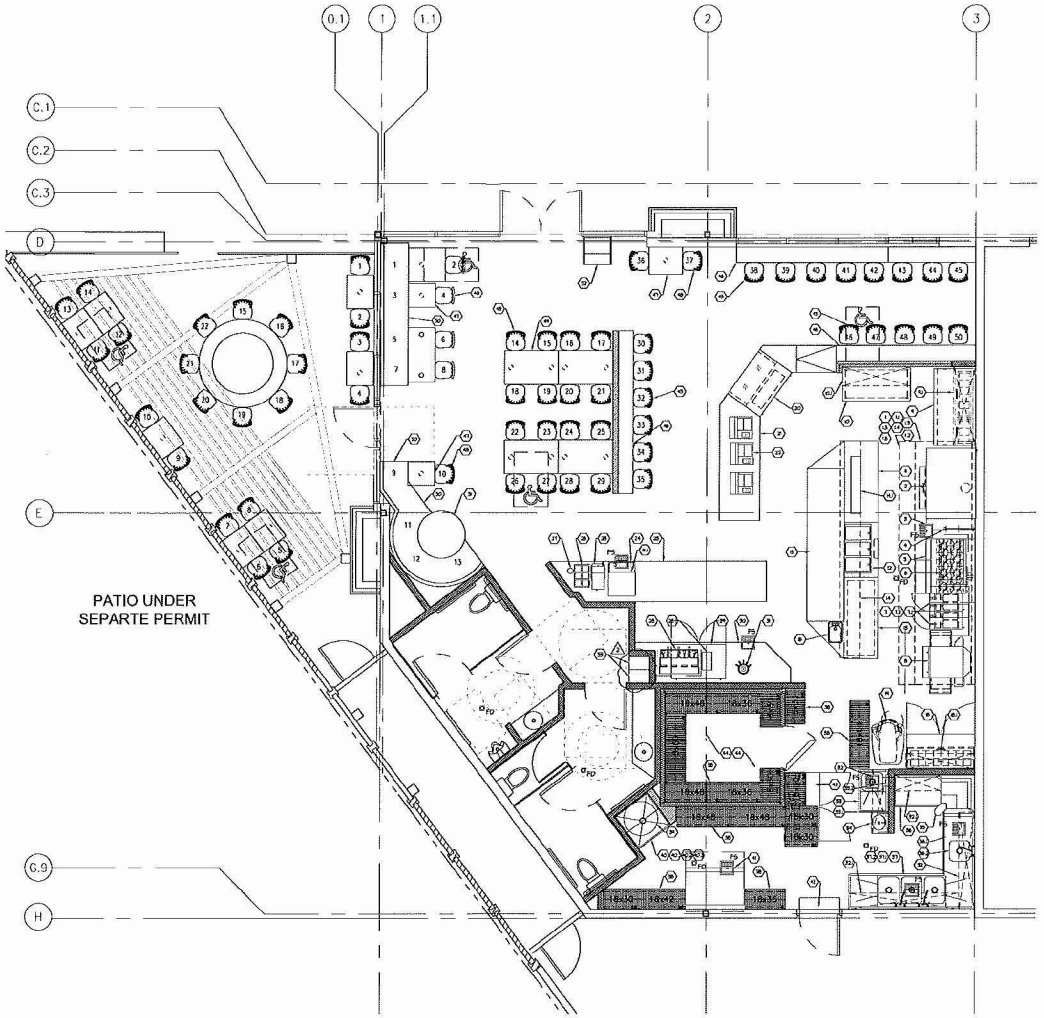
PROJECT TITLE / ADDRESS
GINA'S PIZZA
3142 W. BALBOA BLVD.
NEWPORT BEACH, CA 92663

DATE DRAWN	12/07/10
DRAWN BY	JP
JOB NUMBER	00-000

REVISED
1 PLANNING DEPARTMENT CORRECTIONS 12/20/10
2 HEALTH DEPARTMENT CORRECTIONS 02/25/11
3 FIRE DEPARTMENT CORRECTIONS 05/27/11
4 PLANNING DEPARTMENT CUP
5 :
6 :

SHEET CONTENT
DETAILS

SHEET NUMBER
A-3.1



EQUIPMENT PLAN (1)
SCALE: 1/4"=1'-0"

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2. HEALTH DEPARTMENT CORRECTIONS 02/25/11
3. FIRE DEPARTMENT CORRECTIONS 02/25/11
4. PLANNING DEPARTMENT CUP
5.
6.

SHEET CONTENT
EQUIPMENT PLAN

SHEET NUMBER
K-1.0

ITEM	REMARKS	PLUMBING									ELECTRICAL							EQUIPMENT						
		GAS			WASTE		HOT WATER		COLD WATER		CONECTION	LOAD			PHASE	VOLTS	INSTALLED BY	PURCHASED BY	MODEL NUMBER	MANUFACTURER	QTY	DESCRIPTION	ITEM
		SIZE	R.U.H.	MBTU	TYPE	SIZE	R.U.H.	SIZE	R.U.H.	SIZE	R.U.H.	TYPE	AMPS	WATTS	H.P.								
1																	EG	GC	SEE MECHANICAL	CAPTIVEAIRE	1	TYPE I HOOD	1
1.1	INTERLOCKED W/ MAU																EG	GC	SEE MECHANICAL	CAPTIVEAIRE	1	EXHAUST FAN	1.1
1.2	INTERLOCKED W/ EF																EG	GC	SEE MECHANICAL	CAPTIVEAIRE	1	MAK-UP AIR SYSTEM	1.2
1.3																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	1	S/S WALL LINING	1.3
1.4																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	1	S/S TOP FLASHING	1.4
1.5																	EG	GC	SEE MECHANICAL	CAPTIVEAIRE	1	EXHAUST SYSTEM MOTOR CONTROL BOX	1.5
1.6																	EG	GC	SEE MECHANICAL	CAPTIVEAIRE	1	FIRE SUPPRESSION SYSTEM	1.6
2		3/4"		150											1	120	EG	GC	M880	MARSAL & SONS	1	OVEN	2
3																	EG	GC	CUSTOM	HUD INDUSTRIES	1	TABLE, SPACER	3
4										1/2"							EG	GC	B-0594	T & S BRASS	1	POT FILLER	4
5		3/4"	30"	254							15"	G	5		1/4	1	120	EG	GC	IR-8-G-X8	IMPERIAL	1	8 BURNER W/ OVEN	5
6		3/4"		35														EG	GC	158-36	IMPERIAL	1	SALAMANDER	6
7		3/4"		110												1	120	EG	GC	MJ85-SG	FRYMASTER	2	DEEP FRYER	7
7.1																		EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	2	S/S FRYER SIDE SPLASH	7.1
7.2																		EG	GC	FF50R	FRYMASTER	1	FRYER FILETER, MOBILE	7.2
8	W/ QUICK DISCONNECT	3/4"		40								7			1	120	EG	GC	1120-10	LINCOLN IMPINGER	1	PIZZA OVEN, CONVETOR	8
9											15"	5-15P	8		1/3	115	EG	GC	TPP-67	TRUE FOOD SERV. EQ.	1	PIZZA TABLE	9
9.1																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	2	S/S WALL SHELF	9.1
10																	EG	GC	D5608	JOHN BOOS	1	MAPLE TOP WORK TABLE	10
10.1																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	2	S/S WALL SHELF	10.1
11																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	1	STAINLESS STEEL TABLE	11
12											15"	6-20	10.8	2250	1	208	EG	GC	E3035M	DUKE	1	HOT WELLS	12
13																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	1	STAINLESS STEEL TABLE	13
14																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	1	S/S OVERHEAD SHELF	14
14.1												D		4510	1	120/208	EG	GC	GRAM.-120-3	HATCO	1	HEAT LAMP, STRIP TYPE	14.1
15																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	1	PICK-UP CONTER	15
16	W/ SOAP AND TOWEL DISPENSER				D	2"		1/2"		1/2"							EG	GC	P1005K104105-LR	JOHN BOOS	1	DROP-IN HAND SINK	16
18	ON CASTERS											5-15P	7.8		1/3	115	EG	GC	1950-60-24H-B-ST	TRUE FOOD SERV. EQ.	1	REFRIGERATED COUNTER, SANDWICH TOP	18
18.1																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	2	S/S WALL SHELF	18.1
19												D	10		3	240	EG	GC	HL662-1STD	HOBART	1	MIXER	19
20					SG							5-15P	13.0			120	EG	GC	HM6000R-09	STRUCTURAL CONCEPTS	1	DISPLAY CASE	20
21																	GC	GC	CUSTOM PER PLAN	MILLWORK	1	FRONT COUNTER	21
22															1	120	O	GC		BY OWNER	3	P.O.S.	22
23																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	1	BEVERAGE COUNTER	23
24					F5					1/2"					1	120	O	GC		BY SODA VENDOR	1	SODA MACHINE	24
25					F5					1/2"					1	120	O	GC		BUNN	1	ICE TEA MACHINE	25
26																	O	GC			1	CONDIMENT RACK	26
27																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	1	TRASH CHUTE	27
28					F5					1/2"			16.5	4000	1	240	EG	GC	VSE22	GRINDMASTER-CECILWARE	1	ESPRESSO MACHINE	28
28.1												5-15P	3	350	1	120	EG	GC	HG-600	GRINDMASTER-CECILWARE	1	COFFEE GRINDER	28.1
29					SG							5-15P	6.8		1/2	115	EG	GC	TUC-48F-LP	TRUE FOOD SERV. EQ.	1	FREEZER, UNDER COUNTER	29
30																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	1	BACK COUNTER	30
31																	O	GC			1	BEER DISPENSER	31
32																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	1	S/S WALL SHELF	32
32.1																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	1	S/S SLANT SHELF	32.1
33					F5			1/2"		1/2"							EG	GC	TSA-1-RI	TURBO AIR	1	VEGGIE SINK	33
33.1																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	2	S/S SINK SIDE SPLASH	33.1
33.2																	EG	GC	B-0230-LN	T & S BRASS	1	FAUCETS	33.2
34					F5			1/2"		1/2"							EG	GC	K14DGS	FOLAR WARE	1	HAND SINK (WALL MOUNT)	34
35								3/4"		3/4"			6.1		1	120	O	GC	A4	AUTOCLOR	1	DISH WASHER (LOW TEMP)	35
36																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	1	DISH TABLE (CLEAN)	36
36.1																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	1	DISH TABLE (SOILED)	36.1
36.2																	EG	GC	B-0133-B	T & S BRASS	1	PRE-RINSE UNIT	36.2
37																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	1	3-COMPARTMENT SINK	37
37.1																	EG	GC	B-0133-B	T & S BRASS	1	PRE-RINSE UNIT	37.1
37.2																	EG	GC	B-0230-LN	T & S BRASS	1	FAUCET	37.2
38																	EG	GC	SUPER ERECTA	METRO	V	STORAGE SHELF	38
39																	GC	GC	SEE PLDG DRAWINGS	RHEEM OR EQUAL	1	WATER HEATER	39
40					D	2"		1/2"		1/2"							EG	GC	XMP-2424	AERO MFG	1	MOP SINK	40
40.1																	EG	GC	B-0667-POL	T & S BRASS	1	FAUCET	40.1
40.2																	EG	GC	CUSTOM PER PLAN	HUD INDUSTRIES	1	S/S WALL SHELF	40.2
40.3																	EG	GC	PB-MH-3	JOHN BOOS	1	MOP HOLDER	40.3
41					F5					1/2"							EG	GC	KM-600MAH	HOSHIZAKI	1	ICE MAKER WITH BIN	41
41A					F5					1/2"							EG	GC	KM-600MAH	HOSHIZAKI	1	ICE MAKER	41A
42					SG								6.3			1 120	EG	GC	2562-BMT	LA ROSA REFRIGERATION	1	MAPLE TOP REFRIGERATOR	42
43	W/ MICRO SWITCH												20		1	120	EG	GC	KZN1036A	BERNER	1	AIR CURTAIN	43
44																	EG	GC	CUSTOM PER PLAN	KOOL STAR	1	WALK-IN COOLER	44
44.1																	EG	GC	CUSTOM PER PLAN	KOOL STAR	1	REFRIGERATION, WALK-IN COOLER	44.1
45																	O	GC			V	CHAIR STOOLS	45
46																	GC	GC			3	LEDGE	46
47																	O	GC			V	TABLE (DUGE)	47
48																	O	GC			V	CHAIR	48
49																	O	GC			V	TABLE (4-SEATER)	49
50																	GC	GC		MILLWORK	2	SETTEE	50
51																	O	GC			1	ROUND TABLE	51
52																	O	GC			1	TRASH RECEPTACLE	52
53	MIN. 12"H x 18"D x 36"H																EG	GC	EL/2/18	KELMAX EQUIPMENT	2	LOCKER	53

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Attachment No. PC 9

Photos