



## COMMUNITY DEVELOPMENT DEPARTMENT

### PLANNING DIVISION

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### CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

June 27, 2012

Agenda Item 3

**SUBJECT:** Chase Bank - (PA2012-035)  
1000 Irvine Avenue

- Minor Use Permit No. UP2012-004
- Comprehensive Sign Program No. CS2012-006

Chase Bank and Westcliff Plaza Shopping Center – (PA2012-035)  
1000 Irvine Avenue and 1016-1150 Irvine Avenue

- Lot Line Adjustment No. LA2012-002

**APPLICANT:** Irvine Company

**PLANNER:** Makana Nova, Assistant Planner  
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### ZONING DISTRICT/GENERAL PLAN

- **Zone:** CN (Commercial Neighborhood)
- **General Plan:** CN (Neighborhood Commercial)

### PROJECT SUMMARY

A minor use permit, comprehensive sign program, and lot line adjustment to allow the construction of a new 4,005-square-foot financial institution. The minor use permit is requested to allow a dual lane drive-through ATM on-site.

The comprehensive sign program application includes a request to allow one additional secondary wall sign on a second secondary frontage, a 30 percent increase in area for both secondary wall signs, and deviations from the minimum separation and placement requirements for wall signs in the middle 50 percent of the tenant frontage.

The proposed lot line adjustment will move the interior lot lines to encompass existing landscape areas on the Westcliff Plaza Shopping Center to provide for parking, ATM, drive-aisle, and landscape improvements for the development of the bank site at 1000 Irvine Avenue. Existing parking drive aisles or traffic circulation within the Westcliff Plaza Shopping Center will not be impacted. The lot line adjustment increases the area

of the existing 22,366-square-foot 1000 Irvine Avenue parcel by 4,260 square feet to 26,626 square feet. The area of the existing Westcliff Plaza parcel is 339,768 square feet and the proposed lot line adjustment would decrease the size of the Westcliff Plaza parcel to 335,508 square feet.

## **RECOMMENDATION**

- 1) Conduct a public hearing; and
- 2) Adopt Draft Zoning Administrator Resolution No. ZA2012-\_\_ approving Minor Use Permit No. UP2012-004 and Comprehensive Sign Program No. CS2012-006 (Attachment No. ZA 1).
- 3) Adopt Draft Zoning Administrator Resolution No. ZA2012-\_\_ approving Lot Line Adjustment No. LA2012-002 (Attachment No. ZA 2).

## **DISCUSSION**

- The subject properties are bounded by Irvine Avenue to the northwest, Westcliff Drive to the southwest, and the Westcliff Shopping Center to the northeast and southeast. The area in the vicinity of the project site is developed with commercial uses across Irvine Avenue and Westcliff Drive.
- Chase Bank will occupy a new 4,005 gross square foot pad building at the southwest corner of the Westcliff Shopping Center. Access to the shopping center is obtained through driveways along Irvine Avenue and Westcliff Drive. The Westcliff Shopping Center, located on an adjacent property is developed with six primary buildings facing Irvine Avenue and Westcliff Drive, and there are currently 21 tenant spaces within the shopping center.
- The General Plan designates both sites CN (Neighborhood Commercial). The CN land use category is intended to provide for a range of retail and service uses developed in one or more distinct centers oriented to primarily serve the needs of and maintain compatibility with residential uses in the immediate area. The proposed financial institution is a retail/service use consistent with this land use category.
- Both sites are located in the CN (Commercial Neighborhood) Zoning District. The proposed financial institution is a permitted use. The drive-through ATM is allowed with the approval of a minor use permit.
- The project is compatible with existing and allowed uses within the shopping center. Other uses in the shopping center include restaurants, a massage establishment, and retail uses including a grocery store.
- Based on the previous gas station development with ten (10) fueling positions and the proposed 4,005-square-foot bank building, the proposed project is not forecasted to generate a net increase of 300 daily trips based on current ITE Trip Generation Rates. The proposed project does not require a Traffic Phasing Ordinance Study.

- The proposed project complies with the landscape standards identified in Section 20.36.050 (General Landscape Standards).
- Remediation of the existing service station site is in process through the County of Orange and will be completed prior to the issuance of building permits for the proposed project.

#### Minor Use Permit-Bank Drive-Through

- The proposed project complies with the signage, pedestrian and traffic circulation, screening, and landscape standards provided in Section 20.48.080 (Drive-Through and Drive-Up Facilities) of the Zoning Code.
- The applicant has provided a drive-through queuing study that demonstrates, to the satisfaction of the Public Works Department, that adequate queuing space will be available within the drive-through area to accommodate anticipated ATM demand at the banking facility.
- A surface parking lot containing 26 parking spaces will be provided on the bank site at 1000 Irvine Avenue. Seventeen total parking spaces are required for the proposed financial institution. The proposed project complies with the parking area requirements and landscaping standards as provided in Section 20.40.070 (Development Standards for Parking Areas).

#### Comprehensive Sign Program-Chase Bank

- A comprehensive sign program is required whenever three or more non-exempt signs are proposed for a single-tenant development.
- The Zoning Code, which applies to commercial zoning districts other than Planned Community Districts, allows each tenant in a multi-tenant building one wall sign of 1.5 times the linear frontage up to 75 square feet maximum sign area on the primary building frontage; other frontages are treated as secondary and are limited to 50 percent of the primary frontage allocation for any secondary building frontages. Strict application of this regulation does not provide adequate signage for the financial institution at this project location.
- Pursuant to Section 20.42.140 (Comprehensive Sign Program), deviations from the sign standards are allowed with regard to sign area (allow an increase of up to 30 percent), total number, location, and/or height of signs (allow an increase of up to 20 percent) to the extent that the comprehensive sign program will enhance the overall development and will more fully accomplish the purpose and intent of the sign chapter. The proposed secondary wall signage includes an area increase of 30 percent.

- The Sign Program submitted by the applicant requests deviation in sign area, total number, and location of wall signs. The proposed signage will provide adequate identification of the site and individual tenants by improving visibility from Irvine Avenue and Westcliff Drive. The program will:
  - Allow two secondary wall signs an area increase up to no more than 30 percent. The Zoning Code allows secondary wall signs at 50 percent of the primary building frontage total. The primary frontage sign is 57.6 sq ft in area which would limit the secondary wall signs to 28.8 sq ft in area. A 30 percent increase in the secondary wall signs is requested which would allow for 37.4 square feet. Both secondary signs are proposed to be 36.9 square feet in area.
  - Allow multiple signs for the single tenant that may include more than one wall sign, vehicle oriented directional signs, ATM signs, and/or window signs.
  - Allow the placement of the proposed wall signage to deviate from the Zoning Code standards for placement within the middle 50 percent of the building frontage. The proposed wall sign locations are designed for coherence with the building facades and will provide adequate distance to avoid visual clutter and compliment the architecture of the proposed development.
- The sign program as recommended by staff will comply with the Sign Code of the Newport Municipal Code and is within the limitations authorized by the Comprehensive Sign Program. Refer to Attachment No. ZA 6 for a comparison of the proposed sign program standards with the current Zoning Code development standards.

#### Lot Line Adjustment

- The area of the bank site (1000 Irvine Avenue, Lot 16 of Tract No. 4824) is currently 22,366 square feet (approximately 0.51 acres). The proposed lot line adjustment would increase the size of the bank site by 4,260 square feet to total 26,626 square feet (approximately 0.61 acres). The proposed lot line adjustment will move the interior lot lines between two legal lots.
- The area of the existing Westcliff Plaza parking area (1016-1150 Irvine Avenue ,Lot 17 of Tract No. 4824) is 339,768 square feet (approximately 7.8 acres). The proposed lot line adjustment would decrease the size of the subject property by 4,260 square feet to 335,508 square feet (approximately 7.7 acres). The proposed lot line adjustment will move the interior lot lines to remove existing landscape areas from the Westcliff Plaza site and will not impact existing parking drive aisles or traffic circulation within the Westcliff Plaza Shopping Center.

#### **ENVIRONMENTAL REVIEW**

The Minor Use Permit has been reviewed, and it has been determined that it is categorically exempt from the requirements of the California Environmental Quality Act under Class 3 (New Construction or Conversion of Small Structures), per Section 15303

of the California Environmental Quality Act, because The Class 3 exemption applies to up to four commercial buildings in urbanized areas not exceeding 10,000 square feet in floor area on sites zoned for such use, if not involving the use of significant amounts of hazardous substances where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive. The subject property is zoned for retail and service commercial uses and the proposed project does not involve significant amounts of hazardous substances and all necessary public services and facilities are provided. The proposed project is consistent with this exemption and involves the development of one commercial building with a total of 4,008 square feet and parking lot accessory structures within an urbanized area.

The Comprehensive Sign Program has been reviewed, and it has been determined that is categorically exempt from the requirements of the California Environmental Quality Act under Class 11 (Accessory Structures). The project consists of on-premise signs which are exempt under the Class 11 designation.

The Lot Line Adjustment has been reviewed, and it has been determined that it is categorically exempt from the requirements of the California Environmental Quality Act under Class 5 (Minor Alterations in Land Use Limitations). The project consists of minor alterations in land use limitations in areas with an average slope of less than 20 percent which do not result in any changes in land use or density, including but not limited to minor lot line adjustments not resulting in the creation of any new parcel.

## **PUBLIC NOTICE**

Notice of this application was mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant and posted on the subject property at least 10 days prior to the decision date, consistent with the provisions of the Municipal Code.

## **APPEAL PERIOD**

An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

Prepared by:



Makana Nova  
Assistant Planner

BW/mkn



# **Attachment No. ZA 1**

Minor Use Permit and Comprehensive  
Sign Program Draft Resolution

## RESOLUTION NO. ZA2012-###

### A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING MINOR USE PERMIT NO. UP2012-004 AND COMPREHENSIVE SIGN PROGRAM NO. CS2012-006 FOR A NEW FINANCIAL INSTITUTION WITH A DRIVE-THROUGH ATM LOCATED AT 1000 IRVINE AVENUE (PA2012-035)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### SECTION 1. STATEMENT OF FACTS.

1. An application was filed by The Irvine Company, with respect to property located at 1000 Irvine Avenue, and legally described as Lot 16 of Tract 4824 requesting approval of a minor use permit and comprehensive sign program.
2. The applicant proposes a minor use permit and comprehensive sign program to allow the construction of a new 4,005-square-foot financial institution. The minor use permit is requested to allow a dual lane drive-through ATM on-site. The comprehensive sign program application includes a request to allow one additional secondary wall sign on a second secondary frontage, a 30 percent increase in area for both secondary wall signs, and deviations from the minimum separation and placement requirements for wall signs in the middle 50 percent of the tenant frontage.
3. The subject property is located within the CN (Commercial Neighborhood) Zoning District and the General Plan Land Use Element category is CN (Neighborhood Commercial).
4. The subject property is not located within the coastal zone.
5. A public hearing was held on June 27, 2012 in the City Hall Council Chambers, 3300 Newport Boulevard, Newport Beach, California. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

#### SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This minor use permit has been determined to be categorically exempt under the requirements of the California Environmental Quality Act under Class 3 (New Construction or Conversion of Small Structures). The Class 3 exemption applies to up to four commercial buildings in urbanized areas not exceeding 10,000 square feet in floor area on sites zoned for such use, if not involving the use of significant amounts of hazardous substances where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive. The subject property is zoned for retail and service commercial uses, the proposed project does not involve significant amounts of hazardous substances, and all necessary public services and

facilities are provided. The proposed project is consistent with this exemption and involves the development of one commercial building with a total of 4,005 square feet and parking lot accessory structures within an urbanized area.

2. This comprehensive sign program has been determined to be categorically exempt under the requirements of the California Environmental Quality Act under Class 11 (Accessory Structures). The project consists of on-premise signs which are exempt under the Class 11 designation.

### SECTION 3. REQUIRED FINDINGS.

#### *Minor Use Permit*

In accordance with Section 20.52.020.F of the Newport Beach Municipal Code, the following findings and facts in support of the findings for a use permit are set forth:

#### Finding

- A. *The use is consistent with the General Plan and any applicable specific plan:*

#### Facts in Support of Finding

1. The General Plan land use designation for this site is CN (Neighborhood Commercial). The CN designation is intended to provide for a range of retail and service uses developed in one or more distinct centers oriented to serve the needs of and maintain compatibility with residential uses in the immediate area. A financial institution with an ATM drive-through is a consistent use within this land use designation. Banks are complementary to the surrounding commercial and residential uses.
2. Retail uses such as financial institutions are common in the vicinity along the Westcliff Drive and serve visitors and residents. The establishment is compatible with the land uses permitted within the surrounding neighborhood. The new establishment will improve and revitalize the existing property and the surrounding neighborhood.
3. The subject property is not part of a specific plan area.

#### Finding

- B. *The use is allowed within the applicable zoning district and complies with all other applicable provisions of this Zoning Code and the Municipal Code:*

#### Facts in Support of Finding

1. The site is located in the CN (Commercial Neighborhood) Zoning District. The CN zoning district is intended to provide for areas appropriate for a range of retail and service uses developed in one or more distinct centers oriented to serve primarily the needs of and maintain compatibility with residential uses in the immediate area. The

proposed financial institution is consistent with land uses permitted by the CN Zoning District.

2. The proposed use will comply with all applicable development and parking standards. A queuing study has been provided to demonstrate that adequate queuing space is available within the proposed dual lane drive-through to accommodate anticipated demand for the ATMs.

### Finding

- C. *The design, location, size, and operating characteristics of the use are compatible with the allowed uses in the vicinity:*

### Facts in Support of Finding

1. The hours of operation for the primary banking facility will be from 9:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 4:00 p.m. on Saturdays. The walk-up and dual lane drive through ATM's will operate 24-hours, daily.
2. Prior to its closure and demolition in 2012, a gas service station had operated in this location since 1963 pursuant to Use Permit Nos. UP947 and UP3193. A number of other financial and retail tenants exist within the Westcliff Shopping Center and have demonstrated the location's capability of operating as a compatible commercial retail use with other land uses in the vicinity.
3. The two-lane drive through is oriented toward the east side of the property and is located approximately 400 feet from residential properties across Irvine Avenue.
4. The project has been reviewed for compliance with Section 20.48.080 (Drive-Through and Drive-Up Facilities) of the Zoning Code and complies with the development standards for circulation, walkways, parking, signage, landscaping, and screening.
5. The project has been reviewed for compliance with the parking area requirements and landscaping standards as provided in Section 20.40.070 (Development Standards for Parking Areas).
6. The surrounding commercial corridor contains various retail and visitor commercial uses. The proposed financial institution with a two-lane drive through is compatible with the existing and permitted uses within the neighborhood.

### Finding

- D. *The site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities:*

Facts in Support of Finding

1. The proposed parking lot provides adequate vehicle circulation and parking spaces for patrons.
2. Adequate public and emergency vehicle access, public services, and utilities are provided.
3. The tenant improvements to the project site will comply with all Building, Public Works, and Fire Codes. All ordinances of the City and all conditions of approval will be complied with.

Finding

- E. Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, a safety, or general welfare of persons residing or working in the neighborhood of the proposed use.*

Facts in Support of Finding

1. The project has been reviewed and includes conditions of approval to ensure that potential conflicts with the surrounding land uses are minimized to the greatest extent possible.
2. The proposed financial institution with dual lane drive-through will serve the surrounding residential community. This will revitalize the project site and provide an economic opportunity for the property owner to update the retail tenants and services, which best serve the quality of life for the surrounding residential community.

*Comprehensive Sign Program*

Pursuant to Section 20.42.120 of the Zoning Code, approval of a Comprehensive Sign Program is required whenever three or more non-exempt signs are proposed for a single-tenant development. In accordance with Section 20.42.120.E, a Comprehensive Sign Program shall comply with a number of standards. The following standards and facts in support of such standards are set forth:

Standard

- F. The proposed sign program shall comply with the purpose and intent of this Chapter [Chapter 20.42: Signs], any adopted sign design guidelines and the overall purpose and intent of this Section [Section 20.42.120].*

Facts in Support of Standard

1. In compliance with the purpose and intent of the Sign Code, the proposed Sign Program provides the uses with adequate identification without excessive proliferation of signage. Furthermore, it preserves community appearance by regulating the type, number, and general design of signage.

Standard

- G. *The proposed signs shall enhance the overall development, be in harmony with, and relate visually to other signs included in the Comprehensive Sign Program, to the structures and/or developments they identify, and to surrounding development when applicable.*

Facts in Support of Standard

1. The building is located on a new corner pad at the southwest corner of the Westcliff Plaza Shopping Center. The signage has been designed to be integral with the design and character of the building.
2. The tenant will be permitted signage that will provide adequate visibility on site and from Irvine Avenue and Westcliff Drive to the greatest extent possible.
3. All signage will be permitted pursuant to the submitted sign program matrix, which allows three wall signs, three vehicle-oriented directional signs, ATM signage, ATM canopy signage, headache bars, and additional ADA and parking signage as part of the application. The freestanding building will be allowed to have one wall sign on each of three building facades as depicted on the site plan. The size and location of the letters and logos of the signs will ensure that adequate visibility is provided, and not be abrupt in scale with the tenant frontage.

Standard

- H. *The sign program shall address all signs, including permanent, temporary, and exempt signs.*

Facts in Support of Standard

1. The Sign Program submitted for the project addresses all project signage. Temporary and exempt signs not specifically addressed in the program shall be regulated by the provisions of Chapter 20.42.

Standard

- I. *The sign program shall accommodate future revisions that may be required because of changes in use or tenants.*

Facts in Support of Standard

1. The project site is intended for a single pad tenant and has been designed to be effective for such use.
2. It is not anticipated that future revisions to the program will be necessary to accommodate normal changes in tenants or uses. However, flexibility has been incorporated into the Sign Program Matrix to allow minor deviations from the proposed signs.
3. Consistent with Chapter 20.42, the Director [or his/her designee] may approve minor revisions to the Sign Program if the intent of the original approval is not affected.

Standard

- J. *The program shall comply with the standards of this Chapter, except that deviations are allowed with regard to sign area, total number, location, and/or height of signs to the extent that the Comprehensive Sign Program will enhance the overall development and will more fully accomplish the purposes and intent of this Chapter.*

Facts in Support of Standard

1. The Sign Program requests deviation in the number and size of secondary wall signs which will aid and enhance the identification and visibility of the commercial tenants from the public roadway.
2. The proposed wall sign locations deviate from the Zoning Code standard limiting wall signs to the center 50 percent of the building frontage. The location of the wall signs are designed for coherence with the building facades and will provide adequate distance to avoid visual clutter and compliment the architecture of the proposed development.

Standard

- K. *The Approval of a Comprehensive Sign Program shall not authorize the use of signs prohibited by this Chapter.*

Facts in Support of Standard

1. The program does not authorize the use of prohibited signs.

Standard

- L. *Review and approval of a Comprehensive Sign Program shall not consider the signs' proposed message content.*

Facts in Support of Standard

1. The program contains no regulations affecting sign message or content.

SECTION 4. DECISION.

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby approves Minor Use Permit No. UP2012-004 and Comprehensive Sign Program No. CS2012-006, subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.
2. This action shall become final and effective fourteen days after the adoption of this Resolution unless within such time an appeal is filed with the City Clerk in accordance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.
3. This resolution supersedes Use Permit Nos. UP947, UP3193, and UP2001-024 (PA2001-135), Modification Permit Nos. MD3186 and MD2001-008 (PA2001-010), which upon vesting of the rights authorized by this application, shall become null and void.

**PASSED, APPROVED AND ADOPTED THIS 27<sup>th</sup> DAY OF JUNE, 2012.**

By: \_\_\_\_\_  
Brenda Wisneski, AICP, Zoning Administrator

**EXHIBIT "A"**

**CONDITIONS OF APPROVAL**

**PLANNING**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval. (Except as modified by applicable conditions of approval.)
2. All proposed signs shall be in conformance with the approved Comprehensive Sign Program Matrix for the project site and provisions of Chapter 20.42 of the Newport Beach Municipal Code. Locations of the signs are limited to the designated areas and shall comply with the limitations specified in the Sign Program Matrix included in Exhibit "B".
3. Minor Use Permit No. UP2012-004 and Comprehensive Sign Program No. CS2012-006 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.54.060 of the Newport Beach Municipal Code, unless an extension is otherwise granted.
4. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
5. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.
6. This approval may be modified or revoked by the Zoning Administrator should he/she determine that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
7. Any change in operational characteristics, expansion in area, or other modification to the approved plans, shall require an amendment to this Use Permit or the processing of a new use permit.
8. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or the leasing agent.
9. Prior to the issuance of building permits, Fair Share Traffic Fees shall be paid for the new drive-in ATM in accordance with Chapter 15.38 of the Newport Beach Municipal Code. The applicant shall be credited for the reduction in fuel service station pumps and the remaining balance shall be charged or credited to the applicant.

10. In accordance with Municipal Code Section 20.42.120.F of the Zoning Code, the Community Development Director may approve minor revisions to the Sign Program if the intent of the original approval is not affected. This may include deviations on the tenant configurations, such as combining or dividing suites.
11. All signs shall be maintained in accordance with Section 20.42.170 (Maintenance Requirements) of the Newport Beach Municipal Code. Temporary and exempt signs not specifically addressed in the program shall be regulated by the provisions of Chapter 20.42 of the Newport Beach Municipal Code.
12. Site Assessment Plan for Soil Contamination. Prior to the issuance of grading or building permits, the applicant shall submit written documentation from the Orange County Department of Environmental Health, the Certified Unified Program Agency (CUPA) for Orange County, verifying that the project site is in compliance with all applicable Underground Storage Tank (UST) requirements, that the project site has passed any applicable UST site pollution testing and that the repair, maintenance and removal of any existing UST's is being performed in accordance with Orange County Department of Environmental Health (CUPA) regulations and policies.
13. Prior to the issuance of building permits, documents/plans shall be submitted demonstrating compliance with the requirements of Chapter 14.16 of the Municipal Code, Water-Efficient Landscaping Ordinance.
14. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
15. All trash shall be stored within the building or within dumpsters stored in the trash enclosure (three walls and a self-latching gate) or otherwise screened from view of neighboring properties, except when placed for pick-up by refuse collection agencies. The trash enclosure shall have a decorative solid roof for aesthetic and screening purposes.
16. The applicant shall ensure that the trash dumpsters and/or receptacles are maintained to control odors. This may include the provision of either fully self-contained dumpsters or periodic steam cleaning of the dumpsters, if deemed necessary by the Planning Division. Cleaning and maintenance of trash dumpsters shall be done in compliance with the provisions of Title 14, including all future amendments (including Water Quality related requirements).
17. Prior to issuance of building permits, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Planning file. The plans shall be identical to those approved by all City departments for

building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this approval and shall highlight the approved elements such that they are readily discernible from other elements of the plans.

18. A copy of this resolution, including conditions of approval, shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.
19. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Chase Bank Sign including, but not limited to, Minor Use Permit No. UP2012-004 and Comprehensive Sign Program CS2012-002 (PA2012-035). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

### **Fire Department Conditions**

20. A "Knox" key storage box shall be provided for all new construction. Keys shall be provided for all exterior entry doors, fire protection equipment control rooms, mechanical and electrical rooms, and equipment spaces.
21. Fire extinguishers are required and shall be located within 75 feet of travel distances from all portions of the building.
22. Address signage shall be provided. Commercial buildings require six-inch address numbers, and shall be placed on the structure in such a position as to be plainly visible and legible from the street or roadway fronting the property. Numbers shall be non-combustible, contrast with their background and shall be either internally or externally illuminated to be visible at night.
23. All exit door hardware must meet the California Building Code Section 1008.1.9.3.

### **Building Division Conditions**

24. The applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. Separate building permits shall be required for the ATM's and site signage. The construction plans must comply with the most recent, City-adopted version

of the California Building Code. The project plans shall be stamped by a civil or structural engineer. The construction plans must meet all applicable State Disabilities Access requirements.

25. The applicant shall employ the following best available control measures (“BACMs”) to reduce construction-related air quality impacts:

Dust Control

- Water all active construction areas at least twice daily.
- Cover all haul trucks.
- Pave or apply water four times daily to all unpaved parking or staging areas.
- Sweep any site access points within two hours of any visible dirt deposits on any public roadway.
- Cover or water twice daily any on-site stockpiles of debris, dirt or other dusty material.
- Suspend all operations on any unpaved surface if winds exceed 25 mph.
- Require 90-day low-NOx tune-ups for off road equipment.
- Limit allowable idling to 30 minutes for trucks and heavy equipment.

Off-Site Impacts

- Encourage car pooling for construction workers.
- Limit lane closures to off-peak travel periods.
- Park construction vehicles off traveled roadways.
- Cover dirt hauled off-site.
- Sweep access points daily.
- Encourage receipt of materials during non-peak traffic hours.
- Sandbag construction sites for erosion control.

Fill Placement

- The number and type of equipment for dirt pushing will be limited on any day to ensure that SCAQMD significance thresholds are not exceeded.
- Maintain and utilize a continuous water application system during earth placement and compaction to achieve a 10 percent soil moisture content in the top six-inch surface layer, subject to review/discretion of the geotechnical engineer.

26. Prior to the issuance of grading permits, a Storm Water Pollution Prevention Plan (SWPPP) and Notice of Intent (NOI) to comply with the General Permit for Construction Activities shall be prepared, submitted to the State Water Quality Control Board for approval and made part of the construction program. The project applicant will provide the City with a copy of the NOI and their application check as proof of filing with the State Water Quality Control Board. This plan will detail measures and practices that will be in effect during construction to minimize the project’s impact on water quality.

27. Prior to issuance of grading permits, the applicant shall prepare and submit a Water Quality Management Plan (WQMP) for the proposed project, subject to the approval of the Building Division and Code and Water Quality Enforcement Division. The WQMP

shall provide appropriate Best Management Practices (BMPs) to ensure that no violations of water quality standards or waste discharge requirements occur.

28. A list of “good house-keeping” practices will be incorporated into the long-term post-construction operation of the site to minimize the likelihood that pollutants will be used, stored or spilled on the site that could impair water quality. These may include frequent parking area vacuum truck sweeping, removal of wastes or spills, limited use of harmful fertilizers or pesticides, and the diversion of storm water away from potential sources of pollution (e.g., trash receptacles and parking structures). The Stage 2 WQMP shall list and describe all structural and non-structural BMPs. In addition, the WQMP must also identify the entity responsible for the long-term inspection, maintenance, and funding for all structural (and if applicable Treatment Control) BMPs.

### **Public Works Conditions**

29. All improvements shall be constructed as required by Ordinance and the Public Works Department.
30. Reconstruct the broken and/or otherwise damaged concrete sidewalk panels, concrete curb and gutter along the Westcliff Drive and Irvine Avenue frontages.
31. All unused driveway approaches along Westcliff Drive and Irvine Avenue shall be replaced with a new driveway plug per City Standards STD-165-L.
32. The existing storm drain line along Westcliff Drive is owned and maintained by Orange County Flood Control District (OCFCD). All proposed connections to said storm drain line shall be approved by OCFD.
33. All existing private, non-standard improvements within the public right-of-way and/or extensions of private non-standard improvements into the public right-of-way fronting the development site shall be removed.
34. An encroachment permit is required for all work activities within the public right-of-way.
35. In case of damage done to public improvements surrounding the development site by the private construction, additional reconstruction within the public right-of-way could be required at the discretion of the Public Works Inspector.
36. All signs and improvements shall comply with the City’s sight distance requirement, City Standard 110-L, with minor modifications to the sign distance standard as approved by the City Traffic Engineer.
37. Signage located within the site distance triangle shall be limited to 36 inches in height.
38. Traffic signage shall comply with California Manual of Uniform Traffic Control Signage Devices (MUTCD).

39. All on-site drainage shall comply with the latest City Water Quality requirements.
40. The applicant is responsible for all upgrades to the City's utilities as required to fulfill the project's demand, if applicable.
41. New and existing fire services, when required by the Fire Department, shall be protected by a City approved double check detector assembly and installed per STD-517-L.
42. New water services shall be installed per STD-503-L.
43. New and existing commercial water meter(s) shall be protected by a City approved reduced pressure backflow assembly and installed per STD-520-L-A. Any existing sewers that will be abandoned shall be capped at main (corporation stop).
44. Landscaping lines shall be protected by a dedicated City approved reduced pressure backflow assembly.
45. New and existing sewer laterals shall have a cleanout installed per STD-406-L. All existing laterals which will be abandoned shall be capped at the property line.
46. The curb ramp at the westerly corner of the property shall be upgraded per City Standards STD-181-L-A and STD-181-L-B.
47. The parking lot shall be per City Standards STD-805-L-A and STD-805-L-B.
48. New commercial driveway approaches shall be installed per City Standard STD-166-L.
49. All applicable Public Works Department plan check fees shall be paid prior to review of the lot line adjustment and grant deeds.
50. County Sanitation District fees shall be paid prior to the issuance of any building permits.

**EXHIBIT "B"**

SIGN PROGRAM MATRIX

## SIGN PROGRAM MATRIX

Frontage Designations:

A. Facing East – Parking Lot  
D. Facing South – Westcliff Drive

C. Facing North – Parking Lot  
B. Facing West – Irvine Avenue

| TYPE OF SIGN  | STANDARDS   |
|---|---|
| Wall Sign – primary frontage<br>Sign N-2  | Number: One<br>Sign N-2 (Frontage A)<br>Area: 57.6 sf<br>Letter Height: 28”<br>Logo Height: 36”<br>Illumination: yes  |
| Wall Sign – secondary footage<br>Signs N-1 and N-3                              | Number: Two<br><br>Sign N-1 (Frontage B)<br>Area: 36.9 sf<br>Letter Height: 24”<br>Logo Height: 32”<br>Illumination: yes<br><br>Sign N-3 (Frontage C)<br>Area: 36.9 sf<br>Letter Height: 24”<br>Logo Height: 32”<br>Illumination: yes |
| ATM Surrounds<br>Signs N-5 and N-6  | Number: Two located at bank entrance (Frontage A)<br>Area: 2.3 sf<br>Height: N/A<br>Letter Height: 6”<br>Illumination: yes  |
| Vehicle Oriented Directional Sign<br>Signs N-7 thru N-9                         | Number: Three (double-sided)<br>Area: 4.9 sf<br>Sign Height: 3’-3”<br>Letter Height: 3”<br>Illumination: no   |
| ATM Canopy<br>Signs N-10 and N-11   | Number: Two (one for each drive-up)<br>Area: 5.4 sf<br>Height: N/A<br>Letter Height: 10”<br>Illumination: yes   |
| Drive-Thru ATM Topper Cabinet<br>Signs N-12 and N-13                            | Number: Two (one for each drive-up ATM, double-sided and w/logo on each end)<br>Area: 4.3 sf<br>Height: N/A<br>Illumination: yes  |
| Drive-Thru Clearance Bar<br>Signs N-14 and N-15                                 | Number: Two (one for each drive-up ATM)<br>Area: 2.1 sf<br>Height: 9’-0”<br>Letter Height: 3”<br>Illumination: no   |
| Vehicle Oriented Directional Sign<br>(Do Not Enter Sign)<br>Signs N-16 and N-17 | Number: One per vehicle exit (Located at the exit of each ATM drive-thru aisle)<br>Area: 1.5 sf<br>Sign Height: 7’-0”<br>Illumination: no   |
| Public Service Signs<br>(ADA Sign)<br>Signs N-18 and N-19                       | Number: One per ADA parking space (Located in front of the main entry – Frontage A)<br><br>N-18 (van accessible)  |

## SIGN PROGRAM MATRIX

| TYPE OF SIGN              | STANDARDS  |
|---------------------------|--|
|                           | Area: 2.5 sf<br>Sign Height: 9'-2"<br>Illumination: no<br><br>N-19<br>Area: 2.0 sf<br>Sign Height: 8'-8"<br>Illumination: no   |
| Address Sign<br>Sign N-20 | Number: One (Located to face Irvine Avenue – Frontage B)<br>Area: 1.4 sf<br>Letter Height: 8"<br>Illumination: yes   |
| Window Sign               | Number: None<br>Area: 20% of total window area maximum (primary or secondary frontage)<br>Location: Ground or second story (primary or secondary frontage)<br>Method of Attachment: Permanently painted or mounted on inside of window<br>Note: Signs within 5 feet of storefront window count as window signs in determining total area and number. |

### COMPLIANCE REQUIRED

- Exempt signs shall comply with the standards prescribed in the Zoning Code.
- Temporary Banner Signs shall comply with Chapter 20.42 of the Zoning Code.
- All signs shall substantially conform to the stamped and dated approved set of plans.
- Signs shall also comply with the provisions of Section 20.42.080 of the Newport Beach Municipal Code, Standards for Specific Types of Permanent Signs, unless otherwise indicated by table matrix and/or in the finding and conditions in the associated resolution of approval.
- Pursuant to Section 20.42.120.F of the Zoning Code, the Planning Director may approve minor revisions to the Sign Program if the intent of the original approval is not affected.

# **Attachment No. ZA 2**

Lot Line Adjustment Draft Resolution

## RESOLUTION NO. ZA2012-###

### A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING LOT LINE ADJUSTMENT NO. LA2012-002 TO ADJUST THE BOUNDARIES OF PARCELS LOCATED AT 1000 IRVINE AVENUE AND 1016 THROUGH 1150 IRVINE AVENUE (PA2012-035)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### SECTION 1. STATEMENT OF FACTS.

1. An application was filed by The Irvine Company, with respect to property located at 1000 through 1150 Irvine Avenue, and legally described as Lots 16 and 17 of Tract 4824 requesting approval of a lot line adjustment.
2. The applicant proposes a lot line adjustment to allow the construction of a new 4,005-square-foot financial institution. The proposed lot line adjustment will move the interior lot lines to encompass existing landscape areas on the Westcliff Plaza Shopping Center to provide for parking, ATM, drive-aisle, and landscape improvements for the development of the bank site at 1000 Irvine Avenue. Existing parking drive aisles or traffic circulation within the Westcliff Plaza Shopping Center will not be impacted. The lot line adjustment increases the area of the existing 22,366-square-foot 1000 Irvine Avenue parcel by 4,260 square feet to 26,626 square feet. The area of the existing Westcliff Plaza parcel is 339,768 square feet and the proposed lot line adjustment would decrease the size of the Westcliff Plaza parcel to 335,508 square feet.
3. The subject property is located within the CN (Commercial Neighborhood) Zoning District and the General Plan Land Use Element category is CN (Neighborhood Commercial).
4. The subject property is not located within the coastal zone.
5. A public hearing was held on June 27, 2012 in the City Hall Council Chambers, 3300 Newport Boulevard, Newport Beach, California. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

#### SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This Lot Line Adjustment has been determined to be categorically exempt under the requirements of the California Environmental Quality Act under Class 5 (Minor Alterations in Land Use Limitations). The project consists of minor alteration in land use limitations in areas with an average slope of less than 20 percent which does not result in any changes in land use or density. The Lot Line Adjustment will not result in the creation of a new parcel.

### SECTION 3. REQUIRED FINDINGS.

#### *Lot Line Adjustment*

In accordance with Section 19.76.020.I of the Newport Beach Municipal Code, the following findings and facts in support of the findings for a lot line adjustment are set forth:

#### Finding

- A. *Approval of the lot line adjustment will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City, and further that the proposed lot line adjustment is consistent with the legislative intent of Title 19.*

#### Facts in Support of Finding

1. The proposal is consistent with the General Plan since the lots are for neighborhood commercial retail and service uses, which are permitted uses in this area.
2. The reconfiguration of the subject parcels will not result in a development pattern which is inconsistent with the surrounding neighborhood.
3. Public improvements will be required of the Applicant per the Municipal Code and the Subdivision Map Act.
4. The proposed lot line adjustment is consistent with the purpose identified by Title 19. The subdivision is consistent with the General Plan, does not affect open space areas in the City, does not negatively impact surrounding land owners, lot purchasers, or residents, provides for orderly controlled growth within the City, provides adequate traffic circulation and utilities, will not negatively affect property values.

#### Finding

- B. *The number of parcels resulting from the lot line adjustment remains the same as before the lot line adjustment.*

#### Facts in Support of Finding

1. The project site described in the proposal consists of legal building sites including Parcel Nos. 16 and 17 of Tract No. 4824. The proposed lot line adjustment will move the interior lot lines between two legal lots.
2. The 4,260 square feet taken from Parcel No. 17 will be added to Parcel No. 16 within Tract No. 4824 and no additional parcels will result from the lot line adjustment.

Finding

- C. *The lot line adjustment is consistent with applicable zoning regulations except that nothing herein shall prohibit the approval of a lot line adjustment as long as none of the resultant parcels is more nonconforming as to width, depth, and area than the parcels that existing prior to the lot line adjustment.*

Facts in Support of Finding

1. The proposed lot widths and lot sizes are consistent with the zoning requirements of Title 20 of the Newport Beach Municipal Code.
2. The parcels proposed to be created by the lot line adjustment comply with all applicable zoning regulations and there will be no change in allowed land uses, density, or intensity on the properties.
3. The future development on the parcels will comply with the Zoning Code development standards.

Finding

- D. *Neither the lots as adjusted nor adjoining parcels will be deprived of legal access as a result of the lot line adjustment.*

Facts in Support of Finding

1. Adequate access to all of the reconfigured parcels is provided via Irvine Avenue and Westcliff Drive.
2. That the design of the development will not conflict with any easements acquired by the public at large for access through or use of property within the proposed development.

Finding

- E. *That the final configuration of the parcels involved will not result in the loss of direct vehicular access from an adjacent alley for any of the parcels that are included in the lot line adjustment.*

Facts in Support of Finding

1. The final configuration of the parcels involved will not result in the loss of direct vehicular access from any street for any parcels included in the lot line adjustment. There are no alleys located within or near the subject parcels.

Finding

- F. *That the final configuration of a reoriented lot does not result in any reduction of the street side setbacks as currently exist adjacent to a front yard of any adjacent key, unless such reduction is accomplished through a zone change to establish appropriate street side setbacks for the reoriented lot. The Planning Commission and City Council in approving the zone change application shall determine that the street side setbacks are appropriate, and are consistent and compatible with the surrounding pattern of development and existing adjacent setbacks.*

Facts in Support of Finding

1. The final configuration of the parcels does not result in a requirement for revised setbacks. The existing default setbacks are zero feet along all property lines for 1000 Irvine Avenue and Westcliff Plaza (1016-1150 Irvine Avenue) with the exception of a 5-foot setback adjacent to the residential development on the northeast interior property line of the Westcliff Plaza Shopping Center. These setbacks shall continue to apply to the realigned parcels per the Zoning Code development regulations in the same way that they did to the previous parcel configuration; therefore the lot line adjustment does not result in the reduction of any existing street side setbacks.

SECTION 4. DECISION.

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby approves Lot Line Adjustment No. LA2012-002 subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.
2. This action shall become final and effective ten (10) days after the adoption of this Resolution unless within such time an appeal is filed with the Planning Director in accordance with the provisions of Title 19 Subdivision Code, of the Newport Beach Municipal Code.

**PASSED, APPROVED AND ADOPTED THIS 27<sup>th</sup> DAY OF JUNE, 2012.**

By: \_\_\_\_\_  
Brenda Wisneski, AICP, Zoning Administrator

**EXHIBIT "A"**

**PROCEDURAL REQUIREMENTS**

1. *Lot Line Adjustment No. LA2012-002 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.54.060 of the Newport Beach Municipal Code, unless an extension is otherwise granted.*
2. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
3. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.
4. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or the leasing agent.
5. Property corners shall be monumentd by a licensed Land Surveyor or registered Civil Engineer authorized to perform surveying by the State Board of Civil Engineers and Land Surveyors (Pre-1982 with numbers prior to 33,966). Surveyor or Civil Engineer to submit a "Corner Record" or "Record of Survey" to the County Surveyor.
6. All applicable Public Works Department plan check fees shall be paid prior to review of the lot line adjustment and grant deeds.
7. Prior to recordation of the lot line adjustment, grant deeds indicating the changes in titles of ownership should be submitted to the Public Works Department for review and approval.
8. The lot line adjustment and grant deeds reviewed and approved by the Public Works Department should be filed concurrently with the County Recorder and County Assessor's Offices.
9. No building permits may be issued until the appeal period has expired, unless otherwise approved by the Planning Division.
10. All improvements shall be constructed as required by Ordinance and the Public Works Department.
11. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of

every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Chase Bank including, but not limited to, Lot Line Adjustment No. LA2012-002 (PA2012-035). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

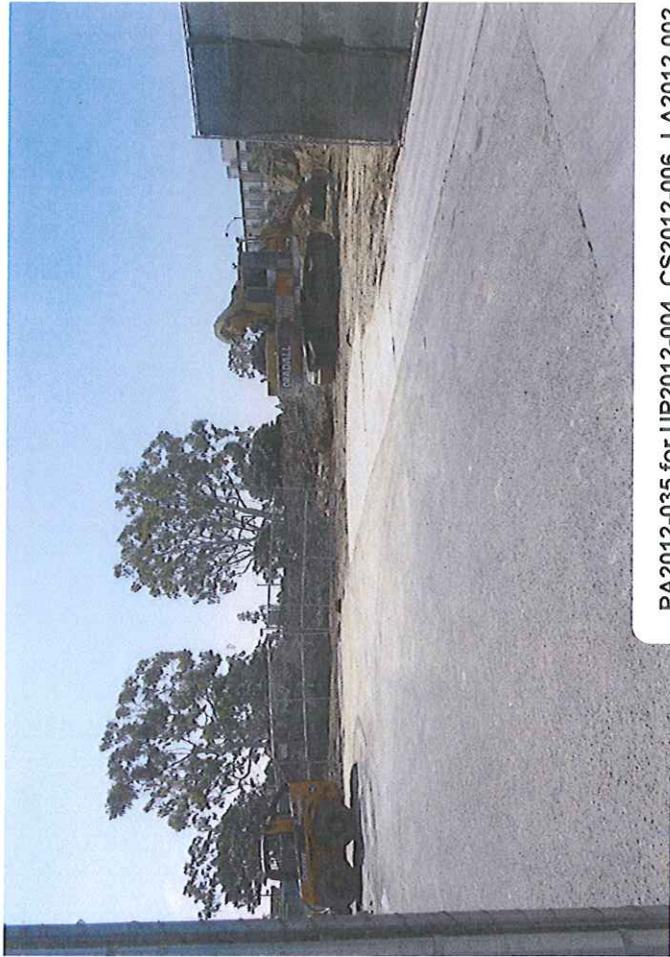
# **Attachment No. ZA 3**

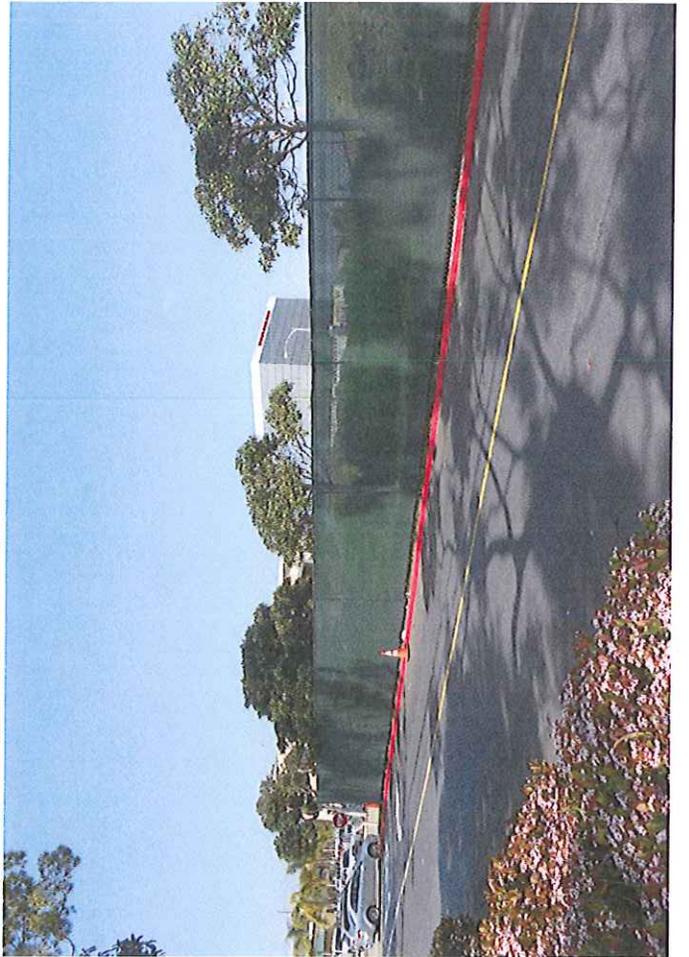
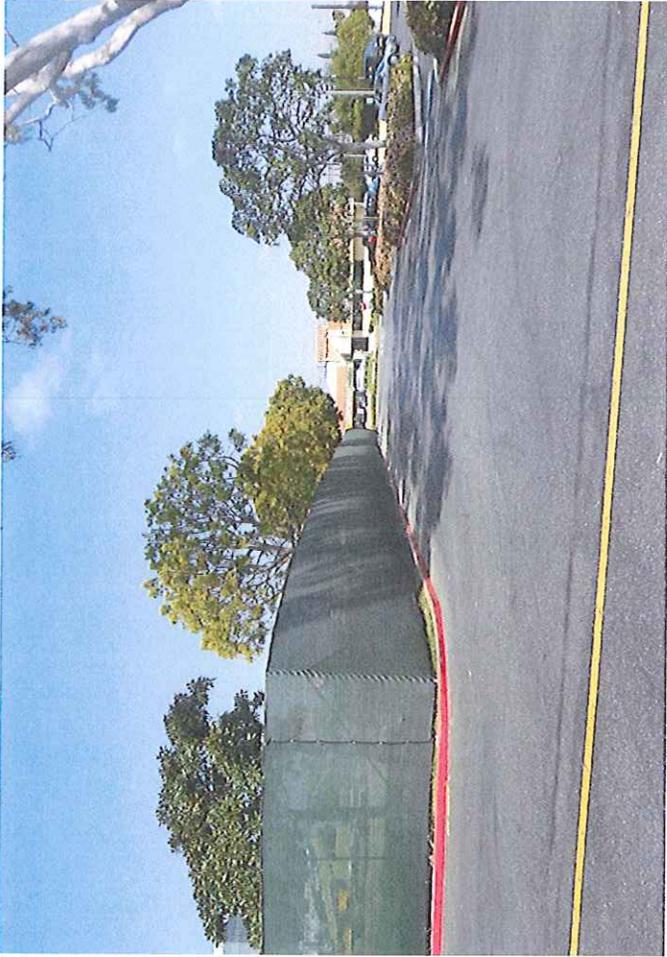
Vicinity Map



# **Attachment No. ZA 4**

Site Photos

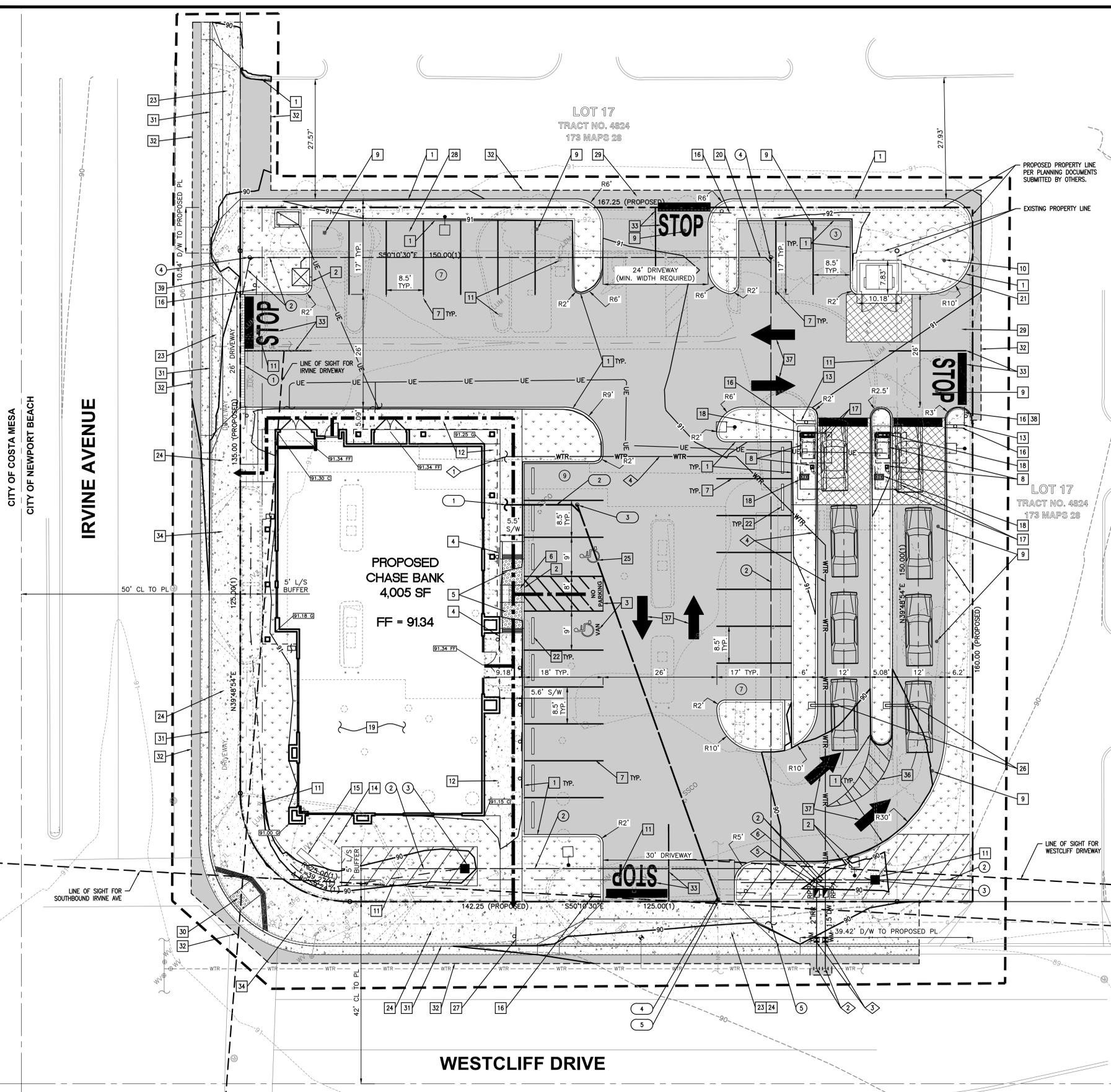




# **Attachment No. ZA 5**

Project Plans





**ABBREVIATIONS**

|      |                            |      |                                     |      |                      |
|------|----------------------------|------|-------------------------------------|------|----------------------|
| CL   | CENTER LINE                | L/S  | LANDSCAPE                           | S/W  | SIDEWALK             |
| CONC | CONCRETE                   | LUM  | LUMINAIRE                           | TEV  | TELEPHONE            |
| DEC  | DECIDUOUS TREE             | MON  | MONUMENT                            | TCAB | TELEPHONE CABINET    |
| ECAB | ELECTRICAL CABINET         | MSP  | METAL SIGN POST                     | TL   | TRAFFIC SIGNAL LIGHT |
| EDC  | EDGE OF CONCRETE           | OE   | OVERHEAD ELECTRIC                   | TYP  | TYPICAL              |
| EM   | ELECTRICAL METER           | OT   | OVERHEAD TELEPHONE                  | UM   | UTILITY MANHOLE      |
| EFP  | ELECTRICAL TRANSFORMER PAD | PL   | PROPERTY LINE                       | WM   | WATER METER          |
| EV   | ELECTRIC VAULT             | PUE  | PUBLIC UTILITY EASEMENT             | WV   | WATER VALVE          |
| EX   | EXISTING                   | ROW  | RIGHT OF WAY                        | WW   | WATER VALVE VAULT    |
| FH   | FIRE HYDRANT               | RPPA | REDUCED PRESSURE PRINCIPLE ASSEMBLY |      |                      |
| GV   | GAS VALVE                  | SL   | STREET LIGHT                        |      |                      |
| IV   | IRRIGATION VALVE           | SFPB | STREET LIGHT PULL BOX               |      |                      |
| JP   | JOINT POLE                 | SPB  | TRAFFIC SIGNAL PULL BOX             |      |                      |
|      |                            | SSMH | SANITARY SEWER MANHOLE              |      |                      |

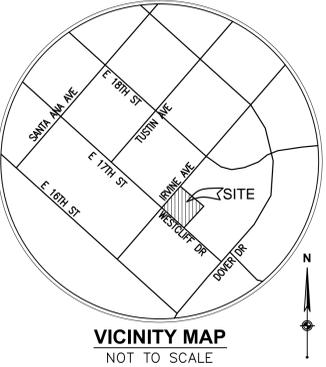
**SURVEY NOTES:**

- BOUNDARY INFORMATION, EASEMENTS, LEGAL DESCRIPTIONS AND OTHER RIGHTS AND LIABILITIES THAT ENCUMBER THE SUBJECT PROPERTY ARE AS NOTED IN THE FIRST AMERICAN TITLE COMPANY COMMITMENT NO. WCS-507871-SAI, DATED SEPTEMBER 23, 2011.
- THE BEARINGS AND DISTANCES SHOWN HEREON ARE BASED ON RECORD INFORMATION AND WERE TAKEN FROM TRACT NO. 4824, RECORDED IN BOOK 173 OF MAPS, PAGE 28, OFFICIAL RECORDS ORANGE COUNTY, AS NOTED BY A (1).
- THE INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY CONDUCTED ON 11/15/2011 BY ABACUS LAND SURVEYING.

**UTILITY LOCATE INFORMATION**

CA: 1-800-642-2444  
**ENGINEERS NOTE TO THE CONTRACTOR:**  
 THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES.

CA: 1-800-642-2444  
 CALL TWO WORKING DAYS BEFORE YOU DIG



**PROJECT TEAM CONTACTS**

**OWNER:**  
 IRVINE COMPANY, LLC  
 111 INNOVATION DRIVE  
 IRVINE, CA 92617  
 (949) 720-2550  
 CONTACT: JOHN MURPHY

**ARCHITECT:**  
 GENSLER  
 4675 MACARTHUR CT, SUITE 350  
 NEWPORT BEACH, CA 92660  
 (949) 260-8521  
 CONTACT: KIRSTIE ACEVEDO

**CIVIL ENGINEER:**  
 CALICHI DESIGN GROUP  
 505 LANCASTER ST., SUITE 5  
 OAKLAND, CA 94601  
 (303) 309-0910  
 CONTACT: SUSAN ULVENES, PE

**LANDSCAPE ARCHITECT:**  
 RIDGE LANDSCAPE ARCHITECTS  
 8841 RESEARCH DR., SUITE 200  
 IRVINE, CA 92618  
 (949) 387-1323  
 CONTACT: JIM RIDGE, ASLA

**SURVEYOR:**  
 ABACUS LAND SURVEYING  
 PO BOX 2  
 ALBURN, CA 95604  
 (530) 320-3734  
 CONTACT: JIM THORNTON

**SITE INFORMATION**

EXISTING ZONING: RSC - RETAIL SERVICE COMMERCIAL  
 PROPOSED ZONING: RSC - RETAIL SERVICE COMMERCIAL  
 EXISTING USE: SHELL GAS STATION AND CAR WASH  
 PROPOSED USE: BANK/FINANCIAL INSTITUTION WITH A DETACHED DRIVE-THRU ATM

APN: 425-061-02  
 EX. PARCEL AREA (NET): 0.51 AC [LOT 16 TRACT NO. 4824, 173 MAPS 28]  
 PROPOSED PARCEL AREA: 0.61 AC (BY OTHERS)  
 SITE ADDRESS: 1000 IRVINE AVENUE, NEWPORT BEACH, CA 92660  
 FLOOD ZONE: ZONE X, AREAS OUTSIDE OF 0.2% CHANCE FLOOD;

TOTAL DISTURBED AREA = 31,853 SF [0.73 AC]  
 ON-SITE LIMIT OF WORK AREA = 22,365 SF [0.51 AC] (100%)  
 PROPOSED BUILDING AREA = 44,005 SF [1.09 AC] (18%)  
 PROPOSED PAVED AREA = ±12,562 SF [0.29 AC] (56%)  
 PROPOSED LANDSCAPE AREA = ±5,798 SF [0.13 AC] (26%)

REQUIRED BUILDING SETBACK = 0 FEET  
 REQUIRED LANDSCAPE BUFFER = 5 FEET  
 FLOOR AREA RATIO = 0.18  
 BUILDING HEIGHT = ±25' MAX

REQUIRED PARKING SPACES = 17 SPACES (1/250 SF)  
 PROPOSED PARKING SPACES = 26 SPACES\*  
 REQUIRED ACCESSIBLE PARKING = 1 SPACE  
 PROVIDED ACCESSIBLE PARKING = 2 SPACES  
 REQUIRED DRIVE-THRU STACKING = NONE SPECIFIED IN CODE  
 PROPOSED DRIVE-THRU STACKING = 8 CAR STACKING AT 20' SPACING (4 CARS/LANE, 160' TOTAL STACKING)

\*NOTE: SEE SHEET C-101 FOR SHOPPING CENTER PARKING ANALYSIS

**LEGEND**

- PROPOSED AC PAVEMENT, PARKING LOT SHALL BE PER CITY STANDARD DETAILS STD-805-L-A AND STD-805-L-B.
- PROPOSED CONCRETE (PEDESTRIAN)
- PROPOSED HEAVY DUTY CONCRETE
- PROPOSED LANDSCAPE AREA
- POTENTIAL STORMWATER BIORETENTION AREAS
- PARKING STALL COUNT
- PROPOSED PARCEL LINE
- EXISTING PARCEL LINE
- EXISTING ADJACENT PARCEL LINE
- PROPOSED ACCESSIBLE ROUTE
- PROPOSED PCC CURB
- PROPOSED SIGN
- SAWCUT AND CONFORM TO EXISTING
- SETBACK LINE
- EXISTING SITE IMPROVEMENT TO BE REMOVED
- EXISTING GAS LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED STORM DRAIN LINE
- PROPOSED SANITARY SEWER LINE
- UE - PROPOSED ELECTRICAL LINE
- WTR - PROPOSED WATER LINE
- 91 - EXISTING 1 FOOT CONTOUR LINE
- 90 - EXISTING 5 FOOT CONTOUR LINE
- 91 - PROPOSED 1 FOOT CONTOUR LINE
- 90 - PROPOSED 5 FOOT CONTOUR LINE

**NOTES:**

- ALL ON-SITE DRAINAGE SHALL COMPLY WITH THE LATEST CITY WATER QUALITY REQUIREMENTS.
- ALL TRAFFIC STRIPING SHALL COMPLY WITH THE MOST RECENT VERSION OF THE CALTRANS STANDARD PLANS AND TRAFFIC SIGNAGE SHALL COMPLY WITH THE MOST CURRENT CALIFORNIA MUTCD.
- ALL IMPROVEMENTS SHALL COMPLY WITH THE CITY OF NEWPORT BEACH SITE DISTANCE REQUIREMENTS. SEE CITY STANDARD DETAIL STD-110-L.

**SITE PLAN KEY NOTES**

- PROPOSED 6" VERTICAL CONCRETE CURB.
- PROPOSED 0" (FLUSH) CURB.
- PROPOSED ACCESSIBLE PARKING STALL, WITH VAN ACCESSIBLE LOADING AREA.
- PROPOSED ACCESSIBLE PARKING SIGN.
- PROPOSED INLINE ACCESSIBLE CURB RAMP WITH TRUNCATED DOMES.
- PROPOSED 3' WIDE STRIP OF TRUNCATED DOMES.
- PROPOSED 4" WIDE PARKING STALL, TRAFFIC WHITE PAINT
- PROPOSED AUTOMATED TELLER MACHINE (ATM) AND VACUUM AIR TUBE (VAT), SEE ARCHITECTURAL PLANS FOR DETAILS
- TREE TO BE REMOVED. REFER TO LANDSCAPE PLANS FOR PROPOSED PLANTING PLAN.
- EXISTING TREE TO REMAIN. PROTECT IN PLACE.
- EXISTING PARKING LIGHT POLE TO BE REMOVED/RELOCATED.
- PRIVATE SIDEWALK.
- PROPOSED DO NOT ENTER SIGN, R5-1 (CA).
- EXISTING SHOPPING CENTER MONUMENT SIGN TO BE RELOCATED.
- PROPOSED LOCATION OF SHOPPING CENTER MONUMENT SIGN.
- PROPOSED STOP SIGN, R1-1 (CA).
- PROPOSED DRIVE THRU CANOPY EXTENTS, SEE ARCHITECTURAL PLANS FOR DETAILS
- PROPOSED CANOPY COLUMN, SEE ARCHITECTURAL PLANS FOR DETAILS
- EXISTING GAS STATION BUILDING AND ASSOCIATED CANOPIES AND UNDERGROUND APURTANCES TO BE REMOVED BY OTHERS UNDER SEPARATE PERMIT.
- EXISTING TRASH ENCLOSURE TO BE REMOVED
- PROPOSED TRASH ENCLOSURE PER CITY OF NEWPORT BEACH STANDARDS.
- CONCRETE WHEELSTOP.
- PROPOSED COMMERCIAL DRIVEWAY APPROACH TYPE III, PER CITY STANDARD DETAIL STD-106-L.
- EXISTING COMMERCIAL DRIVEWAY TO BE CLOSED, PER CITY STANDARD DETAIL STD-165-L.
- PROPOSED ACCESSIBLE PARKING STALL.
- PROPOSED MOUNTED HEADACHE BAR, SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED LOCATION OF EXISTING FREEWAY DIRECTIONAL SIGN TO BE RELOCATED DUE TO CONFLICT WITH SHOPPING CENTER.
- CLOSE EXISTING VEHICULAR CONNECTION TO SHOPPING CENTER.
- PROPOSED VEHICULAR CONNECTION TO SHOPPING CENTER.
- NEW ACCESSIBLE CURB RAMP, PER CITY STANDARD DETAILS STD-181-L-A AND STD-181-L-B.
- PROPOSED CONCRETE CURB & GUTTER.
- SAWCUT LINE, CONFORM TO MATCH EXISTING PAVEMENT.
- STOP LEGEND AND 4" WIDE LANE DIVIDE STRIPE.
- RIGHT-OF-WAY SIDEWALK IMPROVEMENTS.
- NOT USED.
- 4" WIDE STRIPES AT 4' O.C. @ 45° ANGLE, TRAFFIC WHITE PAINT.
- CALTRANS TYPE I DIRECTIONAL ARROW, TRAFFIC WHITE PAINT.
- LEFT TURN ONLY SIGN.
- EXISTING STREET LIGHT TO BE RELOCATED PER CITY OF NEWPORT BEACH STANDARDS.

**STORM DRAIN KEY NOTES**

- PROPOSED AT GRADE TRENCH DRAIN.
- PROPOSED STORM DRAIN PIPE, LENGTH, SLOPE, AND SIZE TO BE DETERMINED.
- PROPOSED STORM DRAIN INLET.
- PROPOSED STORM DRAIN CLEANOUT.
- PROPOSED CONNECTION TO EXISTING PUBLIC STORM DRAIN SYSTEM IN WESTCLIFF DRIVE. SEE PLANS BY OTHERS FOR CONTINUATION.

**SANITARY SEWER KEY NOTES**

- PROPOSED 4" STUB TO BUILDING.
- PROPOSED 4" SANITARY SEWER LATERAL.
- PROPOSED SANITARY SEWER CLEANOUT.
- PROPOSED CLEANOUT AT PROPERTY LINE PER CITY STANDARD DETAIL STD-406-L.
- PROPOSED CONNECTION TO EXISTING SANITARY SEWER LATERAL.

**WATER KEY NOTES**

- PROPOSED 1.5" DOMESTIC WATER STUB TO BUILDING.
- PROPOSED CONNECTION TO EXISTING WATER MAIN IN WESTCLIFF DRIVE. SEE CITY STANDARD DETAIL STD-503-L.
- NEW WATER METER.
- NEW 1.5" WATER SERVICE TO BUILDING.
- NEW REDUCED PRESSURE PRINCIPLE ASSEMBLY PER CITY STANDARD DETAIL STD-520-L-A.
- PROPOSED IRRIGATION STUB.

**CHASE**

IRVINE AND 17TH  
 NEW RETAIL BANKING CENTER  
 1000 Irvine Ave  
 Newport Beach, CA 92660

ARCHITECT / ENGINEER OF RECORD  
**Gensler**  
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 (415) 390-2452

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SEAL

REGISTERED PROFESSIONAL ENGINEER  
 RECO REG. VICENTE PRADO  
 C 69670  
 EXP. 6-30-2012  
 CIVIL  
 STATE OF CALIFORNIA

| ISSUE | DATE     | DESCRIPTION                  |
|-------|----------|------------------------------|
|       | 02/29/12 | MINOR USE PERMIT SUBMITTAL   |
|       | 05/10/12 | MINOR USE PERMIT RESUBMITTAL |
|       | 06/06/12 | MINOR USE PERMIT RESUBMITTAL |
|       |          |                              |
|       |          |                              |
|       |          |                              |
|       |          |                              |
|       |          |                              |
|       |          |                              |
|       |          |                              |
|       |          |                              |

**PROJECT INFORMATION BLOCK**

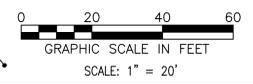
JOB NUMBER: 2011-19-024  
 DRAWN BY: SUMW  
 CHECKED BY: AJH  
 SCALE: As indicated

REF. NORTH:

MODEL:  
**12.1-LG-WD-R-PF-2ATM-PCPL**

SHEET TITLE:  
**MINOR USE PERMIT SITE PLAN**

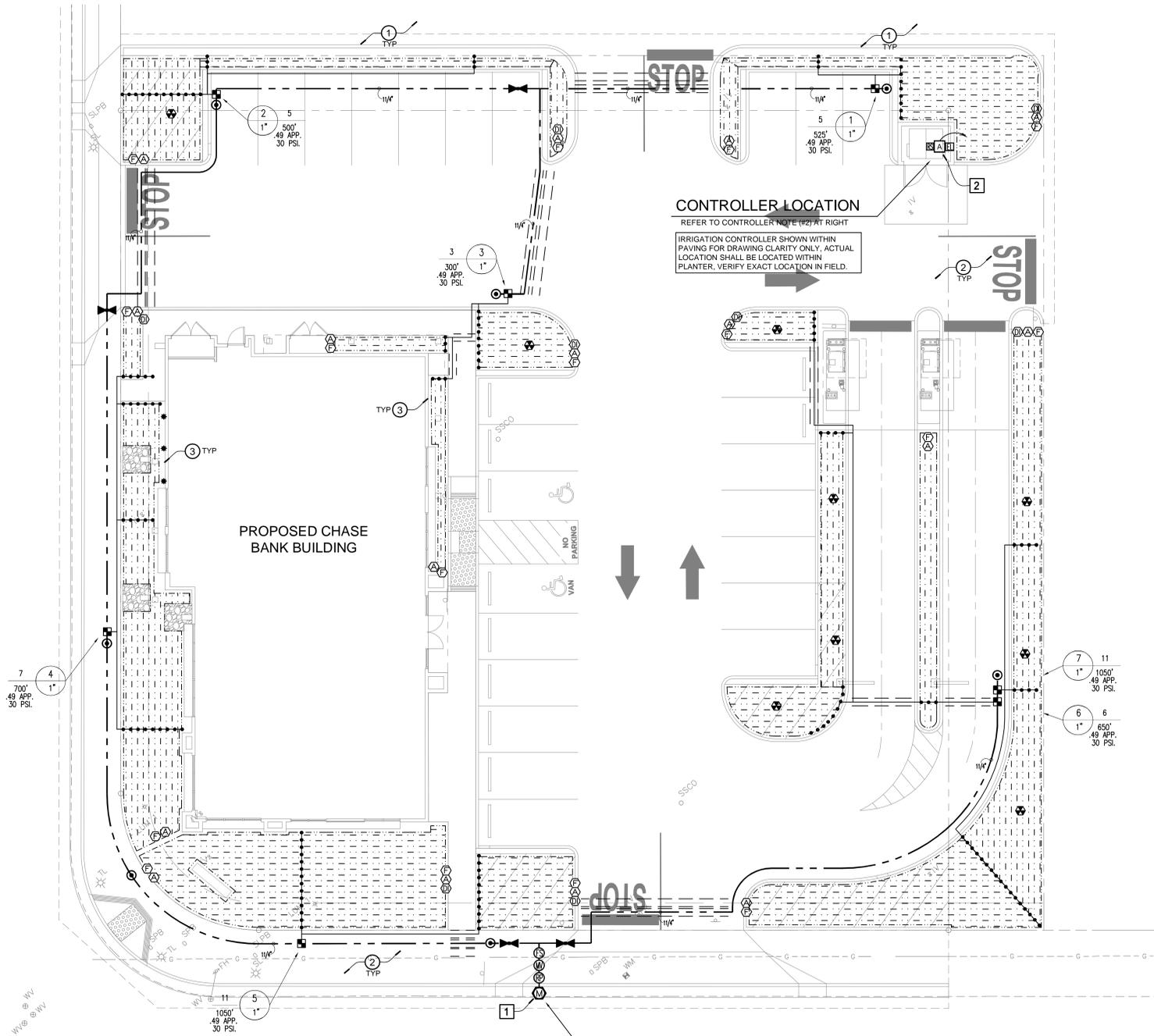
SHEET NUMBER:  
**C-100**







IRVINE AVENUE



**CONTROLLER LOCATION**

REFER TO CONTROLLER NOTE #2 AT RIGHT  
IRRIGATION CONTROLLER SHOWN WITHIN PAVING FOR DRAWING CLARITY ONLY. ACTUAL LOCATION SHALL BE LOCATED WITHIN PLANTER. VERIFY EXACT LOCATION IN FIELD.

**METER LOCATION**

REFER TO P.O.C. NOTE (#1) AT RIGHT  
IRRIGATION WATER METER SHOWN WITHIN PAVING FOR DRAWING CLARITY ONLY. REFER TO CIVIL ENGINEER'S PLANS FOR EXACT METER LOCATION. IRRIGATION P.O.C. EQUIPMENT AND MAINLINES SHALL BE LOCATED OUTSIDE OF STREET RIGHT-OF-WAY. VERIFY EXACT LOCATION IN FIELD PRIOR TO INSTALLATION.

WESTCLIFF DRIVE

PROPOSED CHASE BANK BUILDING

**P.O.C. & CONTROLLER NOTES**

**1 P.O.C. NOTE #1:**  
POINT OF CONNECTION SHALL BE A 1" DOMESTIC WATER IRRIGATION METER WITH A 2" SERVICE LINE. VERIFY THE ACTUAL LOCATION, SIZE AND WATER PRESSURE IN THE FIELD PRIOR TO STARTING WORK. IF ANY OF THE POC INFORMATION SHOWN ON THESE DRAWINGS IS FOUND TO BE DIFFERENT THAN THE ACTUAL POC INFORMATION GATHERED IN THE FIELD, IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY AT NO ADDITIONAL COST TO THE OWNER.

| Domestic Water Meter Information       |                               |
|--|-------------------------------|
| Address:                               | Water Purveyor:               |
| 1000 Irvine Avenue<br>Irvine, CA       | I.R.W.D.<br>Ph.# 949-453-5747 |
| Meter Size                             | 1"                            |
| Static Pressure                        | 79 PSI.                       |
| System Design Pressure                 | 57 PSI.                       |
| Maximum System Demand                  | 11 GPM                        |
| Landscape Area Served                  | 5,443 sq. ft.                 |
| Maximum Applied Water Allowance (MAWA) | 101,813 gal./yr.              |
| Estimated Applied Water Use (EAWU)     | 64,643 gal./yr.               |

**2 CONTROLLER NOTE #2:**  
CONTROLLER LOCATION. REFER TO LEGEND FOR CONTROLLER MAKE AND MODEL NUMBER. CONTROLLER SHALL BE INSTALLED IN A STAINLESS STEEL PEDESTAL ENCLOSURE. FINAL LOCATION OF CONTROLLER ASSEMBLY AND ELECTRICAL POC SHALL BE CONFIRMED WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK. THE 120 VOLT POWER SUPPLY HOOK-UP OF THE IRRIGATION CONTROLLER SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR.

**IRRIGATION CONSTRUCTION NOTES**

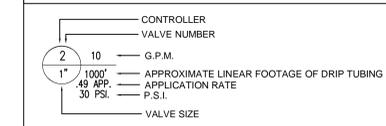
- PERIMETER IRRIGATION NOTE:**  
ALL ADJACENT SYSTEMS SHALL MAINTAIN AUTOMATIC PROGRAMMED WATERING SCHEDULES THROUGHOUT CONSTRUCTION. NO DISRUPTION OF THE EXISTING IRRIGATION SYSTEMS WATERING WILL BE ALLOWED DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR/MODIFICATION OF ALL ADJACENT IRRIGATION SYSTEMS EQUIPMENT THAT IS AFFECTED BY PROPOSED IRRIGATION IMPROVEMENTS. CONTRACTOR SHALL ADJUST AND CAP OFF EXISTING ADJACENT IRRIGATION SYSTEMS AS REQUIRED. CONTRACTOR SHALL REPAIR SAID SYSTEMS TO A LIKE NEW MANNER, PROVIDING COMPLETE 100% HEAD TO HEAD COVERAGE IN ALL AREAS WITH SYSTEM LAYOUT AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. CONTRACTOR SHALL CONFIRM ALL AREAS REQUIRING MODIFICATION WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO BIDDING AND COMMENCING WORK.
- REMOVAL AND DISPOSAL NOTE:**  
CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REMOVAL AND DISPOSAL OF ALL EXISTING IRRIGATION EQUIPMENT AFFECTED BY THE PROPOSED IRRIGATION IMPROVEMENTS. CONTRACTOR SHALL VERIFY ALL EQUIPMENT TO BE REMOVED AND DISPOSED OF IN FIELD PRIOR TO COMMENCING WORK. CONTRACTOR SHALL MEET WITH THE OWNER PRIOR TO BEGINNING DEMOLITION OR ANY OTHER WORK, AND WALK SITE TO LOCATE EXISTING CONTROLLER AND LINES AND OTHER IRRIGATION TO BE PROTECTED IN PLACE.
- BUILDING IRRIGATION OFFSET NOTE:**  
ALL IRRIGATION (SPRAY OR DRIP) ADJACENT TO BUILDING SHALL BE INSTALLED A MINIMUM DISTANCE OF 12" INCHES FROM BUILDING TO AVOID WATER / OVERSPRAY ONTO BUILDING OR WINDOWS.

**STATEMENT OF WATER CONSERVATION**

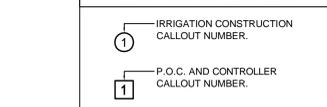
PLEASE NOTE THE FOLLOWING PRINCIPLES OF DESIGN UTILIZED ON THIS PROJECT DIRECTED SPECIFICALLY AS CONSERVING WATER AND IMPROVING THE EFFICIENCY OF THE IRRIGATION SYSTEM:

- IRRIGATION DESIGN UTILIZING DRIP IRRIGATION WITH 90% EFFICIENCY AND UP TO 40% REDUCTION IN WATER USAGE.
- USE OF HYDROZONES WITH PLANTS GROUPED BASED UPON AMOUNT OF WATER NEEDED TO SUSTAIN THEM.
- MULCH 3/4" - 1" SIZE UTILIZED IN THE LANDSCAPE; 3" DEPTH MIN.
- SOIL AMENDMENTS UTILIZED TO IMPROVE WATER HOLDING CAPACITY OF SOIL.
- AUTOMATIC IRRIGATION SYSTEM ADJUSTED SEASONALLY AND WITH WATERING HOURS BETWEEN 10:00 P.M. AND 6:00 A.M.
- IRRIGATION SYSTEM DESIGNED TO WATER DIFFERENT AREAS OF THE LANDSCAPE BASED ON WATERING NEED.
- RECOMMENDATIONS GIVEN FOR ANNUAL IRRIGATION SCHEDULE.
- IRRIGATION ZONES SEPARATED BY PLANT MATERIAL TYPES.
- IRRIGATION ZONES SEPARATED BY EXPOSURE AND ORIENTATION.
- UTILIZATION OF IRRIGATION SYSTEM MASTER VALVE.
- UTILIZATION OF IRRIGATION SYSTEM FLOW SENSOR.
- UTILIZATION OF RAIN SHUT-OFF DEVICE CONNECTED TO IRRIGATION CONTROLLER.
- UTILIZATION OF (ET) BASED "SMART" IRRIGATION CONTROLLER WITH WATER BUDGETING FEATURE.

**IRRIGATION VALVE CALLOUT**



**IRRIGATION NOTE CALLOUT**



**MAINTENANCE RESPONSIBILITY**

ALL LANDSCAPE IMPROVEMENTS SHOWN ON THESE PLANS TO BE MAINTAINED BY THE OWNER.



**PIPE SIZING CHART**

|               |                         |
|---------------|-------------------------|
| 0 TO 5 GPM    | 3/4" CL. 200 PVC PIPE   |
| 5 TO 10 GPM   | 1" CL. 200 PVC PIPE     |
| 10 TO 15 GPM  | 1-1/4" CL. 200 PVC PIPE |
| 15 TO 25 GPM  | 1-1/2" CL. 200 PVC PIPE |
| 25 TO 35 GPM  | 2" CL. 200 PVC PIPE     |
| 35 TO 50 GPM  | 2-1/2" CL. 200 PVC PIPE |
| 50 TO 100 GPM | 3" CL. 200 PVC PIPE     |

NOTE:  
CONTRACTOR SHALL SIZE ALL LATERAL LINES PER PIPE SIZING CHART. IN NO INSTANCE SHALL PIPE SIZE EXCEED DESIGNATED GPM RANGE.

**AB 1881 NOTE:**  
OVERHEAD IRRIGATION SHALL NOT BE PERMITTED WITHIN 24 INCHES OF ANY NON-PERMEABLE SURFACE. (PER STATE ORDINANCE AB 1881). ABSOLUTELY NO OVERSPRAY OR LOW HEAD DRAINAGE IS ALLOWED.

**CHASE**

IRVINE AND 17TH  
NEW RETAIL BANKING CENTER  
1000 Irvine Ave  
Newport Beach, CA 92660

ARCHITECT / ENGINEER OF RECORD

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SEAL

**RIDGE LANDSCAPE ARCHITECTS**  
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Suite 200  
Irvine, CA 92618  
Tel: 949.387.1323  
www.ridgea.com

| ISSUE | DATE | DESCRIPTION |
|-------|------|-------------|
|       |      |             |
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|       |      |             |

**PROJECT INFORMATION BLOCK**  
JOB NUMBER: 07.6215.177  
DRAWN BY: LA/RS  
CHECKED BY: JR  
SCALE: As indicated

REF. NORTH:

MODEL: 12.1-LG-WD-R-PF-2ATM-PCPL

SHEET TITLE:  
**PRELIMINARY LANDSCAPE IRRIGATION PLAN**

SHEET NUMBER:

**L1.1**





ARCHITECT / ENGINEER OF RECORD

## Gensler

4675 MacArthur Court  
 Suite 350  
 Newport Beach, CA 92660  
 Tel: 949.863.9434  
 Fax: 949.553.1676

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SEAL

| #  | SHEET NOTES  |
|----|--|
| A. | ALL PARTITIONS TO BE TYPE "WJ" UNLESS OTHERWISE NOTED. REFER TO SHEET A8.00 FOR PARTITION DETAILS.   |
| B. | ALL INTERIOR METAL STUDS MUST BE LISTED BY AN APPROVED TESTING AND LISTING AGENCY (ICC/ICBO EX) AND THEY MUST BE INSTALLED PER THE LISTING AND MANUFACTURERS INSTALLATION INSTRUCTIONS.                  |
| C. | PROVIDE BLOCKING AND BACKING AS DEFINED IN SPECIFICATIONS AT 2'-0" AFF AND 8'-0" AFF IN INTERIOR PARTITIONS FOR ALL CASEWORK, EQUIPMENT AND ACCESSORIES. COORDINATE WITH FIXTURE SHOP DRAWINGS.          |
| D. | ALL PARTITIONS SHALL BE PAINTED, PT-1 AND RECEIVE BASE WB-1 UNLESS NOTED OTHERWISE.  |
| E. | PROVIDE WATER RESISTANT GYP BD AT ALL WET LOCATIONS.   |
| F. | ALL HINGE SIDE OF ALL DOORS TO BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL, U.O.N.  |
| G. | PER SECTION 1122B.2 OF THE CBC: SEATING SPACES AT COUNTERS SHALL HAVE A CLEAR FLOOR SPACE OF 30"x48" FOR PEOPLE IN WHEELCHAIRS. CLEAR SPACE SHALL NOT OVERLAP KNEE SPACE BY MORE THAN 19" DENOTED WIDTH. |
| H. | FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES, REFER TO A0.00 THROUGH A0.60.  |
| I. | ALL STOREFRONT WINDOW SYSTEMS ARE EXISTING TO REMAIN. PRESERVE DURING CONSTRUCTION.  |

| ISSUE | DATE     | DESCRIPTION     |
|-------|----------|-----------------|
|       | 05/11/12 | MJP RESUBMITTAL |

| PROJECT INFORMATION BLOCK |              |
|---------------------------|--------------|
| JOB NUMBER:               | 07.6215.177  |
| DRAWN BY:                 | CR           |
| CHECKED BY:               | NB           |
| SCALE:                    | 1/4" = 1'-0" |

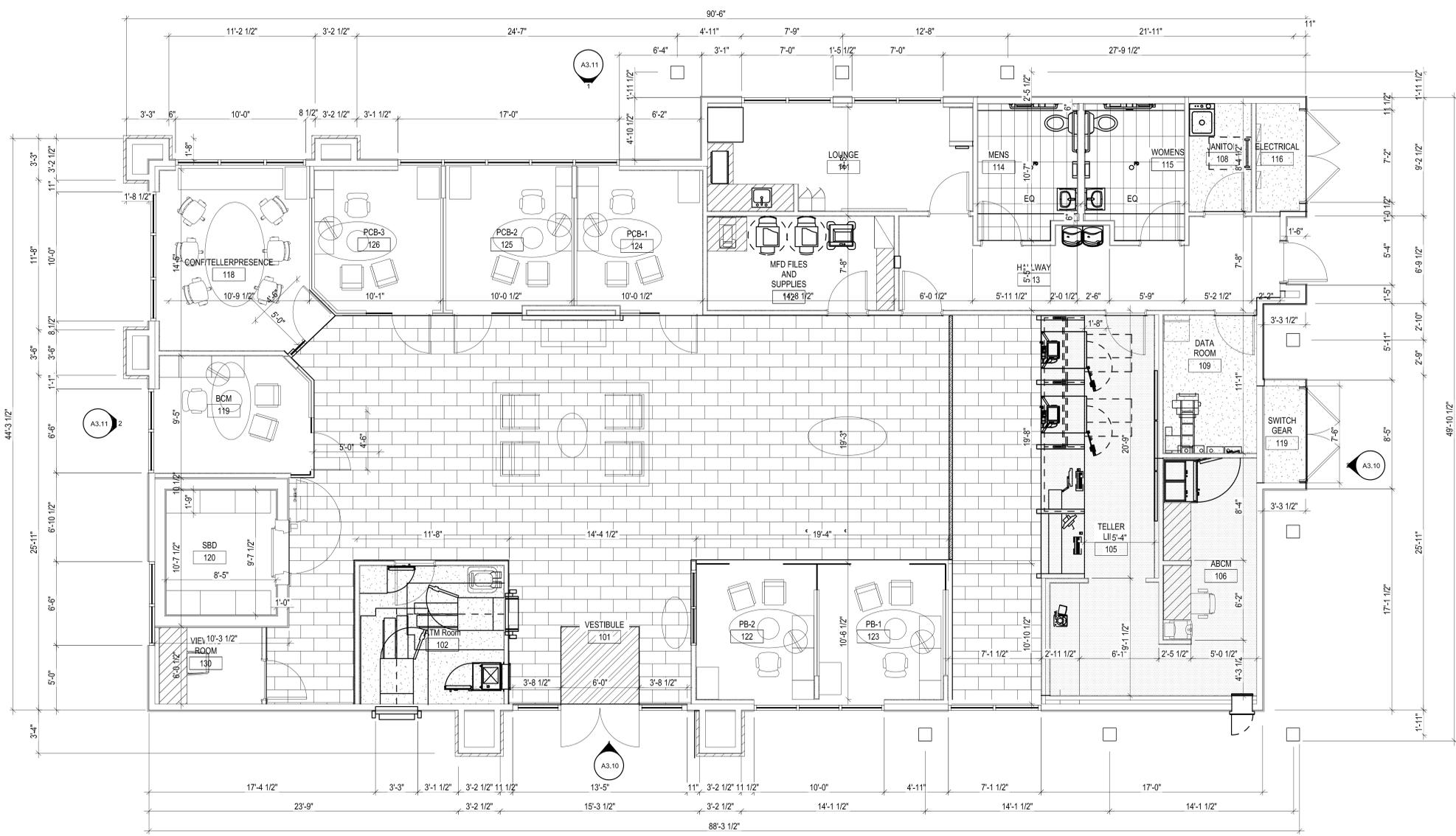
REF. NORTH:

MODEL:  
**12.1-LG-WD-R-PF-2ATM-PCPL**

SHEET TITLE:

## CONSTRUCTION PLAN

SHEET NUMBER:















# **Attachment No. ZA 6**

Comprehensive Sign Program Plans

## SIGN PROGRAM MATRIX

Frontage Designations:

A. Facing East – Parking Lot  
D. Facing South – Westcliff Drive

C. Facing North – Parking Lot  
B. Facing West – Irvine Avenue

| TYPE OF SIGN   | ZONING CODE  | STANDARDS   |
|--|--|---|
| Wall Sign – primary frontage<br>Sign N-2                   | Number: One sign per primary frontage<br>Area : 1.5x primary frontage (75 sf max)<br>Letter/Logo Height: 36” max<br>Illumination: allowed  | Number: One<br>Sign N-2 (Frontage A)<br>Area: 57.6 sf<br>Letter Height: 28”<br>Logo Height: 36”<br>Illumination: yes  |
| Wall Sign – secondary footage<br>Signs N-1 and N-3         | Number: One sign per secondary frontage<br>Area : 50% of primary frontage area max<br>Letter/Logo Height: 36” max<br>Illumination: allowed | Number: Two<br><br>Sign N-1 (Frontage B)<br>Area: 36.9 sf<br>Letter Height: 24”<br>Logo Height: 32”<br>Illumination: yes<br><br>Sign N-3 (Frontage C)<br>Area: 36.9 sf<br>Letter Height: 24”<br>Logo Height: 32”<br>Illumination: yes |
| ATM Surrounds<br>Signs N-5 and N-6                         | None   | Number: Two located at bank entrance (Frontage A)<br>Area: 2.3 sf<br>Height: N/A<br>Letter Height: 6”<br>Illumination: yes  |
| Vehicle Oriented Directional<br>Sign<br>Signs N-7 thru N-9 | Number: One per vehicle entry<br>Area: 3 sf max<br>Height: 4 lf max<br>Letter/Logo Height: 36” max<br>Illumination: not allowed            | Number: Three (double-sided)<br>Area: 4.9 sf<br>Sign Height: 3’-3”<br>Letter Height: 3”<br>Illumination: no   |
| ATM Canopy<br>Signs N-10 and N-11                          | None   | Number: Two (one for each drive-up)<br>Area: 5.4 sf<br>Height: N/A<br>Letter Height: 10”<br>Illumination: yes   |
| Drive-Thru ATM Topper<br>Cabinet<br>Signs N-12 and N-13    | None   | Number: Two (one for each drive-up ATM, double-sided and w/logo on each end)<br>Area: 4.3 sf<br>Height: N/A<br>Illumination: yes  |
| Drive-Thru Clearance Bar<br>Signs N-14 and N-15            | None   | Number: Two (one for each drive-up ATM)<br>Area: 2.1 sf<br>Height: 9’-0”<br>Letter Height: 3”<br>Illumination: no   |

## SIGN PROGRAM MATRIX

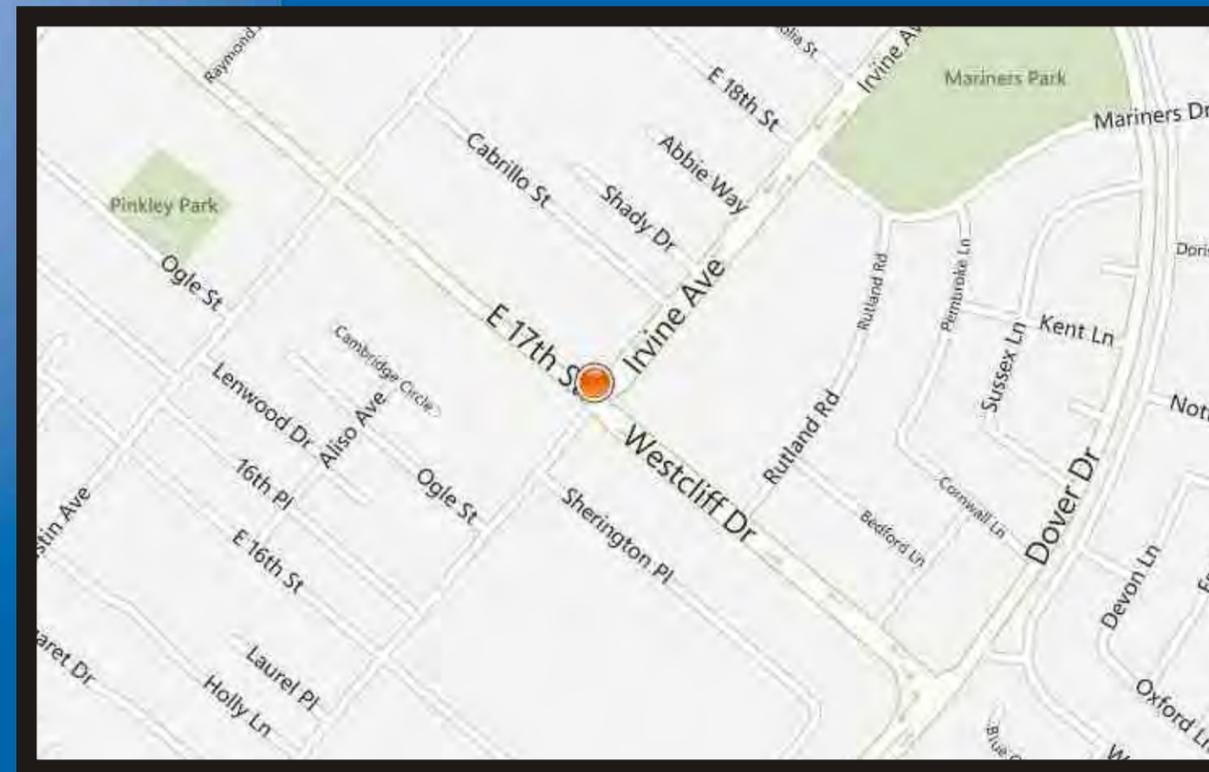
| TYPE OF SIGN  | ZONING CODE  | STANDARDS  |
|---|--|--|
| Vehicle Oriented Directional Sign<br>(Do Not Enter Sign)<br>Signs N-16 and N-17 | Number: One per vehicle entry<br>Area: 3 sf max<br>Height: 4 lf max<br>Letter/Logo Height: 36" max<br>Illumination: not allowed<br>NOTE: Vehicle Oriented Directional Signs are exempt signage under the City sign regulations | Number: One per vehicle exit<br>(Located at the exit of each ATM drive-thru aisle)<br>Area: 1.5 sf<br>Sign Height: 7'-0"<br>Illumination: no   |
| Public Service Signs<br>(ADA Sign)<br>Signs N-18 and N-19                       | Number: One per vehicle entry<br>Area: 3 sf max<br>Height: 4 lf max<br>Letter/Logo Height: 36" max<br>Illumination: not allowed<br>NOTE: The ADA Signs are exempt public service signs   | Number: One per ADA parking space (Located in front of the main entry – Frontage A)<br><br>N-18 (van accessible)<br>Area: 2.5 sf<br>Sign Height: 9'-2"<br>Illumination: no<br><br>N-19<br>Area: 2.0 sf<br>Sign Height: 8'-8"<br>Illumination: no   |
| Address Sign<br>Sign N-20   |  | Number: One (Located to face Irvine Avenue – Frontage B)<br>Area: 1.4 sf<br>Letter Height: 8"<br>Illumination: yes   |
| Window Sign   |  | Number: None<br>Area: 20% of total window area maximum (primary or secondary frontage)<br>Location: Ground or second story (primary or secondary frontage)<br>Method of Attachment: Permanently painted or mounted on inside of window<br>Note: Signs within 5 feet of storefront window count as window signs in determining total area and number. |

### COMPLIANCE REQUIRED

- Exempt signs shall comply with the standards prescribed in the Zoning Code.
- Temporary Banner Signs shall comply with Chapter 20.42 of the Zoning Code.
- All signs shall substantially conform to the stamped and dated approved set of plans.
- Signs shall also comply with the provisions of Section 20.42.080 of the Newport Beach Municipal Code, Standards for Specific Types of Permanent Signs, unless otherwise indicated by table matrix and/or in the finding and conditions in the associated resolution of approval.
- Pursuant to Section 20.42.120.F of the Zoning Code, the Planning Director may approve minor revisions to the Sign Program if the intent of the original approval is not affected.

# CHASE

#17179  
 1000 Irvine Avenue  
 Newport Beach, CA. 92660



**Signtech™**

4444 Federal Blvd. San Diego CA 92102  
 Phone: (619) 527-6100 / Fax: (619) 527-6111  
 www.signtechUSA.com



**JP Morgan Chase Bank  
 #17179**

1000 Irvine Avenue  
 Newport Beach, CA. 92660

Date: 02/27/12  
 Salesperson: Arthur Navarro  
 Coordinator: Lisa Frederick  
 Designer: kendra pickett  
 Scale: As noted

**Revisions**

|   |   |
|---|---|
| △ | △ |
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| △ | △ |
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**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

Signtech does NOT provide primary electrical to sign location -  
**RESPONSIBILITY OF OTHERS!**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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Drawing Number: 12-00228

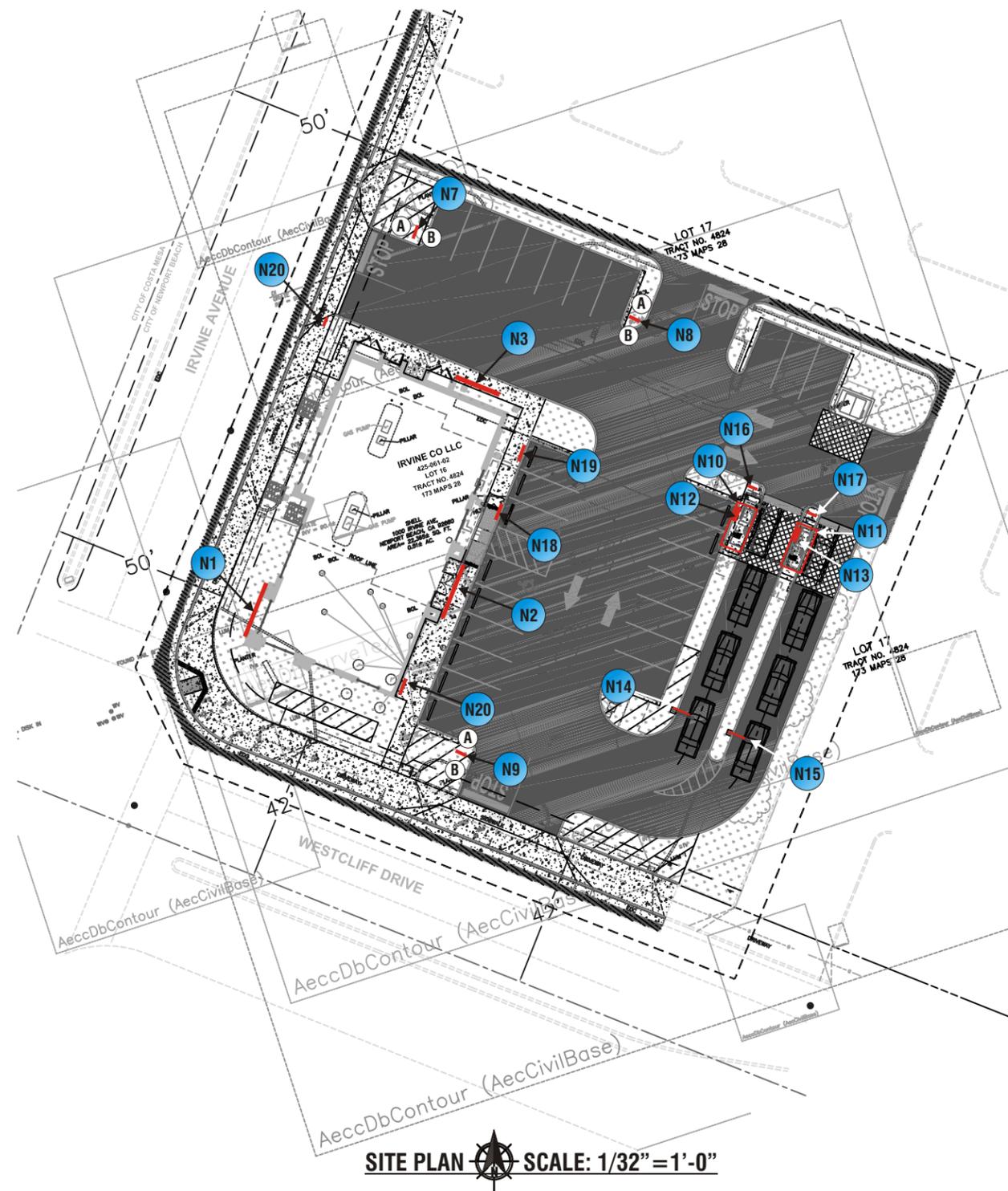
Work Order Number: 51025

**Title Page**

## SIGN LEGEND

| Elevation | No. | Sign Type                  | Description   | Sq.Ft. |
|-----------|-----|----------------------------|---|--------|
| West      | N1  | LIF-WBO-24                 | 24" Illuminated White Channel Letters and Logo          | 36.9   |
| East      | N2  | CUSTOM-LIF-WBO-27.5        | 27 1/2" Illuminated White Channel Letters and Logo      | 57.6   |
| North     | N3  | LIF-WBO-24                 | 24" White Channel Letters and Logo                      | 36.9   |
|           | N4  | REMOVED FROM SCOPE OF WORK |   |        |
| East      | N5  | SUR-TTW-U                  | Universal ATM Surround                                  | 2.24   |
|           | N6  | SUR-TTW-U                  | Universal ATM Surround                                  |        |
|           | N7  | D5                         | Non-Illuminated Directional Sign                        |        |
|           | N8  | D5                         | Non-Illuminated Directional Sign                        |        |
|           | N9  | D5                         | Non-Illuminated Directional Sign                        |        |
|           | N10 | CUSTOM-CAN-ATM-SIG-VAT     | Drive-Up Signature Canopy (VAT + ATM) (Custom Branding) | 2.68   |
|           | N11 | CUSTOM-CAN-ATM-SIG-VAT     | Drive-Up Signature Canopy (VAT + ATM) (Custom Branding) | 2.68   |
|           | N12 | TOP-FS-DU-N-LED            | Drive-Up ATM Topper Narrow                              | 4.28   |
|           | N13 | TOP-FS-DU-N-LED            | Drive-Up ATM Topper Narrow                              | 4.28   |
|           | N14 | HB-U                       | Drive-Up Headache Bar                                   |        |
|           | N15 | HB-U                       | Drive-Up Headache Bar                                   |        |
|           | N16 | CUSTOM TC-P-H              | Pole Mounted Do Not Enter Sign                          |        |
|           | N17 | CUSTOM TC-P-H              | Pole Mounted Do Not Enter Sign                          |        |
|           | N18 | CUSTOM ADA                 | Custom Pole Mounted Handicap Sign (CA ADA)              |        |
|           | N19 | CUSTOM ADA                 | Custom Pole Mounted Handicap Sign (CA ADA)              |        |
| West      | N20 | CUSTOM ADDRESS             | 8" Illuminated White Channel Numbers                    |        |

|                       |        |
|-----------------------|--------|
| Total Proposed Sq Ft  | 135.72 |
| Total Allowable Sq Ft | 112    |
| Difference            | +23.7  |



SITE PLAN SCALE: 1/32" = 1'-0"



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## JP Morgan Chase Bank #17179

1000 Irvine Avenue  
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Date: 02/27/12  
 Salesperson: Arthur Navarro  
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 Designer: kendra pickett  
 Scale: As noted

### Revisions

|   |   |
|---|---|
| △ | △ |
| △ | △ |
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### CUSTOMER APPROVAL

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

Signtech does NOT provide primary electrical to sign location -  
**RESPONSIBILITY OF OTHERS!**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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Drawing Number: 12-00228

Work Order Number: 51025

### Site Plan and Sign Legend



## Marketing Checklist/Custom Fixtures

Branch Name: Irvine and 17th

|   | Check all that Apply                       | Qty       | Size/Type         | Comments  |
|---|--|-----------|-------------------|---|
| Interior Finish Plan (as determined in DRC) | Signature                                  |           |                   |   |
|   | Prestige                                   |           |                   |   |
|   | Student                                    |           |                   |   |
|   | CPC  |           |                   |   |
|   | Mass Affluent                              |           |                   |   |
|   | Other/custom                               |           |                   |   |
| Teller Merchandising                        | eMerchandising                             | 1         | Triple 47 array   | Behind the Teller line                                    |
|   | CPC/Bloomberg                              |           |                   |   |
|   | Illuminated Dominant                       |           |                   |   |
|   | Teller Marketing/FDIC Signs and Placemats  | 4 to 6    |                   | As determined by the floor plan                           |
|   | Soffit Logo                                | 1         |                   |   |
|   | Business Trans Directional                 | 1         |                   |   |
| Comfort Zone/Lobby                          | Wall Posters                               |           |                   |   |
|   | Rate Board/Manager Special Board           |           |                   |   |
|   | Interior Banners                           |           |                   |   |
|   | Chase What Matters Fixture                 | As needed |                   | For CZs located next to a wall. Floating CZs get nothing. |
|   | CSC Directional                            | 1         |                   | Above CSC   |
|   | SDB Sign                                   | 1         |                   |   |
| Sales Zone                                  | SDB Directional                            | As needed |                   | For vaults located on a separate floor                    |
|   | Wall and Desk Posters and SIPC Disclosures |           |                   | As determined by the floor plan                           |
|   | Door Slides Left (IS only)                 |           |                   | As determined by the floor plan                           |
|   | Door Slides Right (IS only)                |           |                   | As determined by the floor plan                           |
| Drive Thru                                  | Hours Vinyl and FDIC Stickers              | As needed |                   |   |
|   | Drive Up Banner Stands                     | Varies    |                   | Depends on number of lanes                                |
| Operational Signs:                          | Night Drop Signage                         | 1         | Plaque or Sticker | Type: Plaque or Sticker. Times: 5 p.m. or 7 a.m.          |
|   | Hours Information/Address Numbers          | 1 to 3    |                   | Depending on the number of customer entry doors           |
|   | Hours Plaque                               | As needed |                   | Only used for colonial-style doors.                       |
| Exterior Merchandising                      | Marketing Display Window                   |           |                   |   |
|   | Lightboxes                                 |           |                   |   |
|   | Clings                                     |           |                   |   |
|   | Other/Custom                               |           |                   |   |



# Signtech™

4444 Federal Blvd. San Diego CA 92102  
Phone: (619) 527-6100 / Fax: (619) 527-6111  
www.signtechUSA.com



## JP Morgan Chase Bank #17179

1000 Irvine Avenue  
Newport Beach, CA. 92660

Date: 02/27/12

Salesperson: Arthur Navarro

Coordinator: Lisa Frederick

Designer: kendra pickett

Scale: As noted

### Revisions

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### CUSTOMER APPROVAL

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

**COPY, COLORS & SIZES**

Signtech does NOT provide primary electrical to sign location - **RESPONSIBILITY OF OTHERS!**

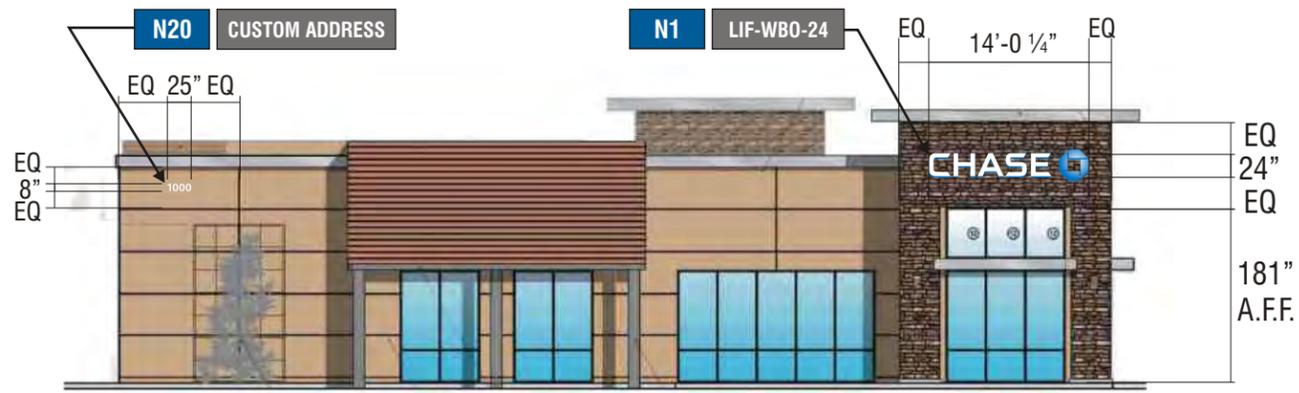
Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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Drawing Number: 12-00228

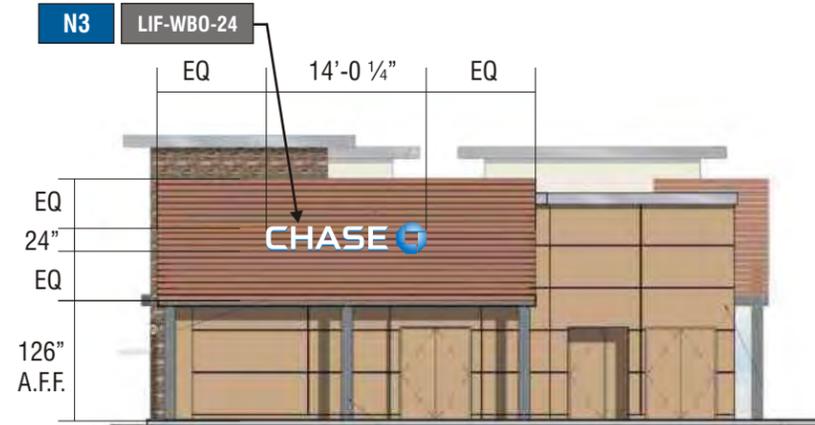
Work Order Number: 51025

# SIGNAGE OVERVIEW



**WEST ELEVATION**

**SCALE: 1/16" = 1'-0"**



**NORTH ELEVATION**

**SCALE: 1/16" = 1'-0"**



**EAST ELEVATION**

**SCALE: 1/16" = 1'-0"**



**SOUTH ELEVATION**

**SCALE: 1/16" = 1'-0"**



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**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

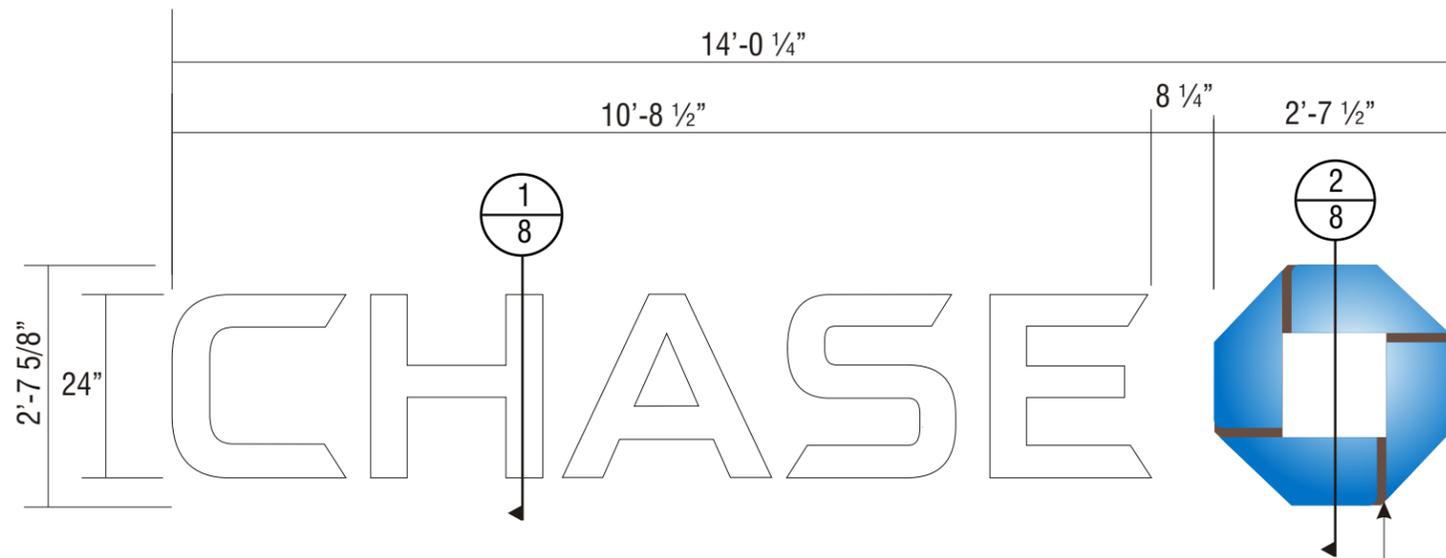
Signtech does NOT provide primary electrical to sign location -  
**RESPONSIBILITY OF OTHERS!**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

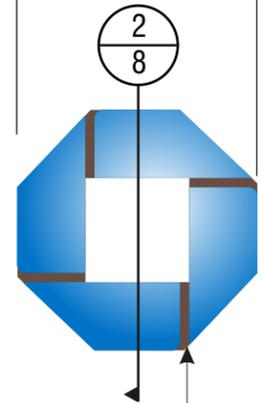
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Drawing Number: 12-00228

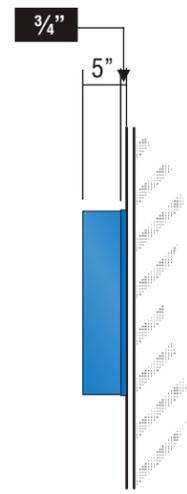
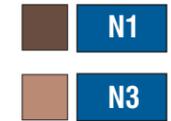
Work Order Number: 51025



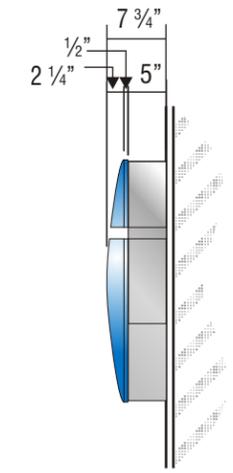
**FRONT VIEW** SCALE : 1/2" = 1'-0"



BRIDGE TO BE PAINTED TO MATCH WALL COLOR



**ENDVIEW OF LETTER** SCALE : 1/2" = 1'-0"



**ENDVIEW OF LOGO** SCALE : 1/2" = 1'-0"



**SIGN TYPE LIF-WBO-24**

**MANUFACTURE AND INSTALL TWO (2) INTERNALLY ILLUMINATED SETS OF CHANNEL LETTERS**

**LETTERS,**  
**FACE:** .177" ARISTECH #7328 P-95 WHITE PLEX (MATTE SIDE TO BE 1ST SURFACE) CHEM WELDED TO RETURNS  
**RETURNS:** 0.118" x 5" DEEP ARISTECH #6046 BLUE WITH 3635-70 DIFFUSER VINYL ON 2ND (INTERIOR) SURFACE.  
**BACKS:** .080" ALUM BACK WITH 3/4" x .080" OUTSIDE ALUM RETURN AND 1/2" x 1/8" ALUM ANGLE CLIPS ON INTERIOR OF LETTER FOR FACE ATTACHMENT  
**PAINT :** EXTERIOR PAINTED MATTHEWS MP-00366 CHASE BLUE SEMI-GLOSS FINISH (60-70 UNITS) AND INTERIOR PAINTED SPRAY-LAT STAR BRITE WHITE LIGHT ENHANCEMENT PAINT.  
**ILLUMINATION :** 15MM DESIGNER 71 WHITE NEON & 60MA TRANSFORMERS AS REQUIRED FOR PROPER EVEN ILLUMINATION.

**LOGO,**  
**BACKS :** .080" ALUM BACK WITH STACK WELDED 5" x .080" ALUM RETURNS.  
**LOGO CAN FACE :** .080" ALUM BRIDGE ELEMENTS WELDED TO INSIDE & OUTSIDE RETURNS  
**PLEX FACE :** .118" THERMO FORMED ARISTECH #6046 BLUE LOGO ELEMENTS CHEM WELDED TO 3/4" CLEAR PLEX 2ND SURFACE FACES.  
**PAINT :** EXTERIOR PAINT MATTHEWS "CHASE NICKEL" #MP-19891 GLOSS FINISH AND INTERIOR PAINTED SPRAY-LAT STAR BRITE WHITE LIGHT ENHANCEMENT PAINT.  
**ILLUMINATION :** 15MM DESIGNER 71 WHITE NEON & 60MA TRANSFORMERS AS REQUIRED FOR PROPER EVEN ILLUMINATION.



**3D VIEW OF OCTAGON**

**ELECTRICAL REQUIREMENTS FOR NEON ILLUMINATION**  
 As required by standard #2161, Signtech Electrical Advertising, Inc., exclusively uses secondary Ground fault-Interrupted (GFI) transformers.  
 Each Sign MUST have: - A dedicated branch circuit  
 - Three wires : Line, Ground, and Neutral.  
 - Wire Size : Min 12 GA THHN Copper Wire.  
 NOTE: The gauge of the wire is dictated by the length of the run & amperage as per NEC Article 600.  
 - The ground wire must be continuous & go from the sign to the panelboard ground bus.  
 - Voltage between ground and neutral should measure no more than 3 volts.  
 - Power to the sign must be done by a licensed electrical contractor or licensed electrician.



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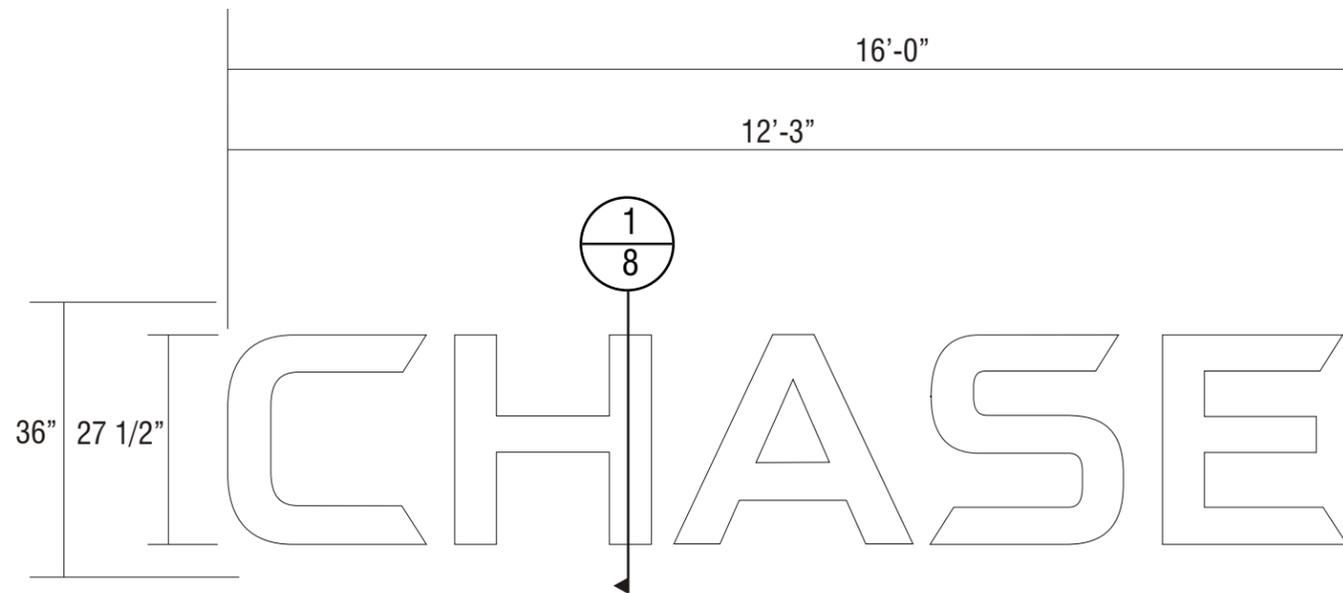
Date: 02/27/12  
 Salesperson: Arthur Navarro  
 Coordinator: Lisa Frederick  
 Designer: kendra pickett  
 Scale: As noted

| Revisions |   |
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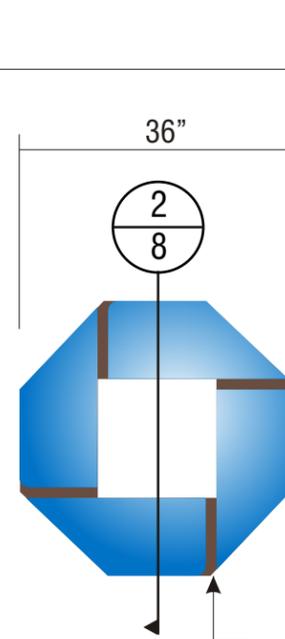
**CUSTOMER APPROVAL**  
 Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

Signtech does NOT provide primary electrical to sign location - **RESPONSIBILITY OF OTHERS!**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
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 Work Order Number: 51025



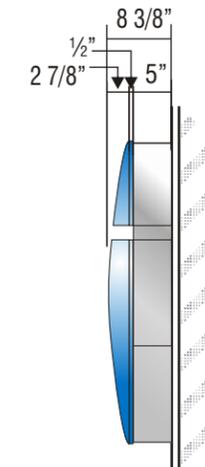
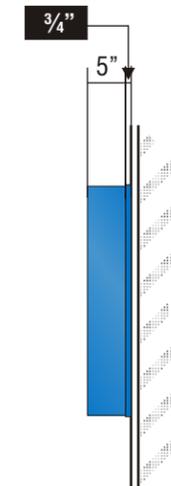
**FRONT VIEW** SCALE : 1/2" = 1'-0"



BRIDGE TO BE PAINTED TO MATCH WALL COLOR



**ENDVIEW OF LETTER** SCALE : 1/2" = 1'-0"



**ENDVIEW OF LOGO** SCALE : 1/2" = 1'-0"



**3D VIEW OF OCTAGON**

**N2**

**SIGN TYPE CUSTOM-LIF-WBO-27.5**

**MANUFACTURE AND INSTALL ONE (1) INTERNALLY ILLUMINATED SET OF CHANNEL LETTERS**

**LETTERS,**  
**FACE:** .150" ARISTECH #7328 P-95 WHITE PLEX (MATTE SIDE TO BE 1ST SURFACE) CHEM WELDED TO RETURNS  
**RETURNS:** 0.15" x 5" DEEP ARISTECH #6046 BLUE WITH 3635-70 DIFFUSER VINYL ON 2ND (INTERIOR) SURFACE.  
**BACKS:** .080" ALUM BACK WITH 3/4" x .080" OUTSIDE ALUM RETURN AND 1/2" x 1/8" ALUM ANGLE CLIPS ON INTERIOR OF LETTER FOR FACE ATTACHMENT  
**PAINT :** EXTERIOR PAINTED MATTHEWS MP-00366 CHASE BLUE SEMI-GLOSS FINISH (60-70 UNITS) AND INTERIOR PAINTED SPRAY-LAT STAR BRITE WHITE LIGHT ENHANCEMENT PAINT.  
**ILLUMINATION :** 15MM DESIGNER 71 WHITE NEON & 60MA TRANSFORMERS AS REQUIRED FOR PROPER EVEN ILLUMINATION.

**LOGO,**  
**BACKS :** .080" ALUM BACK WITH STACK WELDED 5" x .080" ALUM RETURNS.  
**LOGO CAN FACE :** .080" ALUM BRIDGE ELEMENTS WELDED TO INSIDE & OUTSIDE RETURNS  
**PLEX FACE :** .118" THERMO FORMED ARISTECH #6046 BLUE LOGO ELEMENTS CHEM WELDED TO 3/4" CLEAR PLEX 2ND SURFACE FACES.  
**PAINT :** EXTERIOR PAINT MATTHEWS "CHASE NICKEL" #MP-19891 GLOSS FINISH AND INTERIOR PAINTED SPRAY-LAT STAR BRITE WHITE LIGHT ENHANCEMENT PAINT.  
**ILLUMINATION :** 15MM DESIGNER 71 WHITE NEON & 60MA TRANSFORMERS AS REQUIRED FOR PROPER EVEN ILLUMINATION.

**ELECTRICAL REQUIREMENTS FOR NEON ILLUMINATION**  
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 Each Sign MUST have: - A dedicated branch circuit  
 - Three wires : Line, Ground, and Neutral.  
 - Wire Size : Min 12 GA THHN Copper Wire.  
 NOTE: The gauge of the wire is dictated by the length of the run & amperage as per NEC Article 600.  
 - The ground wire must be continuous & go from the sign to the panelboard ground bus.  
 - Voltage between ground and neutral should measure no more than 3 volts.  
 - Power to the sign must be done by a licensed electrical contractor or licensed electrician.



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**JP Morgan Chase Bank #17179**

1000 Irvine Avenue  
 Newport Beach, CA. 92660

Date: 02/27/12  
 Salesperson: Arthur Navarro  
 Coordinator: Lisa Frederick  
 Designer: kendra pickett  
 Scale: As noted

**Revisions**

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**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

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Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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Drawing Number: 12-00228  
 Work Order Number: 51025



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**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
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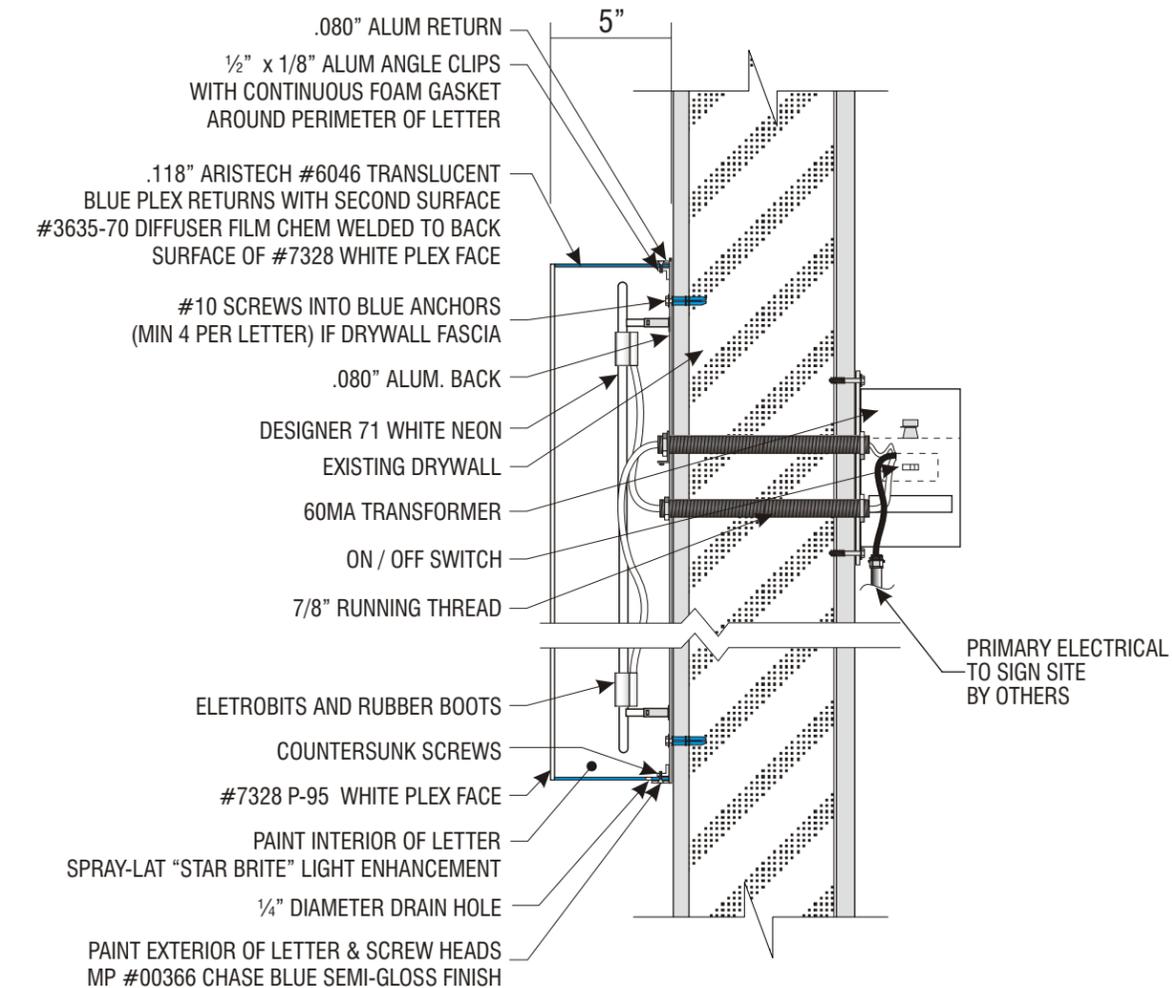
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Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

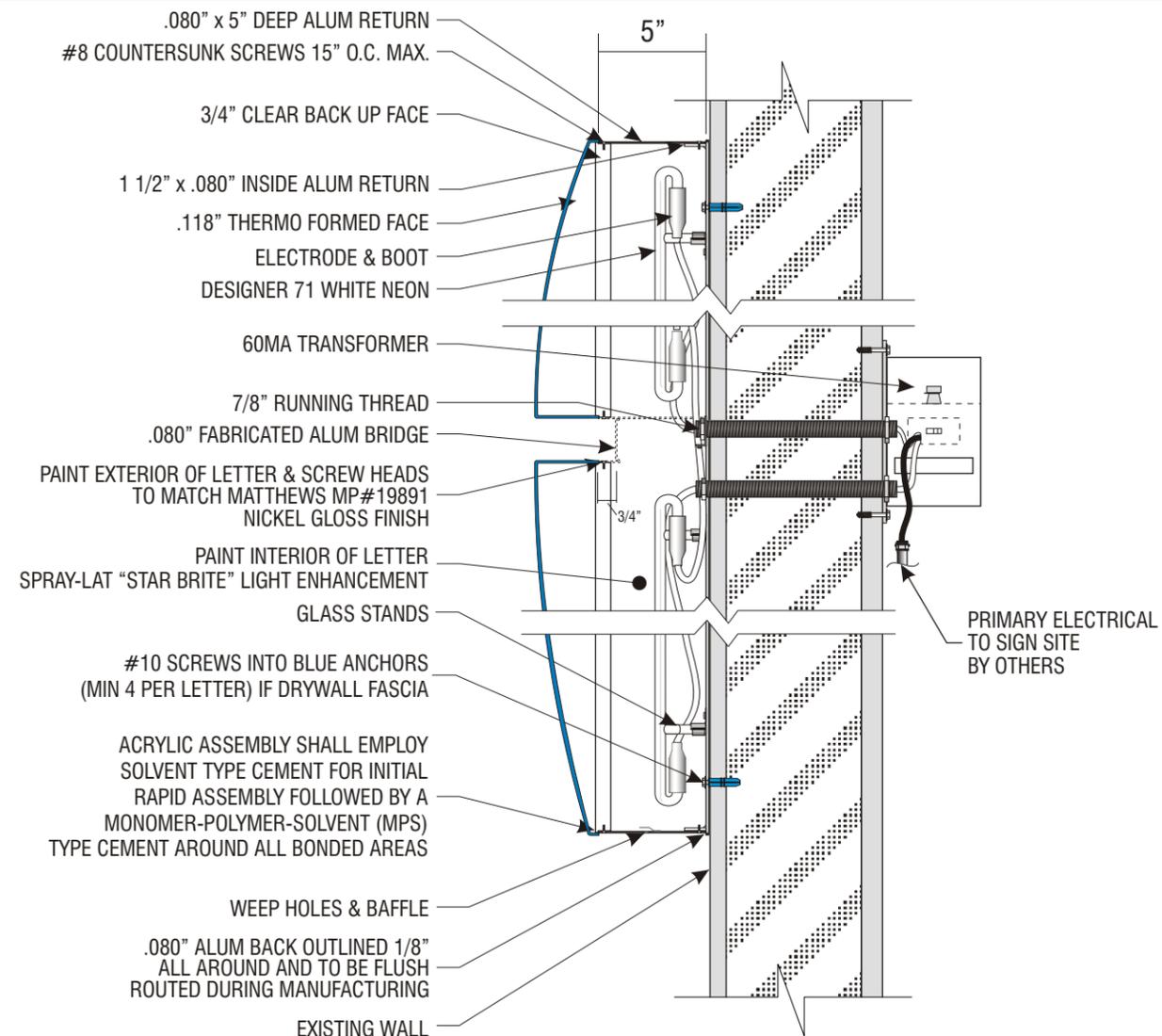
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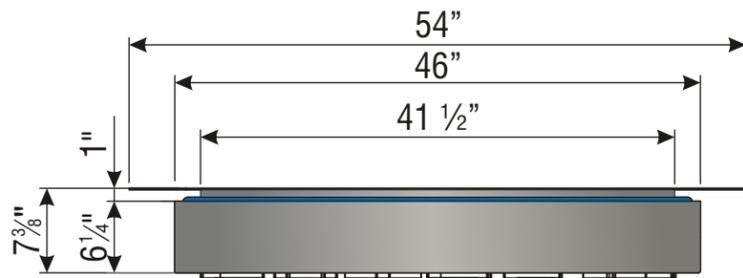
Work Order Number: 51025



**1**  
**8** PLEX LETTER SECTION DETAIL SCALE: 1 1/2" = 1'-0"



**2**  
**8** LOGO SECTION DETAIL SCALE: 1 1/2" = 1'-0"



**TOP VIEW SUR-TTW-U-4**  
SCALE: 3/4" = 1'-0"

**STIPPLE FINISH PAINT PROCESS FOR MATTHEWS #MP-18101 CHASE NICKEL:**  
**BASE COAT:**\* 3-4 MEDIUM COATS OF MAP SVOC2471 FOR BASE COAT. ALLOW TO AIR DRY 12-24 HRS OR FORCE DRY AT 200 DEG. F. FOR 15MIN.  
**STIPPLE FINISH COAT:**\* MIX MAP SVOC1761 WITH CATALYST BUT\_\*NO\*\_REDUCER; SET PRESSURE POT AT 18-20 PSI TANK PRESSURE AND 20-25 PSI ATOMIZING AIR AT THE PAINT GUN - USE 1.0 TO 1.2 FLUID NOZZLE.  
 APPLY 5-6 PASSES OF A FINE TIGHT STIPPLE

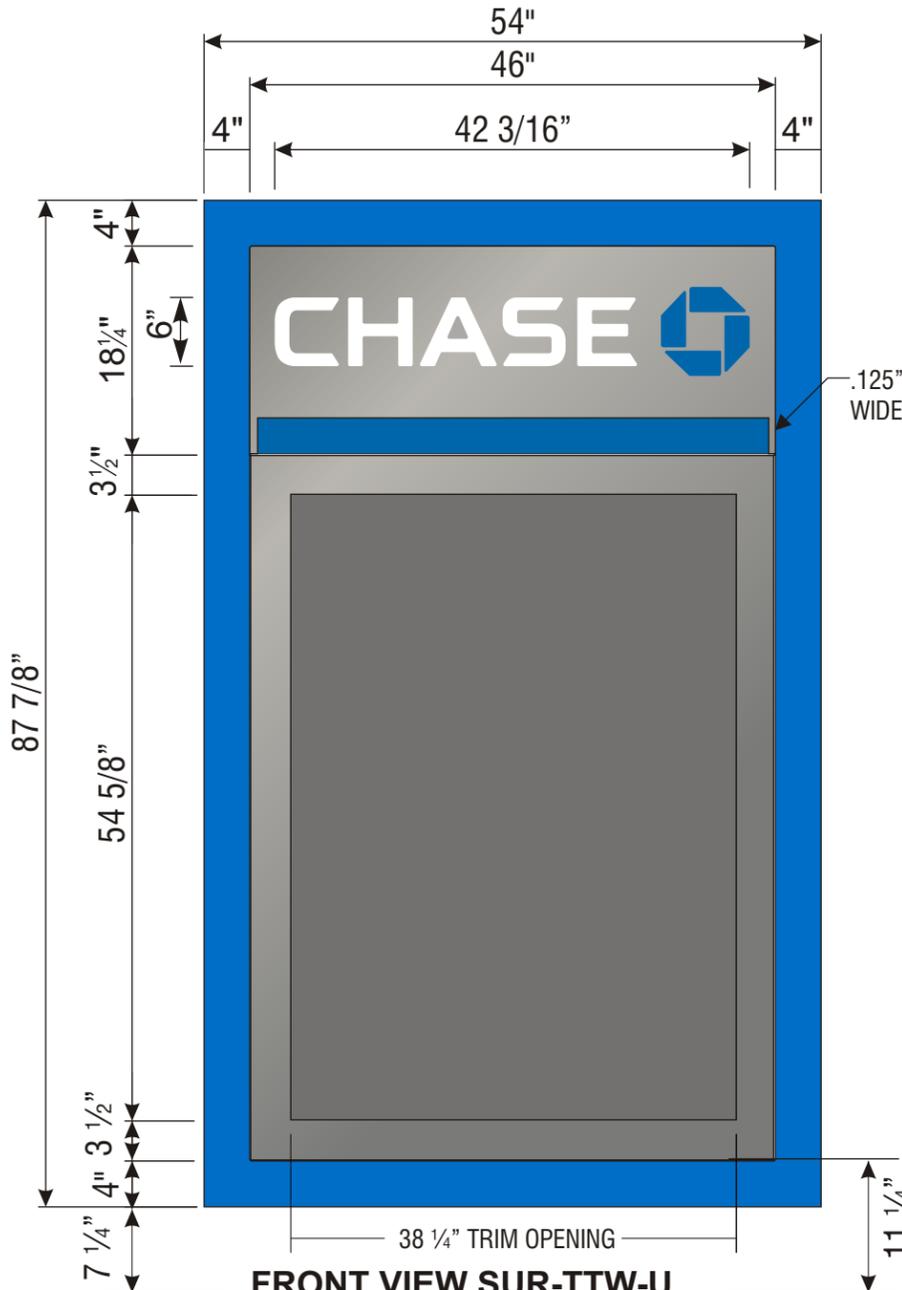
**STIPPLE FINISH PAINT PROCESS FOR MATTHEWS #MP-49353 CHASE BLUE METALLIC:**  
**BASE COAT:**\* 3-4 MEDIUM COATS OF SVOC2472 SP FOR BASE COAT. ALLOW TO AIR DRY 12-24 HRS OR FORCE DRY AT 200 DEG. F. FOR 15MIN.  
**STIPPLE FINISH COAT:**\* MIX MAP SVOC2049 SP WITH CATALYST BUT\_\*NO\*\_REDUCER; SET PRESSURE POT AT 18-20 PSI TANK PRESSURE AND 20-25 PSI ATOMIZING AIR AT THE PAINT GUN - USE 1.0 TO 1.2 FLUID NOZZLE.  
 APPLY 5-6 PASSES OF A FINE TIGHT STIPPLE

GRAPHICS DEPICTED ARE FOR ILLUSTRATIVE PURPOSES ONLY! USE ONLY APPROVED ARTWORK FOR PRODUCTION.

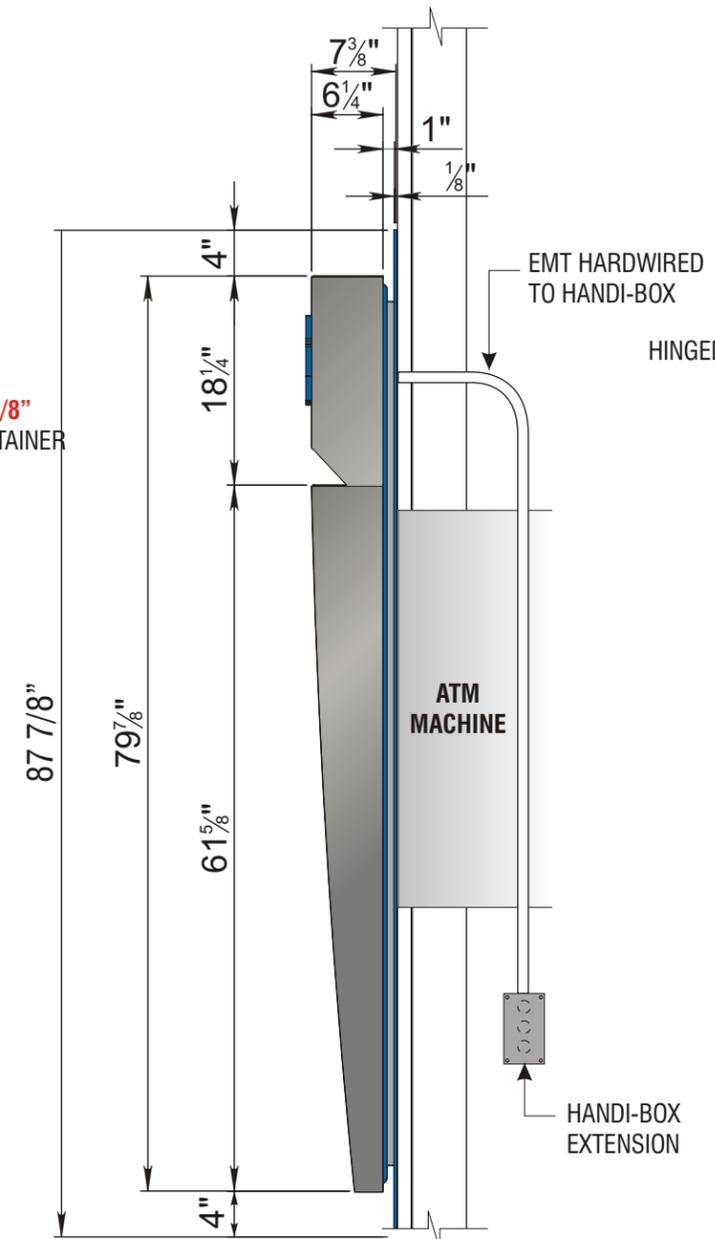
ALL EXPOSED FASTENER HEADS SHALL BE PAINTED TO MATCH THE EXTERIOR CABINET FINISH

SLOAN BLUE LED STRIPE AROUND PERIMETER TO PROVIDE HALO-LIT EFFECT AGAINST BACK PANEL

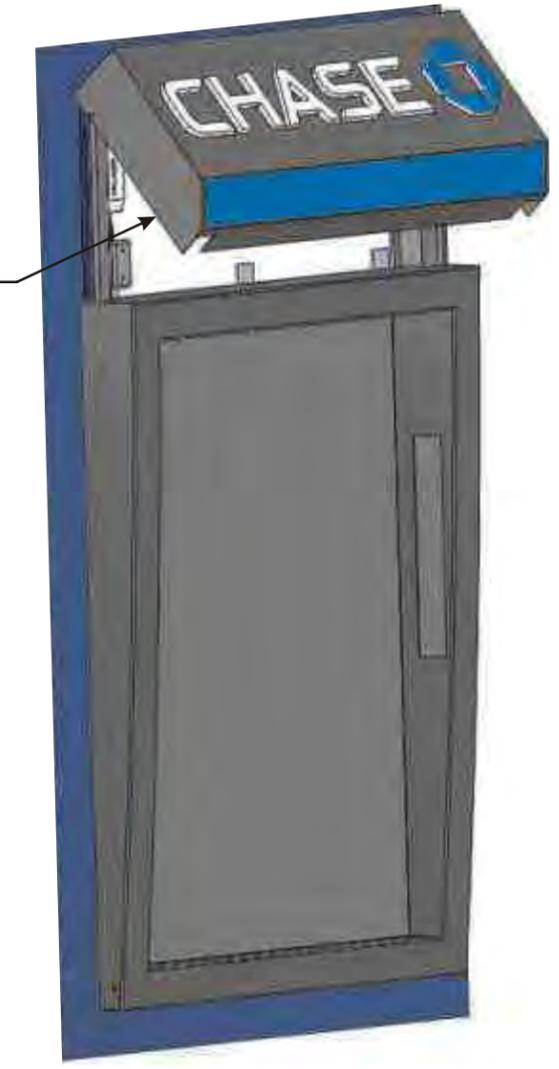
NOTE: PUSH-THRU ACRYLIC SHALL HAVE A MILL FINISH ON ALL ROUTED EDGES



**FRONT VIEW SUR-TTW-U**  
SCALE: 3/4" = 1'-0"



**SIDE VIEW SUR-TTW-U**



**PERSPECTIVE VIEW SUR-TTW-U**  
SCALE: 3/4" = 1'-0"

**N5 N6 SIGN TYPE SUR-TTW-U CHASE BRANDING = 2.24 SQ. FT.**  
**MANUFACTURE AND INSTALL TWO (2) INTERNALLY ILLUMINATED ATM SURROUNDS**



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**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

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Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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Drawing Number: 12-00228  
 Work Order Number: 51025

**MATERIAL SPECIFICATIONS:**

**PAINT:**

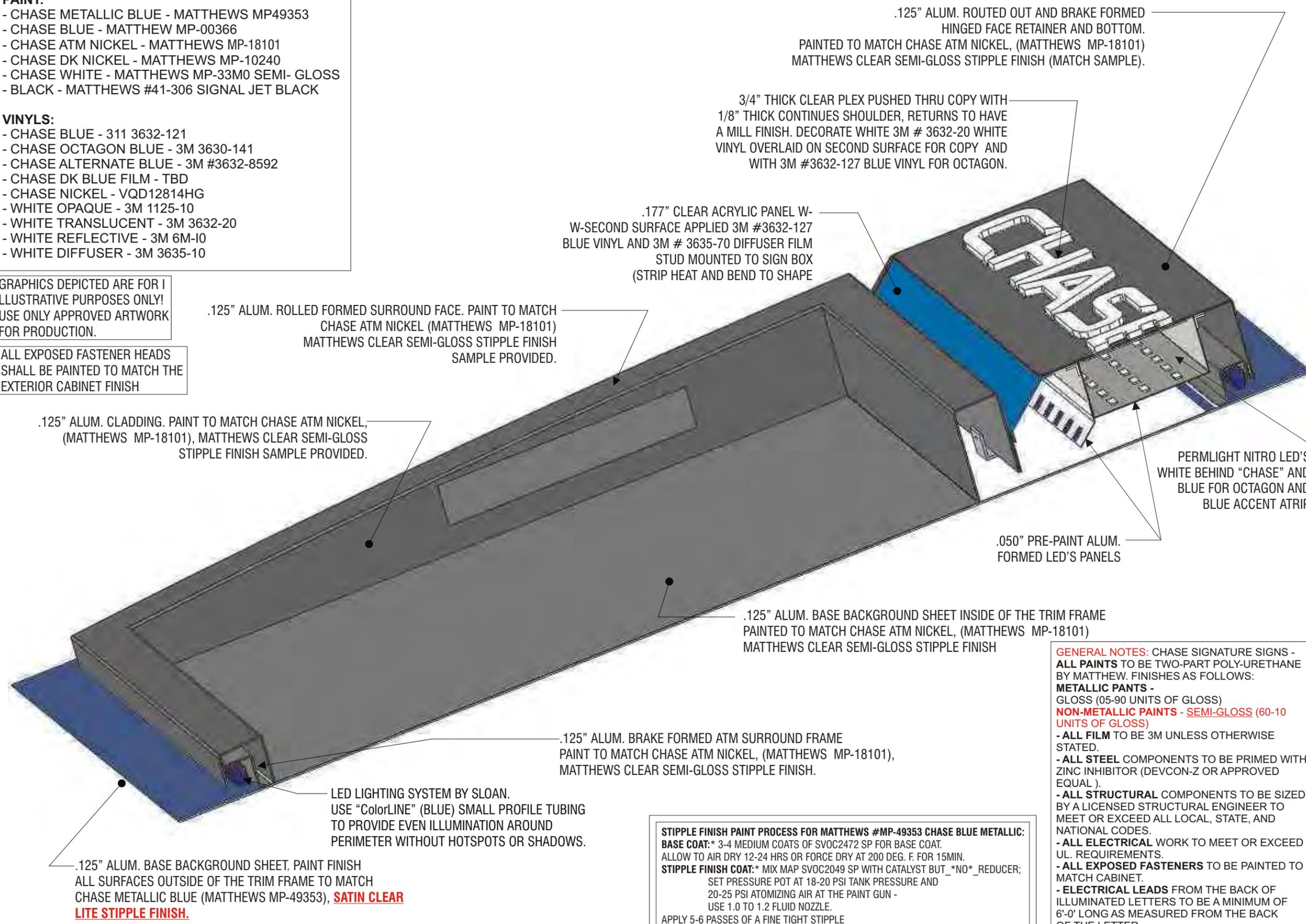
- CHASE METALLIC BLUE - MATTHEWS MP49353
- CHASE BLUE - MATTHEW MP-00366
- CHASE ATM NICKEL - MATTHEWS MP-18101
- CHASE DK NICKEL - MATTHEWS MP-10240
- CHASE WHITE - MATTHEWS MP-33M0 SEMI- GLOSS
- BLACK - MATTHEWS #41-306 SIGNAL JET BLACK

**VINYLS:**

- CHASE BLUE - 3M 3632-121
- CHASE OCTAGON BLUE - 3M 3630-141
- CHASE ALTERNATE BLUE - 3M #3632-8592
- CHASE DK BLUE FILM - TBD
- CHASE NICKEL - VQD12814HG
- WHITE OPAQUE - 3M 1125-10
- WHITE TRANSLUCENT - 3M 3632-20
- WHITE REFLECTIVE - 3M 6M-10
- WHITE DIFFUSER - 3M 3635-10

GRAPHICS DEPICTED ARE FOR ILLUSTRATIVE PURPOSES ONLY! USE ONLY APPROVED ARTWORK FOR PRODUCTION.

ALL EXPOSED FASTENER HEADS SHALL BE PAINTED TO MATCH THE EXTERIOR CABINET FINISH



.125" ALUM. ROUTED OUT AND BRAKE FORMED HINGED FACE RETAINER AND BOTTOM. PAINTED TO MATCH CHASE ATM NICKEL, (MATTHEWS MP-18101) MATTHEWS CLEAR SEMI-GLOSS STIPPLE FINISH (MATCH SAMPLE).

3/4" THICK CLEAR PLEX PUSHED THRU COPY WITH 1/8" THICK CONTIGUES SHOULDER, RETURNS TO HAVE A MILL FINISH. DECORATE WHITE 3M # 3632-20 WHITE VINYL OVERLAID ON SECOND SURFACE FOR COPY AND WITH 3M #3632-127 BLUE VINYL FOR OCTAGON.

.177" CLEAR ACRYLIC PANEL W- W-SECOND SURFACE APPLIED 3M #3632-127 BLUE VINYL AND 3M # 3635-70 DIFFUSER FILM STUD MOUNTED TO SIGN BOX (STRIP HEAT AND BEND TO SHAPE

.125" ALUM. ROLLED FORMED SURROUND FACE. PAINT TO MATCH CHASE ATM NICKEL (MATTHEWS MP-18101) MATTHEWS CLEAR SEMI-GLOSS STIPPLE FINISH SAMPLE PROVIDED.

.125" ALUM. CLADDING. PAINT TO MATCH CHASE ATM NICKEL, (MATTHEWS MP-18101), MATTHEWS CLEAR SEMI-GLOSS STIPPLE FINISH SAMPLE PROVIDED.

PERMLIGHT NITRO LED'S WHITE BEHIND "CHASE" AND BLUE FOR OCTAGON AND BLUE ACCENT ATRIP

.050" PRE-PAINT ALUM. FORMED LED'S PANELS

.125" ALUM. BASE BACKGROUND SHEET INSIDE OF THE TRIM FRAME PAINTED TO MATCH CHASE ATM NICKEL, (MATTHEWS MP-18101) MATTHEWS CLEAR SEMI-GLOSS STIPPLE FINISH

.125" ALUM. BRAKE FORMED ATM SURROUND FRAME PAINT TO MATCH CHASE ATM NICKEL, (MATTHEWS MP-18101), MATTHEWS CLEAR SEMI-GLOSS STIPPLE FINISH.

LED LIGHTING SYSTEM BY SLOAN. USE "ColorLINE" (BLUE) SMALL PROFILE TUBING TO PROVIDE EVEN ILLUMINATION AROUND PERIMETER WITHOUT HOTSPOTS OR SHADOWS.

.125" ALUM. BASE BACKGROUND SHEET. PAINT FINISH ALL SURFACES OUTSIDE OF THE TRIM FRAME TO MATCH CHASE METALLIC BLUE (MATTHEWS MP-49353), SATIN CLEAR LITE STIPPLE FINISH.

**STIPPLE FINISH PAINT PROCESS FOR MATTHEWS #MP-49353 CHASE BLUE METALLIC:**  
**BASE COAT:**\* 3-4 MEDIUM COATS OF SVOC2472 SP FOR BASE COAT. ALLOW TO AIR DRY 12-24 HRS OR FORCE DRY AT 200 DEG. F. FOR 15MIN.  
**STIPPLE FINISH COAT:**\* MIX MAP SVOC2049 SP WITH CATALYST BUT \_\*NO\*\_REDUCER; SET PRESSURE POT AT 18-20 PSI TANK PRESSURE AND 20-25 PSI ATOMIZING AIR AT THE PAINT GUN - USE 1.0 TO 1.2 FLUID NOZZLE. APPLY 5-6 PASSES OF A FINE TIGHT STIPPLE

**GENERAL NOTES:** CHASE SIGNATURE SIGNS - ALL PAINTS TO BE TWO-PART POLY-URETHANE BY MATTHEW. FINISHES AS FOLLOWS:  
**METALLIC PAINTS - GLOSS** (05-90 UNITS OF GLOSS)  
**NON-METALLIC PAINTS - SEMI-GLOSS** (60-10 UNITS OF GLOSS)  
 - ALL FILM TO BE 3M UNLESS OTHERWISE STATED.  
 - ALL STEEL COMPONENTS TO BE PRIMED WITH ZINC INHIBITOR (DEVCON-Z OR APPROVED EQUAL ).  
 - ALL STRUCTURAL COMPONENTS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER TO MEET OR EXCEED ALL LOCAL, STATE, AND NATIONAL CODES.  
 - ALL ELECTRICAL WORK TO MEET OR EXCEED UL. REQUIREMENTS.  
 - ALL EXPOSED FASTENERS TO BE PAINTED TO MATCH CABINET.  
 - ELECTRICAL LEADS FROM THE BACK OF ILLUMINATED LETTERS TO BE A MINIMUM OF 6'-0" LONG AS MEASURED FROM THE BACK OF THE LETTER



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**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

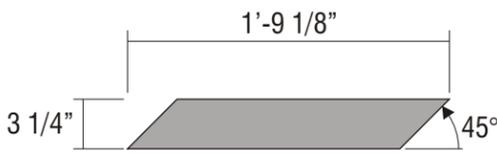
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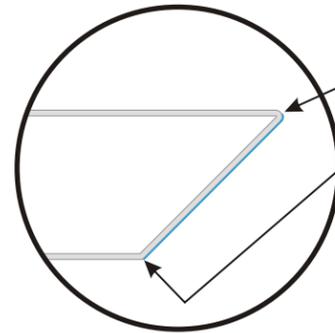
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Drawing Number: 12-00228

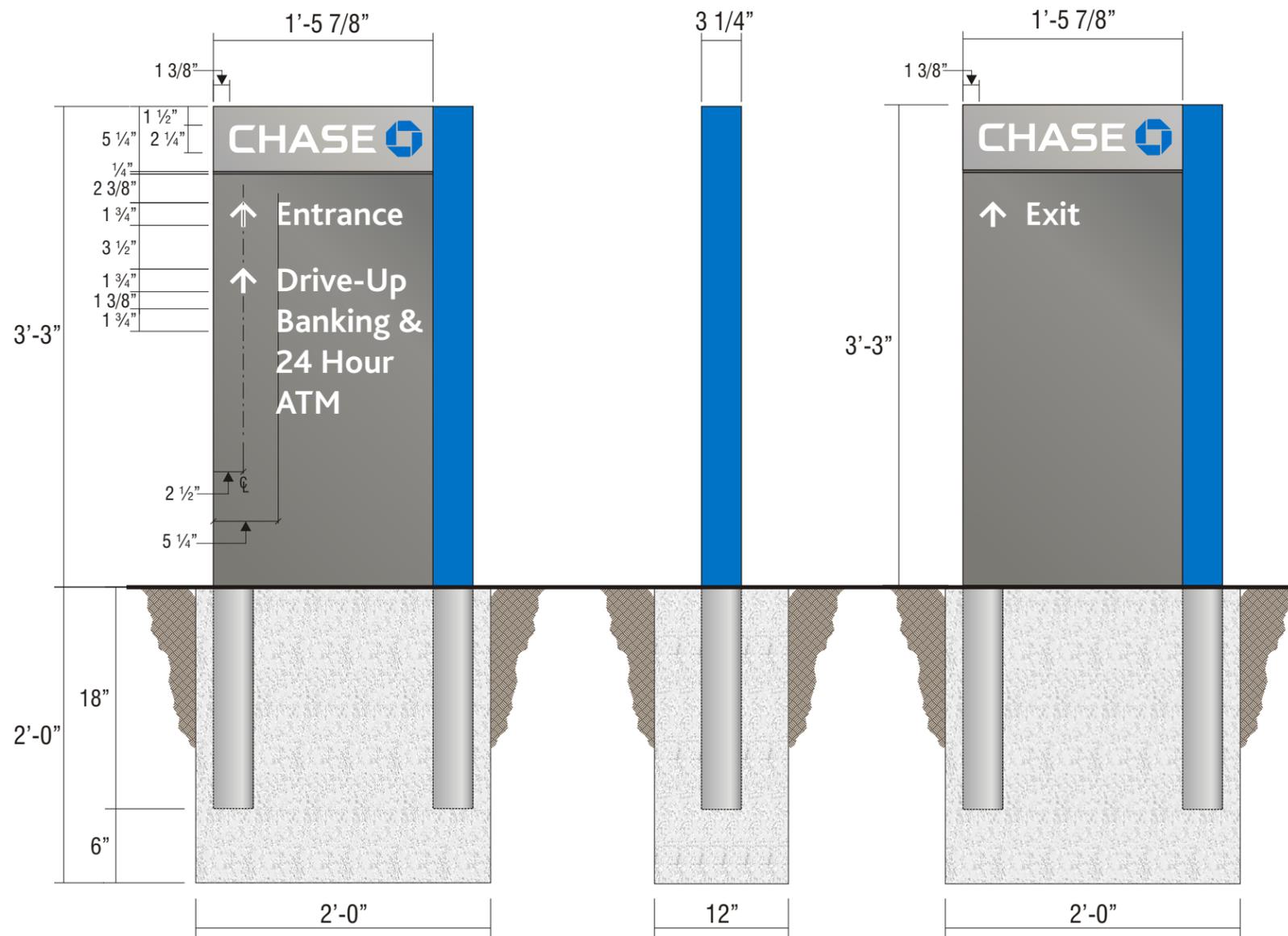
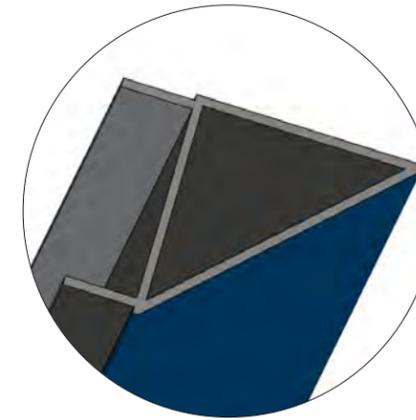
Work Order Number: 51025



**TOP VIEW**



PAINT LINE



**FRONT VIEW**

**END VIEW**

**REAR VIEW**

**N7 SIGN TYPE D-5**

**NEW DIRECTIONAL SIGN** SCALE 1" = 1'-0"  
**MANUFACTURE & INSTALL ONE (1) NON-ILLUMINATED GROUND DIRECTIONAL SIGN**

**STRUCTURE FRAME,**  
**FRAME :** (2) TWO VERTICAL SUPPORTS OF CUSTOM ALUM. EXTRUSION, TRIANGULAR SHAPE CONNECTED WITH (2) TWO 3"X1"X1/8" ALUM. CHANNEL HORIZONTAL MEMBERS.

**FACES,**  
 1/8" ALUM. SHEARED FROM STOCK. ATTACHED TO ALUM. EXTRUSION WITH DOUBLE SIDE TAPE AND LORDS GLUE AS REQUIRED. ROUT OUT 1/4" GROOVE AND APPLY VINYL GRAPHICS ACCORDINGLY WITH SPECIFICATIONS.

**TOP COVER,**  
 .063" ALUM. ROUT OUT CUT TO SHAPE TOP OF SIGN.

**GRAPHICS,**  
**CHASE COPY :** 3M #SCOTCH LITE FILM #680-10 WHITE  
**CHASE LOGO :** 3M #SCOTCH LITE FILM #680-76 LIGHT BLUE  
**UNDER COPY & ARROWS :** 3M #SCOTCH LITE FILM #680-10 WHITE

**PAINT,**  
**TOP COVER :** MATTHEWS MP-19891 NICKEL  
**TOP FACE :** MATTHEWS MP-19891 NICKEL  
**BOTTOM FACE :** MATTHEWS MP-18248 DARK NICKEL  
**GROOVE :** MATTHEWS MP-18248 DARK NICKEL  
**BEVELED ENDS :** MATTHEWS MP-00366 BLUE



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**JP Morgan Chase Bank #17179**

1000 Irvine Avenue  
 Newport Beach, CA. 92660

Date: 02/27/12  
 Salesperson: Arthur Navarro  
 Coordinator: Lisa Frederick  
 Designer: kendra pickett  
 Scale: As noted

**Revisions**

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**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

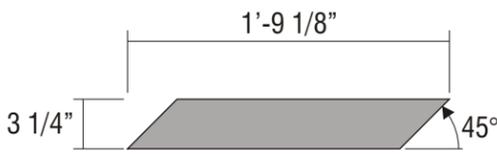
Signtech does NOT provide primary electrical to sign location - **RESPONSIBILITY OF OTHERS!**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

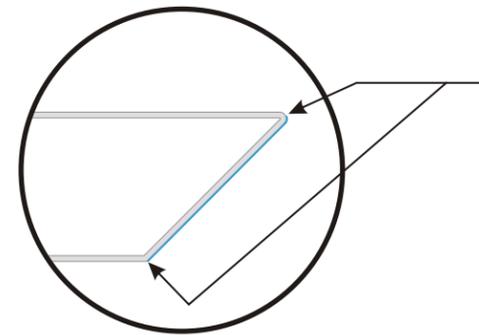
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Drawing Number: 12-00228

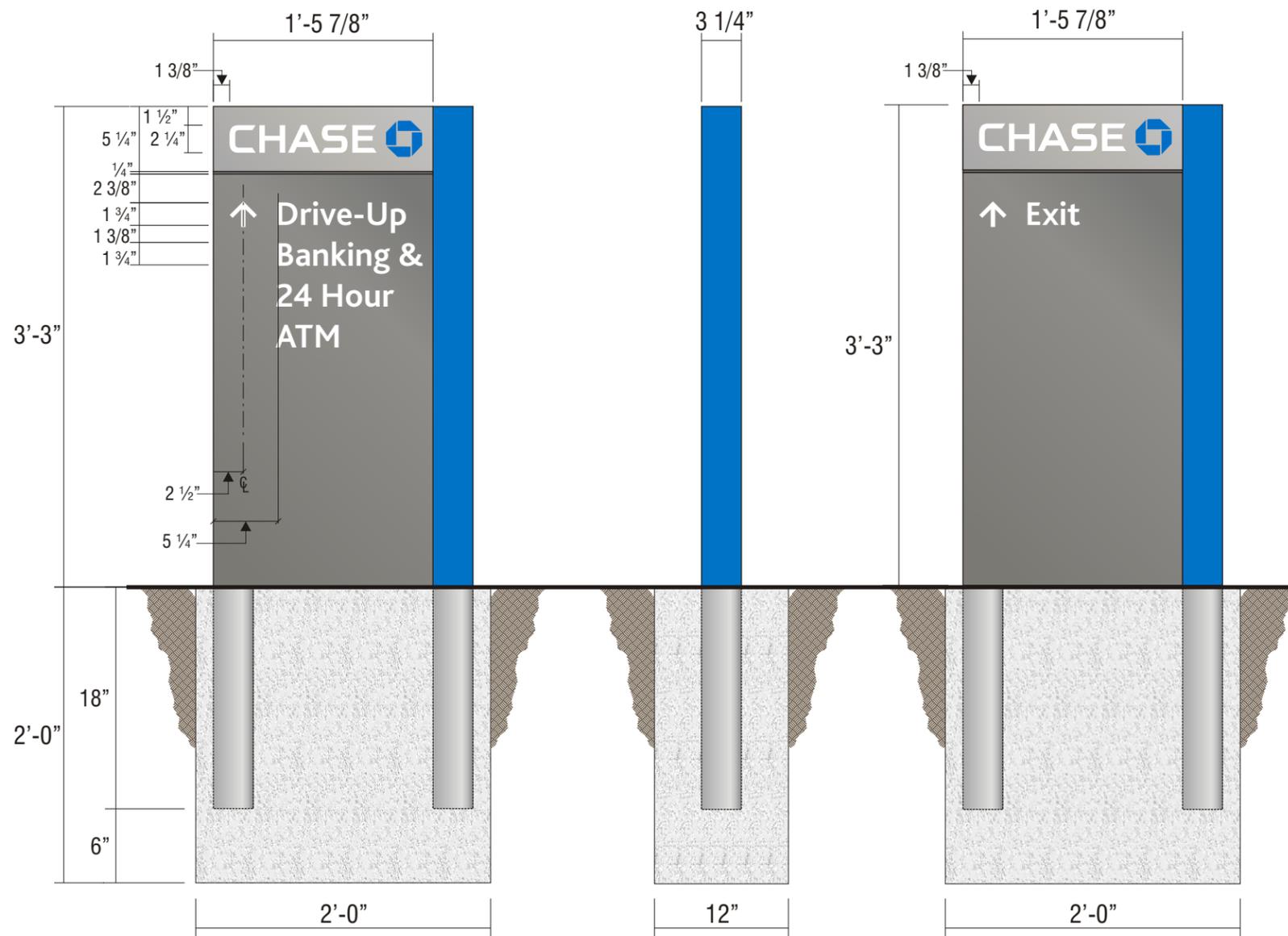
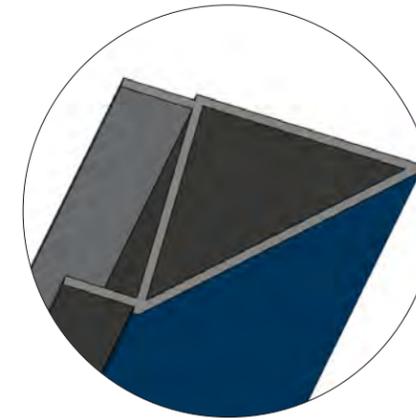
Work Order Number: 51025



**TOP VIEW**



PAINT LINE



**FRONT VIEW**

**END VIEW**

**REAR VIEW**

**N8 SIGN TYPE D-5**

**NEW DIRECTIONAL SIGN** SCALE 1" = 1'-0"  
**MANUFACTURE & INSTALL ONE (1) NON-ILLUMINATED GROUND DIRECTIONAL SIGN**

**STRUCTURE FRAME,**  
**FRAME :** (2) TWO VERTICAL SUPPORTS OF CUSTOM ALUM. EXTRUSION, TRIANGULAR SHAPE CONNECTED WITH (2) TWO 3"X1"X1/8" ALUM. CHANNEL HORIZONTAL MEMBERS.

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 1/8" ALUM. SHEARED FROM STOCK. ATTACHED TO ALUM. EXTRUSION WITH DOUBLE SIDE TAPE AND LORDS GLUE AS REQUIRED. ROUT OUT 1/4" GROOVE AND APPLY VINYL GRAPHICS ACCORDINGLY WITH SPECIFICATIONS.

**TOP COVER,**  
 .063" ALUM. ROUT OUT CUT TO SHAPE TOP OF SIGN.

**GRAPHICS,**  
**CHASE COPY :** 3M #SCOTCH LITE FILM #680-10 WHITE  
**CHASE LOGO :** 3M #SCOTCH LITE FILM #680-76 LIGHT BLUE  
**UNDER COPY & ARROWS :** 3M #SCOTCH LITE FILM #680-10 WHITE

**PAINT,**  
**TOP COVER :** MATTHEWS MP-19891 NICKEL  
**TOP FACE :** MATTHEWS MP-19891 NICKEL  
**BOTTOM FACE :** MATTHEWS MP-18248 DARK NICKEL  
**GROOVE :** MATTHEWS MP-18248 DARK NICKEL  
**BEVELED ENDS :** MATTHEWS MP-00366 BLUE



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Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

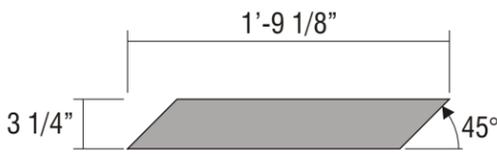
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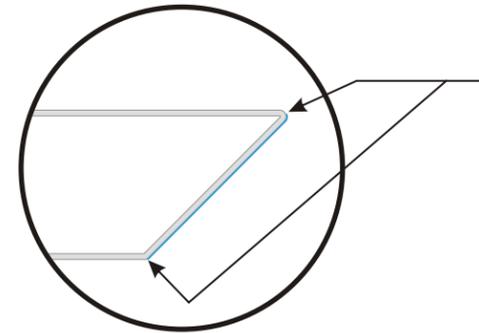
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Drawing Number: 12-00228

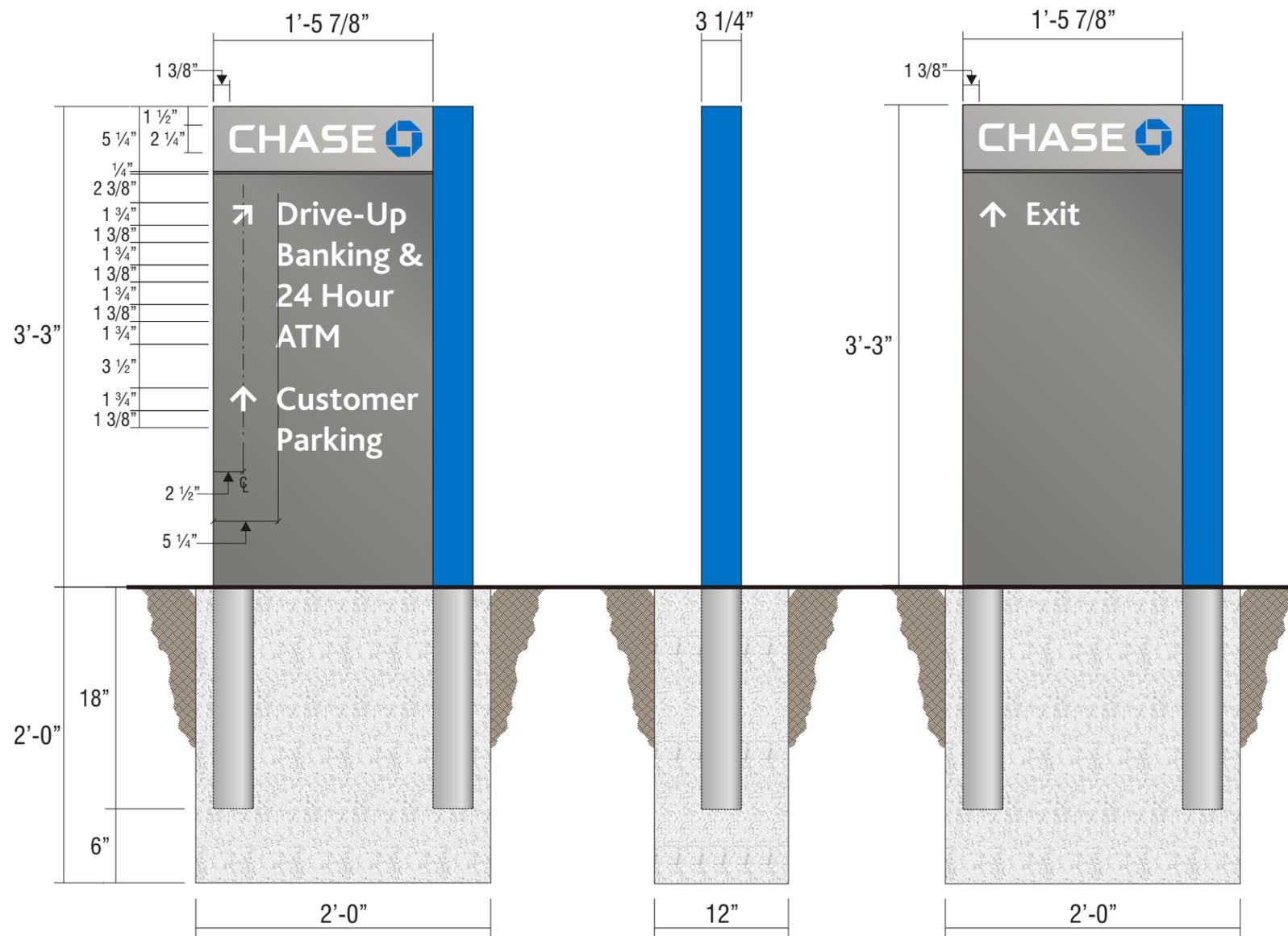
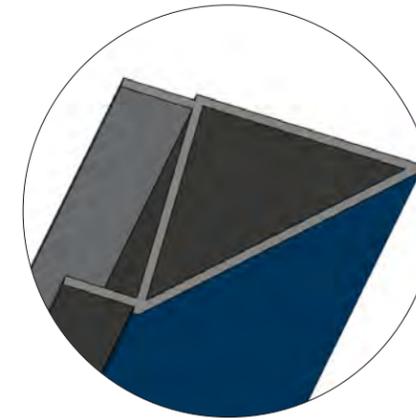
Work Order Number: 51025



**TOP VIEW**



PAINT LINE



**FRONT VIEW**

**END VIEW**

**REAR VIEW**

**N9 SIGN TYPE D-5**

**NEW DIRECTIONAL SIGN** SCALE 1" = 1'-0"  
**MANUFACTURE & INSTALL ONE (1) NON-ILLUMINATED GROUND DIRECTIONAL SIGN**

**STRUCTURE FRAME,**  
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**TOP COVER,**  
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**GRAPHICS,**  
**CHASE COPY :** 3M #SCOTCH LITE FILM #680-10 WHITE  
**CHASE LOGO :** 3M #SCOTCH LITE FILM #680-76 LIGHT BLUE  
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**PAINT,**  
**TOP COVER :** MATTHEWS MP-19891 NICKEL  
**TOP FACE :** MATTHEWS MP-19891 NICKEL  
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**GROOVE :** MATTHEWS MP-18248 DARK NICKEL  
**BEVELED ENDS :** MATTHEWS MP-00366 BLUE



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**CUSTOMER APPROVAL**

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**COPY, COLORS & SIZES**

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Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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Drawing Number: 12-00228

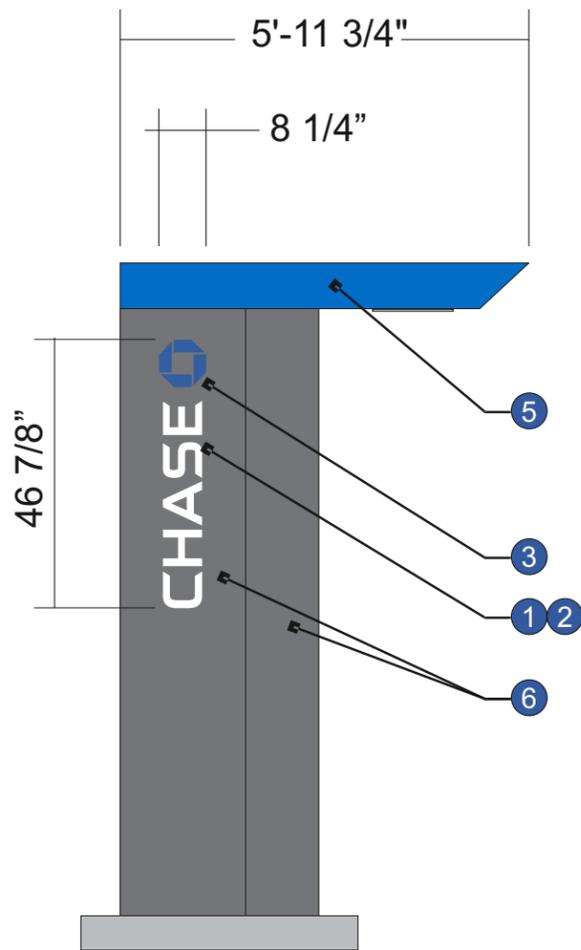
Work Order Number: 51025

Graphics depicted are for illustrative purposes only  
Use only approved artwork for production.

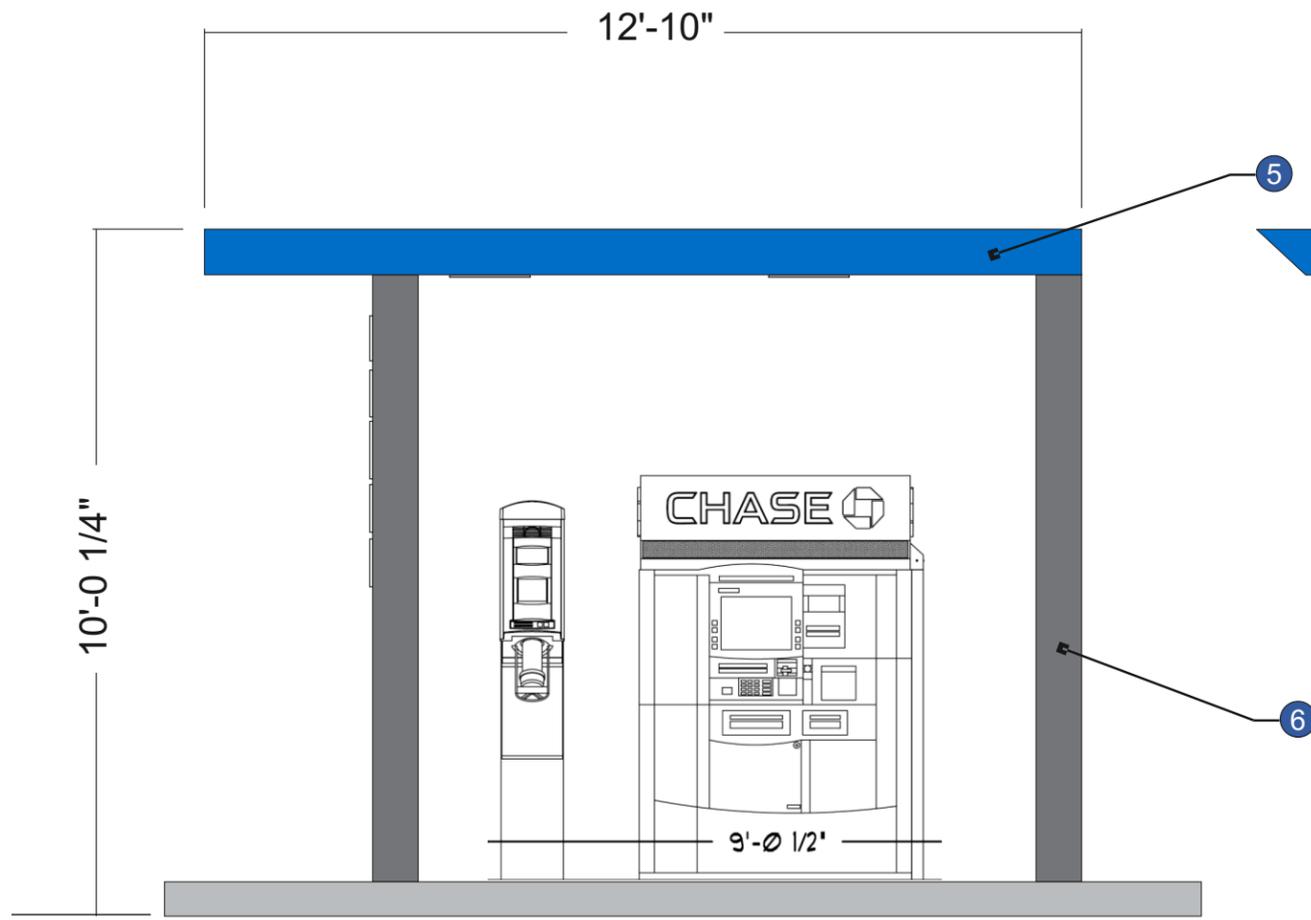
|                                 |                              |                             |   |   |  |
|---------------------------------|------------------------------|-----------------------------|---|---|--|
| 1                               | 2                            | 3                           | 4   | 5   | 6  |
| White Translucent<br>3M 3632-20 | White Diffuser<br>3M 3635-70 | Intense Blue<br>3M 3632-127 | Translucent Blue<br>Aristech 6046<br>Matte Finish | Chase Metallic Blue<br>Paint to match MP-49353<br>Metallic Gloss Finish | Chase Dark Nickel<br>Paint to match MP-18248 |

ALL EXPOSED PAINTED SURFACES SHALL BE COATED WITH MATTHEWS #282-208SP VOC GLOSS CLEAR, WITH MINIMUM 2 MILS DRY FILM THICKNESS (DFT) PER MATTHEWS APPLICATION SPECIFICATIONS.

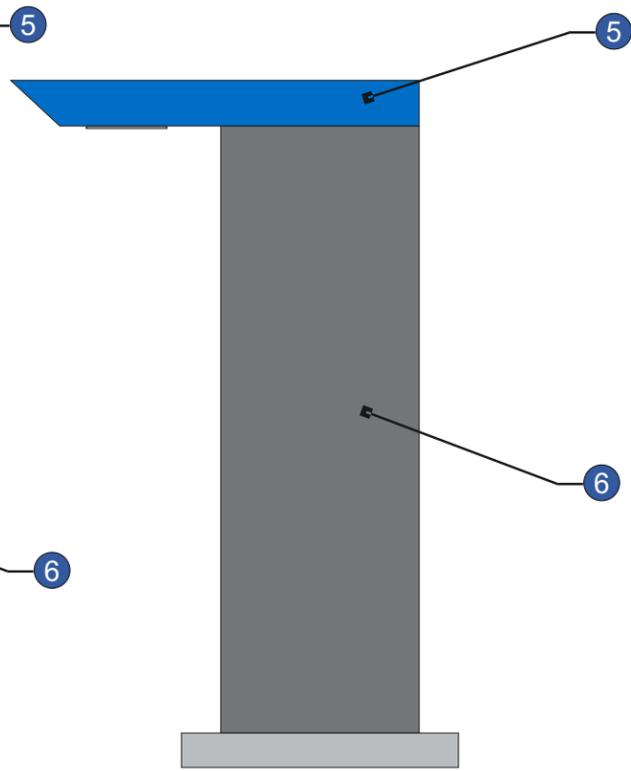
ALL EXPOSED FASTENER HEADS SHALL BE PAINTED TO MATCH THE EXTERIOR CABINET FINISH



**APPROACH ELEVATION**  
SCALE: 3/8" = 1'-0"



**FRONT VIEW CAN-ATM**  
SCALE: 3/8" = 1'-0"



**DEPARTURE ELEVATION**  
SCALE: 3/8" = 1'-0"

**N10 | N11 | SIGN TYPE | CUSTOM-CAN-ATM-SIG-VAT | CHASE BRANDING = 2.68 SQ. FT. (EACH)**  
**MANUFACTURE (1) ONE ILLUMINATED SIGNATURE ATM CANOPY**



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Newport Beach, CA. 92660

Date: 02/27/12  
Salesperson: Arthur Navarro  
Coordinator: Lisa Frederick  
Designer: kendra pickett  
Scale: As noted

**Revisions**

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**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

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Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

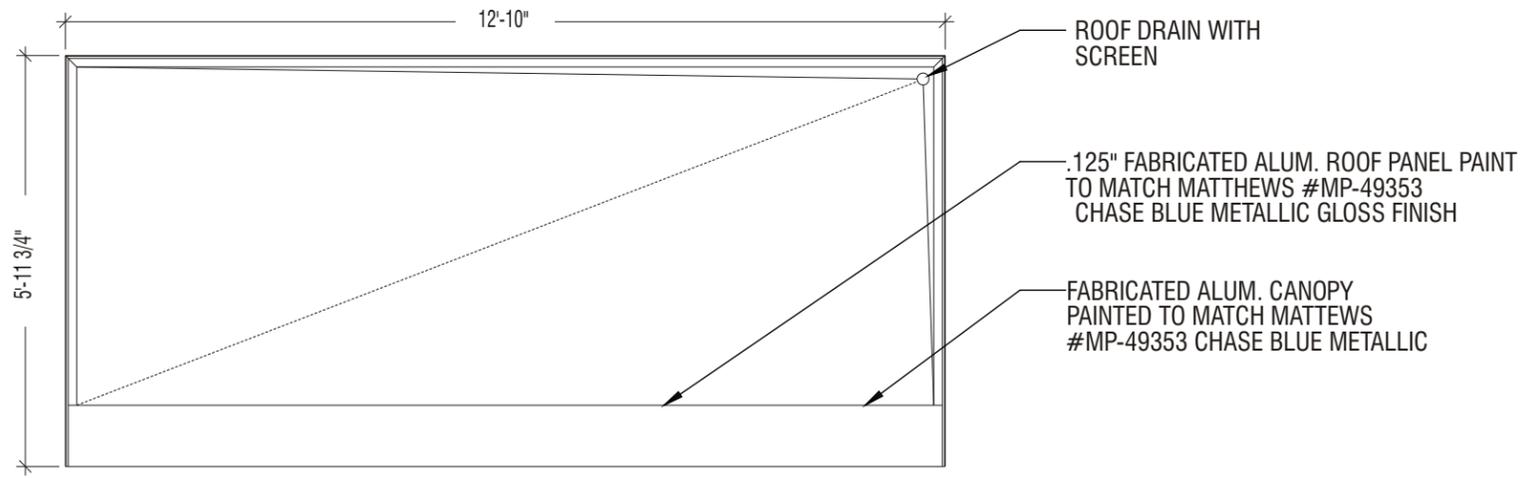
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Drawing Number: 12-00228  
Work Order Number: 51025

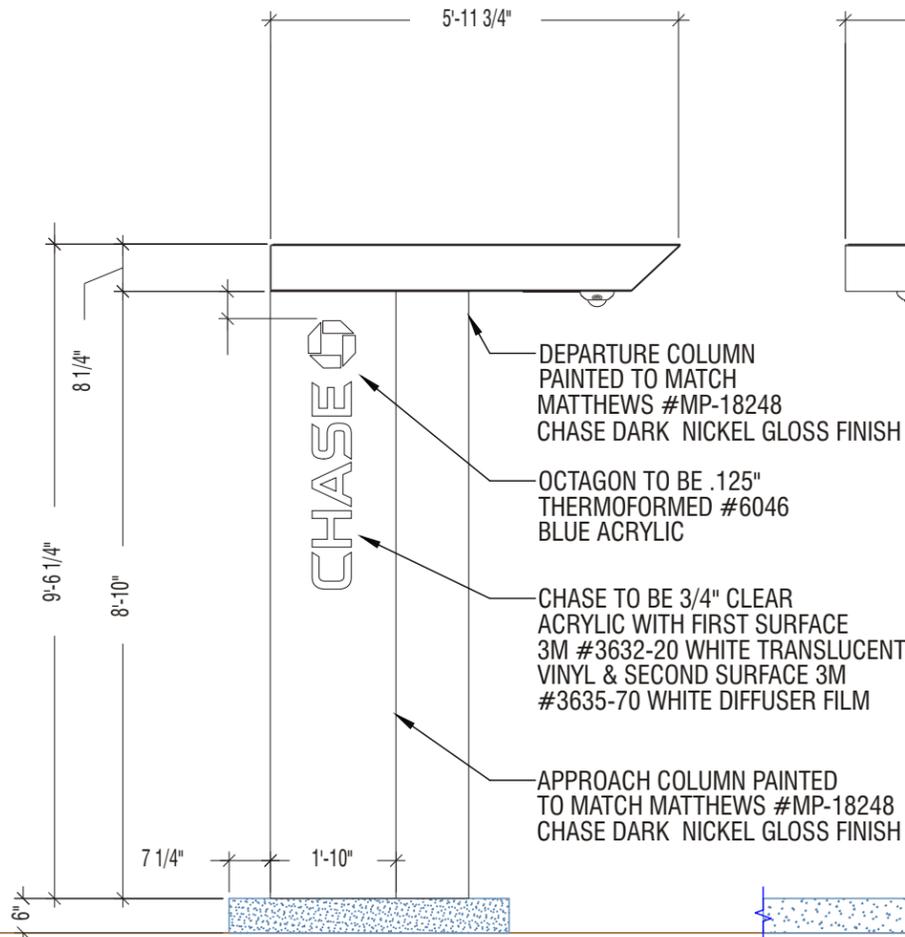
**CANOPY ELECTRICAL REQUIREMENTS (NOT INCLUDING ATM MACHINE, SECURITY CAMERA & RELATED APPLIANCES):**

LEDS: (135) PERMLIGHT 753-WHT TWISTER STAR  
 DOWNLIGHTS : (2) RUUD LIGHTING #MCR0410-1 100 WATT, 120V METAL HALIDE FIXTURE @ 3.0A  
 LED POWER SUPPLY : (2) PERMLIGHT 60-12DA @ 0.65A  
 TOTAL LOAD : 7.3 AMPS  
 CIRCUITS : (1) 20 AMP REQ'D.

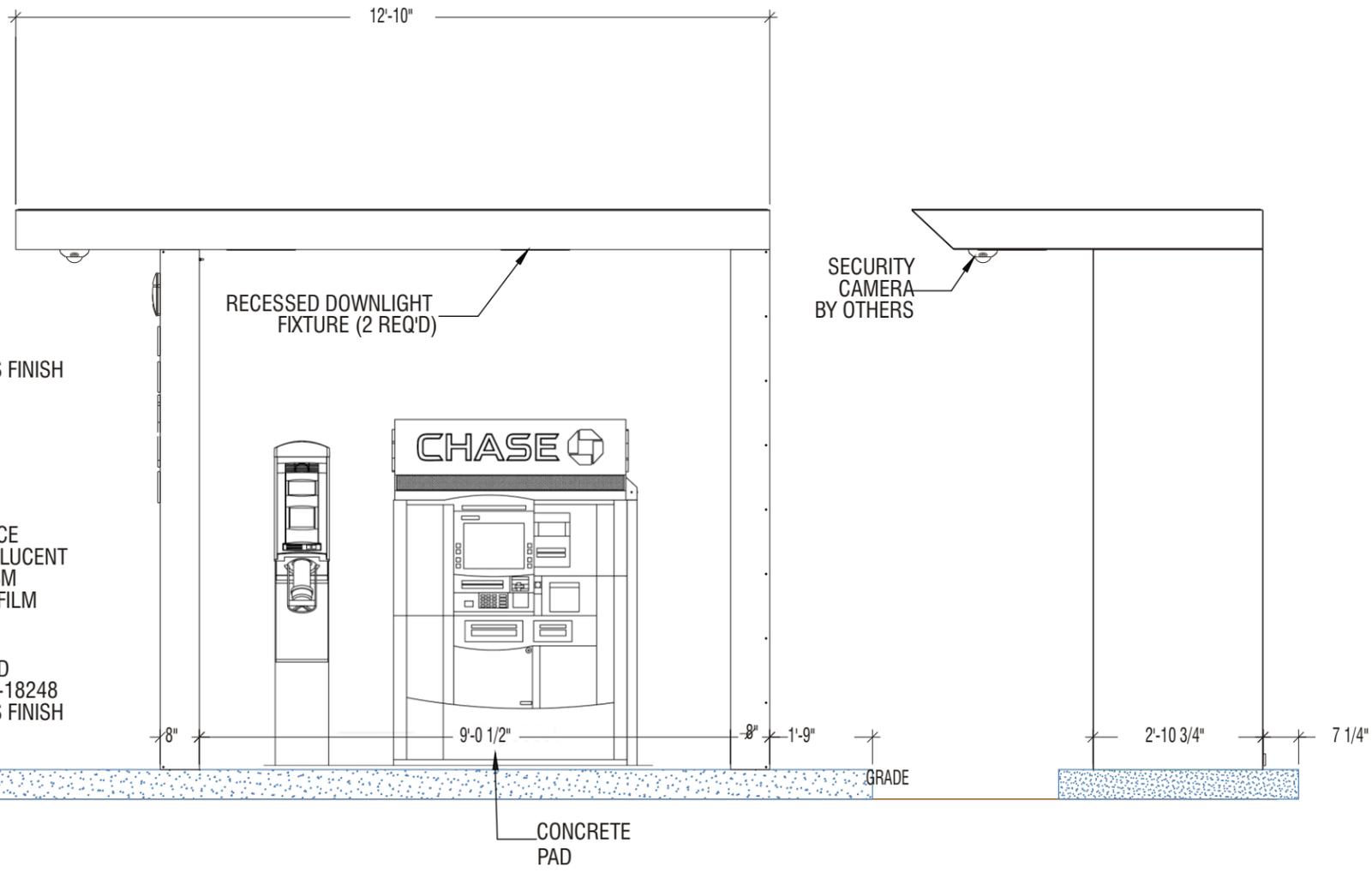
ALL EXPOSED PAINTED SURFACES SHALL BE COATED WITH MATTHEWS #282-208SP VOC GLOSS CLEAR, WITH MINIMUM 2 MILS DRY FILM THICKNESS (DFT) PER MATTHEWS APPLICATION SPECIFICATIONS.



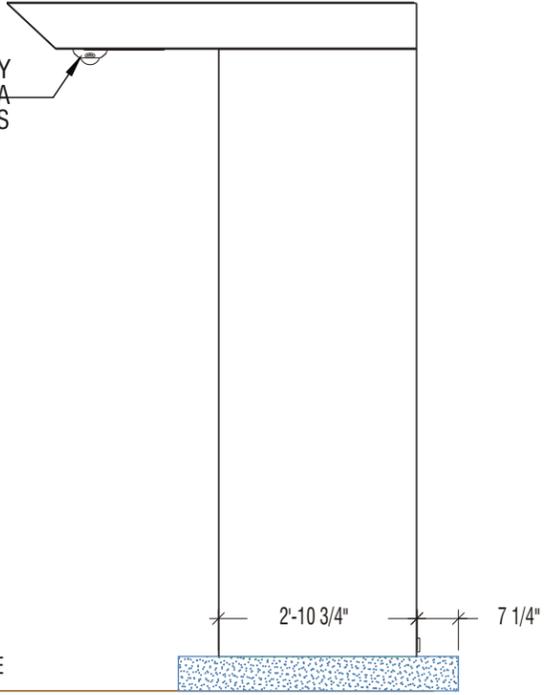
**4 TOP VIEW**  
 Scale: 3/8" = 1'-0"



**3 APPROACH ELEVATION**  
 Scale: 3/8" = 1'-0"



**1 ELEVATION**  
 Scale: 3/8" = 1'-0"



**2 DEPARTURE ELEVATION**  
 Scale: 3/8" = 1'-0"

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MEMBER OF

**JP Morgan Chase Bank #17179**  
 1000 Irvine Avenue  
 Newport Beach, CA. 92660

Date: 02/27/12  
 Salesperson: Arthur Navarro  
 Coordinator: Lisa Frederick  
 Designer: kendra pickett  
 Scale: As noted

| Revisions |   |
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**CUSTOMER APPROVAL**  
 Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

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Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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Drawing Number: 12-00228  
 Work Order Number: 51025



5

**3D VIEW OF CAN-VE-X**

Scale:NTS

NOTES:

1. Design is based on 90 mph 3 sec gust design wind speed per IBC 2006. Exposure C and 50 psf ground snow load.
2. Spread foundation analysis is based on a safe vertical soil bearing pressure minimum of 2000 psf. Soil report was not furnished. Allowable bearing pressure should be verified prior to placement of concrete. Do not place foundation in fill.
3. Concrete shall be mixed to attain a minimum compressive strength of 3000 psi in 28 days.
4. Steel support members shall be free from defects and shall meet ASTM A500 grade B with a minimum yield strength of 46000 psi for tube. Steel plate and angle shall meet ASTM A36. Aluminum shapes be extruded from 6061-T6 alloy. Aluminum sheet shall be 3003-H14 alloy. Aluminum plate shall be 5052-H34 alloy.
5. Structural bolts shall be zinc coated A325 unless otherwise noted. All other fasteners shall be stainless steel or otherwise coated to prevent corrosion.
6. Anchor bolts shall be cut from A36 round stock. Exposed surfaces shall be galvanized or coated to prevent corrosion.
7. All voids between column base plate and foundation surface shall be completely filled with high strength, non-shrink grout.
8. Welds shall be made with E70xx electrodes for steel and a 4000 series filler for aluminum by persons qualified in accordance with AWS standards within the past two years.
9. Steel reinforcing bars shall conform to ASTM 615 grade 60 with deformations in accordance with ASTM A-305. Welding of reinforcing bars is prohibited.
10. This design is prototypical and should not be used for site specific applications unless deemed suitable by a competent Professional Engineer.



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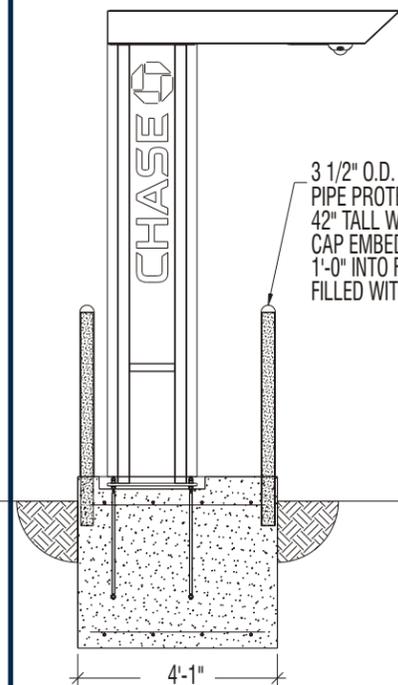
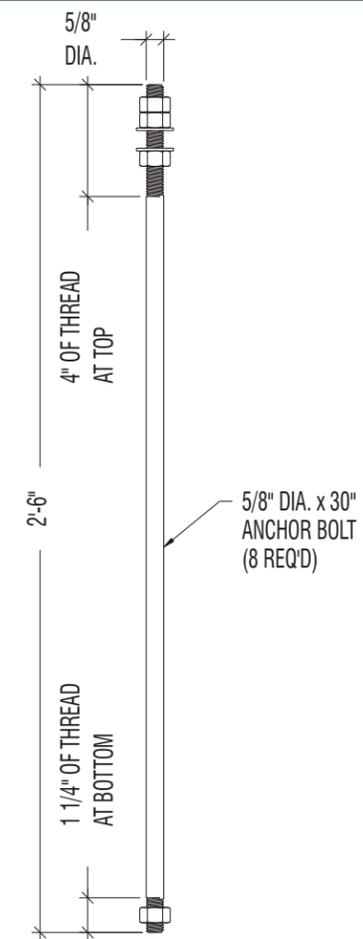
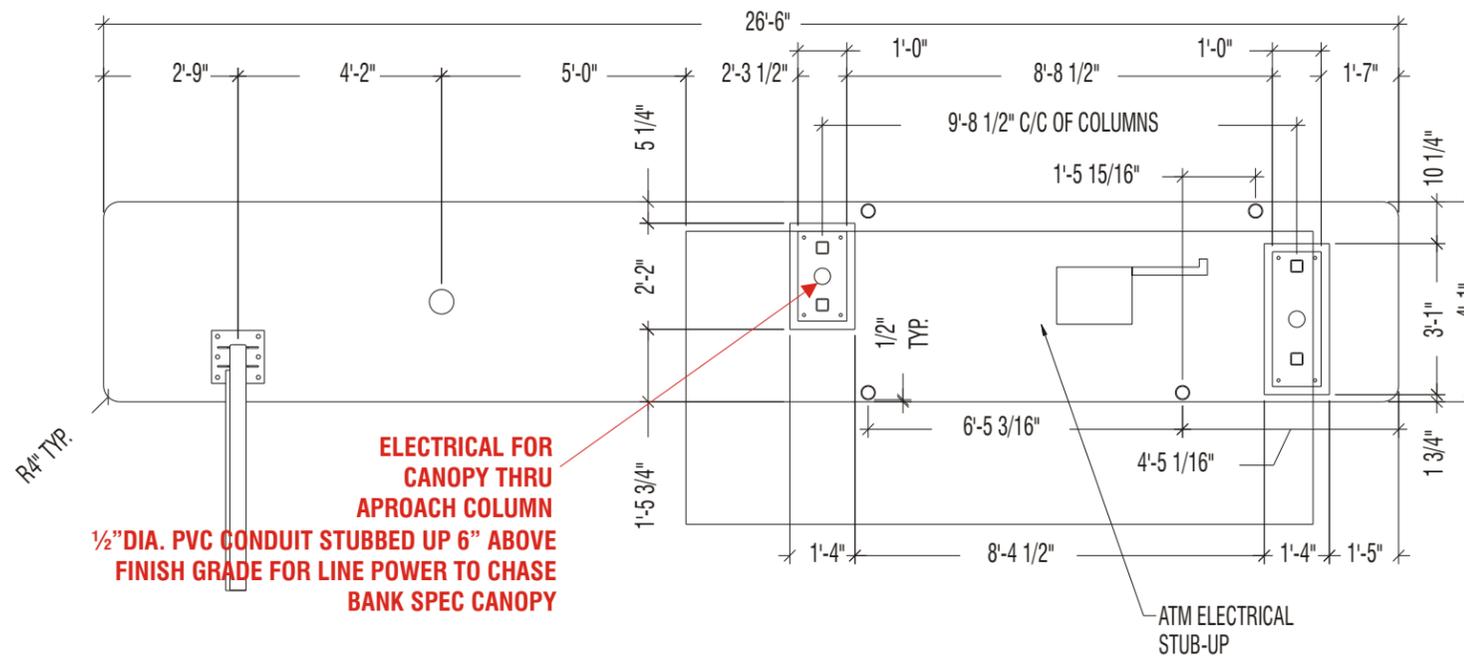
Signtech does NOT provide primary electrical to sign location -  
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Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

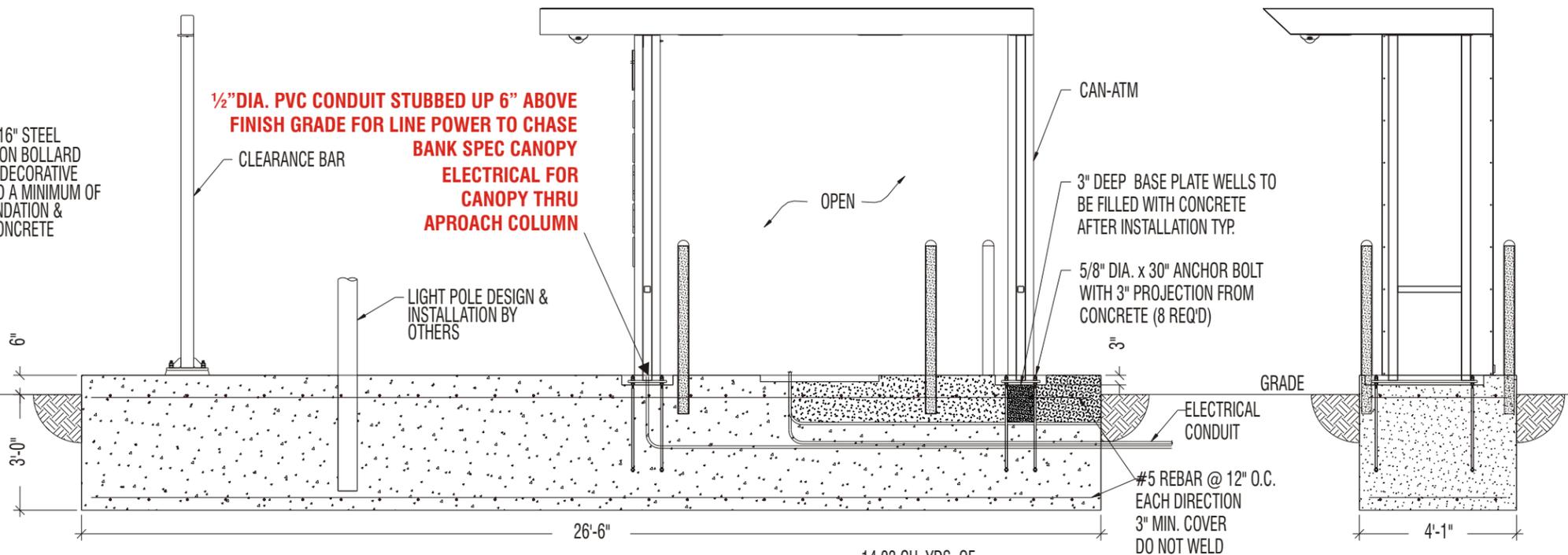
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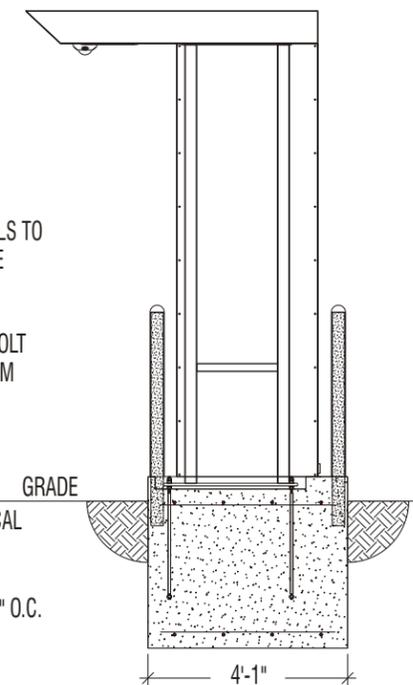
Work Order Number: 51025



**29** **SIDE VIEW AT APPROACH COLUMN** Scale: 1" = 1'-0"



**27** **INSTALLATION ELEVATION** Scale: NTS



**28** **SIDE VIEW AT DEPARTURE COLUMN** Scale: NTS



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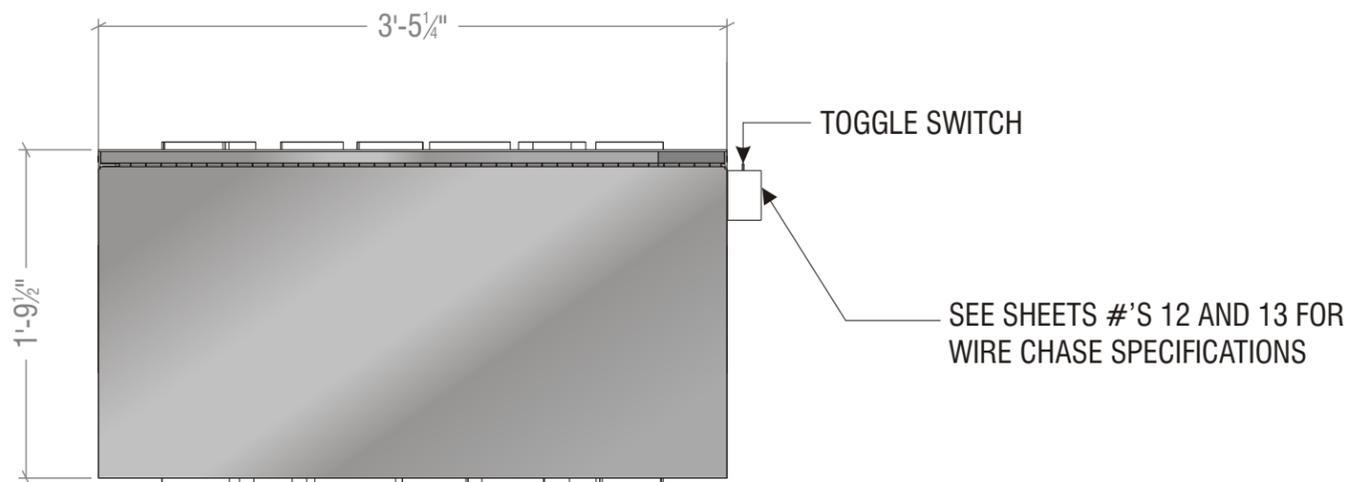
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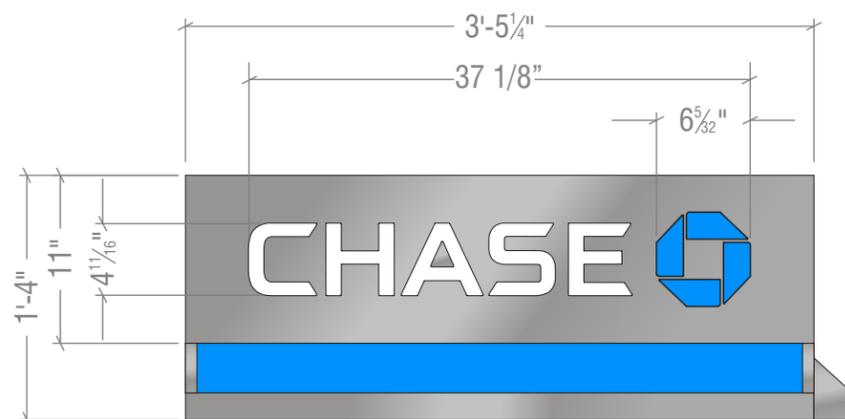




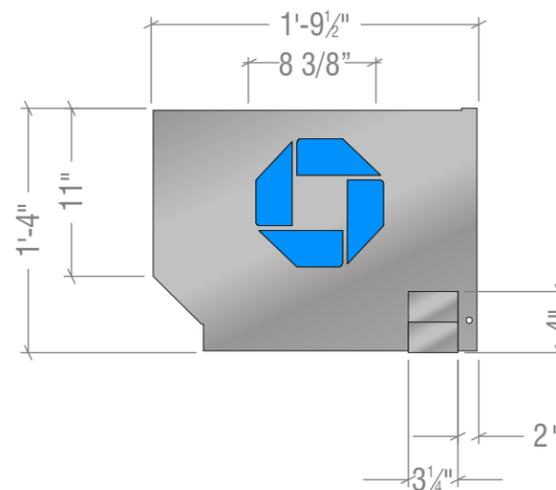
**B** TOP VIEW  
Scale: 1 1/2" = 1'-0"



**F** MODEL PERSPECTIVE VIEW  
Scale: NTS



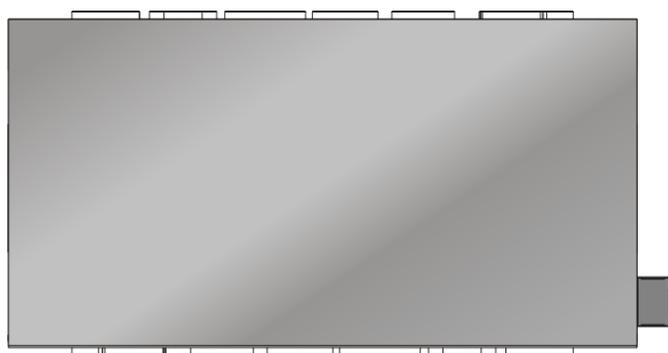
**A** FRONT VIEW 1.65 SQ. FT.  
Scale: 1 1/2" = 1'-0"



**D** RIGHT VIEW .49 SQ. FT.  
Scale: 1 1/2" = 1'-0"



**E** BACK VIEW 1.65 SQ. FT.  
Scale: 1 1/2" = 1'-0"



**C** BOTTOM VIEW  
Scale: 1 1/2" = 1'-0"

**N12 N13 SIGN TYPE TOP-FS-DU-N-LED CHASE BRANDING = 4.28 SQ. FT. (TOTAL EACH)**

**MANUFACTURE (2) TWO ILLUMINATED TOPPER CABINETS PER DRAWING SPECIFICATIONS. TO BE INSTALL ON TOP OF EXISTING ATM MACHINE WITH DOUBLE SIDE TAPE AND SILICONE AS REQUIRED.**



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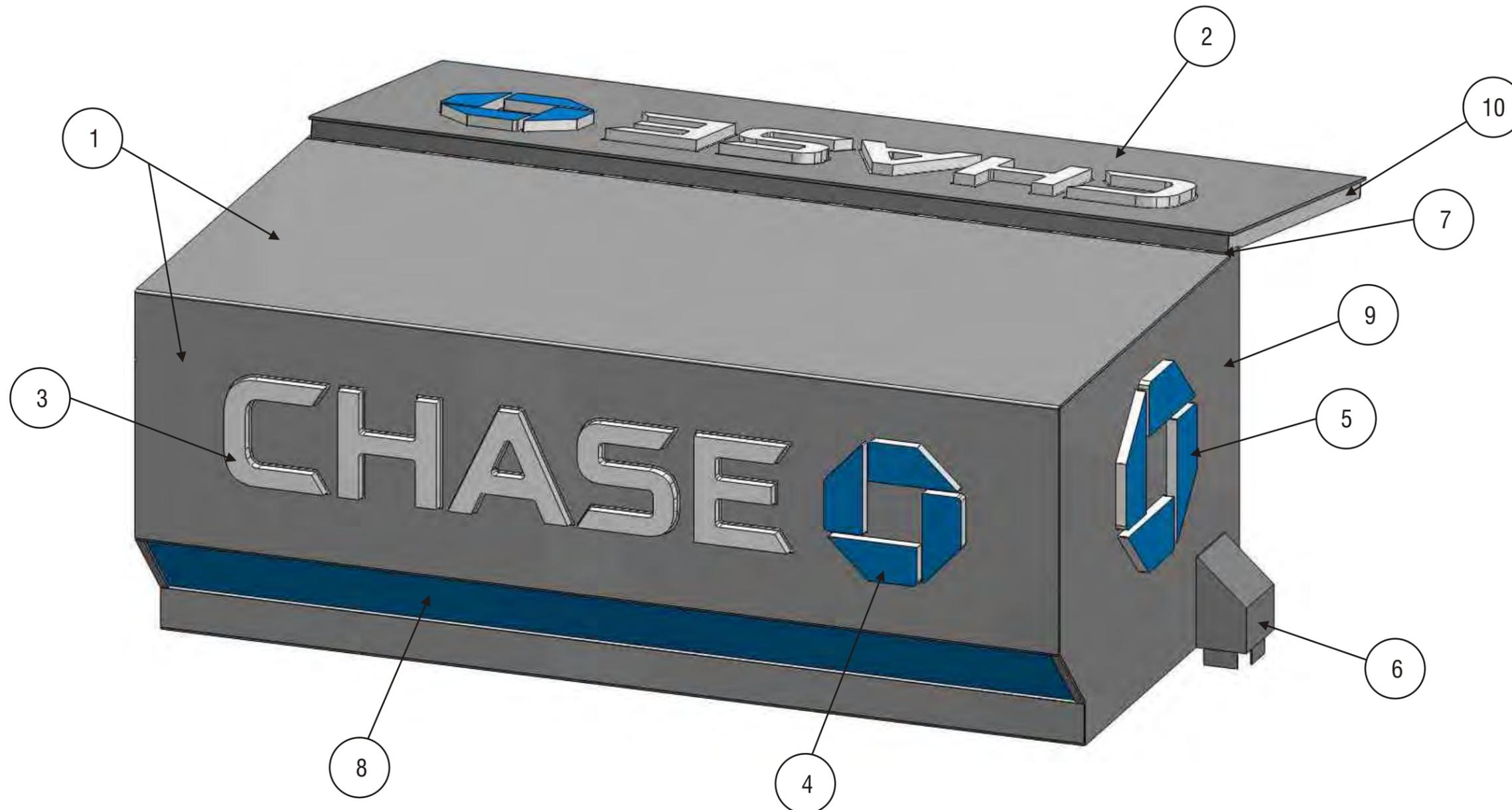
Work Order Number: 51025

**SIGN TYPE TOP-FS-DU-N-LED**

**NOTES:**

- 1.- .125" ALUM. FORMED CABINET FACE, TOP, BOTTOM WITH ROUTED OUT COPY AND SYMBOL PAINT FINISH CHASE NICKEL (MATTHEWS MP-19891) GLOSS FINISH.
- 2.- .125" ALUM. HINGED ACCESS DOOR WITH ROUTED OUT COPY AND SYMBOL SECURE WITH 10-32 S.S. SCREWS AT SIDES PAINTED TO MATCH CHASE NICKEL. PAINT FINISH CHASE NICKEL (MATTHEWS MP-19891) GLOSS FINISH.
- 3.- 3/4" CLEAR STEP-ROUTED PUSH THRU ACRYLIC W/ 3M #3630-20 WHITE VINYL APPLIED FIRST SURFACE & 3M #3635-70 DIFFUSER FILM APPLIED SECOND SURFACE
- 4.- 3/4" CLEAR PUSH THRU ACRYLIC W/ 3M #3632-127 BLUE VINYL APPLIED SECOND SURFACE (TYP. FRONT & BACK)
- 5.- 3/4" CLEAR ACRYLIC PUSH-THRU OCTAGON WITH 3M VINYL #3632-127\APPLIED SECOND SURFACE (TYP. EACH SIDE)

- 6.- .063" FORMED ALUM. UPPER WIRECHASE WELDED TO TOPPER CABINET PAINT TO MATCH MATTHEWS #MP-19891 CHASE NICKEL GLOSS FINISH
- 7.- .063" FORMED ALUM. LOWER WIRECHASE (NOT SHOWN) 60" LONG SCREWED TO UPPER WIRECHASE & SECURED TO ATM MACHINE WITH 3M VHB TAPE PAINT TO MATCH MATTHEWS #MP-49353 CHASE METALLIC BLUE\{L\*CUT TO LENGTH & INSTALL IN FIELD\*\}
- 8.- 2" ALUMINUM PIANO HINGE
- 9.- 3/16" CLEAR ACRYLIC WITH SECOND SURFACE APPLIED 3M #3632-127 INTENSE BLUE VINYL & 3M #3635-70 DIFFUSER FILM
- 10.- .125" ALUMINUM END PAINTED "CHASE NICKEL" MATTHEWS MP-19891, GLOSS FINISH
- 11.- 3/4" ALUMINUM SQUARE TUBE FACE FRAME ON BACK OF HINGED FACE PAINTED "CHASE NICKEL" MATTHEWS MP-19891, GLOSS FINISH. INSET FRAME 3/16" FROM EGDE ON SIDES & BOTTOM. TOP TO BE FLUSH WITH EDGE.



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**JP Morgan Chase Bank  
 #17179**

1000 Irvine Avenue  
 Newport Beach, CA. 92660

Date: 02/27/12  
 Salesperson: Arthur Navarro  
 Coordinator: Lisa Frederick  
 Designer: kendra pickett  
 Scale: As noted

**Revisions**

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**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

Signtech does NOT provide primary electrical to sign location -  
**RESPONSIBILITY OF OTHERS!**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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Drawing Number: 12-00228

Work Order Number: 51025

**SIGN TYPE** TOP-FS-DU-N-LED



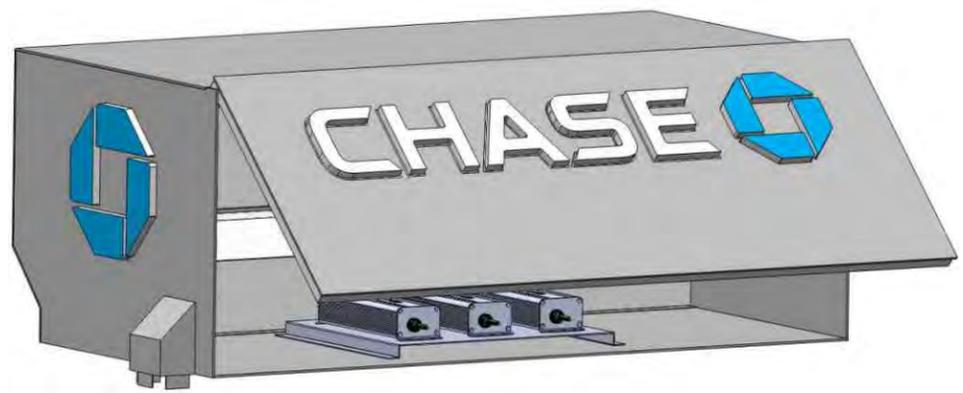
**1 FRONT PERSPECTIVE VIEW** Scale:NTS



**2 BACK PERSPECTIVE VIEW** Scale:NTS



**3 FRONT PERSPECTIVE VIEW W/ DOOR OPEN** Scale:NTS



**4 BACK PERSPECTIVE VIEW W/ DOOR OPEN** Scale:NTS



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**CUSTOMER APPROVAL**

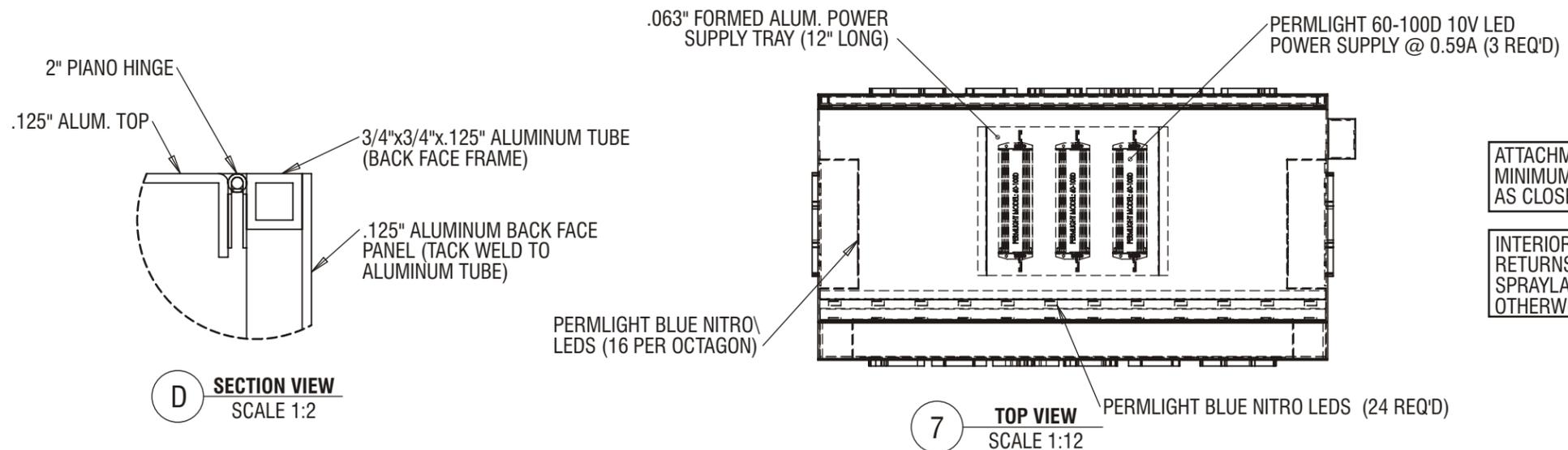
Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

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**RESPONSIBILITY OF OTHERS!**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

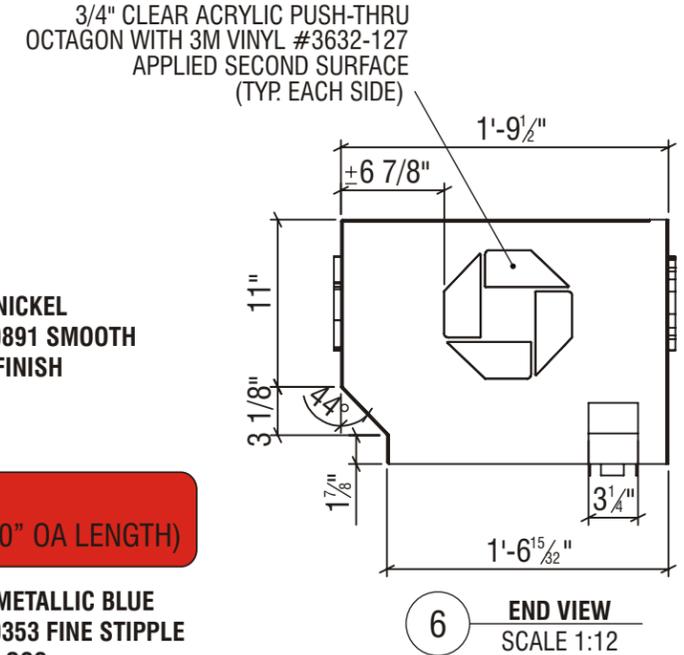
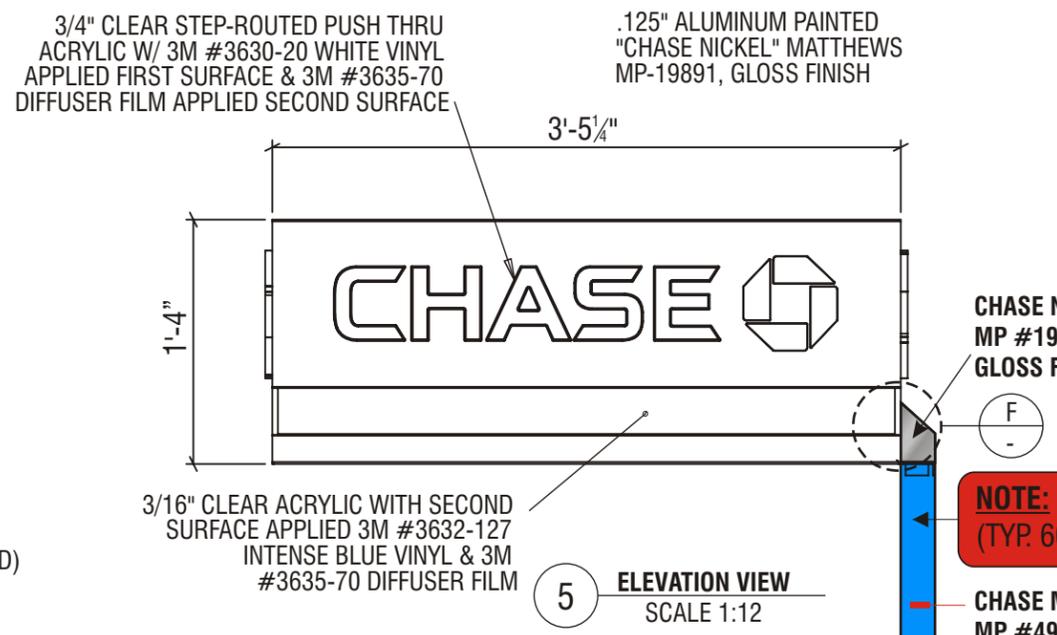
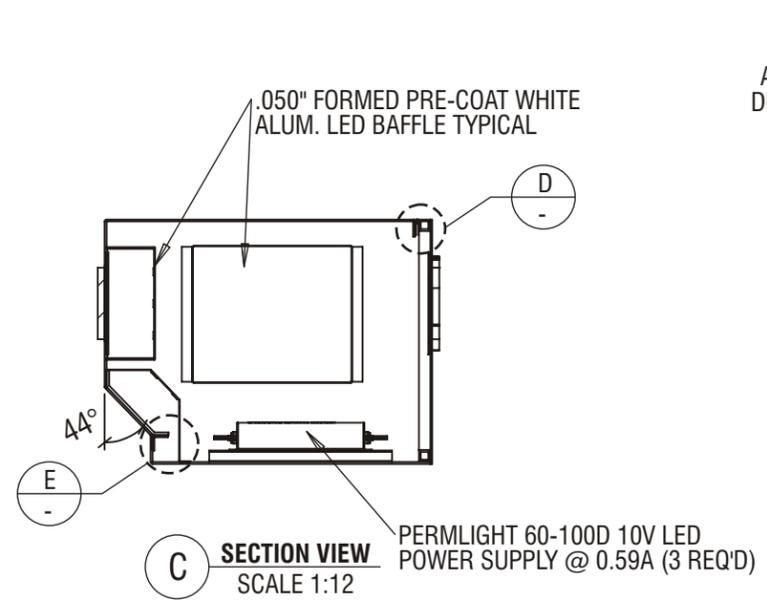
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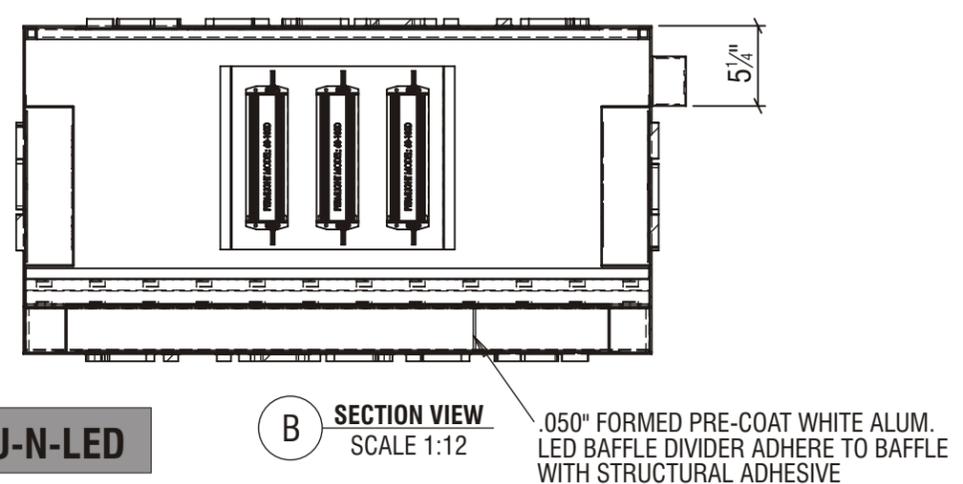
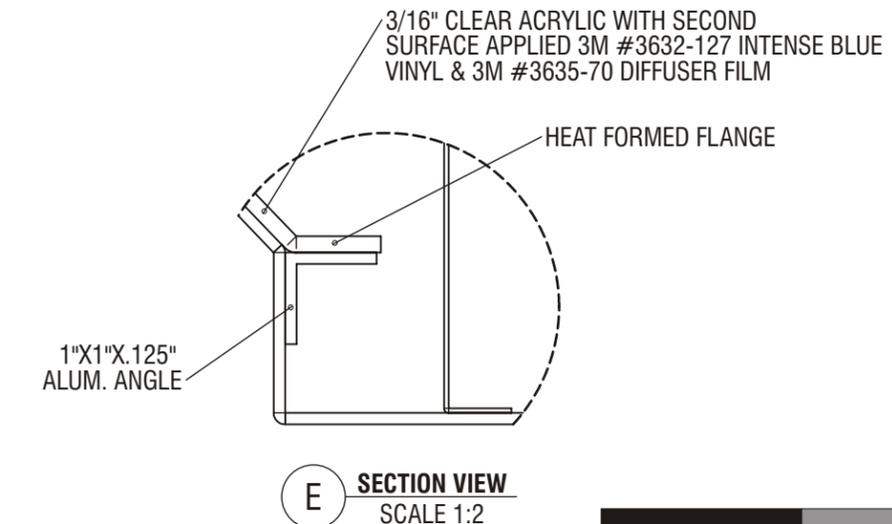
ATTACHMENT TO ATM VARIES, BASED ON MODEL. AT A MINIMUM, (4) FOUR FASTENERS SHALL BE USED SPACED AS CLOSE AS POSSIBLE TO CORNERS.

INTERIOR SURFACES OF ALL ALUMINUM RETURNS & BACKS SHALL BE PAINTED SPRAYLAT STARBRITE WHITE UNLESS OTHERWISE NOTED.

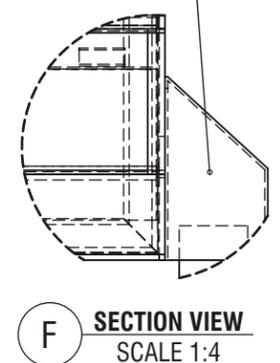


**NOTE:**  
(TYP. 60" OA LENGTH)

**CHASE METALLIC BLUE**  
MP #49353 FINE STIPPLE  
SEMI-GLOSS



.063" FORMED ALUM. UPPER WIRECHASE WELDED TO TOPPER CABINET PAINT TO MATCH MATTHEWS #MP-19891 CHASE NICKEL GLOSS FINISH



**SIGN TYPE TOP-FS-DU-N-LED**



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Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

Signtech does NOT provide primary electrical to sign location - **RESPONSIBILITY OF OTHERS!**

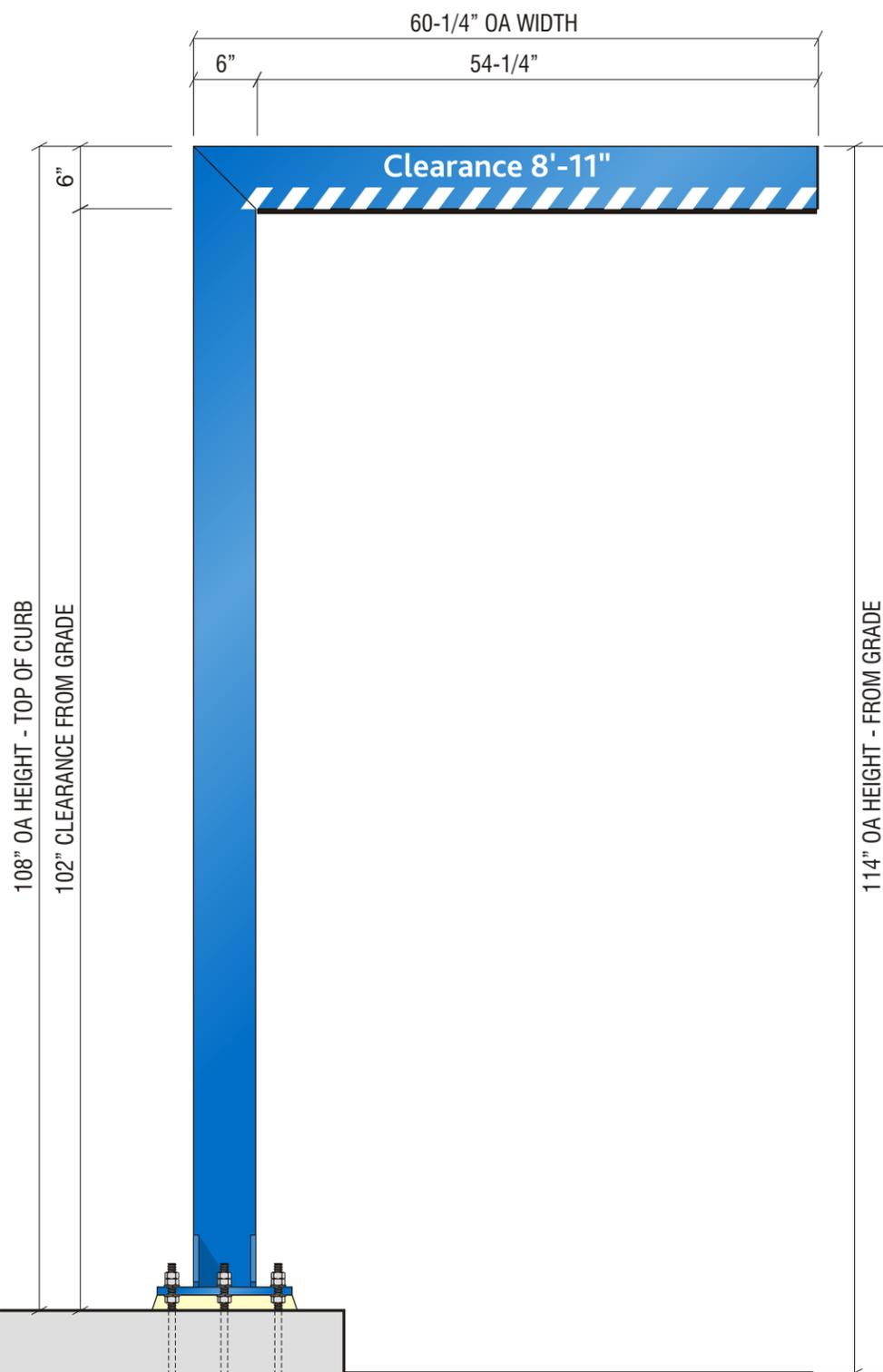
Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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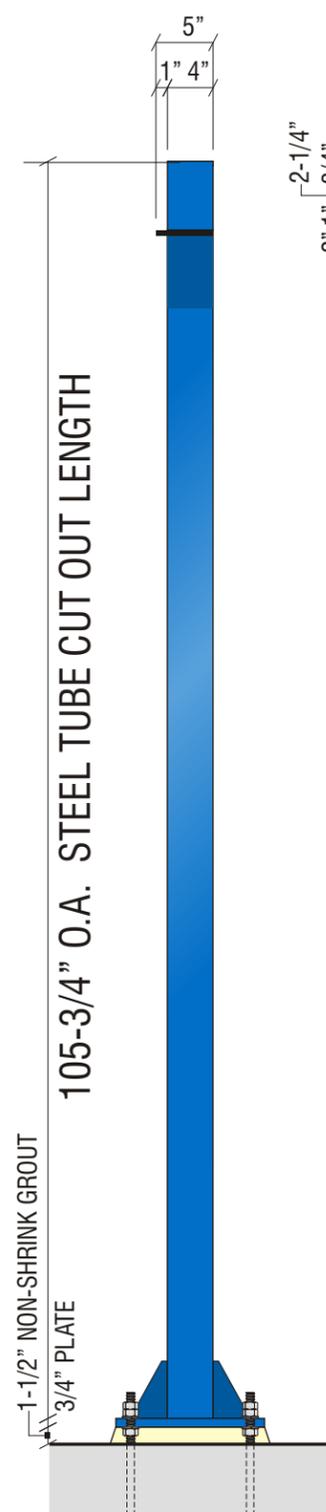
Drawing Number: 12-00228  
Work Order Number: 51025



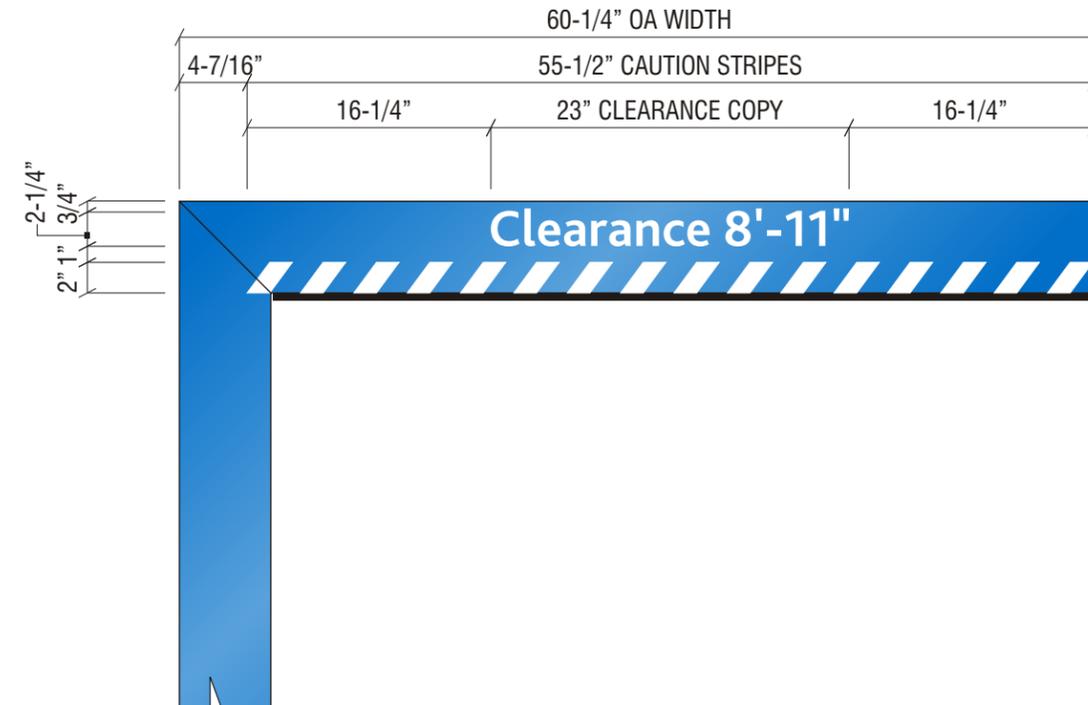
**2 TOP VIEW @ HEAD-ACHE BAR (HB-U)**  
Scale: 3/4" = 1'-0"



**1 FRONT VIEW @ HEAD-ACHE BAR (HB-U)**  
Scale: 3/4" = 1'-0"



**3 LEFT SIDE VIEW**  
Scale: 3/4" = 1'-0"



**4 ENLARGEMENT DETAIL @ VINYL**  
Scale: 1" = 1'-0"

**N14 N15 SIGN TYPE HB-U**

**CLEARANCE BAR DISPLAY**  
MANUFACTURE AND INSTALL TWO (2) NON-ILLUMINATED DRIVE UP CLEARANCE BARS

- PLATE:** 13" x 13" x 3/4" STEEL PLATE WITH 1" DIA. MOUNTING HOLES. SEE DETAIL FOR WELDING AND ANCHORS.
- BAR:** 4" x 6" x 1/4" STEEL RECTANGLE TUBE MITRED CUT CORNER AND 1/8" END CAP.
- RUBBER:** HORIZONTAL CLEARANCE BAR TO HAVE 1/2" x 5" x 54-1/4" RUBBER SAFETY BUMPER ATTACHED TO BOTTOM OF BAR.
- VINYL:** HORIZONTAL CLEARANCE BAR TO HAVE SCOTCHLITE WHITE 680-10 WHITE VINYL.
- PAINT:** HORIZONTAL, VERTICAL CLEARANCE BARS, BASE PLATE, NUTS AND BOLTS PAINTED CHASE "METALLIC BLUE" MATTHEWS MP-49353, GLOSS FINISH.



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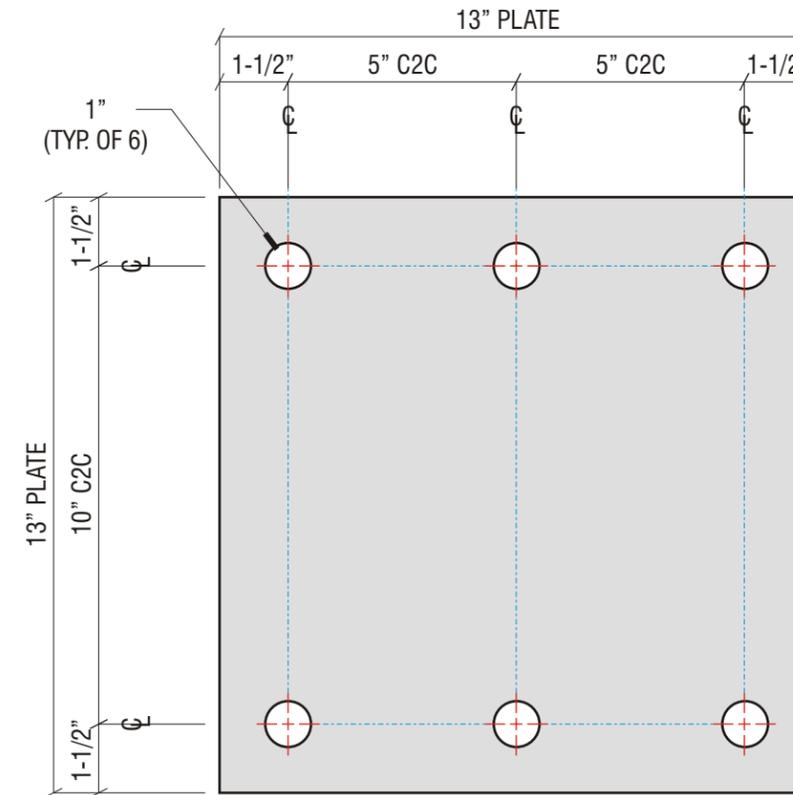
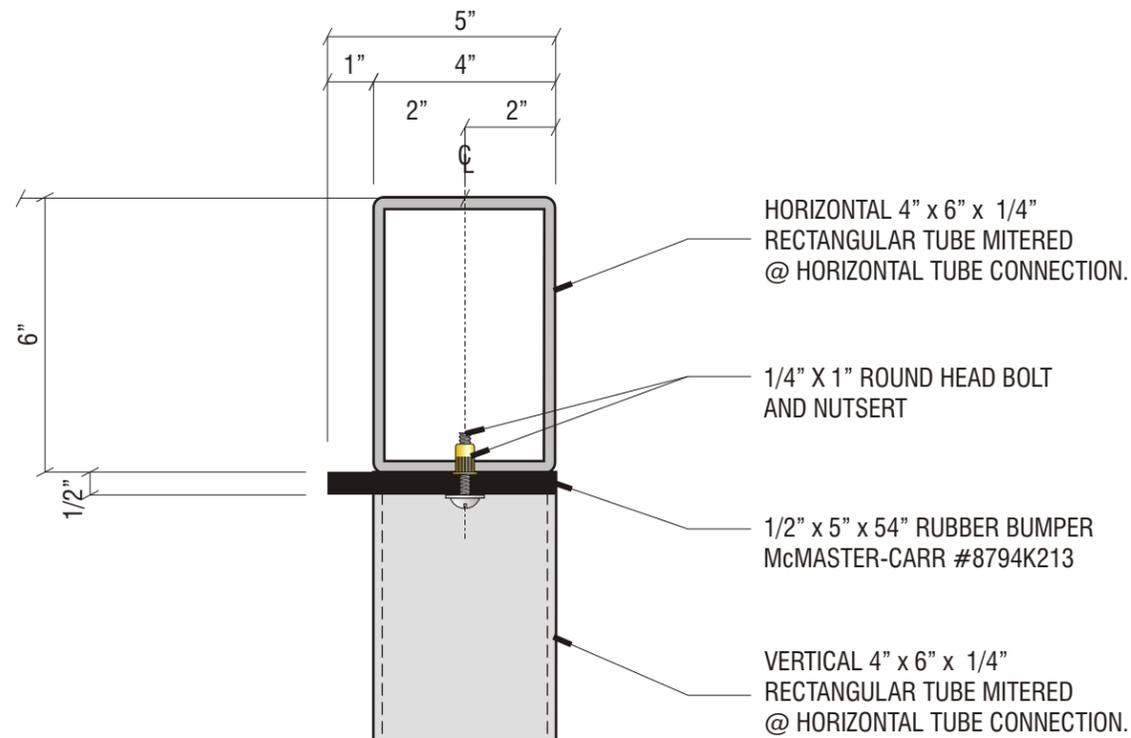
Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

Signtech does NOT provide primary electrical to sign location - **RESPONSIBILITY OF OTHERS!**

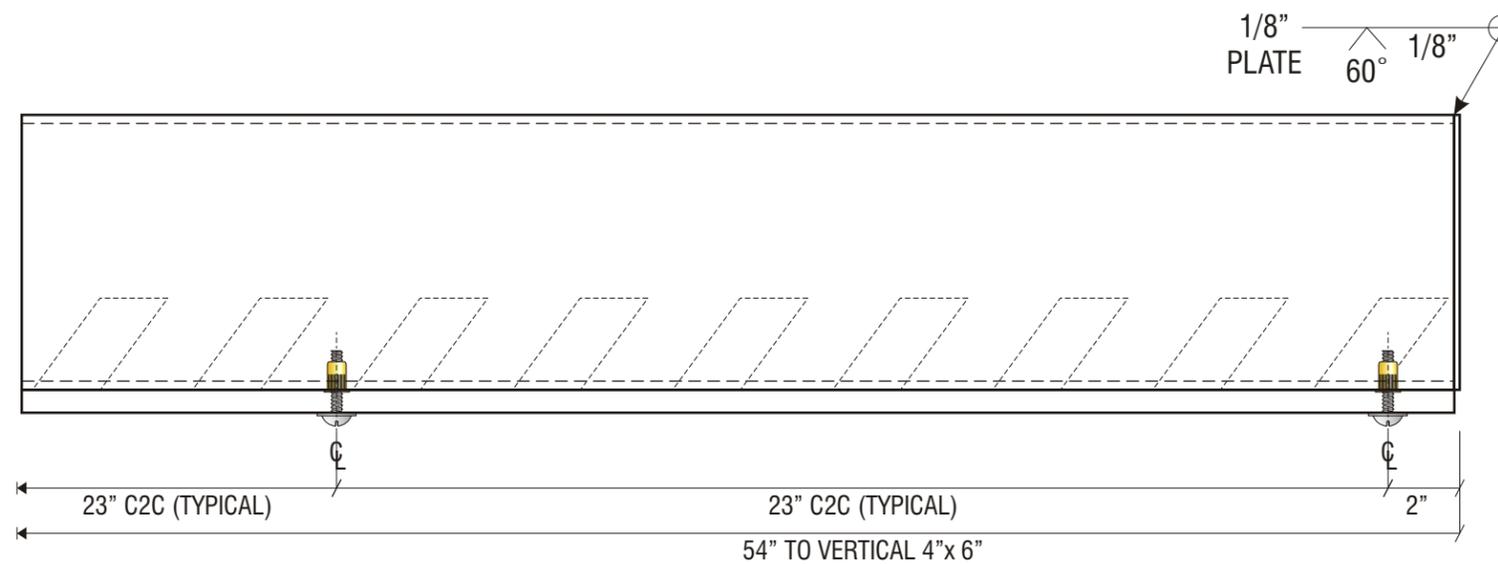
Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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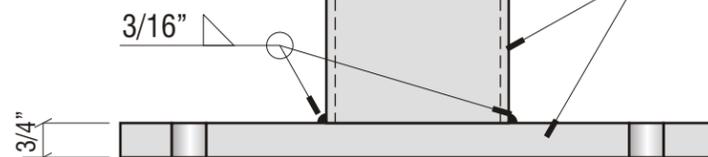
Drawing Number: 12-00228  
Work Order Number: 51025



**2** TOP VIEW DETAIL @ BASE PLATE  
Scale: 3" = 1'-0"



**3** FRONT VIEW DETAIL @ END CAP  
Scale: 3" = 1'-0"



**1** VERTICAL SECTION DETAIL  
Scale: 3" = 1'-0"



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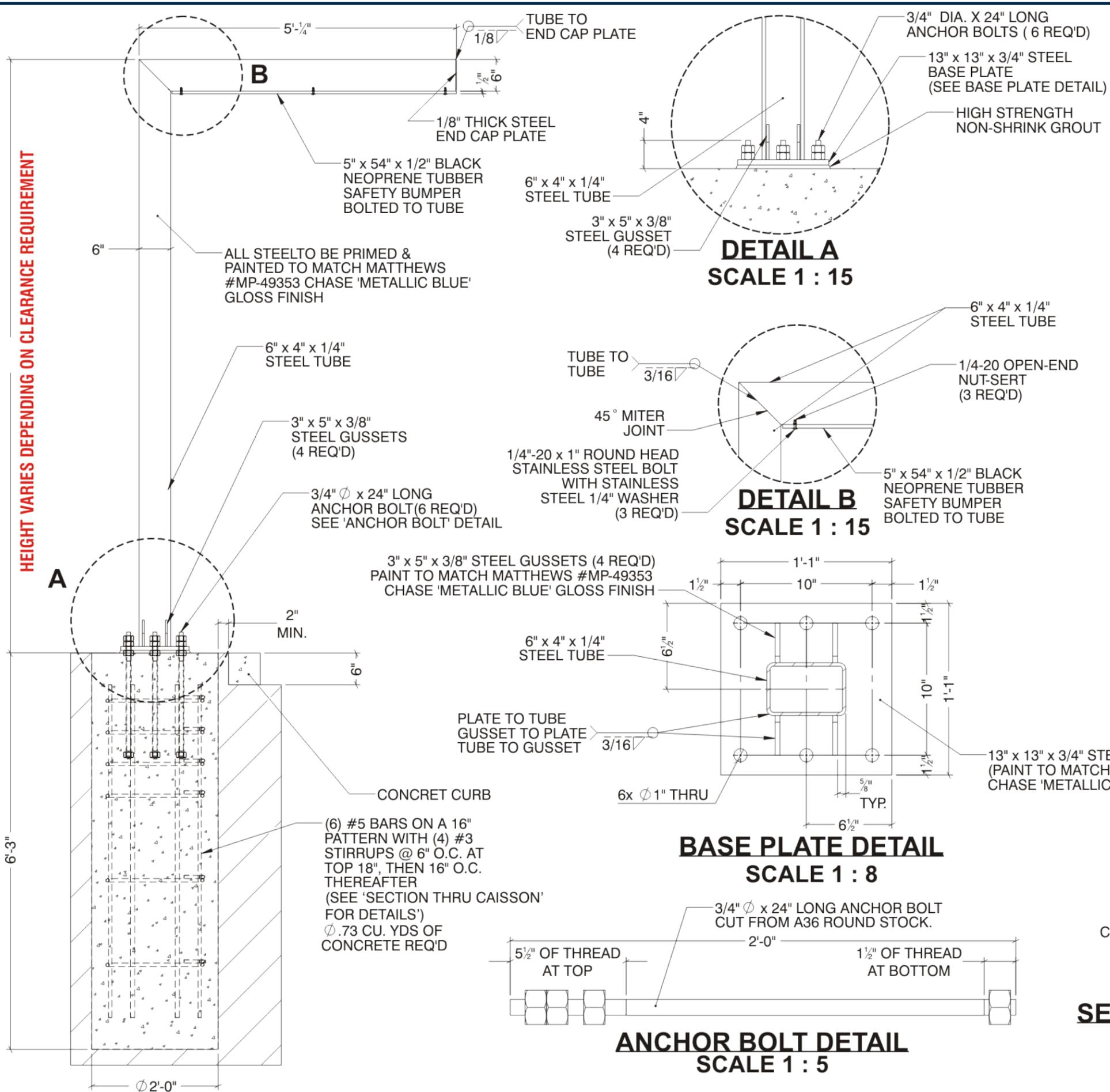
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Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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Drawing Number: 12-00228

Work Order Number: 51025



**NOTES:**

- DESIGN IS BASED ON GUIDELINES PROVIDED BY THE INTERNATIONAL BUILDING CODE 2006 EDITION.
- FOUNDATION IS BASED ON A SAFE LATERAL SOIL BEARING PRESSURE MINIMUM OF 300 PSF PER FOOT OF DEPTH. SOIL REPORT WAS NOT FURNISHED. ALLOWABLE BEARING PRESSURE SHOULD BE VERIFIED PRIOR TO PLACEMENT OF CONCRETE. DO NOT PLACE FOUNDATION IN FILL.
- CONCRETE SHALL BE MIXED TO ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 300 PSI IN 28 DAYS.
- SUPPORT MEMBER SHALL BE FREE FROM DEFECTS AND SHALL MEET ASTM A500 GRADE B WITH A MINIMUM YIELD STRENGTH OF 46000 PSI FOR TUBE. PLATE AND ANGLE SHALL MEET ASTM A36.
- STRUCTURAL BOLTS SHALL BE ZINC COATED A307 UNLESS OTHERWISE NOTED.
- ANCHOR BOLTS SHALL BE CUT FROM A36 ROUND STOCK. EXPOSED SURFACES SHALL BE GALVANIZED OR COATED TO PREVENT CORROSION.
- ALL VOIDS BETWEEN COLUMN BASE PLATE AND FOUNDATION SURFACE SHALL BE COMPLETELY FILLED WITH HIGH STRENGTH NON-SHRINK GROUT.
- WELDS SHALL BE MADE WITH 370xx ELECTRODES BY PERSONS QUALIFIED IN ACCORDANCE WITH AWS STANDARDS WITHIN THE PAST TWO YEARS. PARTICULAR CARE SHALL BE TAKEN TO PROVIDE SUFFICIENT PREHEAT OF THE THICKER ELEMENT FOR THE SOUNDNESS OF THE WELD. OTHERWISE, USE 1/4" MINIMUM WELDS.
- STEEL REINFORCING BARS SHALL CONFORM TO ASTM 615 GRADE 60 WITH DEFORMATIONS IN ACCORDANCE WITH ASTM A-405. WELDING OF REINFORCING BARS IS PROHIBITED.
- THIS DESIGN IS PROTOTYPICAL AND SHOULD NOT BE USED FOR SITE SPECIFIC APPLICATIONS UNLESS DEEMED SUITABLE BY A COMPETENT PROFESSIONAL ENGINEER.
- ALL EXPOSED PAINTED SURFACES SHALL BE COATED WITH MATTHEWS #282-208SP VOC GLOSS CLEAR, WITH A MINIMUM 2 MILS DRY FILM THICKNESS(DFT) PER MATTHEWS APPLICATION SPECIFICATIONS.

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MEMBER  
 WSA INTERNATIONAL SIGN ASSOCIATION  
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 CESA CALIFORNIA ELECTRIC SIGN ASSOCIATION

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 Designer: kendra pickett  
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**CUSTOMER APPROVAL**

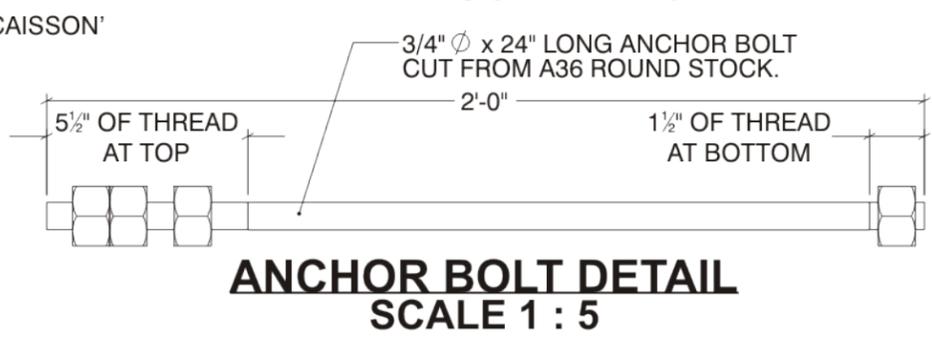
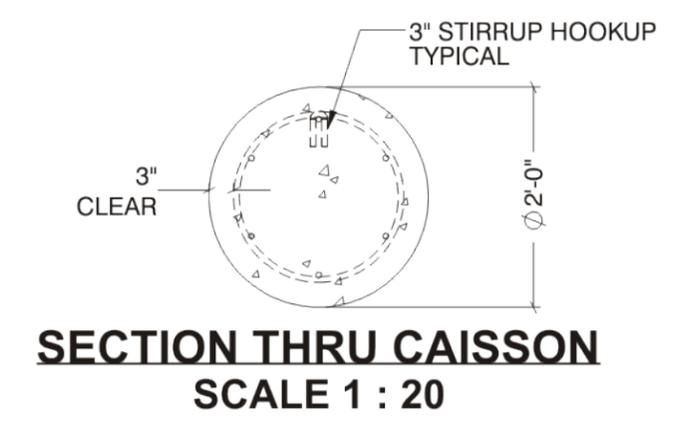
Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
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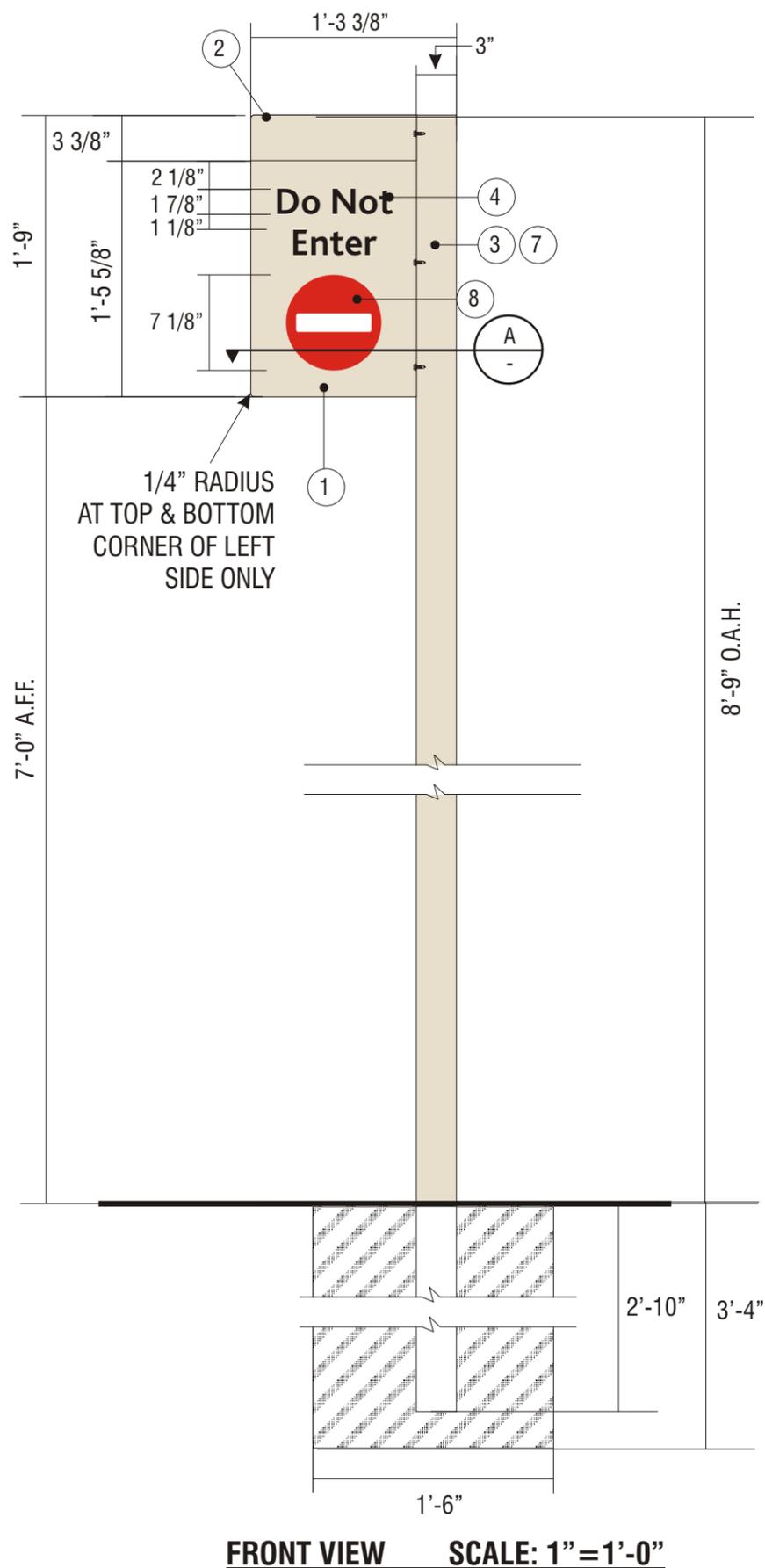
Drawing Number: 12-00228  
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**BASE PLATE DETAIL SCALE 1 : 8**

**DETAIL A SCALE 1 : 15**

**DETAIL B SCALE 1 : 15**



**FRONT VIEW SCALE: 1" = 1'-0"**

**N16**

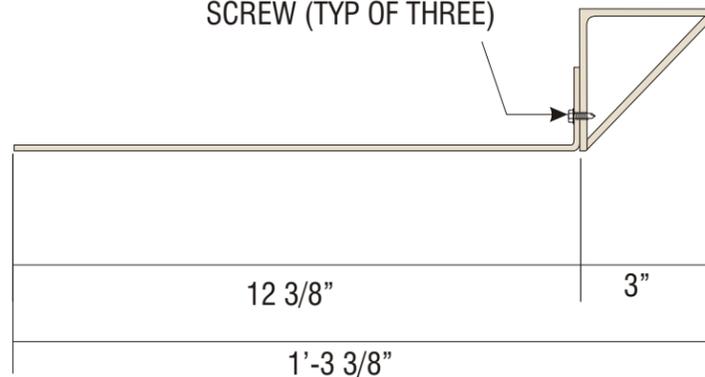
**N17**

**SIGN TYPE CUSTOM-TC-P-H NO CHASE BRANDING**

**MANUFACTURE AND INSTALL TWO (2) NON-ILLUMINATED PARKING SIGNS**

1. .125" BREAKFORMED ALUMINUM SIGN FACE. PAINT FINISH TO MATCH THE OTHER ADA SIGNS COLOR. FORM AS SHOWN.
2. PAINT FINISH TO MATCH THE OTHER ADA SIGNS COLOR.
3. PAINT FINISH TO MATCH THE OTHER ADA SIGNS COLOR.
4. SUPPORT COPY TO BE 3M BLACK.
5. NOT USED
6. NOT USED
7. 3" X 3" X .125" ALUM. FABRICATED POST WELD .125" ALUM. FLATSTOCK TO CLOSE TRIANGLE AS SHOWN. GRIND SMOOTH. PAINT FINISH TO MATCH THE OTHER ADA SIGNS COLOR. SET SUPPORT INTO CONCRETE FOUNDATION. NO DIRECT EARTH BURIAL ALLOWED.
8. FIRST SURFACE DECORATE "DO NOT ENTER" SYMBOL WITH 3M SCOTCHLITE REFLECTIVE FILM #680-72 RED. HORIZONTAL BAR TO BE 3M SCOTCHLITE FILM #680-10 WHITE.

#12 X 3/4" HEX-WASHER HEAD SELF-DRILLING SCREW (TYP OF THREE)



**SECTION SCALE: 3" = 1'-0"**



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**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

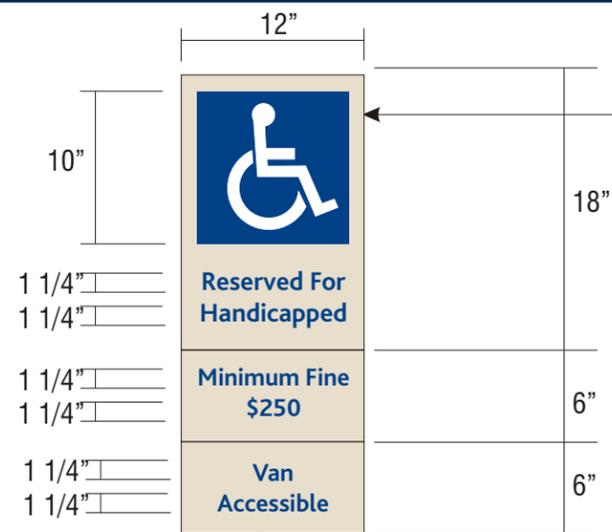
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Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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Drawing Number: 12-00228

Work Order Number: 51025



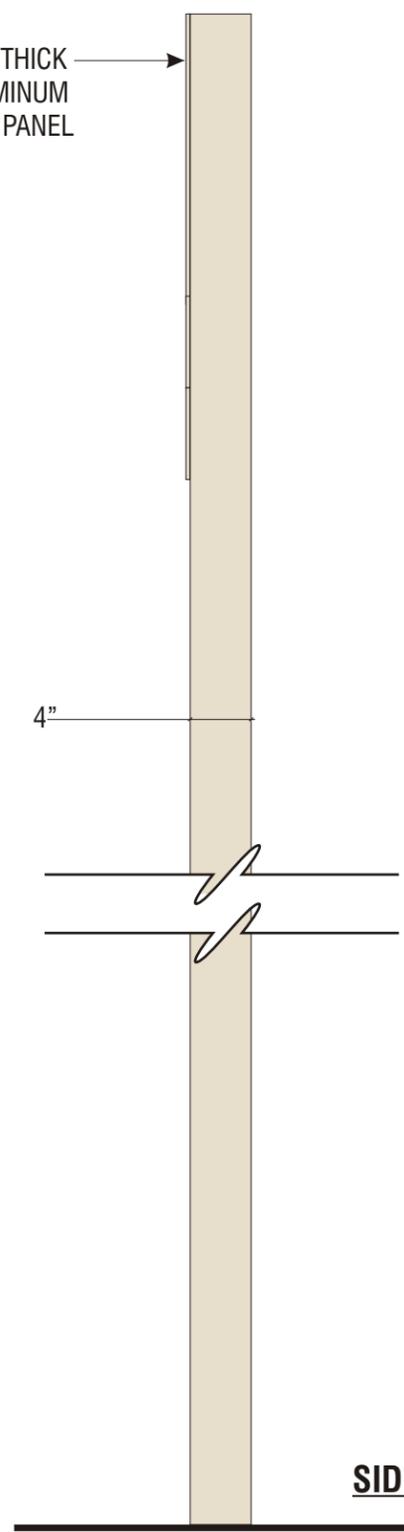
1/4" THICK ALUMINUM FACE PANEL

**N18**

**SIGN TYPE CUSTOM ADA SIGN VAN ACCESSIBLE**

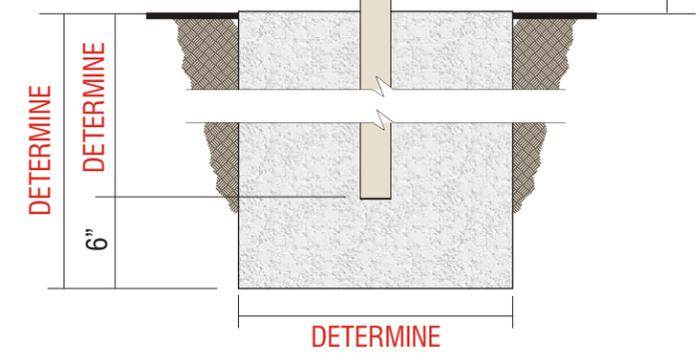
**MANUFACTURE AND INSTALL ONE (1) POLE MOUNTED ADA PARKING SIGN**

1. .25" ALUMINUM SIGN FACE. PAINT FINISH TO MATCH THE OTHER ADA SIGNS COLOR.
2. SIGN FACE TO HAVE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND GRAPHICS PAINTED WHITE WITH REFLECTORIZED PAINT. **(VERIFY BLUE AREAS)**
3. SUPPORT POLE MATERIAL TO BE ALUMINUM. PAINT FINISH TO MATCH THE OTHER ADA SIGNS COLOR.



**FRONT VIEW SCALE: 1" = 1'-0"**

**SIDE VIEW SCALE: 1" = 1'-0"**



**ALL EMBEDDED ALUM. SHALL TO BE COATED W/ CARBOLINE BITUMASTIC 50 COAL TAR OR EQUAL PRIOR TO INSTALLATION**

**ALL FASTENERS SHALL BE STAINLESS STEEL OR OTHERWISE COATED TO PREVENT CORROSION.**



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**CUSTOMER APPROVAL**

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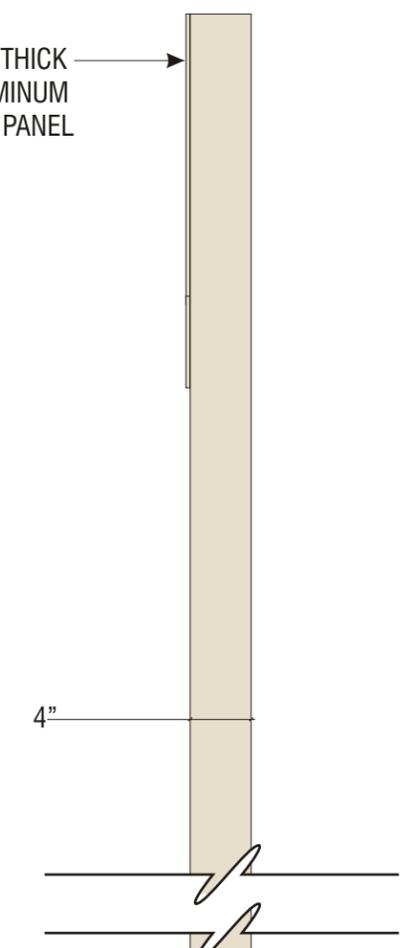
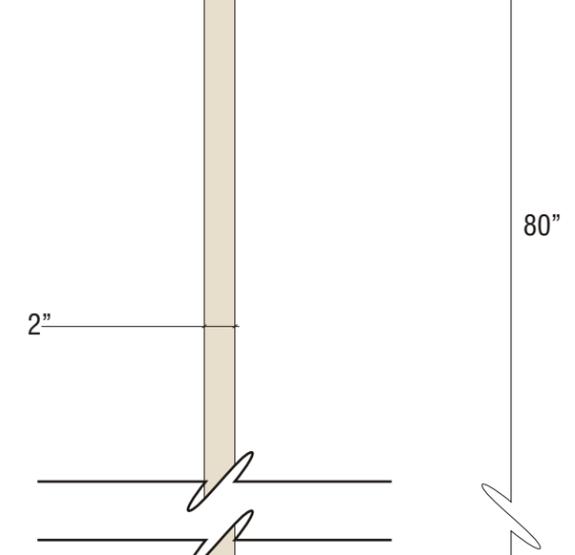
1/4" THICK ALUMINUM FACE PANEL

**N19**

**SIGN TYPE CUSTOM ADA SIGN**

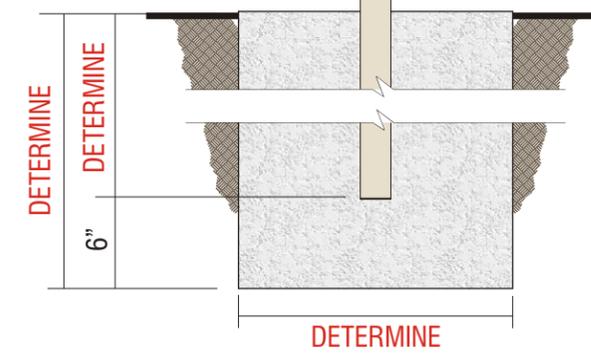
**MANUFACTURE AND INSTALL ONE (1) POLE MOUNTED ADA PARKING SIGN**

1. .25" ALUMINUM SIGN FACE. PAINT FINISH TO MATCH THE OTHER ADA SIGNS COLOR.
2. SIGN FACE TO HAVE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND GRAPHICS PAINTED WHITE WITH REFLECTORIZED PAINT. **(VERIFY BLUE AREAS)**
3. SUPPORT POLE MATERIAL TO BE ALUMINUM. PAINT FINISH TO MATCH THE OTHER ADA SIGNS COLOR.



**FRONT VIEW SCALE: 1" = 1'-0"**

**SIDE VIEW SCALE: 1" = 1'-0"**



**ALL EMBEDDED ALUM. SHALL TO BE COATED W/ CARBOLINE BITUMASTIC 50 COAL TAR OR EQUAL PRIOR TO INSTALLATION**

**ALL FASTENERS SHALL BE STAINLESS STEEL OR OTHERWISE COATED TO PREVENT CORROSION.**



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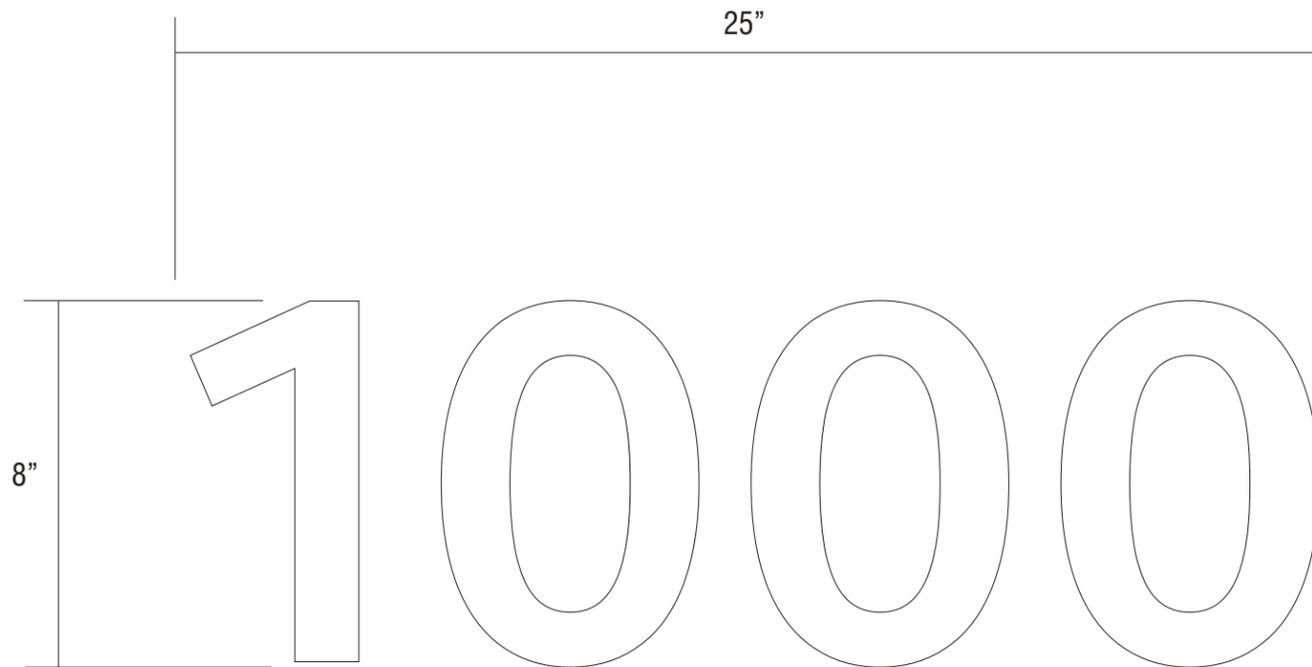
Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

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Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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Drawing Number: 12-00228  
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**FRONT VIEW SCALE: 1"=1'-0"**

**N20**

**SIGN TYPE CUSTOM ADDRESS**

**MANUFACTURE AND INSTALL ONE (1) INTERNALLY ILLUMINATED SET OF CHANNEL NUMBERS**

**NUMBERS,**

**FACE:** .177" ARISTECH #7328 P-95 WHITE PLEX (MATTE SIDE TO BE 1ST SURFACE) CHEM WELDED TO RETURNS

**RETURNS:** 0.118" x 5" DEEP ARISTECH #6046 BLUE WITH 3635-70 DIFFUSER VINYL ON 2ND (INTERIOR) SURFACE.

**BACKS:** .080" ALUM BACK WITH 3/4" x .080" OUTSIDE ALUM RETURN AND 1/2" x 1/8" ALUM ANGLE CLIPS ON INTERIOR OF LETTER FOR FACE ATTACHMENT

**PAINT :** EXTERIOR PAINTED MATTHEWS MP-00366 CHASE BLUE SEMI-GLOSS FINISH (60-70 UNITS) AND INTERIOR PAINTED SPRAY-LAT STAR BRITE WHITE LIGHT ENHANCEMENT PAINT.

**ILLUMINATION :** 15MM DESIGNER 71 WHITE NEON & 60MA TRANSFORMERS AS REQUIRED FOR PROPER EVEN ILLUMINATION.

**ELECTRICAL REQUIREMENTS FOR NEON ILLUMINATION**

As required by standard #2161, Signtech Electrical Advertising, Inc., exclusively uses secondary Ground fault-Interrupted (GFI) transformers.

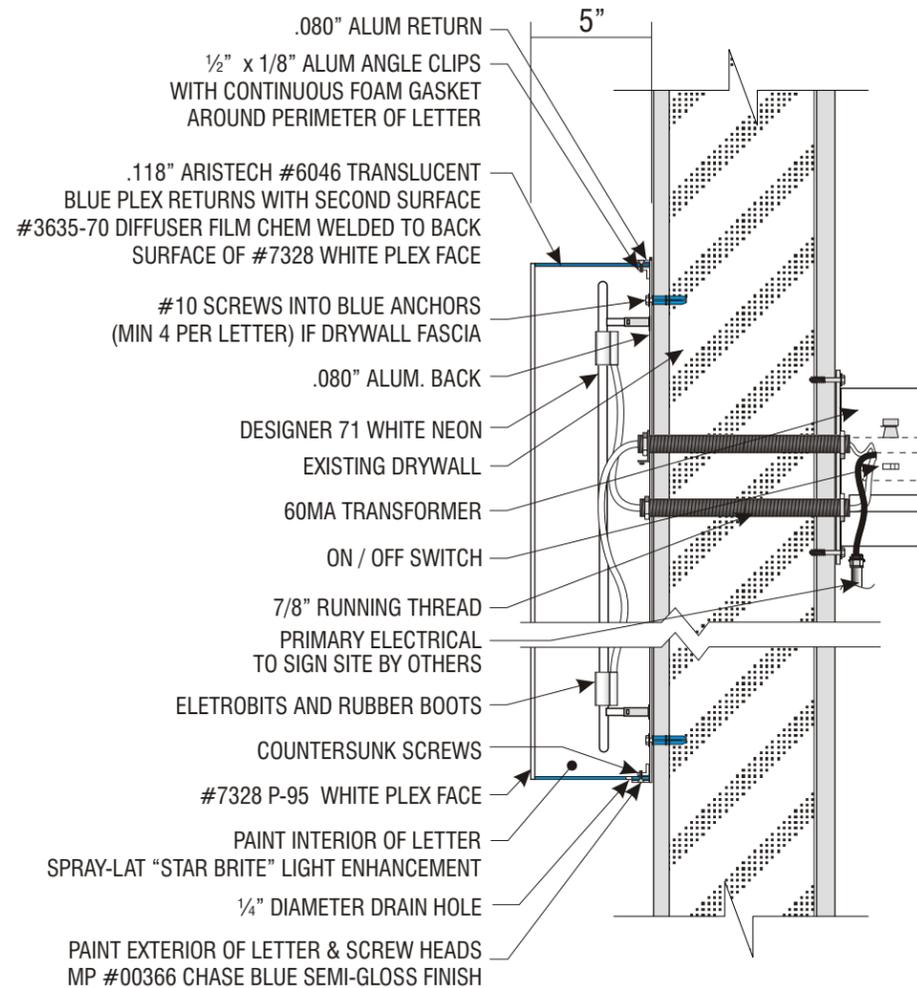
- Each Sign MUST have: - A dedicated branch circuit
- Three wires : Line, Ground, and Neutral.
- Wire Size : Min 12 GA THHN Copper Wire.

NOTE: The gauge of the wire is dictated by the length of the run & amperage as per NEC Article 600.

- The ground wire must be continuous & go from the sign to the panelboard ground bus.

- Voltage between ground and neutral should measure no more than 3 volts.

- Power to the sign must be done by a licensed electrical contractor or licensed electrician.



**SECTION DETAIL**

**SCALE: 1 1/2"=1'-0"**



**Signtech™**

4444 Federal Blvd. San Diego CA 92102

Phone: (619) 527-6100 / Fax: (619) 527-6111

[www.signtechUSA.com](http://www.signtechUSA.com)



**JP Morgan Chase Bank #17179**

1000 Irvine Avenue  
Newport Beach, CA. 92660

Date: 02/27/12

Salesperson: Arthur Navarro

Coordinator: Lisa Frederick

Designer: kendra pickett

Scale: As noted

**Revisions**

|   |   |
|---|---|
| △ | △ |
| △ | △ |
| △ | △ |
| △ | △ |
| △ | △ |

**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

**COPY, COLORS & SIZES**

Signtech does NOT provide primary electrical to sign location - **RESPONSIBILITY OF OTHERS!**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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Drawing Number: 12-00228

Work Order Number: 51025

# Surrounding Photos



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**JP Morgan Chase Bank  
 #17179**

**1000 Irvine Avenue  
 Newport Beach, CA. 92660**

Date: 02/27/12  
 Salesperson: Arthur Navarro  
 Coordinator: Lisa Frederick  
 Designer: kendra pickett  
 Scale: As noted

### Revisions

|   |   |
|---|---|
| △ | △ |
| △ | △ |
| △ | △ |
| △ | △ |
| △ | △ |

### CUSTOMER APPROVAL

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

Signtech does NOT provide primary electrical to sign location -  
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Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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Drawing Number: 12-00228

Work Order Number: 51025

### Surrounding Photos



Charles Arbing  
Vice President

March 5, 2012

The Irvine Company  
Attn: Sam Andes  
100 Innovation Lane  
Irvine, CA 92617  
Tel: 949-720-2537

Re: Chase Bank location 17179 Irvine and 17th  
Sign Rendering Date 02/27/2012 & Drawing #12-00228R3, Signtech Electrical  
Advertising, Inc

Enclosed for your review and approval is the color sign rendering package for the above  
referenced JPMorgan Chase Bank lease site. We will notify you if changes to this rendering  
are required as a result of the technical audit and/or permitting restrictions.

Signtech Electrical Advertising, Inc, on behalf of JPMorgan Chase Bank ("JPMC"), will  
secure all necessary permits and regulatory approvals, along with assuring that all  
elements are manufactured and installed to applicable codes and restrictions. The assigned  
JPMorgan Chase Project Manager will manage and supervise all work, including wall repairs  
and painting where applicable.

Please indicate your approval by signing below and returning via fax to 949-257-4842  
within ten (7) business days from the date of this letter. If you have any questions, please  
call me directly at 949-458-2014.

Thank you,

Charles Arbing  
MDRE

Approved by: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Retail Real Estate • 24085 El Toro Rd., 2<sup>nd</sup> Floor, Laguna Hills, CA, 92653  
Telephone: 949-458-2014 • Facsimile: 949-257-4842  
charles.f.arbing@chase.com



**Signtech™**

4444 Federal Blvd. San Diego CA 92102  
Phone: (619) 527-6100 / Fax: (619) 527-6111  
[www.signtechUSA.com](http://www.signtechUSA.com)



**JP Morgan Chase Bank  
#17179**

**1000 Irvine Avenue  
Newport Beach, CA. 92660**

Date: 02/27/12  
Salesperson: Arthur Navarro  
Coordinator: Lisa Frederick  
Designer: kendra pickett  
Scale: As noted

**Revisions**

|   |   |
|---|---|
| △ | △ |
| △ | △ |
| △ | △ |
| △ | △ |
| △ | △ |

**CUSTOMER APPROVAL**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_  
**COPY, COLORS & SIZES**

Signtech does NOT provide primary  
electrical to sign location -  
**RESPONSIBILITY OF OTHERS!**

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

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without their prior written approval.

Drawing Number: 12-00228

Work Order Number: 51025

# **Attachment No. ZA 7**

Lot Line Adjustment Plans

**EXHIBIT "A"**  
 CITY OF NEWPORT BEACH  
 LOT LINE ADJUSTMENT NO. LA 2012-002  
 LEGAL DESCRIPTION

| OWNERS                 | EXISTING PARCELS<br>AP NUMBER | PROPOSED PARCELS<br>REFERENCE NUMBER |
|------------------------|-------------------------------|--------------------------------------|
| THE IRVINE COMPANY LLC | 425-061-02                    | PARCEL 1                             |
| THE IRVINE COMPANY LLC | 425-061-14                    | PARCEL 2                             |

PARCEL 1:

LOT 16 OF TRACT NO. 4824, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, PER MAP FILED IN BOOK 173, PAGE 28 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

TOGETHER WITH THAT PORTION OF PARCEL 2 OF LOT LINE ADJUSTMENT N.B.L.L.A. 87-4, IN SAID CITY OF NEWPORT BEACH, RECORDED OCTOBER 21, 1987 AS INSTRUMENT NO. 87-589598 OF OFFICIAL RECORDS, IN SAID OFFICE OF THE COUNTY RECORDER, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHERLY CORNER OF SAID LOT 16,

THENCE, ALONG THE NORTHWESTERLY LINE OF SAID PARCEL 2 OF LOT LINE ADJUSTMENT N.B.L.L.A. 87-4, NORTH 39°48'54" EAST, 10.00 FEET TO A LINE PARALLEL WITH AND 10.00 FEET NORTHEASTERLY FROM THE NORTHEASTERLY LINE OF SAID LOT 16,

THENCE, ALONG SAID PARALLEL LINE, SOUTH 50°10'30" EAST, 167.25 FEET TO A LINE PARALLEL WITH AND 17.25 FEET SOUTHEASTERLY FROM THE SOUTHEASTERLY LINE OF SAID LOT 16,

THENCE, ALONG SAID PARALLEL LINE, SOUTH 39°48'54" WEST, 160.00 FEET TO THE SOUTHWESTERLY LINE OF SAID PARCEL 2 OF LOT LINE ADJUSTMENT N.B.L.L.A. 87-4,

THENCE, ALONG SAID SOUTHWESTERLY LINE OF PARCEL 2 OF LOT LINE ADJUSTMENT N.B.L.L.A. 87-4, NORTH 50°10'30" WEST, 17.25 FEET TO THE SOUTHERLY CORNER OF SAID LOT 16,

THENCE, ALONG THE SOUTHEASTERLY LINE OF SAID LOT 16, NORTH 39°48'54" EAST, 150.00 FEET TO THE EASTERLY CORNER OF SAID LOT 16,

THENCE, ALONG SAID NORTHEASTERLY LINE OF LOT 16, NORTH 50°10'30" WEST, 150.00 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 0.611 ACRES, MORE OR LESS.



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 IRVINE, CA 92618  
 949.923.6000

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**EXHIBIT "A"**  
 CITY OF NEWPORT BEACH  
 LOT LINE ADJUSTMENT NO. LA 2012-002  
 LEGAL DESCRIPTION

| OWNERS                 | EXISTING PARCELS<br>AP NUMBER | PROPOSED PARCELS<br>REFERENCE NUMBER |
|------------------------|-------------------------------|--------------------------------------|
| THE IRVINE COMPANY LLC | 425-061-02                    | PARCEL 1                             |
| THE IRVINE COMPANY LLC | 425-061-14                    | PARCEL 2                             |

**PARCEL 2:**

PARCEL 2 OF LOT LINE ADJUSTMENT N.B.L.L.A. 87-4, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, RECORDED OCTOBER 21, 1987 AS INSTRUMENT NO. 87-589598 OF OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM THAT PORTION OF SAID PARCEL 2 OF LOT LINE ADJUSTMENT N.B.L.L.A. 87-4 DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHERLY CORNER OF LOT 16 OF TRACT NO. 4824, IN SAID CITY OF NEWPORT BEACH, PER MAP FILED IN BOOK 173, PAGE 28 OF MISCELLANEOUS MAPS, IN SAID OFFICE OF THE COUNTY RECORDER,

THENCE, ALONG THE NORTHWESTERLY LINE OF SAID PARCEL 2 OF LOT LINE ADJUSTMENT N.B.L.L.A. 87-4, NORTH 39°48'54" EAST, 10.00 FEET TO A LINE PARALLEL WITH AND 10.00 FEET NORTHEASTERLY FROM THE NORTHEASTERLY LINE OF SAID LOT 16,

THENCE, ALONG SAID PARALLEL LINE, SOUTH 50°10'30" EAST, 167.25 FEET TO A LINE PARALLEL WITH AND 17.25 FEET SOUTHEASTERLY FROM THE SOUTHEASTERLY LINE OF SAID LOT 16,

THENCE, ALONG SAID PARALLEL LINE, SOUTH 39°48'54" WEST, 160.00 FEET TO THE SOUTHWESTERLY LINE OF SAID PARCEL 2 OF LOT LINE ADJUSTMENT N.B.L.L.A. 87-4,

THENCE, ALONG SAID SOUTHWESTERLY LINE OF PARCEL 2 OF LOT LINE ADJUSTMENT N.B.L.L.A. 87-4, NORTH 50°10'30" WEST, 17.25 FEET TO THE SOUTHERLY CORNER OF SAID LOT 16,

THENCE, ALONG THE SOUTHEASTERLY LINE OF SAID LOT 16, NORTH 39°48'54" EAST, 150.00 FEET TO THE EASTERLY CORNER OF SAID LOT 16,

THENCE, ALONG SAID NORTHEASTERLY LINE OF LOT 16, NORTH 50°10'30" WEST, 150.00 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 7.702 ACRES, MORE OR LESS.

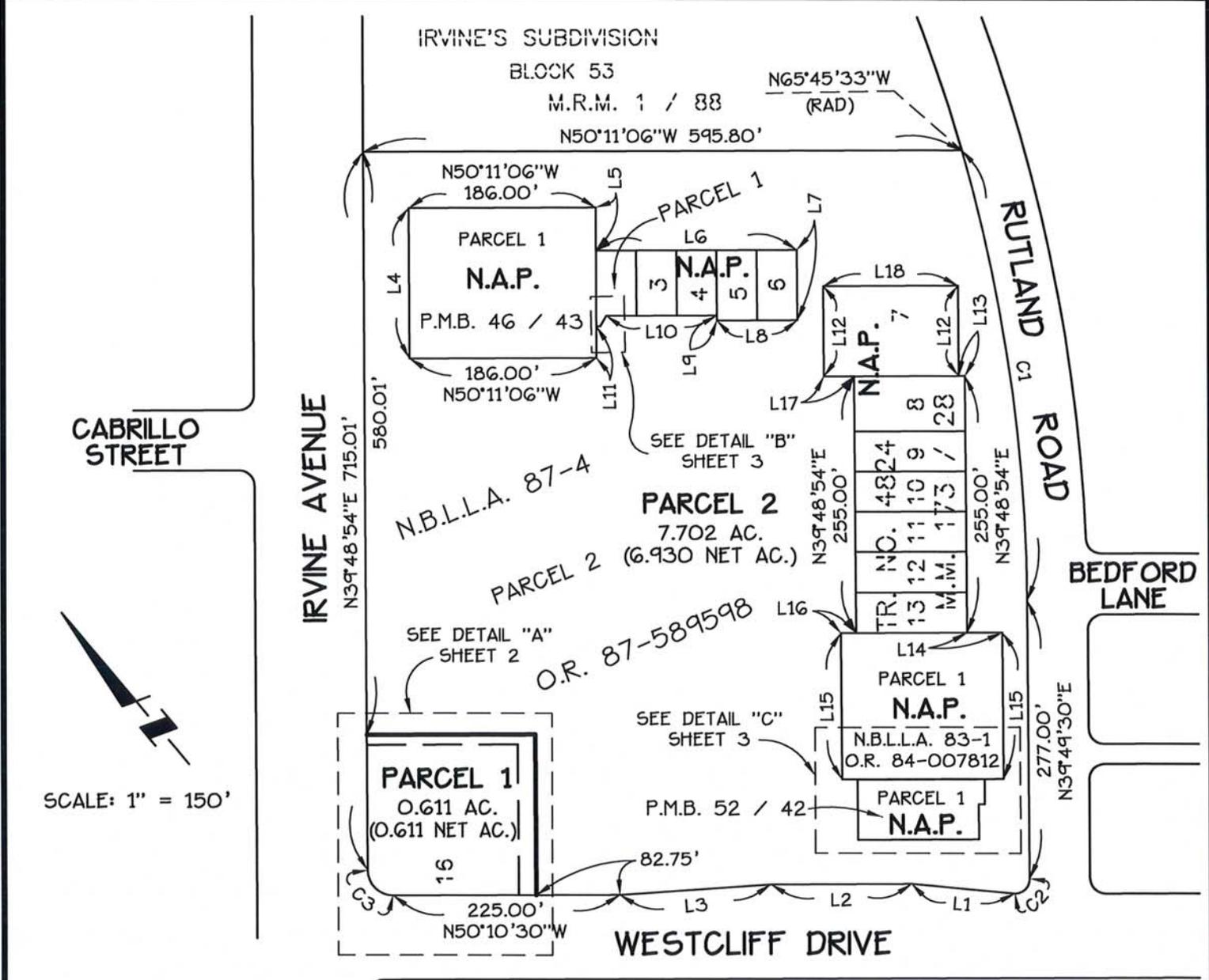
THIS LEGAL DESCRIPTION WAS PREPARED  
BY ME OR UNDER MY DIRECTION.

  
 JAMES O. STEINES, P.L.S. 6086



**EXHIBIT "B"**  
 CITY OF NEWPORT BEACH  
 LOT LINE ADJUSTMENT NO. LA 2012-002  
 MAP

| OWNERS                 | EXISTING PARCELS<br>AP NUMBER | PROPOSED PARCELS<br>REFERENCE NUMBER |
|------------------------|-------------------------------|--------------------------------------|
| THE IRVINE COMPANY LLC | 425-061-02                    | PARCEL 1                             |
| THE IRVINE COMPANY LLC | 425-061-14                    | PARCEL 2                             |



SEE SHEET 2 FOR LINE & CURVE TABLES.

**LEGEND**

- EXISTING PARCEL LINE TO REMAIN
- PROPOSED PARCEL LINE
- EXISTING PARCEL LINE TO BE REMOVED

THIS EXHIBIT WAS PREPARED BY  
OR UNDER MY DIRECTION

*James O. Steines*  
 JAMES O. STEINES, P.L.S. 6086

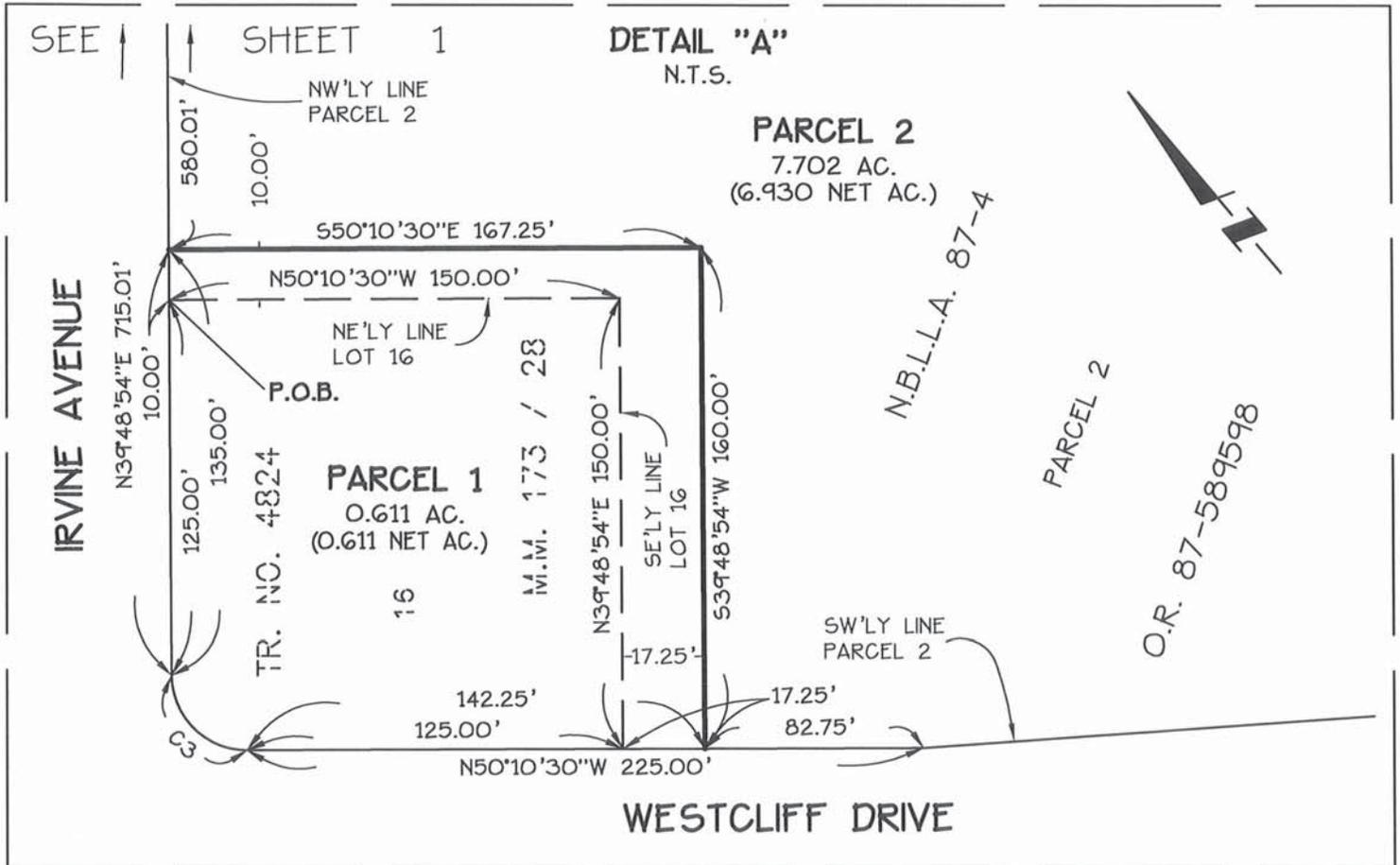


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**EXHIBIT "B"**  
 CITY OF NEWPORT BEACH  
 LOT LINE ADJUSTMENT NO. LA 2012-002  
 MAP

| OWNERS                 | EXISTING PARCELS<br>AP NUMBER | PROPOSED PARCELS<br>REFERENCE NUMBER |
|------------------------|-------------------------------|--------------------------------------|
| THE IRVINE COMPANY LLC | 425-061-02                    | PARCEL 1                             |
| THE IRVINE COMPANY LLC | 425-061-14                    | PARCEL 2                             |



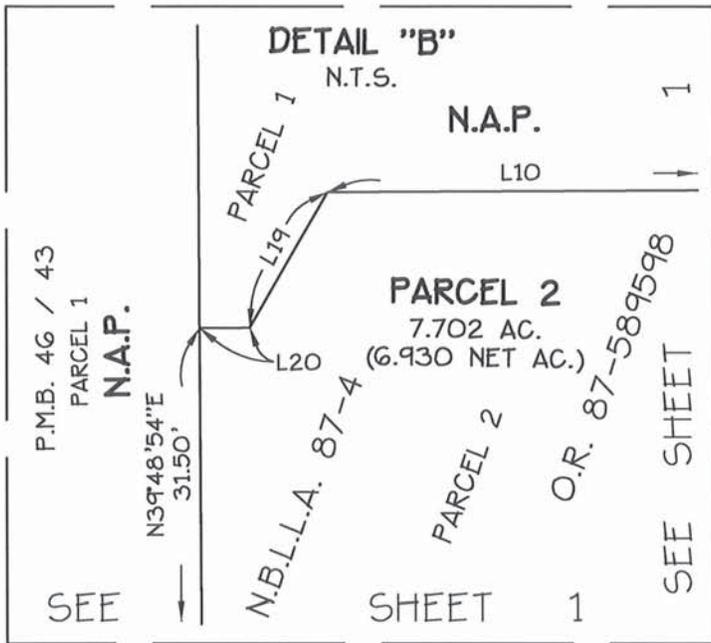
| NO. | RADIUS   | DELTA     | LENGTH  |
|-----|----------|-----------|---------|
| C1  | 1668.00' | 15°35'03" | 453.69' |
| C2  | 15.00'   | 90°00'00" | 23.56'  |
| C3  | 25.00'   | 89°59'24" | 39.27'  |

| NO. | BEARING     | DISTANCE |
|-----|-------------|----------|
| L7  | N39°48'54"E | 70.00'   |
| L8  | N50°11'06"W | 80.00'   |
| L9  | N39°48'54"E | 5.00'    |
| L10 | N50°11'06"W | 110.09'  |
| L11 | N39°48'54"E | 31.50'   |
| L12 | N39°48'54"E | 90.00'   |
| L13 | N50°11'06"W | 6.00'    |
| L14 | N50°11'06"W | 35.00'   |
| L15 | N39°48'54"E | 145.83'  |
| L16 | N50°11'06"W | 15.20'   |
| L17 | N50°11'06"W | 30.00'   |
| L18 | N50°11'06"W | 134.00'  |
| L19 | N69°48'54"E | 12.12'   |
| L20 | N50°11'06"W | 3.85'    |
| L21 | N39°48'54"E | 25.00'   |
| L22 | N50°11'06"W | 6.00'    |

| NO. | BEARING     | DISTANCE |
|-----|-------------|----------|
| L1  | N44°34'30"W | 102.48'  |
| L2  | N50°10'30"W | 140.00'  |
| L3  | N53°59'21"W | 150.33'  |
| L4  | N39°48'54"E | 150.00'  |
| L5  | N39°48'54"E | 43.00'   |
| L6  | N50°11'06"W | 200.00'  |

**EXHIBIT "B"**  
 CITY OF NEWPORT BEACH  
 LOT LINE ADJUSTMENT NO. LA 2012-002  
 MAP

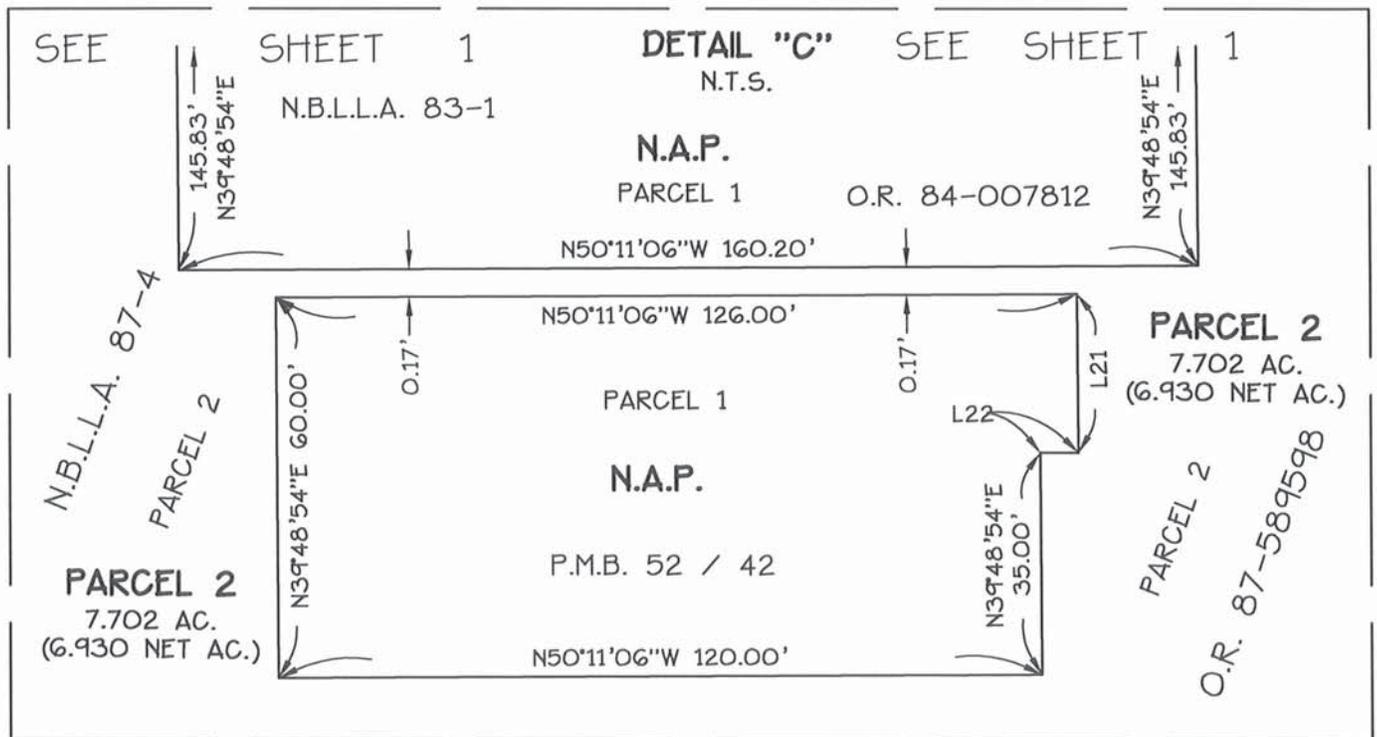
| OWNERS                 | EXISTING PARCELS<br>AP NUMBER | PROPOSED PARCELS<br>REFERENCE NUMBER |
|------------------------|-------------------------------|--------------------------------------|
| THE IRVINE COMPANY LLC | 425-061-02                    | PARCEL 1                             |
| THE IRVINE COMPANY LLC | 425-061-14                    | PARCEL 2                             |



**LEGEND**

- EXISTING PARCEL LINE TO REMAIN
- PROPOSED PARCEL LINE
- EXISTING PARCEL LINE TO BE REMOVED

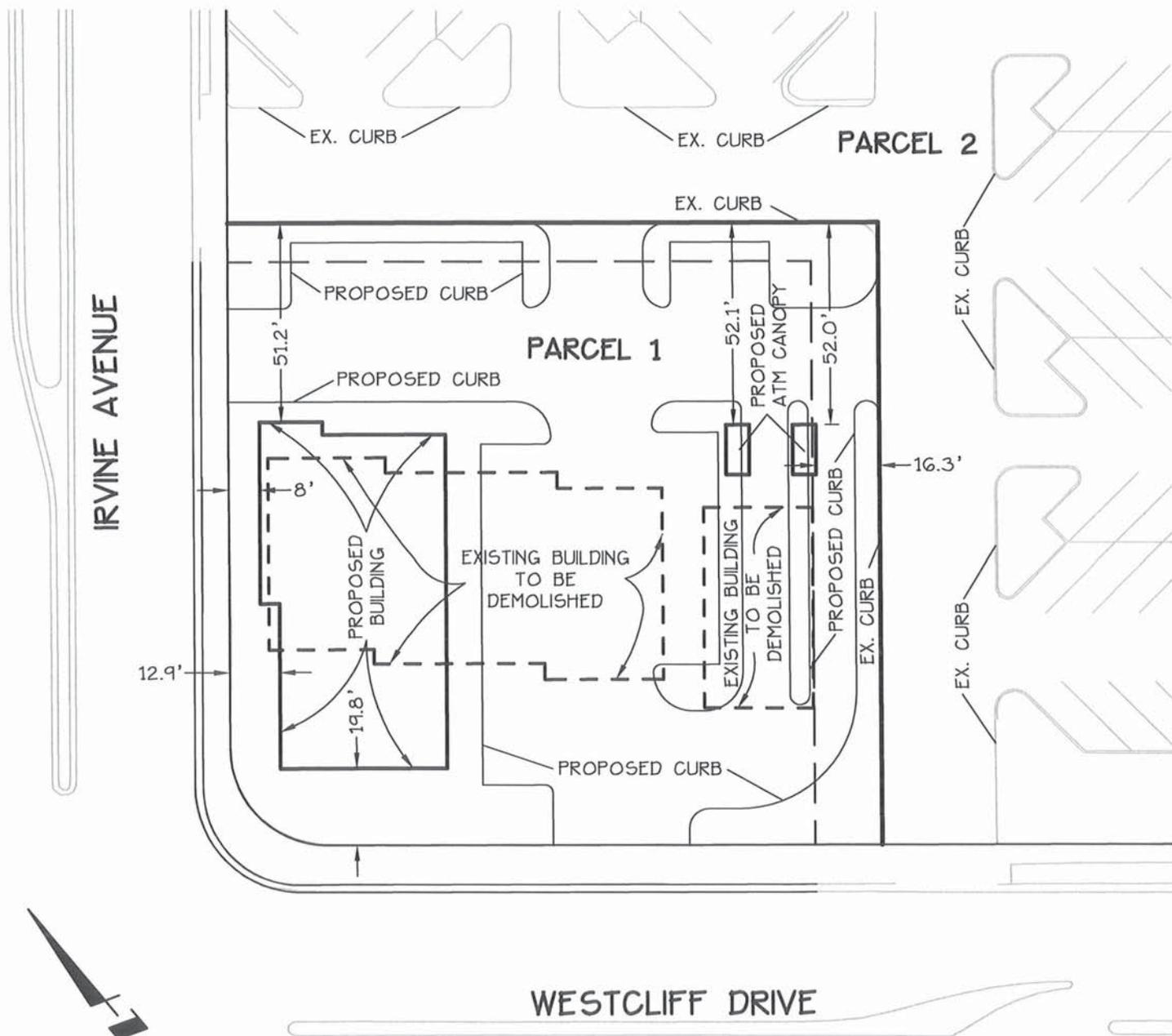
SEE SHEET 2 FOR LINE & CURVE TABLES.





**EXHIBIT "C"**  
 CITY OF NEWPORT BEACH  
 LOT LINE ADJUSTMENT NO. LA 2012-002  
 SITE PLAN

| OWNERS                 | EXISTING PARCELS<br>AP NUMBER | PROPOSED PARCELS<br>REFERENCE NUMBER |
|------------------------|-------------------------------|--------------------------------------|
| THE IRVINE COMPANY LLC | 425-061-02                    | PARCEL 1                             |
| THE IRVINE COMPANY LLC | 425-061-14                    | PARCEL 2                             |



SCALE: 1" = 40'

**LEGEND**

- EXISTING PARCEL LINE TO REMAIN
- PROPOSED PARCEL LINE
- - - EXISTING PARCEL LINE TO BE REMOVED



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