



COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION  
100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915  
(949) 644-3200 Fax: (949) 644-3229  
[www.newportbeachca.gov](http://www.newportbeachca.gov)

**CITY OF NEWPORT BEACH  
ZONING ADMINISTRATOR STAFF REPORT**

November 27, 2013  
Agenda Item No. 5

**SUBJECT:** Krisp Fresh Living - PA2013-205  
1651 Westcliff Drive  
Minor Use Permit No. UP2013-022

**APPLICANT:** Krisp Fresh Living

**PLANNER:** Fern Nueno, Associate Planner  
(949) 644-3227, [fnueno@newportbeachca.gov](mailto:fnueno@newportbeachca.gov)

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**ZONING DISTRICT/GENERAL PLAN**

- **Zone:** CG (Commercial General)
- **General Plan:** CG (General Commercial)

**PROJECT SUMMARY**

A Minor Use Permit application for a take-out service, limited eating and drinking establishment with six seats. The applicant proposes to convert the existing retail sales suite into a juice bar.

**RECOMMENDATION**

- 1) Conduct a public hearing; and
- 2) Adopt Draft Zoning Administrator Resolution No. \_ approving Minor Use Permit No. UP2013-022 (Attachment No. ZA 1).

**DISCUSSION**

- The subject property is located on Westcliff Drive between Irvine Avenue and Dover Drive.
- The subject property and adjacent parcels are developed with multiple-tenant commercial buildings and shared surface parking in the front and rear of the buildings along Westcliff Drive and Sherington Place.



- The subject property is not located in the coastal zone.
- The suite is currently vacant and the previous use was retail sales.
- The subject suite is 920 square feet in gross floor area with 356 square feet proposed as net public (customer serving) area.
- Pursuant to Zoning Code Section 20.20.020 (Commercial Zoning Districts Land Uses and Permit Requirements), a minor use permit is required for a take-out service, limited eating and drinking establishment if the subject property is located within 500 feet of any residential zoning district. The subject property is located within 500 feet of residential zoning districts, which are located on the opposite side of Westcliff Drive to the north and Sherington Place to the south.
- No late hours (after 11:00 p.m.) or alcohol sales are proposed as part of this application. The anticipated hours of operation are 7:00 a.m. to 7:00 p.m. However, staff recommends the hours of operation be limited to between 7:00 a.m. and 11:00 p.m. to allow more operational flexibility in the future while not allowing late hours.
- Pursuant to Zoning Code Section 20.40.030 (Requirements for Off-Street Parking), take-out service, limited eating and drinking establishments are required to provide one parking space for every 250 square feet of gross floor area (1/250). Retail sales use requires the same 1/250 parking standard, and therefore, parking demand is not expected to increase and the proposed use is consistent with the parking requirements.
- As demonstrated in the attached draft resolution, staff believes the proposed project meets the requirements of the Zoning Code and the findings for approval can be made.

### **ENVIRONMENTAL REVIEW**

The project is categorically exempt under Section 15301, of the State CEQA (California Environmental Quality Act) Guidelines - Class 1 (Existing Facilities). Class 1 exempts minor alterations to existing facilities involving negligible expansion of use beyond that existing at the time of the lead agency's determination. The subject project is for a change of use in an existing building.

### **PUBLIC NOTICE**

Notice of this application was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-

way and waterways) including the applicant and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

**APPEAL PERIOD:**

An appeal may be filed with the Director of Community Development within 14 days following the date of action. For additional information on filing an appeal, contact the Planning Division at (949) 644-3200.

Prepared by:



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Fern Nueno, Associate Planner

JC/fn

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Applicant's Project Description
	ZA 4	Project Plans

# **Attachment No. ZA 1**

Draft Resolution



**RESOLUTION NO. ZA2013-0##**

**A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING MINOR USE PERMIT NO. UP2013-022 FOR A TAKE-OUT SERVICE, LIMITED EATING AND DRINKING ESTABLISHMENT LOCATED AT 1651 WESTCLIFF DRIVE PA2013-205**

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

**SECTION 1. STATEMENT OF FACTS.**

1. An application was filed by Krisp Fresh Living, with respect to property located at 1651 Westcliff Drive, and legally described as Parcel 1 of Resubdivision 0153, requesting approval of a Minor Use Permit.
2. The applicant requests a Minor Use Permit for a take-out service, limited eating and drinking establishment with six seats. The applicant proposes to convert the existing retail sales suite into a juice bar. No late hours (after 11:00 p.m.) or alcohol sales are proposed as part of this application.
3. The subject property is located within the Commercial General (CG) Zoning District and the General Plan Land Use Element category is General Commercial (CG).
4. The subject property is not located within the coastal zone.
5. A public hearing was held on November 27, 2013, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place, and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

**SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.**

1. This project has been determined to be categorically exempt pursuant to the State California Environmental Quality Act (CEQA) Guidelines under Class 1 (Existing Facilities).
2. Class 1 exempts minor alterations to existing facilities involving negligible expansion of use beyond that existing at the time of the lead agency's determination. The subject project is for a change of use in an existing building.

**SECTION 3. REQUIRED FINDINGS.**

In accordance with Section 20.52.020 of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

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Finding:

*A. The use is consistent with the General Plan and any applicable specific plan.*

Facts in Support of Finding:

A-1. The proposed use is designated as CG (General Commercial) within the Land Use Element of the General Plan, which is intended to provide a wide variety of commercial activities oriented primarily to serve citywide or regional needs. An eating and drinking establishment is a commercial use that serves local and regional needs and is consistent with the CG designation.

A-2. The subject property is not located within a Specific Plan area.

Finding:

*B. The use is allowed within the applicable zoning district and complies with all other applicable provisions of this Zoning Code and the Municipal Code.*

Facts in Support of Finding:

B-1. The proposed use is located in the Commercial General (CG) Zoning District, which is intended to provide a wide variety of commercial activities oriented primarily to serve citywide or regional needs. Approval of a Minor Use Permit is required for a take-out service, limited eating and drinking establishment if the subject property is located within 500 feet of any residential zoning district, otherwise it is allowed by right. The subject property is located within 500 feet of residential zoning districts, which are located on the opposite side of Westcliff Drive to the north and Sherington Place to the south.

B-2. Pursuant to Zoning Code Section 20.40.030 (Requirements for Off-Street Parking), take-out service, limited eating and drinking establishments are required to provide one parking space for every 250 square feet of gross floor area, which is the standard parking rate that applies to the previous retail sales use and the proposed use. The parking demand is not increasing and the proposed use is consistent with the parking requirements.

B-3. The proposed project is subject to and would operate in compliance with Section 20.48.090 (Eating and Drinking Establishments). No outdoor activities, late operations, alcohol sales, or outdoor dining are proposed as part of this application, but future changes would be required to be consistent with the Municipal Code.

Finding:

*C. The design, location, size, and operating characteristics of the use are compatible with the allowed uses in the vicinity.*

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Facts in Support of Finding:

- C-1. Commercial and residential uses are allowed in the vicinity, including retail sales, service, restaurant, office, and multiple residential uses. The subject suite is located among other commercial uses along Westcliff Drive, and residential uses are located nearby on Westcliff Drive to the north and Sherington Place to the south.
- C-2. The existing multiple-tenant commercial building is not changing as a result of this project. The existing building design, location, and size previously used for commercial uses have not proven detrimental to the nearby residential uses. The site is developed with adequate shared parking and trash storage facilities. The subject suite is 920 square feet in gross floor area with 356 square feet proposed as net public (customer serving) area. The proposed project would include a patron restroom and a maximum of six (6) seats.
- C-3. The operational characteristics of the proposed establishment would be that of a typical take-out service eating and drinking establishment that would serve residents, visitors, and employees. The proposed use would not increase the parking demand, have late hours of operation, include alcohol sales, nor create any adverse noise impacts outside of the establishment. The abutting properties are commercial and the abutting streets and parking areas provide adequate separation to residential uses. Therefore, the operating characteristics would be compatible with the allowed commercial and residential uses in the vicinity.

Finding:

- D. The site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities.*

Facts in Support of Finding:

- D-1 The lot is 23,040 square feet in area (80' X 288'), rectangular in shape, located in a commercial area, and is developed with a multiple-tenant building and surface parking lot. The site has street access from the front along Westcliff Drive and the rear along Sherington Place, and the streets provide added separation from residential uses. A walkway corridor is provided from the front of the building and parking area to the rear of the building and parking area.
- D-2 The site is developed with an existing multiple-tenant building that is not changing as a result of this project. The design, location, shape, and size have been suitable for the commercial uses on site and would continue the existing provision of emergency vehicle access, public services, and utilities.

D-3 The Public Works Department, Building Division, and Fire Department have reviewed the application. The project is required to obtain all applicable permits from the City Building and Fire Departments and must comply with the most recent, City-adopted version of the California Building Code.

Finding:

*E. Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, nor endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.*

Facts in Support of Finding:

- E-1. The proposed use is similar to and compatible with other commercial uses in the vicinity, and complements the retail sales and service uses in the immediate area. The use will serve nearby residents, employees, and visitors to the area.
- E-2. The proposed use would sell food and beverages for primarily off-site consumption with up to six (6) seats provided.
- E-3. The proposed use would not increase the parking demand, have late hours of operation, include alcohol sales, nor create any adverse noise impacts outside the establishment.
- E-4. Compliance with the Municipal Code is required and will further ensure that the proposed use will not be detrimental.

SECTION 4. DECISION.

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby approves Minor Use Permit No. UP2013-022, subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.
2. This action shall become final and effective 14 days after the adoption of this Resolution unless within such time an appeal is filed with the Community Development Director in accordance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

**PASSED, APPROVED, AND ADOPTED THIS 27<sup>TH</sup> DAY OF NOVEMBER, 2013.**

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Brenda Wisneski, AICP, Zoning Administrator

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**EXHIBIT "A"**

**CONDITIONS OF APPROVAL**

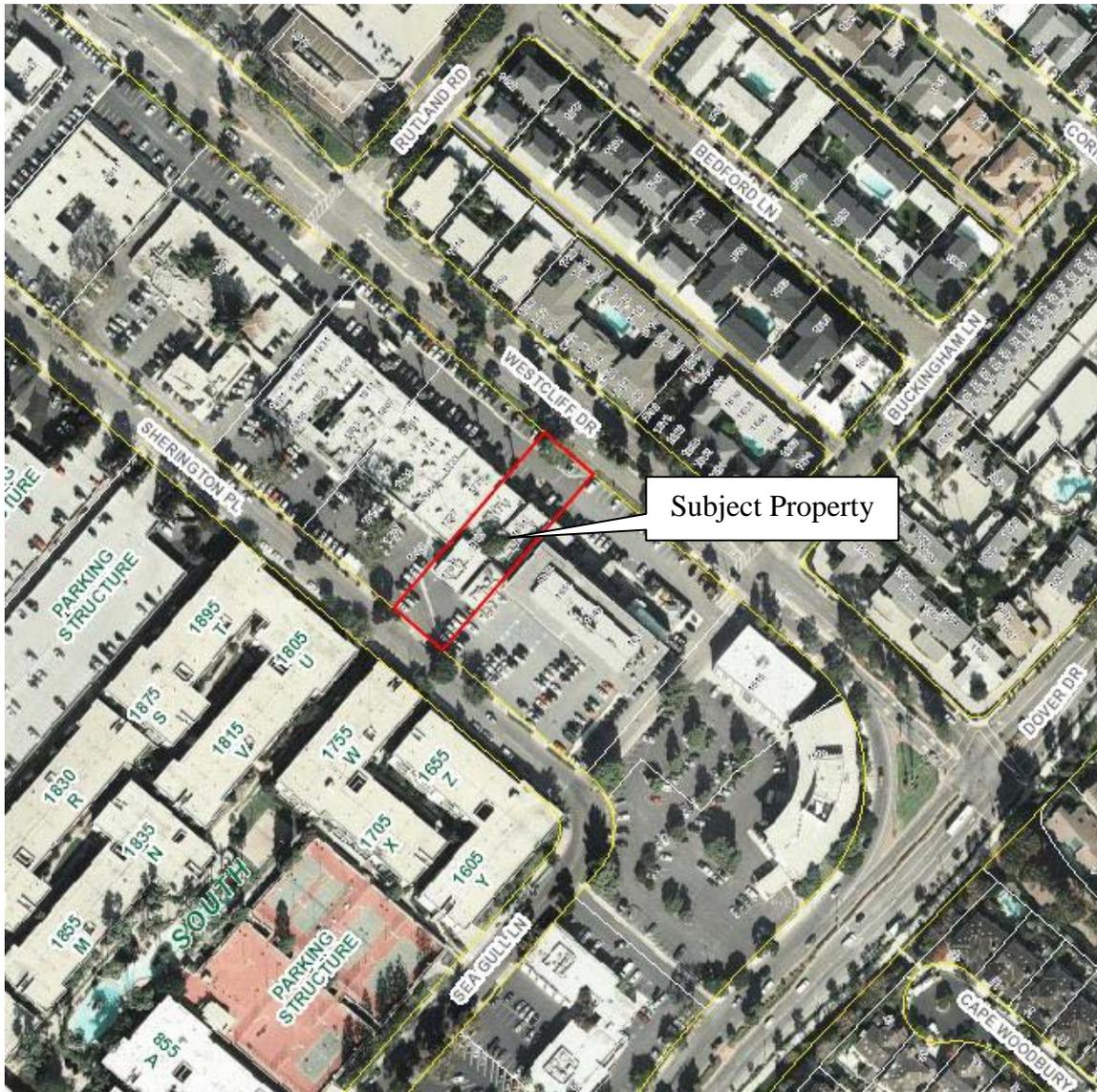
1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval, except as modified by applicable conditions of approval).
2. Minor Use Permit No. UP2013-022 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.91.050 of the Newport Beach Municipal Code, unless an extension is otherwise granted.
3. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
4. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Minor Use Permit.
5. This Minor Use Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
6. The hours of operation shall be limited to between 7:00 a.m. and 11:00 p.m., daily.
7. The project shall be limited to a maximum of six (6) seats.
8. Any change in operational characteristics, expansion in area, or other modification to the approved plans, shall require an amendment to this Minor Use Permit or the processing of a new Minor Use Permit.
9. A copy of this Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.
10. Prior to the issuance of a building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
11. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or the leasing agent.
12. No outside paging system shall be utilized in conjunction with this establishment.

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13. All trash shall be stored within the building or within dumpsters stored in the trash enclosure (three walls and a self-latching gate) or otherwise screened from view of neighboring properties, except when placed for pick-up by refuse collection agencies. The trash enclosure shall have a decorative solid roof for aesthetic and screening purposes.
  14. The trash dumpsters and/or receptacles shall be maintained to control odors. This may include the provision of either fully self-contained dumpsters or periodic steam cleaning of the dumpsters, if deemed necessary by the Planning Division. Cleaning and maintenance of trash dumpsters shall be done in compliance with the provisions of Title 14, including all future amendments (including Water Quality related requirements).
  15. Trash receptacles for patrons shall be conveniently located both inside and outside of the establishment, however, not located on or within any public property or right-of-way.
  16. Deliveries and refuse collection for the facility shall be prohibited between the hours of 10:00 p.m. and 8:00 a.m., daily, unless otherwise approved by the Director of Community Development, and may require an amendment to this Minor Use Permit.
  17. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 Planning and Zoning of the Newport Beach Municipal Code.
  18. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Krisp Fresh Living including, but not limited to, the Minor Use Permit No. UP2013-022. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

# **Attachment No. ZA 2**

Vicinity Map

# VICINITY MAP



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Minor Use Permit No. UP2013-022  
PA2013-205

**1651 Westcliff Drive**

# **Attachment No. ZA 3**

Applicant's Project Description



**KRISP Fresh Living is a Southern California based premium juice bar that will be offering organic pressed juices, raw smoothies, acai bowls and vegan ice cream. Our mission is to revolutionize the juice industry and make fresh pressed juices the drink of choice while educating and introducing the public to a healthier way of living. To extend the wellness concept, the store will also offer various detoxification programs developed by a certified nutritionist. Our grab and go service will allow a steady stream of customers to pre-order their drinks on line, and receive them by delivery or pick up.**

**Please note, that the designated space for KRISP was previously a retail facility that will be converted into a 6 seat juice bar, which is consistent with the zoning fabric within the Westcliff center. Westcliff Court is a mix of small upscale dining, retail boutiques and personal grooming services in a tight knit shopping plaza. The size of our space is 920 sf, and it's located in the southern courtyard where the shopping center's specific niche of clientele is consistent with KRISP's brand image. KRISP will be a nice compliment to the surrounding Westcliff businesses, where customers can drop by after their facial, haircut or shopping for a healthy drink or desert.**

**Ultimately, KRISP's aim is to be a resource in the community by educating our customers the benefits of prevention and healing through all types of juices. We truly believe that by offering the Newport community this healthy alternative, we can enhance the overall well being of the local residents.**

**The hours of operation will be 7am to 7pm, and the menu along with pricing is attached.**

**SITE DATA (EXISTING TO REMAIN):**

-LOT AREA	109,440SF
-LOT WIDTH	380'
-LOT DEPTH	288'
-SETBACKS (FROM PL)	
-FRONT	72'
-SOUTH (SIDE)	6"
-NORTH (SIDE)	11'
-REAR	70'
-GROSS FLOOR AREA	39,838SF
-FLOOR AREA RATIO	.364
-BLDG/LOT COVERAGE	34.3%
-BUILDING HEIGHT	9'-10' 1ST FLR 18' MAX AT 2ND FLR
-LANDSCAPING %	5%
-PAVING %	60%
-PARKING	155 TOTAL (7 ACC.)
-# OF EMPLOYEES	4 (OUR SUITE)
-NUMBER OF SEATS	6 (VERIFY)
-HOURS OF OPERATION	7A-7P
-USE	JUICE BAR

# **Attachment No. ZA 4**

Project Plans





PROJECT:

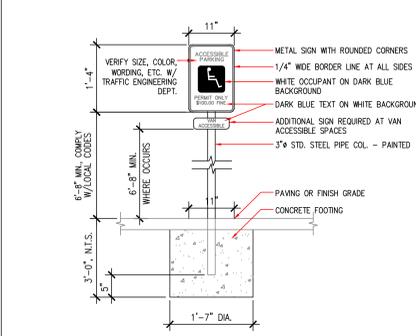
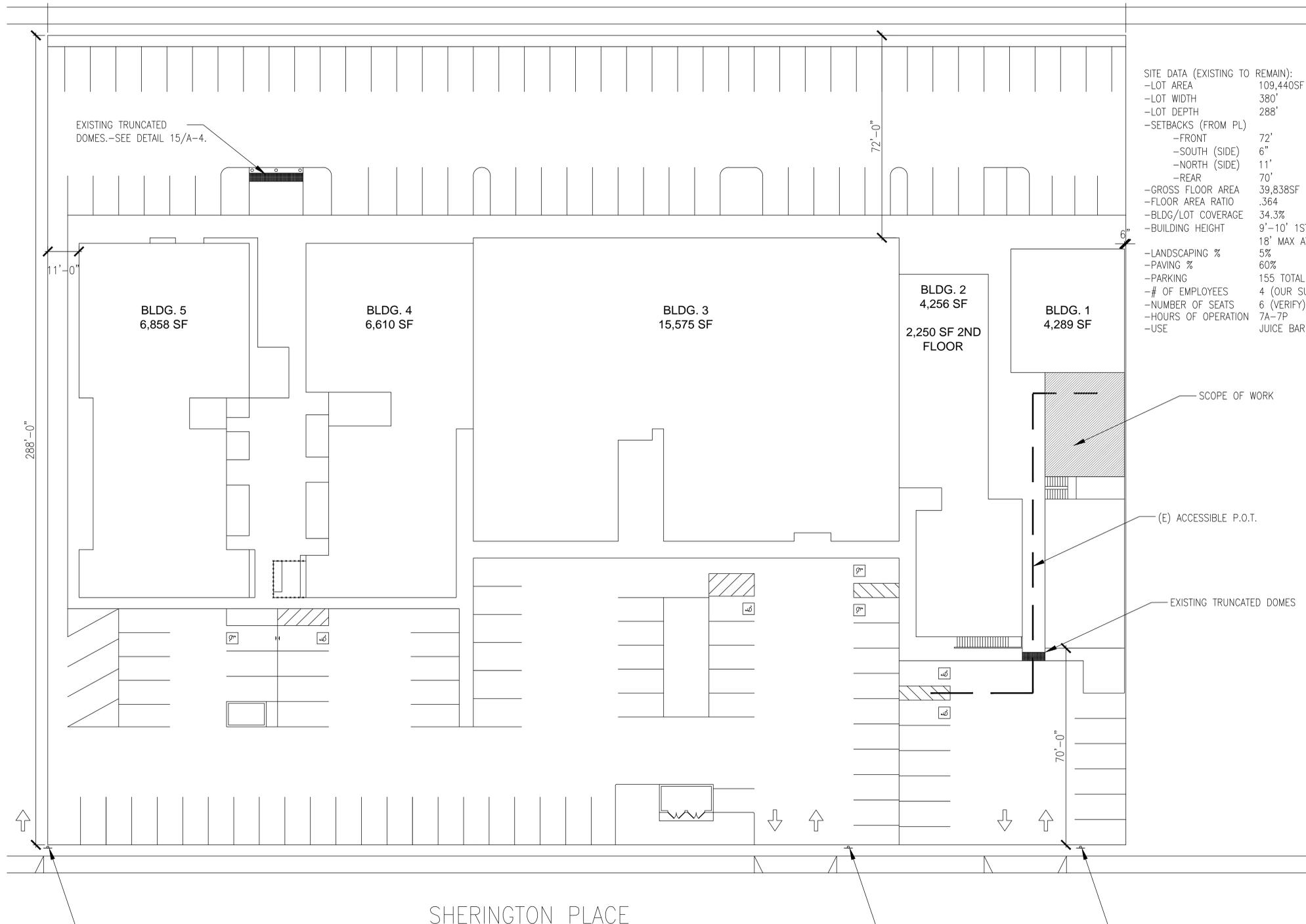
**KRISP**  
**FRESH LIVING**  
**1651 WESTCLIFF**  
**NEWPORT BEACH, CA**  
**TENANT IMPROVEMENT**

SEAL AND STAMP:

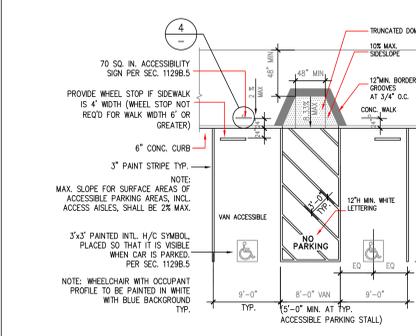
CONSULTANTS:

SITE DATA (EXISTING TO REMAIN):

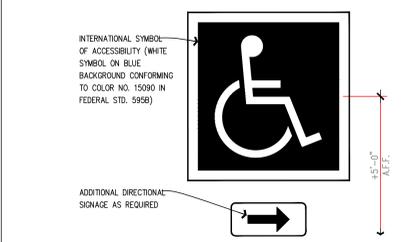
-LOT AREA	109,440SF
-LOT WIDTH	380'
-LOT DEPTH	288'
-SETBACKS (FROM PL)	
-FRONT	72'
-SOUTH (SIDE)	6"
-NORTH (SIDE)	11'
-REAR	70'
-GROSS FLOOR AREA	39,838SF
-FLOOR AREA RATIO	.364
-BLDG/LOT COVERAGE	34.3%
-BUILDING HEIGHT	9'-10' 1ST FLR
	18' MAX AT 2ND FLR
-LANDSCAPING %	5%
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-PARKING	155 TOTAL (7 ACC.)
-# OF EMPLOYEES	4 (OUR SUITE)
-NUMBER OF SEATS	6 (VERIFY)
-HOURS OF OPERATION	7A-7P
-USE	JUICE BAR



ACCESSIBLE SIGN DETAIL  
 SCALE: N.T.S.



TYP. ADA PARKING STALL DETAIL  
 SCALE: N.T.S.



ACCESSIBLE SIGNAGE @ DOOR  
 SCALE: N.T.S.

SITE PLAN  
 SCALE: 1/16"=1'-0"

FOR REFERENCE ONLY - EXISTING SHELL AND PARKING TO REMAIN- TENANT IMPROVEMENT ONLY

NET PUBLIC AREA-356SF

ISSUE DATES

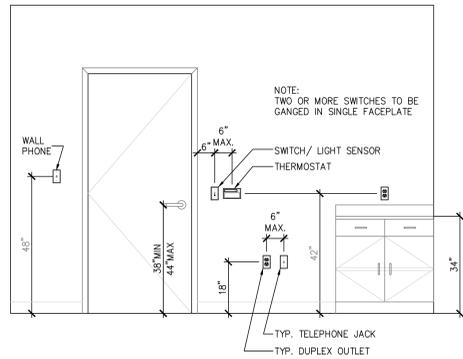
No.	DATE	DESCRIPTION	BY
1	9-3-13	SPACE PLANNING	MM
2	9-16-13	DESIGN DEVELOPMENT	MM
3	10-25-13	BUILDING SUBMITTAL	MM

OWNERSHIP AND USE OF DOCUMENTS  
 All drawings, specifications and copies thereof furnished by the L&B are and shall remain its property. They are to be used only with respect to this project. Future use without the reproduction, display, sale or other disposition of this document without the express written consent of the L&B/OWNER FOR SOLEMAN DESIGN.

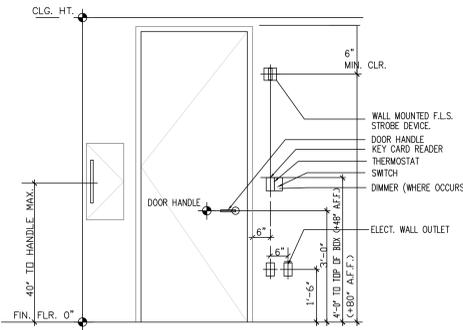
DATE: 9-3-13  
 DRAWN: MM  
 REVIEWED: MM  
 PROJECT NO: KRISP  
 SCALE: 1/16"=1'-0"

SHEET TITLE:  
**SITE PLAN**  
 SHEET NO:  
**A0.2**

LEGEND:	
Symbol	Description
	Existing Wall Construction to Remain
	New Wall Construction



NOTES:  
 -ALL DIMENSIONS ARE TO THE CENTERLINE OF THE OUTLET/OPERABLE PART.  
 -ALL VERTICAL DIMENSIONS ARE SHOWN FROM FINISH FLOOR TO CENTERLINE.



CONTROL ELEVATIONS ARE COMPRISED OF:  
 FINISH CEILING LEVEL (FCL)  
 FINISH FLOOR LEVEL (FFL)  
 TOP OF SLAB (TOS)  
 ALL DIMENSIONS GIVEN ARE FROM FFL DATUM.  
 FINISH FLOOR MATERIAL IS ASSUMED TO BE 3/8" THICK GLUE DOWN CARPET. FLOOR FINISH AND THICKNESS WILL VARY FROM LOCATION TO LOCATION. REFER TO PLANS AND DETAILS FOR SPECIFIC FLOORING INFORMATION.

NO ALLOWANCE HAS BEEN MADE FOR ANY DEPRESSIONS OR ELEVATIONS IN THE SLAB. ELEVATION HEIGHTS SHOULD TAKE INTO ACCOUNT ANY VARIATIONS IN THE FLOOR SLAB.

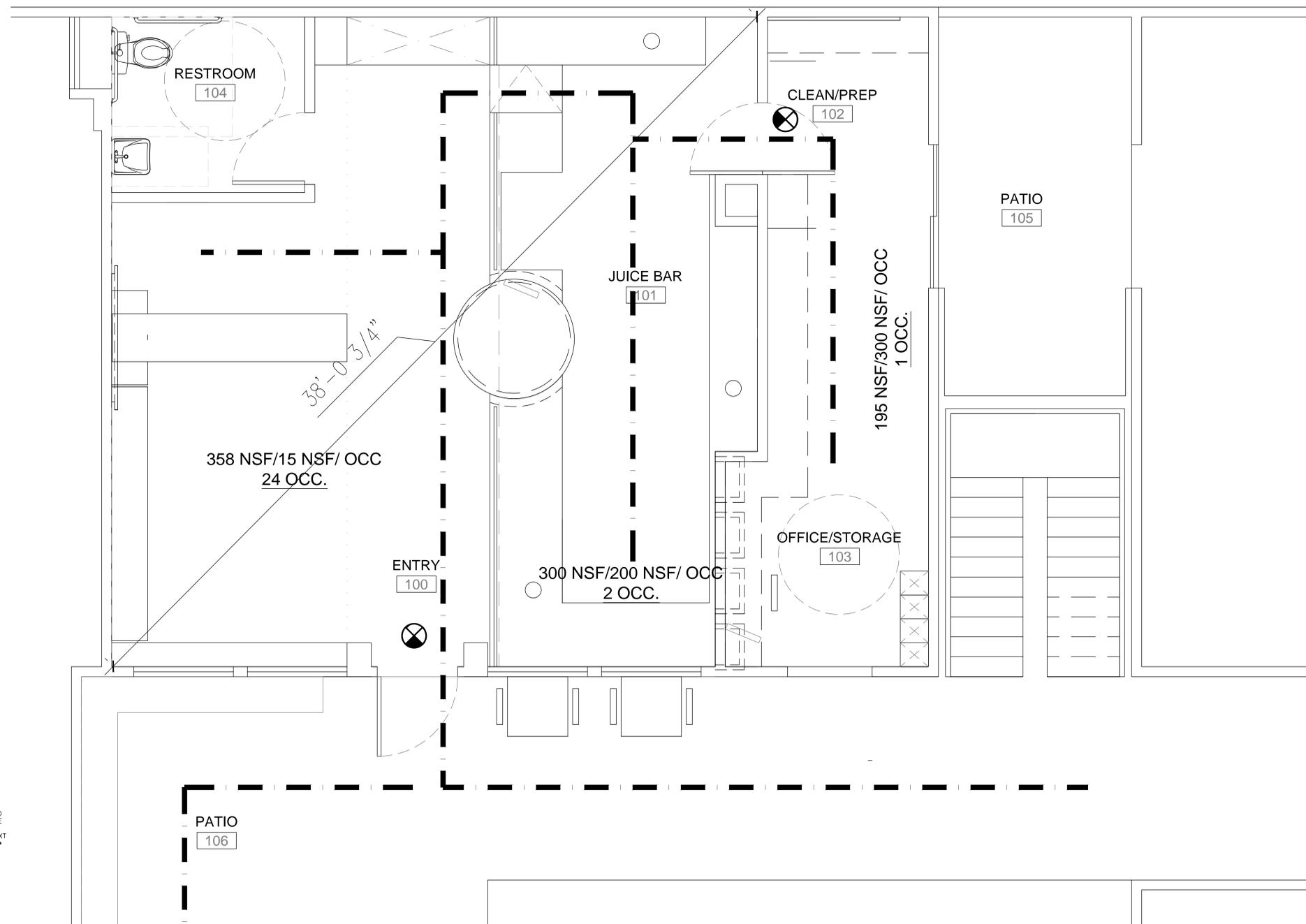
FIRE EXTINGUISHER CABINET. PAINT CABINET TO MATCH ADJACENT WALL. PROVIDE NEW FIRE EXTINGUISHER SUSPENDED IN CABINET.

NOTES:  
 THE THERMOSTAT AND CARD READERS SHALL BE LOCATED SO THAT THE TOP OF THE OUTLET BOX IS NO MORE THAN 48" NOR LESS THAN 15" TO THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISHED FLOOR. CBC 1117B.6.

CERTAIN ELEVATION DIMENSIONS ARE ASSOCIATED WITH CODE REQUIRED MAXIMUM OR MINIMUM MOUNTING HEIGHTS. SUCH DIMENSIONS SHOULD BE HELD DESPITE VARIATIONS IN THE SLAB. CODE DIMENSIONS ARE IN PARENTHESES WITH AN ASTERISK NEXT TO THE CRITICAL DIMENSION. E.G.: (\* +15" MIN.)

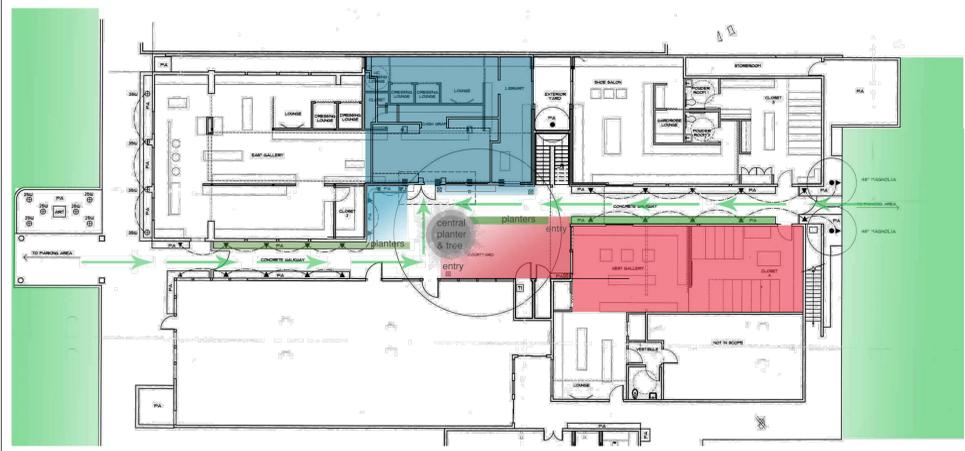
TYPICAL MOUNTING HEIGHTS  
 SCALE: NTS

6



OCCUPANT LOADS:  
 -LOUNGE (6 SEATS) (24 OCC. TOTAL)  
 -STORAGE (1 OCC. TOTAL)  
 -PREP (2 OCC. TOTAL)

OCCUPANT LOAD 27 OCCUPANTS



2

EGRESS FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

1 PLAN NORTH



PROJECT:  
**KRISP FRESH LIVING**  
 1651 WESTCLIFF  
 NEWPORT BEACH, CA  
 TENANT IMPROVEMENT

SEAL AND STAMP:

CONSULTANTS:

ISSUE DATES		
No.	DATE	DESCRIPTION
1	9-3-13	SPACE PLANNING
2	9-16-13	DESIGN DEVELOPMENT

OWNERSHIP AND USE OF DOCUMENTS  
 All drawings, specifications and copies thereof furnished by the user and shall remain its property. This document is to be used only with respect to this project. Future use without the express written consent of the ARCHITECT FOR SCHEDULE DESIGN.

DATE:	9-3-13
DRAWN:	MM
REVIEWED:	MM
PROJECT NO.:	KRISP
SCALE:	
SHEET TITLE:	EGRESS FLOOR PLAN

SHEET NO:  
**A0.5**

**LEGEND:**

Symbol	Description
	Existing Interior Wall Construction to Remain
	Existing Non-Bearing Wall Construction to Removed
	Existing Exterior Wall Construction to Remain

Note: Doors which lack reference symbols, and occur in existing partitions or construction, are base building and are to remain.

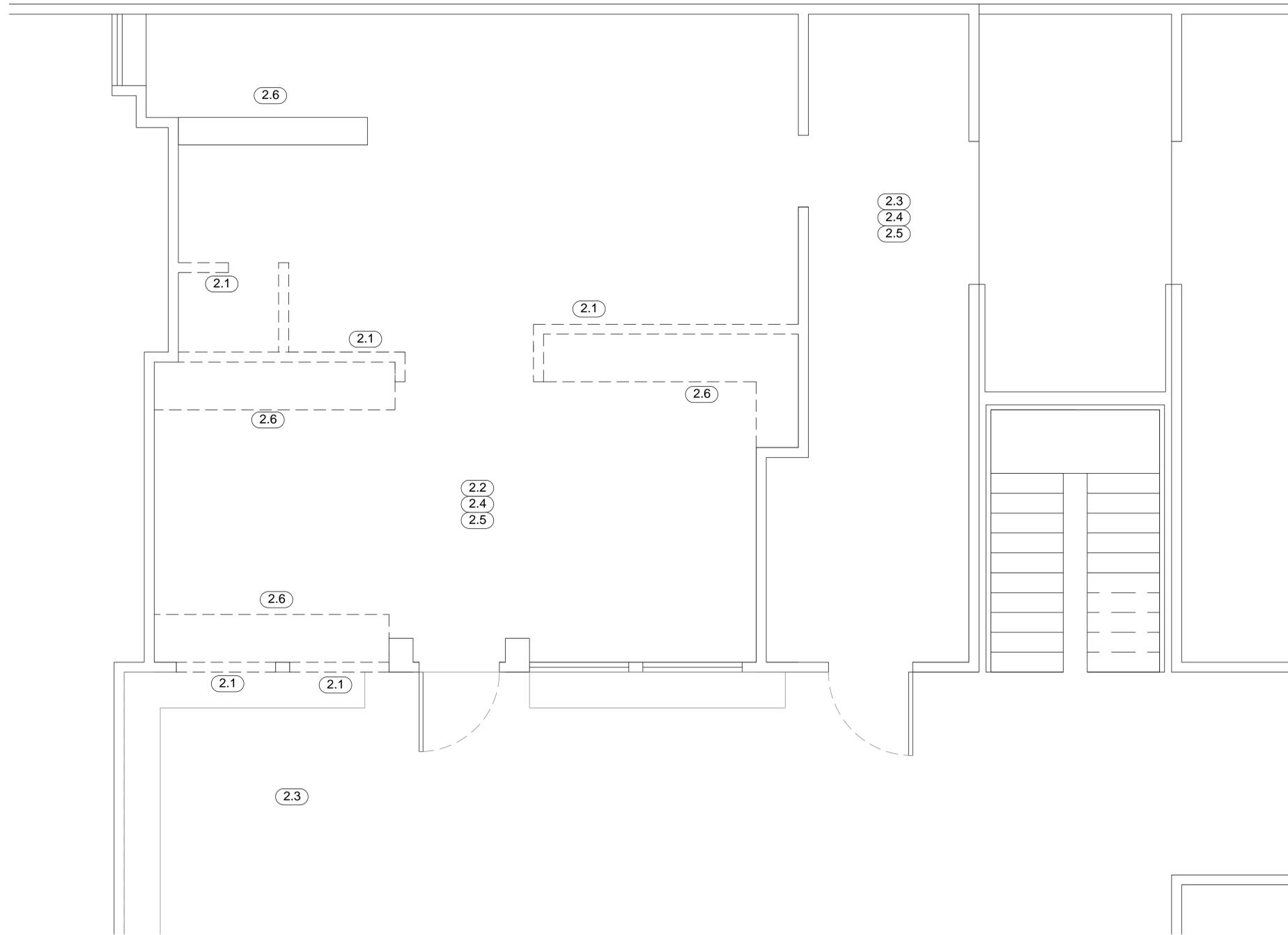
-REFINISH/STAIN INTERIOR SUITE SIDE AS REQUIRED TO MATCH NEW INTERIOR DOORS THROUGHOUT. PAINT (E) DOOR FRAME TO MATCH (N) ADJ. DOORS/FRAMES AS BEST AS POSSIBLE (NOTE-DOOR FACES INTO MAIN BUILDING AREAS SHALL REMAIN UNCHANGED)

1. ALL NEW DOOR PULL HARDWARE TO BE ACCESSIBLE APPROVED LEVER TYPE.
2. ALL NEW DOORS ARE TO 3'-0" WIDE MIN. UNLESS OTHERWISE NOTED.

**KEY NOTES**

SYMBOL	DESCRIPTION
(2.1)	Contractor to remove existing walls as indicated. take precaution to ensure none are load bearing.
(2.2)	Contractor to remove existing power and data receptacles and conduit back to main as noted with (d) designation. Carefully review (n) requirements on A4.1 to determine the potential reuse/relocation.
(2.3)	NOT IN SCOPE EXISTING TO REMAIN
(2.4)	Remove (e) flooring throughout.
(2.5)	Contractor saw cut as required to access plumbing lines as required.
(2.6)	Remove (e) casework.

Contractor to comply with LEED CI IEQ 3.1-3.2 credits as req.



**PARTITION PLAN**  
SCALE: 1/4" = 1'-0"



PROJECT:  
**KRISP**  
FRESH LIVING  
1651 WESTCLIFF  
NEWPORT BEACH, CA  
TENANT IMPROVEMENT

SEAL AND STAMP:

CONSULTANTS:

**ISSUE DATES**

No.	DATE	DESCRIPTION	BY
1	9-3-13	SPACE PLANNING	MM
2	9-16-13	DESIGN DEVELOPMENT	MM

**OWNERSHIP AND USE OF DOCUMENTS**  
All Drawings, Specifications and copies thereof furnished by the User are and shall remain the property of the User. The User shall not reproduce, copy, alter, or otherwise dispose of this document without the express written consent of the ARCHITECT FOR SCHEDULED DESIGN.

DATE: 9-3-13  
DRAWN: MM  
REVIEWED: MM  
PROJECT NO: KRISP  
SCALE:  
SHEET TITLE:

**DEMO PLAN**

SHEET NO:  
**A1.1**

**LEGEND:**

- Symbol Description**
- Existing Wall Construction to Remain
  - New Wall Construction
  - Existing Wall Construction to be Removed
- FEC** New Semi- Recessed Fire Extinguisher Cabinet  
Potter-Roemer duo vertical panel, model Z60-DV-2-HB, 1/8" SMOKED panel, horizontal black text: 'FIRE EXTINGUISHER'  
Stainless steel finish (verify with manufacturer)
- WALL TYPE "A"**  
5/8" TYPE 'X' GYP BD EACH SIDE OVER 3-5/8" METAL STUDS - SEE DETAIL BELOW  
1 HOUR RATED PARTITION (where noted)  
UL #419 OR SIMILAR
- WALL TYPE "B"**  
(E) WALL OR TYPE "A" (INDICATED BY HATCH) WITH BACK PAINTED GLASS INSTALLED IN FRONT W/ S.S. TOP AND BOTTOM CHANNELS  
-BACK PAINTED GLASS COLOR TBD
- WALL TYPE "C"**  
(E) WALL WITH THIN STONE VENEER ON TOP-REALSTONE SYSTEMS, BIRCH HONED (GC TO PROVIDE SUBMITTAL)
- Note: Doors which lack reference symbols, and occur in existing partitions or construction, are base building and are to remain unchanged.  
1. ALL NEW DOOR PULL HARDWARE TO BE ACCESSIBLE APPROVED LEVER TYPE.  
2. ALL NEW DOORS ARE TO 3'-0" WIDE MIN. UNLESS OTHERWISE NOTED.

**DOOR LEGEND**

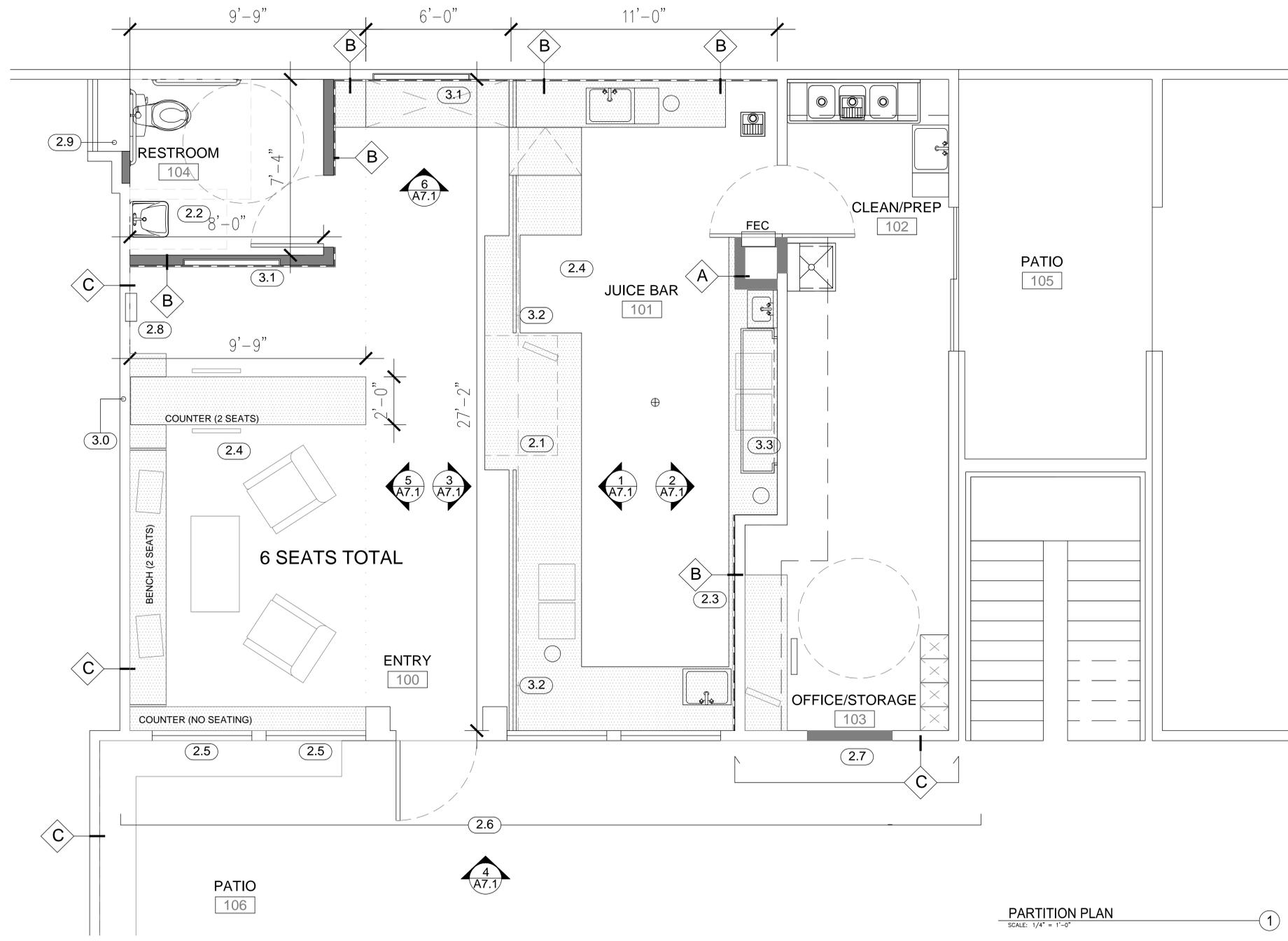
- Symbol Refer to Door Schedule for additional information**
- DOOR NUMBER
  - DOOR HARDWARE, THIS SHEET
  - DOOR TYPE, THIS SHEET
- DOOR TYPE**
- A. New Single Exterior Storefront Entry Door**  
TYPE: HERCULITE  
FRAME: METAL FRAME (VERIFY W/ SUBMITTAL)  
WIDTH: 3'-0"  
HEIGHT: 8'-0" FOR ALL NEW DOOR LOCATIONS VERIFY HEIGHT AND WIDTH OF DOOR, TYP.  
FINISH: STAIN AND FINISH
- B. New Single Interior Door**  
TYPE: 1 3/4" SOLID CORE DOOR WITH WOOD VENEER (VERIFY W/ SUBMITTALS)  
FRAME: METAL FRAME (VERIFY W/ SUBMITTAL)  
WIDTH: 3'-0"  
HEIGHT: 8'-0"  
FINISH: STAIN AND FINISH
- C. New Bi-Swing Door**  
TYPE: SOLID CORE W/ VENEER W/ VIEW WINDOW AND KICKPLATES  
FRAME: METAL FRAME (VERIFY W/ SUBMITTAL)  
WIDTH: 3'-0"  
HEIGHT: 8'-0" (VERIFY)  
FINISH: STANDARD
- D. New Single Metal Exterior Entry Door**  
TYPE: Exterior Storefront Entry Door  
FRAME: METAL FRAME (VERIFY W/ SUBMITTAL)  
WIDTH: 3'-0"  
HEIGHT: 8'-0"  
FINISH: paint to match building facade

**MILLWORK LEGEND**

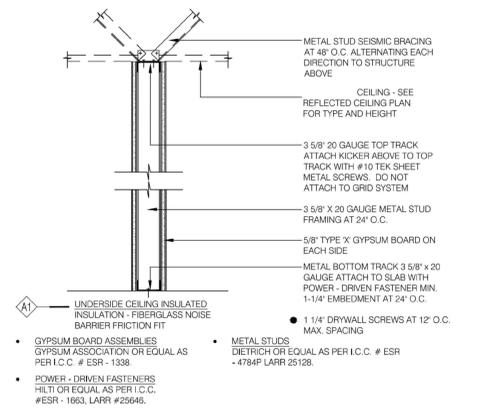
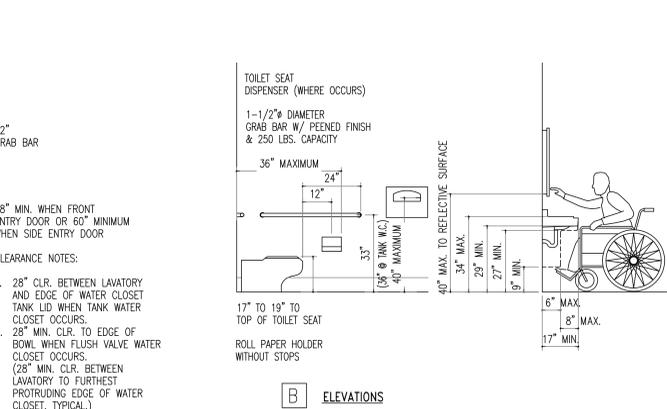
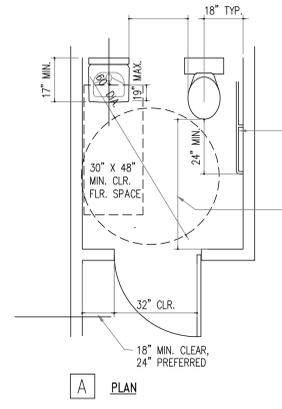
- Symbol Refer to Millwork Elevation and Details for additional information**
- Millwork Hatch
- ALL GLAZING TO BE TEMPERED AS REQUIRED BY CODE

**KEY NOTES**

- SYMBOL DESCRIPTION**
- (2.1) Custom undercounter ref. display unit
  - (2.2) (N) Accessible R.R.
  - (2.3) Back painted glass (white) menu board.
  - (2.4) Contractor to coordinate with furniture vendor as required to ensure all furniture systems are fitting tightly within (n) framing and walls. Inform THE LAB of any discrepancies.
  - (2.5) New storefront glazing to match adj. (E).
  - (2.6) New exterior paint, stone or wood facia, and signage.
  - (2.7) Infill at (e) door location, match adj.
  - (2.8) (E) Electrical panel to remain
  - (2.9) (E) Tele/Data box-relocate to office area as req.
  - (3.0) Estimated (e) plumbing line tie in
  - (3.1) Built in TV niche
  - (3.2) Recessed glass shoe into counter top (sneeze guard)
  - (3.3) Casework-see A7.1



**PARTITION PLAN**  
SCALE: 1/4" = 1'-0"



**WALL TYPE "A"**



PROJECT:  
**KRISP FRESH LIVING**  
1651 WESTCLIFF  
NEWPORT BEACH, CA  
TENANT IMPROVEMENT

SEAL AND STAMP:

CONSULTANTS:

**ISSUE DATES**

No.	DATE	DESCRIPTION	BY
1	9-3-13	SPACE PLANNING	MM
2	9-16-13	DESIGN DEVELOPMENT	MM
3	10-25-13	BUILDING SUBMITTAL	MM

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DATE: 9-3-13  
DRAWN: MM  
REVIEWED: MM  
PROJECT NO: KRISP  
SCALE:

**PARTITION PLAN**

SHEET NO:  
**A2.1**

**LEGEND:**

FIXTURE TYPE	Symbol	Description	LAMP
FX-A		New suspended linear lightbar Mount Height at 9'-6"(VIF)	LED
FX-AE		LINEAR UPLIGHT/DOWNLIGHT Mfg: Pudental Lighting Spec: Snap Light (TBD)	
FX-C		New Recessed Can light Mount Height (varies)	LED
FX-D		New Pendant Mounted LED Light fixture Provided by Client-Installed by Contractor	LED
FX-H		2' Under Cabinet Light Mfg: TBD Spec: TBD	LED/ CFL
FX-F		2' x 4' Peak Efficiency Recessed Direct/Indirect LSI Lighting Mfg: PEC 24 LED LPW HO CW UE Spec: #C-232-120-GE810RS	LED
FX-J		1' x 4' Standard 2 lamp fluorescent strip light Mfg: Lithonia Spec: #C-232-120-GE810RS	LED
FX-B		LED Rope Light Mfg: TBD Spec: TBD	LED
FX-E		LED Wall Washer Mfg: TBD Spec: TBD	LED
FX-G		LED Pinhole Spot Mfg: ARTEMIDE Spec: TOPLITE 88 FIX LED	LED
FX-X		New Exit Signs - Thermoplastic with green letters with directional arrows as indicated. Single or double face, arrow type by contractor county quantity and location as noted by Fire Marshall MAXILUME ELX-604	LED

**LIGHTING REP:**  
 Laura Edwards  
 Studio Representative, Lightopia  
 Studio 949.715.5575  
 1043 North Coast Highway  
 Laguna Beach, CA 92651

**CEILING CONSTRUCTION**

Symbol	Description
	Suspended Gyp. Board Ceiling or Soffits 5/8" Type "X" Gyp. Board mounted to metal stud framing. Height as indicated

**KEY NOTES**

SYMBOL	DESCRIPTION
(3.1)	-
(3.2)	-
(3.3)	-
(3.4)	-

**SUFFIX DESCRIPTION**

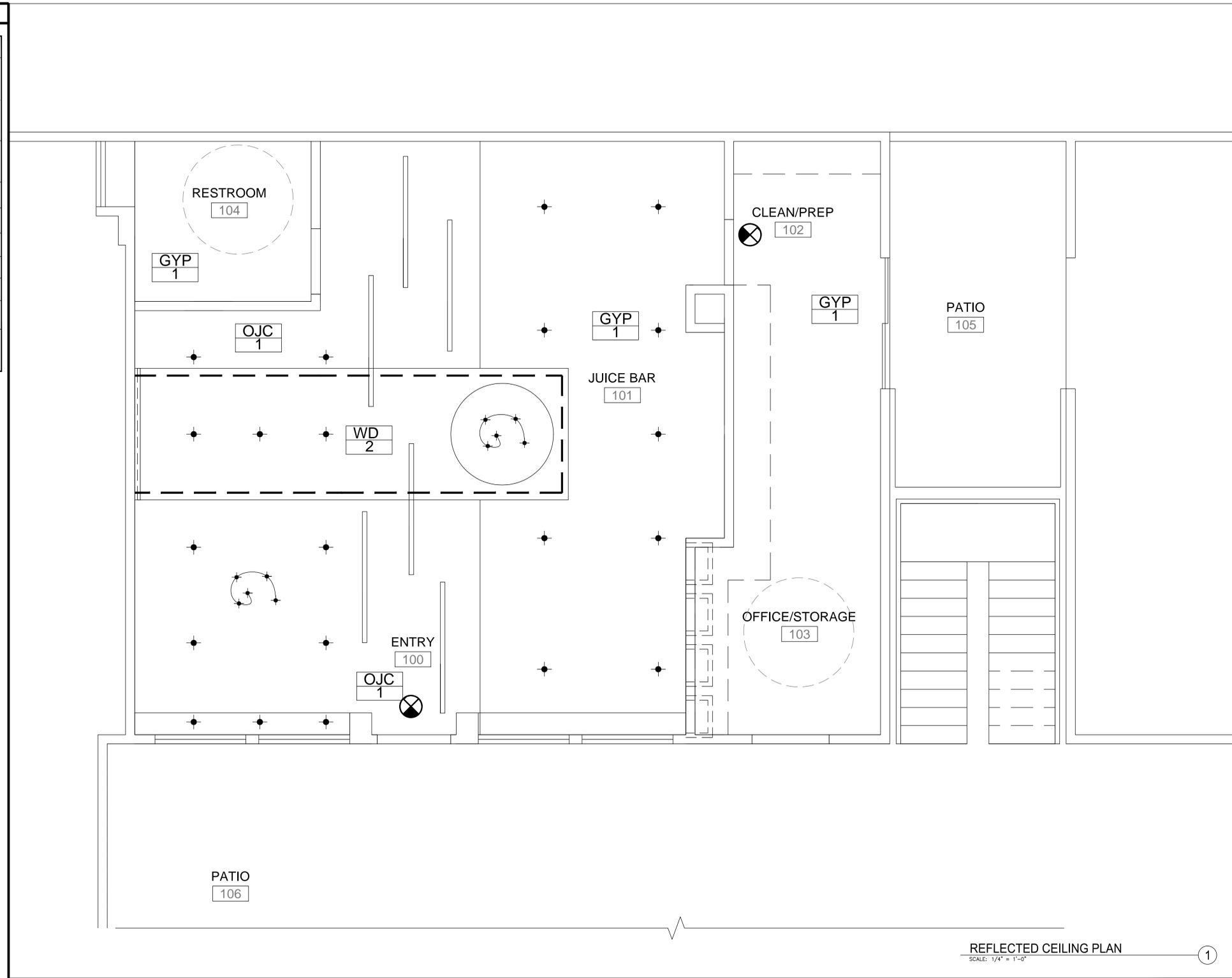
E	= Existing light fixture device to remain.
N	= New
Dash Line	= Remove and relocate.
R	= Relocate

**LIGHT SWITCHING**

Symbol	Description
	Wall Switch Single & Double Pole Mfg: Leviton Spec: (Individual Offices) Wattstopper PW-200 Passive infrared dual relay wall switch/sensor (General Areas) use ceiling mounted option w/ same A/B switching capabilities Install: +48" to top edge of box. A.F.F. U.O.N.
	Wall Dimmer & Wall Switch (if adjacent to dimmer) Mfg: Leviton Spec: Nova-T #NTV-600 (or greater as required by application) Dimming and switching as noted herein. white switch, trim and cover plate. Install: +48" to top edge of box. A.F.F. U.O.N.
	Occupancy Sensor Wall Switch (Building Standard) Install: +48" to top edge of box. A.F.F. U.O.N.

**REFLECTED CEILING PLAN NOTES**

- All items in suspended ceiling areas (such as downlights, exit signs, speaker grilles, sprinkler heads, etc.) shall be centered in the 2'x2' tiles (+1") typical.
- Contractor shall refer to details for all special areas of gypsum board ceilings, fascias, soffits, lighted cove ceiling, etc.
- Contractor is advised that all items requiring access located above the areas of gypsum board ceiling be relocated: NO ACCESS PANELS shall be installed in gypsum board ceiling.
- Sprinkler Heads:
  - Suspended Ceiling Areas: Supply and install Building Standard recessed heads. Relocate as needed.
  - Gypsum Board Ceiling Areas: Supply and install fully concealed heads with covers finished white. Relocate (e) as req.
  - rework (e) sprinklers as req. throughout as required.
- HVAC shall be designed to exceed Title 24 standards by min 15%.
- Balance room pressure, and provide reurn/supply vents in every room-ty. Also, provide CO2 sensors in all rooms to regulate HVAC system.
- Ensure all lighting installed is Energy Star with high efficacy lamps. Verify specifications as needed.
- Refer to General Note Sheet for additional reflected ceiling notes.
- Contractor to design build as required regarding new thermostat locations, sprinkler head relocation, A/C supply/return grilles, ect.
- Exit ways shall be illuminated with at least one foot candle at the floor level at the floor level, CBC 1006.2 (EMERGENCY LIGHTING)  
Electrician to d/b emergency lighting as required.



**REFLECTED CEILING PLAN**  
 SCALE: 1/4" = 1'-0" (1)

	EXISTING GYPSUM BOARD CEILING FINISH: PAINT TBD NOTE: PATCH AND REPAIR EXISTING PRIOR TO FINISH		SUSPENSION ELEMENT FINISH: 3-FORM
	NEW OPEN JOIST CEILING FINISH: EXPOSED RAFTERS AND INSULATION		



PROJECT:  
**KRISP**  
 FRESH LIVING  
 1651 WESTCLIFF  
 NEWPORT BEACH, CA  
 TENANT IMPROVEMENT

SEAL AND STAMP:

CONSULTANTS:

**ISSUE DATES**

No.	DATE	DESCRIPTION	BY
1	9-3-13	SPACE PLANNING	MM
2	9-16-13	DESIGN DEVELOPMENT	MM

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 DATE: 9-3-13  
 DRAWN: MM  
 REVIEWED: MM  
 PROJECT NO: KRISP  
 SCALE:  
 SHEET TITLE:

**RCP**  
 SHEET NO:  
**A3.1**

**LEGEND:**

SYMBOL	DESCRIPTION
	Wall Mounted Electrical Duplex Outlet 120 VAC.
	Wall Mounted Electrical Fourplex Outlet 120 VAC. Refer to Engineering dwg. for specs.
	Wall Mounted Electrical Duplex Outlet 120 VAC. Separate circuit (copier, coffee maker, microwave, refrigerators, etc.).
	Wall Mounted Electrical Fourplex (Separate Circuit) Outlet 120 VAC.
	Wall Mounted Electrical Junction Box 120 VAC.
	Wall Mounted Electrical Outlet 220 VAC(Copier).
	Electrical Pigtail 120 VAC power supply to Alko "Little Inch" under-cabinet light fixtures. To be switched from wall switch.
	Wall Mounted Telephone Outlet - Only (Plenum-approved wire) - stub-out 3/4" conduit to above ceiling. Telephone systems supplier shall furnish and install cable, wiring devices and coverplates.
	Wall Mounted Telephone and Dedicated Data Line Combination Outlet (Plenum-approved wire) - stub-out 3/4" conduit to above ceiling. Telephone systems supplier shall furnish and install cable, wiring devices and coverplates.
	Wall Mounted Data Line (Plenum-approved wire) - stub-out 3/4" conduit to above ceiling. Telephone systems supplier shall furnish and install cable, wiring devices and coverplates.
	Wall Mounted Television & FM Cable Coaxial Cable OR HDMI Outlet Contractor to verify requirements with building
	3/4" Thick fire treaded plywood for tenants telephone equipment Size to be determined by tenants telephone vendor
	Floor Mounted Telephone and Dedicated Data Line Combination Poke-Thru - Flush "Walker" Poke-Thru
	Floor Mounted Electrical Poke-Thru - "J" Box Flush "Walker" Poke-Thru

**EQUIPMENT SCHEDULE**

SYMBOL	EQUIPMENT	DESCRIPTION
	1	(Tenant will supply and install.)
	2	
	3	
	4	
	5	

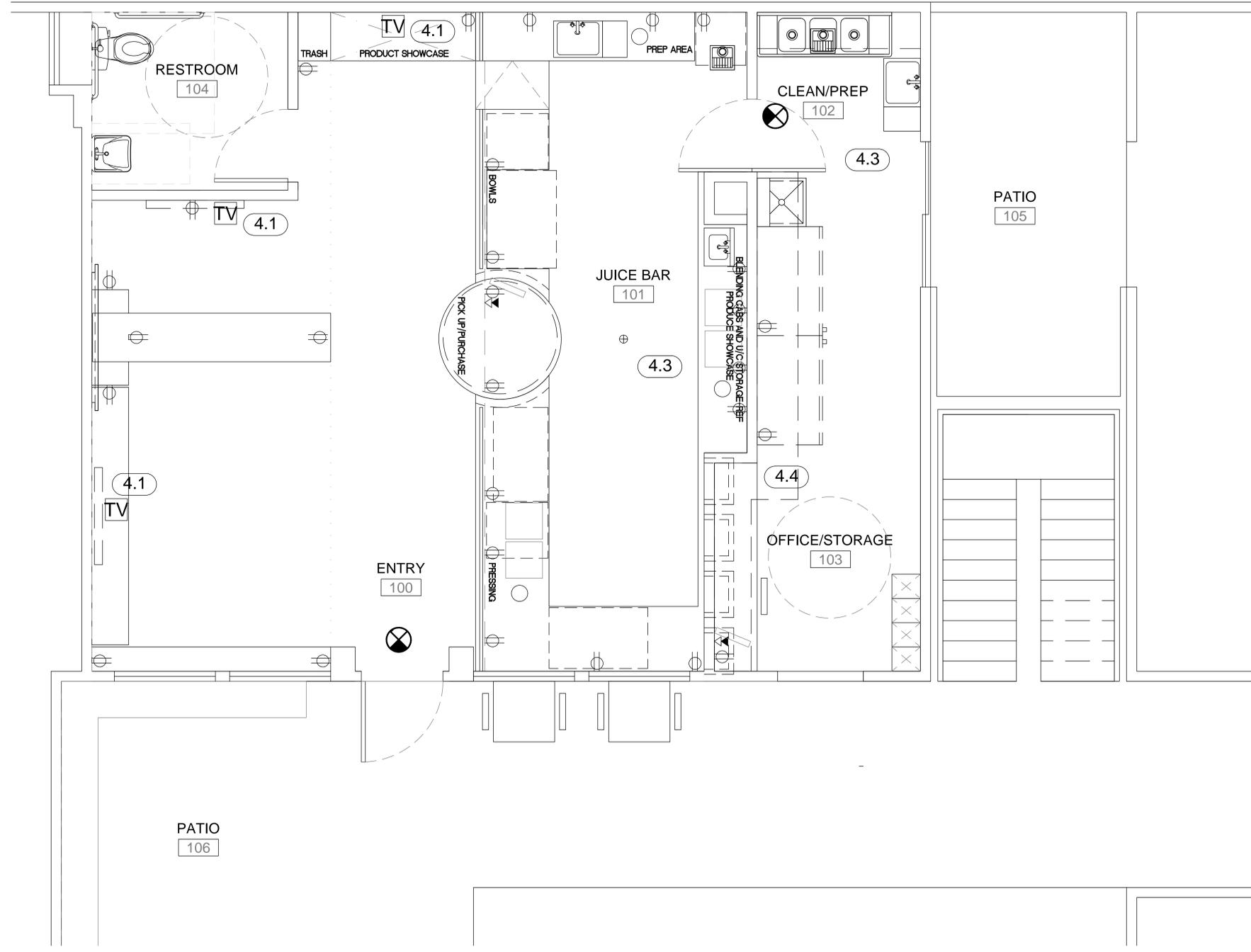
**KEY NOTES**

SYMBOL	DESCRIPTION
4.1	New wall mounted TV- Coordinate power and data requirements with TV manufacturer- coordinate final location with Owner
4.2	-
4.3	Appliances on sep circuits typ.
4.4	New IT closet- see elevation 2/A4.1 for detail
4.5	-

**SUFFIX DESCRIPTION**

E	= Existing to Remain
D	= Remove Existing
	Remove existing receptacle (Symbol varies depending upon item as noted above: Dashed lines means to remove).
N	= New
C	= Cap Existing
R	= Relocate Existing
P	= Printer
SC	= Separate Circuit
DC	= Dedicated Circuit
GFI	= Ground Fault Interrupter

- POWER & TELEPHONE PLAN LEGEND**
- The CLIENT will supply certain equipment as noted. Contractor is responsible for installation/hook-up of all new equipment as noted under equipment schedule.
  - Contractor shall install all outlets and other items as noted on this drawing. Refer to General Note Sheet for additional information.
  - All electrical wall mounted power and telephone outlets shall be Leviton Decora Series unless otherwise noted.  
20 Ampere: Leviton Catalog No. 16353 White U.O.N.
    - All switches, outlets and coverplates shall be White U.O.N.
    - All switches, outlets and coverplates shall be Black when located in millwork.
    - Contractor shall furnish and install gang switchplates at all multi-switch locations with two or more switches or dimmer switches.
  - Contractor shall supply samples of all exposed electrical items, such as outlets/receptacles switches, dimmers, coverplates, etc., in white for approval to designer and project manager prior to ordering.
  - All outlets shall be mounted at 1'-6" A.F.F. to centerline unless otherwise noted or as directed by inspector. See detail for mounting diagrams.
  - Contractor shall provide GFCI receptacles at all sink areas as required by codes.
  - The telephone/data vendor shall pull the necessary permits, provide the required supports and hangers for equipment and cables.
  - Contractor shall furnish and install electric hot
  - Contractor shall supply, install and connect Alko Little Inch under cabinet lights at all upper cabinets as indicated on millwork details. Contractor to verify lengths in field. Exact quantity and sizes of fixtures to be determined by Contractor to provide uniform continuous lighting across surface. Switching by wall switch ganged with room light switches. Color=white.
  - Contractor to provide conduit whips (verify lengths) attached to millwork elements (metal coverplates, provide couplers, attachments to whip and junction box).
  - All flush mounted floor monuments to field verified by furniture dealer and/or designer prior to install.
  - All work stations to contain the equivalent of two(2) Duplex plus voice/data outlets as req'd.



**POWER/ SIGNAL PLAN**  
SCALE: 1/4" = 1'-0"



**PROJECT:**  
**KRISP FRESH LIVING**  
1651 WESTCLIFF  
NEWPORT BEACH, CA  
TENANT IMPROVEMENT

**SEAL AND STAMP:**

**CONSULTANTS:**

**ISSUE DATES**

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1	9-3-13	SPACE PLANNING	MM
2	9-16-13	DESIGN DEVELOPMENT	MM

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**DATE:** 9-3-13  
**DRAWN:** MM  
**REVIEWED:** MM  
**PROJECT NO.:** KRISP  
**SCALE:**  
**SHEET TITLE:**

**POWER/SIGNAL PLAN**  
SHEET NO. **A4.1**

**LEGEND:**

**WALLCOVERING PLAN LEGEND**

- PAINT (P)**
- |              |  |              |  |
|--------------|--|--------------|--|
| <b>PNT 1</b> | 1. General Throughout U.O.N.<br>Mfg.: Dunn Edwards (NO VOC)<br>Contact: -<br>Color: DEW383 COOL DECEMBER<br>Description: 1 coat primer, 2 coat finish<br>Finish: FLAT        | <b>BPG 1</b> | 5. Back Painted Glass-tempered<br>Mfg.: Dunn Edwards (low VOC)<br>Contact: -<br>Color: DE6340 CANADIAN LAKE<br>Description: 1 coat glass primer, 2 coat finish<br>Finish: FLAT |
| <b>PNT 2</b> | 2. Accent Color<br>Mfg.: Dunn Edwards (low VOC)<br>Contact: -<br>Color: DE6341 VULCAN<br>Description: 1 coat primer, 2 coat finish<br>Finish: FLAT                           | <b>ST 1</b>  | 6. Stone Tile<br>Mfg.: Ann Sacks<br>Contact: -<br>Color: Athens Silver, or sim.<br>Description: install per mfr's instruction<br>Finish: -                                     |
| <b>PNT 3</b> | 3. Accent color - Conference rooms<br>Mfg.: Dunn Edwards (low VOC)<br>Contact: -<br>Color: 5820 POLISHED SILVER<br>Description: 1 coat primer, 2 coat finish<br>Finish: FLAT | <b>MET 1</b> | 6. Metallic Laminate<br>Mfg.: Formica<br>Contact: -<br>Color: Decometal, Finish TBD<br>Description: install per mfr's instruction<br>Finish: -                                 |
| <b>PNT 4</b> | 4. Accent color - Conference rooms<br>Mfg.: Dunn Edwards (low VOC)<br>Contact: -<br>Color: 5820 POLISHED SILVER<br>Description: 1 coat primer, 2 coat finish<br>Finish: FLAT |              |  |

**FLOOR COVERING PLAN LEGEND**

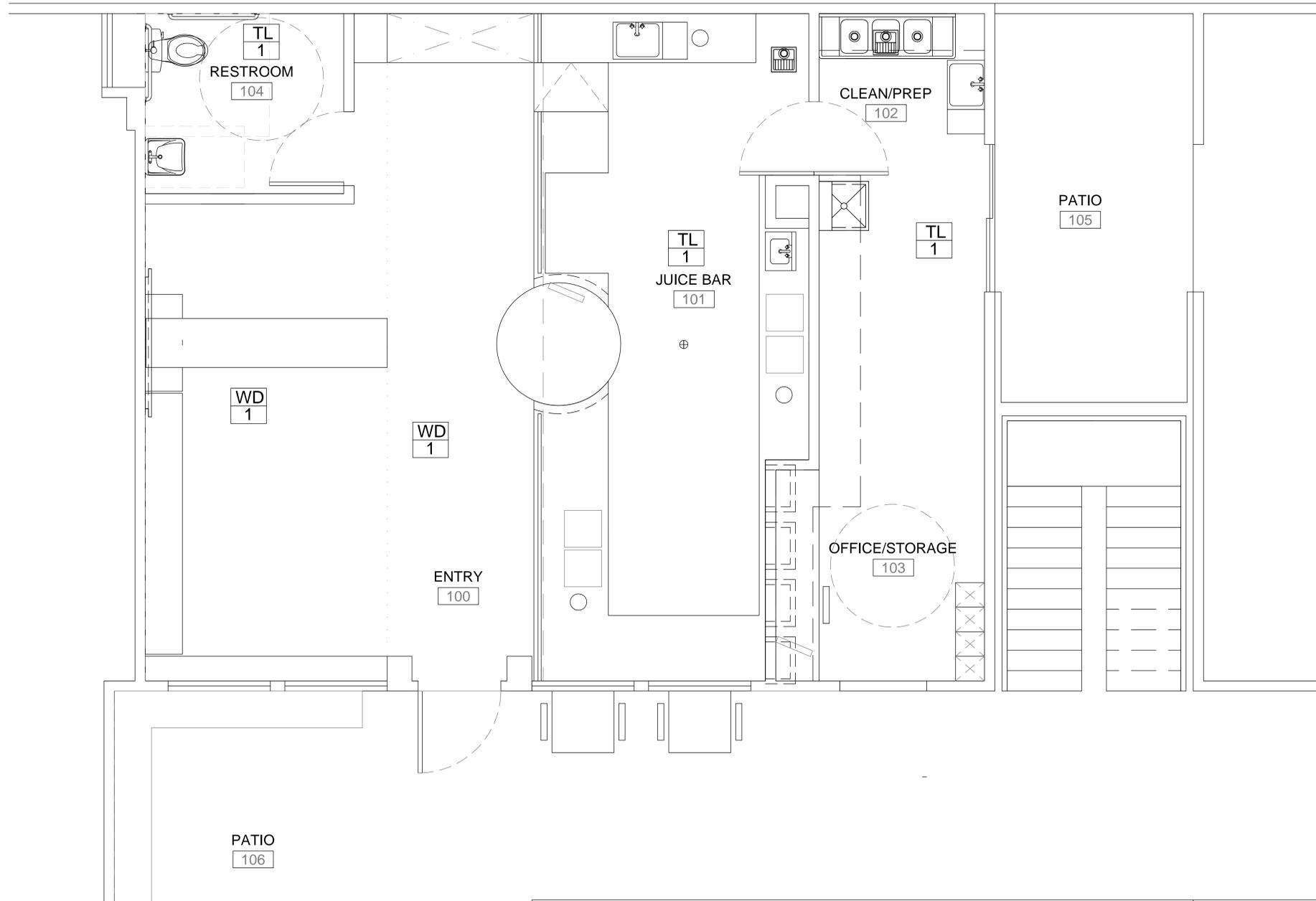
- TILE (TL)**
- TL 1** Tile-NSF APPROVED UTILITY TILE-TBD (OR EPOXY)  
Mfg.: -  
Contact: -  
Pattern: GRID  
Color: GREY/WHITE  
Weight: -  
Install: 4X4 TILE W/ MIN. GROUT LINE ON THINSET
- WD 1** Wood TILE (CERAMIC) (WD)      **RB 1** RUBBER BASE (RB)  
Mfg.: -  
Contact: -  
Pattern: -  
Color: -  
Weight: -  
Install: -
- RB 1** RUBBER BASE (RB)  
General - At all tenant interior areas & cabinet toe kicks  
Mfg.: Burke  
Size: 4"  
Color: Platinum Metallic  
Type: Straight

**FINISH PLAN NOTES**

- Contractor shall install all finishes and other items as noted on this drawing. Refer to General Note Sheet for additional information.
  - Contractor shall remove and replace all kitchenette/breakroom fixtures, sinks, and casework.
    - Sinks: Kohler-tbd
    - Faucets: Kohler-tbd
    - Base cabinets to be plastic laminate over med. density fiberboard at all exposed surfaces. Shelving to be Melamine or equal.
    - Base cabinets (FORMICA ESPRESSO PEAR), HP laminate tops (Nevamar Studio grey s6037T textured)
    - 4" pole type cabinet pulls typ. -GC TO PROVIDE LARGE SAMPLES FOR APPROVAL
- WALL COVERING PLAN NOTES**
- All partitions, columns, building core elements including perimeter gypsum board curtain wall covering shall be finished as P-1, Eggshell finish, unless otherwise noted. Gyp. board soffits and ceilings shall be finished as P-1, Flat finish, unless otherwise noted.
  - All Eggshell or Semi-gloss paint finishes shall receive USG First Coat. All costs associated with this individual item shall be presented to THE LAB separately from overall painting costs for this project.
  - This project requires a minimum of two (2) coats and/or finish to cover completely (no "telegraphing" will be accepted).
  - Surface preparation for all multicolor finishes shall meet specific material manufacturer's specifications.
  - N.I.U.
  - All hard surface base (wood, MDF or other equal) shall be finished Semi-gloss enamel, U.O.N.
  - All transitions between different finish materials shall be at inside corner, typical, where such transition is not possible, all outside corner conditions shall employ "J" mold, typical. All such metal material remaining exposed shall be finished to match adjacent paint material.
  - All surfaces receiving wallcovering must be primed per manufacturer's specifications.
  - All wallcovering shall be installed using centerline of the wall surface as the location for the start point of a full panel of material, seams on sides to end of wall, U.O.N.
  - No wallcovering seams at outside corners. Overlap all corners by at least 6" beyond the corner before the seam.
  - Contractor shall submit a seaming diagram and seaming mockup (at least 2x2') at the time of first submittal for review and approval by Bole.
  - Contractor shall order and deliver to tenant 10% of each wallcovering specified on the project as their attic stock for future use.
  - All acoustic tile surfacing being painted shall receive non-bridging (acoustic) paint in color specified herein.
  - All exposed concrete floor (or other concrete surfaces) shall be bead-blasted PRIOR to installation of specified finish.
  - All aluminum frames (doors, sidelights, etc.) requiring a painted finish shall be pre finished at factory. Refer also to the Door & Hardware Schedule for additional information and details.
  - All hollow metal door frames (such as existing building core elements and any new product specified for the project shall be painted as noted herein; semi-gloss enable finish. Refer also the Door & Hardware Schedule for additional information and details.
  - All doors requiring an applied finish shall be shop finished.
  - All items of exposed trim (such as linear diffusers, speaker drills, etc.) located in areas of suspended acoustic ceilings shall be finished to match ceiling system grid color. Life safety speakers, exit signs and light fixtures excluded.
  - All Fire Extinguisher Cabinets (F.E.C.) shall be finished to match the adjacent wall finish, U.O.N.
  - Contractor shall provide three (3) finish samples/paint spray-outs (at least 8"x10") to Bole for review and approval PRIOR to installation of same.
  - Contractor is advised that selected items of finish Hardware may require a painted finish (such as door closer covers, coordinators and their spacer, etc.); refer to the Door & Hardware Schedule herein for related details and information.
  - Contractor is advised that the installation of rubber base shall follow application of final paint/finish coat. Painting contractor shall coordinate work efforts with floorcovering contractor as required.
  - Installation for all specified products, materials and finishes shall be by manufacturer's specifications.
  - Provide window covering/shading as required by client. (reference building standards)

**GENERAL NOTES**

- If greater than 40% of the material in any given aspect of the build are being reused/relocated the intent would be to match existing (unless otherwise noted)
- If less than 40% of the material in any given aspect of the build are being reused/relocated the intent would be to install all new material per building standards.
- It is the Contractors responsibility to verify the existence of re-usable/re-locatable materials when pricing jobs and also the contractors responsibility to take a common sense approach to the economics of re-usable vs. new materials.
- Any wood used in the project shall be FSC certified (50% minimum total wood purchases)
- Furniture, seating, and wood composites shall not exceed the formaldehyde concentrations listed in the LEED-CI reference guide.
- Workstations and cabinetry shall be salvaged if possible. Contractor to price (n) cabinetry alternative with bamboo cabinet faces and recycled countertops. (N) furniture shall contain 20% post-consumer content.



**FLOOR/PAINT FINISH PLAN**  
SCALE: 1/4" = 1'-0"

1



PROJECT:  
**KRISP  
FRESH LIVING  
1651 WESTCLIFF  
NEWPORT BEACH, CA  
TENANT IMPROVEMENT**

SEAL AND STAMP:

CONSULTANTS:

**ISSUE DATES**

No.	DATE	DESCRIPTION	BY
1	9-3-13	SPACE PLANNING	MM
2	9-16-13	DESIGN DEVELOPMENT	MM
3			
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DATE: 9-3-13  
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REVIEWED: MM  
PROJECT NO: KRISP  
SCALE:  
SHEET TITLE:

**FLOOR/ PAINT  
FINISH PLAN**

SHEET NO:  
**A5.1**

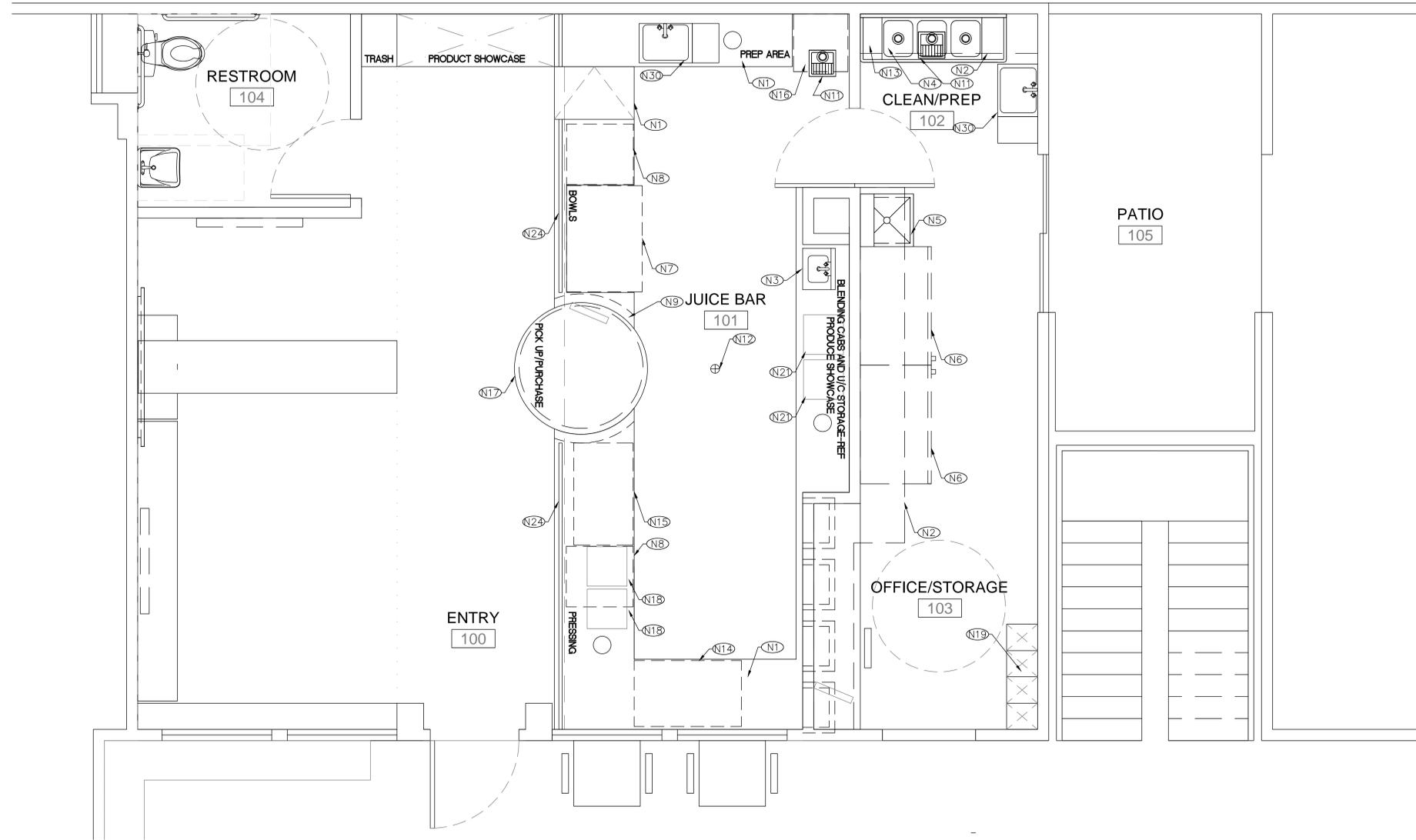


PROJECT:

**KRISP**  
**FRESH LIVING**  
 1651 WESTCLIFF  
 NEWPORT BEACH, CA  
 TENANT IMPROVEMENT

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STORE EQUIPMENT LIST					
Item No.	Manu./Spec	Description	Size	FINISH	Drainage
N1	TBD	WORK TOP-QUARTZ		Stainless Steel	
N2	EAGLE	Wire Wall-Mounted Shelving	72 LF MIN.	Stainless Steel	
N3	EAGLE	Traditional Hand Sink, NSF Approved	18" x 18" x 37"	Stainless Steel	direct
N4	EAGLE	3-Compartment Sink, NSF Approved	88" x 26" x 33.375"	Stainless Steel	indirect
N5	OWNER SELECT	Map Sink	24" x 24" x 6"	Stainless Steel	direct
N6	Adraft RF-2D	Refrigerator	54" x 32" x 82.5"	Stainless Steel	
N7	TRUE-TSSU-48-18M-B	FOOD PREP TABLE	48-3/8" x 34-1/8" x 40-3/8"	OWNER SELECT	
N8	TRUE TUC-27-ADA	U/C FREEZER	27.5" x 28" x 28"	OWNER SELECT	indirect
N9	OWNER SELECT	Cash Register		OWNER SELECT	
N10					
N11	OWNER SELECT	Floor Sink		OWNER SELECT	direct
N12	OWNER SELECT	Floor Drain		OWNER SELECT	direct
N13	NORITZ	TANKLESS WATER HEATER (ABOVE)	24" x 6" x 24"	OWNER SELECT	
N14	TRUE TUC-48F-ADA	U/C REFRIGERATOR (VEGGE STORAGE)	48-3/8" x 30-1/8" x 29-3/4"	OWNER SELECT	
N15	VISDIPPER (CUSTOM)	ICE CREAM DISPLAY	46.5" x 26.75" x --	OWNER SELECT	
N16	ICE-O-MATIC CEU220A	ICE MAKER	24.54" x 26.27" x 39" (issue)	OWNER SELECT	
N17	CUSTOM	DISPLAY UNIT-CUSTOM UNDER COUNTER		OWNER SELECT	
N18	NORWALK	JUICER	COUNTER TOP 18" X 18"	OWNER SELECT	
N19	OWNER SELECT	EMPLOYEE LOCKERS (KEYPAD LOCK)	--	OWNER SELECT	
N20	VITAMIX	REGULAR BLENDER	COUNTER TOP 18" X 18"	Stainless Steel	
N21	VITAMIX	QUIET BLENDER	COUNTER TOP 18" X 18"	Stainless Steel	indirect
N22				OWNER SELECT	
N23				OWNER SELECT	
N24	OWNER SELECT	GLASS CONTAMINATION SHIELD		CUSTOM	
N30	OWNER SELECT	PREP SINK W/ DRAIN BOARD	36" X 18" X 8"	OWNER SELECT	indirect
N32					
N33					

**EQUIPMENT PLAN**  
 SCALE: 1/4" = 1'-0"

1

**ISSUE DATES**

No.	DATE	DESCRIPTION	BY
1	9-3-13	SPACE PLANNING	MM
2	9-16-13	DESIGN DEVELOPMENT	MM

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DATE: 9-3-13  
 DRAWN: MM  
 REVIEWED: MM  
 PROJECT NO.: KRISP  
 SCALE:  
 SHEET TITLE:

**EQUIPMENT PLAN**

SHEET NO:  
**A5.2**

