



COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
(949) 644-3200 Fax: (949) 644-3229
www.newportbeachca.gov

**CITY OF NEWPORT BEACH
ZONING ADMINISTRATOR STAFF REPORT**
February 13, 2014
Agenda Item No. 1:

SUBJECT: Ochs Residence Modification - (PA2013-197)
444 Isabella Terrace
▪ Modification Permit No. MD2013-017

APPLICANT: Laidlaw Schultz Architects

PLANNER: Benjamin M. Zdeba, Assistant Planner
(949) 644-3253, bzdeba@newportbeachca.gov

ZONING DISTRICT/GENERAL PLAN

- **Zone:** R-1-6,000 (Single-Unit Residential)
- **General Plan:** RS-D (Single-Unit Residential Detached)

PROJECT SUMMARY

The applicant proposes a modification permit for a new second-story cantilevered deck to encroach 18 inches into the required 15-foot front setback along Rivera Terrace.

RECOMMENDATION

- 1) Conduct a public hearing; and
- 2) Adopt Draft Zoning Administrator Resolution No. ZA2014-___ denying Modification Permit No. MD2013-017 (Attachment No. ZA 1).

DISCUSSION

- The subject property is located within the Corona Highlands single-family community. The community is characterized by a mix of two-story structures built atop sloping lots which slope downward toward the ocean and perimeter lots that have views of either Buck Gully or Pelican Hill Golf Club. The property is one of the larger lots in the community consisting of two legal lots and is approximately 14,300 square feet in area.

- The property is currently developed with a 6,490-square-foot single-family residence that was constructed in 1955 with large additions occurring in 1973, 1980, and 1994. Several other building permits have been obtained for retaining walls and site walls to create usable outdoor area on the Rivera Terrace frontage of the property.
- In 2013, a building permit was issued for a 1,043-square-foot remodel including construction of a second-story cantilevered deck on the Rivera Terrace frontage. The deck approved and constructed as part of this building permit encroaches six (6) inches into the required 15-foot front setback consistent with Section 20.30.110 (Setback Regulations and Exceptions) which allows such encroachment for railing and is considered compliant with the Zoning Code.
- The proposed alteration of the approved second-story deck would extend the structure an additional 12 inches into the front setback for a total of 18 inches.
- Section 20.52.050 (Modification Permits) of the Zoning Code allows deviations of 10 percent of the required setback area with the approval of a modification permit. This code section recognizes that relief from specified development standards, including minimal setback projections, may be appropriate when doing so is consistent with the purposes of the Zoning Code and the General Plan, and does not negatively impact the community at large or the neighborhood of the specified development.
- Staff believes that, although the proposed project would not be detrimental to the neighborhood and could be compatible, not all required findings can be made to recommend approval. In this case, staff believes there are no practical difficulties relative to the site nor are there unique physical circumstances. Furthermore, staff believes there is a practical alternative that provides similar benefit to the property owner, but does not necessitate a modification permit. See page 2 of Attachment No. ZA 1 Draft Resolution for Denial for further explanation.

ENVIRONMENTAL REVIEW

Pursuant to Section 15270 of the California Environmental Quality Act (CEQA) Guidelines, projects which a public agency rejects or disapproves are not subject to CEQA review.

Should the Zoning Administrator act to approve the request, the project is categorically exempt under Section 15301, of the State CEQA (California Environmental Quality Act) Guidelines - Class 1 (Existing Facilities). This exemption includes minor additions and alterations of accessory structures to existing single-family residences.

PUBLIC NOTICE

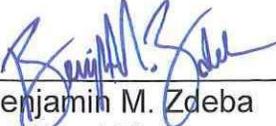
Notice of this application was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-

way and waterways) including the applicant and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

An appeal may be filed with the Director of Community Development within 14 days following the date of action. For additional information on filing an appeal, contact the Planning Division at (949) 644-3200.

Prepared by:



Benjamin M. Zdeba
Assistant Planner

GR/bmz

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|--------------|------|---------------------------------------------------|
| Attachments: | ZA 1 | Draft Resolution for Denial |
| | ZA 2 | Draft Resolution for Approval |
| | ZA 3 | Vicinity Map |
| | ZA 4 | Applicant's Project Description and Justification |
| | ZA 5 | Photos |
| | ZA 6 | Project Plans |

Attachment No. ZA 1

Draft Resolution for Denial

RESOLUTION NO. ZA2014-____

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH DENYING MODIFICATION PERMIT NO. MD2013-017 FOR A 10-PERCENT SETBACK ENCROACHMENT LOCATED AT 444 ISABELLA TERRACE (PA2013-197)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Scott Laidlaw, with respect to property located at 444 Isabella Terrace, and legally described as Lots 152 and 153 of Tract Number 1237, requesting approval of a modification permit.
2. The applicant proposes a modification permit for a new second-story cantilevered deck to encroach 18 inches into the required 15-foot front setback along Rivera Terrace.
3. The subject property is located within the Single-Unit Residential (R-1-6,000) Zoning District and the General Plan Land Use Element category is Single-Unit Residential (RS-D).
4. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Single-Unit Residential Detached (0.0 - 5.9 DU/AC) (RSD-A).
5. A public hearing was held on February 13, 2014, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

Pursuant to Section 15270 of the California Environmental Quality Act (CEQA) Guidelines, projects which a public agency rejects or disapproves are not subject to CEQA review.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 20.52.050.E (Required Findings, Modification Permits) of the Newport Beach Municipal Code (NBMC), the following findings and facts in support of the findings for a Modification Permit are set forth:

Finding:

- A. *The requested modification will be compatible with existing development in the neighborhood.*

- B. *The granting of the modification is necessary due to practical difficulties associated with the property and that the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code.*
- C. *The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.*
- D. *There are no alternatives to the Modification Permit that could provide similar benefits to the applicant with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.*
- E. *The granting of the modification would not be detrimental to public health, safety, or welfare to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.*

In this particular case, staff believes not all findings can be made for the following reasons:

1. The subject property is located in the northernmost section of the Corona Highlands and has a required 15-foot front setback along Rivera Terrace. The interior lots are generally 60 feet in width and are characterized by a sloping double frontage with most vehicular access taken from the higher side of the property and decks with outdoor living areas situated at the lower side. The subject property is comprised of two, legal lots thereby doubling the lot width and making it one of the larger lots in the community. The majority of the area within the 15-foot front setback and a large area adjacent to it have been graded and covered by hardscape in conjunction with an in-ground pool. The outdoor living areas afforded to the property owner are comparable to those existing within the immediate vicinity.
2. The Corona Highlands community is characterized by an underlying slope that descends toward the ocean. The slope on the subject property is no different from that on other properties within the immediate vicinity.
3. The subject property was recently remodeled with a second-floor cantilevered deck that complies with the Zoning Code requirements. The deck was constructed in the same location where the proposed extension would take place. This presents an alternative that not only exists, but provides similar benefits to the property owner without necessitating a modification permit.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby denies Modification Permit No. MD2013-017.

2. This action shall become final and effective 14 days after the adoption of this Resolution unless within such time an appeal is filed with the Community Development Director in accordance with the provisions of Title 20 (Planning and Zoning), of the Newport Beach Municipal Code.

PASSED, APPROVED AND ADOPTED THIS 13TH DAY OF FEBRUARY, 2014.

Brenda Wisneski, AICP, Zoning Administrator

DRAFT

Attachment No. ZA 2

Draft Resolution for Approval

RESOLUTION NO. ZA2014-___

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING MODIFICATION PERMIT NO. MD2013-017 FOR A 10-PERCENT SETBACK ENCROACHMENT LOCATED AT 444 ISABELLA TERRACE (PA2013-197)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Scott Laidlaw, with respect to property located at 444 Isabella Terrace, and legally described as Lots 152 and 153 of Tract Number 1237, requesting approval of a modification permit.
2. The applicant proposes a modification permit for a new second-story cantilevered deck to encroach 18 inches into the required 15-foot front setback along Rivera Terrace.
3. The subject property is located within the Single-Unit Residential (R-1-6,000) Zoning District and the General Plan Land Use Element category is Single-Unit Residential (RS-D).
4. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Single-Unit Residential Detached (0.0 - 5.9 DU/AC) (RSD-A).
5. A public hearing was held on February 13, 2014, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project has been determined to be categorically exempt under the requirements of the California Environmental Quality Act (CEQA) under Class 1 (Existing Facilities) of the Guidelines for CEQA.
2. This exemption includes minor additions and alterations of accessory structures to existing single-family residences

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 20.52.050.E (Required Findings, Modification Permits) of the Newport Beach Municipal Code (NBMC), the following findings and facts in support of the findings for a Modification Permit are set forth:

Finding:

- A. *The requested modification will be compatible with existing development in the neighborhood.*

Facts in Support of Finding:

Finding:

- B. *The granting of the modification is necessary due to practical difficulties associated with the property and that the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code.*

Facts in Support of Finding:

Finding:

- C. *The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.*

Facts in Support of Finding:

Finding:

- D. *There are no alternatives to the Modification Permit that could provide similar benefits to the applicant with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.*

Facts in Support of Finding:

Finding

- E. *The granting of the modification would not be detrimental to public health, safety, or welfare to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.*

Fact in Support of Finding

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Modification Permit No. MD2013-017, subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.

2. This action shall become final and effective 14 days after the adoption of this Resolution unless within such time an appeal is filed with the Community Development Director in accordance with the provisions of Title 20 (Planning and Zoning), of the Newport Beach Municipal Code.

PASSED, APPROVED AND ADOPTED THIS 13TH DAY OF FEBRUARY, 2014.

Brenda Wisneski, AICP, Zoning Administrator

DRAFT

EXHIBIT "A"

CONDITIONS OF APPROVAL

DRAFT

Attachment No. ZA 3

Vicinity Map

VICINITY MAP



Modification Permit No. MD2013-017
PA2013-197

444 Isabella Terrace

Attachment No. ZA 4

Applicant's Project Description and Justification

September 26, 2013

Community Development Department
Planning Division
100 Civic Center Drive
Newport Beach CA 92660
www.newportbeachca.gov

RE: 444 Isabella Terrace Modification Permit Request

As agent representing Peter and Gail Ochs of 444 Isabella Terrace, I submit for your review this letter of justification with the attached Planning Permit Application. The property owner proposes to construct a deck which would encroach an additional 12" further than the currently permitted 6". This deviation would fall under the 10% setback modification limits of the Zoning Code. The proposed deck is a cantilevered structure with a glass guardrail. The client's goal is to create an outdoor dining/living space which takes advantage of the only view opportunity the physical characteristics of the site provides at the main living level; while simultaneously enhancing the rear elevation thru improved articulation. The proposal includes converting a portion of the existing living area into deck area, resulting in a decrease to the interior square footage.

The proposal is compatible with existing development in the neighborhood. Raised decks are common, as other owners have provided for themselves large outdoor living spaces. In fact, the owner directly to the East has a supported deck that is encroaching at least 18" into the setback. The entire length of the proposed deck is limited to 18'-4", while the cantilevered design and glass guardrail soften any visually detrimental effects. Also, the existing canopy structure on the eastern side of the proposal provides a counterpoint which will help balance the deck's optical encroachment.

The modification is required because the physical character of the site, the structure, and the intended use limit the location of the deck to the proposed area. It is a sloping site that falls away from the south-western corner of the lot. As it slopes down along Rivera Terrace (towards Seaward) a view corridor opens up to reveal ocean and hillside views. To achieve the client's goal with the highest and best utilization of the home's interior organization, and still take advantage of the view, the proposal must be where it is located. Experience has shown that a minimum 6' of depth is required for a functional outdoor space. While we are devoting a portion of the existing living space to this new outdoor element, further impingement would significantly compromise the practicality of the interior room. The current outdoor living space is used for a swimming pool and is located in the upslope corner of the Southern part of the property where there is little view opportunity. However, the pool area does provide a much more generous setback, therefore providing an average setback (including the proposed deck) far greater than the 15' requirement.

Granting of the modification is necessary due to practical difficulties associated with the property. The property borders streets on both ends and is thus burdened with two front yard 15' setback designations per setback map S-10C. However, because the property slopes rather steeply the actual front yard (where the entry is located) is at grade while the same level on the downslope side is elevated a full story above grade. If the lot was flat the client could simply build a patio on grade without violating the setback rules. However, building the deck a full level lower (so that it is on grade) would eliminate any of the proposal's benefits since the view would no longer be available. Strict application of the setback map results in a physical hardship because the slope of the site forces the owner to build a deck which would otherwise be on grade. Furthermore if the property was not assigned with the technical complication of a dual front yard designation, the proposed deck would be well outside the typical 6' required rear yard setback of this zone. Granting of the modification would not create a condition which is inconsistent with the zoning code's purpose and intent for the setback regulation, which states:

"to ensure the provision of open areas around structures for: visibility and traffic safety; access to and around structures; access to natural light and ventilation; separation of incompatible land uses; space for privacy, landscaping, and recreation; protection of natural resources; and safety from fire and geologic hazards.

The physical characteristics of the site make it so that the deck would not violate any of the existing elements mentioned above, and would have the added benefit (because we are removing interior space) of creating the type of modulated façade the zoning code aspires to in its design guidelines.

There are no practical alternatives to the Modification permit which would provide similar benefits to the applicant. Granting of the Modification would in no way be detrimental to the public health, safety, or welfare of the occupants. Ultimately the modification will benefit nearby properties, the neighborhood, and the City, by reducing density and providing modulation to a largely flat portion of the façade. Therefore, I ask that you review and approve the subject Planning Permit Application. Thank you in advance for your review of the application and do not hesitate to contact me with any questions.

Sincerely,

Scott Laidlaw
Laidlaw Schultz Architects

cc: Peter Ochs

Attachments:
Planning Permit Application
(1) sets of full-size plans
(5) sets of reduced plans
Filing Fee
Mailing labels
Electronic Copy of all the attachments

December 2, 2013

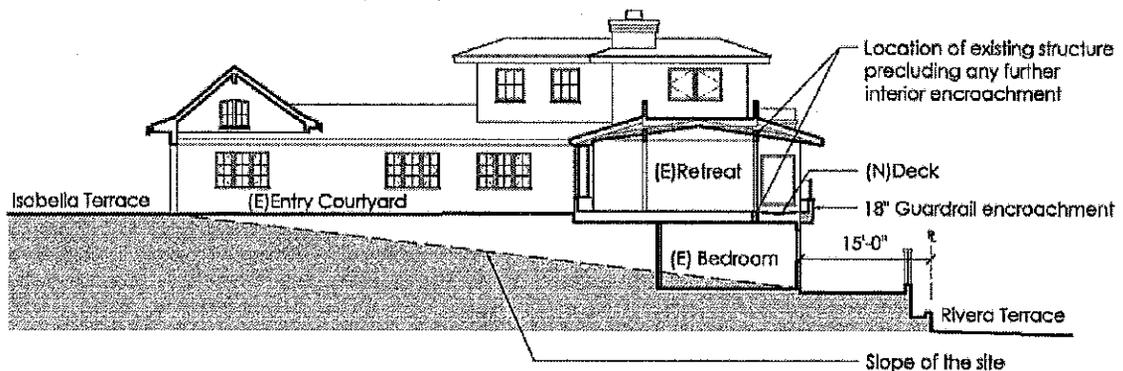
Community Development Department
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As agent representing Peter and Gail Ochs of 444 Isabella Terrace, I submit for your review this letter of justification with the attached Planning Permit Application. The property owner proposes to construct a deck which would encroach an additional 12" further than the currently permitted 6". This deviation would fall under the 10% setback modification limits of the Zoning Code. The proposed deck is a cantilevered structure with a glass guardrail. The client's goal is to create an outdoor dining/living space that simultaneously enhances the rear elevation of the home. The new deck takes advantage of the only view opportunity the physical characteristics of the site provide at the main living level. The proposal includes converting a portion of the existing living area into deck area, resulting in a net decrease to the interior square footage.

The required findings needed to justify the modification are as follows:

Finding #1: The proposal is compatible with existing development in the neighborhood. Raised decks are common, as other owners have provided for themselves large outdoor living spaces. In fact, the owner directly to the East has a supported deck that is encroaching at least 18" into the setback. The entire length of the proposed deck is limited to 18'-4". The cantilevered design, glass guardrail, and similar surrounding structures will make the encroachment imperceptible.



Finding #2 (see diagram): The modification is required because the physical character of the site, the structure, and the intended use limit the location of the deck to the proposed

area. It is a sloping site that falls away from the south-western corner of the lot. As it slopes down along Rivera Terrace (towards Seaward) a view corridor opens up to reveal ocean and hillside views. To achieve the client's goal with the highest and best utilization of the home's interior organization, and still take advantage of the view, the proposal must be where it is located. While we are devoting a portion of the existing living space to this new outdoor element, further impingement is precluded by structural limitations we can't feasibly alter. Since we can't get the additional space needed to meet the space requirements of a useable outdoor deck by going further in we need to push out 12" instead.

Finding #3 (see diagram): Granting of the modification is necessary due to practical difficulties associated with the property. The property slopes rather steeply as a result the actual front yard (where the entry is located) is at grade while the same level on the downslope side is elevated a full story above grade. If the lot was flat the client could simply build a patio on grade without violating the setback rules. However, building the deck a full level lower (so that it is on grade) would eliminate any of the proposal's benefits since the view would no longer be available. Strict application of the setback map results in a physical hardship because the slope of the site leaves the owner without the opportunity to create a conforming outdoor living space that is at the

Finding #4: There is no detrimental effect to the surrounding neighbors, occupants, neighborhood or general public so it is not necessary to make this finding. In fact, the neighbors will benefit from the reduction in mass of the wall and added articulation. Granting of the modification would not create a condition which is inconsistent with the zoning code's purpose and intent for the setback regulation, which states:

"to ensure the provision of open areas around structures for: visibility and traffic safety; access to and around structures; access to natural light and ventilation; separation of incompatible land uses; space for privacy, landscaping, and recreation; protection of natural resources; and safety from fire and geologic hazards.

The physical characteristics of the site make it so that the deck would not violate any of the existing elements mentioned above.

Finding #5: There are no practical alternatives to the Modification permit which would provide similar benefits to the applicant. Granting of the Modification would in no way be detrimental to the public health, safety, or welfare of the occupants. Ultimately the modification will benefit nearby properties, the neighborhood, and the City, by increasing density and providing modulation to a largely flat portion of the façade. The neighbors support the modification as demonstrated by the attached letter. Therefore, I ask that you review and approve the subject Planning Permit Application. Thank you in advance for your review of the application and do not hesitate to contact me with any questions.

Sincerely,

Scott Laidlaw
Laidlaw Schultz Architects

Attachment No. ZA 5

Site Photos



Photo 1: Downstreet view from Rivera Terrace showing frontage prior to alterations.



Photo 2: Closeup view from Rivera Terrace. Under construction with conforming second-story deck (six-inch encroachment).



Photo 3: Panoramic view from Rivera Terrace.



Photo 4: An oblique aerial photograph depicting the amount of outdoor living area provided on the lot under the existing condition.

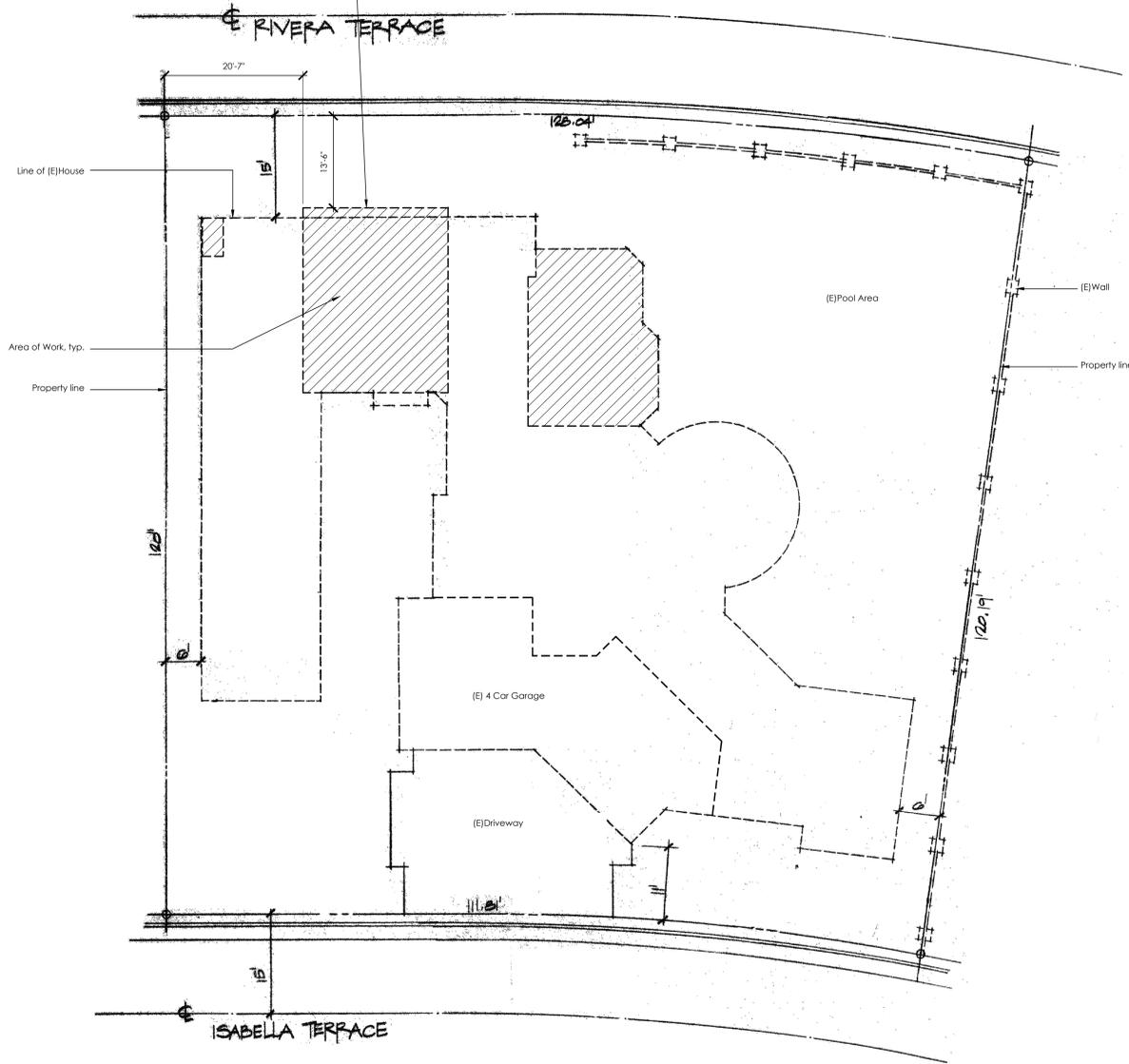
Attachment No. ZA 6

Project Plans

General Site Notes:

- Employ Newport Beach Standard Erosion Control Measures Throughout the Construction Process.
- A Public Works Department encroachment permit inspections is required before the Building Department Permit Final can be issued. At the time of Public Works Department inspection, if any of the existing public improvements surrounding the site is damaged by the private work, new concrete sidewalk, curb and gutter, alley/street pavement, and other public improvements will be required and 100% paid by the owner. Said determination and the extent of the repair work shall be made at the discretion of the Public Works Inspector.
- All Private Irrigation sprinkler heads shall be installed and positioned in a manner that will not cause irrigation overspray onto the public right-of-way.
- Provide house street number visible and legible from street. Numbers shall be of non-combustible materials in special Fire Protection areas.
- Provide 2% slope grade away from structures within 5'-0" of structure. Existing water drainage Pattern to remain
- An approved encroachment permit is required for all work activities within the public right-of-way.
- All Utility service connections serving this development shall be made underground.
- Water meter and sewer cleanout will be upgraded/installed to meet current City Standard 502-L. Said meter and cleanout shall be installed with a traffic-grade box and lid.
- Field inspectors to review and approve underground service requirement prior to concrete placement.
- Provide pedestrian protection adjacent to public way per A.001a City of Newport Beach note 4
- When required pedestrian protection to be constructed in accordance with Section 3306.
- Where pedestrian barrier is not required, provide construction fencing for new construction. Fence height to be between 72" and 84" high.
- Provide approved backwater drainage valve for fixtures located below the elevation of next upstream manhole cover. Fixtures above this elevation shall not discharge through valve.
- Provide 6" house street number visible and legible from street. Numbers shall be of non-combustible materials in special Fire Protection Areas.
- All roofs to have gutters/area drains and downspouts
- All downspouts and area drains to be connected to solid drainlines and conveyed to street.
- An Engineer's height certification must be submitted:
 - Prior to concrete slab being poured.
 - Prior to roof material being installed.
- A City encroachment agreement is required for all non-standard private improvements within the public right-of-way.
- Min. 4" dia. drain lines to be one of the following: (ABS, SDR35), (ABS, Schedule 40), (PVC, SDR35), (PVC, Schedule 40), (ADS 300 with PE glued joints)

Line of new guardrail, 18" max. encroachment into setback per modification permit

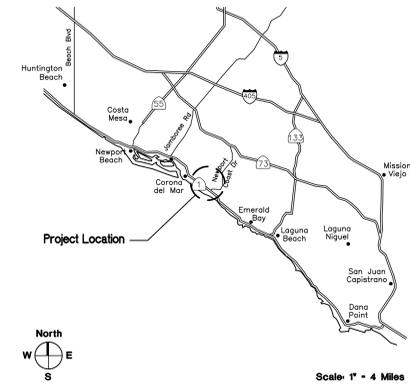


Scale: 1" = 10'

Architectural Abbreviations

ADJ	Adjacent	MAX	Maximum
AFF	Above Finished Floor	MECH	Mechanical
BD	Board	MEMB	Membrane
BETW	Between	MFR	Manufacturer
BLKG	Blocking	MIN	Minimum
BM	Becom	MTD	Mounted
CIP	Cast in Place	MTL	Metals
CJ	Control Joint	MOD	Module
CL	Centerline	MR SWB	Moisture Resistant Gypsum Board
CLG	Ceiling	NPV	Net Free Vent. Area
CLR	Clear	NIC	Not in Contract
COL	Column	NO	Number
CONC	Concrete	(N)	New
CONST	Construction	OC	On Center
CONT	Continuous	OPNG	Opening
CRG	Curved	OPP	Opposite
DBL	Double	PL	Property Line
DIM	Dimension	DN	Down
DN	Down	DR	Door
DR	Door	DTL	Detail
DWG	Drawing	EA	Each
ELEV.	Elevation	RD	Roof Drain
ELEC	Electrical	RE	Refer To
EQ	Equal	RES	Resistant
EQUIP	Equipment	RESIL	Resilient
EXP	Expansion	REQD	Required
EXT	Exterior	RIGD	Rigid
(E)	Existing	RM	Room
FC	Fire Extinguisher Cabinet	RO	Rough Opening
FFL	Finish Floor Level	ROD	Rolling Overhead Door
FLR	Floor	RWL	Rain Water Lifter
FLUOR	Fluorescent	SC	Solid Core
FN	Finish	SCHED	Schedule
FO	Face Of	SECT	Section
FOS	Face of Stud	SHT	Sheet
FW	Face of Wall	SIM	Similar
FD	Floor Drain	SKD. GD.	Skid Guard
FG	Fixture	ST. STL.	Stainless Steel
GALV	Galvanized	STRUCT	Structural
GR	Grade	SUSP	Suspended
GWB	Gypsum Board	THK	Thick
GYP BD	Gypsum Board	THRU	Through
HC	Hollow Core	T.O.	Top Of
HD	Hot Dipped	TYP	Typical
HM	Hollow Metal	UNO	Unless Noted Otherwise
HR	Hour	VEN	Veneer
HT	Height	VER	Verify
INS	Insulation	VES	Vestibule
INT	Interior	W/	With
JT	Joint	WD	Wood
LEV	Level	WP	Waterproof
LT	Light	WR	Water Resistant
LOC	Location	WT	Weight

Vicinity Map



Architectural Symbols

	Building Section i.e. Drawing 1, Sheet A.400
	Detail Section i.e. Drawing 1, Sheet A.700
	Elevation i.e. Drawing 1, Sheet A.300
	Large Scale Detail i.e. Drawing 1, Sheet A.700
	Interior Elevation i.e. Drawing 1A, Sheet A.600
	Room Number
	Door Symbol RE: Door Schedule Sheet A.005
	Window Symbol RE: Window Schedule Sheet A.005
	Revision
	Keynote
	Wall type
	Floor Drain
	Hose Bib
	Gas
	Batt Insulation
	Existing Wall
	Wall to be removed if shown on the Demo Plan
	Concrete
	Plywood
	One Hour Wall
	New Wall
	Masonry
	Stone Veneer

Project Data

Project Address: 444 Isabella Terrace
Corona del Mar, CA 92625

Legal Description: TR_1237 Lot

Assessor's Parcel Number: 459-141-17

Project Description: Remodel to (E)Single Family Residence. Add new deck

Owner: Peter and Gail Ochs: poch65@gmail.com

Design Professional in Responsible Charge: Scott Laidlaw - Laidlaw Schultz Architects
3111 Second Ave Corona Del Mar, CA 92625
Phone: 949.645.9982 Fax: 949.645.9554
E-mail: slaidlaw@lsarchitects.com

Structural Engineer: Mike Gabriel
483 East 20th Street, Costa Mesa, CA 92627
Phone: 949.646.6596, E-mail: mrgse@earthlink.net

Energy Calculations: Mark Madison - Energy Code Works
2600 Michelson Dr., Ste. 1700 Irvine, CA 92612
Phone: 800.700.0131
Email: mark@energycode.com

Occupancy: Group R-3

Zoning District: R-1-6000

Construction: Type V-8

Number of Stories: 2 with Basement

Parking: 4 Covered Existing

Max. Height of Existing Residence: No change

Area Calculation:	Total Proposed		
	Existing	Remodel	Addition
Main Residence	736 sf	15 sf	- sf
Basement	4473 sf	1028 sf	-115 sf
First Floor	406 sf	- sf	- sf
Second Floor	- sf	- sf	- sf
Total Living Area	- sf	- sf	5500 sf
Deck	530 sf	- sf	49 sf
Garage Area:	990 sf	- sf	- sf

City of Newport Beach Notes (see A.001a)

- Issuance of a building permit by the City of Newport Beach does not relieve applicants of the legal requirements to observe covenants, conditions and restrictions which may be recorded against the property or to obtain plans. You should contact your community associations prior to commencement of any construction authorized by this permit.
- Prior to performing any work in the city right-of-way an encroachment permit must be obtained from the Public Works Department

List of Drawings

Architectural	A.001 Site and Project Info
A.001a	General Notes
A.200	Floor Plans & Schedules
A.300	Exterior Elevations & Sections
A.400	Details
A.500	Reflected Ceiling Plans
Structural	S1 General Notes
S2	Foundation Plan/ Framing Plan
S3	Details
Energy	T24.1 Energy Calcs
T24.2	Energy Calcs

PROJECT
Ochs Residence
444 Isabella Terrace
Corona Del Mar, CA 92625

DRAWING DESCRIPTION
General Notes / Site Plan

DATE: 08.02.2013
ISSUE/REVISION: 08.02.2013 Plan Check
CORRECTIONS: 08.08.2013 Corrections
PLANNING APP: 08.25.2013 Planning App.

REVIEW: SDL
SDL
SDL

A.001 SHEET NO.

ALL drawings and written material appearing herein constitute original and unmodified work of the architect and may not be duplicated, used or otherwise without the written consent of Laidlaw Schultz Architects.

3111 Second Avenue
Corona del Mar, CA 92625-2322
(949) 645-9982 Fax: (949) 645-9554
www.lsaarchitects.com

- (N) Tub, Shower, or Tub/Shower combination w. anti-slipclading features. Provide 12" round cleanouts. WGI covering of shower shall be tile, or approved equal, to a height of min. 72" abv. drain inlet. Float tile over cement plaster backing.
- Flagstone Flooring
- (E) Fireplace
- Soffit
- Refrigerator
- Overhead cabinet
- Dishwasher
- Full Height cabinets
- Crown molding overhead
- +36 counter
- (E) Fixtures to remain
- Stove with hood above to provide min. 100 cfm
- Kitchen sink
- 42" high guardrail. Re: detail on A.400
- Parcecin tile over Dextotex per ICC Report ESR1757
- Line of roof overhead
- Line of (E)Elec. cabinet canopy
- Line of Proposed deck abv.

- All dimensions are to be to the finished face or centerline of the partition U.N.O.
- G.C. to layout (in paint) the locations of all partitions, doors, lighting, ceiling elements, sprinklers, switches, dimmers, thermostats, power & comm. outlets, millwork and furniture for approval by the Architect prior to construction.
- It is the responsibility of the contractor to bring to the attention of the Architect any field conditions that do not allow construction or installation as drawn.
- Do not scale drawings. Dimensions as indicated take precedent over drawings.
- Provide continuous metal backing for reinforcing of walls to hang millwork, furniture shelving or cabinetry.
- Provide millwork shop drawings for Architect's approval. Millwork to comply with the recommendations of the Woodwork Institute of California (WIC).
- Any door hardware associated with millwork provided doors is to be ordered by the millworker.
- G.C. to provide full-time superintendents' supervision on the project.
- All bathroom accessories, such as grab bars, towel bars, soap dishes, etc. on or within walls shall be sealed against moisture. Provide backing as required.
- Avoid cut tiles and brick. Layout to consider final requirement, adjust as necessary. Notify Architect of changes.

Legend:

===== (E) Wall to remain

----- (E) Wall to be Removed

===== (N) Wall

⊙ Smoke detector, Re: A.500

Type/No.	Size (w/h)	Operation	Frame	Notes
A1	3'-4" x 5'-4"	Awning	Clad	Replace (E) window in kind. Verify (E) dimensions in the field
A2	4'-0" x 5'-4"	Awning	Clad	Replace (E) window in kind. Verify (E) dimensions in the field
B1	12'-0" x 5'-6"	Mulled Awning	Clad	Remove (E) windows and reuse (E) structure where possible
B2	13'-2" x 5'-6"	Mulled Awning	Clad	Remove (E) windows and reuse (E) structure where possible
C1	9'-1" x 4'-2"	Mulled Casement	Clad	Replace (E) window in kind. Verify (E) dimensions in the field
C2	9'-1" x 3'-4"	Mulled Casement	Clad	Replace (E) window in kind. Verify (E) dimensions in the field
D1	2'-6" x 4'-2"	Casement	Clad	Replace (E) window in kind. Verify (E) dimensions in the field
D2	3'-0" x 4'-2"	Casement	Clad	Replace (E) window in kind. Verify (E) dimensions in the field
D3	2'-4" x 3'-4"	Casement	Clad	Replace (E) window in kind. Verify (E) dimensions in the field
E1	4'-2" x 5'-4"	Fixed	Clad	-
F1	3'-9" x 5'-4"	Casement	Clad	-

General Notes:

- All Doors and windows shall be Kabco & Kabco Aluminum Clad.
- Refer to Title-24 for U Value and SHGC
- Provide Finish Sample For Owner / Architect Approval
- Provide Shop Drawings for Approval
- All Glazing with Multiple Panes shall be True Divided Lites
- Contractor to Field Measure all Openings Prior to Fabricating New Windows
- All Exposed Hardware to be approved by architect and owner
- Provide hidden pocket screens with max. transparency of operable windows
- Fenestrations must have temporary and permanent labels.

Key Notes:

- Manufacturer to provide details and calculations for municipal review prior to installation.

Legend:

GL - 1/2" Glass

Dual - Dual Glazed Unit

Clad - Aluminum clad wood

Wd - Wood

T - Denotes Tempered/Safety Glazing as per Code Req. (Lower Corner) Refer to 2/A.002 for additional criteria

SC - Solid Core Wood Veneer

Window Types:

General Notes:

- All Doors and windows shall be Loewen Aluminum Clad with stain grade Douglas fir interior and have double clear glass, with U value of .49 and SHGC of .21, or manufacturer of equal quality.
- Provide Shop Drawings for Approval
- All Glazing with Multiple Panes shall be True Divided Lites
- Contractor to Field Measure all Openings Prior to Fabricating New Doors.
- All Exposed Hardware to be Oil Rubbed Bronze
- Coordinate locksets with owner
- All door assemblies to be a U-factor of 0.49

Legend:

GL - 1/2" Glass

Dual - Dual Glazed Unit

Clad - Aluminum clad wood

Wd - Wood

T - Denotes Tempered/Safety Glazing as per Code Req. (Lower Corner) Refer to 2/A.002 for additional criteria

SC - Solid Core Wood Veneer

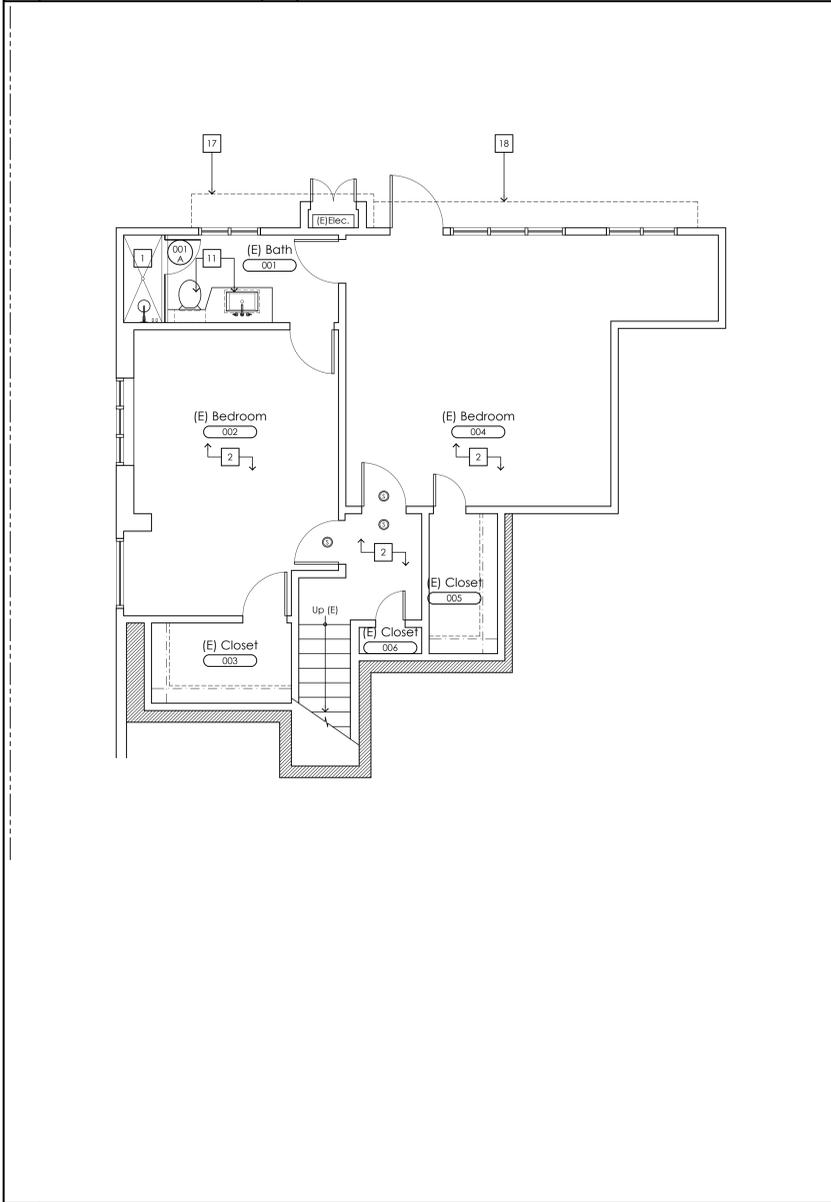
Door Types:

6 Key Notes

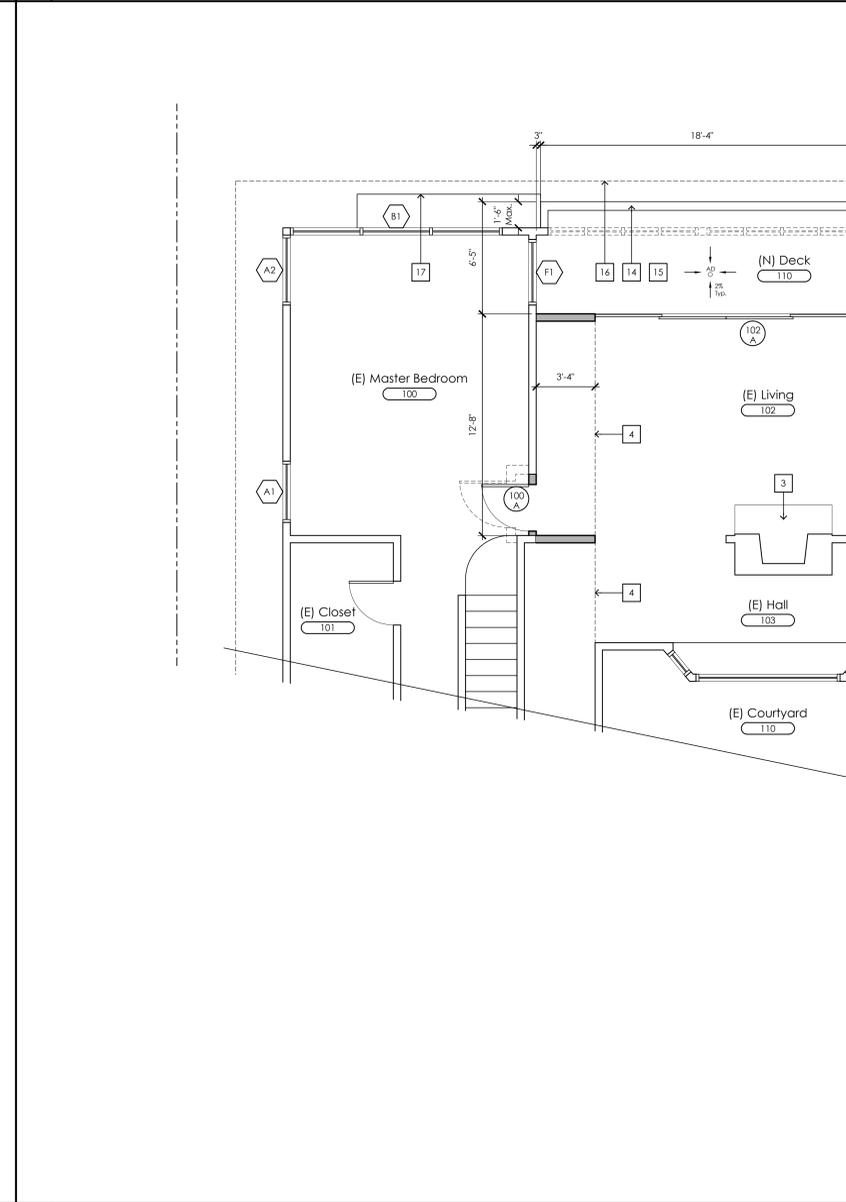
5 General Notes + Legend

4 Window Schedule

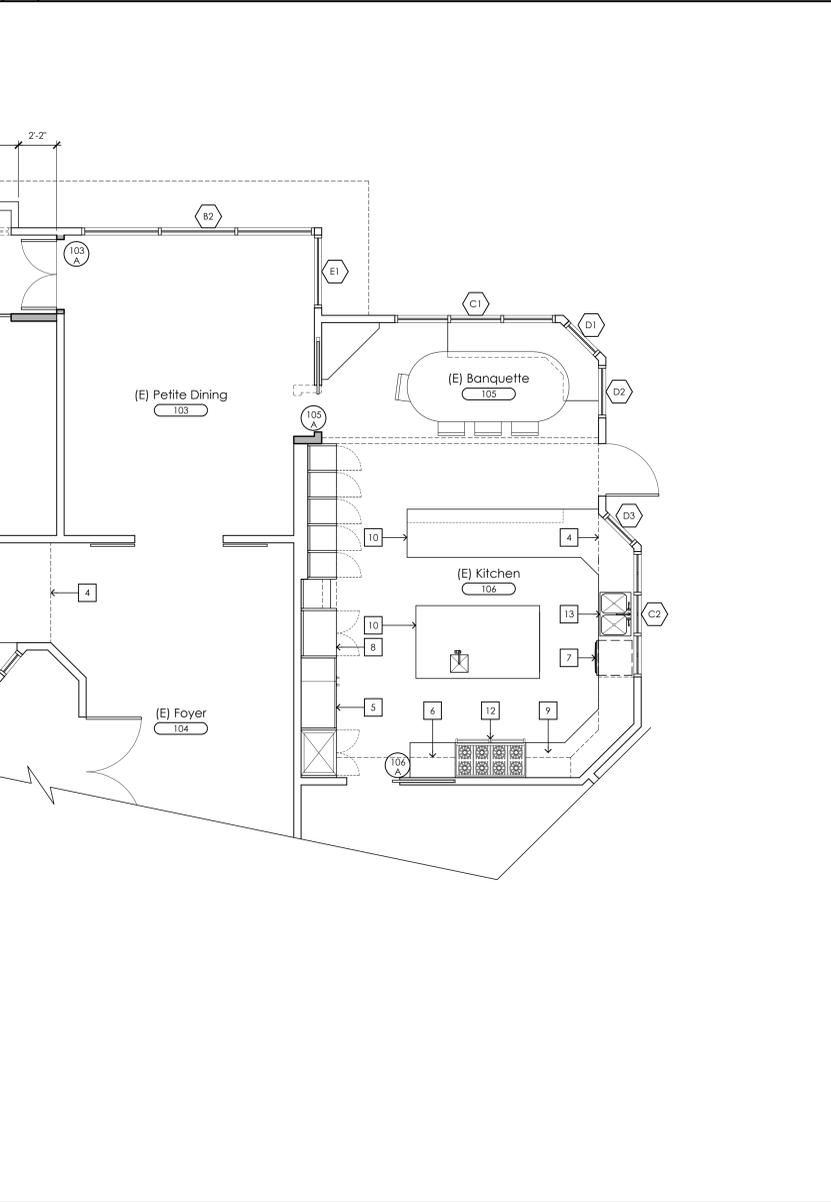
3 Door Schedule



2 Basement Scale: 1/4" = 1'-0"



1 Main Level Scale: 1/4" = 1'-0"



3 Door Schedule Scale: 1/4" = 1'-0"



PROJECT
Ochs Residence
 444 Isabella Terrace
 Corona Del Mar, CA 92625

DRAWING DESCRIPTION
Floor Plans

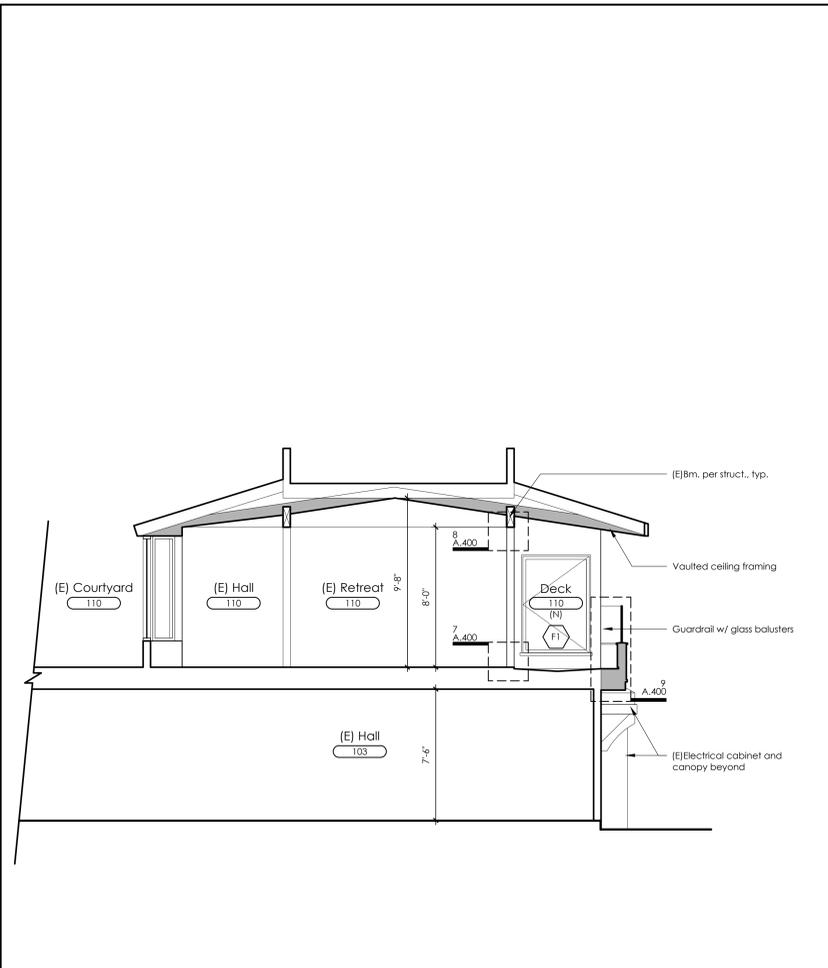
DATE: 08.02.2013
 ISSUE/REVISION: 08.08.2013
 PLAN CHECK: Corrections
 RENEWAL: Planning App.
 08.25.2013

REVIEW
 SDL
 SDL
 SDL

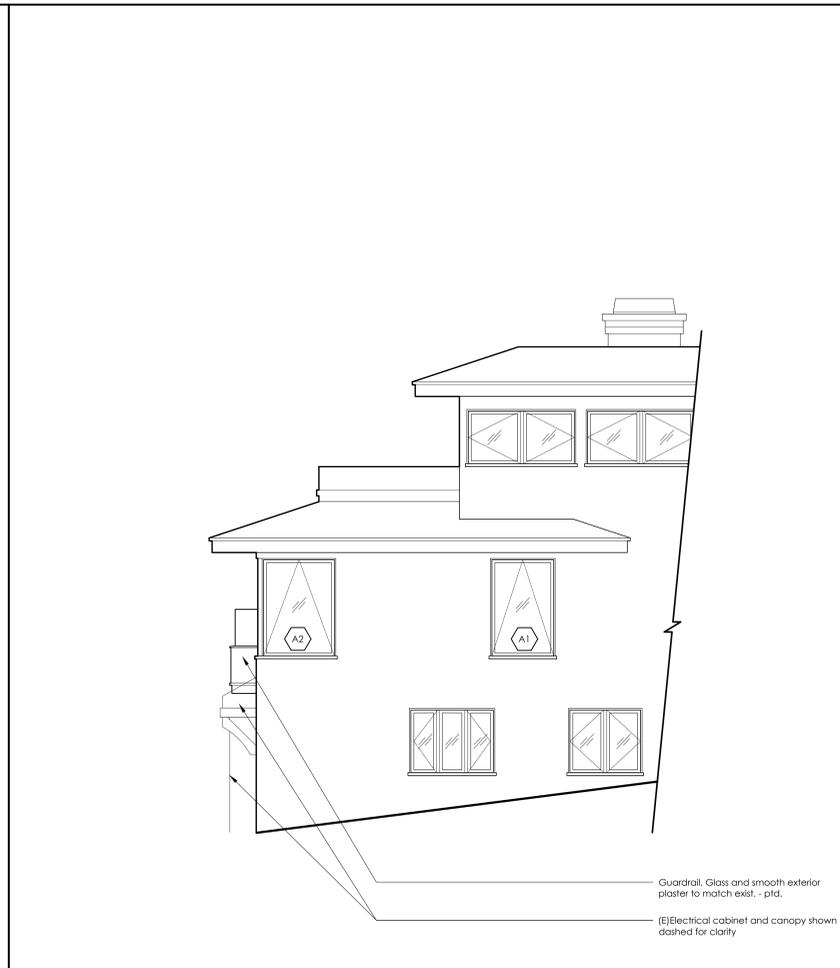
A.200 SHEET NO.

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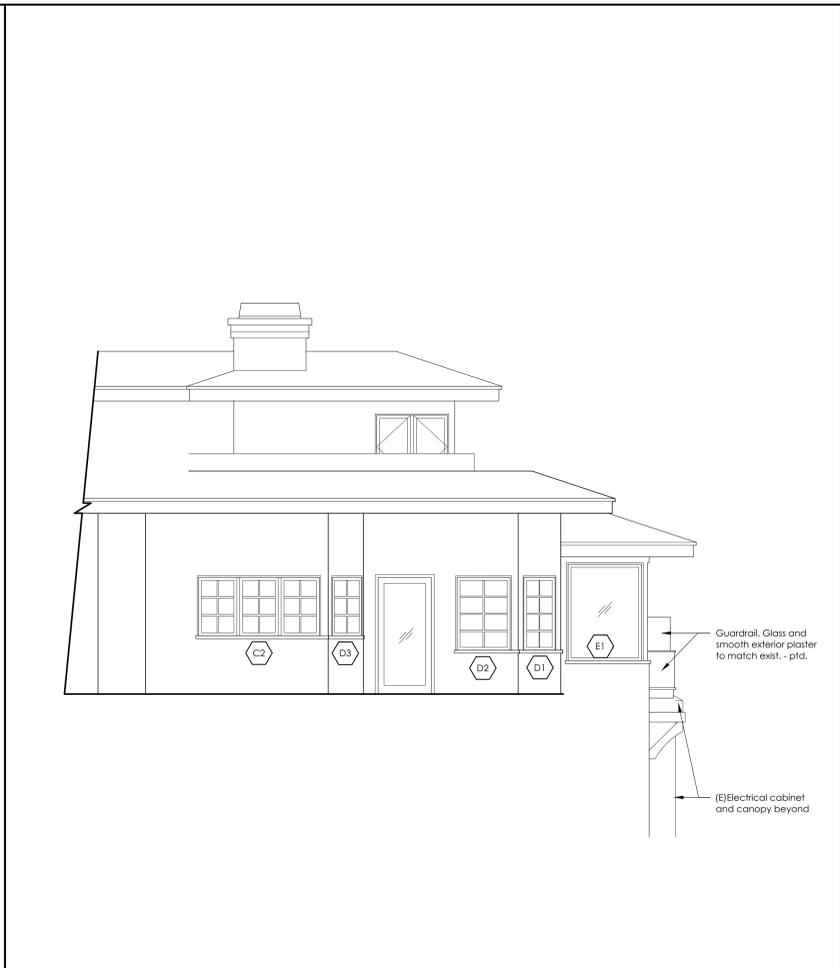
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4 Section

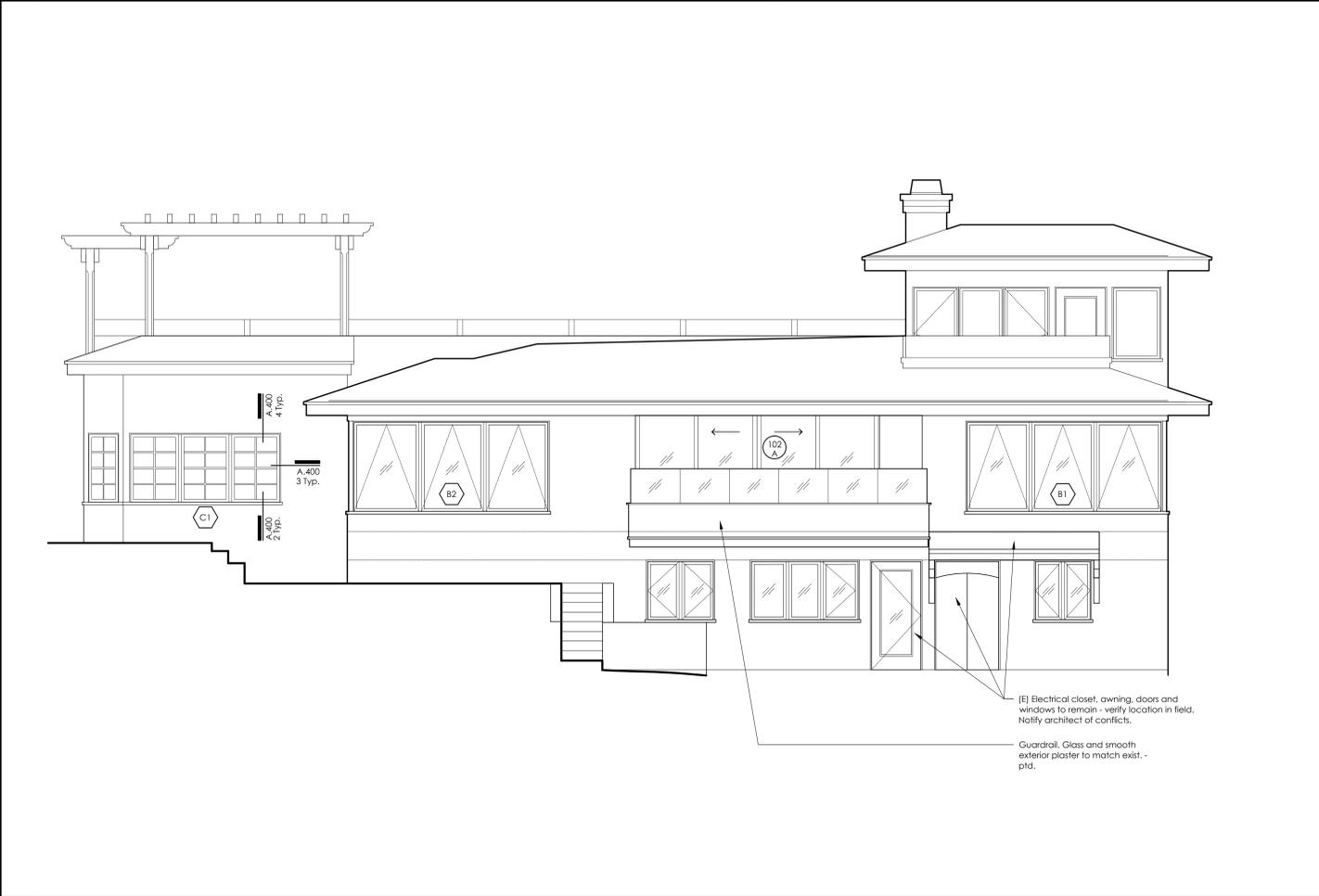


2 Eastern Elevation



1 Western Elevation

Scale: 1/4" = 1'-0"



3 Southern Elevation



3a Existing Partial Southern Elevation

*Note: (E)existing to remain, UNO Re: A.200

Scale: 1/4" = 1'-0"



PROJECT
Ochs Residence
 444 Isabella Terrace
 Corona Del Mar, CA 92625

DRAWING DESCRIPTION
 Exterior Elevations

DATE	ISSUE/REVISION	REVIEW
08.02.2013	Plan Check	SDL
08.08.2013	Corrections	SDL
08.25.2013	Planning App.	SDL



A.300
 SHEET NO.

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T

EUGENE ELLIOTT MD
436 RIVERA TERRACE
CORONA DEL MAR, CA.
92625

F

November 24, 2013

Brenda Wisneski
Deputy Community Development Director
Community Development Department
Planning Division
100 Civic Center Drive
Newport Beach, CA. 92658-8915

Re: Modification Permit No. MD2013-017
(PA2013-197)
444 Isabella Terrace

Dear Ms. Wisneski,

I am an adjacent neighbor to the Ochs residence at 444 Isabella Terrace. It has come to my attention that the Och's are requesting a modification permit to extend a deck on the Rivera Terrace side of their home. My wife and I have looked over the proposed modification and find the modification aesthetically pleasing and an enhancement to the neighborhood. We foresee no negative impact and welcome the modification. We support the modification and hope it can proceed as requested in the Modification Permit.

Thank you for your consideration of this request.

Sincerely,



Eugene Elliott md

Michael D. Janes
433 Isabella Terrace
Corona Del Mar, CA 92625

November 26, 2013

Brenda Wisneski
Deputy Community Development Director
Community Development Department
Planning Division
100 Civic Center Drive
Newport Beach, CA 92658-8915

RECEIVED BY
COMMUNITY
DEC 03 2013
DEVELOPMENT
CITY OF NEWPORT BEACH

RE: Modification Permit No. MD2013-017
(PA2013=197)
444 Isabella Terrace

Dear Ms. Wisneski,

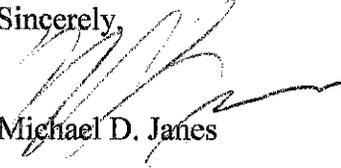
I am a close neighbor to the subject property and am writing to let you know that I absolutely support granting of the modification. The changes are minor and reasonable and I believe they will improve the look of the neighborhood.

I believe that there are similar encroachments in the area and that the changes will be an asset to the neighborhood.

If you have any questions, feel free to call me at 949/955-1111.

Thank you.

Sincerely,


Michael D. Janes

December, 4 2013

Ms. Brenda Wisneski
Deputy Community Development Director
Community Development Department, Planning Division
100 Civic Center Dr.
Newport Beach, CA 92658-8915



Dear Brenda,

We live at 448 Rivera Terrace, Corona del Mar directly across the street from Peter and Gail Ochs. The Ochs has submitted a request for modification, permit # MD2013-017 (PA2013-197) 444 Isabella Terrace.

This modification to their home only affects 2 homes and quite frankly really only ours. This modification is minor, it is reasonable; it is attractive and well done. This encroachment is minor and an improvement for the neighborhood. We are the most affected by it and we support it and encourage the city to grant said modification.

If you have any questions feel free to call me.

Sincerely Yours,

A handwritten signature in blue ink, appearing to read "Martin Morgenstern".

Martin Morgenstern

949-939-3926

JOHN & BARBARA WERTIN
449 Isabella Terrace
Corona del Mar, CA 92625

RECEIVED BY
COMMUNITY

DEC 05 2013

DEVELOPMENT
CITY OF NEWPORT BEACH

December 3, 2013

Brenda Wisneski

Deputy Community Development Director
Community Development Department
Planning Division
100 Civic Center Drive
Newport Beach, CA 92658-8915

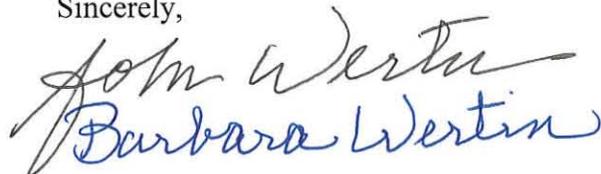
RE: Modification Permit No. MD2013-017
(PA2013-197)
444 Isabella Terrace

Dear Ms Wisneski:

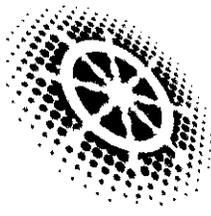
We would like to let you know that we actively support and ask the City to approve the above referenced modification. We live down the street from 444 Isabella Terrace and believe the modification will be aesthetically pleasing and improve the look of the neighborhood. There is nothing negative and the modification is compatible with existing development in the neighborhood.

Thank you for your time.

Sincerely,

Handwritten signatures of John and Barbara Wertin in blue ink. The signature for John is written above the signature for Barbara.

John & Barbara Wertin



BELLWETHER

FINANCIAL GROUP

December 4, 2013

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COMMUNITY

DEC 05 2013

DEVELOPMENT
CITY OF NEWPORT BEACH

Brenda Wisneski
Deputy Community Development Director
Community Development Department
Planning Division
100 Civic Center Drive
Newport Beach, CA 92658-8915

Dear Brenda:

I sincerely appreciate the effort and diligence the city invests in ensuring the integrity of our community.

Recently, my neighbors have asked for me to review their plans for the remodel of their house. After review, I would like to communicate my strong support for granting the modifications requested by Peter and Gail Ochs at 444 Isabella Terrace, Corona del Mar, CA 92625.

I believe the modifications are both minor and reasonable. In addition, it will actually improve the look of the neighborhood. From walking our neighborhood, I see similar encroachments in the area. I truly believe there is nothing negative regarding the modifications requested and they would not be detrimental to public health, safety or welfare of the occupants of the property, nearby properties, the neighborhood, or the City. Lastly, I see that the modifications would be compatible with the aesthetics of our neighborhood,

My wife and I and our three children lived caddy corner from the Ochs family for the last 14 years.

Thank you for your consideration.

Joe Ueberroth
626 Seaward Rd.
Corona del Mar, CA 92625

PETER M. OCHS

444 ISABELLA TERRACE, CORONA DEL MAR, CALIFORNIA 92625

December 4, 2013

Ben Zdeba
Assistant Planner
Planning Division
100 Civic Center Drive
Newport Beach, CA 92658-8915

Dear Mr. Zdeba,

I understand that the meeting to review modifications for our home at 444 Isabella Terrace in Corona del Mar is imminent. After learning that several of our neighbors either just mailed their letters or will be doing so today, I wanted to make sure they arrived for the Committee's consideration.

Thank you very much for your time.

Sincerely,



Peter M. Ochs

/dr

cc: Gregg Ramirez, Senior Planner

February 8, 2014

Brenda Wisneski

Deputy Community Development Director
Community Development Department
Planning Division
100 Civic Center Drive
Newport Beach, CA. 92658-8915



Re: Modification Permit No. MD2013-017

We actively support and ask the City of Newport Beach to approve the reasonable modification our neighbors Peter and Gail Ochs are doing to their property. The change will make the view more attractive in our street and it will improve the current condition, making their house look aesthetically pleasing.

Sincerely,

A handwritten signature in blue ink that reads "Stephen and Monika Williams". The signature is written in a cursive style.

Stephen and Monika Williams
444 Rivera Terrace
Corona del Mar, CA. 92625

Dennis D. O'Neil
Thais F. O'Neil
608 Seaward Road
Corona del Mar, CA 92625
(949) 798-0734

November 11, 2013

Brenda Wisneski
Deputy Community Development Director
Community Development Department
Planning Division
100 Civic Center Drive
Newport Beach, CA 92658-8915

**Re: Modification Permit No. MD2013-017
(PA2013-197)
444 Isabella Terrace**

RECEIVED BY
COMMUNITY
NOV 14 2013
DEVELOPMENT
CITY OF NEWPORT BEACH

Dear Ms. Wisneski:

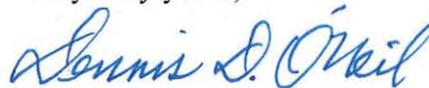
I am writing this letter to you in your capacity as Zoning Administrator having jurisdiction to consider the application for a modification coming before you for consideration on December 12, 2013. The subject modification relates to an encroachment into the setback of a cantilevered deck at the property located at 444 Isabella Terrace owned by Peter and Gail Ochs. My wife and I reside at 608 Seaward Road in Corona Highlands, which is located nearby the Ochs' property and support the granting of the modification.

I am very familiar with the plans Mr. & Mrs. Ochs are pursuing for the remodeling of their home at 444 Isabella Terrace requiring the modification. I have also reviewed the letter justifying the modification submitted by Mr. & Mrs. Ochs' architect, Laidlaw Schultz, dated September 12, 2013.

Based on my reading of the Laidlaw Schultz justification letter, and pursuant to Section 20.52.050E of the Newport Beach Municipal Code, I submit there is justification for making the required findings for the subject modification. It is clear from the facts that the granting of the modification would not be detrimental to public health, safety or welfare to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of the Zoning Code.

My wife and I urge you to grant the modification.

Very truly yours,



Dennis D. O'Neil

DDO/clt

copy: Peter and Gail Ochs
JR Walz
Benjamin M. Zdeba