



COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION  
100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915  
(949) 644-3200 Fax: (949) 644-3229  
[www.newportbeachca.gov](http://www.newportbeachca.gov)

**CITY OF NEWPORT BEACH  
ZONING ADMINISTRATOR STAFF REPORT**

June 12, 2014  
Agenda Item No. 2:

**SUBJECT:** Hughes Retaining Wall (PA2014-040)  
444 De Sola Terrace  
Modification Permit No. MD2014-003

**APPLICANT:** Robert W. Hughes

**PLANNER:** Fern Nueno, Associate Planner  
(949) 644-3227, [fnueno@newportbeachca.gov](mailto:fnueno@newportbeachca.gov)

---

**ZONING DISTRICT/GENERAL PLAN**

- **Zone:** R-1-6,000 (Single-Unit Residential)
- **General Plan:** RS-D (Single-Unit Residential Detached)

**PROJECT SUMMARY**

A Modification Permit to allow a 5-foot high, solid retaining wall to exceed the 42-inch height limit within the front setback. The proposed wall would serve as the Building Code-required pool protection fencing. The Zoning Code allows pool protection fencing to be 5 feet high within the front setback if it is at least 40 percent open (e.g., wrought iron or Plexiglas); however, the subject wall does not meet the 40 percent open standard.

**RECOMMENDATION**

- 1) Conduct a public hearing; and
- 2) Adopt Draft Zoning Administrator Resolution No. \_ approving Modification Permit No. MD2014-003 (Attachment No. ZA 1).

## **DISCUSSION**

- The subject property is located within the Corona Highlands single-unit residential community, which is characterized by a mix of two-story structures built atop sloping lots which slope downward toward the ocean and perimeter lots that have views of either Buck Gully or the Pelican Hill Golf Club.
- The subject property is approximately 6,097 square feet in area. A 4,363-square-foot single-unit residence with a 751-square-foot attached garage is under construction.
- The residential use is consistent with the General Plan and Zoning Code and the proposed wall is an accessory structure that is incidental to the conforming primary residential use.
- The proposed wall is located within the 15-foot front setback along Cabrillo Terrace on the view side of the home, where walls are limited to a maximum height of 42 inches. The property contains two front setbacks and a sloping yard, so the location options for a pool and pool protection fencing are limited. The Building Code-required pool protection fencing must be at least 5 feet in height. Zoning Code Section 20.30.030 (Fences, Hedges, Walls, and Retaining Walls) allows pool protection fencing to be 5 feet high within the front setback if it is at least 40 percent open (e.g., wrought iron or Plexiglas).
- The proposed wall could be designed to meet the 40 percent open requirement; however, the applicant requests to allow the solid design for the five-foot high retaining wall because the wall serves as a wall for the pool structure itself, as described in the attached project description (Attachment No. ZA 3). The applicant analyzed other options for the property (Attachment No. ZA 4) and determined that the proposed project allows the most efficient use of the yard and pool area, while protecting the safety of the subject property and neighborhood.
- Section 20.52.050 (Modification Permits) of the Zoning Code allows deviations of wall standards with the approval of a modification permit. This code section recognizes that relief from specified development standards may be appropriate when doing so is consistent with the purposes of the Zoning Code and the General Plan, and does not negatively impact the neighborhood or community at large.
- As demonstrated in the attached draft resolution, staff believes the proposed project meets the requirements of the Zoning Code and the findings for approval can be made.

**ENVIRONMENTAL REVIEW**

The project is categorically exempt under Section 15303, of the State CEQA (California Environmental Quality Act) Guidelines - Class 3 (New Construction or Conversion of Small Structures), which exempts the construction of limited numbers of new, small facilities or structures and the installation of small new equipment and facilities in small structures. Class 3 includes accessory structures including swimming pools and fences.

**PUBLIC NOTICE**

Notice of this application was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

**APPEAL PERIOD:**

An appeal may be filed with the Director of Community Development within 14 days following the date of action. For additional information on filing an appeal, contact the Planning Division at (949) 644-3200.

Prepared by:



Fern Nueno, Associate Planner

JC/fn

- |              |      |                                 |
|--------------|------|---------------------------------|
| Attachments: | ZA 1 | Draft Resolution                |
|              | ZA 2 | Vicinity Map                    |
|              | ZA 3 | Applicant's Project Description |
|              | ZA 4 | Alternative Design Options      |
|              | ZA 5 | Project Plans                   |

# **Attachment No. ZA 1**

Draft Resolution

## RESOLUTION NO. ZA2014-0##

### A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING MODIFICATION PERMIT NO. MD2014-003 TO ALLOW A SOLID RETAINING WALL WITHIN THE FRONT SETBACK TO EXCEED THE 42-INCH HEIGHT LIMIT FOR PROPERTY LOCATED AT 444 DE SOLA TERRACE (PA2014-040)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Robert W. Hughes, with respect to property located at 444 De Sola Terrace, and legally described as Lot 115, Tract 1237, requesting approval of a Modification Permit.
2. The applicant requests a Modification Permit to allow a 5-foot high, solid retaining wall to exceed the 42-inch height limit within the front setback along Cabrillo Terrace. The proposed wall would serve as the Building Code-required pool protection fencing. The Zoning Code allows pool protection fencing to be 5 feet high within the front setback if it is at least 40 percent open (e.g., wrought iron or Plexiglas); however, the subject wall does not meet the 40 percent open standard.
3. The subject property is located within the Single-Unit Residential (R-1-6000) Zoning District and the General Plan Land Use Element category is Single-Unit Residential Detached (RS-D).
4. The subject property is not located within the coastal zone. The Coastal Land Use Plan category is Single-Unit Residential Detached (RSD-A).
5. A public hearing was held on June 12, 2014, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

#### SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project has been determined to be categorically exempt pursuant to Title 14 of the California Code of Regulations (Section 15315, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act) under Class 3 (New Construction or Conversion of Small Structures).
2. Class 3 exempts the construction of limited numbers of new, small facilities or structures and the installation of small new equipment and facilities in small structures. Class 3 includes accessory structures including swimming pools and fences.

### SECTION 3. REQUIRED FINDINGS.

In accordance with Section 20.52.050 of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

- A. *The requested modification will be compatible with existing development in the neighborhood.*

Facts in Support of Finding:

1. Several properties in the area have walls, tall landscaping and hedges, decks, and terraced yards within the front setback that are visible from the street. The proposed retaining wall for the pool would be compatible with the existing development.

Finding:

- B. *The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.*

Facts in Support of Finding:

1. The 15-foot front setback area adjacent to Cabrillo Terrace slopes down with a steep slope thereby limiting the amount of usable yard area. By allowing the retaining wall to be 5 feet high and not 40 percent open, more usable yard space can be captured for the pool and patio, while still preserving the open yard area and maintaining the characteristics of the neighborhood.

Finding:

- C. *The granting of the modification is necessary due to practical difficulties associated with the property and that the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code.*

Facts in Support of Finding:

1. The subject property has two street frontages with required front setbacks, thereby limiting the location of pools, pool protection fencing, and related equipment.
2. Strict application of Zoning Code Chapter 20.30.030 (Fences, Hedges, Walls, and Retaining Walls) limits the height of fences in the front setback area to a maximum of 42 inches or five feet for pool protection fencing that is 40 percent open. Limiting the retaining wall height to 42 inches or requiring the wall to be 40 percent open would preclude the property owner from having a pool and patio in the front yard due to the location of the house, finished floor elevation of the house, size of the front setback area, and slope of the yard.

Finding:

- D. *There are no alternatives to the modification permit that could provide similar benefits to the applicant with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.*

Facts in Support of Finding:

1. The project site is topographically-constrained and alternatives to the increased height and solid design of the retaining wall would limit reasonable use of the yard and preclude the ability to construct a lap pool of sufficient length to be useful.
2. Moving the swimming pool closer to the house would result in a compliant wall; however, it would result in no patio and a less than three-foot path around the pool that could create an unsafe condition for use of the pool and patio.

Finding:

- E. *The granting of the modification would not be detrimental to public health, safety, or welfare, to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.*

Facts in Support of Finding:

1. The proposed retaining wall would not result in change in density or intensity of development on the project site; the single-unit residence will have a building height and floor area that is consistent with the provisions of the Zoning Code.
2. The retaining wall would not affect the flow of air or light to adjoining residential properties and will not have any impact on noise, population density, traffic congestion, and other adverse environmental effects as these issues are typically not associated with the construction of accessory structures.
3. The proposed retaining wall would meet the Building-code required pool protection fencing requirements and will provide privacy and added safety for use of the swimming pool.
4. The proposed retaining wall would be located 18 inches from the property line and landscaping would be provided in this area to soften the view of the wall from the street.

SECTION 4. DECISION.

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby approves Modification Permit No. MD2014-003, subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.
2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal is filed with the Community Development Director in accordance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

**PASSED, APPROVED, AND ADOPTED THIS 12<sup>TH</sup> DAY OF JUNE, 2014.**

---

Brenda Wisneski, AICP, Zoning Administrator

DRAFT

**EXHIBIT "A"****CONDITIONS OF APPROVAL**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval, except as modified by applicable conditions of approval.
2. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
3. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.
4. This Modification Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
5. A copy of the Resolution, including conditions of approval (Exhibit "A") shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits for the retaining wall.
6. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or the leasing agent.
7. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 Planning and Zoning of the Newport Beach Municipal Code.
8. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Hughes Retaining Wall including, but not limited to, the Modification Permit No. MD2014-003. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth

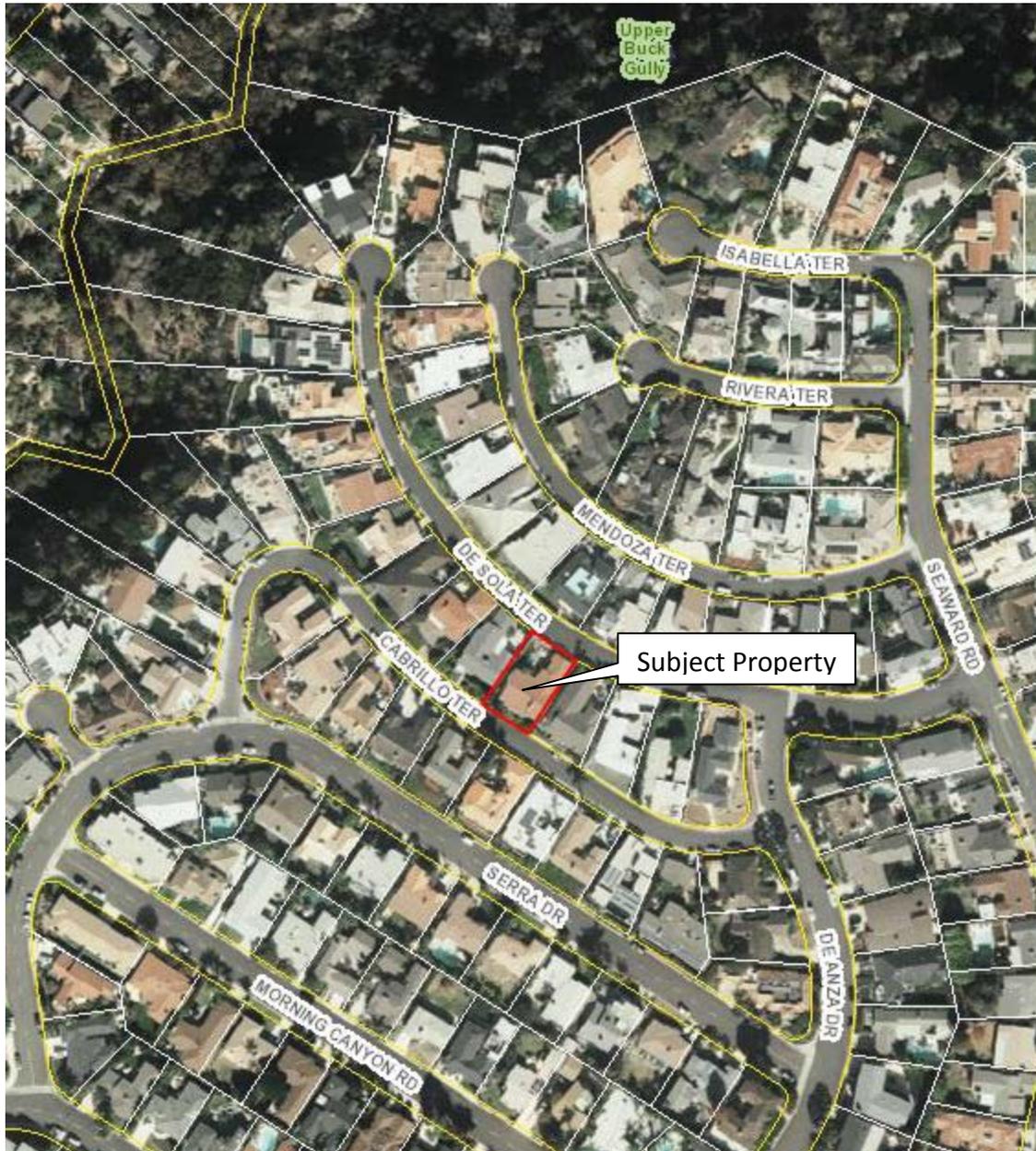
in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

DRAFT

# **Attachment No. ZA 2**

Vicinity Map

# VICINITY MAP



---

Modification Permit No. MD2014-003  
PA2014-040

**444 De Sola Terrace**

# **Attachment No. ZA 3**

Applicant's Project Description

Robert W. Hughes  
444 De Sola Terrace  
Corona del Mar, CA 92625  
Cell: (949) 244-5678

March 13, 2014

City of Newport Beach  
Community Development Department  
Planning Division  
100 Civic Center Drive  
Newport Beach CA 92660

**RE: 444 De Sola Terrace Modification Permit - Request for Alternative Material or Method of Construction**

As the owner of the property located at 444 De Sola Terrace, I submit for your review this letter of justification with the attached Planning Permit Application. The construction of a new home on the property was approved on June 25, 2013 and is currently in the process of being constructed. The home is being built to allow for the owner to age in place. The approved plans provide for a pool retaining wall along Cabrillo Terrace within the front 20-foot setback. There are no sidewalks on Cabrillo for pedestrian foot traffic.

The approved retaining wall measures approximately 57 feet long and 5 feet tall. The approved plans also provides for a lap pool measuring approximately 42 feet by 7 feet. The retaining wall along Cabrillo Terrace serves as one of the 42-foot walls for a lap pool. In the approved plan, the pool is 18 inches from the property line running 42 feet against Cabrillo Terrace.

The relevant code section is Section 20.30.040 C (3), Exceptions to Maximum Height. Swimming pools, spas and other similar features shall be fenced in compliance with Municipal Code Title 15, which requires a 5-foot fencing. Section 20.30.040 C provides an exception in front setback areas of lots with 42-inch limitations. In these lots, the fencing may be allowed to exceed the height limit up to the minimum required by Municipal Code Title 15 of five feet so long as at least 40% of the fence or wall is open.

Of the total 57-foot length of retaining wall, only 23 feet of the wall did not conform to code Section 20.30.040 C, the remaining 34 feet conformed. In order to comply with Sections 20.30.040 C, the approved plans call for a section of the retaining wall, measuring approximately 23 feet by 2 feet, to be constructed of glass or Plexiglas ("the Open Area"). In the approved plans, a section of the Open Area, measuring 14 by 2-feet is to be composed of

glass or Plexiglas and will be used to retain water in the pool. This proposed modification seeks to change the material used in the retaining wall to eliminate the glass or Plexiglas and use the same material throughout the retaining wall i.e. shot-crete and finished with plaster to match the house. The goal is to minimize the risk of liability due to leakage and or breakage as well as maintain a consistent look to the wall along Cabrillo Terrace.

1. The requested modification will be compatible with existing development in the neighborhood. Pools are common in the neighborhood as are five-foot retaining walls.
2. The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of use. The property line on Cabrillo Terrace is approximately sixty-feet long and slopes 5 feet from south to north. The approved plans provide for a 9-foot deck off the house and then two steps down into the pool perimeter. The east to west slope of the property is approximately 6 feet. The approved plan for the pool provides for a 7-foot wide pool. In order to lower the water level of the pool to eliminate the use of glass or Plexiglas as a structural component in the Open Area, it would be necessary to reduce the pool width (not the length) by approximately 2 feet, rendering the pool width to 5 feet which would be impractical from a width perspective. Access to the pool would be very difficult as well.
3. There are no alternatives to the Modification Permit that could provide similar benefits to the applicant with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public. One alternative was considered. This alternative would involve moving the equipment to the opposite side of the pool and moving the pool north by five feet. Even after making these changes however, there would still be a glass wall requirement to meet the Title 15 Code requirement of 5-foot non-climbable wall surrounding a pool. Additionally, the glass would be still expected to retain water. The resulting glass wall would still incur the risk of liability due to leakage and or breakage lack consistency and would be detrimental to the Santa Barbara architecture.
4. The granting of the modification would not be detrimental to public health, safety, or welfare to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of the zoning code. An argument could be made that granting the modification would reduce the risk to public health, safety or welfare to the occupants

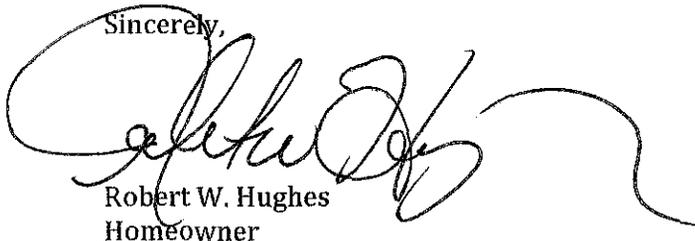
of the property, nearby properties, the neighborhood, or the City due to the reduction in risk due to leakage, failure of the wall or vandalism.

5. Title 15 requires that there be a non-climbable wall at a minimum of 5 feet.
6. The proposed Modification will provide the users of the pool privacy. The approved plan will fully expose users of the pool to public view.
7. Proposed plan is an aesthetic improvement. The home is designed in a Santa Barbara old mission style. The use of glass would take away from the mission style and give it a modern look, which would be inconsistent with the Santa Barbara old mission style.
8. There would be no negative impact on neighbors. No neighboring homeowners would have any of their view diminished as a result of the Modification. Additionally, the sidewalls separating both neighboring properties are designed to be Plexiglas on top of the block wall up to the 5-foot requirement.
9. The proposed Modification will likely be preferred by neighbors, as light from the pool with glass or Plexiglas, will brightly shine into neighbor's property.
10. Proposed Modification would result in less distraction to drivers at night. Cabrillo Terrace receives little traffic and is very dark at night, however any traffic at night could be distracted coming upon light shining on the dark street.
11. While not required, there will be an 18-inch planting area between the property line and the retaining wall, which will be used to enhance to view from the street by adding planting material.

Therefore, I ask that you review and approve the subject Planning Permit Application.

Thank you in advance for your review of the application and do not hesitate to contact me with any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Robert W. Hughes', with a long, sweeping flourish extending to the right.

Robert W. Hughes  
Homeowner

# **Attachment No. ZA 4**

Alternative Design Options

Robert W. Hughes  
444 De Sola Terrace  
Corona del Mar, CA 92625  
Cell: (949) 244-5678

VIA EMAIL

April 17, 2014

Ms. Fern Nueno  
Associate Planner  
City of Newport Beach  
Community Development Department  
Planning Division  
100 Civic Center Drive  
Newport Beach CA 92660

**RE: 444 De Sola Terrace Modification Permit - MD2014-003 (PA2014-040)**

As the owner of the property located at 444 De Sola Terrace, I submitted for your review a Modification Permit Application along with a letter of justification for the referenced property dated March 13, 2014. On April 10, 2014 you sent me a Notification of Incomplete Filing (the "Notice").

In the Notice, you asked me to provide documentation "... that supports the required finding below pursuant to Zoning Code Section 20.52.050. Documentation should include alternative design plans and a narrative describing why alternatives are not feasible  
*Finding: There are no alternatives to the modification permit that could provide similar benefits to the applicant with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.*"

William Guidero, the project architect met with you on April 11, 2014 to clarify your request. As a result of this meeting two additional options are presented below along with narratives describing the options and why the alternatives are not feasible, specifically why the alternatives to the modification permit could not provide similar benefits to the applicant with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.

Option #1 - The justification letter dated March 13, 2014, detailed option #1 as the best option.

Option #2 - This option would shift the pool equipment room to the opposite side and move the pool closer to the property line where the approved plans have stairs from Cabrillo

City of Newport Beach - Planning Dept.

April 17, 2014

Page 2 of 2

Terrace. This option would still have 8 feet of non-conforming wall and would not provide similar benefits to the applicant with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public. In fact this would have no improvement to the surrounding owners and occupants, the neighborhood, or to the general public in that glass would still be required along with the inherent liability due to leakage and or breakage, it would lack consistency and would be detrimental to the Santa Barbara architecture.

Option #3 – This option would move the pool towards the house eliminating the patio between the house and the pool and Jacuzzi. The walkway between the house and the pool would be less than 3 feet causing a safety issue for the applicant due to risk of accidentally falling into the pool. Furthermore there would be no change to the potential detriment to surrounding owners and occupants, the neighborhood, or to the general public while the applicant would incur significant more risk associated with this design. As it was stated in the Justification letter dated March 13, 2014, the home is being built to allow the owner to age in place. As part of this objective, safety is a very important consideration. This option #3 would create an unsafe environment for the applicant.

Therefore, I ask that you review this additional documentation supporting the below Finding.

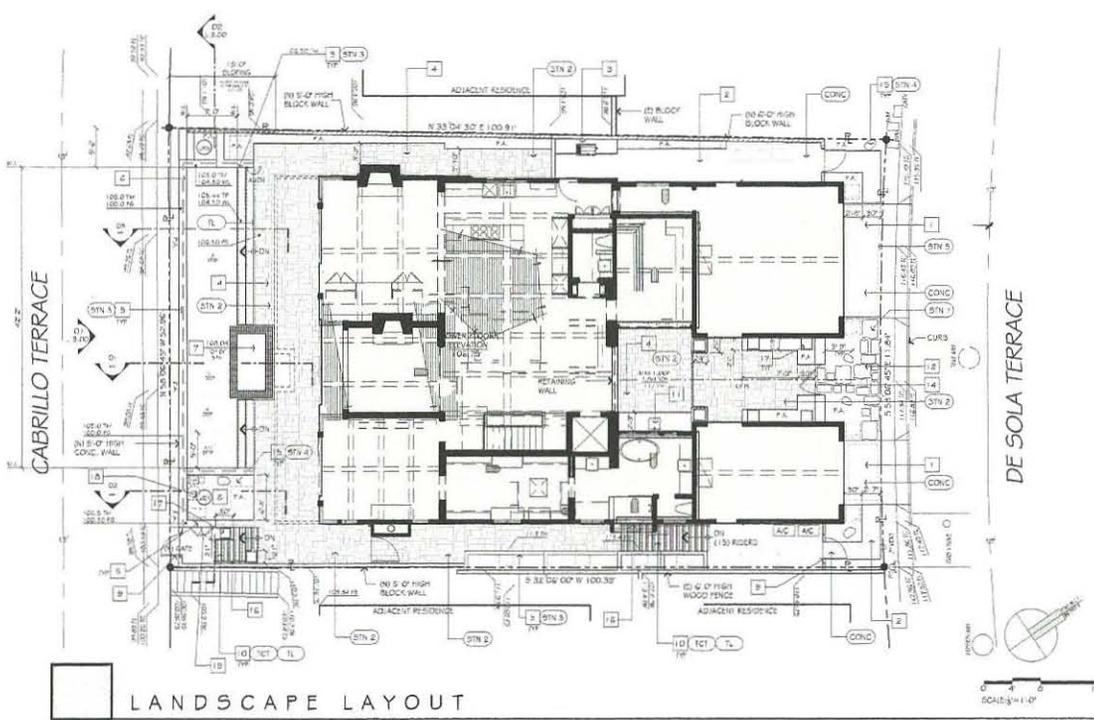
*Finding: There are no alternatives to the modification permit that could provide similar benefits to the applicant with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.*

Thank you in advance for your review of the application and additional documentation. Do not hesitate to contact me with any questions.

Sincerely,

Robert W. Hughes  
Property Owner

option #1 : Best option



**MATERIAL SCHEDULE**

MATERIAL	DESCRIPTION	MANUFACTURE	FINISH/COLOR
CONC	CONCRETE	DAVIS COLSON	PERISLE / SAND FIBER
STN 1	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR 20x8
STN 2	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR 3'x10-4"
STN 3	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 4	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 5	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 6	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 7	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 8	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 9	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 10	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 11	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 12	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 13	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 14	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 15	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 16	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 17	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 18	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 19	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 20	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 21	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 22	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 23	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 24	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 25	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 26	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 27	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 28	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 29	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 30	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 31	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 32	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 33	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 34	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 35	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 36	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 37	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 38	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 39	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 40	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 41	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 42	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 43	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 44	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 45	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 46	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 47	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 48	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 49	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 50	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 51	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 52	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 53	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 54	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 55	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 56	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 57	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 58	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 59	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 60	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 61	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 62	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 63	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 64	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 65	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 66	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 67	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 68	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 69	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 70	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 71	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 72	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 73	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 74	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 75	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 76	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 77	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 78	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 79	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 80	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 81	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 82	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 83	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 84	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 85	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 86	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 87	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 88	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 89	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 90	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 91	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 92	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 93	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 94	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 95	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 96	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 97	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 98	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 99	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 100	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP

**NOTE:**  
ALL GROUT AND SEALER AS PER MANUFACTURER'S SPECIFICATION & PRODUCT RECOMMENDATIONS.

- EXCAVATION**
- POOL: 42" X 7'-0"
  - SPA: 4'-0" X 8'-0"
  - ACCESS: PER CONTRACTOR
  - LOCATION: PER CONTRACTOR
- STEEL**
- REBAR: PER ENGINEERING PLAN
- POOL STRUCTURE**
- PER ENGINEERING PLAN
- TILE # INTERIOR**
- WATER LINE TILE: 180
  - FIN: PERISLE SHEEN COLOR: 180
- KEY NOTE:**
- DRIVEWAY W/ SINGLE PERISLE BANDING INLAY
  - CONC PAVING
  - BRG. STUCCO TO MATCH HOUSE W/ COUNTER TOP FIN
  - STONE PAVING
  - STUCCO PLASTER WALL TO MATCH HOUSE WITH STONE CAP
  - ASS (PER POOL ENGINEER)
  - RAISED INFINITY EDGE SPA
  - POOL ENCLOSURE ENCLOSURE
  - WOOD POOL SAFE GATE (50" (SELF-CLOSING, SELF-LATCHING))
  - DILO TILE @ RISER EVERY 18" 24" O.C. # TERRA COTTA BULLNOSE TILE 6-0" STEP
  - STONE WATER FEATURE W/ SPOUT
  - STONE FOUNTAIN PADS W/ GROUND COVER JOINTS
  - CONC. PAVING W/ SINGLE PERISLE BANDING INLAY
  - ENTRY WOOD GATE (PER HOME OWNER)
  - NATURAL BULLNOSE - 1/2" R /
  - NATURAL (BY ARCHITECT)
  - CUSTOM WOOD / METAL LIVERS (BY HOME OWNER)
  - LARGE ARCHITECTURE URN
  - LAUNDRY STEEL GATE
  - POOL STEPS

**STUDIO BERZUNZA**  
 Project Architect: K. Berzunza  
 www.studioberzunza.com

**MATA**  
 CONSTRUCTION CO., INC.  
 714.393.6356  
 #661800, #665599  
 www.mataconstruction.com

**CLIENT:**  
 FOREST HUGHES  
 444 DE SOLA TERRACE  
 NEWPORT BEACH, CA 92662  
 714.324.5678

**PROJECT:**  
 (AS 2013)  
 HUGHES RESIDENCE

**REVISIONS**

No.	DATE

**DRAWN BY:**  
 VB

**ISSUE:**  
 9.30.2013

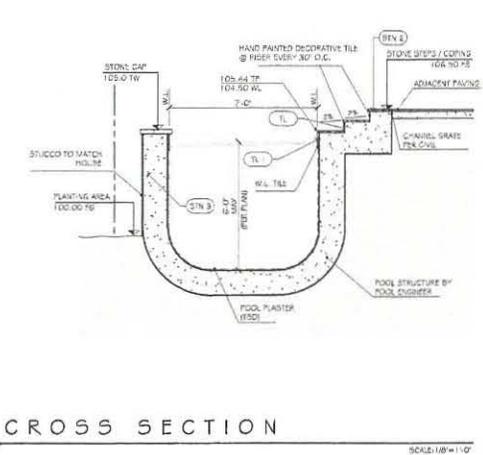
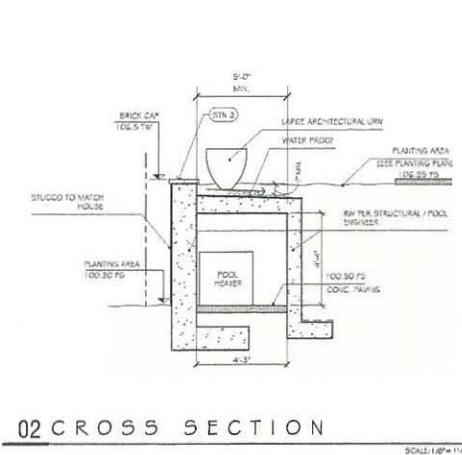
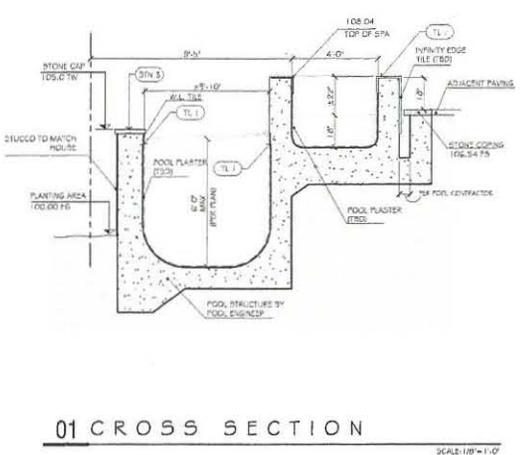
**RE-ISSUE:**  
 2-12-2014

**SCALE:**  
 AS PER PLAN

**SHEET DESCRIPTION:**  
 LANDSCAPE LAYOUT

**SHEET NUMBER:**

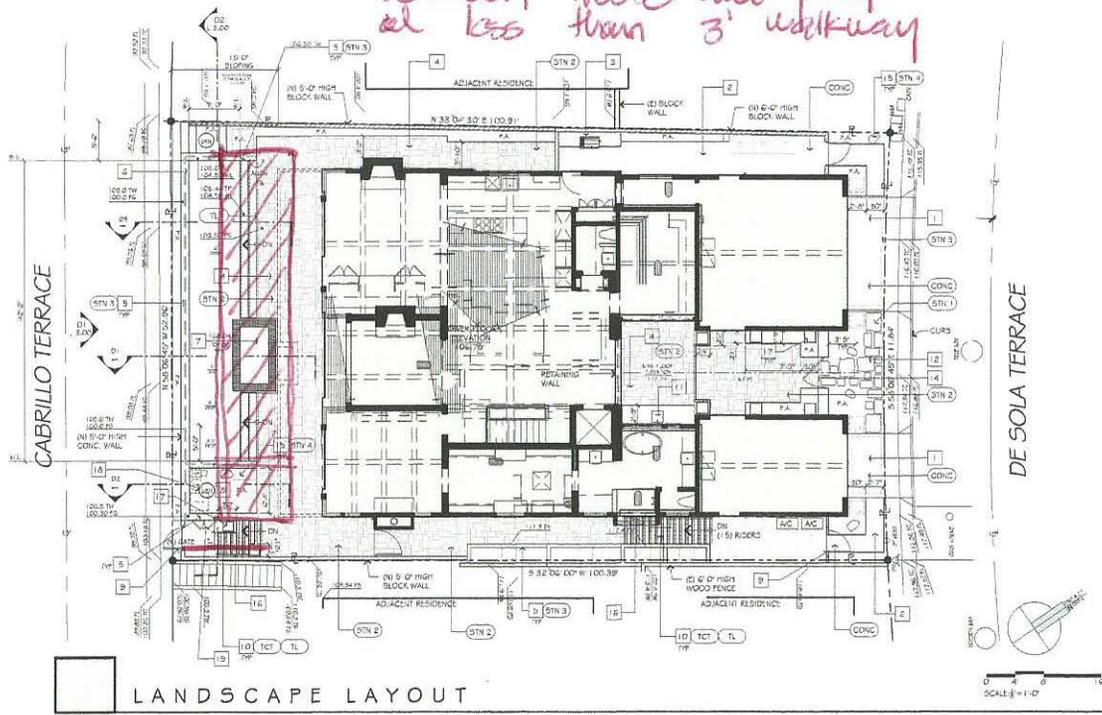
**L 1.00**







option #3 moving pool toward house leaves no patio between house and pool at less than 3' walkway



MATERIAL SCHEDULE			
MATERIAL	DESCRIPTION	MANUFACTURE	FINISH/DOLOR
CONC	CONCRETE	DAVIS COLORS	PEBBLE / SAND FINISH
STN 1	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR 2/26 0
STN 2	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR 7/10 4
STN 3	STONE	COUGAR STONE	RUSTIC ELEGANCE-RANDOM ASHLAR CAP
STN 4	STONE	COUGAR STONE	BOULDER
STN 5	PEBBLE	MEXICAN BEACH BLACK	SIZE: 1/2" - 3/4"
BRK	BRICK	TBD	MULTICOLOR
TCT	TERRA COTTA TILE	MEXICAN TILE #19-47-1-1-095	SALTILLO TERRACOTTA FLOOR TILE - STAIR TREAD 12" X 12"
TL	HANDCRAFTED TILE	MEXICAN TILE #19-47-1-1-095	TBD
TL 1	GLASS TILE	OCEANIC/DC	SANDSTONE / MOSS

NOTE: ALL "GROUPT" AND "RECALL" AS PER MANUFACTURE SPECIFICATION & PRODUCT RECOMMENDATIONS

- EXCAVATION**  
POOL: 42' X 7'-0"  
SPA: 48" X 84"  
ACCESS: PER CONTRACTOR  
EXCAVATION: PER CONTRACTOR
- STEEL**  
REBAR: PER ENGINEERING PLAN
- POOL STRUCTURE**  
PER ENGINEERING PLAN
- TILE & INTERIOR**  
WATER LINE TILE: TBD  
TYPE: PEBBLE SHEEN COLOR: TBD
- KEY NOTE:**
- DRIVEWAY W/ SINGLE PEBBLE BANDING HILAY
  - CONC. PAVING
  - BRK. BUCCO TO MATCH HOUSE W/ COUNTER TOP (TBD)
  - STONE PAVING
  - STUCCO PLASTER WALL TO MATCH HOUSE WITH STONE CAP
  - RAISED INFINITY EDGE SPA
  - POOL EQUIPMENT ENCLOSURE
  - WOOD POOL SAFE GATE-TBD (SELF-CLOSING, SELF-LATCHING)
  - DECO TILE @ RISER EVERY 1/4" 24" O.C. + TERRA COTTA MULLIOSI TILE
  - STONE WATER FEATURE W/ SPOUT
  - STONE-CLADDING PADS W/ GROUND COVER JOINTS
  - CONC. PAVING W/ SINGLE PEBBLE BANDING HILAY
  - ENTRY WOOD GATE - (PER HOME OWNER)
  - NATURAL BOULDER - 2' HT X
  - HANDCRAFTED BY ARCHITECTS
  - CUSTOM WOOD / METAL URNS (BY HOME OWNER)
  - LARGE ARCHITECTURE URN
  - LOUVERED STEEL GATE
  - POOL STEPS

**STUDIO BERZUNZA**  
Integrating Architecture + Interiors  
www.studioberzunza.com

**MATA CONSTRUCTION CO. INC.**  
714.395.6356  
#661060, #665599  
www.mataconstruction.com

**CLIENT**  
ROBERT HUGHES  
444 DE SOLA TERRACE  
NEWPORT BEACH, CA 92625  
T:949.244.5676

**PROJECT**  
12-3-2015  
HUGHES RESIDENCE

**REVISIONS**

No.	DATE

**DRAWN BY**  
V8

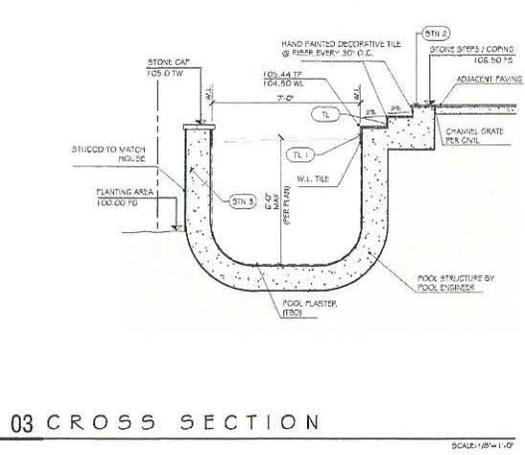
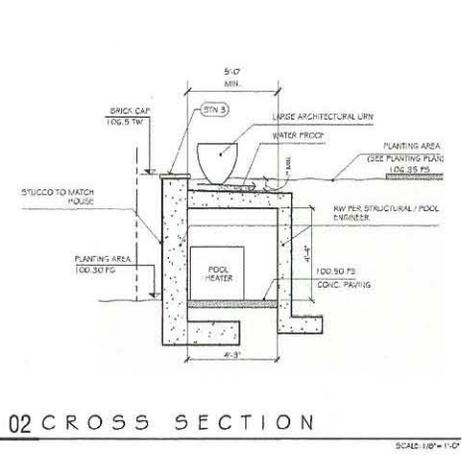
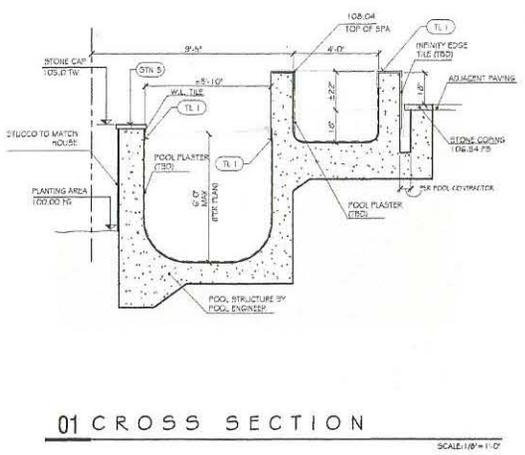
**ISSUE**  
9.30.2013

**RE-ISSUE**  
2-12-2014

**SCALE**  
AS PER PLAN

**SHEET DESCRIPTION**  
LANDSCAPE LAYOUT

**SHEET NUMBER**  
L  
1.00



# **Attachment No. ZA 5**

Project Plans



**CITY OF NEWPORT BEACH**  
 COMMUNITY DEVELOPMENT DEPARTMENT  
 BUILDING DIVISION  
 2300 Newport Boulevard, Suite 100 Newport Beach, CA 92660  
 www.newportbeach.gov 714.441.2378

**RESIDENTIAL CONSTRUCTION MINIMUM REQUIREMENTS**

Applicable Standards: 2016 California Residential Code (CRC), 2019 California Building Code (CBC), 2016 California Plumbing Code (CPC), 2019 California Electrical Code (CEC), 2019 California Mechanical Code (CMC), 2019 California Energy Efficiency Standards (CES), 2016 California Green Building Standards Code (CGS), and Chapter 15 of the Newport Beach Municipal Code (NBMC)

- GENERAL**
1. Plans shall be prepared by a LICENSED ARCHITECT BY THE CITY OF NEWPORT BEACH. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDING THE PLANS AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.
  2. Plans shall be prepared in accordance with the CITY OF NEWPORT BEACH PERMITTING DEPARTMENT'S PERMITTING REQUIREMENTS FOR RESIDENTIAL CONSTRUCTION.

- ELECTRICAL SERVICE**
3. Electrical service to be underground for new construction or addition (NEMC 15.20410)
  4. Edison Company approval is required for meter location prior to installation.
  5. Field inspection to review and approve underground service requirement prior to concrete placement.

- CONSTRUCTION**
6. Foundation protection adjacent to public way to be as follows:

SECTION OF CONSTRUCTION	MINIMUM PROTECTION FROM CONSTRUCTION DISTURBANCE	TYPE OF PROTECTION REQUIRED
Foundation	18" minimum	Concrete curb
Foundation	18" minimum	Concrete curb
Foundation	18" minimum	Concrete curb
Foundation	18" minimum	Concrete curb
Foundation	18" minimum	Concrete curb

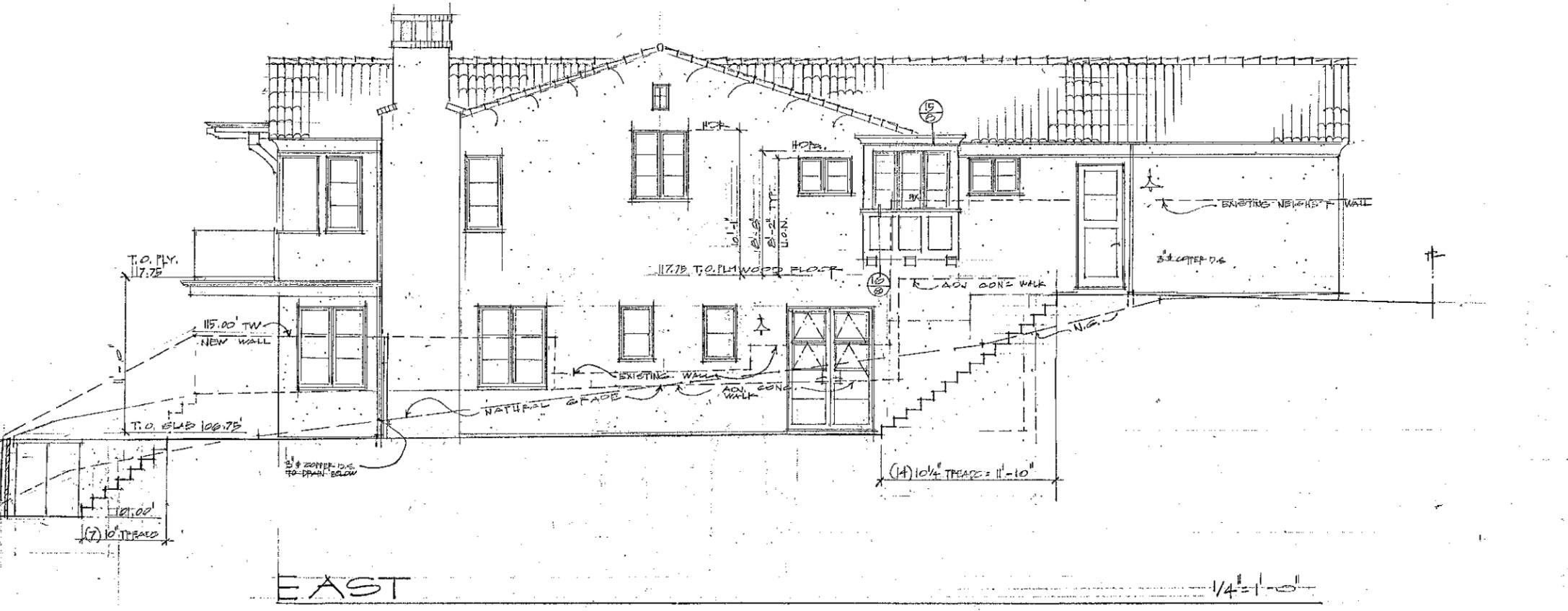
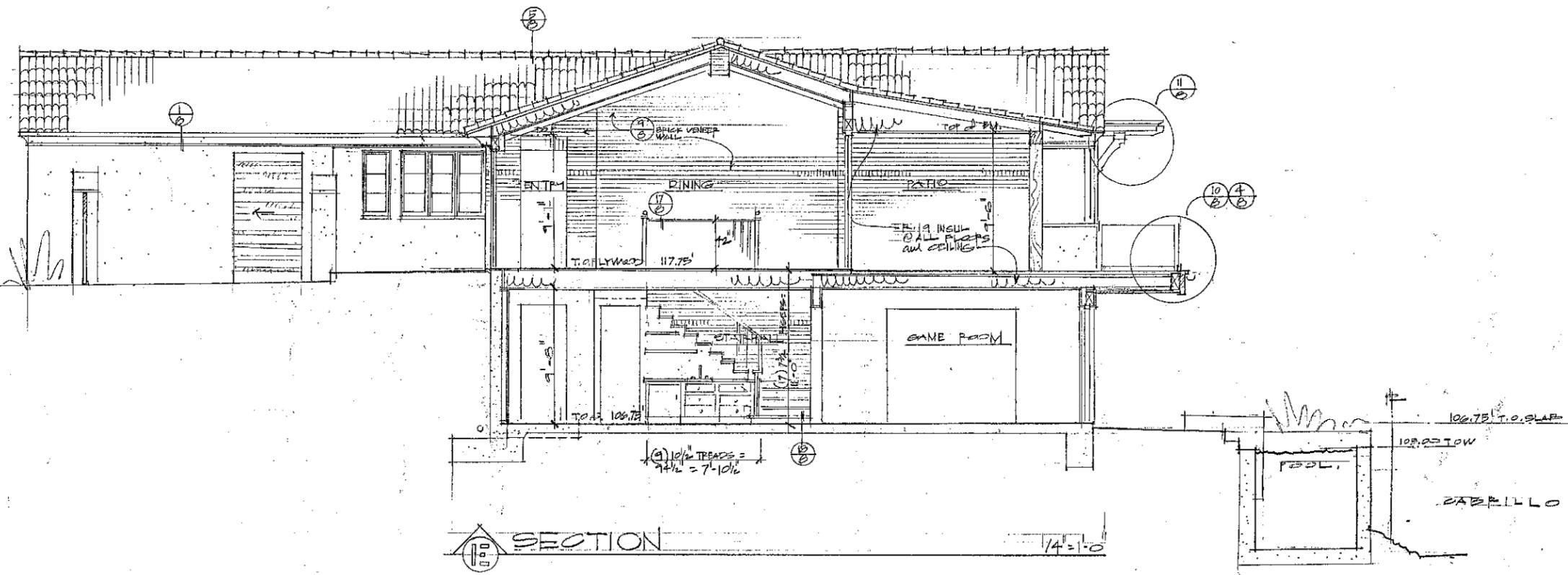
7. All exterior walls and ceilings shall have two layers of Grade D paper over wood base sheathing (CRC R303.3.3, CRC 2510.9)
8. Wall covering of showers or tubs shall be cement plaster, tile, or approved stone, to a height of not less than 72 inches above finished floor level. Wall covering shall be cement board or cement plaster (CRC R307.2, CBC 4210.3)
9. Sliding glass doors shall be provided at the following hazardous locations (CRC R309.4, CBC 2402.3):
  - a. Entry and sliding doors
  - b. When located within 60 inches of the floor surface in tubs, showers, saunas, or steam rooms
  - c. Within a 24 inch area of either vertical edge of doors and within 60 inches of walking surface
  - d. When glazing area is more than 6 sq. ft. in area, with the bottom edge less than 18 inches above the floor and top edge more than 48 inches above floor
  - e. Adjacent to stairways, landings and ramps within 36 inches horizontally of walking surface and 60 inches above walking surface
  - f. Adjacent to stairways within 60 inches horizontally of bottom tread of stairway and exposed surface is within 60 inches above nose of tread
10. All doors from the house into the pool area shall be equipped with an approved alarm or an approved alternate warning provision (CRC R314.2)
11. Smoke alarms shall be installed in the following locations (CRC R314.3):
  - a. In each sleeping room.
  - b. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
  - c. On each additional story, including basements and mezzanine levels.
 Smoke alarms shall be hardwired with battery back-up and interconnected unless exempted in accordance with Section R314.4.6.
12. Carbon monoxide alarms shall be installed in the following locations (CRC R315.3):
  - a. Outside of each sleeping area in the immediate vicinity of the bedrooms.
  - b. On every level of the dwelling unit including basements.
 Carbon monoxide alarms shall be hardwired with battery back-up and interconnected unless exempted in accordance with CRC Sections R315.1.1 & R315.1.2.
13. All fire extinguishers on windows and doors shall have 10 pound and Solar Heat Gain Coefficient (SHGC) values in accordance with 7.24 energy code. All fire extinguishers shall have temporary and permanent labels.

- EXTERIOR**
14. Gas fireplaces shall be a direct vent, sealed combustion type (CBC 4.803.1)
  15. Factory-built chimneys, chimneys, and all other components shall be installed and tested and shall be installed in accordance with the conditions of the listing. (CRC R1004.1)
  16. Decorative chimneys shall not be installed at the termination of factory-built chimneys, except where a manufacturer's label and label for use with the specific factory-built chimney system and are installed in accordance with manufacturer's installation instructions. (CRC R1005.2)

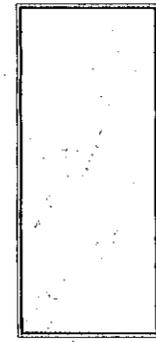
- MECHANICAL, PLUMBING & ELECTRICAL**
17. White noise equipment shall have insulated housing or enclosure which close within the 50 to 60 dB. Covers or covers shall have a minimum insulation value of R-2. (CBC 4.507.4)
  18. Rooms containing tubs, showers, saunas and water fixtures shall be provided with an exhaust fan with a minimum capacity of 50 CFM ducted to terminate outside the building. (CRC R309.3, CBC 4.406.1, CBC 1203.4.3.2.1, CBC T-1.4)

- PLUMBING FIXTURES**
- a. New Construction (CBC 4.203.1): Comply with CAL. Green Mandatory Requirements.
  - b. Addition (CBC 4.203.1.4.403.2):
    - i. Head: 2.5 gpm @ 80 psi
    - ii. Shower Faucet: 2.2 gpm @ 80 psi
    - iii. Water Closet: 1.20 gallons per flush
19. Clearance for water closet to be a minimum of 24 inches in front, and 18 inches from its center to any side wall or obstruction. (CPC 407.5)
  20. The water closet flange to be at least 18 inches above the garage floor, if located in a garage. (CPC 508.14)
  21. Install a 3/4 inch diameter by 3/8 inch steel pipe embedded in concrete slab for protection of water lines located in garage. (CPC 508.14)
  22. Water heaters to be strapped at top and bottom with 1/2" x 1/2" galvanized strap with 3/8" dia. 3" lag bolt each end. (CPC 603.2)
  23. The distance between vent shall not exceed 14 ft. in overall length with maximum two 90 degree elbows. (CMC 603.3)
  24. All registered outlets in bathrooms, show kitchen counter-top, great rooms, garage, rooftop, outdoor decks, utility, etc. shall be provided by ground lead break interrupter (GBCI). (CBC 210.6)
  25. All 120V single phase, 15 and 20 amp outlets (receptacles, lighting, smoke detectors etc.) to be protected by combination type Arc-fault circuit interrupter (AFCI). (CBC 210.10)

- FOUNDATIONS**
26. When poured for slabs at the foundation grade top shall be a minimum of 4 inches above the curb or 2 inches above paved areas. (CRC R103.6.2.1)
  27. Foundations and concrete (rafts, masonry walls, etc.) in contact with permanent ground water shall be of hot-rolled steel reinforced concrete, stainless steel, silicon bronze or copper. (CBC 1803.5.1)
  28. Anchor bolts shall include steel plate washers, a minimum of 6" x 3" x 3/4" in diam. between the plate and nut. (CRC 1803.1.1, Acceptable alternate (APWA) 4.3.3.4.3).



A New Home for:  
**Robert Hughes**  
 444 De Sola Terrace, Corona Del Mar, CA 92625  
 (949) 244-0678

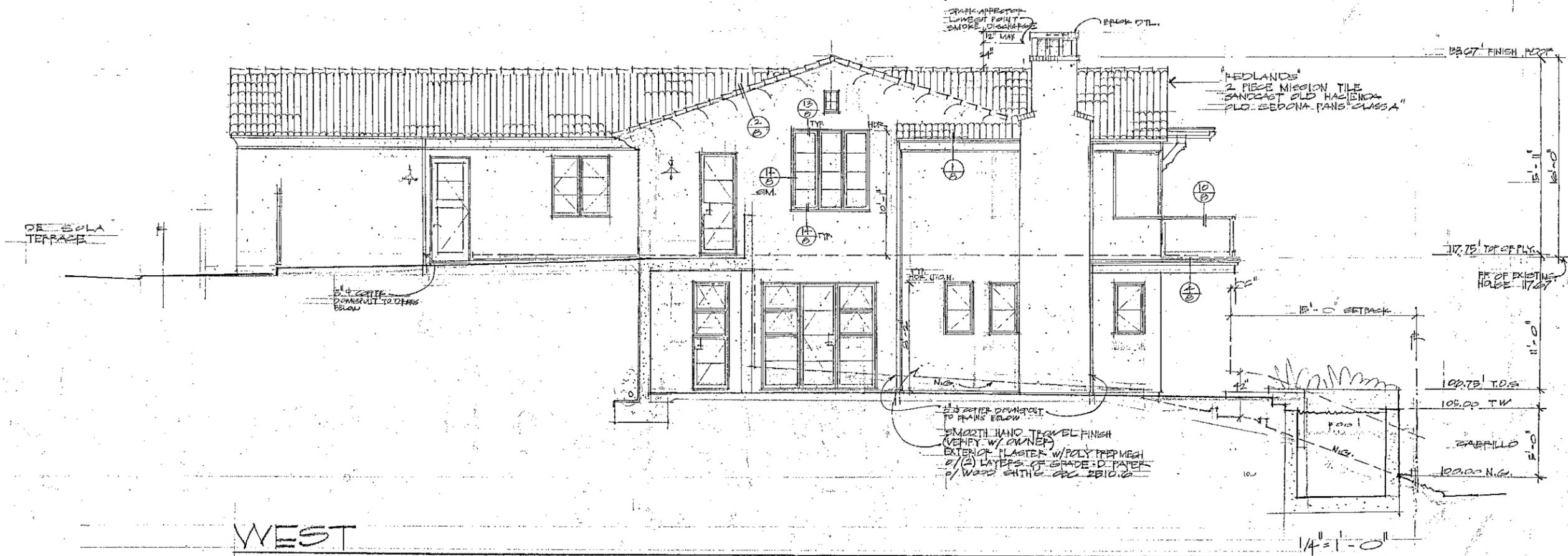
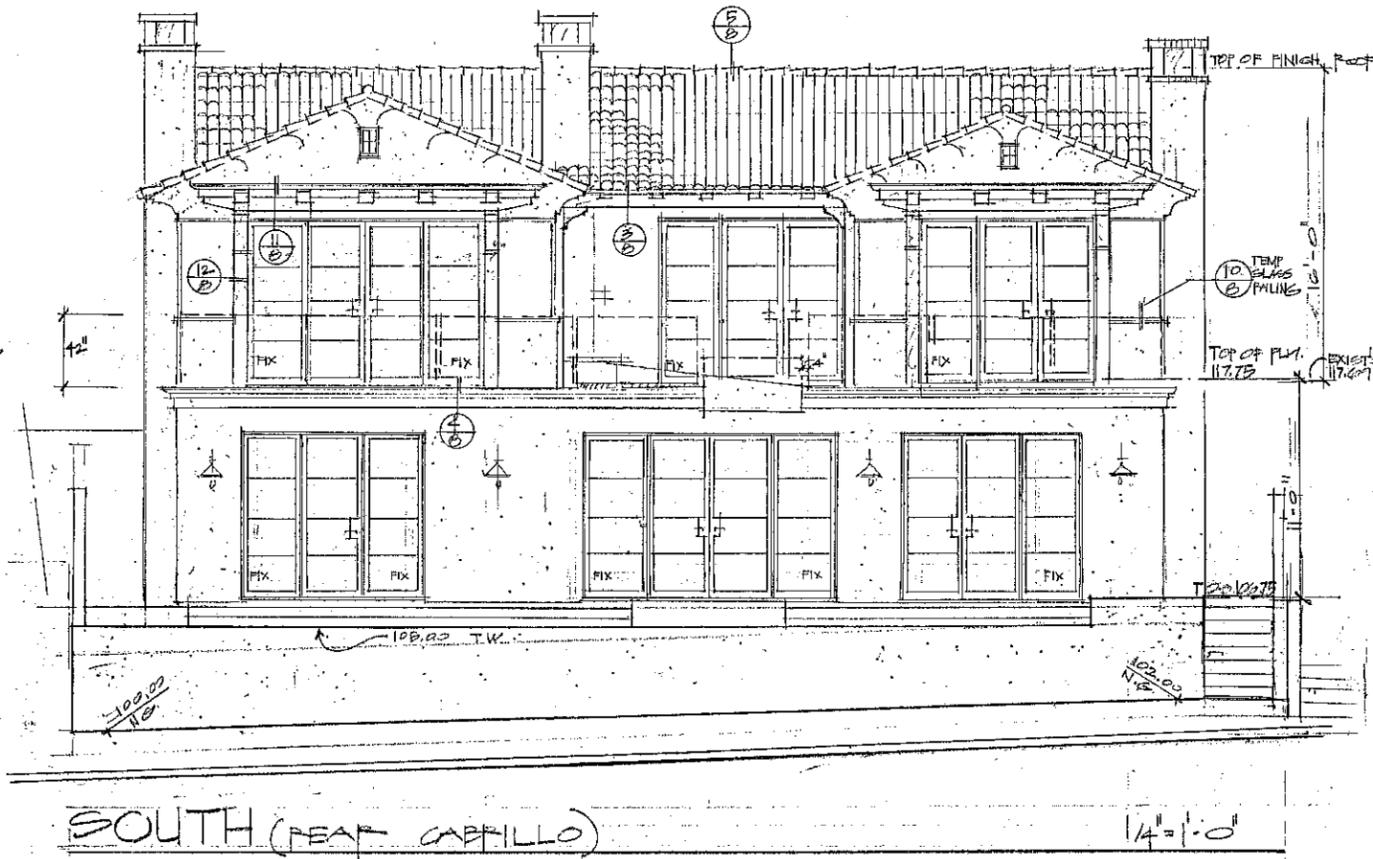
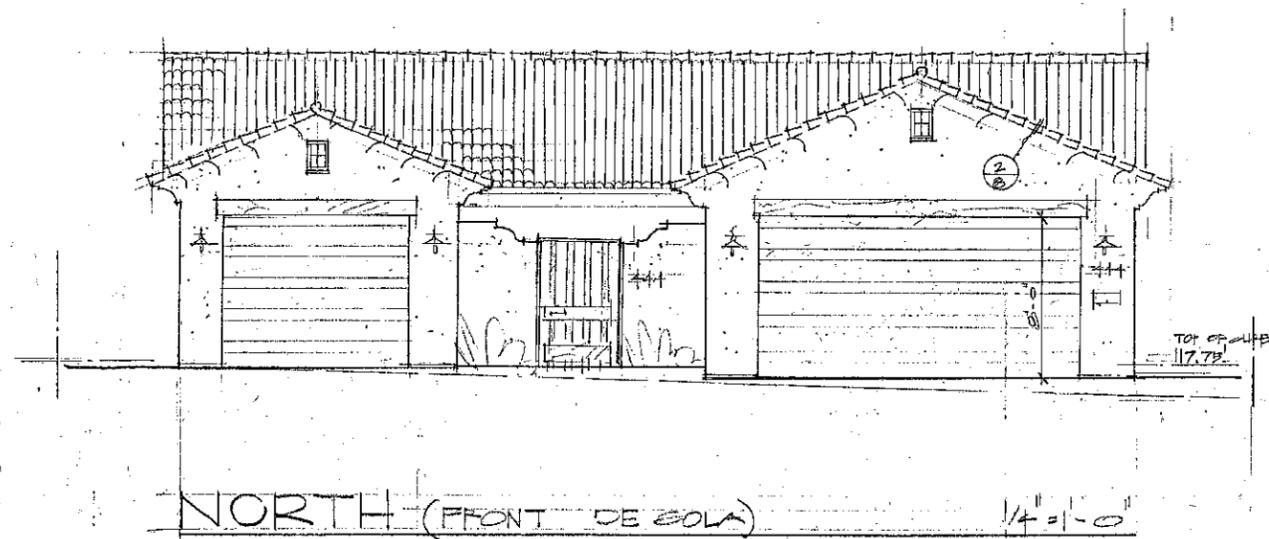


WILLIAM  
BEDITI  
GUIDIARO DESIGN  
PLANNING  
ARCHITECTURE  
1000 S. GARDEN ST. #100  
SAN ANTONIO, TX 78205  
761-541-1111

A New Home for:  
**Robert Hughes**  
444 De Sola Terrace, Coyote Del Mar CA 92025  
(949) 244-5678

12/21/12

7





### ROOF PLAN NOTES:

1. ROOFING MATERIAL BY "REDLAND", TWO PIECE "MISSION TILE", "SAND CAST OLD HACIENDA", "OLD SEDONA" PANS, CLASS "A" (ALSO SEE DETAIL 7/B & 8/8).
2. ALL ROOF FLASHING TO BE COPPER FLASHING THROUGHOUT: VALLEYS, SADDLES, DRIP, GUTTER, 2-EAR, EOT.
3. NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE ATTIC AREA.
4. OPENINGS SHALL HAVE COPPER WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8" MIN. AND 1/4" MAX. OPENING.

### ATTIC VENT CALCULATION

ATTIC AREA 1: 405 SQ. FT. OF ATTIC X 144 = 57,600 SQ. IN. / 150 = 384 SQ. IN. OF FREE AIR VENTILATION REQUIRED  
 USE (4) HALF ROUND COPPER DORMER VENTS = 400 SQ. IN. PROVIDED

ATTIC AREA 2: 80 SQ. FT. OF ATTIC X 144 = 11,520 SQ. IN. / 150 = 76 SQ. IN. OF FREE AIR VENTILATION REQUIRED  
 USE (2) HALF ROUND COPPER DORMER VENTS = 200 SQ. IN. PROVIDED

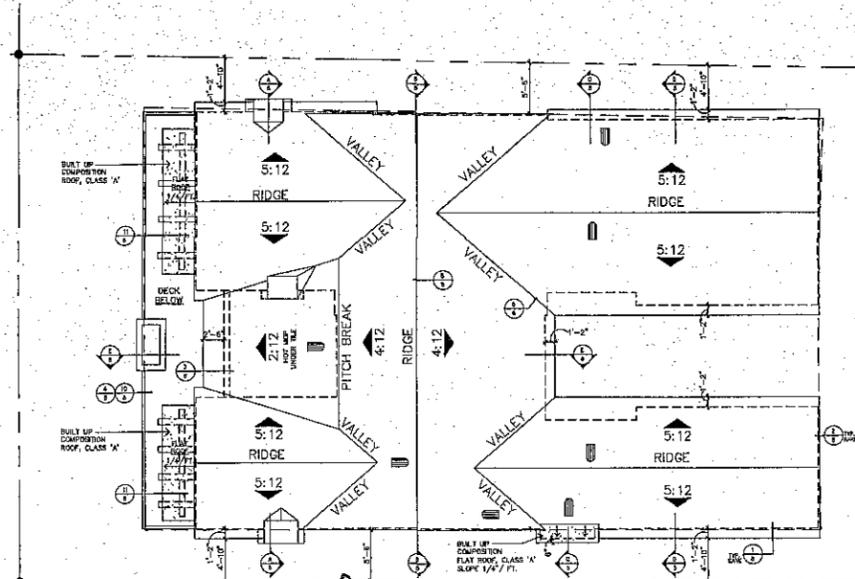
--- COPPER DORMER VENT = 100 SQ. IN. FREE AIR VENTILATION PROVIDED

**Note**  
 Pool excavation shall be inspected by soils engineer prior to steel placement. As a condition of the use of Pool Engineering, Inc. structural plans, Soils Engineer shall certify that the pool bottom conforms to Structural Note 1 on Standard Pool Structural Plan.

**SITE PLAN REVIEWED**  
 for conformance to structural details

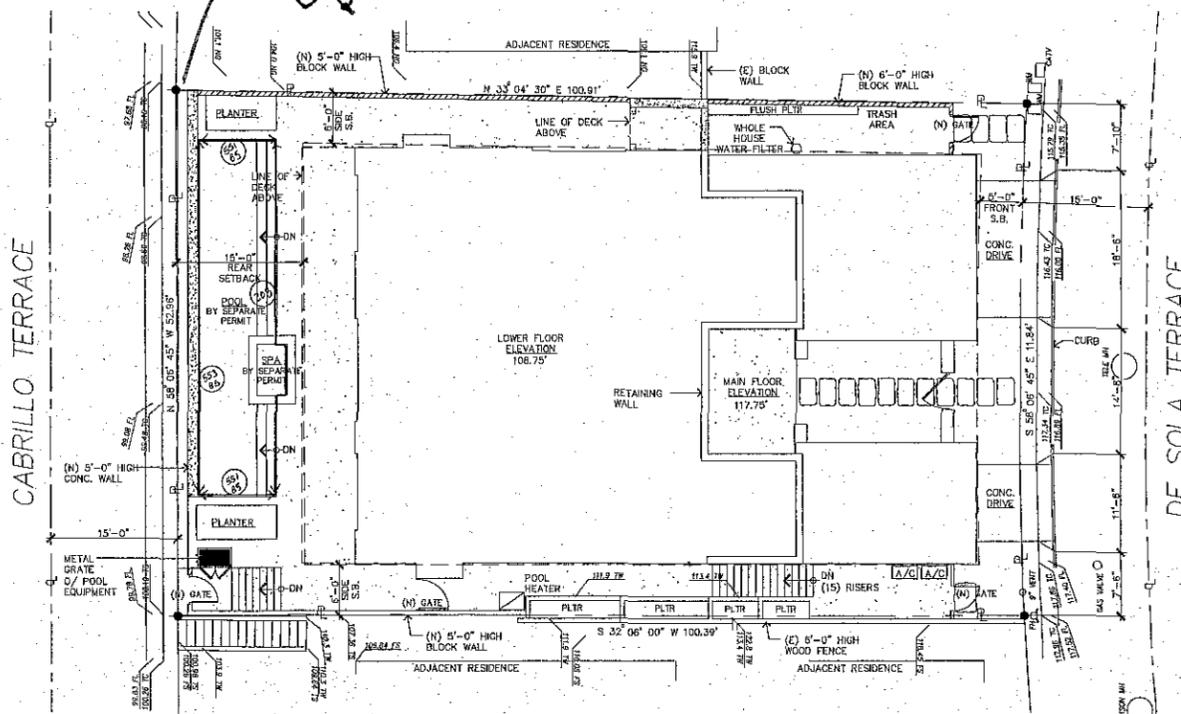


This is to certify that the professional engineer, whose seal appears on this document, assumes responsibility only for the validity of Pool Engineering, Inc. structural elements shown herein, and NOT for any architectural, site planning, civil, mechanical, electrical, soils engineering, or any other engineering or design aspect of the work.



ROOF PLAN

SCALE: 1/8" = 1'-0"



SITE PLAN

SCALE: 1/8" = 1'-0"



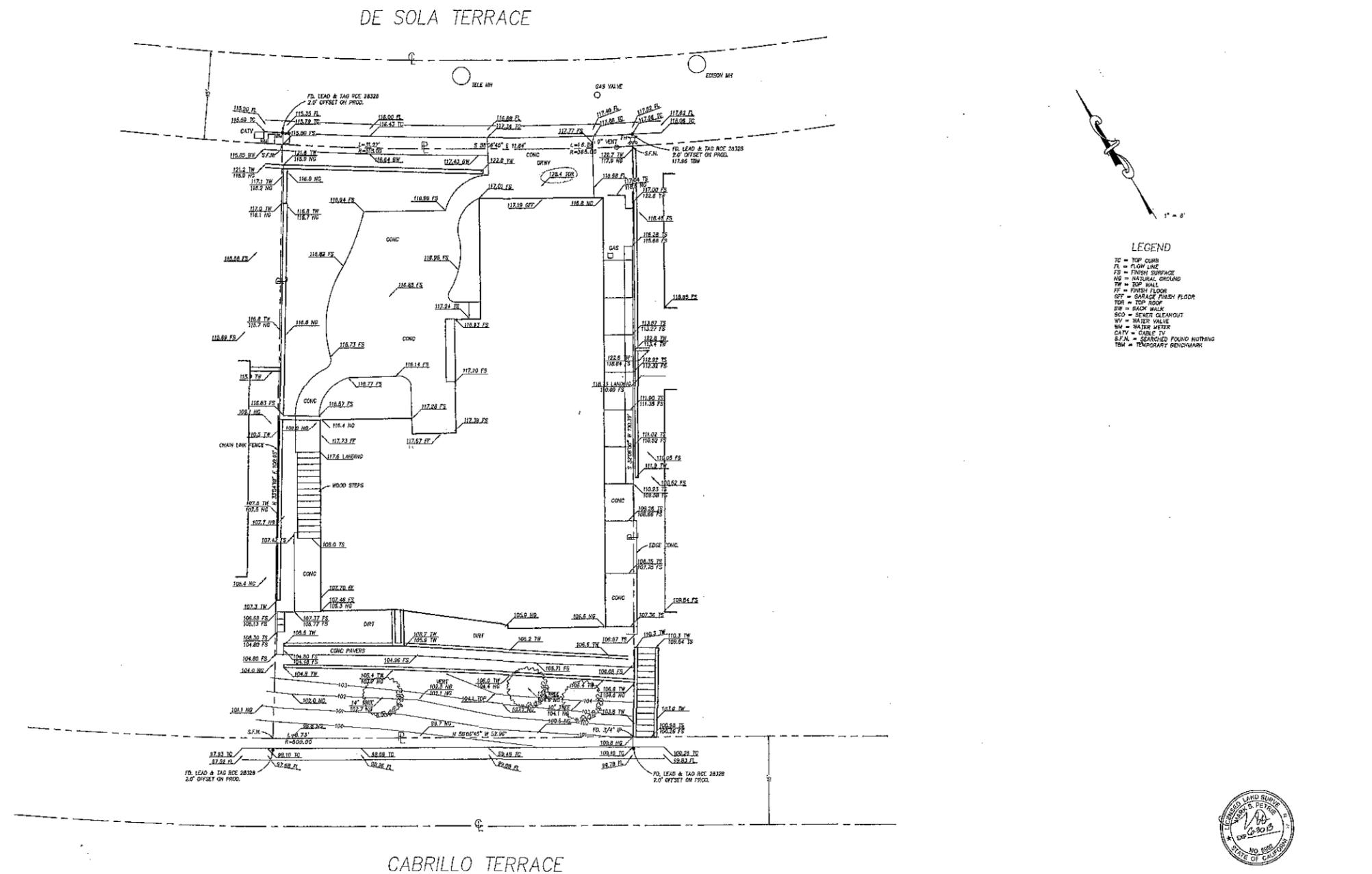
WILLIAM  
 BELDEN  
 QUINTERO  
 LICENSED PROFESSIONAL ENGINEER  
 CIVIL ENGINEERING  
 STATE OF CALIFORNIA  
 LICENSE NO. 52034

A New Home for:  
**Robert Hughes**  
 444 De Sola Terrace, Corona Del Mar, CA 92625. (949) 244-5678

SITE PLAN AND  
 ROOF PLAN

DATE  
 12-31-2012





MONUMENT NOTE  
SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS  
OR OFFSETS BEFORE STARTING GRADING.

EASEMENT NOTE  
THIS PLAN FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT.  
UNEXPLOITED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.

TOPOGRAPHIC MAP	
8 SCALE	LOT 115 TRACT NO 1237
AUGUST 2012	
444 DE SOLA TERRACE NEWPORT BEACH CA.	
ASSUMED DATUM = 100.00	
CA	