



**CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

FROM: Kimberly Brandt, Community Development Director
Brenda Wisneski, Deputy Community Development Director

SUBJECT: Report of actions taken by the Zoning Administrator, and/or Planning Division staff for the week ending January 15, 2016

**ZONING ADMINISTRATOR ACTIONS
JANUARY 14, 2016**

- Item 1: 415 Marguerite Avenue Condominium Conversion No. CC2013-003 and Tentative Parcel Map No. NP2015-017 (PA2015-176)
Site Address: 415 Marguerite Avenue
Action: Approved by Resolution No. ZA2016-001 Council District 6
- Item 2: 713 Marguerite Avenue Tentative Parcel Map No. NP2015-020 (PA2015-207)
Site Address: 713 Marguerite Avenue
Action: Approved by Resolution No. ZA2016-002 Council District 6
- Item 3: 109 and 111 Park Avenue Lot Merger No. LM2015-003 (PA2015-179)
Site Address: 109 and 111 Park Avenue
Action: Approved by Resolution No. ZA2016-003 Council District 5
- Item 4: 415 38th Street Tentative Parcel Map Extension No. NP2006-001 (PA2006-005)
Site Address: 415 38th Street
Action: Approved by Resolution No. ZA2016-004 Council District 1

**COMMUNITY DEVELOPMENT DIRECTOR
OR PLANNING DIVISION STAFF ACTIONS**
(Non-Hearing Items)

Item 1: Uptown Newport Apartment Project Minor Site Development No. SD2015-004
(PA2015-141)
Site Address: 4201 and 4301 Jamboree Road

Action: Approved

Council District 3

APPEAL PERIOD: An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

RESOLUTION NO. ZA2016-001

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING CONDOMINIUM CONVERSION NO. CC2015-003 AND TENTATIVE PARCEL MAP NO. NP2015-017 FOR TWO-UNIT CONDOMINIUM PURPOSES LOCATED AT 415 MARGUERITE AVENUE (PA2015-176)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Targhee Capital Advisors, LLC, with respect to property located at 415 Marguerite Avenue, and legally described as Lot 9, Block 438, Corona Del Mar Tract, requesting approval of a condominium conversion and tentative parcel map.
1. The applicant proposes to convert an existing duplex into a condominium project. The code required two-car parking per unit will be provided and no waivers of Title 19 development standards are proposed with this application.
2. The subject property is located within the Two-Unit Residential (R-2) Zoning District and the General Plan Land Use Element category is Two-Unit Residential (RT).
3. The subject property is not located within the coastal zone.
4. A public hearing was held on January 14, 2016, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project has been determined to be categorically exempt pursuant to Title 14 of the California Code of Regulations (Sections 15302 and 15315, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act) under Class 2 (Replacement or Reconstruction) and 15 (Minor Land Divisions).
2. The Class 2 exemption authorizes replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. The project consists of the demolition and reconstruction of one unit and remodel of one unit, consistent with this exemption.
3. The Class 15 exemption includes the division of property in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels when the division is in conformance with the General Plan and zoning, no variances or exceptions are

required, and all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous two years, and the parcel does not have an average slope greater than 20 percent. The proposed subdivision is consistent with this exemption.

SECTION 3. REQUIRED FINDINGS.

Condominium Conversion

In accordance with Section 19.64.070 (Standards for Condominium Conversions) of the Newport Beach Municipal Code, the following findings are set forth:

Finding:

- A. *The minimum number, and the design and location of off-street parking spaces shall be provided in conformance with the provisions of the Zoning Ordinance in effect at the time of approval of the conversion.*

Facts in Support of Finding:

1. As permitted and conditioned, the proposed new front unit will provide a one-car garage and a one-car carport. The remaining existing rear unit will be remodeled to condominium standards and will also provide a one-car garage and a one-car carport.
2. The four spaces provided meet the number of spaces required (two per unit) per Chapter 20.40 (Off-Street Parking) of the Zoning Ordinance.

Finding:

- B. *Each dwelling unit within a building shall have a separate sewer connection to the City sewer.*

Facts in Support of Finding:

1. As permitted and conditioned, the duplex will maintain two separate sewer connections to the City sewer.

Finding:

- C. *Each sewer lateral shall be retrofitted/fitted with a cleanout at the property line.*

Facts in Support of Finding:

1. As permitted and conditioned, the duplex will maintain two separate sewer cleanouts located at the property line.

Finding:

D. Each unit shall maintain a separate water meter and water meter connection.

Facts in Support of Finding:

1. As permitted and conditioned, the duplex will maintain two separate water meters and water meter connections.

Finding:

E. The electrical service connection shall comply with the requirements of Chapter 15.32 (Underground Utilities) of the Newport Beach Municipal Code.

Facts in Support of Finding:

1. The duplex was constructed with an electrical service connection that was, at such time, determined to be in compliance with the requirements of Chapter 15.32.

Finding:

F. The applicant for a condominium conversion shall request a special inspection from the Building Division for the purpose of identifying any building safety violations. The applicant shall correct all identified safety violations prior to approval of a final map for the condominium conversion.

Facts in Support of Finding:

1. A special inspection was completed by the Building Division on November 30, 2015, and multiple building and safety violations were identified including sanitation, structural, exit safety, plumbing, guardrails, and smoke detectors/carbon monoxide alarms.
2. Since the duplex is currently undergoing renovation, several items in the special inspection could not be verified in the field; however, the permitted building plans indicate the required improvements will be constructed.
3. As conditioned, the project will not be condominiums until all violations have been corrected and verified.

Finding:

G. Permanent lot stakes and tags shall be installed at all lot corners by a licensed surveyor or civil engineer unless otherwise required by the City Engineer.

Facts in Support of Finding:

1. As conditioned, the project will comply with this requirement prior to recordation of the final parcel map.

Finding:

H. For residential conversions, the project shall be consistent with the adopted goals and policies of the General Plan, particularly with regard to the balance and dispersion of housing types within the City.

Facts in Support of Finding:

1. The project is consistent with the adopted goals and policies of the Land Use Element and other Elements of the General Plan. The project site is designated as RT (Two-Unit Residential) by the Land Use Element of the General Plan. The proposed project is consistent with the RT land use category, which is intended to provide for a range of two-family dwelling units such as duplexes and townhomes.
2. An existing, remodeled two-unit dwelling rental will be converted into a two-unit condominium project. The residential density on the site will remain the same.

Finding:

I. The establishment, maintenance or operation of the use or building applied for shall not, under the circumstances of the particular case, be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City.

Facts in Support of Finding:

1. The application of the project conditions will ensure the health, safety, peace, comfort, and general welfare of persons residing or working in the neighborhood and the City.
2. The proposed project is to convert an existing, remodeled duplex into two condominiums on property located within the R-2 Zoning District.
3. Public improvements will be required of the Applicant per the Municipal Code and the Subdivision Map Act.

Tentative Parcel Map

The Zoning Administrator determined in this case that the Tentative Parcel Map is consistent with the legislative intent of Title 20 of the Newport Beach Municipal Code and is approved based on the following findings per Section 19.12.070 (Required Findings for Action on Tentative Maps) of Title 19:

Finding:

- A. *That the proposed map and the design or improvements of the subdivision are consistent with the General Plan and any applicable specific plan, and with applicable provisions of the Subdivision Map Act and this Subdivision Code.*

Facts in Support of Finding:

1. The Tentative Parcel Map is for two-unit residential condominium purposes. A two-unit duplex will be remodeled to current condominium standards. The proposed subdivision and improvements are consistent with the density of the R-2 Zoning District and the current RT General Plan Land Use Designation.
2. The Tentative Parcel Map does not apply to any specific plan area.

Finding:

- B. *That the site is physically suitable for the type and density of development.*

Facts in Support of Finding:

1. The lot is physically suitable for two-unit development because it is regular in shape and is relatively flat.
2. The subject property is accessible from Marguerite Avenue and the alley at the rear, and is adequately served by existing utilities.

Finding:

- C. *That the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage nor substantially and avoidably injure fish or wildlife or their habitat. However, notwithstanding the foregoing, the decision making body may nevertheless approve such a subdivision if an environmental impact report was prepared for the project and a finding was made pursuant to Section 21081 of the California Environmental Quality Act that specific economic, social, or other considerations make infeasible the mitigation measures or project alternatives identified in the environmental impact report.*

Facts in Support of Finding:

1. This project has been reviewed, and it has been determined that it qualifies for a Class 2 and a Class 15 categorical exemption pursuant to Title 14 of the California Code of Regulations (Sections 15302 and 15315, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act). The Class 2 exemption authorizes replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the

structure replaced. The Class 15 exemption allows the division of property in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels when the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels are available, the parcel was not involved in a division of a larger parcel within the previous two years, and the parcel does not have an average slope greater than 20 percent.

Finding:

- D. *That the design of the subdivision or the type of improvements is not likely to cause serious public health problems.*

Facts in Support of Finding:

1. The Tentative Parcel Map is for residential condominium purposes. All improvements associated with the project will comply with all Building, Public Works, and Fire Codes, which are in place to prevent serious public health problems. Public improvements will be required of the developer per Section 19.28.010 (General Improvement Requirements) of the Municipal Code and Section 66411 (Local agencies to regulate and control design of subdivisions) of the Subdivision Map Act. All ordinances of the City and all Conditions of Approval will be complied with.

Finding:

- E. *That the design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision. In this connection, the decision making body may approve a map if it finds that alternate easements, for access or for use, will be provided and that these easements will be substantially equivalent to ones previously acquired by the public. This finding shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to the City Council to determine that the public at large has acquired easements for access through or use of property within a subdivision.*

Facts in Support of Finding:

1. The design of the development will not conflict with easements acquired by the public at large, for access through, or use of property within the proposed development, because there are no public easements located on the property.

Finding:

- F. *That, subject to the detailed provisions of Section 66474.4 of the Subdivision Map Act, if the land is subject to a contract entered into pursuant to the California Land Conservation Act of 1965 (Williamson Act), the resulting parcels following a subdivision of the land would not be too small to sustain their agricultural use or the*

subdivision will result in residential development incidental to the commercial agricultural use of the land.

Facts in Support of Finding:

1. The property is not subject to the Williamson Act because the subject property is not designated as an agricultural preserve and is less than 100 acres in area.
2. The site, developed for residential use, lies in a Zoning District that permits residential uses.

Finding:

G. *That, in the case of a “land project” as defined in Section 11000.5 of the California Business and Professions Code: (1) there is an adopted specific plan for the area to be included within the land project; and (2) the decision making body finds that the proposed land project is consistent with the specific plan for the area.*

1. The property is not a “land project” as defined in Section 11000.5 of the California Business and Professions Code because the existing subdivision does not contain fifty (50) or more parcels.
2. The project is not located within a specific plan area.

Finding:

H. *That solar access and passive heating and cooling design requirements have been satisfied in accordance with Sections 66473.1 and 66475.3 of the Subdivision Map Act.*

Facts in Support of Finding:

1. The Tentative Parcel Map and any future improvements are subject to Title 24 of the California Building Code that requires new construction to meet minimum heating and cooling efficiency standards depending on location and climate. The Newport Beach Building Division enforces Title 24 compliance through the plan check and inspection process.

Finding:

I. *That the subdivision is consistent with Section 66412.3 of the Subdivision Map Act and Section 65584 of the California Government Code regarding the City’s share of the regional housing need and that it balances the housing needs of the region against the public service needs of the City’s residents and available fiscal and environmental resources.*

Facts in Support of Finding:

1. The two-unit duplex is consistent with the R-2 Zoning District which allows two residential units on the property. Therefore, the Tentative Parcel Map for condominium purposes will not affect the City in meeting its regional housing need.

Finding:

- J. That the discharge of waste from the proposed subdivision into the existing sewer system will not result in a violation of existing requirements prescribed by the Regional Water Quality Control Board.*

Facts in Support of Finding:

1. The remodeled two-unit duplex will be designed so that wastewater discharge into the existing sewer system complies with the Regional Water Quality Control Board (RWQCB) requirements.

Finding:

- K. For subdivisions lying partly or wholly within the Coastal Zone, that the subdivision conforms with the certified Local Coastal Program and, where applicable, with public access and recreation policies of Chapter Three of the Coastal Act.*

Facts in Support of Finding:

1. The subject property is not located within the Coastal Zone.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Condominium Conversion No. CC2015-003 and Tentative Parcel Map No. NP2015-017 (PA2015-176), subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.
2. This action shall become final and effective 10 days after the adoption of this Resolution unless within such time an appeal is filed with the Director of Community Development in accordance with the provisions of Title 19 Subdivisions, of the Newport Beach Municipal Code.

PASSED, APPROVED, AND ADOPTED THIS 14^h DAY OF JANUARY, 2016.



Patrick J. Alford, Zoning Administrator

EXHIBIT "A"

CONDITIONS OF APPROVAL

Planning Division

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval. (Except as modified by applicable conditions of approval.)
2. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Parcel Map and Condominium Conversion.
3. No more than two dwelling units shall be permitted on the site.
4. In accordance with the provisions of Chapter 13 of the Newport Beach Municipal Code or other applicable section or chapter, additional street trees may be required and existing street trees shall be protected in place during construction of the subject project, unless otherwise approved by the General Services Department and the Public Works Department through an encroachment permit or agreement.
5. Two-car parking, including one enclosed garage space and one covered or enclosed parking space, shall be provided on site for each dwelling unit per requirements of the Zoning Code. All parking spaces shall be maintained clear of obstructions for the parking of vehicles at all times.
6. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
7. Prior to the recordation of the parcel map, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
8. Prior to the final of the building permit for the special inspection, the applicant shall resolve all building safety violations identified in the Condominium Conversion Inspection Report dated November 30, 2015.
9. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 19, Planning and Zoning, of the Newport Beach Municipal Code.
10. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and

expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the 415 Marguerite Avenue Condominiums including, but not limited to CC2015-003 and NP2015-017 (PA2015-176). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Public Works Division

11. A Parcel Map shall be recorded. The Map shall be prepared on the California coordinate system (NAD83). Prior to recordation of the Map, the surveyor/engineer preparing the Map shall submit to the County Surveyor and the City of Newport Beach a digital-graphic file of said map in a manner described in Section 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18. **The Map to be submitted to the City of Newport Beach shall comply with the City's CADD Standards. Scanned images will not be accepted.**
12. Prior to recordation of the parcel map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County Surveyor in a manner described in Sections 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18. Monuments (one inch iron pipe with tag) shall be set on each lot corner unless otherwise approved by the Subdivision Engineer. Monuments shall be protected in place if installed prior to completion of construction project.
13. All improvements shall be constructed as required by Ordinance and the Public Works Department.
14. An encroachment permit is required for all work activities within the public right-of-way.
15. The existing and/or otherwise damaged concrete sidewalk, curb and gutter along the Marguerite Avenue frontage and any damaged concrete alley panels along the alley frontage shall be reconstructed. Limits of construction shall be determined by the Public Works Inspector.
16. All existing private, non-standard improvements within the public rights-of-way and/or extensions of private, non-standard improvements into the public rights-of-way fronting the development site shall be removed.

17. Each proposed condominium unit shall be served by its own individual water service/meter and sewer lateral/ cleanout. Each water meter and sewer cleanout shall be installed with a traffic-grade box and cover.
18. The existing street tree within the Marguerite Avenue right-of-way fronting the development shall be protected-in-place. Any street tree removal shall require approval from the Public Works Department and the Municipal Operations Department.
19. In case of damage done to public improvements surrounding the development site by the private construction, additional reconstruction within the public right-of-way could be required at the discretion of the Public Works Inspector.

RESOLUTION NO. ZA2016-002

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING TENTATIVE PARCEL MAP NO. NP2015-020 FOR TWO-UNIT CONDOMINIUM PURPOSES LOCATED AT 713 MARGUERITE AVENUE (PA2015-207)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by R.T Levan, with respect to property located at 713 Marguerite Avenue, and legally described as Lot 13, Block 738, Corona Del Mar Tract, requesting approval of a tentative parcel map.
2. The applicant proposes a tentative parcel map application for two-unit condominium purposes. No waiver of Title 19 (Subdivisions) development standards are proposed with this application. An existing two-unit duplex was demolished and will be replaced with a new two-unit duplex. The Tentative Parcel Map would allow each unit to be sold individually.
3. The subject property is located within the Two-Unit Residential (R-2) Zoning District and the General Plan Land Use Element category is Two-Unit Residential (RT).
4. The subject property is not located within the coastal zone.
5. A public hearing was held on January 14, 2016, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project has been determined to be categorically exempt pursuant to the State CEQA (California Environmental Quality Act) Guidelines under Class 15 (Minor Land Divisions).
2. The Class 15 exemption allows the division of property in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels when the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels are available, the parcel was not involved in a division of a larger parcel within the previous two years, and the parcel does not have an average slope greater than 20 percent. The Tentative Parcel

Map is for condominium purposes and is consistent with all of the requirements of the Class 15 exemption.

SECTION 3. REQUIRED FINDINGS.

The Zoning Administrator determined in this case that the Tentative Parcel Map is consistent with the legislative intent of Title 20 of the Newport Beach Municipal Code and is approved based on the following findings per Section 19.12.070 (Required Findings for Action on Tentative Maps) of Title 19:

Finding:

- A. *That the proposed map and the design or improvements of the subdivision are consistent with the General Plan and any applicable specific plan, and with applicable provisions of the Subdivision Map Act and this Subdivision Code.*

Facts in Support of Finding:

1. The Tentative Parcel Map is for two-unit residential condominium purposes. A two-unit duplex was demolished and will be replaced with a new two-unit duplex. The proposed subdivision and improvements are consistent with the density of the R-2 Zoning District and the current RT General Plan Land Use Designation.
2. The Tentative Parcel Map does not apply to any specific plan area.

Finding:

- B. *That the site is physically suitable for the type and density of development.*

Facts in Support of Finding:

1. The lot is physically suitable for two-unit development because it is regular in shape and is relatively flat.
2. The subject property is accessible from the alley at the rear, and is adequately served by existing utilities.

Finding:

- C. *That the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage nor substantially and avoidably injure fish or wildlife or their habitat. However, notwithstanding the foregoing, the decision making body may nevertheless approve such a subdivision if an environmental impact report was prepared for the project and a finding was made pursuant to Section 21081 of the California Environmental Quality Act that specific economic, social, or other considerations make infeasible the mitigation measures or project alternatives identified in the environmental impact report.*

Facts in Support of Finding:

1. The site was previously developed with a two-unit duplex that was demolished and will be replaced with a new two-unit duplex.
2. The property is located in an urbanized area that does not contain any sensitive vegetation or habitat.
3. The project is categorically exempt under Section 15315 (Article 19 of Chapter 3), of the California Environmental Quality Act (CEQA) Guidelines – Class 15 (Minor Land Alterations).

Finding:

- D. That the design of the subdivision or the type of improvements is not likely to cause serious public health problems.*

Facts in Support of Finding:

1. The Tentative Parcel Map is for residential condominium purposes. All improvements associated with the project will comply with all Building, Public Works, and Fire Codes, which are in place to prevent serious public health problems. Public improvements will be required of the developer per Section 19.28.010 (General Improvement Requirements) of the Municipal Code and Section 66411 (Local agencies to regulate and control design of subdivisions) of the Subdivision Map Act. All ordinances of the City and all Conditions of Approval will be complied with.

Finding:

- E. That the design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision. In this connection, the decision making body may approve a map if it finds that alternate easements, for access or for use, will be provided and that these easements will be substantially equivalent to ones previously acquired by the public. This finding shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to the City Council to determine that the public at large has acquired easements for access through or use of property within a subdivision.*

Facts in Support of Finding:

1. The design of the development will not conflict with easements acquired by the public at large, for access through, or use of property within the proposed development, because there are no public easements located on the property.

Finding:

- F. That, subject to the detailed provisions of Section 66474.4 of the Subdivision Map Act, if the land is subject to a contract entered into pursuant to the California Land Conservation Act of 1965 (Williamson Act), the resulting parcels following a subdivision of the land would not be too small to sustain their agricultural use or the subdivision will result in residential development incidental to the commercial agricultural use of the land.*

Facts in Support of Finding:

1. The property is not subject to the Williamson Act because the subject property is not designated as an agricultural preserve and is less than 100 acres in area.
2. The site, developed for residential use, lies in a Zoning District that permits residential uses.

Finding:

- G. That, in the case of a "land project" as defined in Section 11000.5 of the California Business and Professions Code: (1) there is an adopted specific plan for the area to be included within the land project; and (2) the decision making body finds that the proposed land project is consistent with the specific plan for the area.*

1. The property is not a "land project" as defined in Section 11000.5 of the California Business and Professions Code because the existing subdivision does not contain fifty (50) or more parcels.
2. The project is not located within a specific plan area.

Finding:

- H. That solar access and passive heating and cooling design requirements have been satisfied in accordance with Sections 66473.1 and 66475.3 of the Subdivision Map Act.*

Facts in Support of Finding:

1. The Tentative Parcel Map and any future improvements are subject to Title 24 of the California Building Code that requires new construction to meet minimum heating and cooling efficiency standards depending on location and climate. The Newport Beach Building Division enforces Title 24 compliance through the plan check and inspection process.

Finding:

- I. *That the subdivision is consistent with Section 66412.3 of the Subdivision Map Act and Section 65584 of the California Government Code regarding the City's share of the regional housing need and that it balances the housing needs of the region against the public service needs of the City's residents and available fiscal and environmental resources.*

Facts in Support of Finding:

1. The proposed two-unit duplex is consistent with the R-2 Zoning District which allows two residential units on the property. Therefore, the Tentative Parcel Map for condominium purposes will not affect the City in meeting its regional housing need.

Finding:

- J. *That the discharge of waste from the proposed subdivision into the existing sewer system will not result in a violation of existing requirements prescribed by the Regional Water Quality Control Board.*

Facts in Support of Finding:

1. The new two-unit duplex will be designed so that wastewater discharge into the existing sewer system complies with the Regional Water Quality Control Board (RWQCB) requirements.

Finding:

- K. *For subdivisions lying partly or wholly within the Coastal Zone, that the subdivision conforms with the certified Local Coastal Program and, where applicable, with public access and recreation policies of Chapter Three of the Coastal Act.*

Facts in Support of Finding:

1. The subject property is not located within the Coastal Zone.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Tentative Parcel Map No. NP2015-020 (PA2015-207), subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.

2. This action shall become final and effective 10 days after the adoption of this Resolution unless within such time an appeal is filed with the Director of Community Development in accordance with the provisions of Title 19 Subdivisions, of the Newport Beach Municipal Code.

PASSED, APPROVED, AND ADOPTED THIS 14TH DAY OF JANUARY, 2016.



Patrick J. Alford, Zoning Administrator

EXHIBIT "A"

CONDITIONS OF APPROVAL

1. A Parcel Map shall be recorded. The Map shall be prepared on the California coordinate system (NAVD88). Prior to recordation of the Map, the surveyor/engineer preparing the Map shall submit to the County Surveyor and the City of Newport Beach a digital-graphic file of said map in a manner described in Section 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18. **The Map to be submitted to the City of Newport Beach shall comply with the City's CADD Standards. Scanned images will not be accepted.**
2. Prior to recordation of the parcel map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County Surveyor in a manner described in Sections 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18. Monuments (one inch iron pipe with tag) shall be set on each lot corner unless otherwise approved by the Subdivision Engineer. Monuments shall be protected in place if installed prior to completion of construction project.
3. All improvements shall be constructed as required by Ordinance and the Public Works Department.
4. The existing broken and/or otherwise damaged concrete curb, gutter and sidewalk panels along the Marguerite Avenue frontage shall be reconstructed.
5. The existing broken alley panels within the alley frontage shall be reconstructed.
6. All existing overhead utilities shall be undergrounded.
7. No above ground improvements shall be installed within the 5-foot alley setback.
8. Each unit shall be served by its individual water meter and sewer lateral and cleanout. Each water meter and sewer cleanout shall be installed with a traffic-grade box and cover. Water meter and the sewer cleanout shall be located within the public right-of-way.
9. An encroachment permit is required for all work activities within the public right-of-way.
10. All improvements shall comply with the City's sight distance requirement. See City Standard 110-L and Municipal Code 20.30.130.
11. In case of damage done to public improvements surrounding the development site by the private construction, additional reconstruction within the public right-of-way could be required at the discretion of the Public Works Inspector.
12. All on-site drainage shall comply with the latest City Water Quality requirements.

13. All unused water services to be abandoned shall be capped at the main (corporation stop) and all unused sewer laterals to be abandoned shall be capped at property line. If the sewer lateral to be abandoned has an existing cleanout, abandonment shall include removal of the cleanout riser, the 4TT box and the wye. Sewer lateral shall then be capped where the wye used to be.
14. The existing street tree within the Marguerite Avenue parkway shall be protected in place.
15. All non-standard improvements within the Marguerite Avenue right of way shall be removed. New drought tolerant landscaping within the Marguerite Avenue parkway area shall be installed.
16. Subsequent to the recordation of the Parcel Map, the applicant shall apply for a building permit for a description change of the subject project development from “duplex” to “condominium.” **The development will not be condominiums until this permit is finalized.** The building permit for the new construction shall not be finalized until after recordation of the Parcel Map.
17. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 19 (Subdivision Code) of the Newport Beach Municipal Code.
18. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney’s fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City’s approval of the 713 Marguerite Tentative Parcel Map, including, but not limited to, NP2015-020 (PA2015-207). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

RESOLUTION NO. ZA2016-003

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING LOT MERGER LM2015-003 AND A WAIVER OF THE PARCEL MAP REQUIREMENT FOR A LOT MERGER LOCATED AT 109 & 111 PARK AVENUE (PA2015-179)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by John and Sandra Wessman, with respect to property located at 109 and 111 Park Avenue, described as portions of Lots 19 and 20, Block 1, Resubdivision of Balboa Island, requesting approval of a lot merger.
2. The applicant proposes a lot merger and requests to waive the parcel map requirement for two properties, under common ownership, located on the Balboa Island.
3. The subject properties are located within the Two-Unit Residential, Balboa Island (R-BI) Zoning District and the General Plan Land Use Element category is Two-Unit Residential (RT).
4. The subject properties are located within the coastal zone. The Coastal Land Use Plan category is RT-E Two-Unit Residential.
5. A public hearing was held on January 14, 2016, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project has been determined to be categorically exempt pursuant to the State CEQA (California Environmental Quality Act) Guidelines under Class 15 (Minor Land Divisions).
2. The project is categorically exempt under Section 15315, of the State CEQA (California Environmental Quality Act) Guidelines - Class 15 (Minor Land Divisions). 15 exemption includes the division of property in urbanized areas zoned for residential, commercial, or industrial use into four (4) or fewer parcels when the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcel to local standards are available, the parcel was not involved in a division of a larger parcel within the previous two (2) years, and the parcel does not have an average slope greater than 20

percent. This exemption includes a minor lot merger not resulting in the creation of any new parcel that complies with the conditions specified above.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 19.68.030 and 19.08.030 of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

A. Approval of the merger will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City, and further that the proposed lot merger is consistent with the legislative intent of this title.

Facts in Support of Finding:

1. The lot merger to combine two existing legal lots by removing the interior lot line between the lots will not result in the creation of additional parcels.
2. The project is in an area with an average slope of less than 20 percent.
3. The lot merger is consistent with the purpose and intent of Title 19 (Subdivisions). The proposed merger will protect land owners and surrounding residents, and will preserve the public health, safety, and general welfare of the City.
4. The future development on the proposed parcel will be subject to the Zoning Code development standards.

Finding:

B. The lots to be merged are under common fee ownership at the time of the merger.

Facts in Support of Finding:

1. The two lots to be merged are under common fee ownership.

Finding:

C. The lots as merged will be consistent or will be more closely compatible with the applicable zoning regulations and will be consistent with other regulations relating to the subject property including, but not limited to, the General Plan and any applicable Coastal Plan or Specific Plan.

Facts in Support of Finding:

1. The merged lot will retain the Two-Unit Residential, Balboa Island zoning designation, consistent with the surrounding area. The R-BI Zoning District is intended to provide for a maximum of two residential dwelling units (i.e., duplexes) located on a single legal lot on Balboa Island.
2. Section 20.18.030 of the Zoning Code establishes minimum lot area and width requirements. The proposed merger of the lots would create one 6,547 square-foot parcel that will exceed the minimum lot standards of the Zoning Code.
3. The Land Use Element of the General Plan designates the subject site as Two-Unit Residential (RT), which applies to a range of two family residential dwelling units such as duplexes and townhomes. The Coastal Land Use Plan designates this site as Two-Unit Residential (RT-E) which provides for density ranges from 30.0 - 39.9 dwelling units per acre. The land use will remain the same and the merger is consistent with the land use designations of the General Plan and Coastal Land Use Plan.
4. Future redevelopment of the property will provide vehicular access from the alley, consistent with General Plan and Coastal Land Use Plan policies.
5. The subject property is not located within a Specific Plan area.

Finding:

D. Neither the lots as merged nor adjoining parcels will be deprived of legal access as a result of the merger.

Facts in Support of Finding:

1. The lots as merged will not be deprived of legal access as the merged lot will abut a street and two alleys.
2. No adjoining parcels will be deprived of legal access as a result of the merger. The public alleys were developed to provide vehicular access for the properties located in the area, and vehicular access to and from the subject site and adjacent properties would remain via the public alleys.

Finding:

E. The lots as merged will be consistent with the surrounding pattern of development and will not create an excessively large lot that is not compatible with the surrounding development.

Facts in Support of Finding:

1. Existing Parcel 1 does not have a frontage on Park Avenue and is only accessible from two alleys. The proposed lot merger will result in the elimination of the substandard 1,422 square-foot parcel, which is significantly smaller than the surrounding pattern of development and is unsuitable for construction of dwelling units compatible with the neighborhood.
2. The resulting lot configuration will not change the existing pattern of development as viewed from the Park Avenue street frontage since the lot expansion is occurring at the rear of the lot.

Finding:

F. The proposed division of land complies with requirements as to area, improvement and design, flood water drainage control, appropriate improved public roads and property access, sanitary disposal facilities, water supply availability, environmental protection, and other applicable requirements of this title, the Zoning Code, the General Plan, and any applicable Coastal Plan or Specific Plan.

Facts in Support of Finding:

1. Future improvements on the site will be required to comply with the development standards of the Municipal Code, General Plan, and Coastal Land Use Plan.
2. The proposed lot merger combines the properties into a single parcel of land and does not result in the elimination of more than one lot.
3. Approval of the proposed lot merger would remove the existing interior lot line, and allow the property to be used as a single site. The proposed lot would comply with all design standards and improvements required for new subdivisions by Title 19, General Plan, and Coastal Land Use Plan.
4. The subject property is not subject to a Specific Plan.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves LM2015-003 (PA 2015-179), subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.
2. This action shall become final and effective 10 days after the adoption of this Resolution unless within such time an appeal is filed with the Director of Community Development in accordance with the provisions of Title 19 Subdivisions, of the Newport Beach Municipal Code.

PASSED, APPROVED, AND ADOPTED THIS 14th DAY OF JANUARY, 2016.



Patrick J. Alford, Zoning Administrator

EXHIBIT "A"**CONDITIONS OF APPROVAL**

1. The map shall be submitted to the Public Works Department for Final Map Review and Approval. All applicable fees shall be paid.
2. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
3. Prior to the issuance of final building permits for construction to cross the existing interior lot line between the two (2) parcels proposed to be merged, recordation of the lot merger documents with the County Recorder shall be required.
4. Lot Merger No. LM2015-003 shall expire unless exercised within twenty-four (24) months from the date of approval as specified in Section 20.54.060 of the Newport Beach Municipal Code, unless an extension is otherwise granted.
5. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Wessman Lot Merger including, but not limited to, Lot Merger No. LM2015-003 (PA2015-179). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition



Tentative Parcel Map Status

January 14, 2016

OC Luxury Development, LLC
12 Corporate Plaza
Newport Beach, CA 92660

RE: PA2006-005 for Parcel Map No. NP2006-001

The referenced Tentative Parcel Map was originally approved by the Zoning Administrator on January 23, 2006. The Zoning Administrator provided a three-year, initial lifespan for the map. Several changes to the State Subdivision Map Act (SMA) provided automatic extensions of time to the initial life of the map. Pursuant to Government Code §66452.21, §66452.22, §66452.23, and §66452.24, the referenced Tentative Parcel Map was extended automatically and set to expire on February 6, 2016.

On January 14, 2016, the Zoning Administrator approved a 24-month extension pursuant to Newport Beach Municipal Code Section 19.16.020. Therefore, the referenced Tentative Parcel Map will expire on February 6, 2018.

If you, or future owners of property, choose to pursue the subdivision, you or the future owner must comply with all conditions of approval of the Tentative Parcel Map, and cause the map to be recorded on or before this date.

If you have any questions, please contact me at (949) 644-3225 or by email at dlee@newportbeachca.gov.

On behalf of Patrick Alford, Zoning Administrator,

David S. Lee, Planning Technician



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915

(949) 644-3200 Fax: (949) 644-3229

www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR **ACTION LETTER**

Application No. Minor Site Development Review No. SD2015-004 (PA2015-141)
Applicant TPG/TSG Venture1 Acquisition, LLC
Site Address 4201 and 4301 Jamboree Road
Uptown Newport Apartment Project
Legal Description Parcel 3 of Parcel Map No. 2013-108

On January 14, 2016, the Community Development Director approved Minor Site Development Review No. SD2015-004. This approval is based on the following findings and subject to the following conditions.

PROJECT SUMMARY

A Minor Site Development Review for the construction of 455 residential apartment units in two separate buildings, an approximately 10,700 square feet of retail use and a 50-foot wide paseo within Phase 1 of Uptown Newport Planned Community.

ZONING DISTRICT/GENERAL PLAN

- **Zone:** PC-58 (Uptown Newport)
- **General Plan:** MU-H2 (Mixed Use Horizontal 2)

I. BACKGROUND

On February 26, 2013, the City Council approved the zoning entitlements and certified the environmental impact report for the Uptown Newport project, which consists of a mixed use planned community of up to 1,244 residential units, 11,500 square feet of neighborhood-serving retail space, and two acres of public park space in two primary phases.

The approved zoning documents for Uptown Newport consisted of: (1) Land Uses, Development Standards & Procedures, (2) Phasing Plan, and (3) Design Guidelines. These documents set forth the development standards with procedures for project implementation, phasing requirements, and design framework. These documents, together, are called Planned Community Development Plan (PCDP).

The Land Uses, Development Standards & Procedures provides land use development regulations, site development standards, and implementation process by requiring a master site development review approval by the Planning Commission for the entire Uptown Newport project; and a minor site development review approval by the Community Development Director for the individual buildings and construction of the two neighborhood parks.

On September 5, 2013, the Planning Commission approved the Master Site Development Review application for the Uptown Newport project to be developed in two separate phases. Phase 1 consists of up to 680 units, 11,500 square feet of retail, and a one-acre park. Phase 2, to be developed at a later date, consists of 564 units and the remaining one-acre park.

Phase 1 construction is underway. The demolition of the existing single-story office building at 4311 Jamboree Road (the "Half Dome Building") has been completed. On-site improvements (grading and earthwork, utilities, drainage, street work, etc.) are presently under construction.

The construction of the residential buildings proposed by the applicant requires the approval of a Minor Site Development Review.

II. PROJECT DESCRIPTION

The applicant is proposing to construct two buildings to be located along the Jamboree Road just north of the intersection of Jamboree Road and Fairchild Road in Phase 1 of the Uptown Newport Planned Community. The 50-foot wide paseo will be located between the proposed residential buildings.

The South Building is located adjacent to Uptown Newport's main entrance at Fairchild Road and is comprised of 222 apartment units and 10,700 square feet of retail uses. The five-story building will have four levels of residential units above the street level, which will consist of retail uses, a leasing office, a mail room, residential uses, lobbies, and parking for commercial uses and guests. A three-level subterranean parking garage will extend below the ground level and provide parking for residents.

The North Building is located adjacent to the northerly entrance from Jamboree Road and has a total of 233 rental units. This five-story building is designed with four levels of residential uses above the street level, which will consist of residential uses, a leasing office, a mail room, lobbies, and parking for residents and guests. A two-level subterranean garage structure will provide parking for residents.

The proposed buildings are approximately 66 feet in height and will be constructed on individual lots. The buildings are designed with interior landscaped courtyards at the lowest level and recreational amenities, including swimming pools, spas, courtyards, BBQ areas, and community rooms at the buildings' podium levels (levels just above parking). A 50-foot wide paseo will be developed on an easement area between the two buildings. The paseo will provide public pedestrian access from Jamboree Road to an interior street.

Vehicular access to the two buildings will be provided from the main interior street that will be called Uptown Newport Drive.

III. **FINDINGS**

Consistent with the general purposes set forth in Section 4.2 of the Land Uses, Development Standards & Procedures of the PCDP, the Community Development Director may approve or conditionally approve a Site Development Review application, only after first making the following findings:

A. The development shall be in compliance with all provisions of the Uptown Newport Planned Community Development Plan Land Uses, Development Standards & Procedures

Facts in Support of Finding:

1. The proposed 455 residential apartment units, with approximately 10,700 square feet of retail use and a 50-foot wide paseo, are consistent with the permitted uses and open space allowed in the Uptown Newport Planned Community Development Plan Land Uses, Development Standards & Procedures.
2. The proposed building height is approximately 66 feet, which is within the maximum permitted height for low-rise and mid-rise buildings of 75 feet. The proposed project provides setbacks that meet or exceed the minimum setbacks from property lines and interior streets.
3. The buildings will be a minimum of 34 feet from Jamboree Road, 20 feet from the main (southern) entry street off Jamboree Road, 27 feet from the main interior street, and 17 feet from the secondary (northern) entry street off Jamboree Road.
4. The South Building requires a minimum of 79 parking spaces for retail uses and 382 spaces for residential uses based upon the intensity and density of use proposed. The building provides on-site parking consisting of 79 spaces for the retail uses and 409 spaces for the residents and their guests.
5. The North Building requires a minimum of 408 off-street parking spaces based upon the proposed density of use and the proposed project provides 430 on-site parking spaces for the residents and their guests.
6. The project proposes approximately 80 square feet of private recreational amenities per dwelling unit, which consists of private balconies, swimming pools, spas, courtyards, BBQ areas, and community rooms at the buildings' podium levels. These amenities exceed the minimum requirement of 44 square feet per dwelling unit. Additionally, a 50-foot wide paseo will be provided within an established easement between the residential buildings consistent with the Planned Community Development Plan and the Master Site Development Review.

Finding:

B. The development shall be consistent with the Uptown Newport Design Guidelines, Phasing Plan and Master Site Development Plan.

Facts in Support of Finding:

Design Guidelines:

1. Along the Jamboree Road frontage, the project incorporates one major and one minor break per building, in addition to one corner break on the southeast corner of the North Building. One major break is provided along the major interior street. These provisions meet the requirement of one major and one minor horizontal break per building.
2. Along the Jamboree Road frontage, the project proposes tower elements at the project circulation cores, increased parapet height on several top-level units, increased ceiling height on the top level of units, as well as a reduction in the number of floors at the pool courtyards of each building. These provisions comply with the minimum of two architectural elements in each of the Jamboree Road frontage area.
3. The project features the introduction of enhanced design and materials at the key project locations, primary corner elements, corner elements and building lobbies. These provisions comply with the community focal points and architectural features criteria.
4. The project features a 15-foot floor-to-floor height between the first and second building levels, with ground-level uses of retail, leasing centers, building lobbies, and ground-floor residential units with raised walk-up patios facing the internal street network. The provisions comply with the street activators and a minimum of twelve feet in floor-to-floor height for the retail uses requirements.
5. The proposed wall material for each building are manufactured stone and brick, exterior plaster, ceramic "wood" tiles, cement fiber lapped shingle, and glass storefront systems. The palette of building colors is of warm colors consisting of different shades of grey, brown, and beige with white trims and accents. Additionally, the project features enhanced materials along the Jamboree Road frontage, at ground-level pedestrian areas, and key building focal points and elements. The applicant describes the proposed design as contemporary in nature with the classic "beachside" building materials of shingle siding, sand-colored stone and warm wood accents. In addition to the proposed variety of complementary materials and colors, the provisions of building articulation and modulation, simple roof forms, private balconies, accent elements, and building massing will create a contemporary design and architectural elements as encouraged and prescribed in the Design Guidelines document.

Phasing Plan

6. The Phasing Plan identified the necessary implementation steps for the Phases 1 and 2 developments which include the demolition, on-site improvements, off-site improvements and actual construction of each individual pad building. Approval of the application is in the proper sequence and occupancy will occur only after completion of the Phase 1 infrastructure, including the interior streets that abut the proposed project. The proposed project is located within Phase 1 of the Uptown Newport Planned Community and is consistent with the anticipated phasing arrangements.

Master Site Development Plan (MSDP)

7. The proposed project is mixed-use development with retail commercial and residential components located in the parcels permitted by the PCDP and MSDP. As stated above, the proposed development is in substantial conformance with the MSDP as it is consistent with the prototypical building elevations, the conceptual paseo plans, and the preliminary master plant palette that were approved as a part of the master site development plan for the Uptown Newport Planned Community.

Finding:

- C. Substantial Conformance with the Master Site Development Plans approved by the Planning Commission pursuant to Section 4.1.*

Facts in Support of Finding:

1. See Response B.7.

Finding:

- D. On-site landscaping that is not part of the Master Site Improvements shall be consistent with the master landscape plant palette.*

Facts in Support of Finding:

1. The landscape plans for the proposed interior courtyards and private decks include primarily drought tolerant plant materials taken from the master plant palette, as proposed in the Master Site Development Review application, thus ensuring a consistent planting scheme.

Finding:

- E. The following criteria shall be considered during the review of a Site Development Review application:*

1. *Compliance with the Site Development Review Section, the General Plan, the Newport Beach Municipal Code, and other applicable criteria and policies related to the use or structure;*
2. *The compatibility in terms of bulk, scale, and aesthetic treatment of structures on the site and adjacent developments and public areas;*
3. *The adequacy, efficiency, and safety of pedestrian and vehicular access, including drive aisles, driveways, and parking and loading spaces;*
4. *The adequacy and efficiency of landscaping and open space areas and the use of water efficient plant and irrigation materials;*
5. *Not detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the proposed development.*

Facts in Support of Finding:

1. The proposed project is consistent with the Newport Beach General Plan, Municipal Code, Uptown Newport zoning documents, and applicable building and safety codes. By complying to the building heights, setbacks, and aesthetic treatment of structures, the proposed project will be compatible in density, scale and bulk and architectural design when compared with the improvements planned for Uptown Newport planned community. The proposed project is therefore consistent with the development standards permitted by the General Plan and Uptown Newport Planned Community Development Plan.
2. Appropriate vehicular access points for both buildings will be provided along the interior street (Uptown Newport Drive). No new vehicular driveways from Jamboree Road are proposed. Multiple pedestrian access points for both buildings are designed with direct connection from the ground level and parking garages and to publically accessible sidewalks. The Public Works Department and the Building Division have reviewed and approved the site plan, proposed building improvements and parking configuration and found them to be consistent with applicable standards and regulations subject to the conditions of approval.
3. As conditions of approval, the applicant is required to submit a detailed landscape and irrigation plan prepared by a licensed landscape architect for the paseo, private recreational areas, and private courtyards. These plans shall incorporate drought tolerant plantings and water efficient irrigation practices, and the plans shall be approved by the Planning Division.
4. The project has been conditioned to ensure that potential conflicts with surrounding land uses are minimized to the lowest extent possible to maintain a healthy environment for both businesses and residents.

IV. CONDITIONS

1. The development shall be in substantial conformance with the approved site plan, floor plans, building elevations, and materials sample board stamped and dated with the date of this approval, except as modified by applicable conditions of approval.
2. Any substantial modification to the approved Site Development Review plans, as determined by the Community Development Director, shall require an amendment to this Site Development Review application or the processing of a new application.
3. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the property owner or the leasing agent.
4. Minor Site Development Review No. SD2015-004 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.54.060 of the Newport Beach Municipal Code, unless an extension is otherwise granted.
5. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Uptown Newport Apartment Project including, but not limited to, Minor Site Development Review No. SD2015-04. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.
6. The proposed development shall consist of the following:
 - a. South Building:
 - 222 apartment units
 - 10,700 square feet of commercial retail
 - 409 on-site parking spaces for residents and guest parking as proposed. However, the applicant may make adjustments to the provision as long as the minimum requirement of 382 on-site parking spaces for residents and guest shall be maintained.

- 79 on-site parking spaces for the retail/commercial uses, of which 53 parking spaces will be allocated to the 4,200 square-foot restaurant use and 26 parking spaces for the 6,500 square-foot retail use.
- b. North Building:
- 233 apartment units
 - 430 on-site parking spaces for residents and guest parking. However, the applicant may make adjustments to the provision as long as the minimum requirement of 408 on-site parking spaces for residents and guest shall be maintained.
7. A minimum of 91 affordable apartment units shall be provided and consistent with Affordable Housing Implementation Plan No. AH2012-001.
 8. Prior to issuance of building permits, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Minor Site Development Review file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Minor Site Development Review and shall highlight the approved elements such that they are readily discernible from other elements of the plans.
 9. Prior to the issuance of building permits, the applicant shall submit a detailed landscape and irrigation plan prepared by a licensed landscape architect for the paseo, private recreational areas, and private courtyards. These plans shall incorporate drought tolerant plantings and water efficient irrigation practices, and the plans shall be approved by the Planning Division.
 10. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
 11. There shall be no encroachments (buildings, subterranean parking structures or other underground structures including foundations and footings, balconies, patios, stairways, ramps, and stoops) allowed within the 34-foot building setback along Jamboree Road.
 12. The maximum encroachment of the South Building's subterranean parking structure into the building setback along Uptown Newport Drive shall be 10 feet.
 13. The maximum encroachment of the South and North Buildings' private patios and balconies into the building setback along Uptown Newport Drive shall be 4 feet and 8 feet for stairways, front stoops and ramps.

14. On-site private recreational amenities as illustrated on the Minor Site Development Review application shall be provided and maintained for each residential building.
15. The site shall not be excessively illuminated based on the luminance recommendations of the Illuminating Engineering Society of North America, or, if in the opinion of the Director of Community Development, the illumination creates an unacceptable negative impact on surrounding land uses or environmental resources. The Director may order the dimming of light sources or other remediation upon finding that the site is excessively illuminated.
16. Prior to the issuance of a building permit, the applicant shall prepare photometric study in conjunction with a final lighting plan for approval by the Planning Division. The survey shall show that lighting values are "1" foot candles or less at all property lines.
17. Prior to the issuance of a building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
18. The proposed project shall be in compliance with all applicable conditions identified in City Council Resolution No. 2013-24 (Uptown Newport Tentative Tract Map No. NT2012-002 and Affordable Housing Implementation Plan No. AH2012-001) and mitigation measured contained in the Uptown Newport Environmental Impact Report No. ER2012-001.
19. Prior to the issuance of a building permit, the applicant shall submit a parking management plan to be reviewed and approved by Planning Division. The plan shall address how the on-site parking will be allocated for the retail and residential uses including the guest parking provisions. Each of the residential buildings must be self-parked (no shared parking will be allowed). How street parking will be assigned and enforced. Parking for park users shall also be identified and assigned.
20. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 and other applicable noise control requirements of the Newport Beach Municipal Code. The maximum noise shall be limited to no more than depicted below for the specified time periods unless the ambient noise level is higher:

Location	Between the hours of 7:00AM and 10:00PM		Between the hours of 10:00PM and 7:00AM	
	Interior	Exterior	Interior	Exterior
Residential Property	45dBA	55dBA	40dBA	50dBA
Residential Property located within 100 feet of a commercial property	45dBA	60dBA	45dBA	50dBA
Mixed Use Property	45dBA	60dBA	45dBA	50dBA
Commercial Property	N/A	65dBA	N/A	60dBA

21. Construction activities shall comply with Section 10.28.040 of the Newport Beach Municipal Code, which restricts hours of noise-generating construction activities that produce noise between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday and 8:00 a.m. and 6:00 p.m. on Saturday. Noise-generating construction activities are not allowed on Sundays or Holidays.
22. All parking lot improvements shall be per City Standards STD-805-L-(A&B).
23. Driveways shall be designed to comply with City Standards STD-110-L, unless otherwise approved by the City Traffic Engineer.
24. All improvements shall be constructed as required by Ordinance and the Public Works Department.
25. All residential parking shall be assigned. All dead-end drive aisles within the residential parking area shall have a minimum of 5-foot hammerhead/drive aisle extension. All dead-end drive aisles within the public/guest parking areas shall have a dedicated-turnaround space and minimum of 5-foot hammerhead/drive aisle extension.
26. Prior to the issuance of a building permit, the applicant shall submit a construction management plan to be reviewed and approved by the Public Works Department.
27. The following mitigation measures related to Hazards and Hazardous Material shall be adhered:
 - a. In compliance with CFC Section 381.1, (Amendment), prior to issuance of building permits for Phase 1, the applicant shall submit a geologic study from a state-licensed and department-approved individual or firm to the Newport Beach Fire Department Fire Prevention Division for review and approval (due to the proximity of the proposed project to a semiconductor facility).
 - b. Prior to issuance of any building permit for Phase 1, the applicant shall demonstrate compliance with CFC Section 27041.1 (Amendment which prohibits the storage of any amount of extremely hazardous substances equal to or greater than the disclosable amounts listed in Appendix A, Part 355, Title 40, of the Code of Federal Regulations, in a residential zone adjacent to property developed with residential uses. Compliance shall be demonstrated to the

satisfaction of the Newport Beach Fire Department and shall include the following:

- No residential structures shall be constructed within 200 feet of the anhydrous ammonia tank. Any additions or relocation of anhydrous ammonia tanks will require an updated offsite Consequence Analysis (OCA).
 - Demonstration of maintenance of industry best practices and provision of minimum EPGR-2 separation distances as defined by the EPA for any extremely hazardous substances (EHS) in excess of disclosable amounts. The use of the term “adjacent to” (per CFC Section 27041.1 (Amendment)) shall be interpreted to be a greater distance than an offsite consequence analysis would require as a safe EPGR-2 (or an equivalent and accepted standard) separation distance (bid).
- c. Prior to the issuance of occupancy permits, the applicant shall demonstrate to the satisfaction of the City of Newport Beach Fire Department that the following disclosures and emergency notification procedures/programs are in place:
- Disclosure to potential Uptown Newport residences that hazardous chemicals are used and stored at the adjacent Tower Jazz facility.
 - Inclusion of property manager or authorized representative of the Uptown Newport residential community to the emergency notification list of the Tower Jazz Business Emergency Plan.
 - Program to inform/train the property manager or authorized representative of the Uptown Newport residential community in emergency response and evacuation procedures and to incorporate ongoing coordination between the Uptown Newport representative and Tower Jazz to assure proper action in the event of an accident at the facility (shelter in place and/or evacuation routes).
 - Upgrade Tower Jazz emergency alarm system to include concurrent notification to Uptown Newport residents of chemical release. Provisions of the alarm system and emergency notification procedure shall be reviewed and approved by the City of Newport Beach Fire Department.
- d. Prior to the introduction of a new extremely hazardous substance or increase in quantity of any existing EHS at Tower Jazz, an updated OCA shall be prepared and reviewed and authorized by the City of Newport Beach Fire Department. Any new EHS shall be appropriately located and the installation designed with all necessary mitigation safeguards specified by the City of Newport Beach Fire Department.

28. An automatic sprinkler system installed in accordance with California Fire Code Section 903.3 and Newport Beach Fire Department Guideline F.05 shall be provided throughout all buildings, per C.F.C. Sec. 903.2.8.
29. A manual fire alarm system that activates the occupant notification system shall be provided, when any dwelling unit or sleeping unit located three or more stories above the lowest level of exit discharge, or the building contains more than 16 dwelling units or sleeping units, per C.F.C. Sec. 907.2.9.
30. Type 2A 10BC fire extinguishers shall be required and installed on each floor or level. Travel distance to an extinguisher shall not exceed 75 feet from any point in a building. Parking garages shall be required to have a 2A 20BC located every 50 feet, per C.F.C. Sec. 906.1.
31. Smoke alarms shall be installed and maintained on the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms, in each room used for sleeping purposes, and in each story within a dwelling unit. The smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. Smoke alarms shall receive their primary power from the building wiring and shall be equipped with a battery backup, per C.B.C. Sec. 907.2.11.2.
32. Fire flow shall be provided in accordance with Newport Beach Fire Department Guideline B.01 "Determination of Required Fire Flow."
33. A fire hydrant shall be required within 400 feet of all portions of every structure. Also the number of fire hydrants will also be determined by the required fire flow for each structure. A fire flow work sheet will need to be provided for the project and can be obtained from Newport Beach Fire Department Guideline & Standards B.01, per California Fire Code Section 507.5.1.
34. Fire apparatus access roads shall be provided as per Newport Beach Fire Department Guideline C.01. The fire apparatus road shall extend to within 150 feet of all the facility and all portions of the exterior walls of the first story of the building. Minimum width of a fire access roadway shall be 20 feet, no vehicle parking allowed. The width shall be increased to 26 feet within 30 feet of a hydrant, no vehicle parking allowed. Parking on one side is permitted on 28 foot wide streets narrower than 28 feet in width. Access roads shall have an unobstructed vertical clearance of not less than 13 feet 6 inches. Loading zones cannot be shared within the required width of a fire department access roadway.
35. The loading zone shall not impede into the required width of the Fire Department's access lane. As per the California Vehicle Code, no person shall park, or leave standing any vehicle, whether attended or unattended in any location in a publicly or privately owned or operated off-street parking facility, designated as a fire department or fire district with jurisdiction over the area in which the place is located.

36. The inside turning radius for an access road shall be 20 feet or greater. The outside turning radius shall be a minimum of 40 feet (without parking). Cul-de-sacs with center obstructions shall require a larger turning radius as approved by the Fire Department.
37. Fire lane signage shall be provided as per Newport Beach Fire Department Guideline C.02.
38. Emergency responder radio coverage shall comply with Newport Beach Fire Department Guideline D.05 "Public Safety Radio System Coverage". This requirement is applicable to buildings or structures that has more than three stories above grade plane, or any building or structure, regardless of the number of stories, in which any single floor space exceeds 45,000 square feet, or any building or structure containing a subterranean space of 250 square feet or more, or any building or structure deemed likely to have diminished in building communications, per C.F.C. Sec. 510.1 Amendment.
39. Standpipes shall be required as per C.F.C. Sec. 905.3 which includes, buildings where the floor level of the highest story is located more than 30 feet above the lowest level of Fire Department vehicle access, or building where the floor level of the lowest story is located more than 30 feet below the highest level of Fire Department vehicle access, or building that are two or more stories below the highest level of fire department vehicle access.
40. Separate plan submittal and "permits" shall be required for the following items: Fire Sprinkler System, Underground Fire Line and hydrants, Fire Alarm System, Standpipe System, and 800 MHz.
41. A Knox box shall be required for the proposed development. The Knox box must contain keys which will gain entrance to the building in an emergency situation. Also, keys to any mechanical room or equipment room shall need to be placed in the Knox box.
42. Address shall be placed on all new buildings in such a position that it is plainly visible and legible from the street or road fronting the property.
43. Stairwell signage shall meet Newport Beach Fire Department Guideline & Standards D.01.
44. Gurney sized elevators with phase I recall shall be required as per C.B.C. Sec. 3002.4a.
45. Areas with "A" Occupancies shall meet all requirements for an assembly type occupancy referred in C.F.C. Sec. 10.28.
46. Landscape/trees shall not obstruct firefighting laddering opportunities to any structures. Tree placement shall be reviewed and approved by the Fire Department.

47. Car charging shall meet requirements from the National Electrical Code 625.5.
48. The applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code. The construction plans must meet all applicable State Disabilities Access requirements. Approval from the Orange County Health Department is required prior to the issuance of a building permit.
49. The applicant shall employ the following best available control measures ("BACMs") to reduce construction-related air quality impacts:

Dust Control

- Water all active construction areas at least twice daily.
- Cover all haul trucks or maintain at least two feet of freeboard.
- Pave or apply water four times daily to all unpaved parking or staging areas.
- Sweep or wash any site access points within two hours of any visible dirt deposits on any public roadway.
- Cover or water twice daily any on-site stockpiles of debris, dirt or other dusty material.
- Suspend all operations on any unpaved surface if winds exceed 25 mph.

Emissions

- Require 90-day low-NOx tune-ups for off road equipment.
- Limit allowable idling to 30 minutes for trucks and heavy equipment

Off-Site Impacts

- Encourage car-pooling for construction workers.
- Limit lane closures to off-peak travel periods.
- Park construction vehicles off traveled roadways.
- Wet down or cover dirt hauled off-site.
- Sweep access points daily.
- Encourage receipt of materials during non-peak traffic hours.
- Sandbag construction sites for erosion control.

Fill Placement

- The number and type of equipment for dirt pushing will be limited on any day to ensure that SCAQMD significance thresholds are not exceeded.
- Maintain and utilize a continuous water application system during earth placement and compaction to achieve a-10 percent soil moisture content in the top six-inch surface layer, subject to review/discretion of the geotechnical engineer.

51. Prior to the issuance of grading permits, a Storm Water Pollution Prevention Plan (SWPPP) and Notice of Intent (NOI) to comply with the General Permit for Construction Activities shall be prepared, submitted to the State Water Quality Control Board for approval and made part of the construction program. The project applicant will provide the City with a copy of the NOI and their application check as proof of filing with the State Water Quality Control Board. This plan will detail

measures and practices that will be in effect during construction to minimize the project's impact on water quality.

52. Prior to issuance of grading permits, the applicant shall prepare and submit a Water Quality Management Plan (WQMP) for the proposed project, subject to the approval of the Building Division and Code and Water Quality Enforcement Division. The WQMP shall provide appropriate Best Management Practices (BMPs) to ensure that no violations of water quality standards or waste discharge requirements occur.
53. A list of "good house-keeping" practices will be incorporated into the long-term post-construction operation of the site to minimize the likelihood that pollutants will be used, stored or spilled on the site that could impair water quality. These may include frequent parking area vacuum truck sweeping, removal of wastes or spills, limited use of harmful fertilizers or pesticides, and the diversion of storm water away from potential sources of pollution (e.g., trash receptacles and parking structures). The Stage 2 WQMP shall list and describe all structural and non-structural BMPs. In addition, the WQMP must also identify the entity responsible for the long-term inspection, maintenance, and funding for all structural (and if applicable Treatment Control) BMPs.

APPEAL PERIOD: An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

On behalf of Kimberly Brandt, AICP, Community Development Director

By:



Rosalinh Ung
Associate Planner

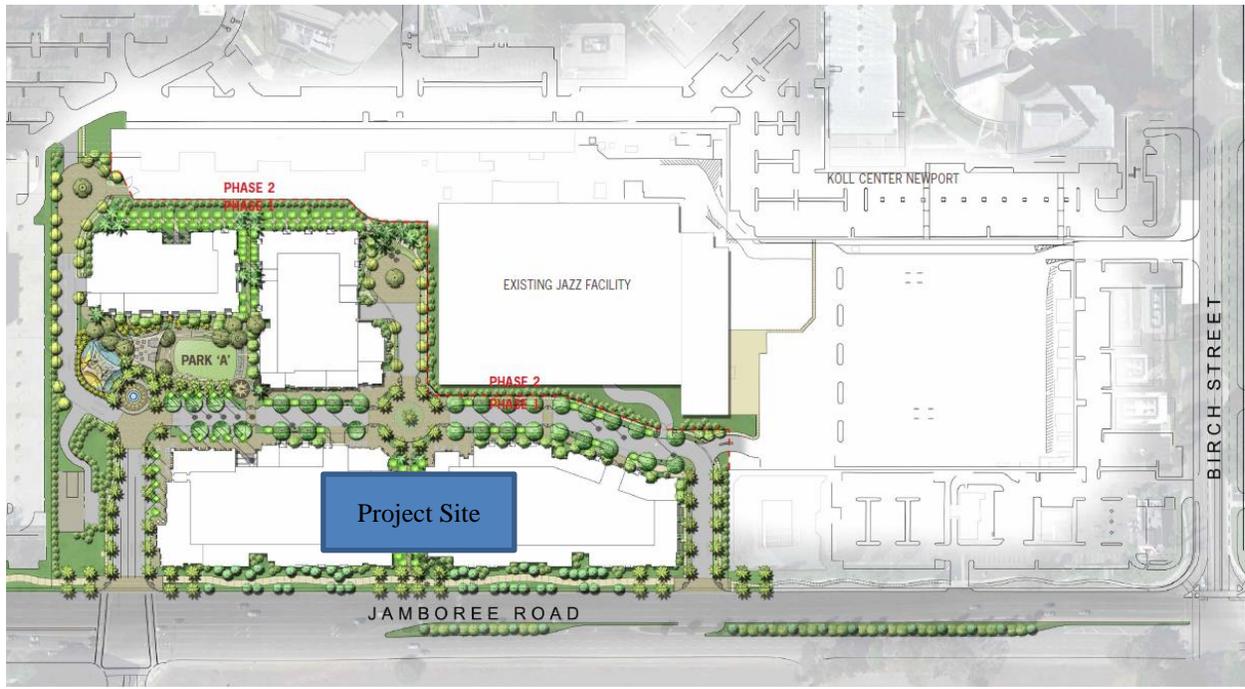
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Attachments: CD 1 Vicinity Map
CD 2 Project Plans

Attachment No. CD 1

Vicinity Map

VICINITY MAP



Site Development Review – Minor No. SD2015-004
PA2015-141

4201 and 4301 Jamboree Road

Attachment No. CD 2

Project Plans

UPTOWN NEWPORT



PROJECT TEAM DIRECTORY

DEVELOPER



The Picerne Group
30950 Rancho Viejo Road, Suite 200
San Juan Capistrano, CA 92675
Contact: *Derek Picerne & Jim Teegarden*
Phone: 949.267.1525



ARCHITECT

TCA Architects
19782 MacArthur Blvd., Suite 300
Irvine, CA 92612
Contact: *Irwin Yau & Jon Hellinga*
Phone: 949.862.0270

LANDSCAPE ARCHITECT



Duane Border Design

2404 Wilshire Blvd., Suite 9E
Los Angeles, CA 90057
Contact: *Duane Border*
Phone: 310.954.9618

CIVIL ENGINEER



Hall & Foreman Inc.

17782 17th Street, Suite 200
Tustin, CA 92780-1947
Contact: *Eddie Oune*
Phone: 714.665.4500



STRUCTURAL ENGINEER

VCA Engineers

888 S. Figueroa St.
Los Angeles, CA 90017
Contact: *Abe Blunda*
Phone: 714.978.9780

PROJECT DATA

PROJECT DATA

ASSESSOR PARCEL NUMBERS:
Lot #'s 3 & 4 of Tract Map No. 17763
APN: 445-1 31-02 & -03

PROJECT ADDRESS:
2311 Jamboree Rd., Newport Beach, CA 92660

APPLICABLE CODES:
City of Newport Beach Zoning Ordinance
Uptown Newport Planned Community Development Plan

GENERAL PLAN LAND USE:
MUH2

ZONING:
Uptown Newport Planned Community

TYPE OF CONSTRUCTION:
Type VA Sprinklered, NFPA-13 (Residential)
Type IA Sprinklered, NFPA-13 (B1 Garage, Retail & Level 1 Residential)

OCCUPANCY CLASSIFICATION:
R-2 Residential Units
S-2 Garage
B Leasing Office, Resident Amenity, Roof Deck, Fitness Center
M Retail

LOT AREA:
± 201,683 SF 4.63 AC

LOT COVERAGE:
REQUIRED No minimum requirement
PROVIDED 77.4%

BUILDING SETBACKS:
North - Entry Drive: 17' Required
East - Jamboree Road: 34' Required
South - Entry Drive: 20' Required
West - Spine Street: 27' Required

BUILDING HEIGHT:
PERMITTED 60' maximum above average grade plane per Zoning
PROPOSED 58'-4" maximum above average grade plane to top of sheathing.
Additional 5'-13' shown to top of parapet for shaft enclosures.

RECREATIONAL AMENITIES :
REQUIRED 44 SF/DU* 20,020 SF
PROVIDED 80 SF/DU 46,480 SF

* Note: A total of 44 SF of private recreational amenity space required per dwelling unit.
Section 3.7.2 of Uptown Newport Planned Community Development

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DEVELOPMENT PARAMETERS

ZONING	Uptown Newport Specific Plan
TOTAL SITE AREA (ACRES)	4.63 Acres
SITE AREA - SOUTH BUILDING (ACRES)	2.32 Acres
SITE AREA - NORTH BUILDING (ACRES)	2.31 Acres
MAXIMUM BUILDING HEIGHT	60'-0" (Per 504.2)
TOTAL NUMBER OF UNITS	455 DU
NUMBER OF MARKET-RATE UNITS	363 DU
NUMBER OF AFFORDABLE UNITS	92 DU
DENSITY PER ACRE	98

BUILDING AREAS

SOUTH BUILDING - RETAIL	
Retail 1 - Restaurant	4,200 SF.
Retail 2 - General Retail	2,000 SF.
Retail 3 - General Retail	2,000 SF.
Retail 4 - Food Sales - Limited	2,500 SF.
TOTAL (GROSS)	10,700 SF.

SOUTH BUILDING - RESIDENTIAL	
Amenity	6,190 SF.
Circulation	37,172 SF.
Leasing	2,186 SF.
Residential	177,344 SF.
Parking	177,216 SF.
TOTAL	400,108 SF.

Note: Building areas are taken from outside of exterior walls, including all stairs and mechanical penetrations, excluding all decks and balconies. All numbers are approximations and schematic in nature and subject to change.

NORTH BUILDING	
Amenity	5,459 SF.
Circulation	43,440 SF.
Leasing	2,659 SF.
Residential	180,029 SF.
Parking	190,944 SF.
TOTAL	422,531 SF.

TOTAL BUILDING AREAS	
South Building-Retail	10,700 SF.
South Building	400,108 SF.
North Building	422,531 SF.
TOTAL	833,339 SF.

UNIT SUMMARY

UNIT MIX		
UNIT TYPE	COUNT	% OF MIX
Studio (Market Rate)	43	9.5%
Studio (Affordable)	12	2.6%
One Bedroom (Market Rate)	211	46.4%
One Bedroom (Affordable)	52	11.4%
Two Bedroom (Market Rate)	109	24.0%
Two Bedroom (Affordable)	28	6.2%
TOTAL (Market Rate)	363	79.8%
TOTAL (Affordable)	92	20.2%
GRAND TOTAL	455	

UNIT TYPE PER BUILDING						
SOUTH BUILDING		NORTH BUILDING		PROJECT TOTAL		
UNIT TYPE	COUNT	UNIT TYPE	COUNT	UNIT TYPE	COUNT	%
SE-1	12	SE-1	9	SE-1	21	4.6%
SC-1	15	SC-1	9	SC-1	24	5.3%
SL-NB1	3	SL-NB1	7	SL-NB1	10	2.2%
AE-2	16	AE-2	16	AE-2	32	7.0%
AE-NB2	12	AE-NB2	16	AE-NB2	28	6.2%
AC-1	20	AC-1	12	AC-1	32	7.0%
AC-2	4	AC-2	17	AC-2	21	4.6%
AC-2.1	28	AC-2.1	20	AC-2.1	48	10.5%
AC-NB1	5	AC-NB1	6	AC-NB1	11	2.4%
AL-1	27	AL-1	33	AL-1	60	13.2%
AL-NB1	8	AL-NB1	9	AL-NB1	17	3.7%
AL-NB2	6	AL-NB2	0	AL-NB2	6	1.3%
AL-NB3	0	AL-NB3	0	AL-NB3	0	0.0%
AL-NB4	4	AL-NB4	4	AL-NB4	8	1.8%
BE-NB1	8	BE-NB1	15	BE-NB1	23	5.1%
BE-NB2	8	BE-NB2	8	BE-NB2	16	3.5%
BC-1	21	BC-1	21	BC-1	42	9.2%
BC-NB1	8	BC-NB1	4	BC-NB1	12	2.6%
BC-NB2	0	BC-NB2	4	BC-NB2	4	0.9%
BL-1	10	BL-1	12	BL-1	22	4.8%
BL-NB1	7	BL-NB1	11	BL-NB1	18	4.0%
TOTAL	222	TOTAL	233	TOTAL	455	

PARKING SUMMARY

SOUTH BUILDING - RESIDENT & GUEST				
REQUIRED PARKING				
(Per City of Newport Beach Municipal Code Section 20.40.040)				
RESIDENT	UNIT	COUNT	RATIO	REQ'D PKG
	Studio	24	1.1	26.4
	Studio - Affordable	6	1	6
	One Bedroom	104	1.5	156
	One Bedroom - Affordable	26	1	26
	Two Bedroom	48	1.8	86.4
	Two Bedroom - Affordable	14	2	28
	TOTAL	222		328.8
	RATIO			1.48
GUEST				
UNIT	COUNT	RATIO	REQ'D PKG	
Studio	24	0.3	7.2	
Studio - Affordable	6	0	0	
One Bedroom	104	0.3	31.2	
One Bedroom - Affordable	26	0	0	
Two Bedroom	48	0.3	14.4	
Two Bedroom - Affordable	14	0	0	
TOTAL	222		52.8	
RATIO			0.24	
TOTAL REQUIRED - RESIDENT + GUEST				
UNIT	COUNT	RATIO	REQ'D PKG	
Studio	24	1.4	33.6	
Studio - Affordable	6	1	6	
One Bedroom	104	1.8	187.2	
One Bedroom - Affordable	26	1	26	
Two Bedroom	48	2.1	100.8	
Two Bedroom - Affordable	14	2	28	
TOTAL	222		382	
RATIO			1.72	

NORTH BUILDING - RESIDENT & GUEST				
REQUIRED PARKING				
(Per City of Newport Beach Municipal Code Section 20.40.040)				
RESIDENT	UNIT	COUNT	RATIO	REQ'D PKG
	Studio	19	1.1	20.9
	Studio - Affordable	6	1	6
	One Bedroom	107	1.5	160.5
	One Bedroom - Affordable	26	1	26
	Two Bedroom	61	1.8	109.8
	Two Bedroom - Affordable	14	2	28
	TOTAL	233		351.2
	RATIO			1.51
GUEST				
UNIT	COUNT	RATIO	REQ'D PKG	
Studio	19	0.3	5.7	
Studio - Affordable	6	0	0	
One Bedroom	107	0.3	32.1	
One Bedroom - Affordable	26	0	0	
Two Bedroom	61	0.3	18.3	
Two Bedroom - Affordable	14	0	0	
TOTAL	233		56.1	
RATIO			0.24	
TOTAL REQUIRED - RESIDENT + GUEST				
UNIT	COUNT	RATIO	REQ'D PKG	
Studio	19	1.4	26.6	
Studio - Affordable	6	1	6	
One Bedroom	107	1.8	192.6	
One Bedroom - Affordable	26	1	26	
Two Bedroom	61	2.1	128.1	
Two Bedroom - Affordable	14	2	28	
TOTAL	233		408	
RATIO			1.75	

PROVIDED PARKING						
RESIDENT	LEVEL	STALL TYPE				TOTAL
		HC Van (9'x18')*	HC Standard (9'x18')*	S1 (8.5'x17')	S2 (9'x18')	
Level 1		0	0	0	0	0
Basement 1		2	6	32	35	75
Basement 2		0	0	47	124	171
Basement 3		0	0	30	80	110
TOTAL	2	6	109	239	356	
RATIO	0.6%	1.7%	30.6%	67.1%	1.60	
*Per CBC Section 1129B: 2% of total provided resident parking = 8 HC stalls						
GUEST	LEVEL	STALL TYPE				TOTAL
		HC Van (9'x18')*	HC Standard (9'x18')*	S1 (8.5'x17')	S2 (9'x18')	
Level 1		0	0	0	0	0
Basement 1		1	2	29	21	53
TOTAL	1	2	29	21	53	
RATIO	1.9%	3.8%	54.7%	39.6%	0.24	
*Per CBC Section 1129B: 4% of total provided guestt parking = 3 HC stalls						
TOTAL PROVIDED - RESIDENT + GUEST						
LEVEL	STALL TYPE				TOTAL	
	HC Van (9'x18')*	HC Standard (9'x18')*	S1 (8.5'x17')	S2 (9'x18')		
Level 1	0	0	0	0	0	
Basement 1	3	8	61	56	128	
Basement 2	0	0	47	124	171	
Basement 3	0	0	30	80	110	
TOTAL	3	8	138	260	409	
RATIO	0.7%	2.0%	33.7%	63.6%	1.84	

PROVIDED PARKING						
RESIDENT	LEVEL	STALL TYPE				TOTAL
		HC Van (9'x18')*	HC Standard (9'x18')*	S1 (8.5'x17')	S2 (9'x18')	
Level 1		2	0	7	2	11
Basement 1		0	6	57	115	178
Basement 2		0	0	58	126	184
TOTAL	2	6	122	243	373	
RATIO	0.5%	1.6%	32.7%	65.1%	1.60	
*Per CBC Section 1129B: 2% of total provided resident parking = 8 HC stalls						
GUEST	LEVEL	STALL TYPE				TOTAL
		HC Van (9'x18')*	HC Standard (9'x18')*	S1 (8.5'x17')	S2 (9'x18')	
Level 1		1	2	42	12	57
Basement 1		0	0	0	0	0
TOTAL	1	2	42	12	57	
RATIO	1.8%	3.5%	73.7%	21.1%	0.24	
*Per CBC Section 1129B: 4% of total provided guestt parking = 3 HC stalls						
TOTAL PROVIDED - RESIDENT + GUEST						
LEVEL	STALL TYPE				TOTAL	
	HC Van (9'x18')*	HC Standard (9'x18')*	S1 (8.5'x17')	S2 (9'x18')		
Level 1	3	2	55	8	68	
Basement 1	0	6	65	107	178	
Basement 2	0	0	58	126	184	
TOTAL	3	8	178	241	430	
RATIO	0.7%	1.9%	41.4%	56.0%	1.85	

PROVIDED PARKING: GUEST - STREET ONLY						
LEVEL	STALL TYPE					TOTAL
	HC Van (9'x18')	HC Standard (9'x18')	S1 (8.5'x17')	S2 (9'x18')	Parallel (8'x22')	
TOTAL	0	0	0	0	9	9

PROVIDED PARKING: STRUCTURE + STREET		
STRUCTURE		430
STREET		9
TOTAL		439

SOUTH BUILDING - RETAIL

REQUIRED PARKING - RETAIL					
(Per City of Newport Beach Municipal Code Section 20.40.040)					
SPACE	GROSS AREA	B.O.H.	NET AREA	PKG.RATIO	REQ'D PKG
Retail 1*	4,200	50%	2,100	0.025	52.5
Retail 2**	2,000	N/A	2,000	0.004	8
Retail 3***	2,000	N/A	2,000	0.004	8
Retail 4***	2,500	N/A	2,500	0.004	10
TOTAL	10,700		8,600		79

* Eating and Drinking Establishment: 1 stall per 40 SF of net public area, including outdoor dining areas exceeding 25% of the interior public net area or 1,000 sf, whichever is less.
 ** Retail Sales: 1 stall per 250 sf.
 *** Take-Out Service - Limited: 1 stall per 250 sf.

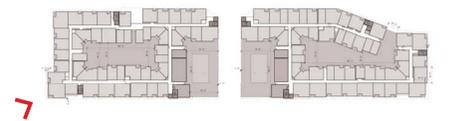
PROVIDED PARKING: RETAIL - STRUCTURE ONLY						
LEVEL	STALL TYPE					TOTAL
	HC Van (9'x18')	HC Standard (9'x18')	S1 (8.5'x17')	S2 (9'x18')	Parallel (8'x22')	
Level 1 - STRUCTURE	1	2	45	13	0	61
Basement 1 - STRUCTURE	0	0	0	18	0	18
TOTAL	1	2	45	31	0	79

PROVIDED PARKING: RETAIL - STREET ONLY						
LEVEL	STALL TYPE					TOTAL
	HC Van (9'x18')	HC Standard (9'x18')	S1 (8.5'x17')	S2 (9'x18')	Parallel (8'x22')	
TOTAL	1	0	0	10	2	13

PROVIDED PARKING: RETAIL - STRUCTURE + STREET		
STRUCTURE		79
STREET		13
TOTAL		92



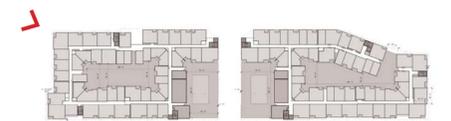
GROUND LEVEL VIEW LOOKING NORTH ALONG JAMBOREE AT MAIN PROJECT ENTRY

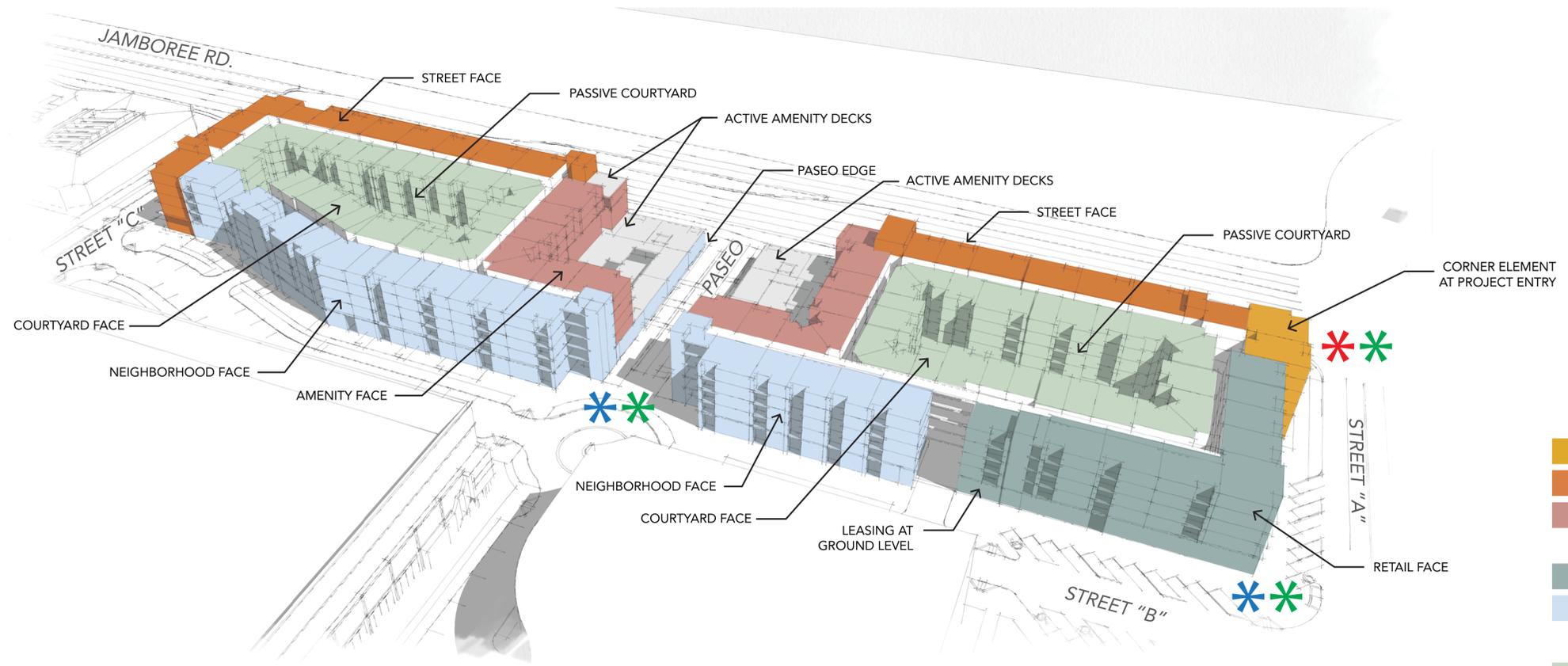


KEY MAP



GROUND LEVEL VIEW LOOKING AT RETAIL BLOCK ALONG INTERNAL STREET



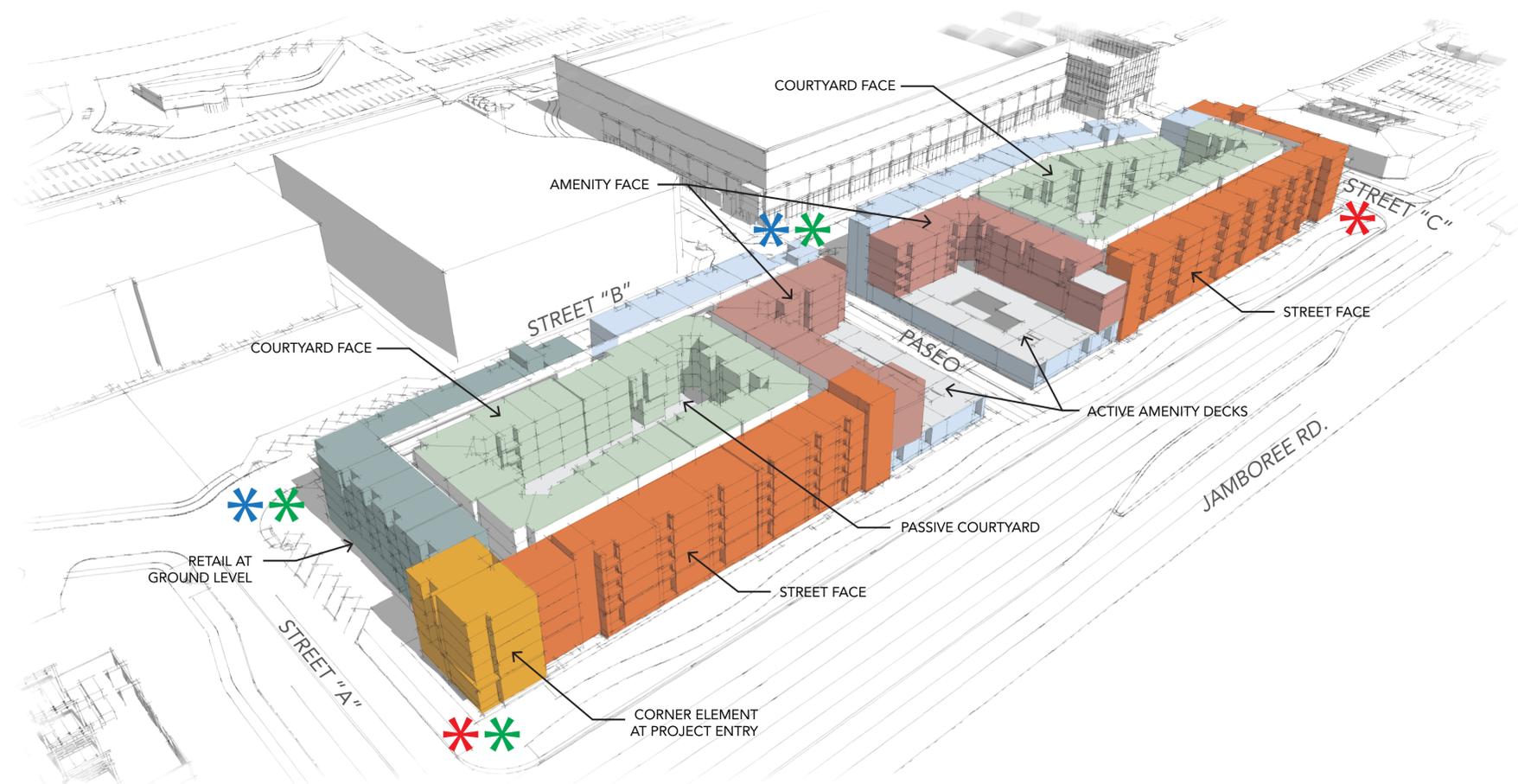


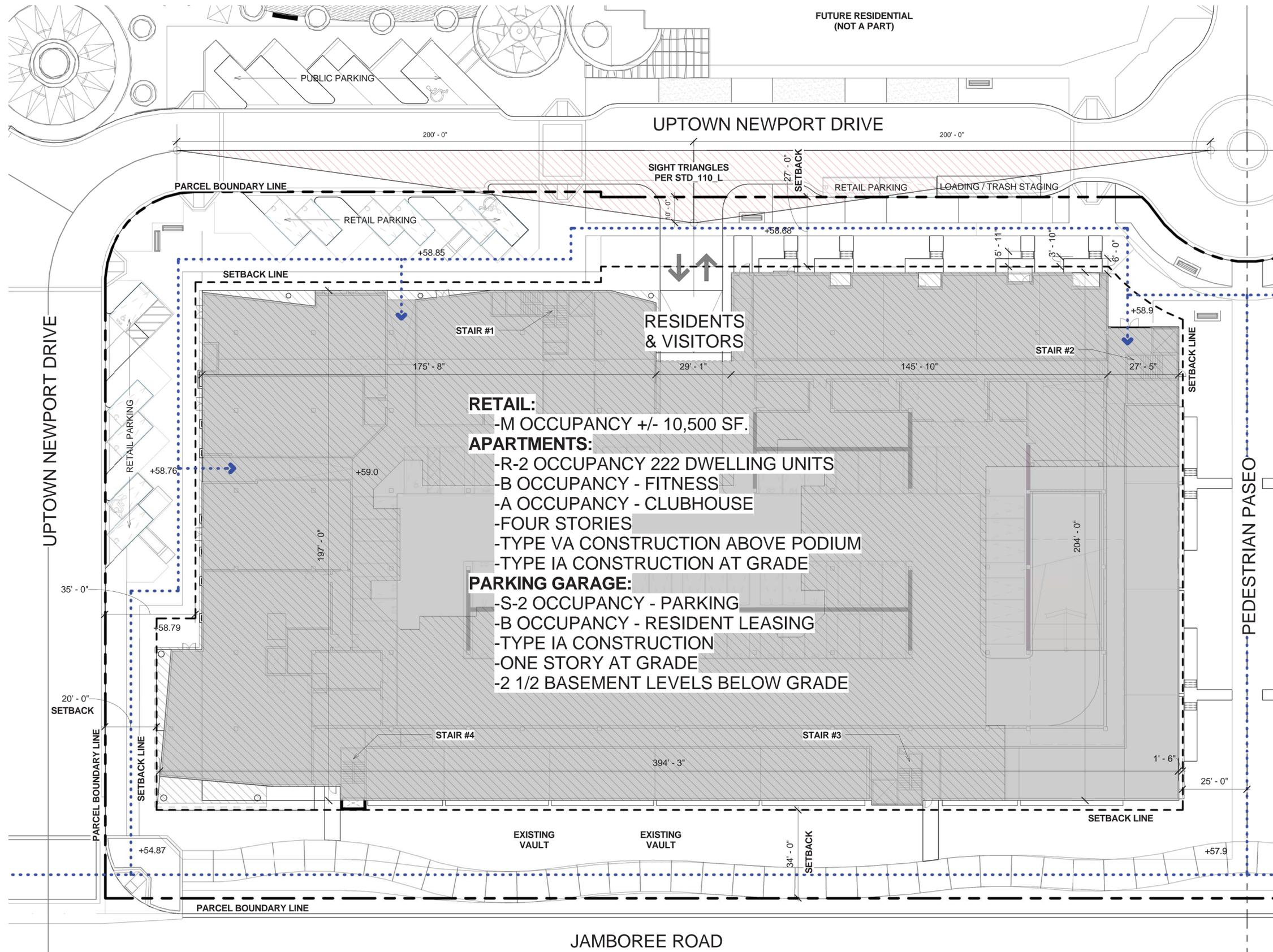
ELEVATION HIERARCHY

- ELEVATION #1
- FACING MAIN STREET, PROJECT ENTRIES, AND ACTIVE AMENITY DECKS
- ELEVATION #2
- FACING INTERNAL STREETS
- ELEVATION #3
- FACING INTERIOR, PASSIVE COURTYARDS

MASSING OPPORTUNITIES
(PER UPTOWN NEWPORT DESIGN GUIDELINES)

- ✱ PRIMARY CORNER AT PROJECT ENTRY
- ✱ SECONDARY CORNER AT INTERNAL STREET
- ✱ COMMUNITY FOCAL POINTS





FUTURE RESIDENTIAL
(NOT A PART)

UPTOWN NEWPORT DRIVE

SIGHT TRIANGLES
PER STD 110 L

PARCEL BOUNDARY LINE

RETAIL PARKING

RETAIL PARKING

LOADING / TRASH STAGING

SETBACK LINE

STAIR #1

RESIDENTS
& VISITORS

STAIR #2

RETAIL:

-M OCCUPANCY +/- 10,500 SF.

APARTMENTS:

-R-2 OCCUPANCY 222 DWELLING UNITS

-B OCCUPANCY - FITNESS

-A OCCUPANCY - CLUBHOUSE

-FOUR STORIES

-TYPE VA CONSTRUCTION ABOVE PODIUM

-TYPE IA CONSTRUCTION AT GRADE

PARKING GARAGE:

-S-2 OCCUPANCY - PARKING

-B OCCUPANCY - RESIDENT LEASING

-TYPE IA CONSTRUCTION

-ONE STORY AT GRADE

-2 1/2 BASEMENT LEVELS BELOW GRADE

STAIR #4

STAIR #3

EXISTING VAULT

EXISTING VAULT

34'-0"
SETBACK

SETBACK LINE

JAMBOREE ROAD

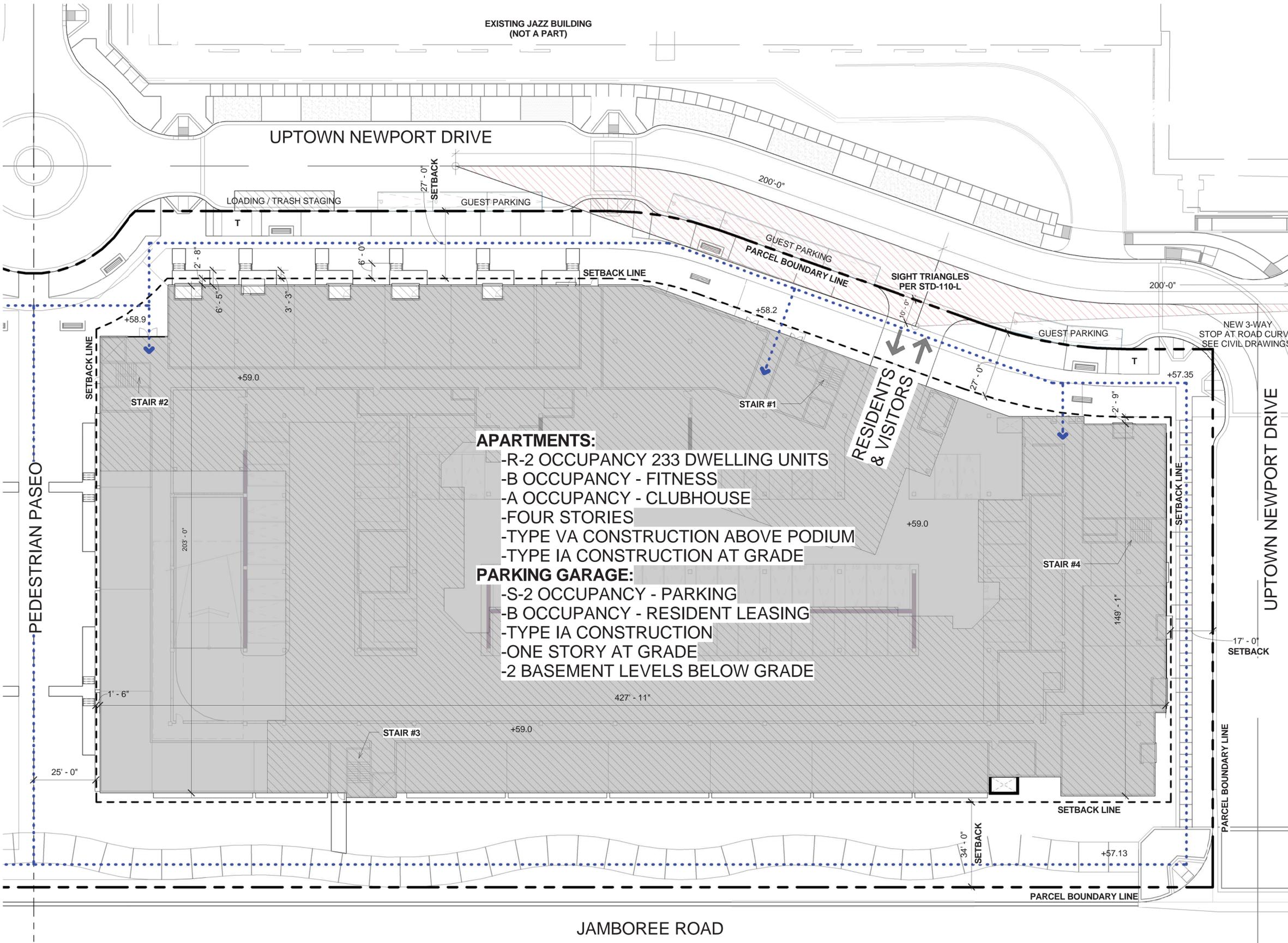
PEDESTRIAN PASEO

SITE NOTES

1. THIS ARCHITECTURAL SITE PLAN IS PROVIDED FOR OVERALL SITE REFERENCE AND LOCATION OF ITEMS INCLUDED IN THIS SET OF PLANS. IT IS NOT INTENDED TO BE USED FOR THE CONSTRUCTION OF ANY SITE IMPROVEMENT.
2. THIS SITE PLAN IS FOR BUILDING DEPARTMENT USE ONLY. ALL DIMENSIONS SHOWN ARE APPROXIMATE. SEE PLANS PREPARED BY CIVIL ENGINEER FOR EXACT BUILDING LOCATIONS AND CURBS, STREETS, DRIVEWAYS, UTILITIES, GRADING, ETC. SEE PLANS PREPARED BY LANDSCAPE ARCHITECT FOR SIDEWALKS, HARDSCAPES, LANDSCAPES, FENCES, ETC.
3. SEE CIVIL DRAWINGS FOR LOT LINE DIMENSIONS AND GRADING.
4. ALL ACCESSIBLE ROUTES PER PLAN.
5. REFER TO CIVIL PLAN FOR NEW AND EXISTING UTILITY LOCATIONS.
6. ALL SITE DIMENSIONS AND SITE ELEVATIONS SHOWN ON THE SITE PLAN ARE FOR REFERENCE ONLY. ALL ELEVATIONS SHOWN ARE TO FINISH SURFACE U.N.O. CIVIL DRAWINGS TAKE PRECEDENCE OVER ARCHITECTURAL DRAWINGS FOR SITE DIMENSIONS AND SITE ELEVATIONS.
7. SURFACE WATER WILL DRAIN AWAY FROM BUILDING. THE GRADE SHALL BE A MINIMUM OF 1% WITHIN THE FIRST 10 FEET (2% FOR IMPERVIOUS SURFACES). PER CBC SECTION 1804.3. REFER TO CIVIL DRAWINGS FOR GRADES.
8. STORM WATER MANAGEMENT PER CIVIL. WATER FROM ROOF AND PODIUM DECK AREAS TO BE COLLECTED WITH DOWN SPOUTS AND INTERNAL DRAINS TO GARAGE.
9. PARCEL BOUNDARY LINES AND SETBACK LINE LOCATIONS TAKEN FROM UPTOWN NEWPORT PLANNED COMMUNITY DEVELOPMENT PLAN.
10. ALL PARKING LOT IMPROVEMENTS SHALL BE PER CITY STANDARD STD-805-L(A&B). DRIVEWAYS SHALL BE DESIGNED TO COMPLY WITH CITY STANDARD STD-110-L.
11. REFER TO CIVIL DRAWINGS FOR ALL EASEMENT INFORMATION

SITE PLAN LEGEND

- ACCESSIBLE ROUTE FROM PUBLIC RIGHT OF WAY TO BUILDING ENTRANCE
- BUILDING VEHICULAR PARKING GARAGE ENTRY/EXIT
- PROPOSED TRANSFORMER AND SWITCHGEAR LOCATION.
- FIRE HYDRANT LOCATION, VERIFY LOCATION WITH CIVIL DRAWINGS
- SETBACK LINE
- PROPERTY LINE, VERIFY LOCATION WITH CIVIL DRAWINGS
- BUILDING FOOTPRINT
PODIUM LEVEL



APARTMENTS:
 -R-2 OCCUPANCY 233 DWELLING UNITS
 -B OCCUPANCY - FITNESS
 -A OCCUPANCY - CLUBHOUSE
 -FOUR STORIES
 -TYPE VA CONSTRUCTION ABOVE PODIUM
 -TYPE IA CONSTRUCTION AT GRADE

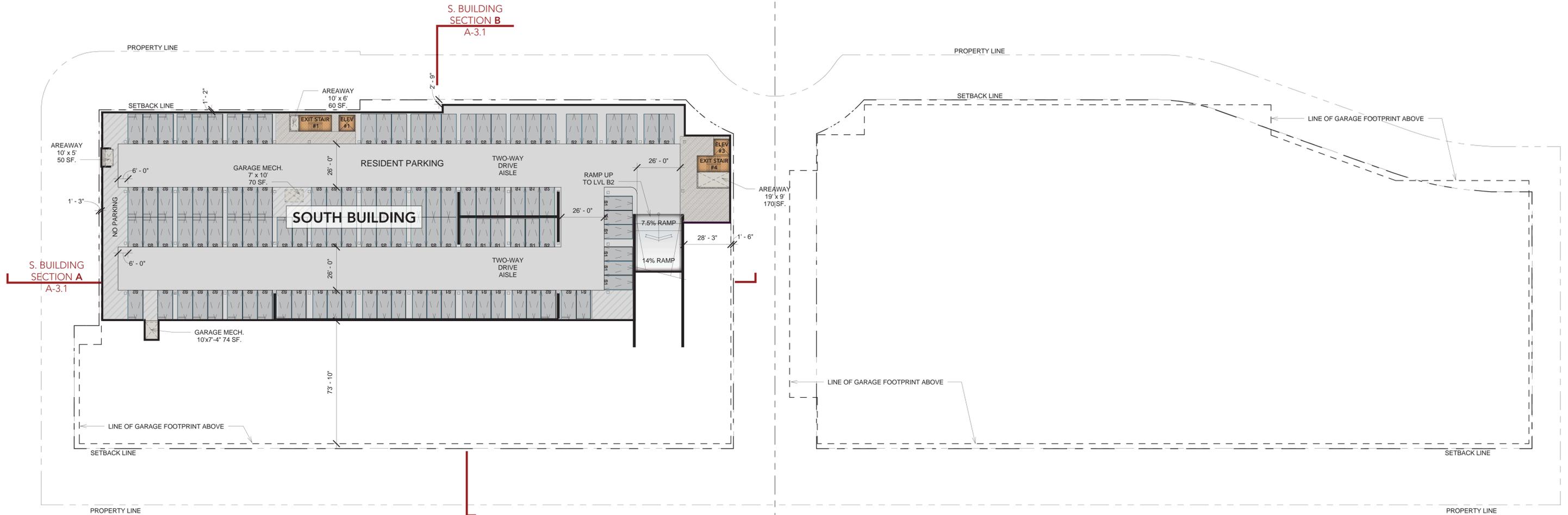
PARKING GARAGE:
 -S-2 OCCUPANCY - PARKING
 -B OCCUPANCY - RESIDENT LEASING
 -TYPE IA CONSTRUCTION
 -ONE STORY AT GRADE
 -2 BASEMENT LEVELS BELOW GRADE

SITE NOTES

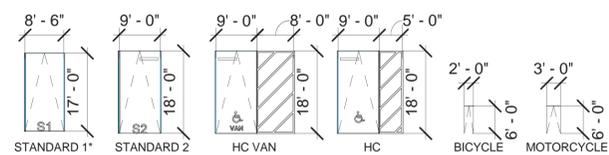
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3. SEE CIVIL DRAWINGS FOR LOT LINE DIMENSIONS AND GRADING.
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11. REFER TO CIVIL DRAWINGS FOR ALL EASEMENT INFORMATION

SITE PLAN LEGEND

- ACCESSIBLE ROUTE FROM PUBLIC RIGHT OF WAY TO BUILDING ENTRANCE
- BUILDING VEHICULAR PARKING GARAGE ENTRY/EXIT
- PROPOSED TRANSFORMER AND SWITCHGEAR LOCATION.
- FIRE HYDRANT LOCATION, VERIFY LOCATION WITH CIVIL DRAWINGS
- SETBACK LINE
- PROPERTY LINE, VERIFY LOCATION WITH CIVIL DRAWINGS
- BUILDING FOOTPRINT
PODIUM LEVEL



STALL SIZES

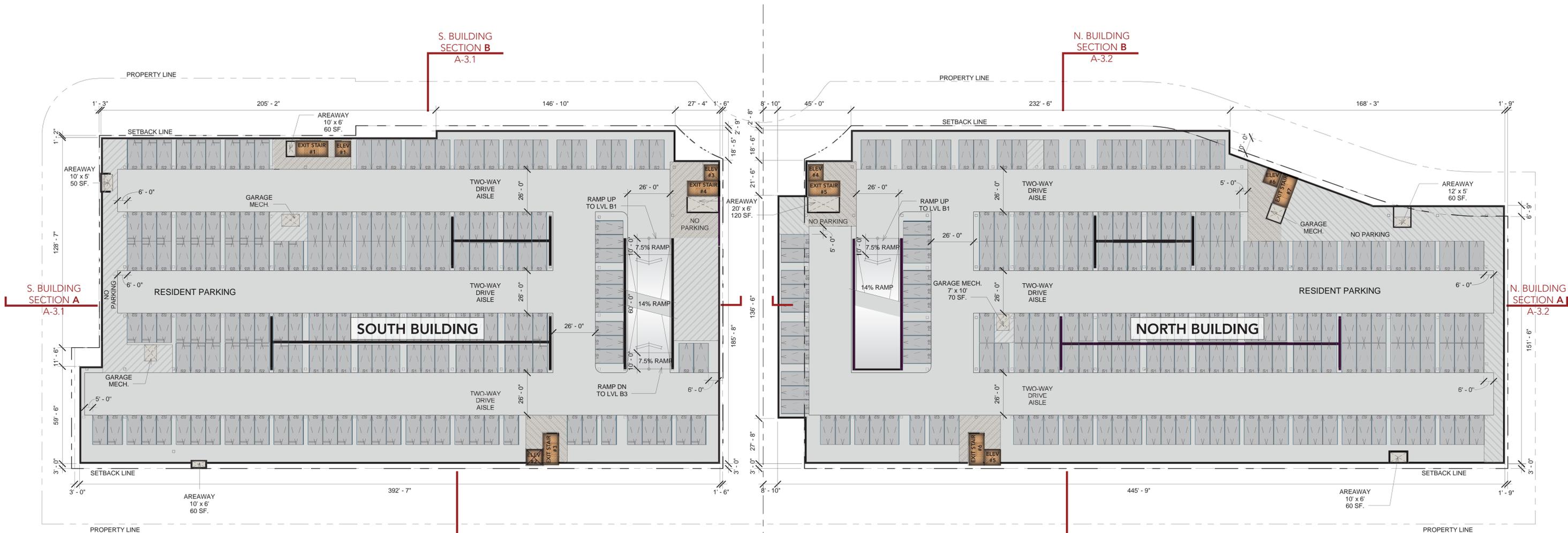


* PER CITY OF NEWPORT BEACH SECTION 20.52.070, "WHEN THE LENGTH OF A PARKING SPACE ABUTS A COLUMN, FENCE, WALL, OR OTHER OBSTRUCTION, THE REQUIRED WIDTH OF THE SPACE SHALL BE INCREASED TO 9 FEET."

RESIDENT PROVIDED PARKING - SOUTH BUILDING		
LEVEL	STALL TYPE	COUNT
BASEMENT 3	Standard 1 (8.5x17)	30
	Standard 2 (9x18)	80
BASEMENT 2	Standard 1 (8.5x17)	110
	Standard 2 (9x18)	47
BASEMENT 1	Standard 1 (8.5x17)	171
	Standard 2 (9x18)	32
BASEMENT 1	Standard 2 (9x18)	35
BASEMENT 1	HC Standard (9x18)	6
BASEMENT 1	HC Van (9x18)	2
		75
TOTAL		356

LEGEND

- RETAIL
- CIRCULATION
- AMENITY
- MECHANICAL
- UNIT
- ROAD
- CORRIDOR
- PARKING
- ROOF DECK
- FIRE DEP.



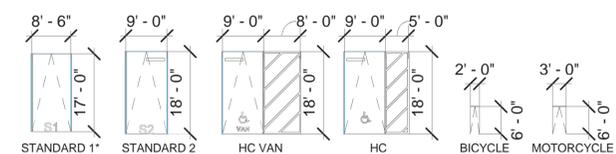
S. BUILDING SECTION A
A-3.1

S. BUILDING SECTION B
A-3.1

N. BUILDING SECTION B
A-3.2

N. BUILDING SECTION A
A-3.2

STALL SIZES

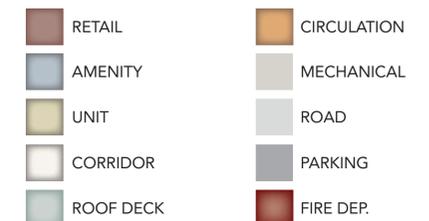


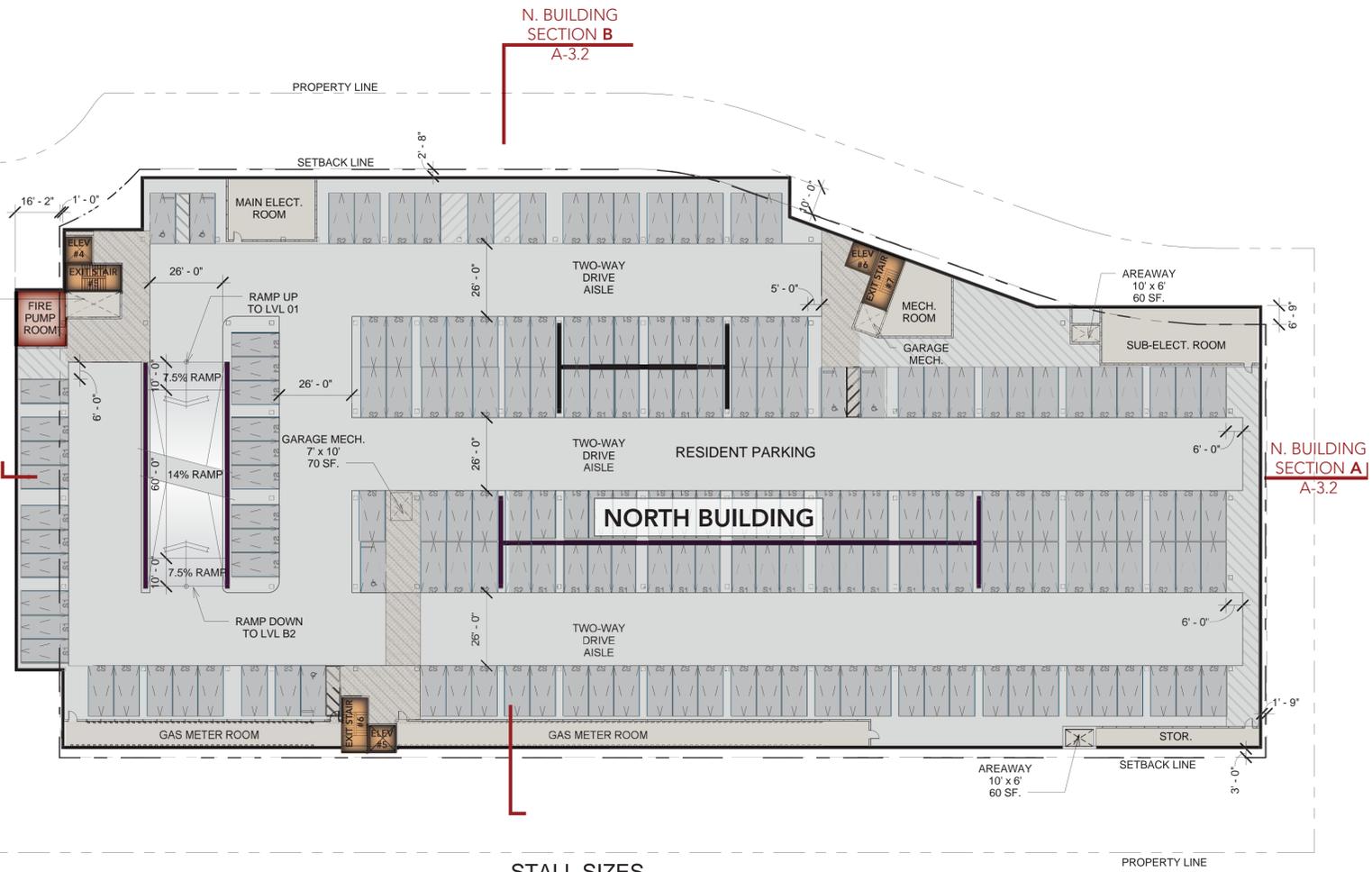
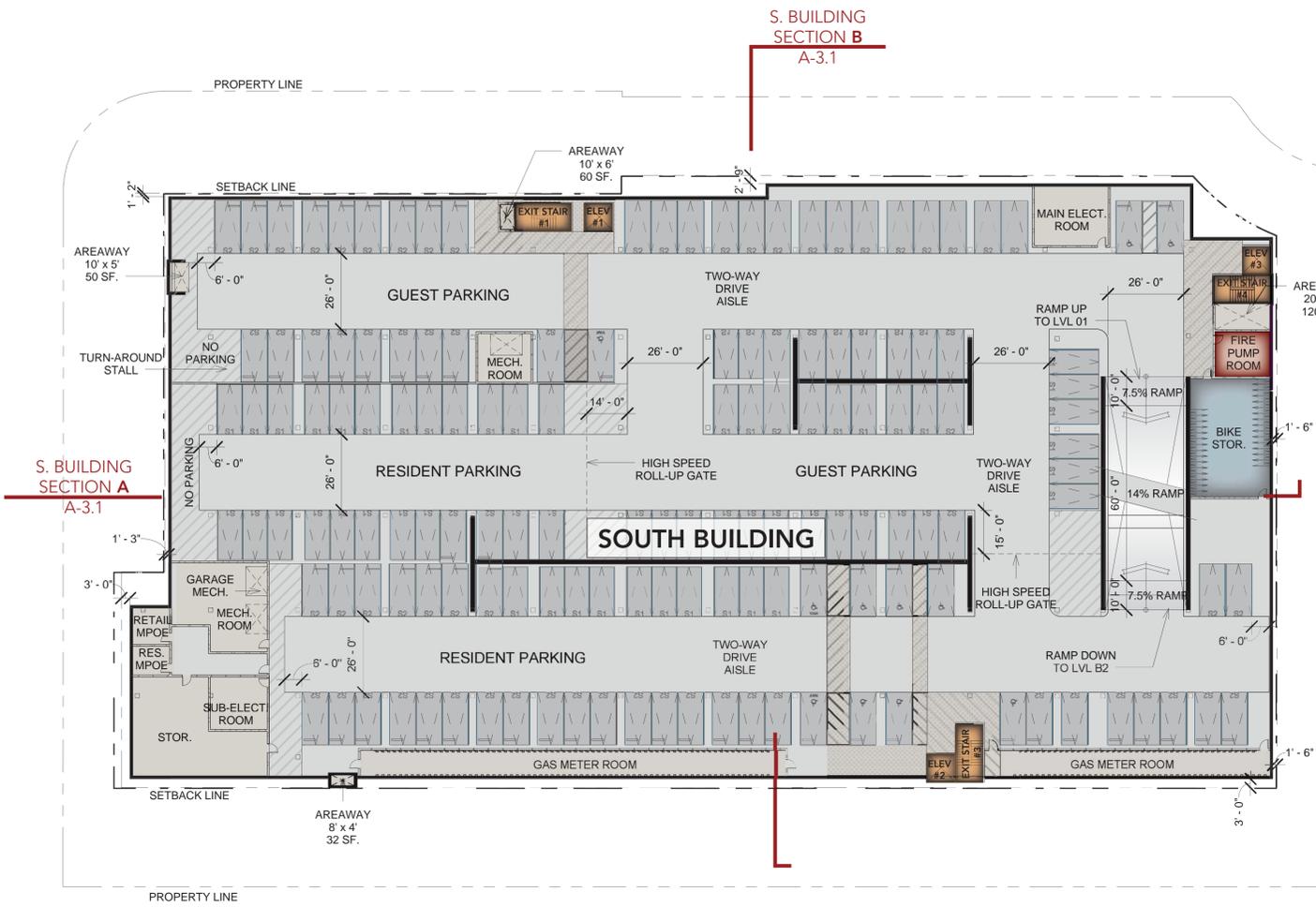
* PER CITY OF NEWPORT BEACH SECTION 20.52.070, "WHEN THE LENGTH OF A PARKING SPACE ABUTS A COLUMN, FENCE, WALL, OR OTHER OBSTRUCTION, THE REQUIRED WIDTH OF THE SPACE SHALL BE INCREASED TO 9 FEET."

RESIDENT PROVIDED PARKING - SOUTH BUILDING		
LEVEL	STALL TYPE	COUNT
BASEMENT 3	Standard 1 (8.5x17)	30
BASEMENT 3	Standard 2 (9x18)	80
		110
BASEMENT 2	Standard 1 (8.5x17)	47
BASEMENT 2	Standard 2 (9x18)	124
		171
BASEMENT 1	Standard 1 (8.5x17)	32
BASEMENT 1	Standard 2 (9x18)	35
BASEMENT 1	HC Standard (9x18)	6
BASEMENT 1	HC Van (9x18)	2
		75
TOTAL		356

RESIDENT PROVIDED PARKING - NORTH BUILDING		
LEVEL	STALL TYPE	COUNT
BASEMENT 2	Standard 1 (8.5x17)	58
BASEMENT 2	Standard 2 (9x18)	126
		184
BASEMENT 1	Standard 1 (8.5x17)	57
BASEMENT 1	Standard 2 (9x18)	115
BASEMENT 1	HC Standard (9x18)	6
		178
LEVEL 1	Standard 1 (8.5x17)	7
LEVEL 1	Standard 2 (9x18)	2
LEVEL 1	HC Van (9x18)	2
		11
TOTAL		373

LEGEND



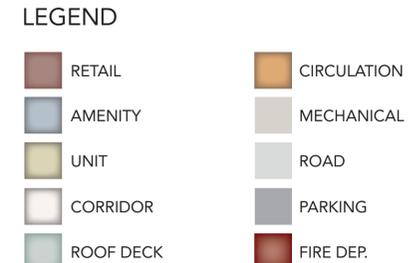
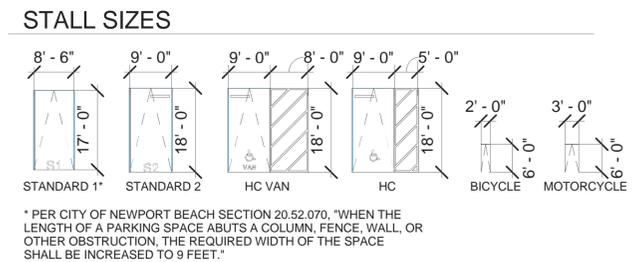


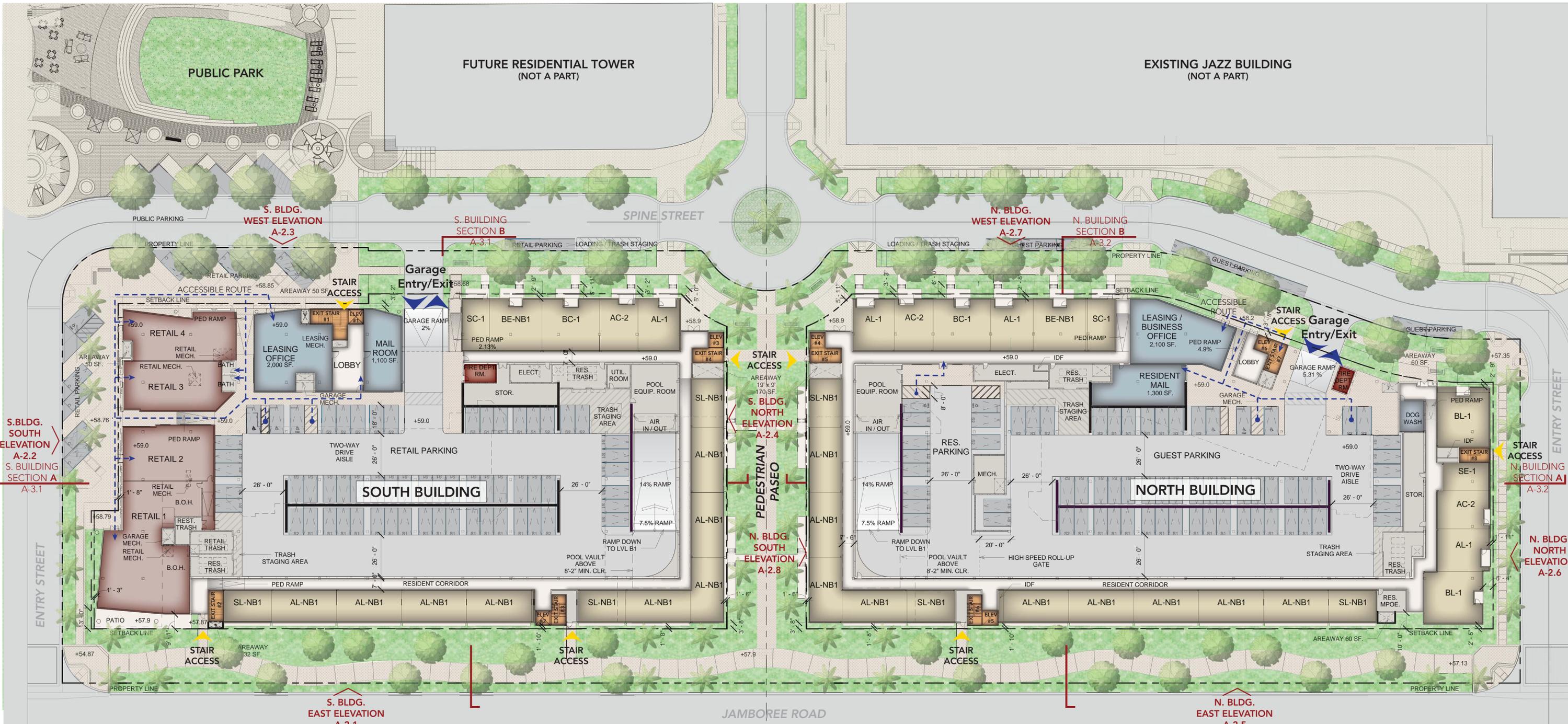
PARKING PROVIDED - RETAIL - SOUTH BUILDING		
LEVEL	STALL TYPE	COUNT
BASEMENT 1	Standard 2 (9'x18')	18
LEVEL 1	HC Standard (9'x18')	2
LEVEL 1	HC Van (9'x18')	1
LEVEL 1	Standard 1 (8.5'x17')	45
LEVEL 1	Standard 2 (9'x18')	13
TOTAL		79

GUEST PARKING PROVIDED - SOUTH BUILDING		
LEVEL	STALL TYPE	COUNT
BASEMENT 1	Standard 1 (8.5'x17')	29
BASEMENT 1	Standard 2 (9'x18')	21
BASEMENT 1	HC Standard (9'x18')	2
BASEMENT 1	HC Van (9'x18')	1
TOTAL		53

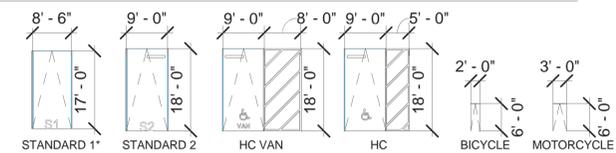
RESIDENT PROVIDED PARKING - SOUTH BUILDING		
LEVEL	STALL TYPE	COUNT
BASEMENT 3	Standard 1 (8.5'x17')	30
BASEMENT 3	Standard 2 (9'x18')	80
		110
BASEMENT 2	Standard 1 (8.5'x17')	47
BASEMENT 2	Standard 2 (9'x18')	124
		171
BASEMENT 1	Standard 1 (8.5'x17')	32
BASEMENT 1	Standard 2 (9'x18')	35
BASEMENT 1	HC Standard (9'x18')	6
BASEMENT 1	HC Van (9'x18')	2
		75
TOTAL		356

RESIDENT PROVIDED PARKING - NORTH BUILDING		
LEVEL	STALL TYPE	COUNT
BASEMENT 2	Standard 1 (8.5'x17')	58
BASEMENT 2	Standard 2 (9'x18')	126
		184
BASEMENT 1	Standard 1 (8.5'x17')	57
BASEMENT 1	Standard 2 (9'x18')	115
BASEMENT 1	HC Standard (9'x18')	6
		178
LEVEL 1	Standard 1 (8.5'x17')	7
LEVEL 1	Standard 2 (9'x18')	2
LEVEL 1	HC Van (9'x18')	2
		11
TOTAL		373





STALL SIZES



* PER CITY OF NEWPORT BEACH SECTION 20.52.070, "WHEN THE LENGTH OF A PARKING SPACE ABUTS A COLUMN, FENCE, WALL, OR OTHER OBSTRUCTION, THE REQUIRED WIDTH OF THE SPACE SHALL BE INCREASED TO 9 FEET."

PARKING PROVIDED - RETAIL - SOUTH BUILDING		
LEVEL	STALL TYPE	COUNT
BASEMENT 1	Standard 2 (9'x18')	18
LEVEL 1	HC Standard (9'x18')	2
LEVEL 1	HC Van (9'x18')	1
LEVEL 1	Standard 1 (8.5'x17')	45
LEVEL 1	Standard 2 (9'x18')	13
TOTAL		79

PROVIDED PARKING: RETAIL - STREET ONLY			
	STALL TYPE		TOTAL
	HC Van (9'x18')	S2 (9'x18')	Parallel (8'x22')
TOTAL	1	10	2
			13

RESIDENT PROVIDED PARKING - NORTH BUILDING		
LEVEL	STALL TYPE	COUNT
BASEMENT 2	Standard 1 (8.5'x17')	58
BASEMENT 2	Standard 2 (9'x18')	126
		184
BASEMENT 1	Standard 1 (8.5'x17')	57
BASEMENT 1	Standard 2 (9'x18')	115
BASEMENT 1	HC Standard (9'x18')	6
		178
LEVEL 1	Standard 1 (8.5'x17')	7
LEVEL 1	Standard 2 (9'x18')	2
LEVEL 1	HC Van (9'x18')	2
		11
TOTAL		373

GUEST PARKING PROVIDED - NORTH BUILDING		
LEVEL	STALL TYPE	COUNT
LEVEL 1	Standard 1 (8.5'x17')	42
LEVEL 1	Standard 2 (9'x18')	12
LEVEL 1	HC Standard (9'x18')	2
LEVEL 1	HC Van (9'x18')	1
TOTAL		57

PROVIDED PARKING: GUEST - STREET ONLY		
	Parallel (8'x22')	TOTAL
TOTAL	9	9

LEGEND

- RETAIL
- AMENITY
- UNIT
- CORRIDOR
- ROOF DECK
- CIRCULATION
- MECHANICAL
- ROAD
- PARKING
- FIRE DEP.



S. BLDG. SOUTH ELEVATION A-2.2

S. BLDG. WEST ELEVATION A-2.3

S. BUILDING SECTION B A-3.1

N. BLDG. WEST ELEVATION A-2.7

N. BUILDING SECTION B A-3.2

S. BLDG. NORTH ELEVATION A-2.4

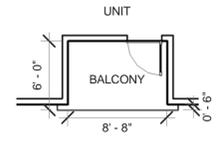
N. BLDG. SOUTH ELEVATION A-2.8

N. BUILDING SECTION A A-3.2

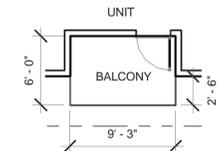
N. BLDG. NORTH ELEVATION A-2.6

S. BLDG. EAST ELEVATION A-2.1

N. BLDG. EAST ELEVATION A-2.5



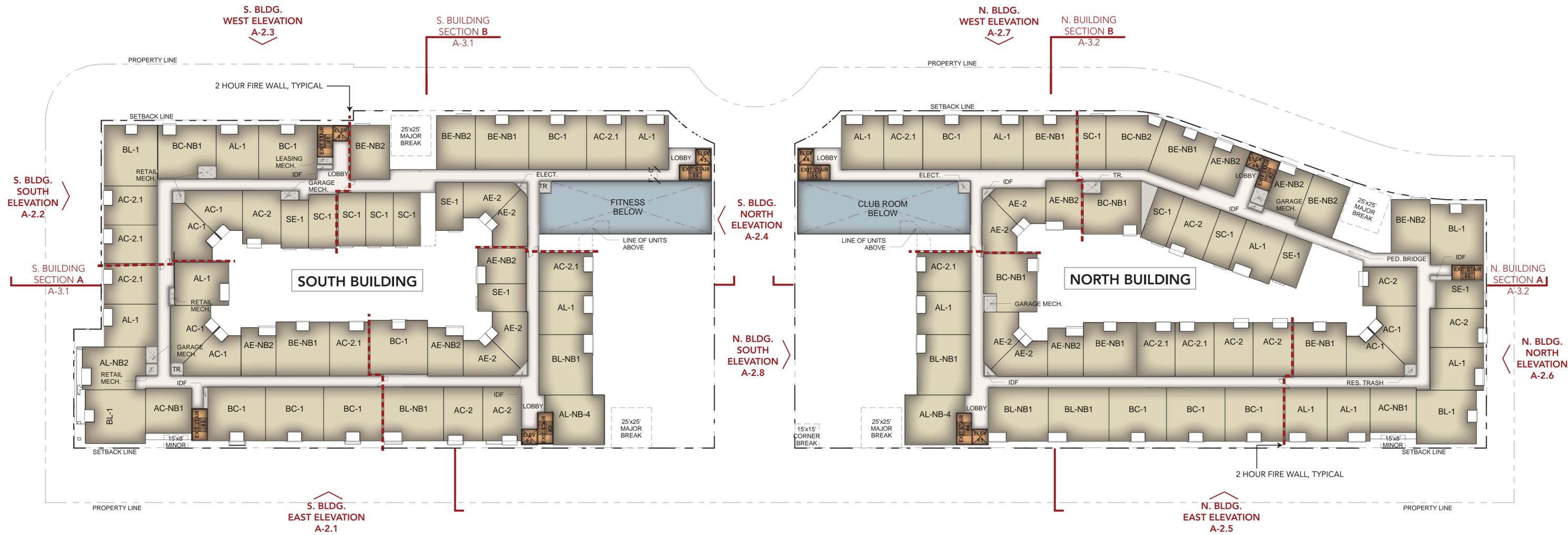
2 TYP. BALCONY PLAN 1
1/8" = 1'-0"



3 TYP. BALCONY PLAN 2
1/8" = 1'-0"

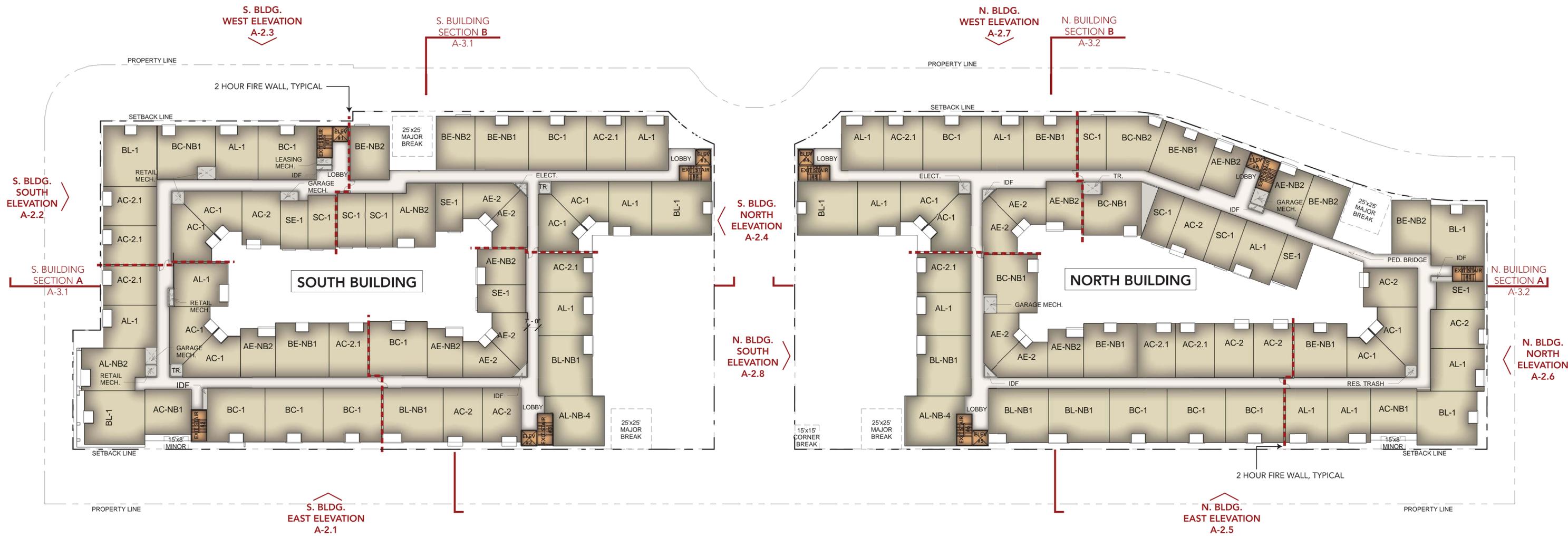
LEGEND

- RETAIL
- AMENITY
- UNIT
- CORRIDOR
- ROOF DECK
- CIRCULATION
- MECHANICAL
- ROAD
- PARKING
- FIRE DEP.



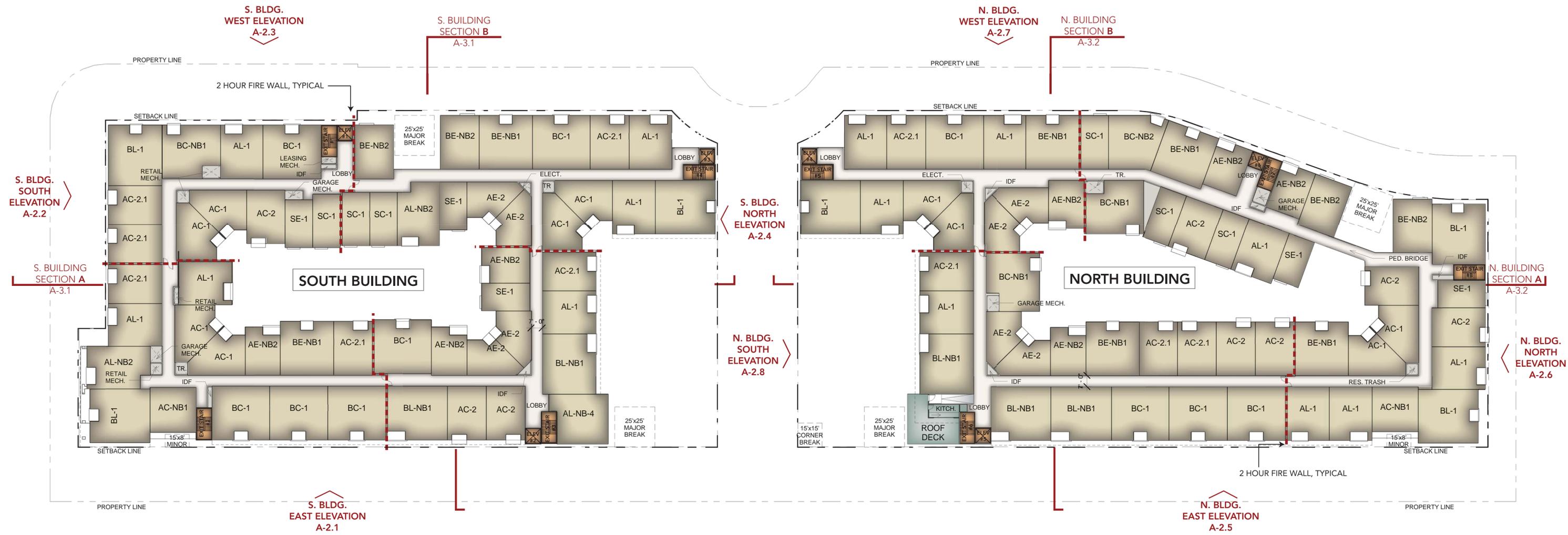
LEGEND

- | | |
|-----------|-------------|
| RETAIL | CIRCULATION |
| AMENITY | MECHANICAL |
| UNIT | ROAD |
| CORRIDOR | PARKING |
| ROOF DECK | FIRE DEP. |



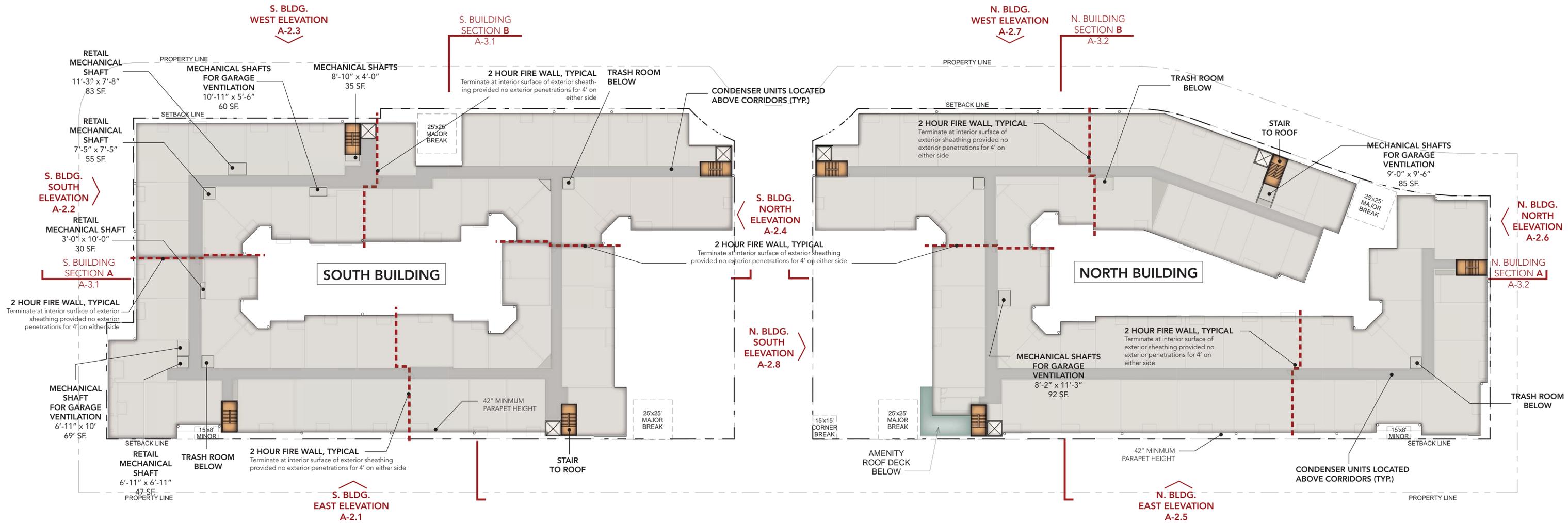
LEGEND

- | | |
|-----------|-------------|
| RETAIL | CIRCULATION |
| AMENITY | MECHANICAL |
| UNIT | ROAD |
| CORRIDOR | PARKING |
| ROOF DECK | FIRE DEP. |



LEGEND

	RETAIL		CIRCULATION
	AMENITY		MECHANICAL
	UNIT		ROAD
	CORRIDOR		PARKING
	ROOF DECK		FIRE DEP.



NOTES

1. Roof to be 3-ply built-up system with metal coping at all parapet conditions.
2. All stairs to be 2-hour enclosures.
3. Typical roof slope to be 3/8 inch:1'-0"
4. Roof crickets to be continuous below pedestal roof decking
5. Individual water heaters to be provided within dwelling units.
This project will not have a rooftop boiler.



1. EAST ELEVATION

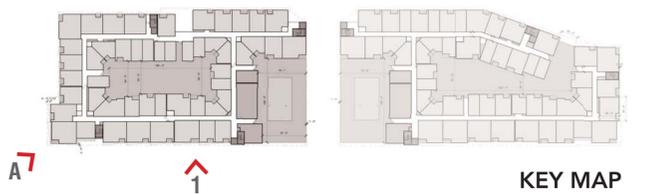
MATERIAL LEGEND

- | | |
|----------------------------------|-------------------------------------|
| ① EXTERIOR PLASTER SAND FINISH | ⑦ ALUMINUM STOREFRONT SYSTEM |
| ② EXTERIOR PLASTER SMOOTH FINISH | ⑧ GLASS BALCONY RAILING |
| ③ CEMENTITIOUS SIDING | ⑨ METAL BALCONY RAILING |
| ④ STONE VENEER | ⑩ PAINTED METAL CANOPY |
| ⑤ WOOD GRAIN CERAMIC TILE | ⑪ PAINTED METAL SUN SHADING LOUVERS |
| ⑥ VINYL WINDOW* | ⑫ ALUMINUM SLIDING DOORS |

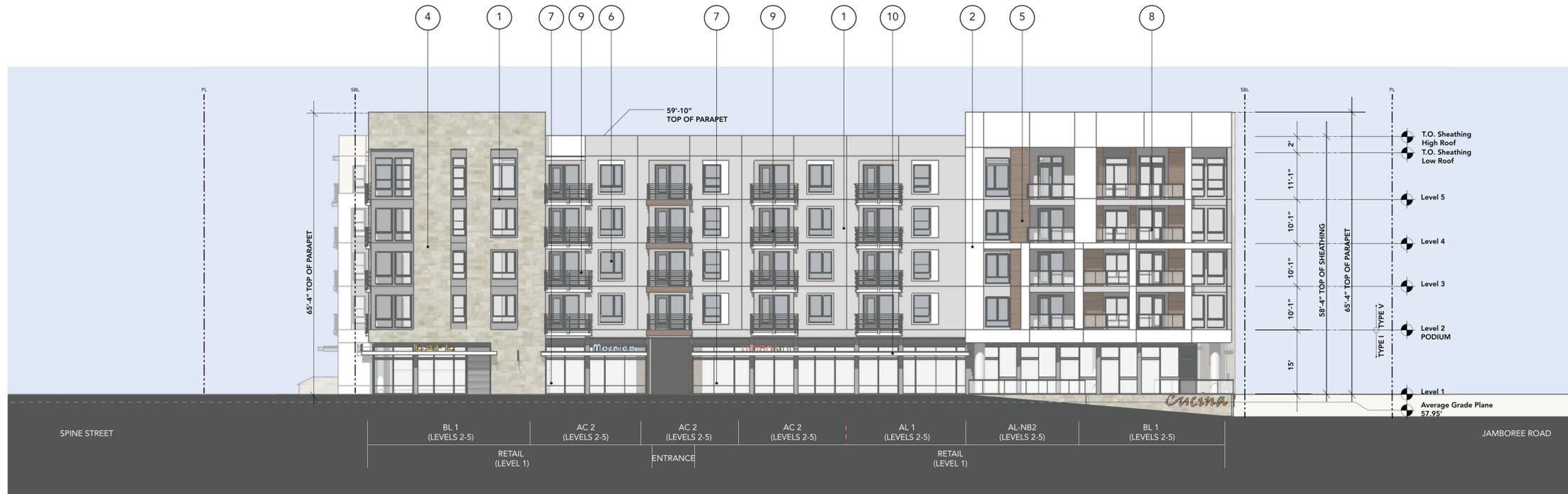
*WINDOWS ALONG EXTERIOR 2x6 WALLS TO BE RECESSED WITHIN 2x4 FRAMING, TYP. DECK WINDOWS TO REMAIN FLUSH WITH EXTERIOR WALL, TYP.



A. 3D VIEW - LOOKING NORTH FROM CORNER OF JAMBOREE / FAIRCHILD



KEY MAP



1. SOUTH ELEVATION

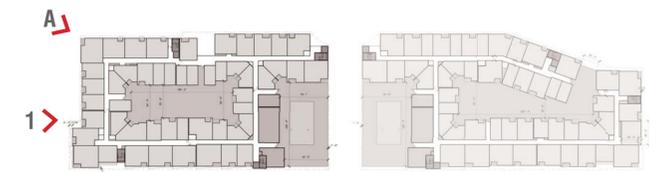


A. 3D VIEW - LOOKING EAST FROM INTERNAL STREET

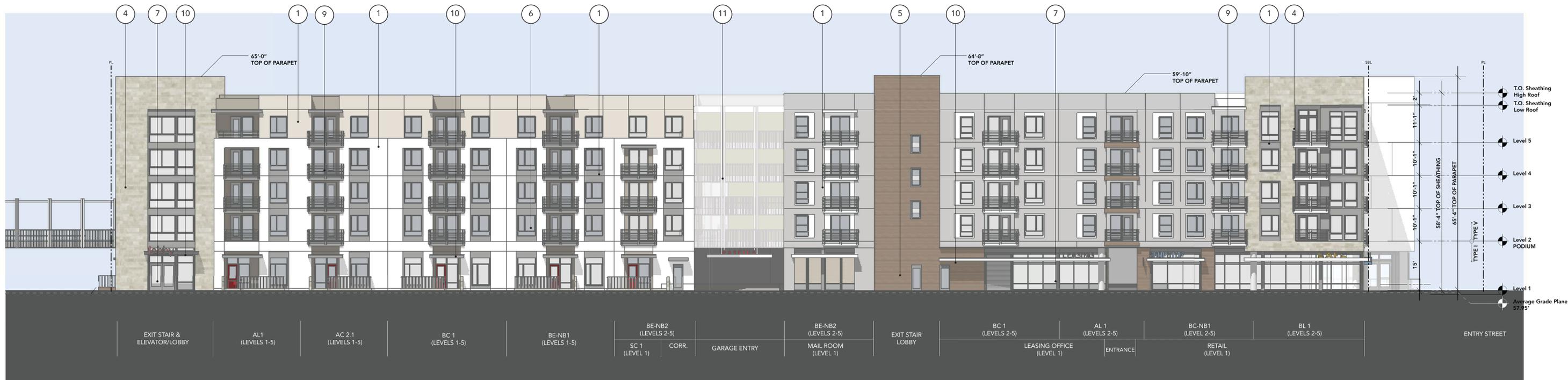
MATERIAL LEGEND

- | | |
|----------------------------------|-------------------------------------|
| ① EXTERIOR PLASTER SAND FINISH | ⑦ ALUMINUM STOREFRONT SYSTEM |
| ② EXTERIOR PLASTER SMOOTH FINISH | ⑧ GLASS BALCONY RAILING |
| ③ CEMENTITIOUS SIDING | ⑨ METAL BALCONY RAILING |
| ④ STONE VENEER | ⑩ PAINTED METAL CANOPY |
| ⑤ WOOD GRAIN CERAMIC TILE | ⑪ PAINTED METAL SUN SHADING LOUVERS |
| ⑥ VINYL WINDOW | |

*WINDOWS ALONG EXTERIOR 2x6 WALLS TO BE RECESSED WITHIN 2x4 FRAMING, TYP. DECK WINDOWS TO REMAIN FLUSH WITH EXTERIOR WALL, TYP.



KEY MAP



1. WEST ELEVATION

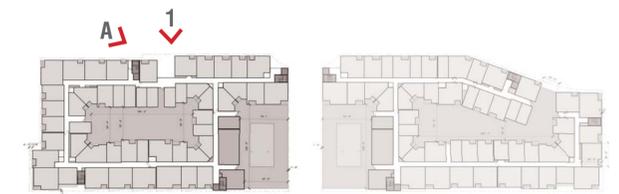


A. 3D VIEW - LOOKING EAST FROM SPINE STREET

MATERIAL LEGEND

- ① EXTERIOR PLASTER SAND FINISH
- ② EXTERIOR PLASTER SMOOTH FINISH
- ③ CEMENTITIOUS SIDING
- ④ STONE VENEER
- ⑤ WOOD GRAIN CERAMIC TILE
- ⑥ VINYL WINDOW
- ⑦ ALUMINUM STOREFRONT SYSTEM
- ⑧ GLASS BALCONY RAILING
- ⑨ METAL BALCONY RAILING
- ⑩ PAINTED METAL CANOPY
- ⑪ PAINTED METAL SUN SHADING LOUVERS

*WINDOWS ALONG EXTERIOR 2x6 WALLS TO BE RECESSED WITHIN 2x4 FRAMING, TYP. DECK WINDOWS TO REMAIN FLUSH WITH EXTERIOR WALL, TYP.



KEY MAP



1. NORTH ELEVATION

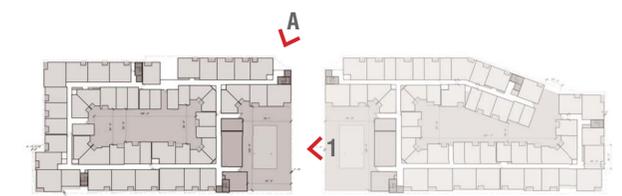


A. 3D VIEW - LOOKING SOUTH ALONG SPINE STREET

MATERIAL LEGEND

- | | |
|----------------------------------|-------------------------------------|
| ① EXTERIOR PLASTER SAND FINISH | ⑦ ALUMINUM STOREFRONT SYSTEM |
| ② EXTERIOR PLASTER SMOOTH FINISH | ⑧ GLASS BALCONY RAILING |
| ③ CEMENTITIOUS SIDING | ⑨ METAL BALCONY RAILING |
| ④ STONE VENEER | ⑩ PAINTED METAL CANOPY |
| ⑤ WOOD GRAIN CERAMIC TILE | ⑪ PAINTED METAL SUN SHADING LOUVERS |
| ⑥ VINYL WINDOW | ⑫ ALUMINUM SLIDING DOORS |

*WINDOWS ALONG EXTERIOR 2x6 WALLS TO BE RECESSED WITHIN 2x4 FRAMING, TYP. DECK WINDOWS TO REMAIN FLUSH WITH EXTERIOR WALL, TYP.



KEY MAP





1. EAST ELEVATION

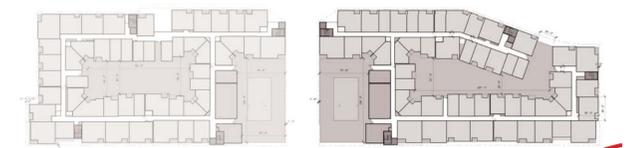


A. 3D VIEW - LOOKING SOUTH ALONG JAMBOREE

MATERIAL LEGEND

- | | |
|----------------------------------|-------------------------------------|
| ① EXTERIOR PLASTER SAND FINISH | ⑦ ALUMINUM STOREFRONT SYSTEM |
| ② EXTERIOR PLASTER SMOOTH FINISH | ⑧ GLASS BALCONY RAILING |
| ③ CEMENTITIOUS SIDING | ⑨ METAL BALCONY RAILING |
| ④ STONE VENEER | ⑩ PAINTED METAL CANOPY |
| ⑤ WOOD GRAIN CERAMIC TILE | ⑪ PAINTED METAL SUN SHADING LOUVERS |
| ⑥ VINYL WINDOW | ⑫ ALUMINUM SLIDING DOORS |

*WINDOWS ALONG EXTERIOR 2x6 WALLS TO BE RECESSED WITHIN 2x4 FRAMING, TYP. DECK WINDOWS TO REMAIN FLUSH WITH EXTERIOR WALL, TYP.



1 KEY MAP



1. NORTH ELEVATION

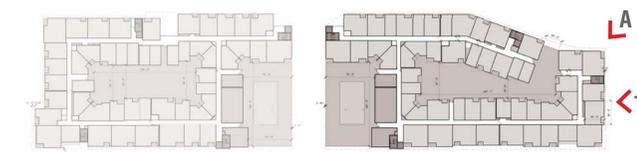


A. 3D VIEW - LOOKING SOUTH FROM INTERNAL STREET

MATERIAL LEGEND

- | | |
|----------------------------------|-------------------------------------|
| ① EXTERIOR PLASTER SAND FINISH | ⑦ ALUMINUM STOREFRONT SYSTEM |
| ② EXTERIOR PLASTER SMOOTH FINISH | ⑧ GLASS BALCONY RAILING |
| ③ CEMENTITIOUS SIDING | ⑨ METAL BALCONY RAILING |
| ④ STONE VENEER | ⑩ PAINTED METAL CANOPY |
| ⑤ WOOD GRAIN CERAMIC TILE | ⑪ PAINTED METAL SUN SHADING LOUVERS |
| ⑥ VINYL WINDOW | |

*WINDOWS ALONG EXTERIOR 2x6 WALLS TO BE RECESSED WITHIN 2x4 FRAMING, TYP. DECK WINDOWS TO REMAIN FLUSH WITH EXTERIOR WALL, TYP.



KEY MAP



1. WEST ELEVATION



A. 3D VIEW - LOOKING EAST ALONG SPINE STREET

MATERIAL LEGEND

- ① EXTERIOR PLASTER SAND FINISH
- ② EXTERIOR PLASTER SMOOTH FINISH
- ③ CEMENTITIOUS SIDING
- ④ STONE VENEER
- ⑤ WOOD GRAIN CERAMIC TILE
- ⑥ VINYL WINDOW
- ⑦ ALUMINUM STOREFRONT SYSTEM
- ⑧ GLASS BALCONY RAILING
- ⑨ METAL BALCONY RAILING
- ⑩ PAINTED METAL CANOPY
- ⑪ PAINTED METAL SUN SHADING LOUVERS

*WINDOWS ALONG EXTERIOR 2x6 WALLS TO BE RECESSED WITHIN 2x4 FRAMING, TYP. DECK WINDOWS TO REMAIN FLUSH WITH EXTERIOR WALL, TYP.



KEY MAP



1. SOUTH ELEVATION

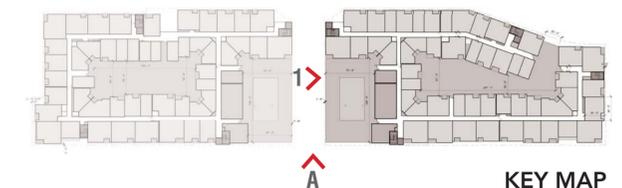


A. 3D VIEW - LOOKING AT POOL DECK FROM SOUTH BUILDING ROOF DECK

MATERIAL LEGEND

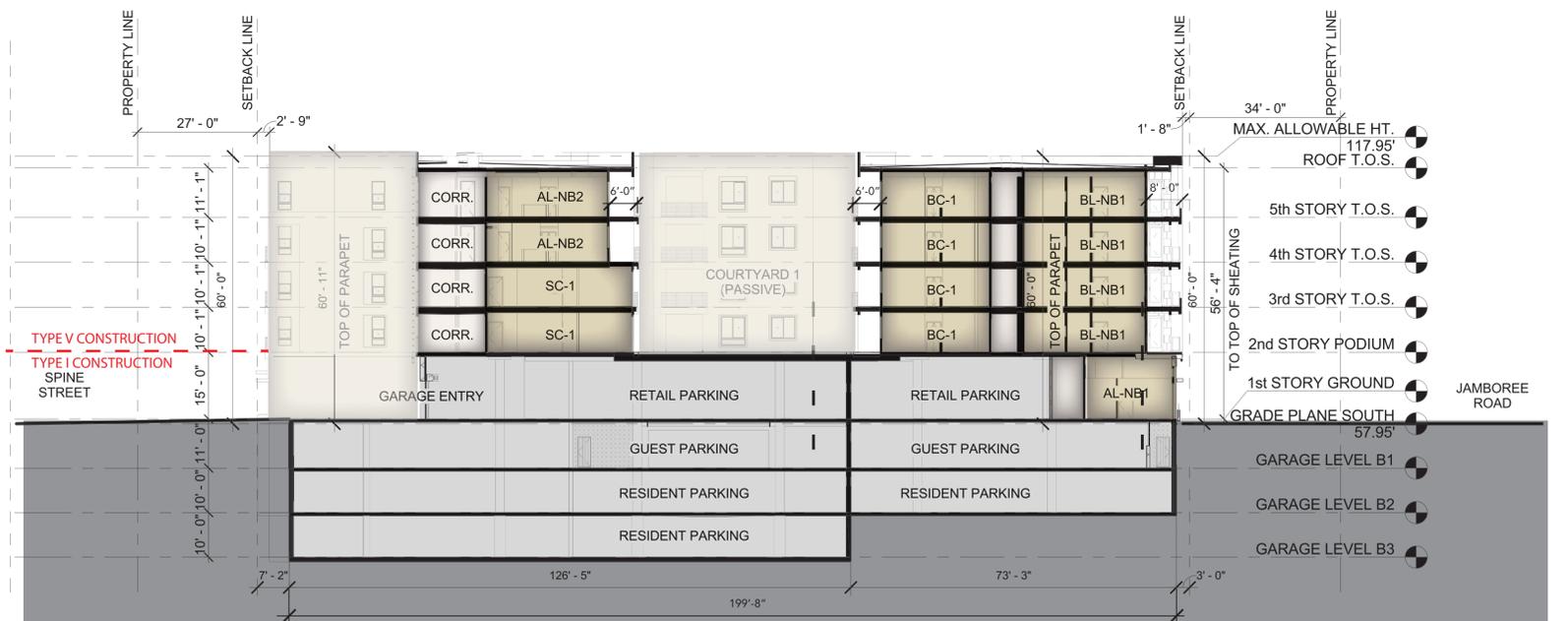
- | | |
|----------------------------------|-------------------------------------|
| ① EXTERIOR PLASTER SAND FINISH | ⑦ ALUMINUM STOREFRONT SYSTEM |
| ② EXTERIOR PLASTER SMOOTH FINISH | ⑧ GLASS BALCONY RAILING |
| ③ CEMENTITIOUS SIDING | ⑨ METAL BALCONY RAILING |
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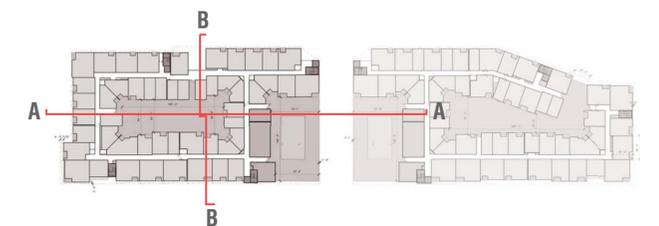


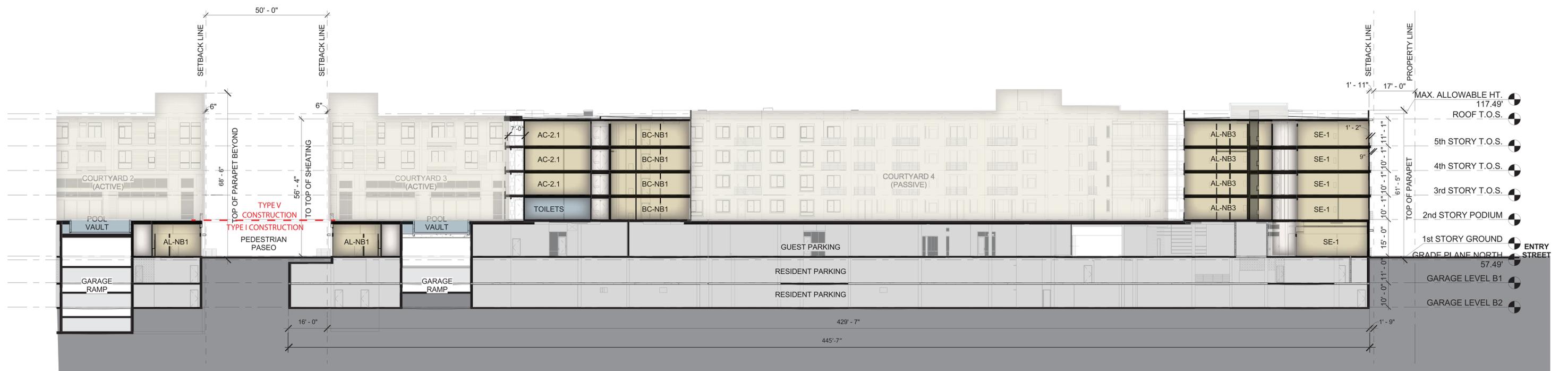


SOUTH BUILDING, SECTION A-A

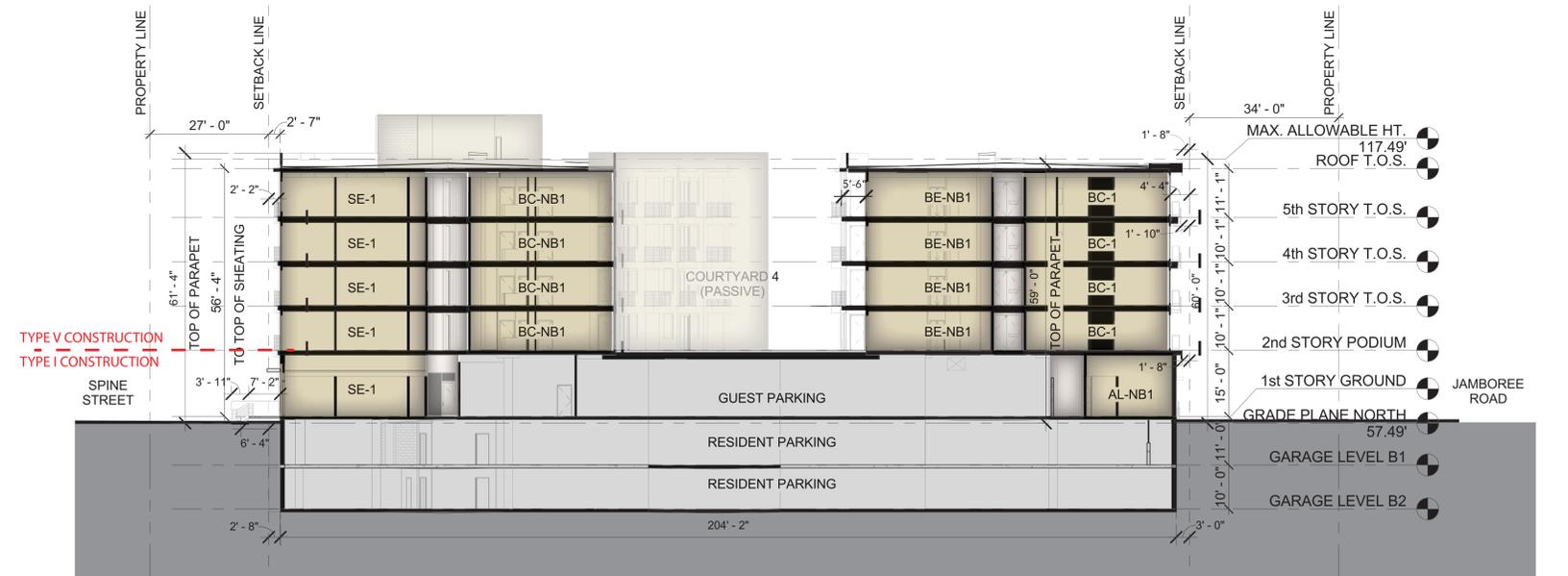


SOUTH BUILDING, SECTION B-B



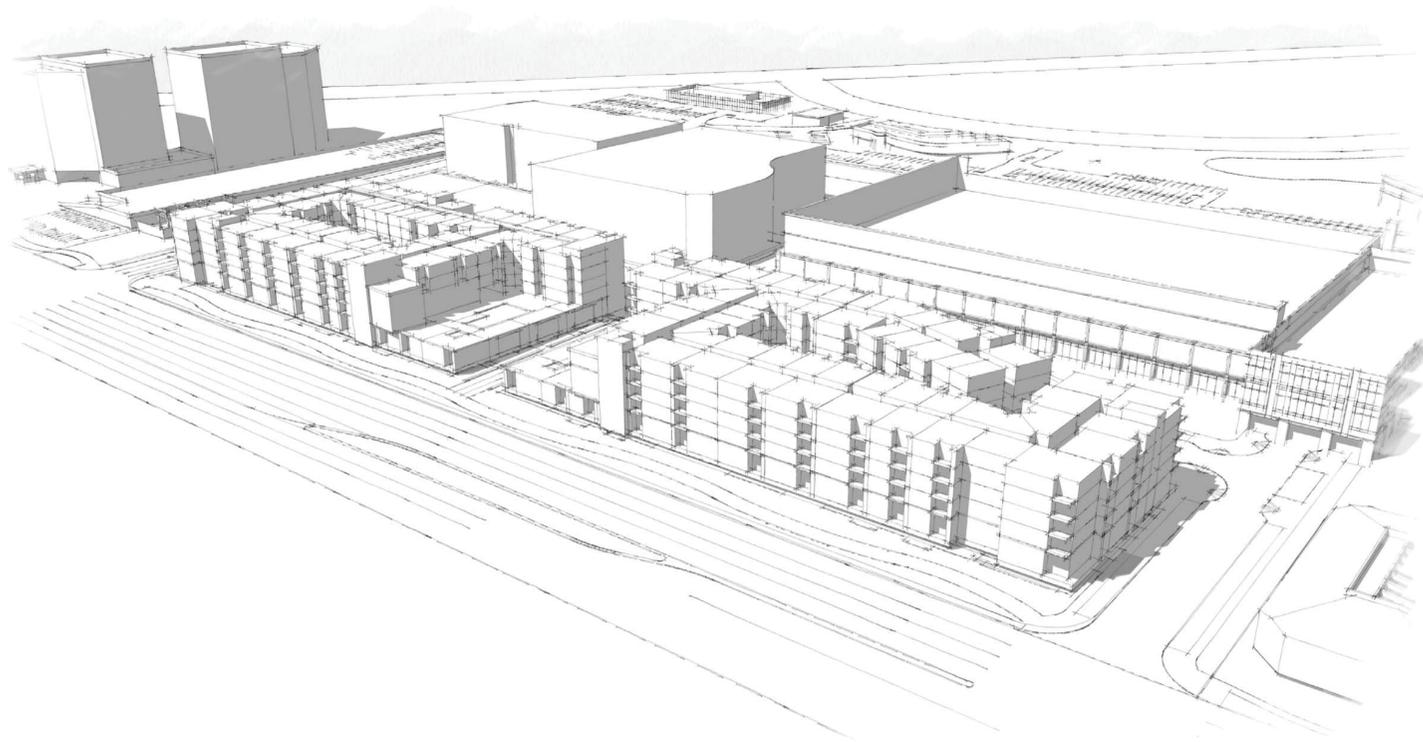


NORTH BUILDING, SECTION A-A

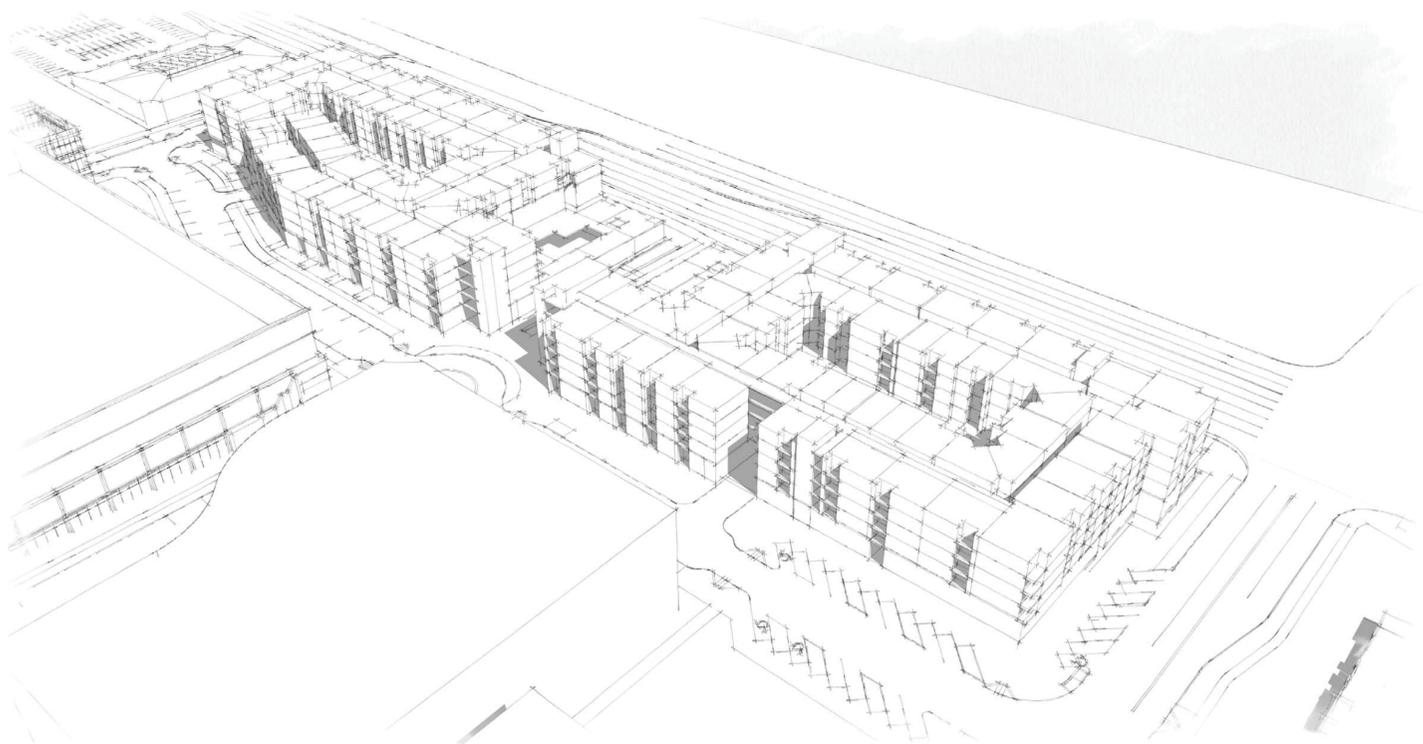


NORTH BUILDING, SECTION B-B





VIEW OF PROJECT MASSING FROM NORTH-EAST



VIEW OF PROJECT MASSING FROM SOUTH-WEST



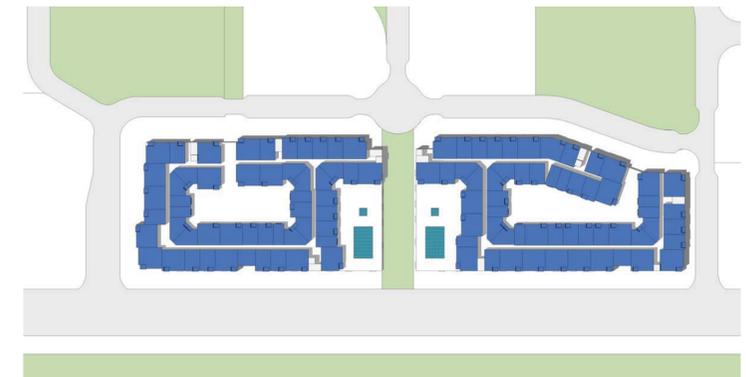
March 20 10 AM



June 21 10 AM



March 20 12 PM



June 21 12 PM



March 20 2 PM



June 21 2 PM



March 20 4 PM



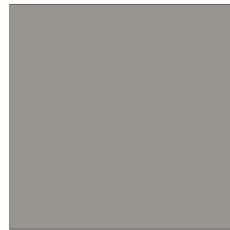
June 21 4 PM



Sand Finish



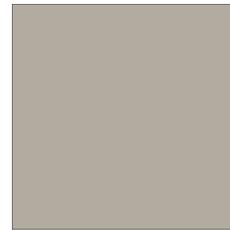
Smooth Finish



1A) Sherwin Williams SW 7018 - "Dovetail"



1B) Sherwin Williams SW 7014 - "Eider White"



1C) Sherwin Williams SW 7031 - "Mega Greige"



1D) Sherwin Williams SW 7040 - "Smokehouse"



2 Balcony Railing - Glass

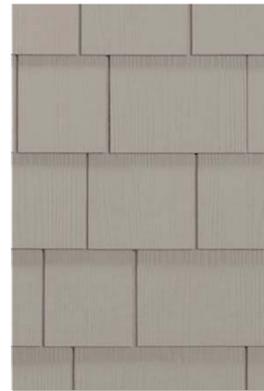


3 Balcony Railing - Painted Metal

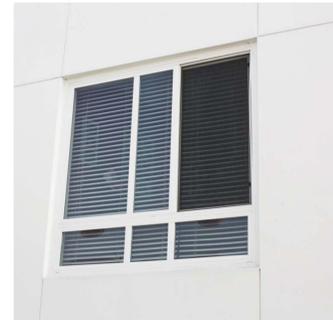
1 Exterior Plaster & Plaster Paint Colors



4 Fiber Cement Lap Siding



5 Fiber Cement Shingle Siding



6 Vinyl Window



White



Bronze



7 Painted Metal Canopy



8 Aluminum Storefront



1/4" Porcelain Tile "Exotica Cherry" (or equal)

9 Porcelain Tile - Wood Grain

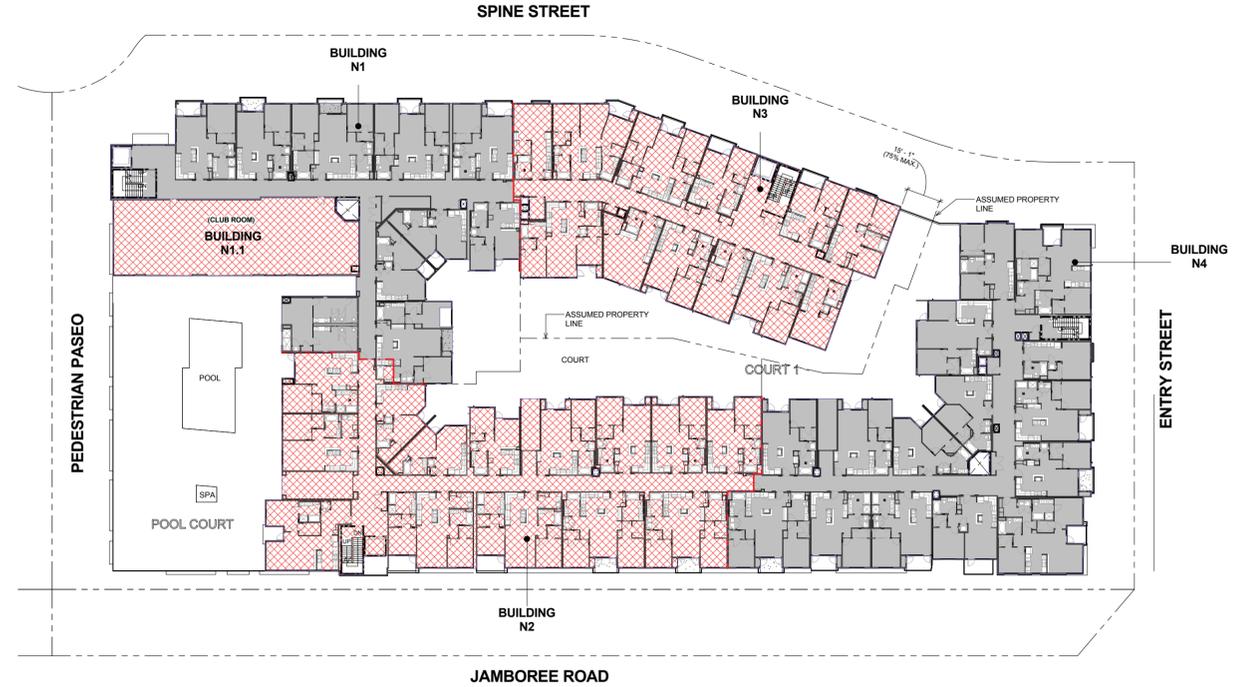
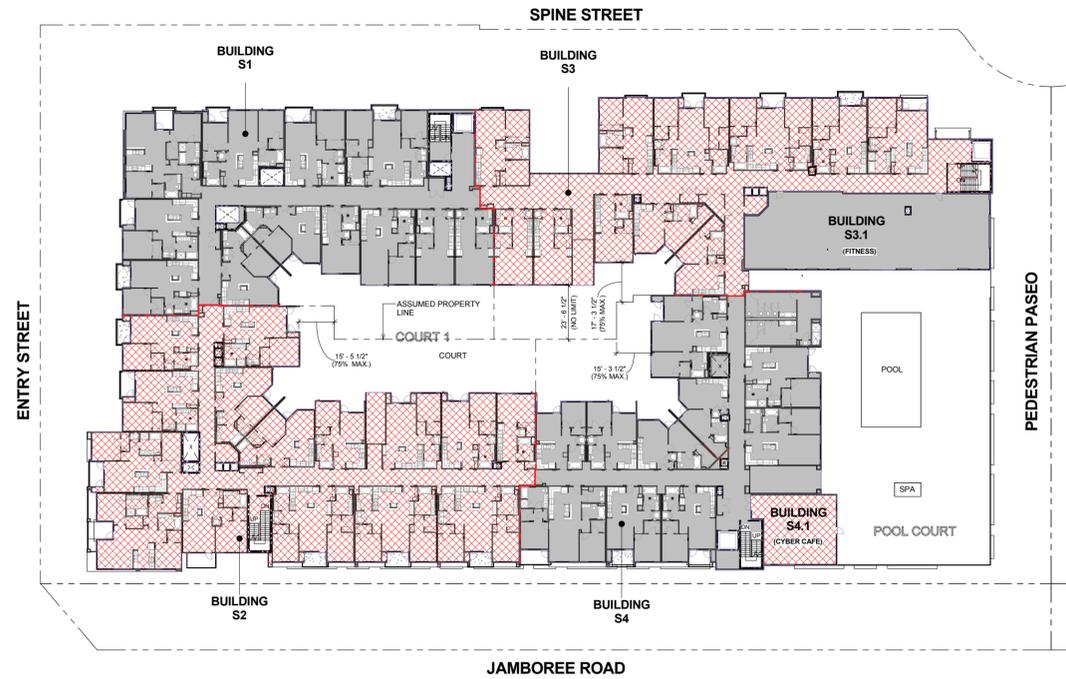


"Getty Stone" Veneer "Embassy Blend" (or equal)

10 Stone Veneer



View of Main Project Entry at corner of Jamboree Road and Uptown Newport Drive



PERCENTAGE OF OPENING NOTE	ALLOWABLE AREA NOTES	ALLOWABLE AREA CALCULATIONS																																																																																																																																														
<p>1. THIS EXHIBIT IS NOT TO BE USED TO LOCATE THE BUILDINGS ON SITE. ALL DIMENSIONS ARE APPROXIMATE AND ARE USED ONLY FOR THE PURPOSES OF CALCULATING THE PERCENTAGE OF OPENINGS. REFER TO CIVIL DRAWINGS FOR BUILDING LOCATIONS.</p> <p>2. THE MAXIMUM ALLOWABLE AREA OF EXTERIOR WALL OPENINGS SHALL COMPLY WITH CBC SECTION 705.8.1 AND TABLE 705.8.</p> <p>3. THE PROPOSED RESIDENTIAL PROJECT WILL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH 903.3.1.1 PER TABLE 706.8. THE TYPICAL DEGREE OF PROTECTION WILL BE "UNPROTECTED, SPRINKLERED (U.P.S.)" UNLESS NOTED OTHERWISE.</p> <p>3A. PER TABLE 705.8, UNPROTECTED, SPRINKLERED OPENINGS: 20" TO LESS THAN 25" ARE ALLOWED UNLIMITED AREA - NO LIMIT.</p> <p>3B. PER SECTION 705.8.1 EXCEPTION #1, OTHER THAN GROUP 1F OCCUPANCIES UNLIMITED UNPROTECTED OPENINGS ARE PERMITTED IN THE 1st STORY ABOVE GRADE PLANE.</p> <p>4. THE FOLLOWING FIRE SEPARATION DISTANCES (FSD) AND MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED UPON THE U.P.S. DEGREE OF PROTECTION, ARE LISTED AS FOLLOWS:</p> <p>FEET ALLOWABLE AREA 0 TO LESS THAN 3 NOT PERMITTED 3 TO LESS THAN 5 25% 5 TO LESS THAN 10 15% 10 TO LESS THAN 15 45% 15 TO LESS THAN 20 75% 20 TO LESS THAN 25 NO LIMIT</p> <p>5. THE FIRE SEPARATION DISTANCE IS DEFINED PER SECTION 702.1 AS FOLLOWS: THE DISTANCE MEASURED FROM THE BUILDING FACE TO ONE OF THE FOLLOWING: 1. THE CLOSEST INTERIOR LOT LINE. 2. THE CENTERLINE OF A STREET, AN ALLEY OR PUBLIC WAY, OR 3. TO AN ASSUMED IMAGINARY LINE (A) BETWEEN TWO BUILDINGS ON THE PROPERTY. THE DISTANCE SHALL BE MEASURED AT RIGHT ANGLES FROM THE FACE OF THE WALL. 7. WHERE THE EXTERIOR WALL SEGMENT HAS MULTIPLE PLANES WITHIN THE SAME FIRE SEPARATION DISTANCE RANGE, THE MINIMUM DIMENSION WILL BE USED. FOR EXAMPLE, IF MULTIPLE PLANS OF A PARTICULAR WALL SEGMENT HAVE FIRE SEPARATION DISTANCES OF 10'-1", 10'-7" AND 15'-2" THE 10'-2" DISTANCE WILL BE USED FOR THE ENTIRE WALL SEGMENT.</p>	<p>ALLOWABLE BUILDING AREA EQUATION 5-1 PER CBC SECTION 506.1: $A_p = (A_1 + (A_2 \times F)) + (A_3 + A_4)$ WHERE: A₁ - ALLOWABLE AREA PER STORY A₂ - TABULAR AREA PER TABLE 503 F - INCREASE DUE TO FRONTAGE PER CBC SECTION 506.2 A₃ - INCREASE DUE TO SPRINKLER PER CBC SECTION 506.3 EQUATION 5-2 PER CBC SECTION 506.2: $F = (F/P - 0.25) \times (W / 30)$ WHERE: F - INCREASE DUE TO FRONTAGE PER CBC SECTION 506.2 P - LENGTH OF BUILDING PERIMETER THAT FRONTS ON A YARD OR PUBLIC WAY GREATER THAN OR EQUAL TO 20' PERIMETER OF THE ENTIRE BUILDING W - WEIGHTED AVERAGE WIDTH OF YARD OR PUBLIC WAY $W = (E_1W_1 + E_2W_2 + E_3W_3 + E_4W_4 + E_5W_5) / (F_1F_2F_3F_4F_5)$</p> <p>AREA DETERMINATION FOR TOTAL ALLOWABLE BUILDING AREA A_T = A₁ + A₂ A₁ - AREA DETERMINATION FOR TOTAL ALLOWABLE BUILDING AREA PER CBC SECTION 506.4.1 ALLOWABLE BUILDING AREA FOR MIXED OCCUPANCIES PER CBC 506.3 SEPARATED OCCUPANCIES PER 508.4.2: ACTUAL AREA PER STORY / ALLOWABLE AREA PER STORY ≤ 1</p> <p>1. X = FIRE SEPARATION DISTANCE (REFER TO PLANS BELOW FOR DISTANCES) 2. TYPE IA: 10' < X < 30' 1 HOUR 3. TYPE VA: 10' < X < 30' 1 HOUR 4. ALL TYPES: X ≥ 30' NOT RATED</p>	<table border="1"> <thead> <tr> <th>Fire Area</th> <th>Level</th> <th>Building Area Increase (per CBC 506.2) - (A₁ x F)</th> <th>Sq. Ft. Sprinkler increase (per CBC 506.3) - (A₂ x Is)</th> <th>Total allowable area per story (A₁)</th> <th>Total allowable area (A₁ x 2)</th> <th>Total building allowable area (A_T x 2)</th> </tr> </thead> <tbody> <tr><td>BUILDING S1</td><td>2nd STORY PODIUM</td><td>0</td><td>24,000</td><td>36,000</td><td>72,000</td><td>72,000</td></tr> <tr><td>BUILDING S2</td><td>2nd STORY PODIUM</td><td>0</td><td>24,000</td><td>36,000</td><td>72,000</td><td>72,000</td></tr> <tr><td>BUILDING S3</td><td>3rd STORY</td><td>0</td><td>23,000</td><td>34,500</td><td>69,000</td><td>69,000</td></tr> <tr><td>BUILDING S3.1</td><td>4th STORY</td><td>0</td><td>24,000</td><td>36,000</td><td>72,000</td><td>72,000</td></tr> <tr><td>BUILDING S4</td><td>5th STORY</td><td>0</td><td>24,000</td><td>36,000</td><td>72,000</td><td>72,000</td></tr> <tr><td>BUILDING S4.1</td><td>2nd STORY PODIUM</td><td>0</td><td>23,000</td><td>34,500</td><td>69,000</td><td>69,000</td></tr> </tbody> </table> <table border="1"> <thead> <tr> <th>ALLOWABLE BUILDING AREAS PER STORY WITH TOTAL SF</th> <th>LEVEL</th> <th>TOTAL AREA PER BUILDING</th> </tr> </thead> <tbody> <tr><td>BUILDING S1</td><td>2nd STORY PODIUM</td><td>11908 SF</td></tr> <tr><td>BUILDING S1</td><td>3rd STORY</td><td>11908 SF</td></tr> <tr><td>BUILDING S1</td><td>4th STORY</td><td>11908 SF</td></tr> <tr><td>BUILDING S1</td><td>5th STORY</td><td>11908 SF</td></tr> <tr><td>BUILDING S1</td><td>5th STORY</td><td>47632 SF</td></tr> <tr><td colspan="3">Total allowable area per story < 72,000</td></tr> <tr><td>BUILDING S2</td><td>2nd STORY PODIUM</td><td>15620 SF</td></tr> <tr><td>BUILDING S2</td><td>3rd STORY</td><td>15620 SF</td></tr> <tr><td>BUILDING S2</td><td>4th STORY</td><td>15620 SF</td></tr> <tr><td>BUILDING S2</td><td>5th STORY</td><td>15620 SF</td></tr> <tr><td>BUILDING S2</td><td>5th STORY</td><td>62480 SF</td></tr> <tr><td colspan="3">Total allowable area per story < 72,000</td></tr> <tr><td>BUILDING S3</td><td>2nd STORY PODIUM</td><td>11775 SF</td></tr> <tr><td>BUILDING S3</td><td>3rd STORY</td><td>11775 SF</td></tr> <tr><td>BUILDING S3</td><td>4th STORY</td><td>15207 SF</td></tr> <tr><td>BUILDING S3</td><td>5th STORY</td><td>15207 SF</td></tr> <tr><td>BUILDING S3</td><td>5th STORY</td><td>53864 SF</td></tr> <tr><td colspan="3">Total allowable area per story < 72,000</td></tr> <tr><td>BUILDING S3.1</td><td>2nd STORY PODIUM</td><td>3550 SF</td></tr> <tr><td>BUILDING S3.1</td><td>2nd STORY PODIUM</td><td>3550 SF</td></tr> <tr><td colspan="3">Total allowable area per story < 69,000</td></tr> <tr><td>BUILDING S4</td><td>2nd STORY PODIUM</td><td>11038 SF</td></tr> <tr><td>BUILDING S4</td><td>3rd STORY</td><td>11038 SF</td></tr> <tr><td>BUILDING S4</td><td>4th STORY</td><td>12018 SF</td></tr> <tr><td>BUILDING S4</td><td>5th STORY</td><td>12018 SF</td></tr> <tr><td>BUILDING S4</td><td>5th STORY</td><td>46111 SF</td></tr> <tr><td colspan="3">Total allowable area per story < 72,000</td></tr> <tr><td>BUILDING S4.1</td><td>2nd STORY PODIUM</td><td>1060 SF</td></tr> <tr><td>BUILDING S4.1</td><td>2nd STORY PODIUM</td><td>1060 SF</td></tr> <tr><td colspan="3">Total allowable area per story < 69,000</td></tr> </tbody> </table>	Fire Area	Level	Building Area Increase (per CBC 506.2) - (A ₁ x F)	Sq. 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Sprinkler increase (per CBC 506.3) - (A ₂ x Is)	Total allowable area per story (A ₁)	Total allowable area (A ₁ x 2)	Total building allowable area (A _T x 2)	BUILDING S1	2nd STORY PODIUM	0	24,000	36,000	72,000	72,000	BUILDING S2	2nd STORY PODIUM	0	24,000	36,000	72,000	72,000	BUILDING S3	3rd STORY	0	23,000	34,500	69,000	69,000	BUILDING S3.1	4th STORY	0	24,000	36,000	72,000	72,000	BUILDING S4	5th STORY	0	24,000	36,000	72,000	72,000	BUILDING S4.1	2nd STORY PODIUM	0	23,000	34,500	69,000	69,000	ALLOWABLE BUILDING AREAS PER STORY WITH TOTAL SF	LEVEL	TOTAL AREA PER BUILDING	BUILDING S1	2nd STORY PODIUM	11908 SF	BUILDING S1	3rd STORY	11908 SF	BUILDING S1	4th STORY	11908 SF	BUILDING S1	5th STORY	11908 SF	BUILDING S1	5th STORY	47632 SF	Total allowable area per story < 72,000			BUILDING S2	2nd STORY PODIUM	15620 SF	BUILDING S2	3rd STORY	15620 SF	BUILDING S2	4th STORY	15620 SF	BUILDING S2	5th STORY	15620 SF	BUILDING S2	5th STORY	62480 SF	Total allowable area per story < 72,000			BUILDING S3	2nd STORY PODIUM	11775 SF	BUILDING S3	3rd STORY	11775 SF	BUILDING S3	4th STORY	15207 SF	BUILDING S3	5th STORY	15207 SF	BUILDING S3	5th STORY	53864 SF	Total allowable area per story < 72,000			BUILDING S3.1	2nd STORY PODIUM	3550 SF	BUILDING S3.1	2nd STORY PODIUM	3550 SF	Total allowable area per story < 69,000			BUILDING S4	2nd STORY PODIUM	11038 SF	BUILDING S4	3rd STORY	11038 SF	BUILDING S4	4th STORY	12018 SF	BUILDING S4	5th STORY	12018 SF	BUILDING S4	5th STORY	46111 SF	Total allowable area per story < 72,000			BUILDING S4.1	2nd STORY PODIUM	1060 SF	BUILDING S4.1	2nd STORY PODIUM	1060 SF	Total allowable area per story < 69,000		
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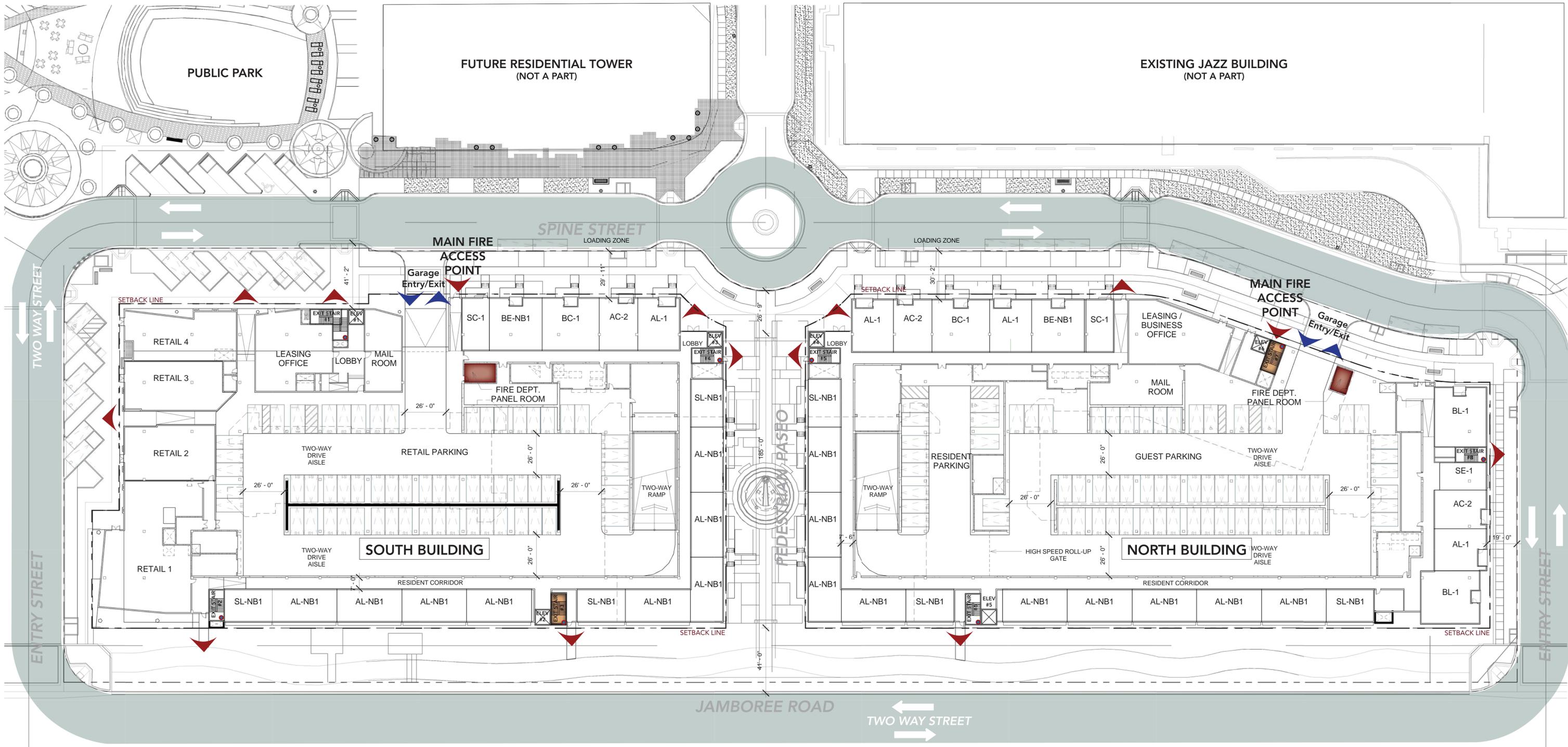
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<p>1. THIS EXHIBIT IS NOT TO BE USED TO LOCATE THE BUILDINGS ON SITE. ALL DIMENSIONS ARE APPROXIMATE AND ARE USED ONLY FOR THE PURPOSES OF CALCULATING THE PERCENTAGE OF OPENINGS. REFER TO CIVIL DRAWINGS FOR BUILDING LOCATIONS.</p> <p>2. THE MAXIMUM ALLOWABLE AREA OF EXTERIOR WALL OPENINGS SHALL COMPLY WITH CBC SECTION 705.8.1 AND TABLE 705.8.</p> <p>3. THE PROPOSED RESIDENTIAL PROJECT WILL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH 903.3.1.1 PER TABLE 706.8. THE TYPICAL DEGREE OF PROTECTION WILL BE "UNPROTECTED, SPRINKLERED (U.P.S.)" UNLESS NOTED OTHERWISE.</p> <p>3A. PER TABLE 705.8, UNPROTECTED, SPRINKLERED OPENINGS: 20" TO LESS THAN 25" ARE ALLOWED UNLIMITED AREA - NO LIMIT.</p> <p>3B. PER SECTION 705.8.1 EXCEPTION #1, OTHER THAN GROUP 1F OCCUPANCIES UNLIMITED UNPROTECTED OPENINGS ARE PERMITTED IN THE 1st STORY ABOVE GRADE PLANE.</p> <p>4. THE FOLLOWING FIRE SEPARATION DISTANCES (FSD) AND MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED UPON THE U.P.S. DEGREE OF PROTECTION, ARE LISTED AS FOLLOWS:</p> <p>FEET ALLOWABLE AREA 0 TO LESS THAN 3 NOT PERMITTED 3 TO LESS THAN 5 25% 5 TO LESS THAN 10 15% 10 TO LESS THAN 15 45% 15 TO LESS THAN 20 75% 20 TO LESS THAN 25 NO LIMIT</p> <p>5. THE FIRE SEPARATION DISTANCE IS DEFINED PER SECTION 702.1 AS FOLLOWS: THE DISTANCE MEASURED FROM THE BUILDING FACE TO ONE OF THE FOLLOWING: 1. THE CLOSEST INTERIOR LOT LINE. 2. THE CENTERLINE OF A STREET, AN ALLEY OR PUBLIC WAY, OR 3. TO AN ASSUMED IMAGINARY LINE (A) BETWEEN TWO BUILDINGS ON THE PROPERTY. THE DISTANCE SHALL BE MEASURED AT RIGHT ANGLES FROM THE FACE OF THE WALL. 7. WHERE THE EXTERIOR WALL SEGMENT HAS MULTIPLE PLANES WITHIN THE SAME FIRE SEPARATION DISTANCE RANGE, THE MINIMUM DIMENSION WILL BE USED. FOR EXAMPLE, IF MULTIPLE PLANS OF A PARTICULAR WALL SEGMENT HAVE FIRE SEPARATION DISTANCES OF 10'-1", 10'-7" AND 15'-2" THE 10'-2" DISTANCE WILL BE USED FOR THE ENTIRE WALL SEGMENT.</p>	<p>ALLOWABLE BUILDING AREA EQUATION 5-1 PER CBC SECTION 506.1: $A_p = (A_1 + (A_2 \times F)) + (A_3 + A_4)$ WHERE: A₁ - ALLOWABLE AREA PER STORY A₂ - TABULAR AREA PER TABLE 503 F - INCREASE DUE TO FRONTAGE PER CBC SECTION 506.2 A₃ - INCREASE DUE TO SPRINKLER PER CBC SECTION 506.3 EQUATION 5-2 PER CBC SECTION 506.2: $F = (F/P - 0.25) \times (W / 30)$ WHERE: F - INCREASE DUE TO FRONTAGE PER CBC SECTION 506.2 P - LENGTH OF BUILDING PERIMETER THAT FRONTS ON A YARD OR PUBLIC WAY GREATER THAN OR EQUAL TO 20' PERIMETER OF THE ENTIRE BUILDING W - WEIGHTED AVERAGE WIDTH OF YARD OR PUBLIC WAY $W = (E_1W_1 + E_2W_2 + E_3W_3 + E_4W_4 + E_5W_5) / (F_1F_2F_3F_4F_5)$</p> <p>AREA DETERMINATION FOR TOTAL ALLOWABLE BUILDING AREA A_T = A₁ + A₂ A₁ - AREA DETERMINATION FOR TOTAL ALLOWABLE BUILDING AREA PER CBC SECTION 506.4.1 ALLOWABLE BUILDING AREA FOR MIXED OCCUPANCIES PER CBC 506.3 SEPARATED OCCUPANCIES PER 508.4.2: ACTUAL AREA PER STORY / ALLOWABLE AREA PER STORY ≤ 1</p> <p>1. X = FIRE SEPARATION DISTANCE (REFER TO PLANS BELOW FOR DISTANCES) 2. TYPE IA: 10' < X < 30' 1 HOUR 3. TYPE VA: 10' < X < 30' 1 HOUR 4. ALL TYPES: X ≥ 30' NOT RATED</p>	<table border="1"> <thead> <tr> <th>Fire Area</th> <th>Level</th> <th>Building Area Increase (per CBC 506.2) - (A₁ x F)</th> <th>Sq. Ft. 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<p>BUILDING HEIGHT (SEC. 504) ABOVE GRADE PLANE (SEC. 502) (DEFINITIONS) PER CBC 2013</p> <p>BUILDING HEIGHT MEASURED VERTICALLY FROM GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE. ROOF STRUCTURES PER SEC. 504.3 ALLOWED 20' ADDITIONAL ABOVE BUILDING HEIGHT)</p> <p>SOUTH BUILDING:</p> <p>BUILDING AREA 1: (58'89"-58'77"-58'85"-58'58"-58'76"-58'91"-58'82") = (411.58') (411.58') / 7 (ELEVATION POINTS) = 58.80' GRADE PLANE (58.80') + 60' (SEC. 504.2) = 118.80' BUILDING HEIGHT.</p> <p>BUILDING AREA 2: (WORST CASE CONDITION) (58'52"-57'46"-57'27"-57'27"-57'27"-57'27") = (405.69') (405.69') / 7 (ELEVATION POINTS) = 57.95' GRADE PLANE (57.95') + 60' (SEC. 504.2) = 117.95' BUILDING HEIGHT.</p> <p>BUILDING AREA 3: (58'86"-58'93"-58'06"-57'76"-57'57"-58'30"-58'90"-58'11") = (466.54') (466.54') / 8 (ELEVATION POINTS) = 58.32' GRADE PLANE (58.32') + 60' (SEC. 504.2) = 118.32' BUILDING HEIGHT.</p> <p>BUILDING AREA 4: (58'02"-57'98"-57'95"-57'96"-57'95"-57'96"-57'90") = (405.70') (405.70') / 7 (ELEVATION POINTS) = 57.96' GRADE PLANE (57.96') + 60' (SEC. 504.2) = 117.96' BUILDING HEIGHT.</p> <p>NOTE: THE BUILDING HEIGHTS CALCULATED APPLY FOR EACH BUILDING SEPARATELY. THE OVERALL BUILDING IS WITHIN THE PROPOSED BUILDING HEIGHT FOR BUILDING AREA 2</p>	<table border="1"> <thead> <tr> <th>Fire Area</th> <th>Level</th> <th>Total allowable area per story - (A₁)</th> <th>Area</th> <th>Actual Allow Ratio</th> </tr> </thead> <tbody> <tr><td>BUILDING S3</td><td>2nd STORY PODIUM</td><td>36,000</td><td>11775 SF</td><td>0.327</td></tr> <tr><td>BUILDING S3</td><td>3rd STORY</td><td>36,000</td><td>11775 SF</td><td>0.327</td></tr> <tr><td>BUILDING S3</td><td>4th STORY</td><td>36,000</td><td>15207 SF</td><td>0.422</td></tr> <tr><td>BUILDING S3</td><td>5th STORY</td><td>36,000</td><td>15207 SF</td><td>0.422</td></tr> <tr><td>BUILDING S3.1</td><td>2nd STORY PODIUM</td><td>34,500</td><td>3550 SF</td><td>0.103</td></tr> </tbody> </table> <table border="1"> <thead> <tr> <th>Level</th> <th>Combined Actual Allowable Ratio per Story - A₁B < 1</th> <th>Combined Ratios per Building - Sum of Combined Ratios per Story < 2</th> </tr> </thead> <tbody> <tr><td>2nd STORY PODIUM</td><td>0.430</td><td>1.602</td></tr> <tr><td>3rd STORY</td><td>0.327</td><td></td></tr> <tr><td>4th STORY</td><td>0.422</td><td></td></tr> <tr><td>5th STORY</td><td>0.422</td><td></td></tr> </tbody> </table>	Fire Area	Level	Total allowable area per story - (A ₁)	Area	Actual Allow Ratio	BUILDING S3	2nd STORY PODIUM	36,000	11775 SF	0.327	BUILDING S3	3rd STORY	36,000	11775 SF	0.327	BUILDING S3	4th STORY	36,000	15207 SF	0.422	BUILDING S3	5th STORY	36,000	15207 SF	0.422	BUILDING S3.1	2nd STORY PODIUM	34,500	3550 SF	0.103	Level	Combined Actual Allowable Ratio per Story - A ₁ B < 1	Combined Ratios per Building - Sum of Combined Ratios per Story < 2	2nd STORY PODIUM	0.430	1.602	3rd STORY	0.327		4th STORY	0.422		5th STORY	0.422	
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<p>BUILDING HEIGHT</p> <p>BUILDING HEIGHT (SEC. 504) ABOVE GRADE PLANE (SEC. 502) (DEFINITIONS) PER CBC 2013</p> <p>BUILDING HEIGHT MEASURED VERTICALLY FROM GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE. ROOF STRUCTURES PER SEC. 504.3 ALLOWED 20' ADDITIONAL ABOVE BUILDING HEIGHT)</p> <p>NORTH BUILDING:</p> <p>BUILDING AREA 1: (67'31"-67'26"-67'44"-67'49"-66'52"-67'06"-67'24") = (463.09') (463.09') / 7 (ELEVATION POINTS) = 66.15' GRADE PLANE (66.15') + 60' (SEC. 504.2) = 117.15' BUILDING HEIGHT.</p> <p>BUILDING AREA 2: (67'59"-66'57"-67'57"-67'57"-67'57"-67'57") = (405.73') (405.73') / 7 (ELEVATION POINTS) = 57.96' GRADE PLANE (57.96') + 60' (SEC. 504.2) = 117.96' BUILDING HEIGHT.</p> <p>BUILDING AREA 3: (67'24"-68'30"-67'79"-67'84"-68'00"-67'73") = (288.60') (288.60') / 6 (ELEVATION POINTS) = 48.10' GRADE PLANE (48.10') + 60' (SEC. 504.2) = 108.10' BUILDING HEIGHT.</p> <p>BUILDING AREA 4: (WORST CASE CONDITION) (67'73"-67'26"-67'45"-67'69"-67'48"-67'22"-67'19"-67'54") = (459.90') (459.90') / 8 (ELEVATION POINTS) = 57.49' GRADE PLANE (57.49') + 60' (SEC. 504.2) = 117.49' BUILDING HEIGHT.</p> <p>NOTE: THE BUILDING HEIGHTS CALCULATED APPLY FOR EACH BUILDING SEPARATELY. THE OVERALL BUILDING IS WITHIN THE PROPOSED BUILDING HEIGHT FOR BUILDING AREA 4</p>	<table border="1"> <thead> <tr> <th>Fire Area</th> <th>Level</th> <th>Total allowable area per story - (A₁)</th> <th>Area</th> <th>Actual Allow Ratio</th> </tr> </thead> <tbody> <tr><td>BUILDING N1</td><td>2nd STORY PODIUM</td><td>36,000</td><td>11038 SF</td><td>0.308</td></tr> <tr><td>BUILDING N1</td><td>3rd STORY</td><td>36,000</td><td>11038 SF</td><td>0.308</td></tr> <tr><td>BUILDING N1</td><td>4th STORY</td><td>36,000</td><td>14579 SF</td><td>0.405</td></tr> <tr><td>BUILDING N1</td><td>5th STORY</td><td>36,000</td><td>14579 SF</td><td>0.405</td></tr> <tr><td>BUILDING N1.1</td><td>2nd STORY PODIUM</td><td>34,500</td><td>3550 SF</td><td>0.103</td></tr> </tbody> </table> <table border="1"> <thead> <tr> <th>Level</th> <th>Combined Actual Allowable Ratio per Story - A₁B < 1</th> <th>Combined Ratios per Building - Sum of Combined Ratios per Story < 2</th> </tr> </thead> <tbody> <tr><td>2nd STORY PODIUM</td><td>0.411</td><td>1.529</td></tr> <tr><td>3rd STORY</td><td>0.308</td><td></td></tr> <tr><td>4th STORY</td><td>0.405</td><td></td></tr> <tr><td>5th STORY</td><td>0.405</td><td></td></tr> </tbody> </table>	Fire Area	Level	Total allowable area per story - (A ₁)	Area	Actual Allow Ratio	BUILDING N1	2nd STORY PODIUM	36,000	11038 SF	0.308	BUILDING N1	3rd STORY	36,000	11038 SF	0.308	BUILDING N1	4th STORY	36,000	14579 SF	0.405	BUILDING N1	5th STORY	36,000	14579 SF	0.405	BUILDING N1.1	2nd STORY PODIUM	34,500	3550 SF	0.103	Level	Combined Actual Allowable Ratio per Story - A ₁ B < 1	Combined Ratios per Building - Sum of Combined Ratios per Story < 2	2nd STORY PODIUM	0.411	1.529	3rd STORY	0.308		4th STORY	0.405		5th STORY	0.405	
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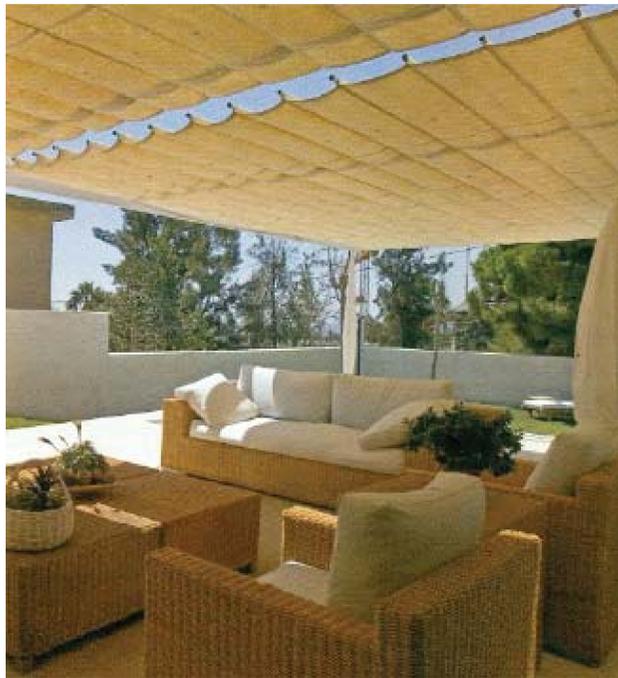
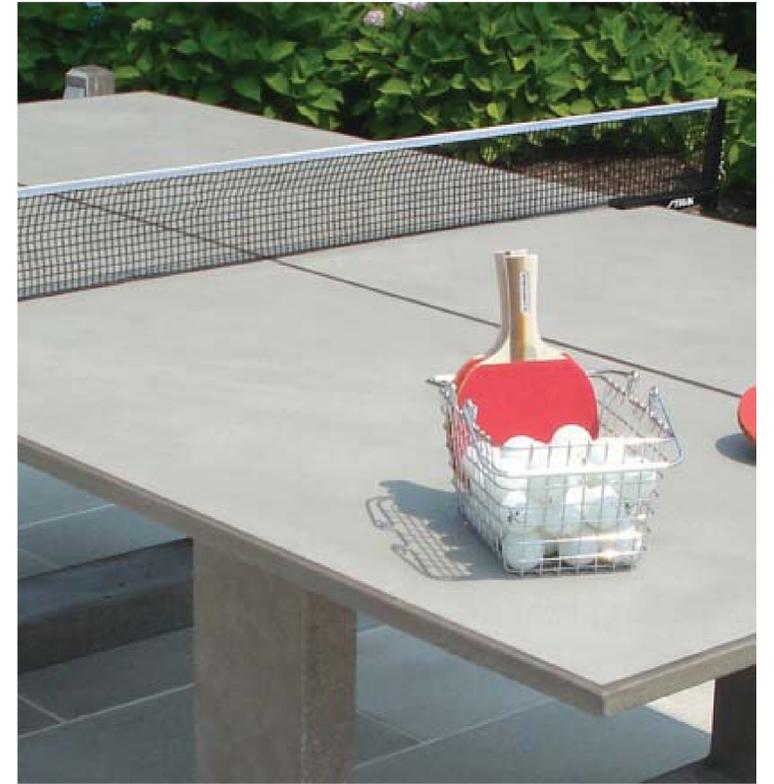


RECREATIONAL AREA CALCULATION

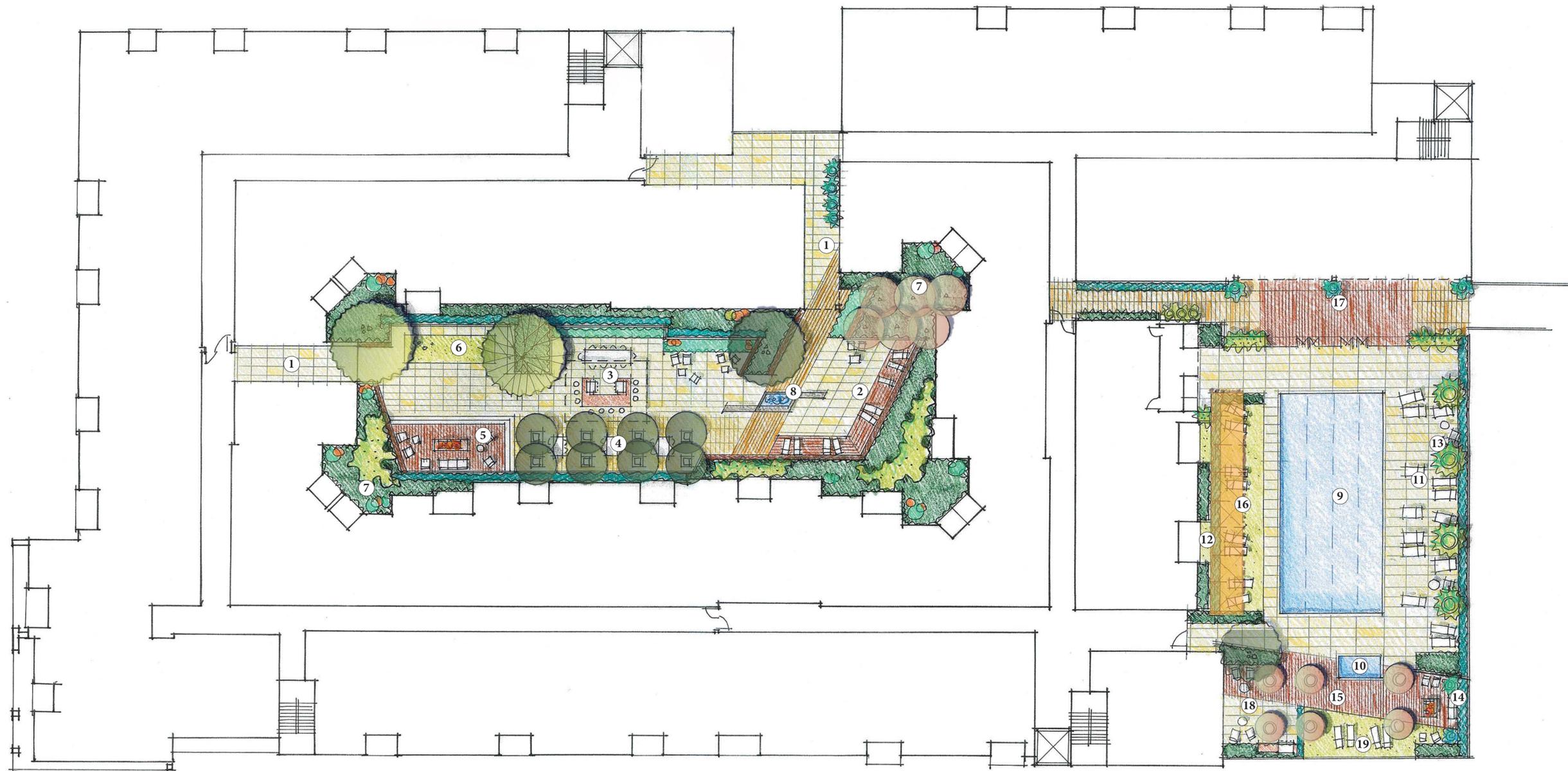
REQUIRED	PROVIDED
PER UPTOWN NEWPORT PLANNED COMMUNITY PLAN, SECTION 3.7.2:	
<i>"A total of 44 square feet of private recreational amenities shall be provided for each dwelling unit."</i>	
44 SF x 455 dwelling units =	
TOTAL: 20,020 SF	
	COURTYARD 1 8,470 SF
	COURTYARD 2 9,320 SF
	FITNESS 3,425 SF
	CYBER CAFE 990 SF
	SOUTH BUILDING SUBTOTAL: 22,205 SF
	COURTYARD 3 9,320 SF
	COURTYARD 4 10,780 SF
	CLUB ROOM 3,425 SF
	ROOF DECK 750 SF
	NORTH BUILDING SUBTOTAL: 24,275 SF
	TOTAL: 46,480 SF



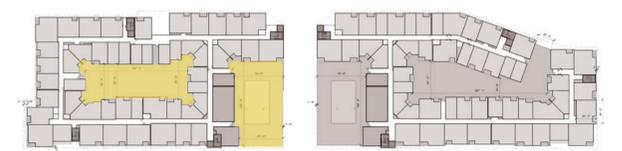
- Fire Department Truck Access
- Fire Department Room
- Stair to Roof
- Building Exit
- Manual Wet Standpipe

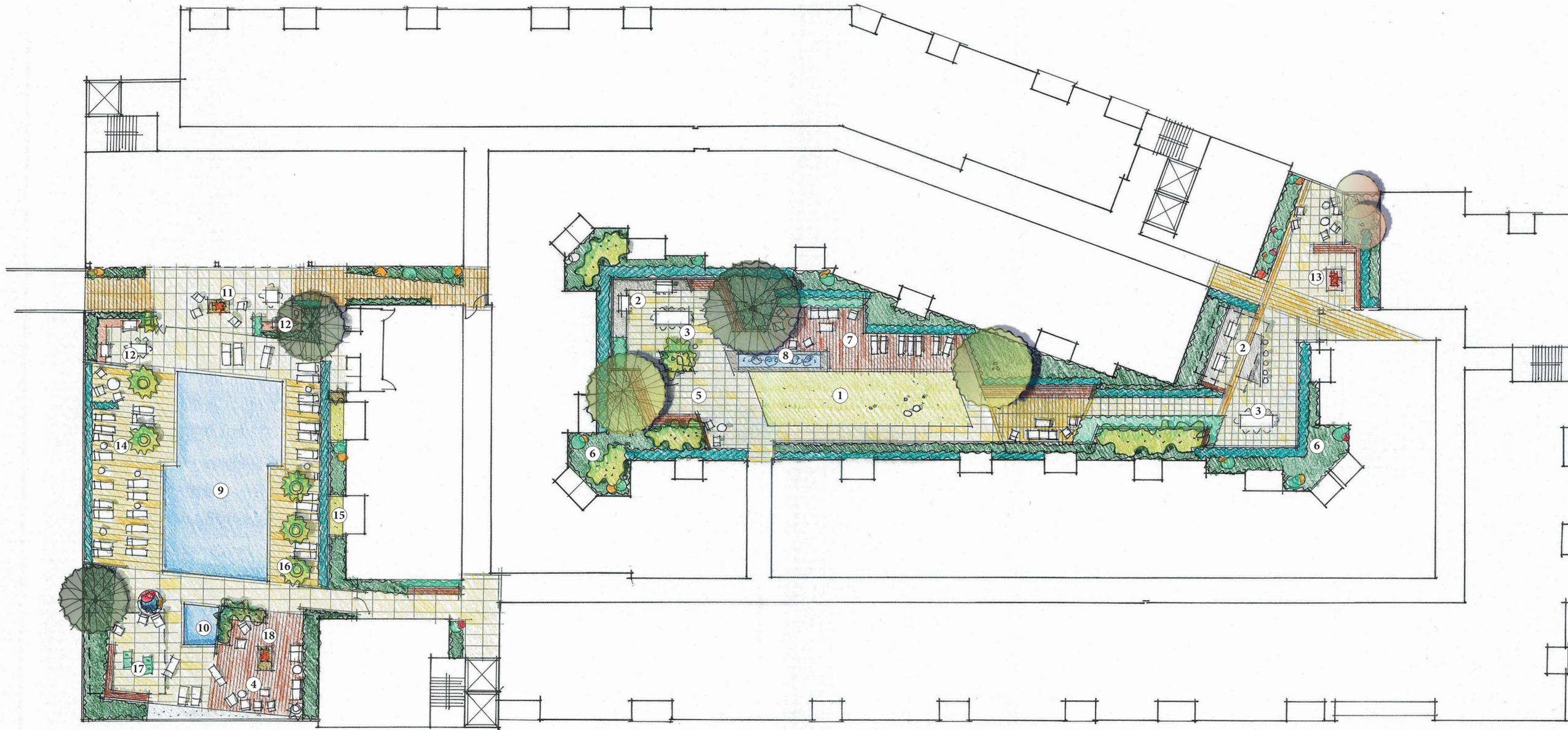






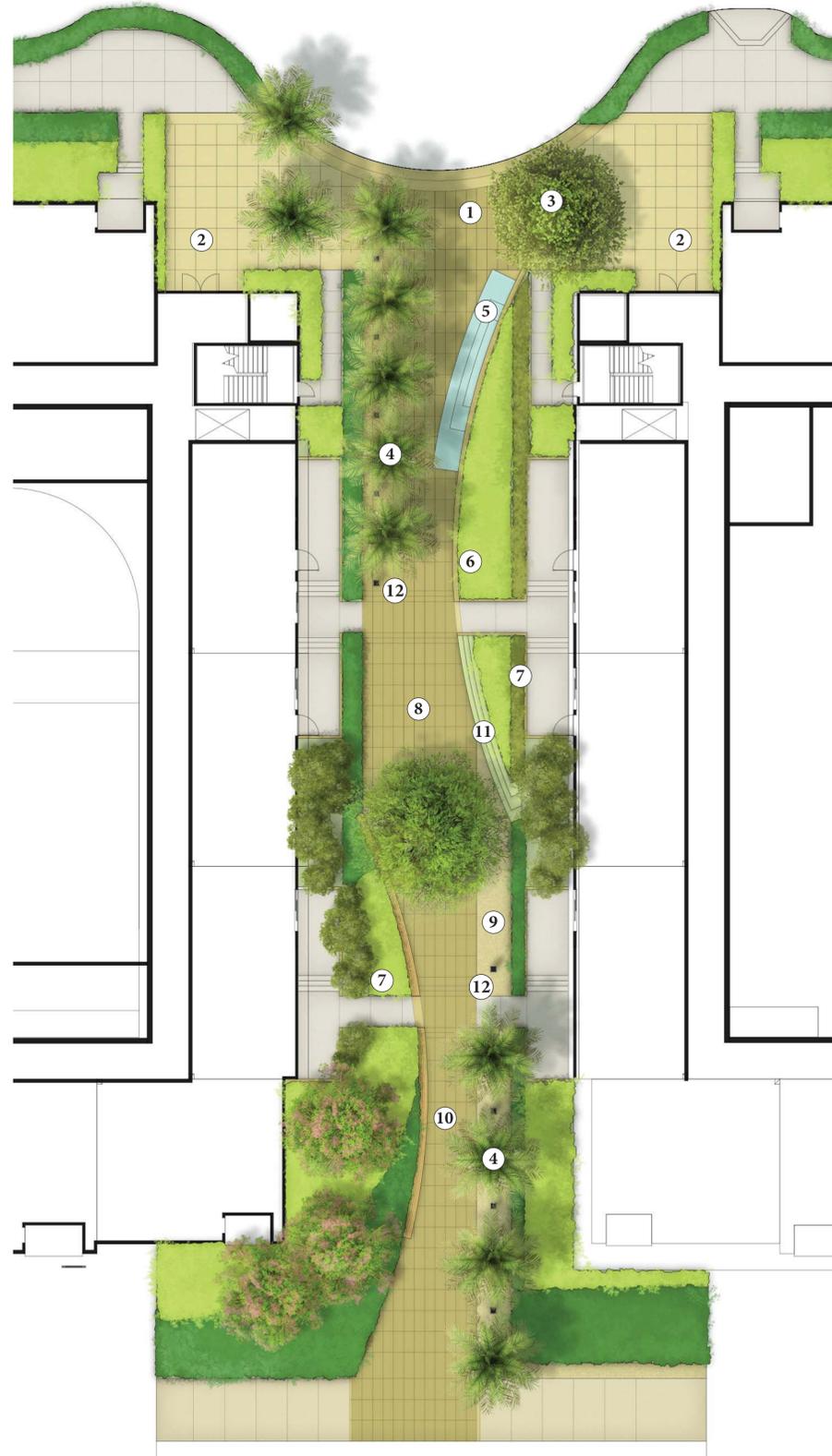
- Legend
- ① Entry
 - ② Built-In Seating Court
 - ③ Outdoor Kitchen
 - ④ Dining Terrace
 - ⑤ Lounge w/ Fire Pit and TV
 - ⑥ Bocce Court
 - ⑦ Residential Gardens
 - ⑧ Water Feature
 - ⑨ Pool
 - ⑩ Spa
 - ⑪ Pool Deck
 - ⑫ Residential Patio Gardens
 - ⑬ Ornamental Pottery
 - ⑭ Lounge w/ Fire Pit and TV
 - ⑮ Wood Decking
 - ⑯ Synthetic Turf Deck w/ Cabanas
 - ⑰ Yoga Terrace
 - ⑱ Cyber Cafe Garden w/ BBQ
 - ⑲ Synthetic Turf Deck





- Legend
- ① Lawn
 - ② Outdoor Kitchen
 - ③ Dining Court
 - ④ Lounge w/ Fire Pit and TV
 - ⑤ Entertainment Court
 - ⑥ Residential Gardens
 - ⑦ Seating Terrade
 - ⑧ Water Feature
 - ⑨ Pool
 - ⑩ Spa
 - ⑪ Clubhouse Loggia
 - ⑫ Outdoor BBQ and Kitchen
 - ⑬ Fire Pit
 - ⑭ Pool Deck
 - ⑮ Residential Patio Gardens
 - ⑯ Ornamental Pottery
 - ⑰ Recreation / Game Court w/ Trellis
 - ⑱ Wood Decking





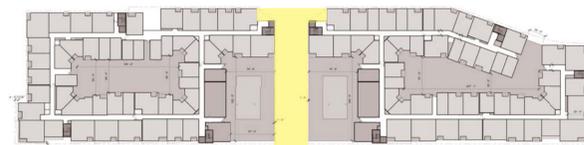
Legend

- ① Entry Plaza
- ② Residential Lobby Terrace
- ③ 'Heritage' Tree
- ④ Palm Allee w/ Seating Below
- ⑤ Water Feature
- ⑥ Seatwall
- ⑦ Residential Entry Garden
- ⑧ Seating Terrace
- ⑨ Decomposed Granite Seating Area
- ⑩ Bench
- ⑪ Seating Steps
- ⑫ Bollard Light Fixture

PRELIMINARY PLANT PALETTE *

BOTANICAL NAME	COMMON NAME	SIZE	SIZE AT INSTALL	SIZE AT 5 YEARS	WUCOLS
TREES					
<i>Arbutus unedo</i>	Strawberry Tree	36" Box	8' ht.	10' ht.	LOW
<i>Olea europaea 'Swann Hill'</i>	Fruitless Olive Tree	36" Box	6' ht.	8' ht.	LOW
<i>Platanus x Acerfolia</i>	London Plane Tree	36" Box	16' ht.	20' ht.	LOW
<i>Phoenix dactylifera</i>	Date Palm	24' BTH	28' ht.	32' ht.	LOW
LARGE SHRUBS / VERTICAL ACCENT					
<i>Aloe bainesii</i>	Tree Aloe	24" Box	4' ht.	8' ht.	LOW
<i>Echium candicans</i>	Pride Of Madeira	15 Gal.	3' ht.	5' ht.	LOW
<i>Laurus nobilis</i>	Sweet Bay	15 Gal.	3' ht.	5' ht.	LOW
<i>Melaleuca quinquenervia</i>	Paperbark Tree	24" Box	6' ht. x 4' w.	8' ht. x 5' w.	LOW
<i>Pittosporum tenuifolium 'Silver Sheen'</i>	Silver Sheen Kohuhu	15 Gal.	5' ht. x 2' w.	12' ht. x 3' w.	MED
MEDIUM SHRUBS and GRASSES					
<i>Agave attenuata</i>	Foxtail Agave	10 Gal.	2' ht. x 2' w.	3' ht. x 3' w.	LOW
<i>Aloe arborescens</i>	Torch Aloe	5 Gal.	2' ht. x 2' w.	3' ht. x 4' w.	LOW
<i>Anigozanthos 'Bush Gold'</i>	Yellow Kangaroo Paw	5 Gal.	1.5' ht. x 2' w.	4' ht. x 3' w.	LOW
<i>Arctostaphylos 'Sunset'</i>	Manzanita	15 Gal.	3' ht. x 3' w.	4' ht. x 4' w.	LOW
<i>Buxus microphylla var. japonica 'Green Beauty'</i>	Japanese Boxwood	5 Gal.	2' ht. x 2' w.	3' ht. x 5' w.	LOW
<i>Juncus Patens</i>	California Rush	5 Gal.	1.5' ht. x 2' w.	3' ht. x 3' w.	MED
<i>Leymus condensatus 'Canyon Prince'</i>	Canyon Prince Native Blue Rye	5 Gal.	2' ht. x 2' w.	3' ht. x 3' w.	LOW
<i>Miscanthus sinensis 'Adagio'</i>	Adagio Maiden Grass	5 Gal.	2' ht. x 2' w.	4' ht. x 3' w.	MED
<i>Muhlenbergia rigens</i>	Deer Grass	5 Gal.	2.5' ht. x 2' w.	3.5' ht. x 3.5' w.	LOW
<i>Phormium 'Sunset'</i>	Sunset New Zealand Flax	15 Gal.	3' ht. x 2' w.	5' ht. x 3' w.	MED
<i>Salvia leucantha</i>	Mexican Sage	5 Gal.	2' ht. x 2' w.	3' ht. x 3' w.	LOW
LOW SHRUBS AND GROUNDCOVERS					
<i>Baccharis pilularis 'Consaguinea'</i>	Coyote Bush	5 Gal.	1.5' ht. x 2' w.	3' ht. x 5' w.	LOW
<i>Carex divulsa</i>	Berkeley Sedge	1 Gal.	6" ht. x 8" w.	12" ht. x 18" w.	MED
<i>Ceanothus 'Joyce Coulter'</i>	Joyce Coulter Ceanothus	5 Gal.	1.5' ht. x 2' w.	2' ht. x 4' w.	LOW
<i>Echeveria crenulata</i>	Echeveria	6" Pot	3" ht. x 6" w.	6" ht. x 6" w.	LOW
<i>Senecio serpens</i>	Blue Chalk Sticks	1 Gal.	6" ht. x 6" w.	12" ht. x 18" w.	LOW

*All planting areas to receive automatic irrigation systems that meet, or exceed, development design guidelines and State of California's mandatory AB 1881 water conservation measures.



will adhere to all storm water infiltration requirements per Newport Beach and Orange County code(s).



Arbutus unedo
Strawberry Tree



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California Rush



Landscape Uplight



Pittosporum tenuifolium 'Silver Sheen'
Silver Sheen Kohuhu



Salvia leucantha
Mexican Sage



Ceanothus griseolus 'Yankee Point'
Yankee Point California Lilac



Senecio serpens
Blue Chalk Sticks



Wall Mounted Fixture



In Grade Uplight

