

**CITY OF NEWPORT BEACH
PLANNING DEPARTMENT ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

FROM: David Lepo, Planning Director

SUBJECT: Report of actions taken by the Zoning Administrator, Planning Director and/or Planning Department staff for the week ending May 1, 2009

ACTIONS TAKEN AT APRIL 30, 2009 ZONING ADMINISTRATOR HEARING

- Item 1: Modification Permit No. MD2009-003 (PA2009-010)
302 East Balboa Boulevard
- A modification permit to allow a remodel and addition of up to 25 percent gross floor area to an existing non-conforming structure that encroaches 2 inches into the easterly side yard setback and 1 foot 6 inches into the rear yard setback facing the alley and provides only one parking space where the Zoning Code requires six spaces. The remodel would reduce the number of dwelling units from three units to two units.
- This item was approved. Council District 1
- Item 2: Modification Permit No. MD2009-005 (PA2009-026)
500 Superior Avenue
- A modification permit to allow a bulk oxygen tank system and a surrounding protective enclosure to exceed the allowable height limit within the rear yard setback.
- This item was approved. Council District 2
- Item 3: Modification Permit No. MD2009-010 (PA2009-045)
2723 Ocean Boulevard
- A modification permit to allow the retention of a garage addition, constructed without an approved building permit, which encroaches 4 feet into the required 4-foot side yard setback and 10 feet into the required 10-foot front yard setback. A modification permit is also required to allow the proposed garage space to maintain a parking space depth of approximately 17 feet 4 inches where the Code requires a clear depth of 19 feet.
- This item was continued to the 05/14/09 Zoning Administrator Hearing. Council District 6

ACTIONS TAKEN BY THE PLANNING DIRECTOR OR PLANNING DEPARTMENT STAFF

Item 4: Verizon Wireless –Use Permit No. UP2009-010 (PA2009-032)
1155 Camelback Street

The Planning Director approved the following: A use permit to allow the installation of a standby emergency generator at an existing wireless telecommunications facility pursuant to Chapter 20.91 of the Municipal Code. The property is located in the PC-5 (North Ford) District.

Approved – May 1, 2009

Council District 4

On behalf of David Lepo, Planning Director: -


Patrick J. Alford, Planning Manager

APPEAL:

The applicant or any interested party may appeal the decision of the Planning Director, Zoning Administrator and department staff to the Planning Commission by a written request to the Planning Director within 14 days of the action date. A \$1,810.00 filing fee shall accompany any appeal filed. No building permits may be issued until the appeal period has expired.

c: David Lepo, Planning Director (*e-mail*)
Sharon Wood, Assistant City Manager (*e-mail*)
David Keely, Public Works Senior Civil Engineer (*e-mail*)
Code Enforcement Division (*e-mail*)



MODIFICATION PERMIT ACTION LETTER

PLANNING DEPARTMENT
3300 NEWPORT BOULEVARD
NEWPORT BEACH, CA 92663
(949) 644-3200 FAX (949) 644-3229

Application No.	Modification No. MD2009-003 (PA2009-010)
Applicant	Thirtieth Street Architects, Inc.
Site Address	302 East Balboa Boulevard Amling Residence
Legal Description	Newport Bay Track Block 3 Lot 2

On **April 30, 2009**, the Zoning Administrator approved the application request to allow a remodel and addition of up to 25 percent gross floor area to an existing non-conforming structure that encroaches 2 inches into the easterly side yard setback and 1 foot 6 inches into the rear yard setback facing the alley and provides only one parking space where the Zoning Code requires six spaces. The remodel would reduce the number of dwelling units from three units to two units. The property is located in the SP-8 (Central Balboa) District. The Zoning Administrator's approval is based on the following findings and subject to the following conditions.

FINDINGS

1. The Land Use Element of the General Plan designates the site for "Two-Unit Residential" use. The proposed residential structure is consistent with this designation.
2. This project has been reviewed, and it has been determined that it is categorically exempt from the requirements of the California Environmental Quality Act under Class 1 (Existing Facilities). The project consists of minor alterations in land use limitations in areas with an average slope of less than 20 percent, which do not result in any changes in land use or density, including but not limited to minor lot line adjustments, side yard, and setback variances not resulting in the creation of any new parcel.
3. In accordance with the provisions of Chapter 20.93, the granting of this application is necessary due to practical difficulties associated with the property. The strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code for the following reasons:

- The granting of this application is necessary due to the practical difficulties associated with the placement of the existing nonconforming triplex on the subject property. Bringing the structure into full compliance would require complete reconstruction, which is disproportionate to the costs of the proposed remodel and addition.
 - The existing triplex structure is nonconforming due to the insufficient number of parking spaces as only one space is provided where the Zoning Code requires six. Where the required number of parking spaces does not meet current standards, Chapter 20.62 of the Zoning Code allows for additions up to 25 percent through the approval of a modification permit provided that there is no net increase in the number of habitable rooms. In this case, the proposed increase in gross floor area does not exceed 25 percent of the existing gross floor area and there is no net increase in the number of habitable rooms.
 - The existing structure and development standards cannot accommodate the addition of on-site parking spaces as required in Section 20.66 without substantial reconstruction of the building.
4. In accordance with the provisions of Chapter 20.93, the requested modification will be compatible with existing development(s) in the neighborhood for the following reason:
- The deviation from the Zoning Code requested by this application is reasonable due to the characteristics of the surrounding properties which allow similar encroachments per the standards of the Zoning Code.
 - The proposed remodel and addition will bring the structure into compliance with its R-2 land use zoning designation by removing the nonconforming third unit, thus making it more compatible to the existing neighborhood.
5. In accordance with the provisions of Chapter 20.93, the granting of this Modification Permit will not adversely affect the health or safety of persons residing or working in the neighborhood of the property and not be detrimental to the general welfare or injurious to property or improvements in the neighborhood based on the following:
- The proposed gross square footage of the structure is less than the maximum square footage allowed by the Zoning Code for the subject property and is consistent with the surrounding neighborhood as well as similar land uses throughout the City.
 - The orientation of the existing structure provides adequate access through the alley. The modification permit request has been reviewed by Public Works and the approval has been conditioned so that the remainder of the alley setback shall be free of all above ground improvements.
 - The proposed remodel and addition will comply with all other requirements of the Zoning Code, and will comply with all Building Code requirements.
 - The proposed remodel and addition will not increase any existing nonconformities or encroachments.

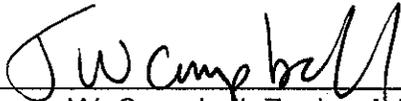
CONDITIONS

1. The development shall be in substantial conformance with the approved plot plan, floor plans and elevations, except as noted in the following conditions.
2. Anything not specifically approved by this Modification Permit is prohibited and must be addressed in a separate and subsequent Modification Permit review.
3. This approval was based on the particulars of the individual case and does not, in and of itself or in combination with other approvals in the vicinity or Citywide, constitute a precedent for future approvals or decisions.
4. Prior to issuance of building permits, the applicant shall submit to the Planning Department an additional copy of the approved architectural plans for inclusion in the Modification Permit file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11-inches by 17-inches. The plans shall accurately depict the elements approved by this Modification Permit and shall highlight the approved elements such that they are readily discernible from other elements of the plans.
5. A building permit shall be obtained prior to commencement of the construction.
6. A minimum 3-foot side yard exit court is required for egress from second floor unit.
7. The garage shall be modified to meet the minimum interior dimensions for two parking spaces. The plans shall be modified to demonstrate this requirement.
8. All trash enclosures shall be screened or located in area not visible from public views.
9. New windows and exterior walls to comply with the 2007 California Building Code for opening protection and fire rating.
10. No above ground encroachments will be permitted within the alley setback with the exception of the 1 foot 6 inch encroachment for the structure.
11. A copy of this approval letter shall be incorporated into the Building Department and field sets of plans prior to issuance of the building permits.
12. If any of the existing public improvements surrounding the site is damaged by private work, new concrete sidewalk, curb and gutter, street pavement, and other public improvements will be required by the City at the time of private construction completion. Said determination and the extent of the repair work shall be made at the discretion of the Public Works inspector.

13. All work performed within the public right-of-way shall be reviewed and approved by the Public Works Department under an encroachment permit/agreement, if required.
14. This approval shall expire unless exercised within 24 months from the approval date, as specified in Section 20.93.050 (A) of the Newport Beach Municipal Code. Prior to the expiration date of this approval, an extension may be approved in accordance with Section 20.93.050 (B) of the Newport Beach Municipal Code. Requests for an extension must be in writing.

APPEAL PERIOD

The Zoning Administrator's decision may be appealed to the Planning Commission within 14 days of the action date. A \$1,810.00 filing fee shall accompany any appeal filed. No building permits may be issued until the appeal period has expired.

By: 
James W. Campbell, Zoning Administrator

JWC:ems/rm

Attachments: Vicinity Map

Appeared in Opposition: None

Appeared in Support: None

VICINITY MAP

Modification Permit No. MD2009-003
PA2009-010



- Strict application of the Zoning Code regulations does not allow accessory structures more than 6 feet in height to be located in the required 15-foot rear setback; therefore, it would not allow the bulk oxygen tank and surrounding enclosure to be located in the rear setback as it exceeds this height limit. However, the rear setback is the most plausible location, as there is no other location on subject property that provides adequate clearances for these accessory structures. Chapter 20.93 (Modification Permits) of the City of Newport Beach Municipal Code allows for administrative relief for the required height limit of structures subject to approval of a modification permit.
 - Site analysis indicates that the proposed location was the most adequate for the bulk oxygen tank and surrounding protective enclosure as no other area on the property provides the needed room for clearance and does not take up a significant amount of existing parking spaces.
4. In accordance with the provisions of Chapter 20.93, the requested modification will be compatible with existing development(s) in the neighborhood for the following reasons:
- The proposed heights of the bulk oxygen tank and surrounding protective enclosure will exceed the height limit of the required rear yard setback; however, this will not be abruptly out of scale with the surrounding buildings and, as conditioned, will be required to be screened from adjacent properties.
 - The bulk oxygen tank is common with this type of use and required when certain services at a medical facility are provided.
 - The enclosure is necessary for the protection and screening of the bulk oxygen tank. Its finishes will be consistent with other enclosure on the property and in the neighborhood.
 - The use of the subject site will not change with the addition of the bulk oxygen tank and surrounding protective enclosure.
5. In accordance with the provisions of Chapter 20.93, the granting of this Modification Permit will not adversely affect the health or safety of persons residing or working in the neighborhood of the property and not be detrimental to the general welfare or injurious to property or improvements in the neighborhood based on the following:
- The location of the bulk oxygen tank and surrounding protective fence has been designed to be screened from public view and will neither affect the flow of air or light nor obstruct any public views.
 - The gases contained in this enclosure are typical medical gases and cause no harm to the environment.
 - All other height limits and setbacks will be maintained.

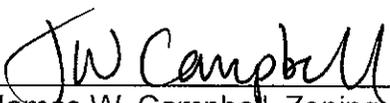
CONDITIONS

1. The development shall be in substantial conformance with the approved plot plan, floor plans and elevations, except as noted in the following conditions.
2. Anything not specifically approved by this Modification Permit is prohibited and must be addressed in a separate and subsequent Modification Permit review and approval.
3. If any of the existing public improvements surrounding the site are damaged by private work, new concrete sidewalk, curb and gutter, street pavement, and other public improvements will be required by the City at the time of private construction completion. Said determination and the extent of the repair work shall be made at the discretion of the Public Works inspector.
4. This approval was based on the particulars of the individual case and does not, in and of itself or in combination with other approvals in the vicinity or Citywide, constitute a precedent for future approvals or decisions.
5. The bulk oxygen tank and surrounding enclosure shall not exceed 12 feet 6 inches in height measure from finished grade.
6. The enclosure's finishes shall be consistent with other enclosures on the property, painted to blend in with its surroundings, and screened from public view by landscaping.
7. A landscape and irrigation plan shall be submitted with the plan check sets prior to issuance of building permits. All landscape materials and landscaped areas shall be installed and maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
8. Access to the tank to load/unload materials shall be limited to the hours between 7:30 a.m. and 6:30 p.m.
9. Prior to issuance of building permits, the applicant shall submit to the Planning Department a copy of the revised architectural plans showing the location of the encroachment of the proposed addition and eave approved by all departments for inclusion in the Modification Permit file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11-inches by 17-inches. The plans shall accurately depict the elements approved by this Modification Permit and shall highlight the approved elements such that they are readily discernible from other elements of the plans.

10. A building permit shall be obtained prior to commencement of the construction.
11. The two parking spaces to the south of the bulk oxygen tank, closest to the concrete masonry unit wall shall be striped out "no parking" for site distance of vehicles.
12. A copy of this approval letter shall be incorporated into the Building Department and field sets of plans prior to issuance of the building permits or issuance of revised plans.
13. All work performed within the public right-of-way shall be reviewed and approved by the Public Works Department under an encroachment permit/agreement, if required.
14. The proposed addition and related work shall comply with the California Building Code, Fire Code, and all adopted local amendments.
15. This approval shall expire unless exercised within 24 months from the approval date, as specified in Section 20.93.050 (A) of the Newport Beach Municipal Code. Prior to the expiration date of this approval, an extension may be approved in accordance with Section 20.93.050 (B) of the Newport Beach Municipal Code. Requests for an extension must be in writing.

APPEAL PERIOD

The Zoning Administrator's decision may be appealed to the Planning Commission within 14 days of the action date. A \$1,810.00 filing fee shall accompany any appeal filed. No building permits may be issued until the appeal period has expired.

By: 
James W. Campbell, Zoning Administrator

JWC:ems

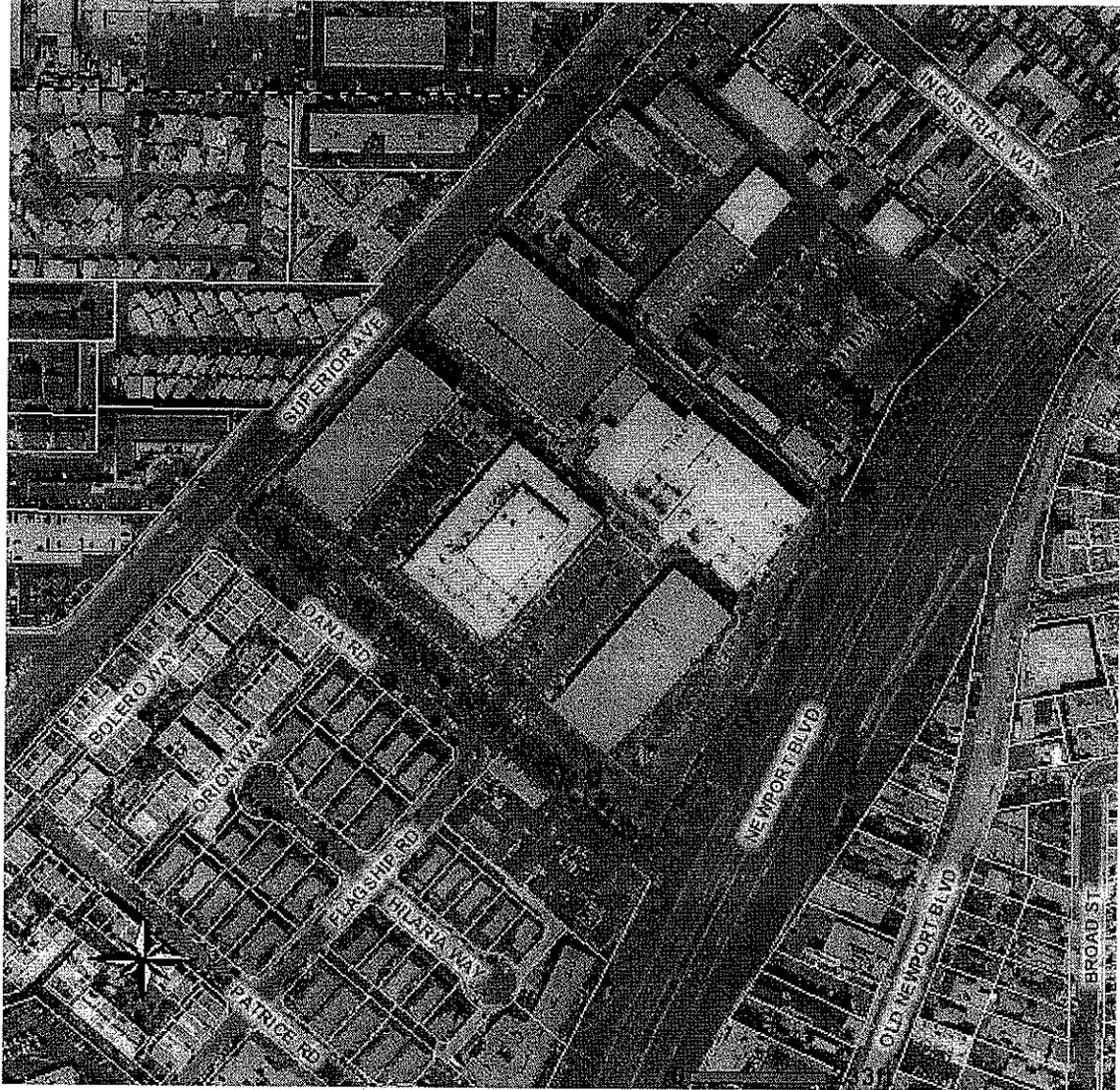
Attachments: Vicinity Map

Appeared in Opposition: None

Appeared in Support: None

VICINITY MAP

Modification Permit No. MD2009-005
PA2009-026



500 Superior Avenue

2. The proposed location of the use permit and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan and the purpose of the district in which the site is located; will not be detrimental to the public health, safety, peace, morals, comfort, or welfare of persons residing or working in or adjacent to the neighborhood of such use; and will not be detrimental to the properties or improvements in the vicinity or to the general welfare of the city.

Facts in support of finding:

- The location of the proposed standby emergency generator is consistent with its General Plan land use designation "Public Facility", which is intended to provide areas for public schools, cultural institutions, government facilities, libraries, community centers, public hospitals, and public utilities. The proposed standby emergency generator is a support use for the existing unmanned wireless telecommunication facility approved by UP2002-15 located at an existing South California Edison substation site.
 - The use is located within an existing utility substation and the addition of the project to the site does not result in an increase in intensity of the existing use such that the operational characteristics of the site would change.
 - The installation of the generator will comply with the requirements of the City's Building regulations and Fire Codes.
 - There will be no significant noise impact on the surrounding neighborhood. The proposed generator model is configured with an acoustic housing to limit the average operational noise level of the unit to approximately 65 dBA, roughly the sound level of a normal conversation.
 - The generator will only be operated during a power outage and limited routine system diagnostics as necessary and limited by conditions.
 - Due to the design and location of the facility, there is no impact to public views. The generator will be ground-mounted on a concrete pad and surrounded by a masonry wall. The masonry wall will be consistent with the architectural style, color, and materials of surrounding structures and will be buffered from surrounding views by landscaping.
3. The proposed use will comply with the provisions of this code, including any specific condition required for the proposed use in the district in which it would be located.

Facts in support of finding:

- Section 5.11.050.4. (Temporary Emergency Electrical Generators) of the Municipal Code indicates that if the business owner desires permanent status of a generator, then the applicant shall obtain a Use Permit as specified in Chapter 20.91 (Use Permit and Variances). The standby emergency generator is consistent with the legislative intent of Chapter 20.91 (Use Permits and Variance) and no other specific conditions are required in the Zoning Code for the proposed use.

- The project has been reviewed, and it qualifies for a categorical exemption pursuant to Section 15303 of the California Environmental Quality Act under Class 3 (New Construction of Conversion of Small Structures of the Implementing Guidelines of the California Environmental Quality Act. This exemption allows for the installation of small new equipment and facilities in small structures.

CONDITIONS

1. The Planning Director may add to or modify conditions of approval to this Use Permit or revoke this Use Permit upon a determination that the operation, which is the subject of this Use Permit, causes injury, or is detrimental to the health, safety, peace, comfort, or general welfare of the community.
2. The project shall be in substantial conformance with the approved site plan and elevations dated May 1, 2009.
3. A building permit shall be obtained prior to commencement of the construction.
4. That any change in operational characteristics of the use, expansion in area, or other modification to the site plan, shall require amendment to this Use Permit or the processing of a new Use Permit.
5. Should this business be sold or otherwise come under different ownership or a change in operators, any future owners, operators, or tenants shall be notified of the conditions of this approval by either the current business owner, property owner or the leasing agent.
6. The installation of the generator shall comply with the requirements of the City's Building regulations and Fire Codes.
7. The use of the generator shall be limited to only being operated during a power outage and once per week for approximately 15 minutes during daytime hours for the purpose of performing system diagnostics.
8. Any generator exceeding fifty (50) horsepower shall obtain a South Coast Air Quality Management District Permit.
9. The architectural style, color, and materials used in conjunction with the installation of the generator and surrounding masonry wall shall match the style, color, and materials of the existing environment. Landscaping shall be installed to buffer the wall from surrounding views.
10. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use will be cause for revocation of this Permit.

11. Prior to issuance of building permits, the applicant shall submit to the Planning Department an additional copy of the approved architectural plans for inclusion in the Modification Permit file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11-inches by 17-inches. The plans shall accurately depict the elements approved by this Planning Director's Use Permit and shall highlight the approved elements such that they are readily discernible from other elements of the plans.
12. A copy of the approval letter shall be incorporated into the Building Department set of plans prior to issuance of the building permits or issuance of revised plans.
13. Use Permit No. UP2009-010 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.91.050 of the Newport Beach Municipal Code, or an extension is otherwise granted.

APPEAL PERIOD

The Planning Director's decision may be appealed to the Planning Commission within 14 days of the action date. A \$1,810.00 filing fee shall accompany any appeal filed. No building permits may be issued until the appeal period has expired.

On behalf of Planning Director David Lepo,

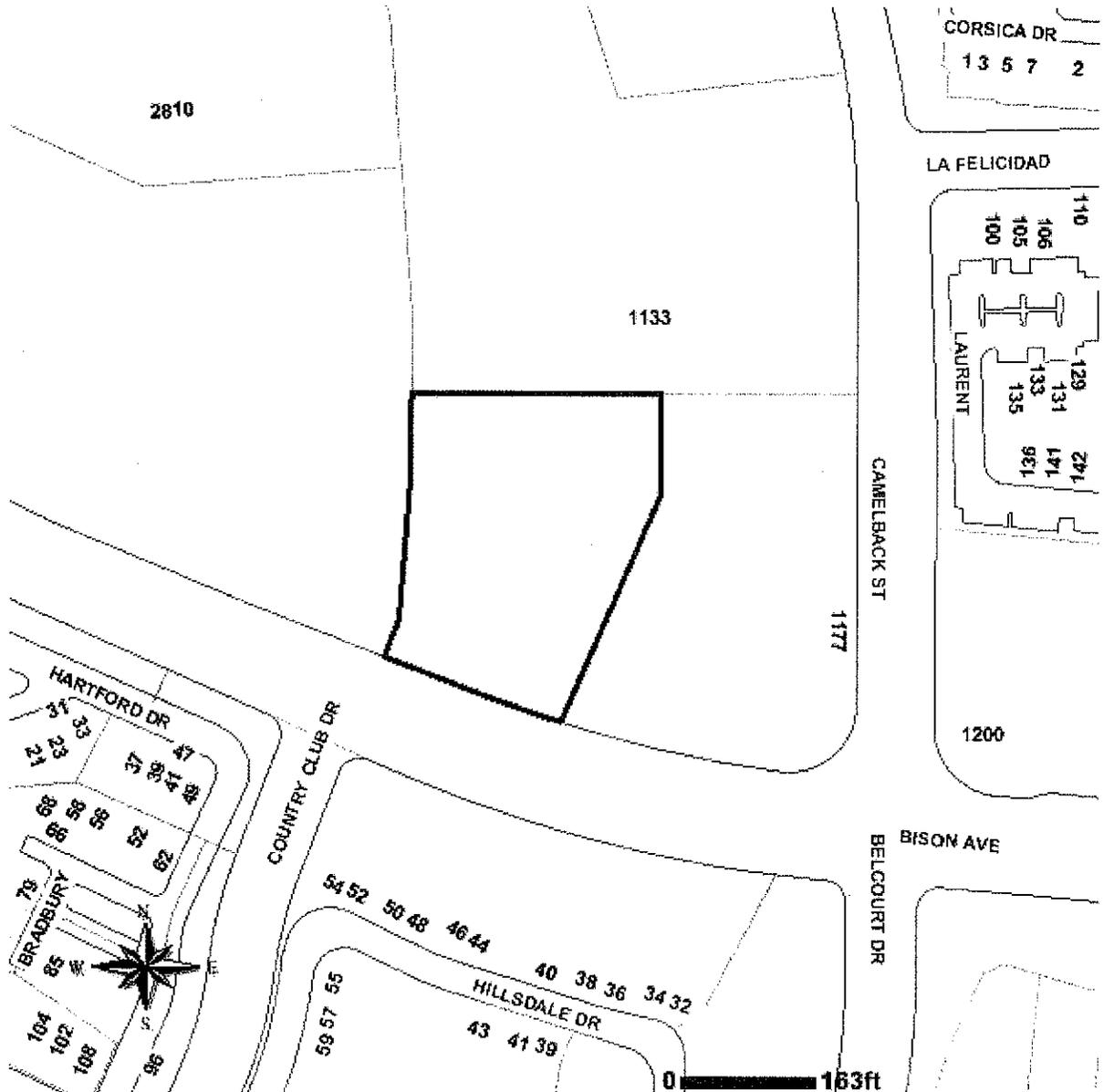
By: 
James W. Campbell, Zoning Administrator

JSG: ems

Attachments: Vicinity Map
Site and Elevation Plans

VICINITY MAP

Planning Director's Use Permit Permit No. UP2009-010
PA2009-032



1155 Camelback Street

REV.	DATE	BY	REVISION DESCRIPTION
1	02-21-08	TC	ZONING SET
2	04-04-08	JH	CLIENT REVISION
3	02-28-08	JH	CLIENT REVISION
4	02-28-08	JH	CLIENT REVISION

milestone
wireless

8841 ATLANTA AVENUE, #541
HUNTINGTON BEACH, CA 92646

SITE BUILDER

verizon wireless

8535 SAND CANYON AVE
BUILDING 70, 4TH FLOOR
IRVINE, CA 92618
PHONE (949) 266-7000

ARE DEVELOPER

ACD
ARCHITECTS - INC.

26170 ENTERPRISE WAY #600
LAKE FOREST, CA 92650
TEL: 949-788-9940
FAX: 949-271-4788

ENGINEER

SITE INFO

SITE NAME: **BISON**
MacARTHUR SUBSTATION

SITE ADDRESS:
185 CAMELBACK STREET
HUNTINGTON BEACH, CA 92640

SHEET TITLE:
SITE PLAN

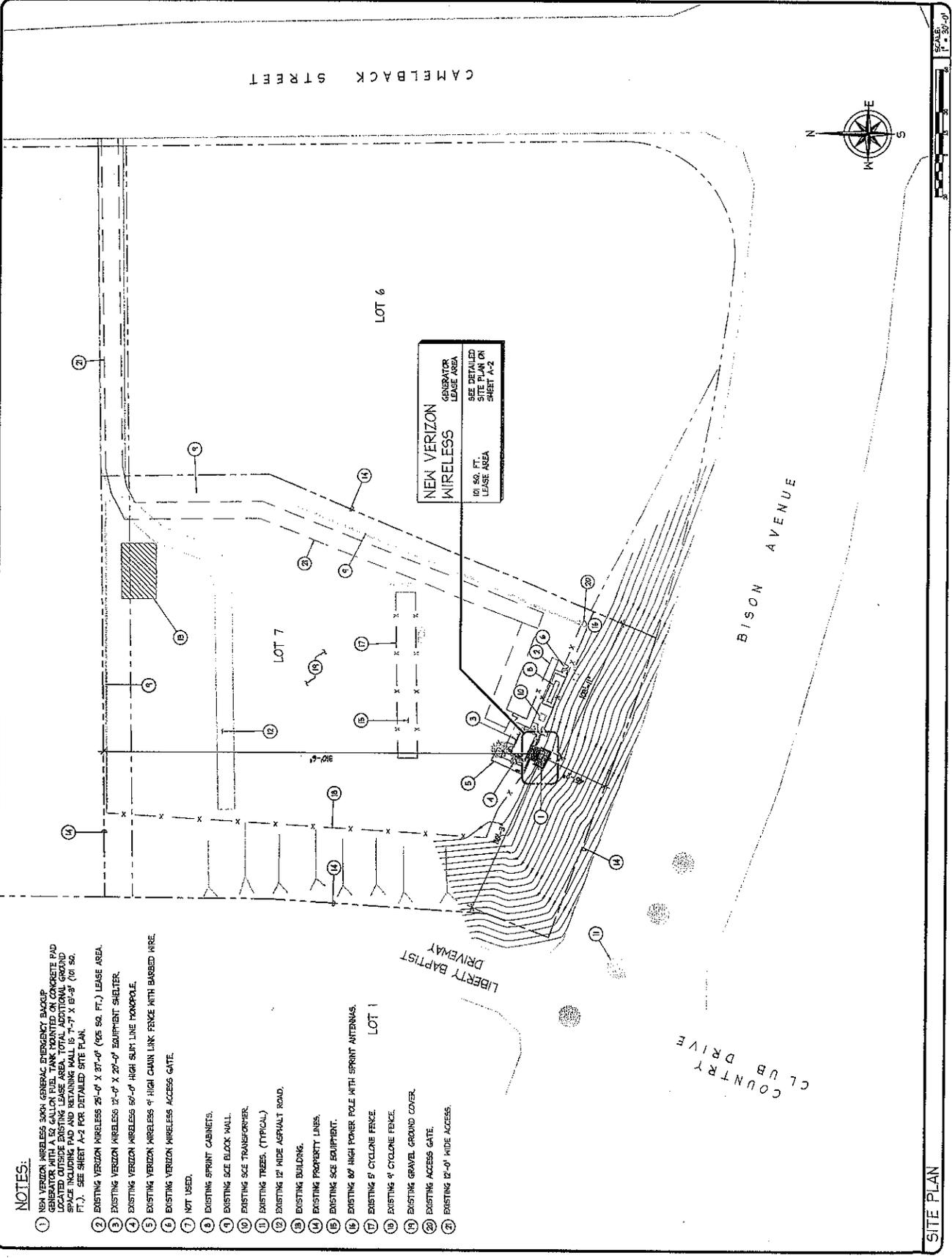
DWG. NAME: AI

DRAWN BY: JF

DATE: 11-21-08

SHEET NUMBER: 2 OF 4

A-1



- NOTES:**
1. NEW VERIZON WIRELESS 3000 GALLON EMERGENCY BAGGIP GENERATOR WITH A 52 GALLON FUEL TANK MOUNTED ON CONCRETE PAD. SEE SHEET A-2 FOR DETAILED INFORMATION ON THE GENERATOR AND THE 12' X 12' X 10' TYPICAL CONCRETE PAD AND SURROUNDING WALL. SEE SHEET A-2 FOR DETAILED SITE PLAN.
 2. EXISTING VERIZON WIRELESS 25'-0" X 37'-0" (96 SQ. FT.) LEASE AREA.
 3. EXISTING VERIZON WIRELESS 12'-0" X 20'-0" EQUIPMENT SHELTER.
 4. EXISTING VERIZON WIRELESS 60'-0" HIGH SLIM LINE MONOPOLE.
 5. EXISTING VERIZON WIRELESS 6' HIGH CHAIN LINK FENCE WITH BARBED WIRE.
 6. EXISTING VERIZON WIRELESS ACCESS GATE.
 7. NOT USED.
 8. EXISTING SPRINT CABINETS.
 9. EXISTING S&E BLOCK WALL.
 10. EXISTING S&E TRANSFORMER.
 11. EXISTING TREES (TYPICAL).
 12. EXISTING 12' WIDE ASPHALT ROAD.
 13. EXISTING BUILDING.
 14. EXISTING PROPERTY LINES.
 15. EXISTING S&E EQUIPMENT.
 16. EXISTING 80' HIGH POWER POLE WITH SPRINT ANTENNAS.
 17. EXISTING 6' CYCLOPE FENCE.
 18. EXISTING 6' CYCLOPE FENCE.
 19. EXISTING GRAVEL GROUND COVER.
 20. EXISTING ACCESS GATE.
 21. EXISTING 12'-0" WIDE ACCESS.

SITE PLAN

REV.	DATE	REVISION DESCRIPTION	ZONING SET
1	02-21-08		
2	02-21-08	CLIENT REVISION	
3	02-21-08	CLIENT REVISION	
4	02-25-08	CLIENT REVISION	

milestone wireless
 8641 ATLANTA AVENUE #504
 HUNTINGTON BEACH, CA 92646
 CONSULTANT

verizon wireless
 8535 SAND CANYON AVE.
 BUILDING 107 H. B. COX
 IRVINE, CA 92618
 PHONE (949) 286-7000
 SITE BUILDER

ACCO
 ARCHITECTS - INC.
 24770 ENTERPRISE WAY #600
 LAKE FOREST, CA 92650
 TEL: 949-716-9940
 FAX: 949-271-1785
 A/E DEVELOPMENT

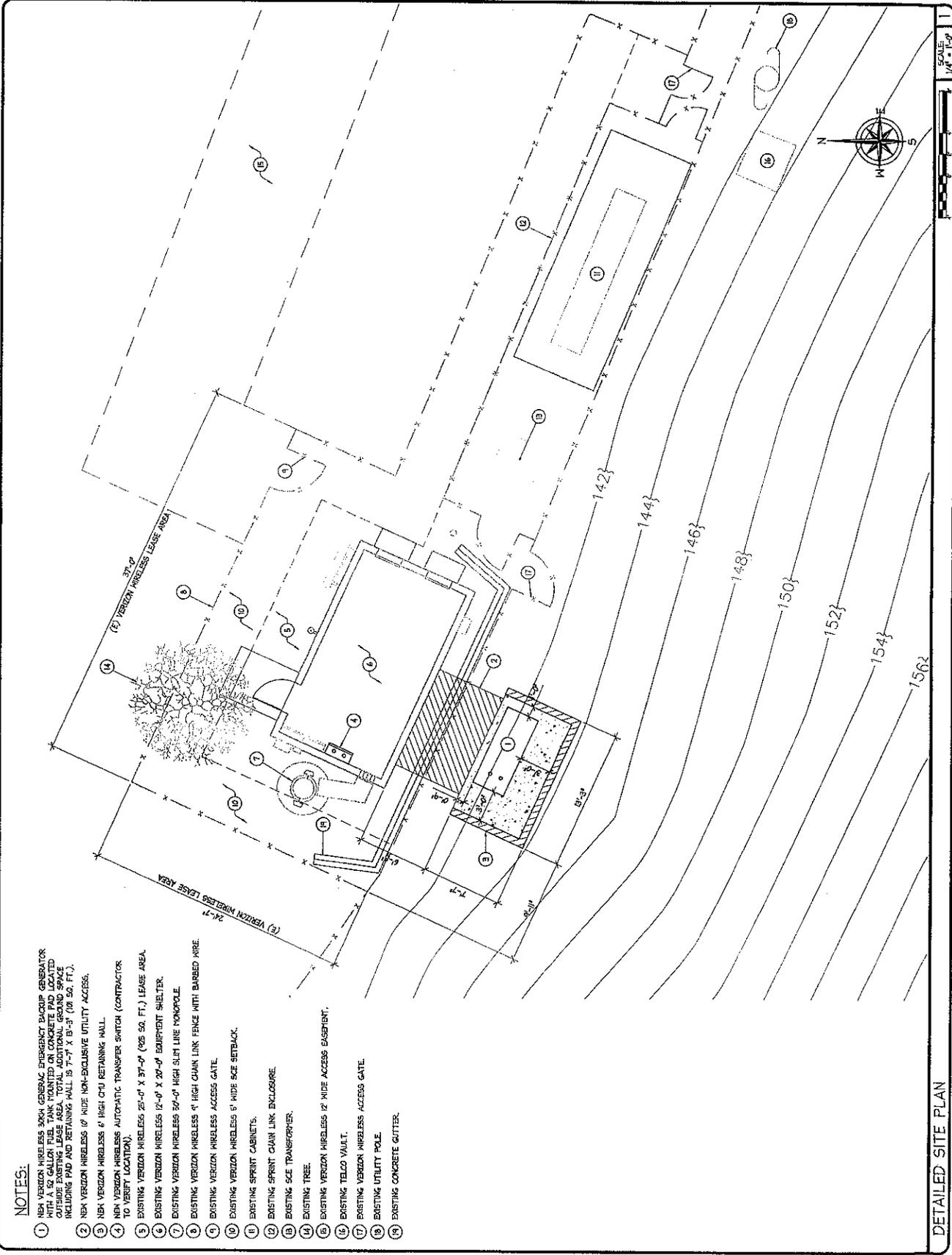
ENGINEER

SITE NAME: **BISON**
 McARTHUR SUBSTATION
 SITE ADDRESS: 1185 CAMELBACK STREET
 HUNTINGTON BEACH, CA 92640

SHEET TITLE:
DETAILED SITE PLAN

DWG. NAME: AZ
 DRAWING NO.: JT
 DATE: 11-21-08
 SHEET NUMBER:

3 OF 4 A-2



NOTES:

- 1 NEW VERIZON WIRELESS 300A GENERAC EMERGENCY BACKUP GENERATOR TO BE LOCATED WITHIN THE VERIZON WIRELESS LEASE AREA. PROVIDE OUTSIDE EXISTING LEASE AREA. TOTAL ADDITIONAL GRAVARD SPACE INCLUDING PAD AND RETAINING WALL IS 7'-7" X 8'-3" (OR 50. FT.).
- 2 NEW VERIZON WIRELESS 6" WIDE NON-EXCLUSIVE UTILITY ACCESS.
- 3 NEW VERIZON WIRELESS 6" HIGH CHU RETAINING WALL.
- 4 NEW VERIZON WIRELESS AUTOMATIC TRANSFER SWITCH (CONTRACTOR TO VERIFY LOCATION).
- 5 EXISTING VERIZON WIRELESS 25'-0" X 37'-0" (OR 50. FT.) LEASE AREA.
- 6 EXISTING VERIZON WIRELESS 12'-0" X 20'-0" EQUIPMENT SHELTER.
- 7 EXISTING VERIZON WIRELESS 50'-0" HIGH SLIT LINE MONOPOLE.
- 8 EXISTING VERIZON WIRELESS 9" HIGH CHAIN LINK FENCE WITH BARBED WIRE.
- 9 EXISTING VERIZON WIRELESS ACCESS GATE.
- 10 EXISTING VERIZON WIRELESS 6" WIDE SCE SETBACK.
- 11 EXISTING SPRINT CABINETS.
- 12 EXISTING SPRINT CHAIN LINK ENCLOSURE.
- 13 EXISTING SCE TRANSFORMER.
- 14 EXISTING TREE.
- 15 EXISTING VERIZON WIRELESS 12" WIDE ACCESS EASEMENT.
- 16 EXISTING TELCO VAULT.
- 17 EXISTING VERIZON WIRELESS ACCESS GATE.
- 18 EXISTING UTILITY POLE.
- 19 EXISTING CONCRETE GUTTER.

REV.	DATE/01	REVISION DESCRIPTION
1	12-14-06	ZONING SET
2	12-14-06	CLIENT REVISION
3	12-14-06	CLIENT REVISION
4	12-14-06	CLIENT REVISION

milestone
wireless

894 ATLANTA AVENUE #504
HUNTINGTON BEACH, CA 92646

SITE BUILDER

verizon wireless

1820 SAND CANYON AVE.
BUILDING 10 1st FLOOR
IRVINE, CA 92618
PHONE (949) 298-7000

ARE DEVELOPMENT

ACCO
ARCHITECTS • INC.

2670 ENTERPRISE WAY #400
LAKE FOREST, CA 92650
TEL: 949-716-9940
FAX: 949-257-4788

ENGINEER

ENGINEER

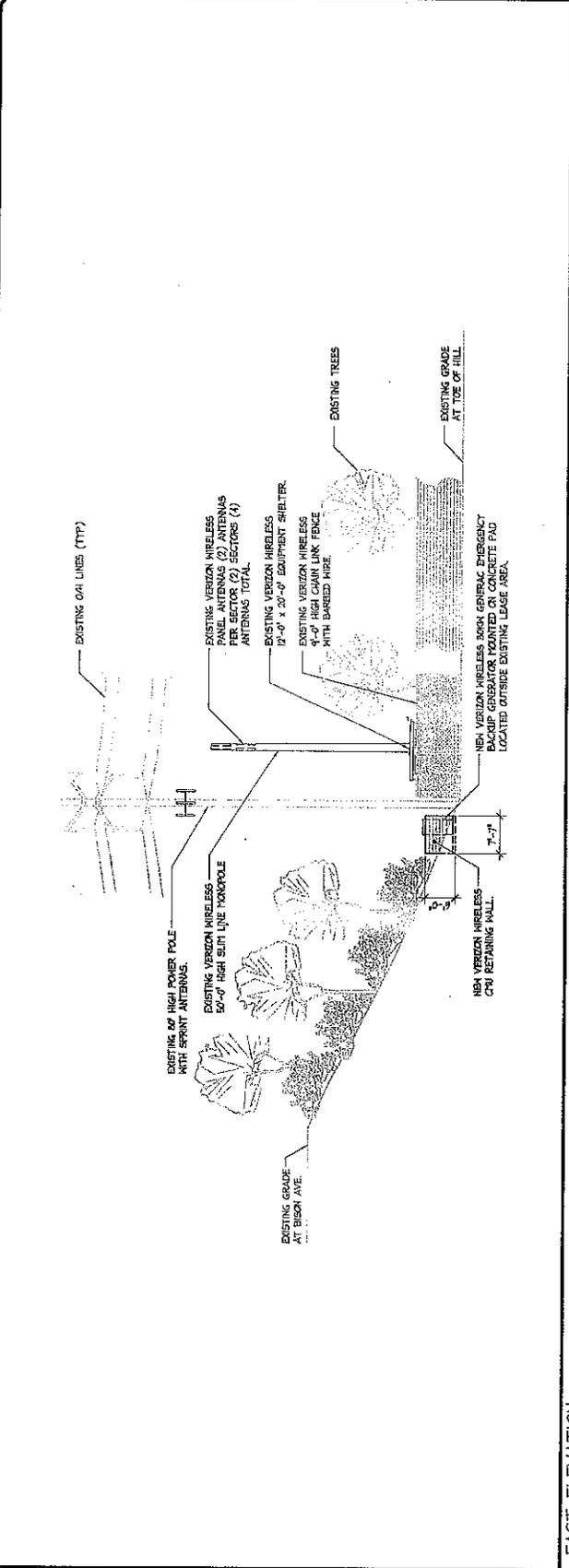
SITE NAME
BISON
McARTHUR SUBSTATION

SITE ADDRESS
185 CAMELBACK STREET
HUNTINGTON BEACH, CA 92646

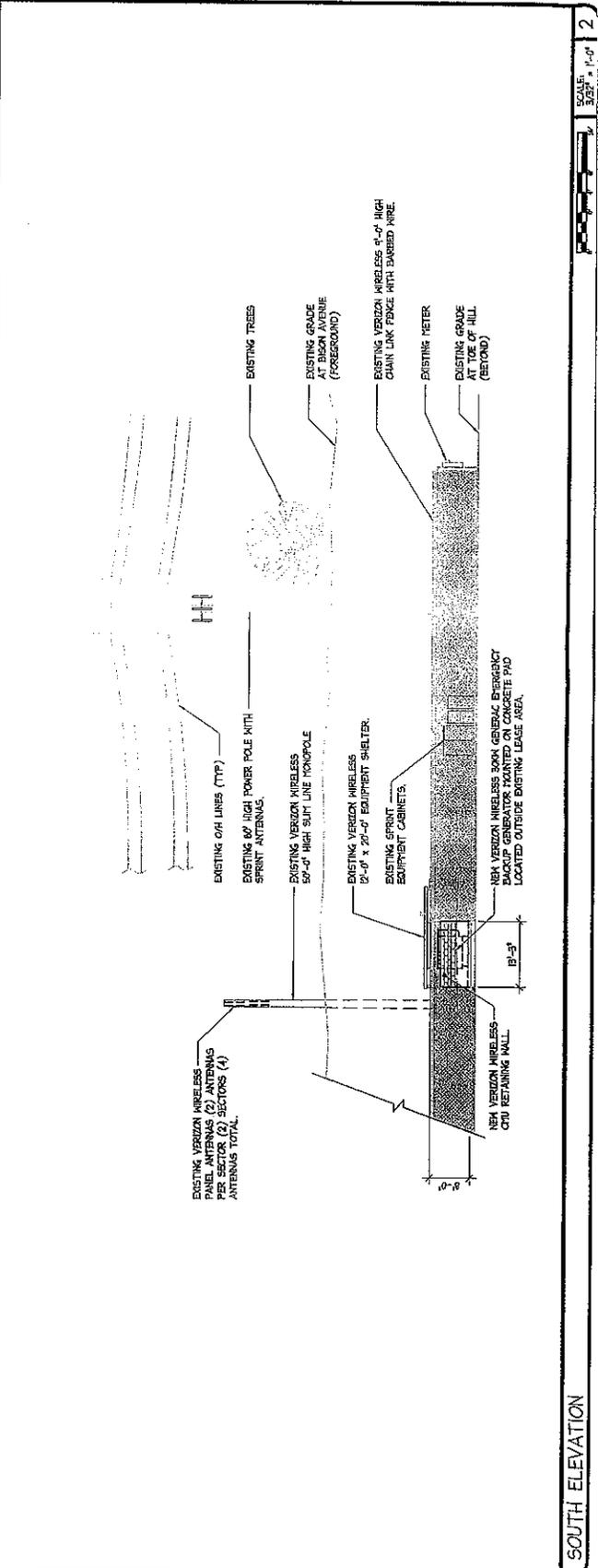
SHEET TITLE
ARCHITECTURAL ELEVATIONS

DWG. NAME	DATE
AS	11-09-06

4 OF 4 | A-3



EAST ELEVATION



SOUTH ELEVATION