

**City of Newport Beach
Planning Commission Minutes
October 8, 1998**

INDEX

**SUBJECT: Armstrong Garden Center (Timothy White, Applicant)
1500 East Coast Highway
• Use Permit No. 3641**

**Item No. 1
UP 3641**

Request to permit the construction of a 4,800 square foot commercial building and related accessory structures for a retail plant nursery and garden center. The application also includes a request to permit outdoor display and sales of trees, plants, flowers and related landscape accessories on a property located in the PC (Planned Community) District.

Commissioner Ridgeway requested to be recused from this item because of a possible conflict of interest.

Planning Director Temple stated there were no additional comments to the staff report. Ms. Temple noted the applicant has distributed (at the Planning Commission meeting) revised plans. Commissioner Fuller asked Ms. Temple if the parking was the same on both plans. Ms. Temple stated she requested the information from the applicant and he has indicated there are the same number of parking spaces as on the original site plan.

Public Comment was opened

Timothy White, applicant, stated that the drawings he submitted came as a result of the comments about the landscaping from the community at-large. Mr. White stated that staff planner Marc Myers suggested they reduce the depth of the parking stalls from 18 feet to 17 feet that would provide an additional 2 feet to the strip along Pacific Coast Highway. Mr. White stated that to make the site more efficient, they moved the building back to the property line and made an adjustment to the elevations of the building, but the size is basically the same, still a 60 foot by 80-foot structure. Mr. White stated they took the high prow of the building that was originally submitted on the short side (the high prow of the building would run parallel with Pacific Coast Highway) and rotated it to get this elevation to face Pacific Coast Highway. Mr. White stated they made some minor adjustments on the floor plan by relocating a couple of walls. He stated the changes are very cosmetic in terms of the building. Mr. White stated the building was designed in accord with received community input.

Val Skoro, of 1601 Bayview Terrace, president of Irvine Terrace Community Association and on the board of the Corona del Mar Residents Association, stated the community association did not feel the landscaping is good enough for the area, considering what the surrounding businesses are doing. Mr. Skoro stated the landscaping proposed by the Armstrong project is the worse in the area and feels the community deserves better. He stated he had a meeting with the architect and the architect agreed to soften the appearance. Mr. Skoro stated he feels more can be done. They have no

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disagreement with having the nursery there. Commissioner Fuller asked Mr. Skoro what exactly he would like to see there. Mr. Skoro stated he would like to see more trees and more ambiance.

Commissioner Fuller clarified that Mr. Skoro had no objections to the site plan itself but would like to see a better grade of landscaping. Mr. Skoro stated they would like to have the parking in the back but understands that is not possible.

Commissioner Ashley asked Mr. Skoro if he had an opportunity to review the staff report to the Planning Commission prepared by the Planning staff. Mr. Skoro stated that he had read the report. Commissioner Ashley asked Mr. Skoro if he noted that the staff had recommended there be improvements in the landscaping conditions that had been proposed and that the landscaping buffer any view of the parking lot from the highway and did he consider that an improvement. Mr. Skoro stated he did notice that in the report but did not have available to him the handout that was available this evening.

Commissioner Gifford asked Mr. Skoro if his association had taken a position on the general issue on aesthetics. Mr. Skoro stated he was speaking on behalf of the Irvine Terrace Community. Commissioner Gifford asked Mr. Skoro if this issue was discussed at a meeting and the board has taken a position to clarify in what capacity his comments were being offered. Mr. Skoro stated he was speaking only as the president. Mr. Skoro said he received the notice on Tuesday and did not have a chance to talk to the entire board.

Nancy Moran Sanchez of 306 Narcissus stated she is very pleased as a private resident of Corona del Mar that Armstrong purchased the nursery. Mrs. Sanchez stated she feels their plan fits in very well with the Balboa Bay Racquet Club and the Country Club and feels the front parking lots are not a problem. Mrs. Sanchez stated that Armstrong would continue to make the facility prettier than it is today and she supports the project.

Commissioner Fuller asked Mr. White regarding the access across the Country Club adjacent to Coast Highway, if it was a legal access or easement. Mr. White stated he did not think it was an easement but it was not something they were counting on. Planning Director Temple stated the access might be an informal arrangement related to access to the nursery site itself. She stated that, as an access way, it would be maintained since it is required for secondary fire access for the Villa Point community. Commissioner Fuller stated what is being said is that access will always be available to the nursery. Ms. Temple stated there is an emergency access there and unless there is a legal arrangement the Country Club could preclude the retail operator from using the property. Commissioner Fuller asked if that happened, would there be

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sufficient access for traffic circulation. Chairperson Selich asked Planning Director Temple if that is correct because the drawing in the staff report shows the Villa Point easement making a turn out towards the Coast Highway, not the Country Club. Planning Director Temple stated it was her understanding that the Villa Point was from the Clubhouse Drive but could be in error on that. Transportation and Development Services Manager Edmonston stated the site plan that is shown with the two driveways would provide adequate access. Mr. Edmonston stated that his recollection is the same as Planning Director Temple's with regard to access to Villa Point. Commissioner Fuller asked if the access to the east was walled off, would the on-site circulation be adequate. Mr. Edmonston stated that it would be adequate.

Commissioner Fuller asked Mr. White if there is an opportunity to increase the landscaping. Mr. White stated yes there is. Mr. White stated by relocating the trash and delivery and utilizing the space taken up by the easement, they were able to maintain the number of parking spaces and increase the amount of landscaping. Mr. White stated that his client would not want to go below 45 parking spaces. Mr. White stated there is opportunity to do a little more and what they have provided is where they would like to go but they are open to suggestions and are willing to work with everybody.

Commissioner Fuller asked Planning Director Temple how this is quantified. Planning Director Temple stated the main area where some additional vertical critical elements could occur would be in the landscape strip between the parking and the display areas. Ms. Temple stated they could continue to work with the applicant to optimize the amount of landscaping in the parking lot.

Chairperson Selich asked Mr. White if they could move all the parking so the curb ends behind the trash enclosure and take that additional area and put in landscaping. Mr. White stated that a typical outdoor Armstrong garden center has a minimum of 30,000 square feet of outdoor display areas, and that is based on years of providing different types of plants. Mr. White noted in this area there is a huge requirement for a variety of species. He stated by pushing and squeezing the outdoor area out it would reduce their ability to provide the community with the variety it demands. Mr. White stated that they would like to look at reducing the number of cars as an alternative. Chairperson Selich asked how many square feet of display area they would be losing if they added additional landscaping between the parking lot and display area. Mr. White stated they would lose about 2400 square feet.

Public comments were closed.

Motion was made by Commissioner Ashley to approve Use Permit No. 3641 with the findings and conditions in Exhibit A, subject to conditions that have been provided by Planning staff. Commissioner Ashley stated he feels confident that working with General Services, the Planning Department can come up with a

landscaping as provided in the exhibit that will satisfy the people of Newport Beach.

Ayes: Fuller, Ashley, Selich, Gifford, , Kranzley
Noes: None
Absent: None
Abstain: Adams
Recused: Ridgeway

EXHIBIT "A"
FINDINGS AND CONDITIONS OF APPROVAL FOR
Use Permit No. 3641

Findings:

1. The proposed development is consistent with the General Plan. The site is designated Retail Service Commercial, and a nursery is permitted within this designation.
2. The project has been reviewed, and it has been determined that it is categorically exempt from the requirements of the California Environmental Quality Act under Class 2 (Replacement or Reconstruction).
3. The approval of Use Permit No. 3641 will not, under the circumstances of the case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood or be detrimental or injurious to property or improvements in the neighborhood or the general welfare of the City, and further, that the project is consistent with the legislative intent of Title 20 of this Code for the following reasons:
 - Adequate on-site parking is available for the existing and proposed uses.
 - Adequate access to the site is provided.
 - Conditions of approval have been included to control site lighting.
 - The design of the proposed improvements will not conflict with any easements acquired by the public at large for access through or use of property within the proposed development.
 - The nursery use functions primarily during daytime hours.
 - The increased landscape area along the Coast Highway property line, required as a condition of approval, will enhance the streetscape view of the property.
 - The existing large trees and landscape along the perimeter of the site will be kept and maintained in place and will provide a

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- buffer to the adjacent residential use.
The site design with the building set back from the front property line reduces the presence of mass along Coast Highway.

Conditions:

1. Development shall be in substantial conformance with the approved site plan, floor plan and elevations, except as noted below.
2. A minimum of 38 parking spaces shall be provided on site.
3. The hours of operation shall be limited to 9:00 a.m. to 7:00 p.m., daily.
4. All employees shall park on-site.
5. The applicant shall submit a landscape plan to be reviewed and approved by the Public Works, General Services and Planning Departments prior to the issuance of Building Permits. The perimeter property line of the parking lot shall be appropriately landscaped with bushes and shrubs to obscure the direct view of the parking lot. The landscaping shall be installed to the satisfaction of the Planning Department prior to the issuance of a Certificate of Occupancy. The entire site, including the landscaped areas shall be maintained in a clean and orderly manner.
6. All trash areas shall be screened from adjoining properties and streets.
7. No outdoor speaker or paging system shall be permitted in conjunction with the proposed operation.
8. The applicant shall submit a detailed lighting plan to the Planning Department for approval which demonstrates that the exterior lighting system has been designed and directed in such a manner as to conceal the light source and to minimize light spillage and glare to adjacent properties. The applicant shall provide to the Planning Department, in conjunction with the lighting system plan, light fixture product types and technical specifications, including photometric information, to determine the extent of the light spillage or glare that can be anticipated. A timing device shall be installed to turn off the parking lot lighting at 7:30 p.m., every night. The timing feature shall be incorporated into a lighting plan prepared and signed by a licensed Electrical Engineer. Prior to the issuance of building permits, this plan shall be approved by the Planning Department and shall be made part of the building set of plans for issuance of the final approvals. Prior to the issuance of a Certificate of Occupancy, the applicant shall schedule an evening inspection by the Code Enforcement Division to confirm control of light and glare specified by the plans and in this condition of approval.

Standard Requirements

1. The project shall comply with State Disabled Access requirements.
2. All improvements shall be constructed as required by Ordinance and the Public Works Department.
3. All signs shall conform to the provisions of Chapter 20.06 of the Municipal Code.
4. The proposed facility and related parking shall conform to the requirements of the Uniform Building Code.
5. The on-site parking, vehicular circulation and pedestrian circulation systems shall be subject to further review by the City Traffic Engineer.
6. Coastal Commission approval shall be obtained prior to issuance of any building permits.
7. The Planning Commission may add to or modify conditions of approval to this Use Permit or recommend to the City Council the revocation of this Use Permit, upon a determination that the operation which is the subject of this Use Permit, causes injury, or is detrimental to the health, safety, peace, morals, comfort, or general welfare of the community.
8. This Use Permit shall expire unless exercised within 24 months from the date of approval as specified in Section 20.80.090A of the Newport Beach Municipal Code.

SUBJECT: **Katz Residence (Rolly Pulaski, applicant)**
 1006 Park Avenue
 • **Variance No. 1225**

Item No. 2
V 1225

Request to permit the construction of a new single family dwelling which exceeds the allowable 1.5 times the buildable area of the site. The proposal includes a modification to the Zoning Code for the following encroachments into setbacks:

- 15 feet into the required 20 foot front yard setback on Park Avenue
- 7 feet into the required 10 foot rear yard setback
- 1 foot 6 inches into the required 4 foot side yard setback at the alley, with a portion of the second floor living area located over the garage



CITY OF NEWPORT BEACH
COMMUNITY and ECONOMIC DEVELOPMENT
PLANNING DEPARTMENT
3300 NEWPORT BOULEVARD
NEWPORT BEACH, CA 92658
(949) 644-3200; FAX (949) 644-3250

Hearing Date:	October 8, 1998
Agenda Item No.:	1
Staff Person:	Marc Myers (949) 644-3210
Appeal Period:	14 days

REPORT TO THE PLANNING COMMISSION

PROJECT: Armstrong Garden Center (Timothy White, Applicant)
1500 East Coast Highway

PURPOSE OF APPLICATION: Request to permit the construction of a 4,800 square foot commercial building and related accessory structures for a retail plant nursery and garden center. The application also includes a request to permit outdoor display and sales of trees, plants, flowers and related landscape accessories on a property located in the PC (Planned Community) District.

ACTION: Approve, modify or deny:

- *Use Permit No. 3641*

LEGAL

DESCRIPTION: Lot 1, Tract 11937

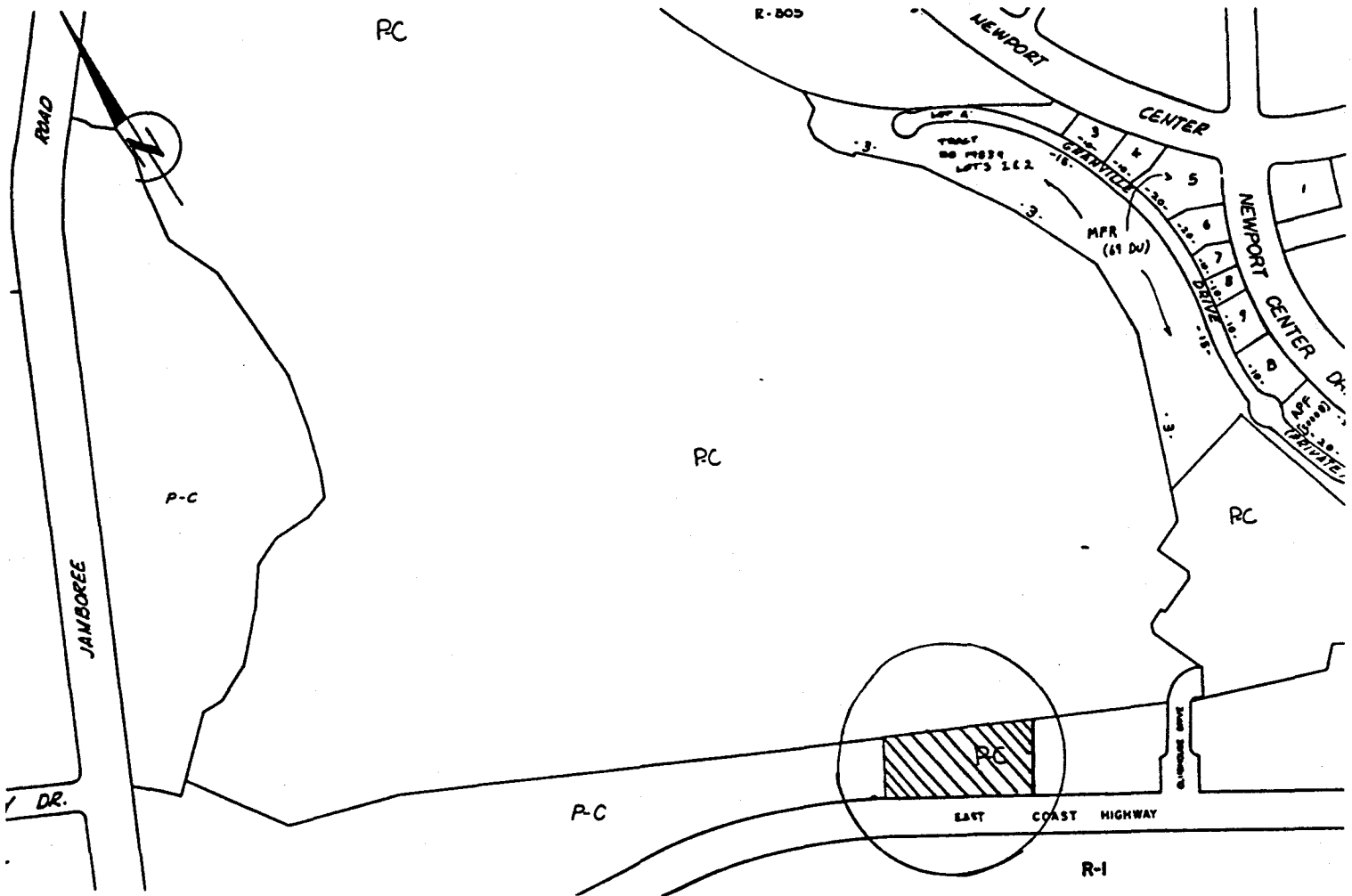
ZONE: PC (Planned Community)

OWNER: Arnold D. Feuerstein and Allan Fainbarg, Anaheim

Points and Authority

- Conformance with the General Plan and the Local Coastal Program
The Land Use Element of the General Plan and the Local Coastal Program Land Use Plan designate the site for "Retail and Service Commercial" uses. The Land Use Element allocates the site a maximum of 5,000 square feet for retail commercial land use only. A retail garden nursery is a permitted use within this designation.
- Environmental Compliance (California Environmental Quality Act)
It has been determined that the project is categorically exempt under Class 2 (Replacement or Reconstruction).
- Use permit procedures and requirements are set forth in Chapters 20.91 of the Municipal Code.

VICINITY MAP



Use Permit No. 3641¹

¹ Subject Property and Surrounding Land Uses

Current Development:	Is the existing Armstrong Nursery and retail ornamental landscape garden center.
To the north:	Is the Newport Beach Country Club golf course.
To the east:	Are the Villa Point Residential Condominiums.
To the south:	Across East Coast Highway is the Irvine Terrace Residential Community.
To the west:	Is the parking lot for the Newport Beach Country club golf course.

Project Operational Characteristics Table

	Proposed Operation	Existing Operation
Hours:	9:00 a.m. to 7:00 p.m., daily	9:00 a.m. to 7:00 p.m., daily
Site Land Area:	48,482 sq. ft.	48,482 sq. ft.
Gross Bldg Area:	4,800 sq. ft.	3,000 sq. ft.
Exterior display area under trellis	5,360 sq. ft.	5,400 sq. ft.
Exterior display area:	17,645 sq. ft.	20,000 sq. ft.
TOTAL:	27,805 sq. ft.	28,400 sq. ft.
Required Parking: <i>(1 sp./1,000 sq. ft. of lot area for the first 10,000 sq. ft.; 1/5,000 sq. ft thereafter plus 1/250 sq. ft. of floor area)³</i>	38 spaces	30 spaces ²
Parking Provided:	48 spaces	35 spaces

Analysis

The proposal involves the demolition of the existing nursery buildings and construction of a new building and related accessory structures including a trellis and a gazebo for retail sales of landscape and garden materials. The proposal includes outdoor display and sales of trees, plants, flowers and related landscape and garden accessories. The proposed building is a 30 foot tall, rectangular shaped building. The building resembles a traditional style, single story barn design with a taller loft area and cupola that runs down the center portion of the structure. The trellis structure is approximately 10 feet tall and is attached to the main building on the sides and in the front. In addition, a 14 foot diameter, 15 foot high gazebo structure will be constructed as a display feature in the outdoor area.

At the time the existing building was constructed and the use was established, the site was in the "Unclassified" District. Consistent with the requirements of the Municipal Code in effect at the time, a Use Permit was approved to permit the development. The site is now zoned PC (Planned Community). Chapter 20.35 (Planned Community District) requires a use permit where existing land uses have been established by a use permit prior to the adoption of a PC District and the use is to be retained. Further, the new use permit shall constitute the development plan required by that chapter.

The issues raised by this application and analyzed by staff in this report are the following:

² Based on current Code requirement, original Use Permit had no specific parking requirement

³ Chapter 20.66 parking requirement for nurseries.

- Vehicular Access
- Outdoor Sales and Display
- Exterior Lighting
- Landscaping

Vehicular Access

The proposed on-site circulation for the garden center is illustrated on the site plan. Two separate access points provide the ingress/egress to the site directly from Coast Highway. There is a secondary access point from a private driveway adjacent to the Newport Beach Country Club parking lot which extends to the site from Clubhouse Drive, which is the primary access to the country club and the Balboa Bay Tennis Club. Additionally, there is 20 foot wide emergency access easement across the subject property to the Villa Point residential community. The easement has been maintained free and clear of any obstructions.

The proposed vehicular access to the site has been reviewed by the Traffic Engineer, and is considered adequate for the facility. Additionally, since the private street is a secondary access point to the subject facility and due to the relatively light nature of the existing traffic, no significant conflicts are anticipated.

Outdoor Sales and Display

The outdoor display area will consist primarily of potted plants, trees, shrubs and flowers, but will also have various complementary items including, but not limited to, hand-crafted pottery, garden furniture, fountains, arbors, gardening accessories, houseplants and garden tools and supplies. The applicant has indicated that the live plant merchandise will be stored in pots and organized by species throughout the outdoor display area. The fertilizer material available will be stored and sold in the bags or boxes prepared by the manufacturer only and not kept in open bins. As shown on the site plan, the outdoor area will be displayed in an orderly manner and accessible from concrete walkways. The entire exterior sales and display area and the main building will be enclosed behind an 8 foot high open wrought iron fence for security purposes.

Outdoor sales and display is an integral part of the nursery business due to the nature of the merchandise. Since the outdoor sales and display area will be installed in an orderly manner, and limited to items associated with a garden center nursery, no significant impacts are anticipated.

Exterior Lighting

The applicant has indicated that the outdoor display area will have site lighting provided by low profile landscaping type fixtures. The fixtures will be provided primarily to accentuate the detailed perimeter landscaping that the owner will develop to complement the merchandise. Typical lighting used to enhance landscaping includes walk-way lights and focused spot lights. Since

these types of fixtures shield and focus the direction of the light towards a specific landscape feature, or run along a walkway, adverse impacts are not anticipated. Additionally, there are large trees at the perimeter of the property which will minimize impacts on the residential uses in the vicinity. Also, the business typically does not operate beyond daylight hours, so the need for exterior lighting will be minimal. However, since residential uses are adjacent to the subject property, staff has included a condition of approval to help ensure the lighting will be designed and operated with minimal lighting impacts on the adjacent residential uses. Some requirements of the lighting system include a limited number of light standards, low profile light fixture product types, shielded light sources and an automatic timing device to turn the lighting system on and off at regular times on a daily basis.

Landscaping

The site plan submitted does not show additional landscaping along Coast Highway other than what is existing. Since the adjacent residential condominium project provides extensive streetside landscaping along Coast Highway, and because the nursery building is set back from the street 86 feet and the parking lot is adjacent to Coast Highway, additional landscaping would provide a buffer between the street and the parking lot. This would be in closer keeping with the landscaping of the adjacent residential project. As shown on the proposed site plan, a depth of 18 feet has been provided for the required parking spaces on both sides of the center aisle. Since 17 feet is the minimum depth required, an additional 2 feet of landscaped area (1 foot from each side of the double loaded aisle) can be gained along the street frontage in addition to the strip of landscape area that is existing. To ensure that this buffer is provided in a manner consistent with the City's sight distance regulations, and maintained in a neat and orderly fashion, staff has included a condition of approval which reflects these requirements. Additionally, the applicant has indicated the existing large trees and landscaping at the perimeter of the site will be kept and maintained in place. This landscaping will provide a buffer for the adjacent uses as well as create a more aesthetically pleasing site.

Recommendations

Section 20.91.035 of the Newport Beach Municipal Code provides that in order to grant any use permit, the Planning Commission shall find that the establishment, maintenance or operation of the use or building applied for will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City.

In this particular case, based upon the analysis contained in this report, staff is of the opinion that the findings for approval of the use permit can be made for the retail garden center nursery. The Traffic Engineer has determined that site access is adequate. Because of the site's existing location along Coast Highway with a block wall and landscaping separating it from nearby residential uses, there is little potential for impacts on the residential uses from the operation of the retail garden center. The generous setback of the new building from Coast Highway and the landscaping to be

provided along the street frontage creates a buffer along the street. Finally, the recommended conditions of approval, which include restrictions on the hours of operation, exterior lighting, outdoor paging and speaker systems, and landscape buffers should control impacts on neighboring properties and residential uses in the vicinity.

Should the Planning Commission wish to approve Use Permit No. 3641, the findings and conditions of approval set forth in the attached Exhibit "A" are suggested.

Staff cannot reasonably conceive of findings for denial since the nursery use, in this particular case, conforms to the requirements of the Title 20 of the Municipal Code and does not appear to have any detrimental effect on the surrounding neighborhood. However, should information be presented at the public hearing which would warrant the denial of this application, the Planning Commission may wish to take such action.

Submitted by:
PATRICIA L. TEMPLE
Planning Director



Prepared by:
MARC W. MYERS
Associate Planner



Attachments: Exhibit "A"
 Letter of Justification
 Site Plan, Floor Plan and Elevations

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EXHIBIT "A"
FINDINGS AND CONDITIONS OF APPROVAL FOR
Use Permit No. 3641

Findings:

1. The proposed development is consistent with the General Plan. The site is designated Retail Service Commercial, and a nursery is permitted within this designation.
2. The project has been reviewed, and it has been determined that it is categorically exempt from the requirements of the California Environmental Quality Act under Class 2 (Replacement or Reconstruction).
3. The approval of Use Permit No. 3641 will not, under the circumstances of the case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood or be detrimental or injurious to property or improvements in the neighborhood or the general welfare of the City, and further, that the project is consistent with the legislative intent of Title 20 of this Code for the following reasons:
 - Adequate on-site parking is available for the existing and proposed uses.
 - Adequate access to the site is provided.
 - Conditions of approval have been included to control site lighting.
 - The design of the proposed improvements will not conflict with any easements acquired by the public at large for access through or use of property within the proposed development.
 - The nursery use functions primarily during daytime hours.
 - The increased landscape area along the Coast Highway property line, required as a condition of approval, will enhance the streetscape view of the property.
 - The existing large trees and landscape along the perimeter of the site will be kept and maintained in place and will provide a buffer to the adjacent residential use.
 - The site design with the building set back from the front property line reduces the presence of mass along Coast Highway.

Conditions:

1. Development shall be in substantial conformance with the approved site plan, floor plan and elevations, except as noted below.
2. A minimum of 38 parking spaces shall be provided on site.
3. The hours of operation shall be limited to 9:00 a.m. to 7:00 p.m., daily.
4. All employees shall park on-site.

5. The applicant shall submit a landscape plan to be reviewed and approved by the Public Works, General Services and Planning Departments prior to the issuance of Building Permits. The perimeter property line of the parking lot shall be appropriately landscaped with bushes and shrubs to obscure the direct view of the parking lot. The landscaping shall be installed to the satisfaction of the Planning Department prior to the issuance of a Certificate of Occupancy. The entire site, including the landscaped areas shall be maintained in a clean and orderly manner.
6. All trash areas shall be screened from adjoining properties and streets.
7. No outdoor speaker or paging system shall be permitted in conjunction with the proposed operation.
8. The applicant shall submit a detailed lighting plan to the Planning Department for approval which demonstrates that the exterior lighting system has been designed and directed in such a manner as to conceal the light source and to minimize light spillage and glare to adjacent properties. The applicant shall provide to the Planning Department, in conjunction with the lighting system plan, light fixture product types and technical specifications, including photometric information, to determine the extent of the light spillage or glare that can be anticipated. A timing device shall be installed to turn off the parking lot lighting at 7:30 p.m., every night. The timing feature shall be incorporated into a lighting plan prepared and signed by a licensed Electrical Engineer. Prior to the issuance of building permits, this plan shall be approved by the Planning Department and shall be made part of the building set of plans for issuance of the final approvals. Prior to the issuance of a Certificate of Occupancy, the applicant shall schedule an evening inspection by the Code Enforcement Division to confirm control of light and glare specified by the plans and in this condition of approval.

Standard Requirements

1. The project shall comply with State Disabled Access requirements.
2. All improvements shall be constructed as required by Ordinance and the Public Works Department.
3. All signs shall conform to the provisions of Chapter 20.06 of the Municipal Code.
4. The proposed facility and related parking shall conform to the requirements of the Uniform Building Code.
5. The on-site parking, vehicular circulation and pedestrian circulation systems shall be subject to further review by the City Traffic Engineer.
6. Coastal Commission approval shall be obtained prior to issuance of any building permits.

7. The Planning Commission may add to or modify conditions of approval to this Use Permit or recommend to the City Council the revocation of this Use Permit, upon a determination that the operation which is the subject of this Use Permit, causes injury, or is detrimental to the health, safety, peace, morals, comfort, or general welfare of the community.
8. This Use Permit shall expire unless exercised within 24 months from the date of approval as specified in Section 20.80.090A of the Newport Beach Municipal Code.

August 14, 1998

TIMOTHY F. WHITE, ARCHITECT
18240 shamrock street fontana, calif. 92336
tele 909 355 2905 fax 909 355 2905

Justification Statement

The following shall serve as justification for the attached Land Use Application regarding the demolition and reconstruction of the Armstrong Garden Center at 1500 East Coast Highway in the City of Newport Beach, CA:

1. The Armstrong Garden Center will continue creation of an attractive retail development in an important area of the city. The new facility will replace a set of deteriorating structures at the existing garden center, eliminating the possibility of any future structural failures.
2. This property has an existing zoning designation of PC (Planned Community). The Armstrong Garden Center falls within the list of accepted uses within this zone.
3. Construction of the Armstrong Garden Center on this property will provide additional on site parking in an effort to relieve the pressures felt during peak times of the year and prevent any possible desire for customers to park on Coast Highway.
4. The Armstrong Garden Center is needed in the community to continue to supply goods and services which are not currently available in the immediate vicinity, and the new facility will set the standard for this type of retail setting.
5. The Armstrong Garden Center will provide additional revenues to the city in the form of an increased source of sales tax in the event that sales at the new facility meet current projections.

DESIGN

AWARENESS

LEADERSHIP

VISION

CRAFTSMANSHIP



CITY OF NEWPORT BEACH
COMMUNITY AND ECONOMIC DEVELOPMENT
PLANNING DEPARTMENT

3300 NEWPORT BOULEVARD
NEWPORT BEACH, CA 92658
(714) 644-3200; FAX (714) 644-3250

Application:

- Use Permit No. UP 3641
- Planning Director's Use Permit No. _____
- G.P.A./Amendment No. _____
- Variance No. _____
- _____
- _____

PART I: Cover Page

Project Common Name (if applicable): ARMSTRONG GARDEN CENTER

FEES: 1868⁰⁰
1765.00

APPLICANT (Print): <u>TIMOTHY F. WHITE</u>	CONTACT PERSON (if different):
Mailing Address: <u>18240 SHAMROCK ST.</u> <u>FONTANA, CA 92336</u>	Mailing Address:
Phone: (909) 355-2905 Fax: () SAME	Phone: () Fax: ()

Property Owner (if different from above):
ARNOLD D. FEUERSTEIN & ALAN FAINBARG c/o ARNOLD CONSTRUCTION
Mailing Address: 2293 WEST BAW ROAD
ANAHEIM, CA 92804
Phone: (714) 774-9350 **Fax:** (714) 774-1701

PROJECT ADDRESS: 1500 EAST COAST HIGHWAY, NEWPORT BEACH, CA

Project Description (describe briefly) DEMOLITION OF EXISTING STRUCTURES FOR
CONSTRUCTION OF NEW BUILDING, TRELLIS, AND ADDITIONAL PARKING

Variances

For Variances - Required Findings:

- That there are exceptional or extraordinary circumstances applying to the land, building or use referred to in the application, which circumstances or conditions do not apply generally to land, buildings and/or uses in the same district.
- That the granting of the application is necessary for the preservation and enjoyment of substantial property rights of the applicant.

3. That the granting of the application is consistent with the purposes of this code and will not constitute a grant of special privilege inconsistent with the limitations on other properties in the vicinity and in the same zoning district.
4. That the granting of such application will not, under the circumstances of the particular case, materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicant and will not under the circumstances of the particular case be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

To aid staff in determining that the finding can be made in this particular case please answer the following questions with regard to your request. (Please attach on separate sheet, if necessary.)

1. What exceptional circumstances apply to the property, building, or use? THERE ARE NO
EXCEPTIONAL CIRCUMSTANCES

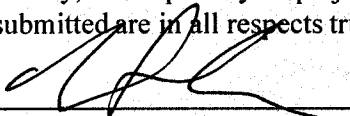
2. Why is a variance necessary to preserve property rights? _____

3. Why will proposal not be detrimental to the neighborhood? ADDITIONAL PARKING SHALL BE
PROVIDED ELIMINATING ANY DESIRE FOR CUSTOMERS TO PARK ON
COAST HIGHWAY, AND THE ENTIRE SITE WILL BE REHABILITATED IMPROVING
THE APPEARANCE OF THE NEIGHBORHOOD.

PROPERTY OWNER'S AFFIDAVIT

(I) (We) TIMOTHY F. WHITE, AIA depose and say that (I am) (we are) the owner(s) of the property(ies) involved in this application. (I) (We) further certify, under penalty of perjury, that the foregoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of (my) (our) knowledge and belief.

Signature(s)


8.14.98

NOTE: An agent may sign for the owner if written authorization from the record owner is filed with the application.

PART II: Project Data Sheet

Project Common Name: ARMSTRONG GARDEN CENTER	Application Number(s):
Project Address/Location: 1500 E. COAST HWY. NEWPORT BEACH, CA 92660	Assessors Parcel Number(s): 442-441-01
Legal Description (Attach on separate sheet, if necessary): Lot 1, Tract 11937	
Existing Land Use: RETAIL NURSERY	Proposed Land Use: RETAIL NURSERY
Zoning District: PC RETAIL AND SERVICE COMMERCIAL (REC) →	Land Use Designation:

	Existing Development	Proposed Development	Zoning Code Requirement
Lot Area (sf)	48482 SF.		
Lot Width (ft)	300' +/-		
Lot Depth (ft)	160' +/-		
Setback Yards			
Front (ft)	38'	86'	0
WEST Side (ft)	128'	110'	5'
EAST Side (ft)	62'	110'	0
Rear (ft)	78'	10'	0
Gross Floor Area (sf)	2400 SF.	4800 SF.	5000 SF. MAX
Floor Area Ratio	.049	.099	.103
Building Coverage (%)	4.9%	9.9%	10.3%
Building Height (ft)	20'	30'	32' MAX
Landscaping (%)	24%	27%	
Paving (%)	56%	60%	N/A
Parking	35	48	28
Number of Employees	10	10	
Number of seats	N/A		
Dwelling Units	N/A		

DO NOT COMPLETE APPLICATION BELOW THIS LINE

FOR PLANNING DEPARTMENT USE ONLY:

Indicate Previous Modifications, Use Permits, Specialty Food Service Permits, etc. _____

General Plan Designation: _____ Zoning District: _____ Coastal Zone: YES or NO

Date Filed: 8/14/98 Fee Pd: \$1868.00 Receipt No: R160714

Date Deemed Complete: 9-14-98 Hearing Date: 10-8-98

Posting Date: 9-25-98 Mailing Date: 9-25-98

Modifications Committee Action _____

Planning Director Action _____

Date _____

Appeal _____

P.C. Hearing 10/8/98

P.C. Action Cond. Approved

Date _____

Appeal _____

C.C. Hearing _____

C.C. Action _____

PAID
AUG 14 1998
CITY OF NEWPORT BEACH

SENT BY:

8- 3-98 ; 2:24PM ;

919093552905;# 5/ 5

**EXHIBIT "A" TO GROUND LEASE
LEGAL DESCRIPTION OF PREMISES**

Lot 1 of Tract No. 11937, in the City of Newport Beach, County of Orange, State of California, as shown on a map recorded in Book 656, Pages 24 through 29, inclusive, of miscellaneous maps, in the office of the County Recorder of Orange County, California, and as corrected by that Tract or Parcel Map Certificate of Correction recorded February 5, 1991 as Instrument No. 91-052940 of Official Records.



CITY OF NEWPORT BEACH

P.O. BOX 1768, NEWPORT BEACH, CA 92658-8915
PLANNING DEPARTMENT (949) 644-3200

13250

September 14, 1998

Armstrong Garden Center
Timothy F. White
18240 Shamrock Street
Fontana, CA 92336

Subject: 1500 East Coast Highway

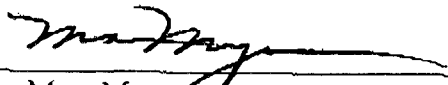
Dear Mr. White:

Your application for the above referenced project has been deemed complete by the Planning Department. The public hearing for this case is set for October 8, 1998, and a public notice will be sent to you in the mail. For your information, the meeting commences at 7:00 p.m. and is located in the Council Chambers.

Should you have any questions or need assistance in the meantime, please do hesitate to contact me.

Sincerely,

By


Marc Myers
Associate Planner

cc:

Arnold D. Feverstein and Allan Fainburg
% Arnold Construction
2293 West Ball Road
Anaheim, CA 92804

MARC,

THANK YOU FOR YOUR HELP.
I MOVED RECENTLY, SO PLEASE
USE THE ATTACHED INFORMATION
FOR ANY FURTHER CORRESPONDENCE.

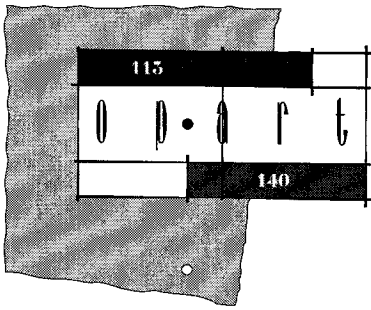
SINCELEFT



TIMOTHY F. WHITE, AIA
OP-ART

3300 Newport Boulevard, Newport Beach

August 13, 1998



TIMOTHY F. WHITE, ARCHITECT
18240 shamrock street fontana, calif. 92336
tele 909 355 2905 fax 909 355 2905

City of Newport Beach

3300 Newport Blvd.
Newport Beach, CA 92658
714 / 644 3400

To whom it may concern,

This letter shall serve as evidence that the property owner of 1500 East Coast Highway in Newport Beach, leased by Armstrong Garden Centers, assign Timothy F. White, AIA as their agent on issues relating to the demolition and reconstruction of buildings on the subject property during the approval process.

Owner information:

Arnold D. Feuerstein & Allan Fainbarg c/o Arnold Construction
2293 West Ball Road
Anaheim, CA 92804
Tele: 714 / 774 9350
Fax: 714 / 774 1701

DESIGN

Arnold D. Feuerstein

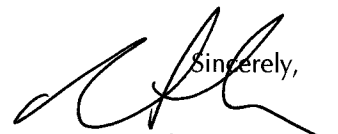
AWARENESS

Allan Fainbarg

LEADERSHIP

VISION

CRAFTSMANSHIP


Sincerely,
Timothy F. White

August 13, 1998



TIMOTHY F. WHITE, ARCHITECT
18240 shamrock street fontana, calif 92336
tele 909 353 2905 fax 909 358 2905

City of Newport Beach
3300 Newport Blvd.
Newport Beach, CA 92658
714/644 3400

To whom it may concern,

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Owner information:

Arnold D. Feuerstein & Allan Fainberg c/o Arnold Construction
2293 West Ball Road
Anaheim, CA 92804
Tele: 714/774 9350
Fax: 714/774 1701

DESIGN

AWARENESS

LEADERSHIP

VISION

CRAFTSMANSHIP

Arnold D. Feuerstein

Allan Fainberg

Timothy F. W.



CITY OF NEWPORT BEACH

P.O. BOX 1768, NEWPORT BEACH, CA 92658-8915
PLANNING DEPARTMENT (949) 644-3200

September 14, 1998

Armstrong Garden Center
Timothy F. White
18240 Shamrock Street
Fontana, CA 92336

Subject: 1500 East Coast Highway

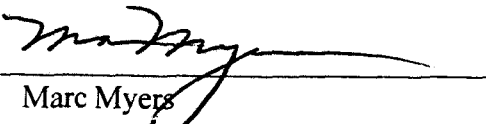
Dear Mr. White:

Your application for the above referenced project has been deemed complete by the Planning Department. The public hearing for this case is set for October 8, 1998, and a public notice will be sent to you in the mail. For your information, the meeting commences at 7:00 p.m. and is located in the Council Chambers.

Should you have any questions or need assistance in the meantime, please do hesitate to contact me.

Sincerely,

By



Marc Myers
Associate Planner

cc:

Arnold D. Feverstein and Allan Fainbarg
% Arnold Construction
2293 West Ball Road
Anaheim, CA 92804

3300 Newport Boulevard, Newport Beach



CITY OF NEWPORT BEACH

P.O. BOX 1768, NEWPORT BEACH, CA 92658-8915
PLANNING DEPARTMENT (949) 644-3200

August 31, 1998

Armstrong Garden Center
Attention: Timothy F. White
18240 Shamrock Street
Fontana, CA 92336.

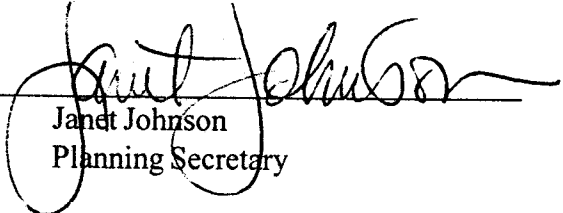
Dear Mr. White:

We have accepted delivery of your application for the project located at 1500 East Coast Highway. The Planning Director has assigned this case to Marc Myers, who is reviewing the application for completeness. We will contact you within the next one to two weeks to advise if the application is complete and to provide you with a tentative public hearing date.

Should you have any questions or need assistance in the meantime, please do hesitate to contact Marc Myers at (949) 644-3210.

Sincerely,

By


Janet Johnson
Planning Secretary

cc:

Arnold D. Feverstein and Allan Fainbarg
% Allan Construction
2293 West Ball Boad
Anaheim, CA 92804

3300 Newport Boulevard, Newport Beach

CITY OF NEWPORT BEACH
PLANNING DEPARTMENT
PROJECT REVIEW REQUEST

Date: September 15, 1998
Staff Planner: Marc Myers, ext. 3210

- | | |
|--|--|
| <input checked="" type="checkbox"/> PUBLIC WORKS DEPARTMENT | <input checked="" type="checkbox"/> PLANS ATTACHED (PLEASE RETURN) |
| <input checked="" type="checkbox"/> TRAFFIC ENGINEER | |
| <input checked="" type="checkbox"/> FIRE DEPARTMENT | <input type="checkbox"/> PLANS ON FILE IN PLANNING DEPT. |
| <input checked="" type="checkbox"/> BUILDING/GRADING DEPARTMENT | |
| <input type="checkbox"/> COMMUNITY SERVICES | |
| <input type="checkbox"/> POLICE DEPARTMENT/VICE & INTELLIGENCE | |
| <input type="checkbox"/> MARINE SAFETY | |
| <input checked="" type="checkbox"/> REVENUE | |
| <input checked="" type="checkbox"/> ECONOMIC DEVELOPMENT (Commercial Development Only) | |

APPLICATION OF: Armstrong Garden Center CONTACT: Timothy F. White, Architect
(909) 355-2905

FOR: Use Permit No. 3641

DESCRIPTION: Request to permit the construction of a 4,800 square foot commercial building and related accessory structures for a retail plant nursery and garden center. The application also includes a request to permit outdoor display and sales of trees, plants, flowers and related landscape accessories on a property located in the P.C. (Planned Community) District.

LOCATION: 1500 East Coast Highway

REPORT REQUESTED BY: October 23, 1998

COMMISSION REVIEW (Tentative): October 8, 1998

Check all that apply:

- | | |
|--|--|
| <input checked="" type="checkbox"/> No comments on the project as presented. | <input checked="" type="checkbox"/> Recommended conditions of approval are attached. |
| <input type="checkbox"/> Application of Standard Code requirements are <u>not</u> expected to alter the project design. | <input type="checkbox"/> Application of Standard Code requirements or the attached conditions of approval <u>will</u> substantially impact or alter the design of the project. |
| <input type="checkbox"/> I contacted the applicant on _____ to: <input type="checkbox"/> schedule an appointment for Code review, <input type="checkbox"/> discuss the | |

following (attach separate sheet if necessary): _____

ADDITIONAL COMMENTS (see attached): Monument sign shall conform to Std

Dwg # STD10-L.

Signature: Richard M. Edmundson Ext. 3345 Date: 9-18-98

CITY OF NEWPORT BEACH
PLANNING DEPARTMENT
PROJECT REVIEW REQUEST

Date: September 15, 1998
Staff Planner: Marc Myers, ext. 3210

- | | |
|--|--|
| <input checked="" type="checkbox"/> PUBLIC WORKS DEPARTMENT | <input checked="" type="checkbox"/> PLANS ATTACHED (PLEASE RETURN) |
| <input checked="" type="checkbox"/> TRAFFIC ENGINEER | |
| <input checked="" type="checkbox"/> FIRE DEPARTMENT | <input type="checkbox"/> PLANS ON FILE IN PLANNING DEPT. |
| <input checked="" type="checkbox"/> BUILDING/GRADING DEPARTMENT | |
| <input type="checkbox"/> COMMUNITY SERVICES | |
| <input type="checkbox"/> POLICE DEPARTMENT/VICE & INTELLIGENCE | |
| <input type="checkbox"/> MARINE SAFETY | |
| <input checked="" type="checkbox"/> REVENUE | |
| <input checked="" type="checkbox"/> ECONOMIC DEVELOPMENT (Commercial Development Only) | |

APPLICATION OF: Armstrong Garden Center CONTACT: Timothy F. White, Architect
(909) 355-2905

FOR: Use Permit No. 3641

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LOCATION: 1500 East Coast Highway

REPORT REQUESTED BY: October 23, 1998

COMMISSION REVIEW (Tentative): October 8, 1998

Check all that apply:

- | | |
|--|--|
| <input checked="" type="checkbox"/> No comments on the project as presented. | <input type="checkbox"/> Recommended conditions of approval are attached. |
| <input type="checkbox"/> Application of Standard Code requirements are <u>not</u> expected to alter the project design. | <input type="checkbox"/> Application of Standard Code requirements or the attached conditions of approval <u>will</u> substantially impact or alter the design of the project. |
| <input type="checkbox"/> I contacted the applicant on _____ to: <input type="checkbox"/> schedule an appointment for Code review, <input type="checkbox"/> discuss the | |

following (attach separate sheet if necessary): _____

ADDITIONAL COMMENTS (see attached): The signs proposed are fine.

The single monument is tastefully done. Marc, please watch for any revisions or additional signs (Pole sign or Monument) which could clutter the project. Thanks.

Signature: Christy Deagan Ext. 3207 Date: 9-29-98

CITY OF NEWPORT BEACH
PLANNING DEPARTMENT
PROJECT REVIEW REQUEST

Date: September 15, 1998

Staff Planner: Marc Myers, ext. 3210

- PUBLIC WORKS DEPARTMENT
 TRAFFIC ENGINEER
 FIRE DEPARTMENT
 BUILDING/GRADING DEPARTMENT
 COMMUNITY SERVICES
 POLICE DEPARTMENT/VICE & INTELLIGENCE
 MARINE SAFETY
 REVENUE
 ECONOMIC DEVELOPMENT (Commercial Development Only)
- PLANS ATTACHED (PLEASE RETURN)
 PLANS ON FILE IN PLANNING DEPT.

APPLICATION OF:

Armstrong Garden Center

CONTACT:

Timothy F. White, Architect
(909) 355-2905

FOR:

Use Permit No. 3641

DESCRIPTION:

Request to permit the construction of a 4,800 square foot commercial building and related accessory structures for a retail plant nursery and garden center. The application also includes a request to permit outdoor display and sales of trees, plants, flowers and related landscape accessories on a property located in the P.C. (Planned Community) District.

LOCATION:

1500 East Coast Highway

REPORT REQUESTED BY:

October 23, 1998

COMMISSION REVIEW (Tentative):

October 8, 1998

Check all that apply:

- No comments on the project as presented.
 Application of Standard Code requirements are not expected to alter the project design.
 Recommended conditions of approval are attached.
 Application of Standard Code requirements or the attached conditions of approval will substantially impact or alter the design of the project.
- I contacted the applicant on 9-21-98 to: schedule an appointment for Code review, discuss the

following (attach separate sheet if necessary): Automatic fire sprinklers

are required in the main building with

ADDITIONAL COMMENTS (see attached): interior exposure protection

for the combustible wood trellis.

Signature: R. Clark

Ext. 3107 Date: 9-21-98

CITY OF NEWPORT BEACH
PLANNING DEPARTMENT
PROJECT REVIEW REQUEST

SEP 16 1998

Date: September 15, 1998
Staff Planner: Marc Myers, ext. 3210

- PUBLIC WORKS DEPARTMENT
- TRAFFIC ENGINEER
- FIRE DEPARTMENT
- BUILDING/GRADING DEPARTMENT
- COMMUNITY SERVICES
- POLICE DEPARTMENT/VICE & INTELLIGENCE
- MARINE SAFETY
- REVENUE
- ECONOMIC DEVELOPMENT (Commercial Development Only)

PLANS ATTACHED (PLEASE RETURN)

PLANS ON FILE IN PLANNING DEPT.

APPLICATION OF:

Armstrong Garden Center

CONTACT:

Timothy F. White, Architect
(909) 355-2905

FOR:

Use Permit No. 3641

DESCRIPTION:

Request to permit the construction of a 4,800 square foot commercial building and related accessory structures for a retail plant nursery and garden center. The application also includes a request to permit outdoor display and sales of trees, plants, flowers and related landscape accessories on a property located in the P.C. (Planned Community) District.

LOCATION:

1500 East Coast Highway

REPORT REQUESTED BY:

October 23, 1998

COMMISSION REVIEW (Tentative):

October 8, 1998

Check all that apply:

- No comments on the project as presented.
- Application of Standard Code requirements are not expected to alter the project design.

- Recommended conditions of approval are attached.
- Application of Standard Code requirements or the attached conditions of approval will substantially impact or alter the design of the project.

I contacted the applicant on _____ to: schedule an appointment for Code review, discuss the

following (attach separate sheet if necessary): _____

ADDITIONAL COMMENTS (see attached): _____

Signature: Raisa Jundi Ext. _____ Date: 9/22/98

CITY OF NEWPORT BEACH
PLANNING DEPARTMENT
PROJECT REVIEW REQUEST

Date: September 15, 1998
Staff Planner: Marc Myers, ext. 3210

- | | |
|--|--|
| <input checked="" type="checkbox"/> PUBLIC WORKS DEPARTMENT | <input checked="" type="checkbox"/> PLANS ATTACHED (PLEASE RETURN) |
| <input checked="" type="checkbox"/> TRAFFIC ENGINEER | |
| <input checked="" type="checkbox"/> FIRE DEPARTMENT | <input type="checkbox"/> PLANS ON FILE IN PLANNING DEPT. |
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| <input type="checkbox"/> POLICE DEPARTMENT/VICE & INTELLIGENCE | |
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| <input checked="" type="checkbox"/> REVENUE | |
| <input checked="" type="checkbox"/> ECONOMIC DEVELOPMENT (Commercial Development Only) | |

APPLICATION OF: Armstrong Garden Center CONTACT: Timothy F. White, Architect
(909) 355-2905

FOR: Use Permit No. 3641

DESCRIPTION: Request to permit the construction of a 4,800 square foot commercial building and related accessory structures for a retail plant nursery and garden center. The application also includes a request to permit outdoor display and sales of trees, plants, flowers and related landscape accessories on a property located in the P.C. (Planned Community) District.

LOCATION: 1500 East Coast Highway

REPORT REQUESTED BY: October 23, 1998

COMMISSION REVIEW (Tentative): October 8, 1998

Check all that apply:

- | | |
|--|--|
| <input checked="" type="checkbox"/> No comments on the project as presented. | <input type="checkbox"/> Recommended conditions of approval are attached. |
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| <input type="checkbox"/> I contacted the applicant on _____ to: <input type="checkbox"/> schedule an appointment for Code review, <input type="checkbox"/> discuss the | |

following (attach separate sheet if necessary): _____

ADDITIONAL COMMENTS (see attached): _____

Signature:  Ext. 3141 Date: 9-23-98

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Newport Beach will hold a public hearing on the application of **Armstrong Garden Center (Timothy White, Architect)** for **Use Permit No. 3641** on property located at **1500 East Coast Highway**.

Request to permit the construction of a 4,800 square foot commercial building and related accessory structures for a retail plant nursery and garden center. The application also includes a request to permit outdoor display and sales of trees, plants, flowers and related landscape accessories on a property located in the P.C. (Planned Community) District.

This project has been reviewed, and it has been determined that it is categorically exempt under the Class 2 (Replacement or Reconstruction) requirements of the California Environmental Quality Act.

Notice is hereby further given that said public hearing will be held on the **8th** day of **October, 1998**, at the hour of **7:00** p.m. in the Council Chambers of the Newport Beach City Hall, 3300 Newport Boulevard, Newport Beach, California, at which time and place any and all persons interested may appear and be heard thereon. If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the City at, or prior to, the public hearing. For information call (949) 644-3200.

Richard Fuller, Secretary, Planning Commission, City of Newport Beach.

NOTE: The expense of this notice is paid from a filing fee collected from the applicant.

ARMSTONG GARDEN CNTR INC
2200 E ALOSTA AVE #200
GLENORA, CA 91740

CMS 98-3122
6325 VAN NUYS BLVD
VAN NUYS, CA 91401

Timothy F. White
18240 Shamrock Street
Fontana, CA 92336

Arnold D. Feverstein & Allan Fainbarg
% Arnold Construction
2293 West Ball Road
Anaheim, CA 92804

Irvine Terrace Comm. Assn.
Val Skoro, Pres.
1601 Bayadere Terr
Corona del Mar, CA 92625

Newport Center Assn.
Lisa Reedy
110 Newport Center Dr., 140-A
Newport Beach, CA 92660

Villa Point Comm. Assn.
Don Chesemore
25910 Acero St., 2nd Floor
Mission Viejo, CA 92691

UP 364

OWNERSHIP LIST

CMS 98-3122

1 ARNOLD FEURSTEIN C/O ARNOLD CONSTRUCTION 2293 W BALL RD ANAHEIM, CA 92804	2 BRUCE NEHLS 1515 BONNIE DONNE TER CORONA DEL MAR, CA 92625	3 JOEL STEIN P O BOX 10699 MARINA DEL REY, CA 90295
4 DEL WILLIAMS 1501 BONNIE DOONE TER CORONA DEL MAR, CA 92625	5 ADA LUCIANO 1437 BONNIE DOONE TER CORONA DEL MAR, CA 92625	6 JOHN BOGARD 1431 BONNIE DOONE TER CORONA DEL MAR, CA 92625
7 GEORGE VOGEL P O BOX 847 CORONA DEL MAR, CA 92625	8 GLENN TURNBULL 1419 BONNIE DOONE TER CORONA DEL MAR, CA 92625	9 ROBERT MARTIN 1415 BONNIE DOONE TER CORONA DEL MAR, CA 92625
10 ROBERT BECK 1407 BONNIE DOONE TER CORONA DEL MAR, CA 92625	11 JAMES LUCAS 1401 BONNIE DOONE TER CORONA DEL MAR, CA 92625	12 LOUIS NEAL MACHANDER 444 VILLA POINT DR NEWPORT BEACH, CA 92660
13 NANCY MEZERA- GOLD 442 VILLA POINT DR NEWPORT BEACH, CA 92660	14 JAMES WRIGHT 440 VILLA POINT DR NEWPORT BEACH, CA 92660	15 WILLIAM MANCA 4 ANTIBES LAGUNA NIGUEL, CA 92677
16 MICHAEL NASH 436 VILLA POINT DR NEWPORT BEACH, CA 92660	17 MICHAEL DUNCAN SMITH 434 VILLA POINT DR NEWPORT BEACH, CA 92660	18 DWIGHT DENHAM 432 VILLA POINT DR NEWPORT BEACH, CA 92660
19 BRAD EVANS 4365 SIEVERS AVE BREA, CA 92821	20 KATHLEEN SYRETT 424 VILLA POINT DR NEWPORT BEACH, CA 92660	21 SHARON HUTCHISON 2702 BAYSHORE DR NEWPORT BEACH, CA 92660
22 PAMELA SINCLAIR 428 VILLA POINT DR NEWPORT BEACH, CA 92660	23 JUAN CASADO 2753 VISTA UMBROSA NEWPORT BEACH, CA 92660	24 CARL DANE 420 VILLA POINT DR NEWPORT BEACH, CA 92660
25 IVON CAMPO 38391 CHERRYWOOD DR MURRIETA, CA 92562	26 HUSODO ANGKOSUBROTO 1301 DOVE ST #370 NEWPORT BEACH, CA 92660	27 CARL'S MOTOR COMPANY 1936 SANTIAGO DR NEWPORT BEACH, CA 92660
28 JOHN CLARKE 412 VILLA POINT DR NEWPORT BEACH, CA 92660	29 EVELINE HYDER 410 VILLA POINT DR NEWPORT BEACH, CA 92660	30 COUNTRY HEIGHTS LTD 408 VILLA POINT DR NEWPORT BEACH, CA 92660

31
AGNES O'KELLY
404 VILLA POINT DR
NEWPORT BEACH, CA 92660

34
DEBORAH GABEL
402 VILLA POINT DR
NEWPORT BEACH, CA 92660

37
ADELE PHILLIPS
394 VILLA POINT DR
NEWPORT BEACH, CA 92660

40
BRIAN CHASE
386 VILLA POINT DR
NEWPORT BEACH, CA 92660

43
DOROTHY STEPHENS
380 VILLA POINT DR
NEWPORT BEACH, CA 92660

46
GERARD ADHOUTE
P O BOX 7044
HUNTINGTON BCH, CA 92615

49
HENRY JANUSZKA
342 VILLA POINT DR
NEWPORT BEACH, CA 92660

52
EDWARD WALLACE
340 VILLA POINT DR
NEWPORT BEACH, CA 92660

55
PEARL THRASHER
332 VILLA POINT DR
NEWPORT BEACH, CA 92660

58
CAROLYN JOHNSON
328 VILLA POINT DR
NEWPORT BEACH, CA 92660

32
JON JOHNSTON
2412 TOPSAIL CIR
WESTLAKE VLG, CA 91361

35
PAUL NORI
400 VILLA POINT DR
NEWPORT BEACH, CA 92660

38
WILFRIED GLOCK
392 VILLA POINT DR
NEWPORT BEACH, CA 92660

41
DOLLY CHOU
388 VILLA POINT DR
NEWPORT BEACH, CA 92660

44
MICHAEL ESCHBACH
382 VILLA POINT DR
NEWPORT BEACH, CA 92660

47
BETTE MACDONALD
348 VILLA POINT DR
NEWPORT BEACH, CA 92660

50
SUSAN COULTER
346 VILLA POINT DR
NEWPORT BEACH, CA 92660

53
JAMES DODDS
338 VILLA POINT DR
NEWPORT BEACH, CA 92660

56
RICHARD ARDEN CHURCH
330 VILLA POINT DR
NEWPORT BEACH, CA 92660

59
ROBERT ELDON HUEY
320 VILLA POINT DR
NEWPORT BEACH, CA 92660

33
JEWEL DOHAN
398 VILLA POINT DR
NEWPORT BEACH, CA 92660

36
PAULA JAYE GRAEF
396 VILLA POINT DR
NEWPORT BEACH, CA 92660

39
HOWARD COLOVER
390 VILLA POINT DR
NEWPORT BEACH, CA 92660

42
RICHARD BRAEGER
1662 12TH ST
SANTA MONICA, CA 90404

45
GORDON HAROLD OLSON
378 VILLA POINT DR
NEWPORT BEACH, CA 92660

48
TAWNY DEE STANTON
P O BOX 6199
INCLINE VLG, NV 89450

51
ROBERT MILLER
344 VILLA POINT DR
NEWPORT BEACH, CA 92660

54
PETER MORRISON
334 VILLA POINT DR
NEWPORT BEACH, CA 92660

57
RICHARD TEASTA
326 VILLA POINT DR
NEWPORT BEACH, CA 92660

60
HELEN SMITH
276 VILLA POINT DR
NEWPORT BEACH, CA 92660

61
SALLY DORSEY
177 RIVERSIDE DR
NEWPORT BEACH, CA 92660

62
MICHAEL IMBESI
1048 IRVINE AVE #378
NEWPORT BEACH, CA 92660

63
JASON MALECKA
280 VILLA POINT DR
NEWPORT BEACH, CA 92660

64
SAM AYOUB
282 VILLA POINT
NEWPORT BEACH, CA 92660

65
ALI TADJEDIN
20401 VIA TROVADOR
YORBA LINDA, CA 92887

66
LIS BHATHAL
278 VILLA POINT DR
NEWPORT BEACH, CA 92660

67
HELEN SMITH
276 VILLA POINT DR
NEWPORT BEACH, CA 92660

68
LEE BERKOWITZ
12520 ARISTO PL
GRANADA HILLS, CA 91344

69
GREGORY JENKINS
537 NEWPORT CENTER #338
NEWPORT BEACH, CA 92660

70
ROBERT NASRAWAY
266 VILLA POINT DR
NEWPORT BEACH, CA 92660

71
CHRISTOPHER RILEY
25 BATTLE BL
SEAFORTH NEW
SOUTH WALES, 2092

72
JOR LEUNG HUI
262 VILLA POINT DR
NEWPORT BEACH, CA 92660

73
PATRICK REDMOND
258 VILLA POINT DR
NEWPORT BEACH, CA 92660

74
ARTHUR WADE
260 VILLA POINT DR
NEWPORT BEACH, CA 92660

75
PAUL GROVER
252 VILLA POINT DR
NEWPORT BEACH, CA 92660

76
DAVID GASTON
1950 COLLINGSWOOD RD
COLUMBUS, OH 43221

77
WILLIAM LEE WOOD
P O BOX 18730
FOUNTAIN HILLS, AZ 85269

78
RICHARD HOULIHAN
33 BOGEY LN
COTO DE CAZA, CA 92679

79
STREICHENBERGER
234 VILLA POINT DR
NEWPORT BEACH, CA 92660

80
MARIA TERESA LOZA
232 VILLA POINT DR
NEWPORT BEACH, CA 92660

81
LAUREL ANN RIZZI
224 VILLA POINT DR
NEWPORT BEACH, CA 92660

82
GARY SAIDEL
2680 POINT DEL MAR
CORONA DEL MAR, CA 92625

83
DE VIER PIERSON
1054 31ST ST NW #300
WASHINGTON, DC 20007

84
PAUL KACIK
642 COLONIAL CIR
FULLERTON, CA 92835

85
DAVID & MEREDITH LONDON
220 VILLA POINT DR
NEWPORT BEACH, CA 92660

86
JOHN ST SAUVEUR
P O BOX 10204
NEWPORT BEACH, CA 92660

87
WILLIAM MACGOWAN
212 VILLA POINT DR
NEWPORT BEACH, CA 92660

88
KAREN GORDON
210 VILLA POINT DR
NEWPORT BEACH, CA 92660

89
CURTIS CARLSON
23 CRIVELLI AISLE
IRVINE, CA 92614

90
JAMES MUZZY
2546 RIVIERA DR
LAUGNA BEACH, CA 92651

91
KENNETH COLBAUGH
204 VILLA POINT DR
NEWPORT BEACH, CA 92660

92
VILLA POINT HOLDING
202 VILLA POINT DR
NEWPORT BEACH, CA 92660

93
JOHN BREKKE
200 VILLA POINT DR
NEWPORT BEACH, CA 92660

94
JACK DE KRUIF
4601 CAMDEN DR
CORONA DEL MAR, CA 92625

95
MICHAEL MURTAUGH
236 VILLA POINT DR
NEWPORT BEACH, CA 92660

96
JOYCE ROBINSON
246 VILLA POINT DR
NEWPORT BEACH, CA 92660

97
GLORIA PETERSON
244 VILLA POINT DR
NEWPORT BEACH, CA 92660

98
WALTER FARMER
5086 BERRYHILL PL
RIVERSIDE, CA 92507

99
HUBERT LANE
248 VILLA POINT DR
NEWPORT BEACH, CA 92660

100
RICHARD MCGRATH
242 VILLA POINT DR
NEWPORT BEACH, CA 92660

101
HARRY SMITH
75-265 SPYGLASS DR
INDIAN WELLS, CA 92210

102
RICHARDS BANNO
288 VILLA POINT DR
NEWPORT BEACH, CA 92660

103
DONA SPEIR BERMAN
25962 NELLIE GAIL RD
LAGUNA HILLS, CA 92653

104
SUSAN WIYNINGER
296 VILLA POINT DR
NEWPORT BEACH, CA 92660

105
DONALD PEIRCE
P O BOX 881506
STEAMBOAT SPRS, CO 80488

106
DAVID BARTH
300 VILLA POINT DR
NEWPORT BEACH, CA 92660

107
RICHARD CARANO
298 VILLA POINT DR
NEWPORT BEACH, CA 92660

108
MICHAEL MULLINS
P O BOX 5123
OAK BROOK, IL 60522

109
LI CHU CHEN CHI
290 VILLA POINT DR
NEWPORT BEACH, CA 92660

110
JOHN MARK MAYHW
306 VILLA POINT DR
NEWPORT BEACH, CA 92660

111
BARBARA PRICE
304 VILLA POINT DR
NEWPORT BEACH, CA 92660

112
BETTY OPBROEK
310 VILLA POINT DR
NEWPORT BEACH, CA 92660

113
JUDITH HEMSTREET
308 VILLA POINT DR
NEWPORT BEACH, CA 92660

114
JACK LIBBY
2816 HIGH SAIL CT
LAS VEGAS, NV 89117

115
TRACY HARTMAN
312 VILLA POINT DR
NEWPORT BEACH, CA 92660

116
SUSAN THOMAS
318 VILLA POINT DR
NEWPORT BEACH, CA 92660

117
CONSTANCE COOPER
316 VILLA POINT DR
NEWPORT BEACH, CA 92660

118
DAVID FIELDS
10 RAINBOW FALLS
IRVINE, CA 92612

119
BERNARD KIM
3615 GREENFIELD AVE #1
LOS ANGELES, CA 90034

120
JANICE CATLIN
364 VILLA POINT DR
NEWPORT BEACH, CA 92660

121
THOMAS KIELY
4150 ARCH DR #414
STUDIO CITY, CA 91604

124
ROBERT HEIMERL
360 VILLA POINT DR
NEWPORT BEACH, CA 92660

127
SING TUEN JAY
374 VILLA POINT DR
NEWPORT BEACH, CA 92660

130
ERIK BUZZARD
241 VILLA POINT DR
NEWPORT BEACH, CA 92660

133
MARGARET MASON
243 VILLA POINT DR
NEWPORT BEACH, CA 92660

136
HOWARD SWANIGER
229 VILLA POINT DR
NEWPORT BEACH, CA 92660

139
MARY ELIZABETH TARR
235 VILLA POINT DR
NEWPORT BEACH, CA 92660

142
ROBERT FRANZ
1005 SKYLINE DR
LAGUNA BEACH, CA 92651

145
ROBERT ZIEGLER
211 VILLA POINT DR
NEWPORT BEACH, CA 92660

148
ROBERT BLUELL
5598 ROYAL HILL DR
RIVERSIDE, CA 92506

122
CHARLES ROMAN
356 VILLA POINT DR
NEWPORT BEACH, CA 92660

125
ROBERT WHEELER
1525 ABERDEEN CT
NAPERVILLE, IL 60564

128
PETER SCHULLER
372 VILLA POINT DR
NEWPORT BEACH, CA 92660

131
MARIE LABRINOS
239 VILLA POINT DR
NEWPORT BEACH, CA 92660

134
CARA GIESE
2811 LAKESIDE DR
MONTGOMERY, TX 77356

137
COURTNEY CAMPBELL
227 VILLA POINT DR
NEWPORT BEACH, CA 92660

140
ALFRED GRENZ
109 JASMINE CREEK DR
CORONA DEL MAR, CA 92625

143
ROBERT DAVID
217 VILLA POINT DR
NEWPORT BEACH, CA 92660

146
LYDIA CRUZ
209 VILLA POINT DR
NEWPORT BEACH, CA 92660

149
MARIE NOBILE
203 VILLA POINT DR
NEWPORT BEACH, CA 92660

123
PAUL BELTON
354 VILLA POINT DR
NEWPORT BEACH, CA 92660

126
BARRY KONAPELSKY
376 VILLA POINT DR
NEWPORT BEACH, CA 92660

129
WILLIAM DEAN
370 VILLA POINT DR
NEWPORT BEACH, CA 92660

132
PAZ MARIA PORTER
43 SANTA VICTORIA AISLE
IRVINE, CA 92606

135
FRANK MAGUIRE
223 VILLA POINT DR
NEWPORT BEACH, CA 92660

138
SCOTT DALTON
3202 MADDOX ST
SANTA ANA, CA 92704

141
DAVID HELLIER
23 CRIVELLI AISLE
IRVINE, CA 92606

144
CATHERINE COLLINSON
P O BOX 292470
LOS ANGELES, CA 90029

147
JAMES TOOMEY
3005 CAMPBELL CIR
LAS VEGAS, NV 89107

150
BRENDA LLOYD
241 ASHDALE PL
LOS ANGELES, CA 90049

151
JOSEPH DAIVD GEORGE
18 VILLA POINT DR
NEWPORT BEACH, CA 92660

152
SUSAN BLEICK
12 VILLA POINT DR
NEWPORT BEACH, CA 92660

153
JOHN STURGESS
601 CLIFF DR
NEWPORT BEACH, CA 92660

154
RANDALL LEE KREPS
22 VILLA POINT DR
NEWPORT BEACH, CA 92660

155
JOHN ST SAUVEUR
P O BOX 10204
NEWPORT BEACH, CA 92660

156
BETH VOIEN
24 VILLA POINT DR
NEWPORT BEACH, CA 92660

157
GUS GANOTIS
26 VILLA POINT DR
NEWPORT BEACH, CA 92660

158
MARY OLSON
30 VILLA POINT DR
NEWPORT BEACH, CA 92660

159
MARY JANE STOKLEY
28 VILLA POINT DR
NEWPORT BEACH, CA 92660

160
PHILIP SULARZ
P O BOX 103
CORONA DEL MAR, CA 92625

161
LEONARD BIEBER
36 VILLA POINT DR
NEWPORT BEACH, CA 92660

162
JANE ATENCIO
P O BOX 1540
YERMO, CA 92398

163
HOMESIDE LENDING INC
9601 MCALLISTER FWY
SAN ANTONIO, TX 78216

164
STEVEN STEINBERG
40 VILLA POINT DR
NEWPORT BEACH, CA 92660

165
CAROLE TOBOLSKI
42 VILLA POINT DR
NEWPORT BEACH, CA 92660

166
RICHARD HUTTON
5622 HIGHGATE TERRACE
IRVINE, CA 92612

167
RICHARD BONADIO
6 INVERNESS LN
NEWPORT BEACH, CA 92660

168
PATRICIA ACCARDO
48 VILLA POINT DR
NEWPORT BEACH, CA 92660

169
DENISE GRIFFIN
50 VILLA POINT DR
NEWPORT BEACH, CA 92660

170
DENIS ASTARITA
801 TUSTIN AVE #305
SANTA ANA, CA 92705

171
GERDA MARGARITA ROY
52 VILLA POINT DR
NEWPORT BEACH, CA 92660

172
RONG SHANG TU
13 SHELBURNE DR
OAKBROOK, IL 60521

173
JON PERKINS
56 VILLA POINT DR
NEWPORT BEACH, CA 92660

174
STEPHEN MORSE
18401 VAN KARMAN #240
IRVINE, CA 92612

175
ROBYN FERRO
60 VILLA POINT DR
NEWPORT BEACH, CA 92660

176
RICKI BLUSTEIN
71 BROADWAY #10C
NEW YORK, NY 10006

177
STEVE SHMAGIN
68 VILLA POINT DR
NEWPORT BEACH, CA 92660

178
TERESA RIELLY BIGGS
86 VILLA POINT DR
NEWPORT BEACH, CA 92660

179
DONALD HOGGAN
64 VILLA POINT DR
NEWPORT BEACH, CA 92660

180
ROGER HOFSTAD
3635 FAIRMEADE RD
PASADENA, CA 91107

181
CATHERINE MORGAN
88 VILLA POINT DR
NEWPORT BEACH, CA 92660

182
TERESA BIGGS
86 VILLA POINT DR
NEWPORT BEACH, CA 92660

183
STEPHEN MORSE
18401 VON KARMAN #240
IRVINE, CA 92612

184
ROBERT MAYHEW
82 VILLA POINT DR
NEWPORT BEACH, CA 92660

185
JOAN CAULFIELD
80 VILLA POINT DR
NEWPORT BEACH, CA 92660

186
RAMUNE WIEDERMANN
23142 SOMERSET CIR
DANA POINT, CA 92629

187
IVON CAMPO
38391 CHERRYWOOD DR
MURRIETA, CA 92562

188
JULES SWIMMER
74 VILLA POINT DR
NEWPORT BEACH, CA 92660

189
GREGORY STOCK
2390 CRENSHAW BL #241
TORRANCE, CA 90501

190
LESLIE KAY EMMES
94 VILLA POINT DR
NEWPORT BEACH, CA 92660

191
MARK TURKEL
96 VILLA POINT DR
NEWPORT BEACH, CA 92660

192
DOREEN LOUISE BORKE
505 LAKE SHORE DR #1015
CHICAGO, IL 60611

193
EVANGELOS COUVIS
102 VILLA POINT DR
NEWPORT BEACH, CA 92660

194
JILL GOLDWORN
98 VILLA POINT DR
NEWPORT BEACH, CA 92660

195
DELANO DEE DINELLY
100 VILLA POINT DR
NEWPORT BEACH, CA 92660

196
KATHERINE KRUCKER
106 VILLA POINT DR
NEWPORT BEACH, CA 92660

197
ROCHELLE SLOSBERG
7225 VALENCIA DR
BOCA RATON, FL 33433

198
WALTER NUTTING
110 VILLA POINT DR
NEWPORT BEACH, CA 92660

199
ZIAD GHANDOUR
108 VILLA POINT DR
NEWPORT BEACH, CA 92660

200
FRANK HSU
2675 SAN ANDRES WY
CLAREMONT, CA 91711

201
JASON MALECKA
116 VILLA POINT DR
NEWPORT BEACH, CA 92660

202
LILLIAN SAVAGE
112 VILLA POINT DR
NEWPORT BEACH, CA 92660

203
HELEN GRAHAM
120 VILLA POINT DR
NEWPORT BEACH, CA 92660

204
ROBERT RICHARDSON
3620 BAHAMA BAY CT
LAS VEGAS, NV 89117

205
HARVEY WALLACK
227 JANSS RD #125
THOUSAND OAKS, CA 91360

206
CURTIS CARSLON
126 VILLA POINT DR
NEWPORT BEACH, CA 92660

207
MARY MILLER
900 OAK LN
MENLO PARK, CA 94025

208
HELEN DYER
124 VILLA POINT DR
NEWPORT BEACH, CA 92660

209
LAWRENCE KERR
132 VILLA POINT DR
NEWPORT BEACH, CA 92660

210
SONDRA AMES
3535 PACIFIC COAST HWY
#122
CORONA DEL MAR, CA 92625

211
KAHN LEE
2810 WALLINGFORD PL
SAN MARINO, CA 91108

212
LEONARD SISK
138 VILLA POINT DR
NEWPORT BEACH, CA 92660

213
AARON HECK
13250 RIVER RD
GUERNEVILLE, CA 95446

214
BARBARA SWINDALL
P O BOX 499
BALBOA ISLAND, CA 92662

215
ANNABELLE KEIR
P O BOX 9084
NEWPORT BEACH, CA 92660

216
JAMES SHEPARD
7 ARGO
IRVINE, CA 92612

217
CAROLD FREDRICKSON
144 VILLA POINT DR
NEWPORT BEACH, CA 92660

218
BRADLEY BOLLMAN
150 VILLA POINT DR
NEWPORT BEACH, CA 92660

219
CHERYL ROLAPP
148 VILLA POINT DR
NEWPORT BEACH, CA 92660

220
REESE APLIN
154 VILLA POINT DR
NEWPORT BEACH, CA 92660

221
LILLIAN SAVAGE
152 VILLA POINT DR
NEWPORT BEACH, CA 92660

222
R
RODNEY BERLE
158 VILLA POINT DR
NEWPORT BEACH, CA 92660

223
DARYL ASHLEY JONES
156 VILLA POINT DR
NEWPORT BEACH, CA 92660

224
MARY MURPHY
162 VILLA POINT DR
NEWPORT BEACH, CA 92660

225
JOSEPH LIPSCOMB
P O BOX 1079
NEWPORT BEACH, CA 92660

226
ANTOINE ARBAJI
166 VILLA POINT DR
NEWPORT BEACH, CA 92660

227
SCOTT DALTON
3202 MADDOCK ST
SANTA ANA, CA 92704

228
JANE HANCOCK
3754 CALLE CORTEJO
RNCHO SANTA FE, CA 92091

229
INGRID CARLSON
168 VILLA POINT DR
NEWPORT BEACH, CA 92660

230
RICHARD FARNELL
4675 MACARTHUR CT #1200
NEWPORT BEACH, CA 92660

231
THOMAS VIANI
601 CAROLL WY
PASADENA, CA 91107

232
GERALD NELSON
1100 TOWN & COUNTRY RD
#820
ORANGE, CA 92868

233
RICHARD HALLBERG
241 ASHDALE PL
LOS ANGELES, CA 90049

234
MEHYAR NIMA
25652 NELLIE GAIL RD
LAGUNA HILLS, CA 92653

235
NEVILLE ANDERSON
33761 SHANNON LN
SAN JUAN CAPST, CA 92675

236
DONALD SEGURA
186 VILLA POINT DR
NEWPORT BEACH, CA 92660

237
TRACY LONGO
184 VILLA POINT DR
NEWPORT BEACH, CA 92660

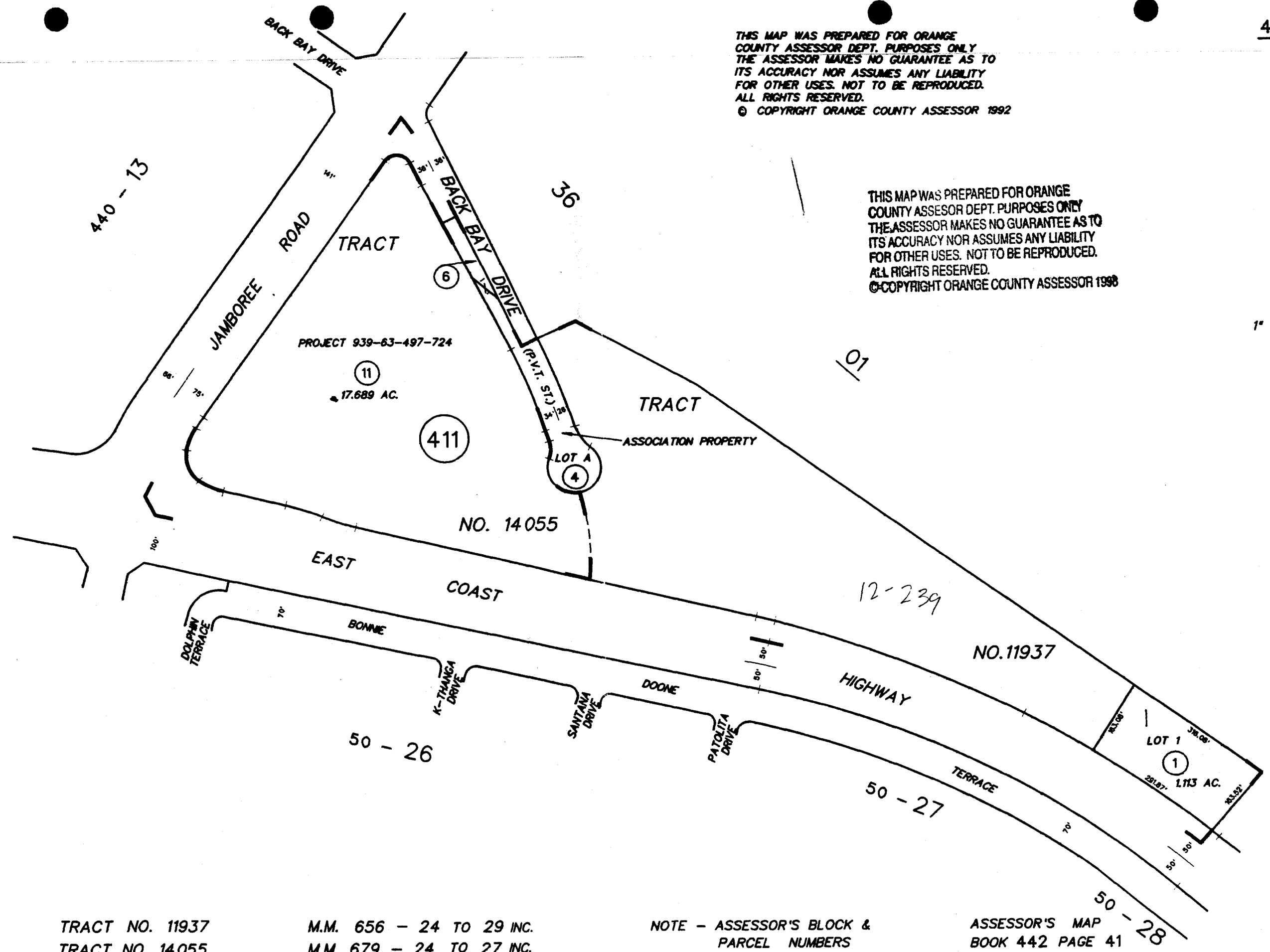
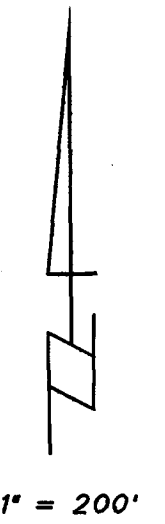
238
DEBORAH LYNN WHITENER
190 VILLA POINT DR
NEWPORT BEACH, CA 92660

239
ROBERT PERKINS
1506 SEACREST DR
CORONA DEL MAR, CA 92625

240
O HILL PROPERTIES
C/O NBC GOLF CLUB
ONE UPPER
NEWPORT BEACH, CA 92660

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MARCH 1990

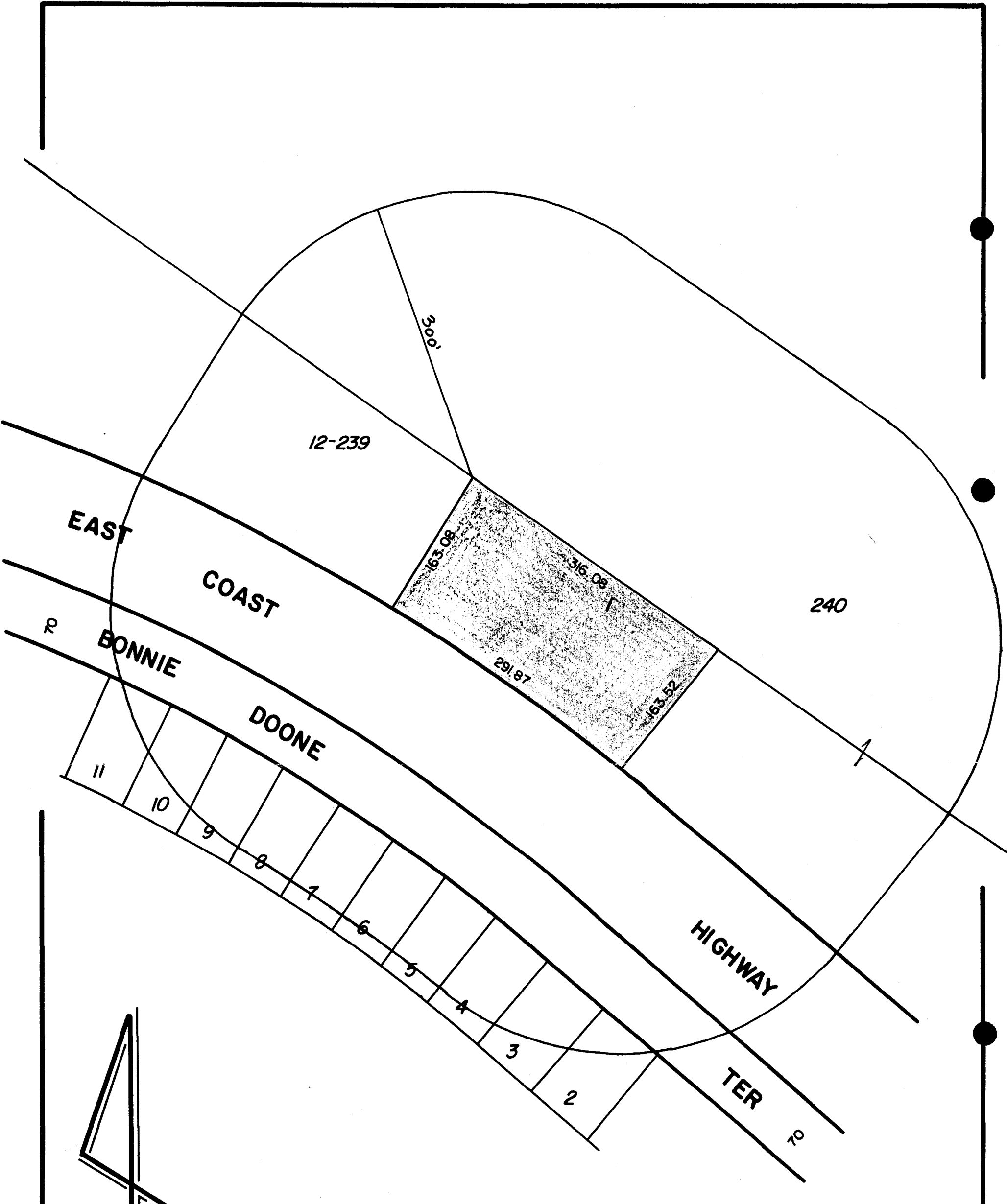
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TRACT NO. 14055

M.M. 656 - 24 TO 29 INC.
M.M. 679 - 24 TO 27 INC.

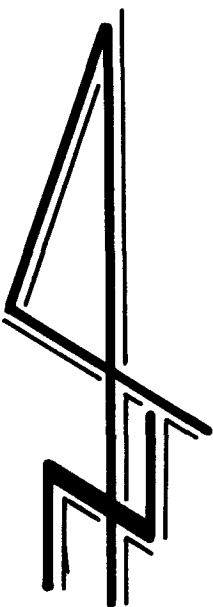
NOTE - ASSESSOR'S BLOCK & PARCEL NUMBERS SHOWN IN CIRCLES

ASSESSOR'S MAP BOOK 442 PAGE 41 COUNTY OF ORANGE

1-1-98



ADDRESS: 1500 EAST COAST HIGHWAY
NEWPORT BEACH



300' RADIUS MAP

LEGEND:

/ KEY TO OWNERSHIP LIST



**CONTINENTAL MAPPING
SERVICE**

**6325 VAN NUYS BLVD.
VAN NUYS, 91401
(818) 787-1663**

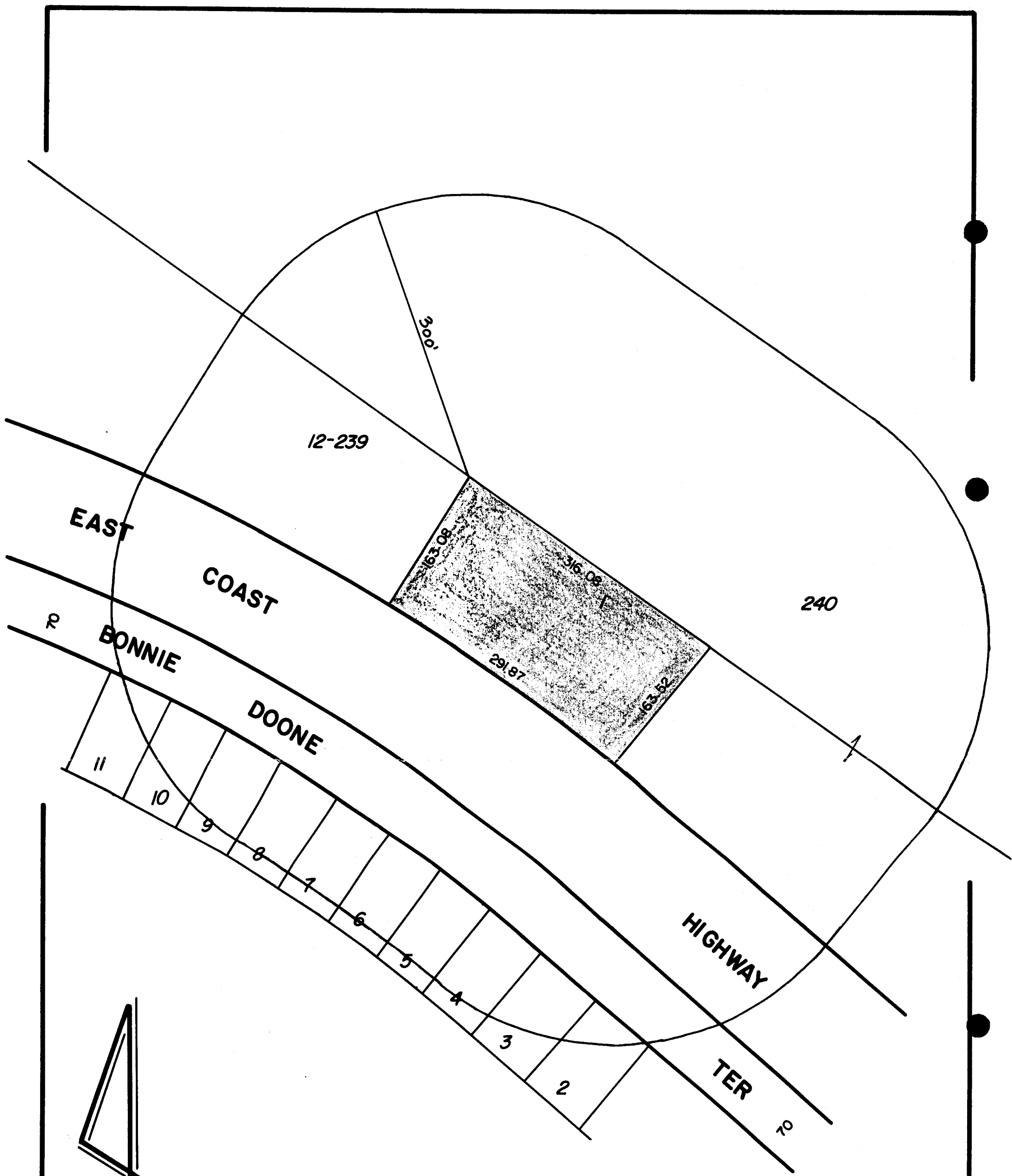
CASE NO.:

DATE: 8-11-98

SCALE: 1" = 100'

CMS 98-3122

DRAWN BY: MARIA MUCCITELLI



ADDRESS: 1500 EAST COAST HIGHWAY
NEWPORT BEACH

300' RADIUS MAP

LEGEND:

/ KEY TO OWNERSHIP LIST



**CONTINENTAL MAPPING
SERVICE**

6325 VAN NUYS BLVD.
VAN NUYS, 91401
(818) 787-1663

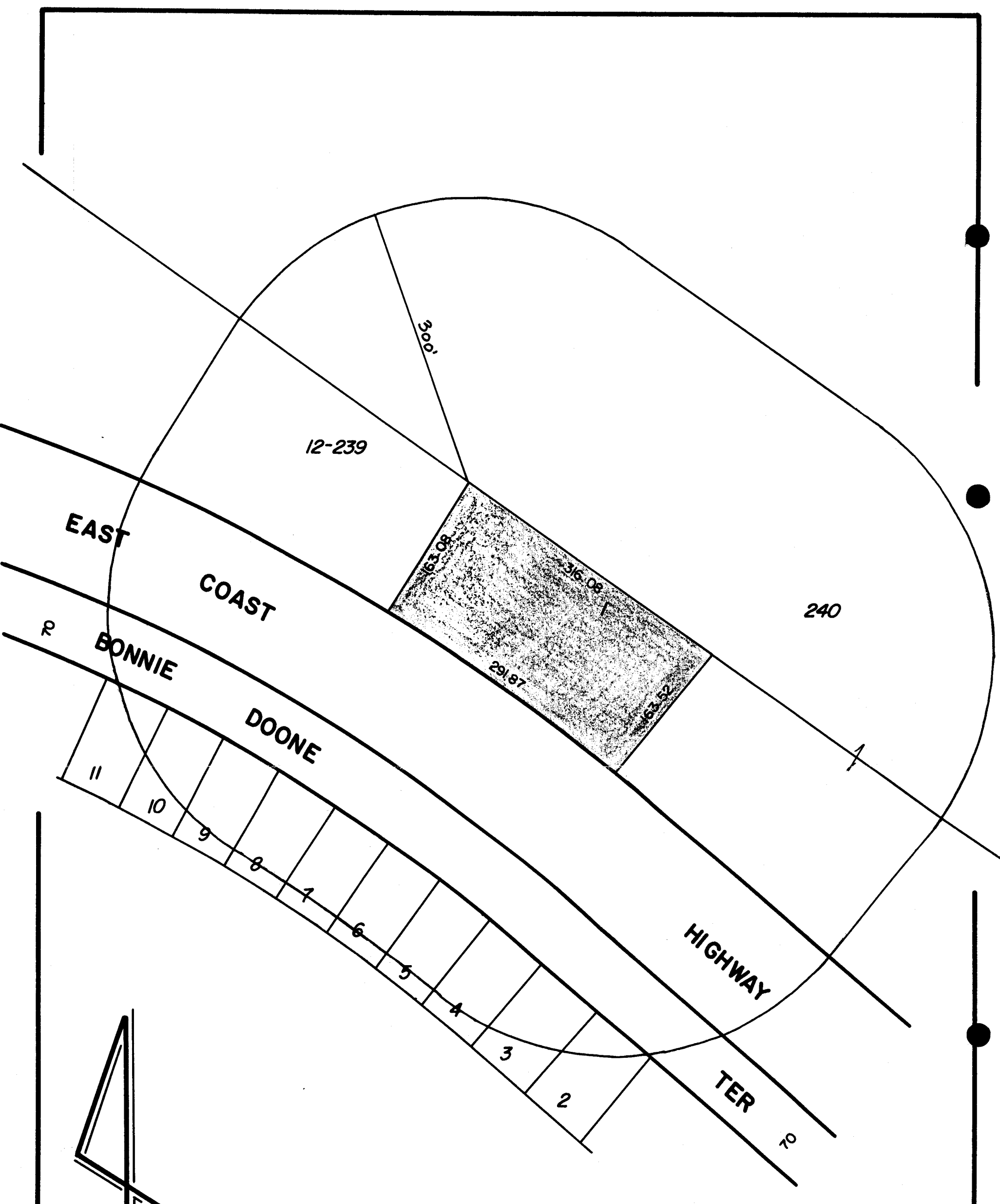
CASE NO.:

DATE: 8-11-98

SCALE: 1" = 100'

CMS 98-3122

DRAWN BY: MARIA MUCCITELLI



ADDRESS: 1500 EAST COAST HIGHWAY
NEWPORT BEACH

300' RADIUS MAP

LEGEND:

/ KEY TO OWNERSHIP LIST



**CONTINENTAL MAPPING
SERVICE**

**6325 VAN NUYS BLVD.
VAN NUYS, 91401
(818) 787-1663**

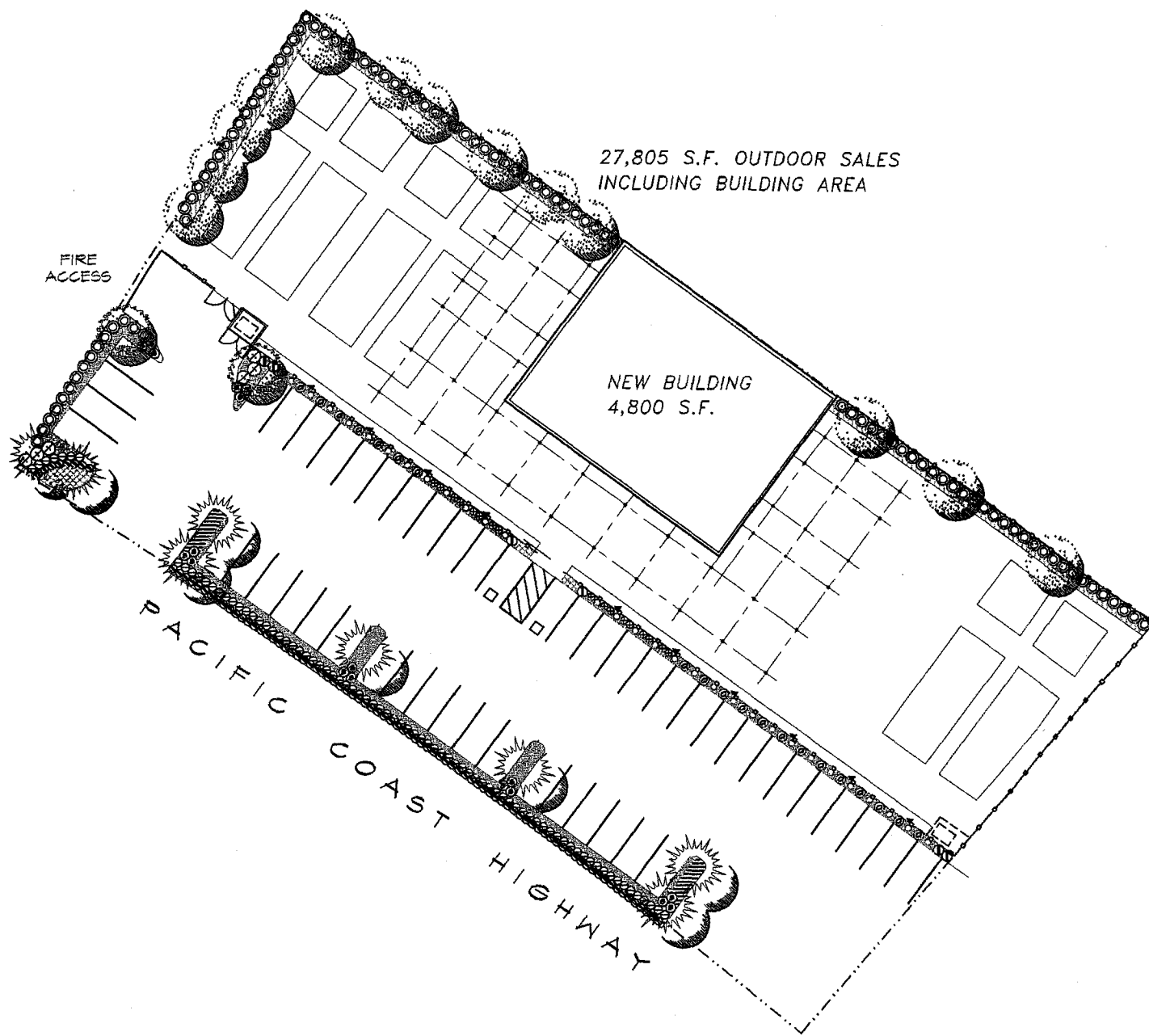
CASE NO.:

DATE: 8-11-98

SCALE: 1" = 100'

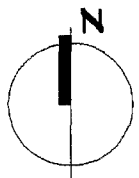
CMS 98-3122

DRAWN BY: MARIA MUCCITELLI



CONCEPTUAL PLANTING PLAN

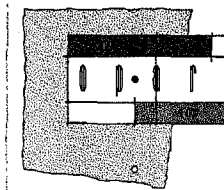
1" = 20'-0"



PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS	DETAIL REFERENCE
TREES						
	COCOS PLUMOSA	QUEEN PALM	20' BTH	PER PLAN	STANDARDS, MATCHED	N/A
	STENOCCARPUS SINUATUS	FIREWHEEL TREE	24' BOX	PER PLAN	STANDARDS, MATCHED	N/A
	EXISTING TREES TO REMAIN - PROTECT IN PLACE					
SHRUBS						
	ANIGONANTHOS FLAVIDUS	KANGAROO PAK	1 GALLON	36" O.C.	MASS PLANTING	N/A
	BUXUS JAPONICA 'GREEN BEAUTY'	JAPANESE BOXWOOD	5 GALLON	50" O.C.	MASS PLANTING	N/A
	GALLIARDIA GRANDIFLORA	BLANKET FLOWER	1 GALLON	24" O.C.	MASS PLANTING	N/A
	GAURA LINDEHEIMERI	GAURA	1 GALLON	24" O.C.	MASS PLANTING	N/A
	HEBEROCALLIS HYBRID	DWARF RED DAY LILY	1 GALLON	24" O.C.	MASS PLANTING	N/A
	HIBISCUS ROSA-SINENSIS 'BRILLIANT'	HIBISCUS	5 GALLON	48" O.C.	MASS PLANTING	N/A
	Pennisetum satyrium 'CUPREUM'	PURPLE MOUNTAIN GRASS	1 GALLON	36" O.C.	MASS PLANTING	N/A
	PHORUM TENAX 'MAORI QUEEN'	NEW ZEALAND FLAX	5 GALLON	48" O.C.	MASS PLANTING	N/A
	STRELITZIA REGINAE	BIRD OF PARADISE	5 GALLON	50" O.C.	MASS PLANTING	N/A
GROUNDCOVER						
	ANNUAL COLOR - TO BE SELECTED @ TIME OF PLANTING		4" POTS	AS REQD.	MASS PLANTING, Δ SPACING	N/A
	LIMONUM PEREZZII	SEA LAVENDER	1 GALLON	24" O.C.	MASS PLANTING, Δ SPACING	N/A
	FELARCONIUM PELATUM	IVY GERANIUM	FLATS	4" O.C.	MASS PLANTING, Δ SPACING	N/A
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	1 GALLON	18" O.C.	MASS PLANTING, Δ SPACING	N/A
VINE						
	BOUGAINVILLEA SPECTABILIS 'ROSEA'	BOUGAINVILLEA	15 GALLON	PER PLAN	TRAIN ON FENCE COLUMN	N/A

48 spaces



7805 EMERY PLACE
RANCHO CUCAMONGA, CA 91750
909 . 466 . 4364
FACSIMILE
909 . 466 . 4374
email: CPART@EEOORS
url: WWW.OP-ART.COM

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		

**ARMSTRONG G. C.
NEWPORT BEACH**

1500 EAST PACIFIC COAST HIGHWAY
NEWPORT BEACH, CALIFORNIA 92660



DRAWING INFO.

PLANTING PLAN

JOB No. 4601
DRAWN mgp
DATE 10.09.96
CHECKED DD
SCALE NOTED
FILE ID.

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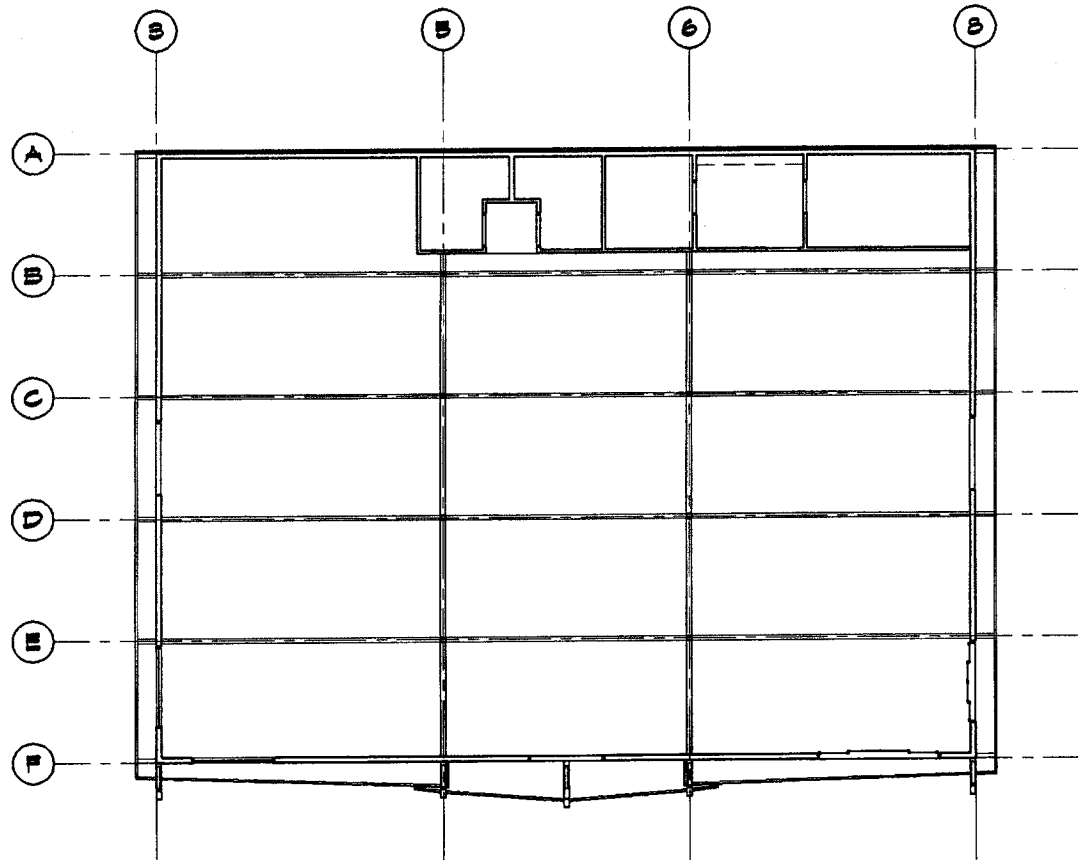
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L-1

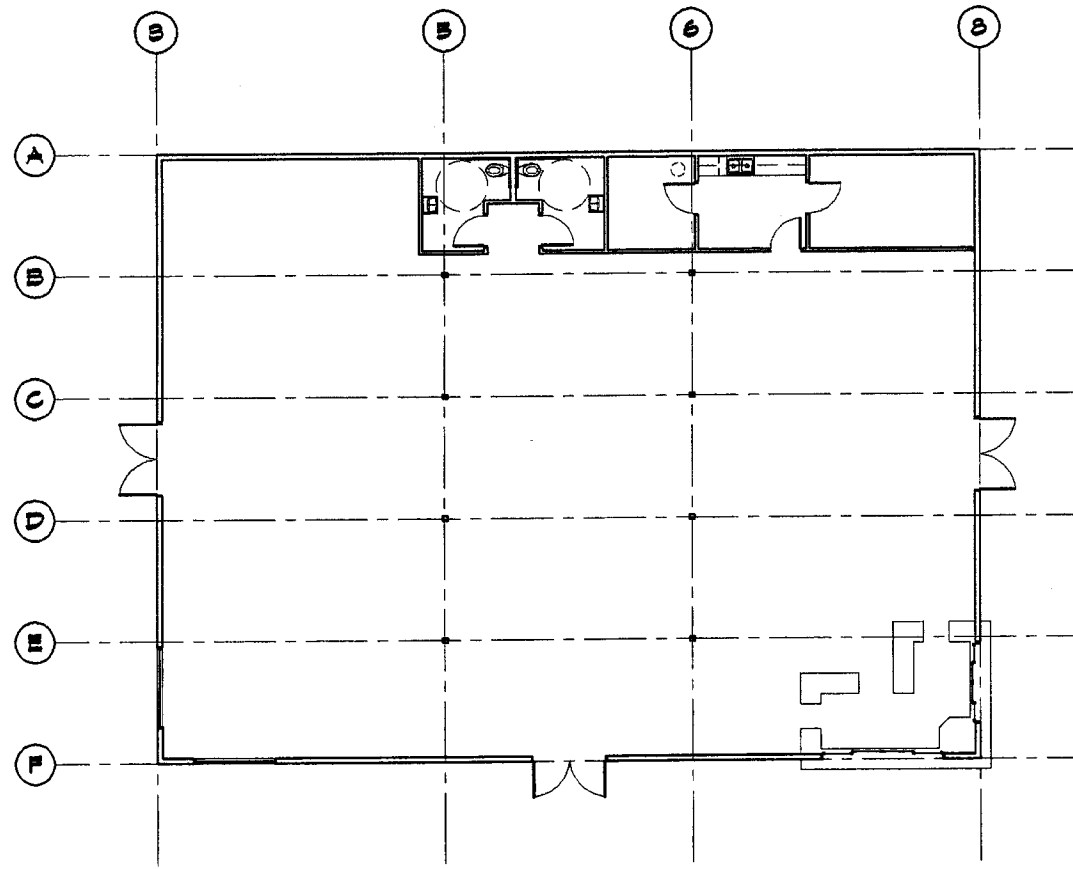


Integrated Design Group

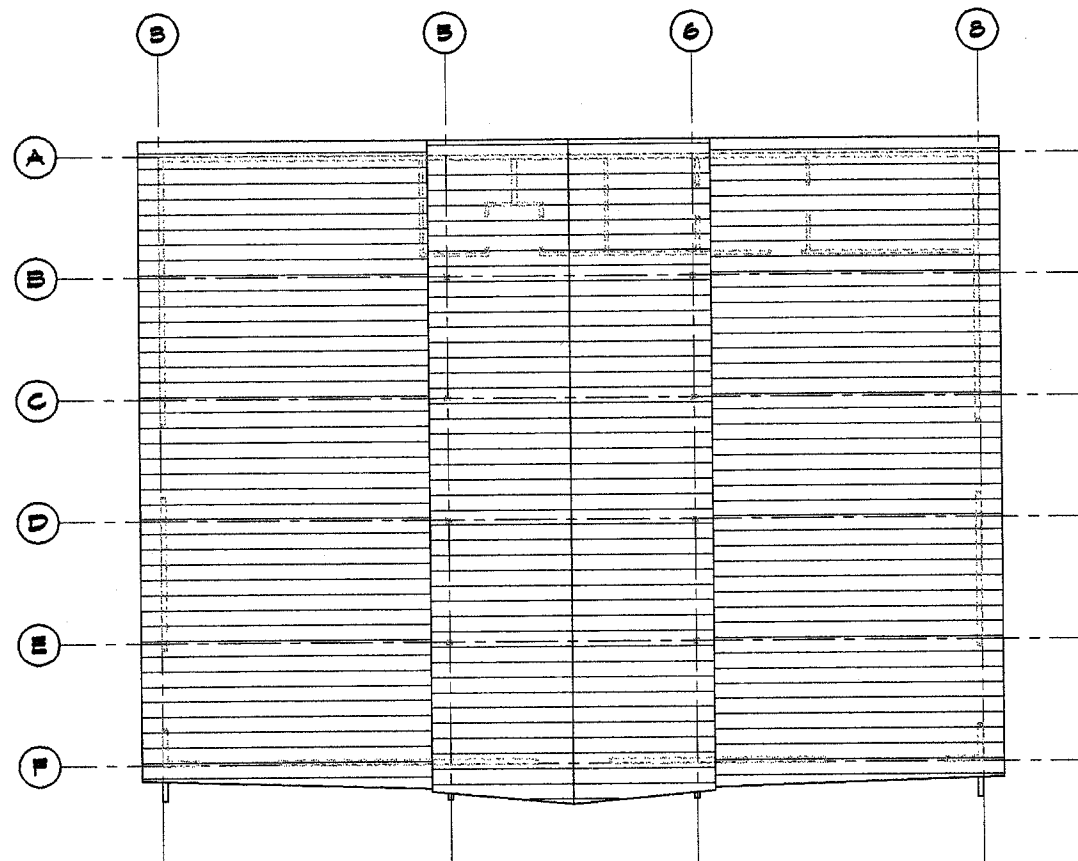
• Landscape Architecture - Planning •
226 W. Foothill Blvd., Suite F
Claremont, CA 91711
Tel (909) 984.0660
Fax (909) 626.8257



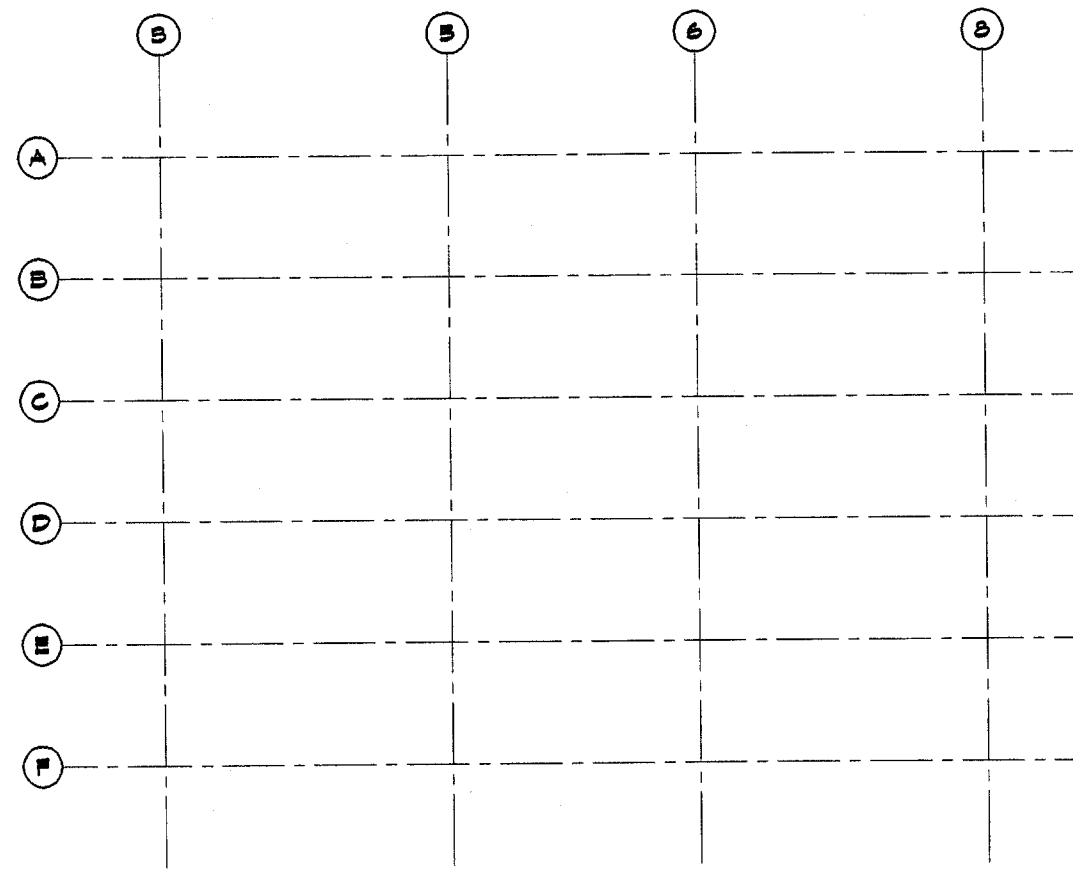
3 REFLECTED CEILING PLAN
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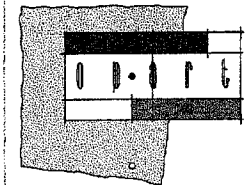
1 FLOOR PLAN
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4 ROOF PLAN
1/8"=1'-0"

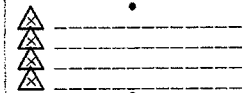


2 CLERESTORY PLAN
1/8"=1'-0"



18240 SHAMROCK STREET
FONTANA, CALIFORNIA 92336
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FACSIMILE
904 . 955 . 2405
email: OFART@EEE.ORG

REVISIONS



**ARMSTRONG G. C.
FOOTHILL RANCH**
1500 EAST PACIFIC COAST HIGHWAY
NEWPORT BEACH, CALIFORNIA 92660



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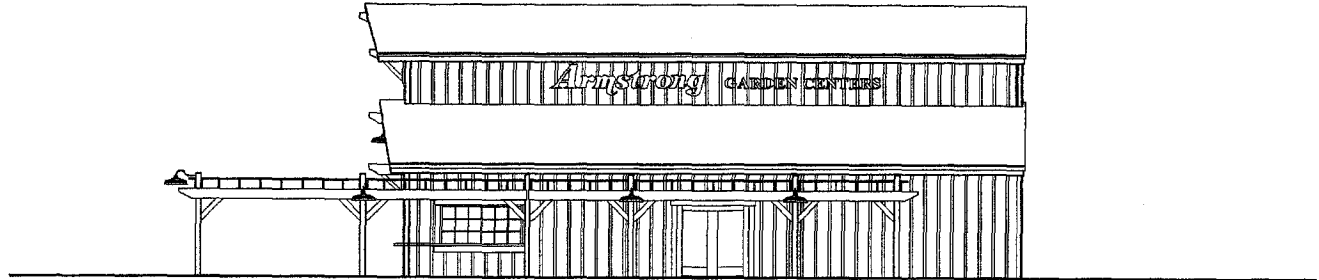
**FLOOR, ROOF
REFLECTED CLG.
CLERESTORY PLAN**

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DRAWN T. WHITE
DATE 08/12/98
CHECKED TFW
SCALE: NOTED
FILE ID: #801A21D198

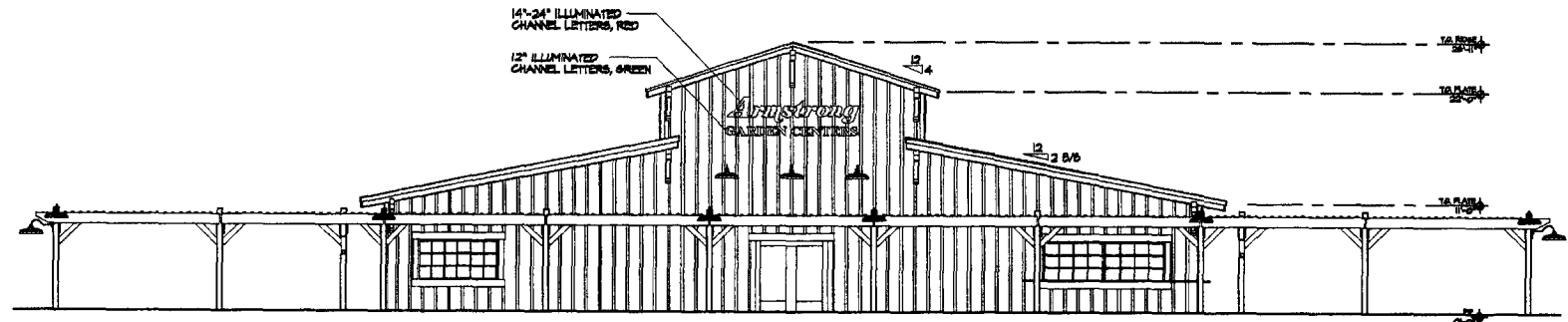
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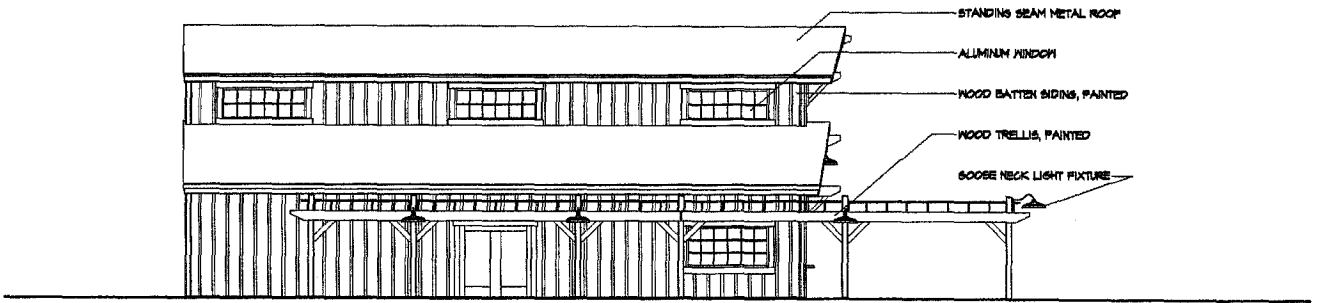
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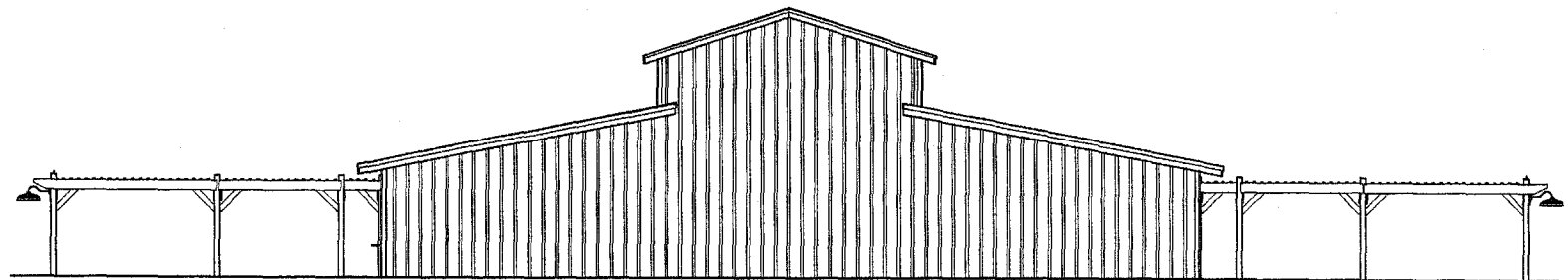
1 SOUTH-EAST ELEVATION
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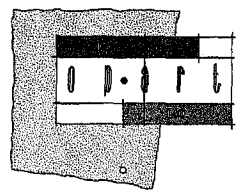
2 SOUTH-WEST ELEVATION
1/8"=1'-0"



3 NORTH-WEST ELEVATION
1/8"=1'-0"



4 NORTH-EAST ELEVATION
1/8"=1'-0"



7808 EVERY PLACE
RANCHO CUCAMONSA, CA
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url: WWW.OP-ART.COM

REVISIONS

•	
•	
•	

**ARMSTRONG G. C.
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1500 EASH PACIFIC COAST HIGHWAY
NEWPORT BEACH, CALIFORNIA 92660

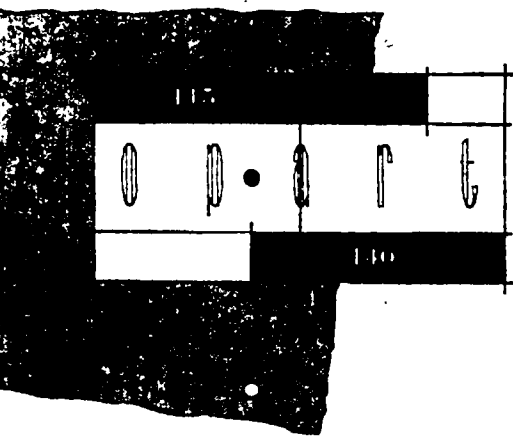


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EXTERIOR ELEVATIONS & DETAILS
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DATE 08/12/98
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SCALE: NOTED
FILE ID: 9702A91.DWG
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A-3.1



7803 emery place rancho cucamonga, california 91730 909/355 2905



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MEETING DATE 11/8/98
FOLIO NUMBER
APPLICATION 1123641

•
design

•
awareness

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leadership

•
vision

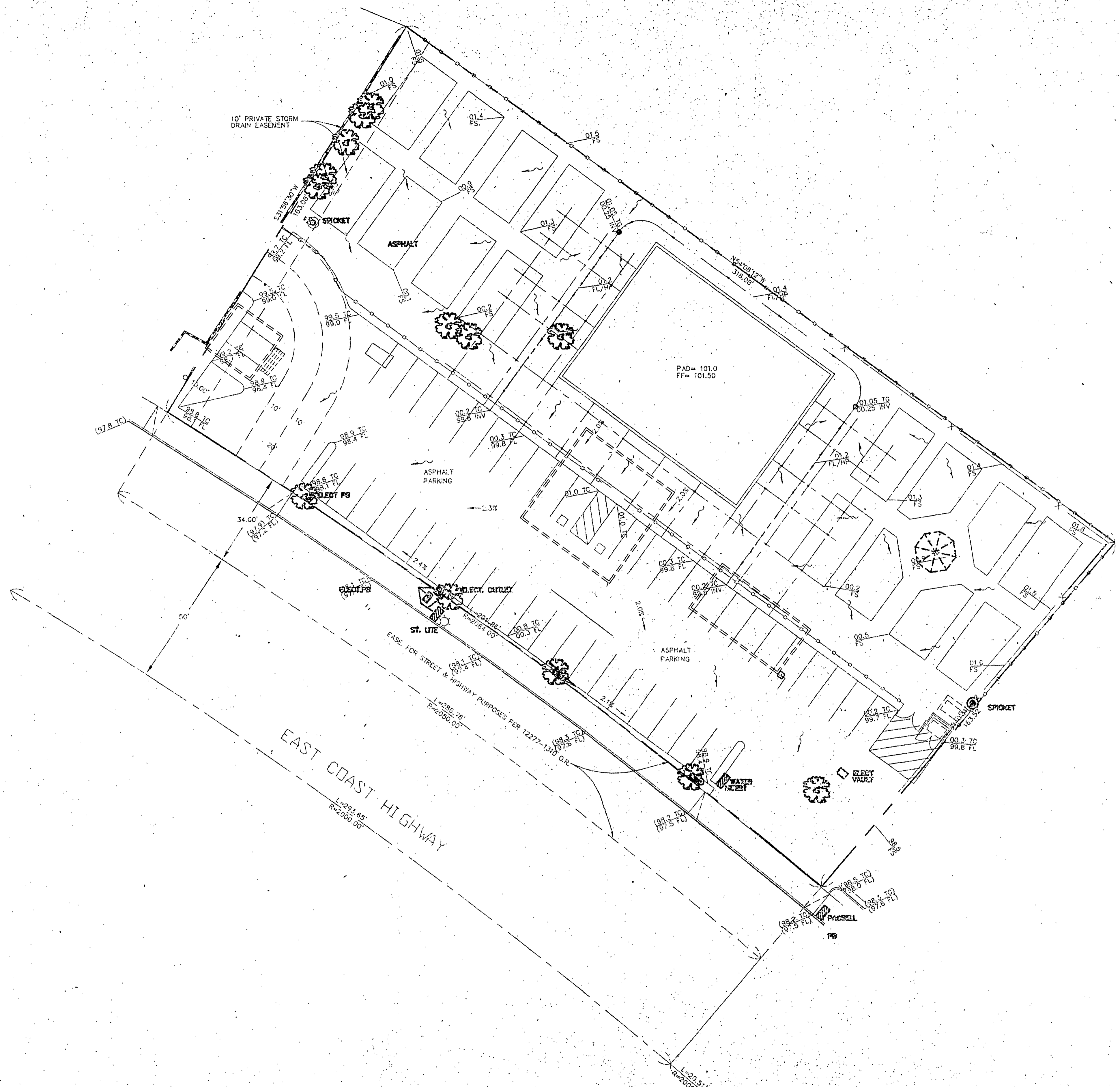
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craftsmanship



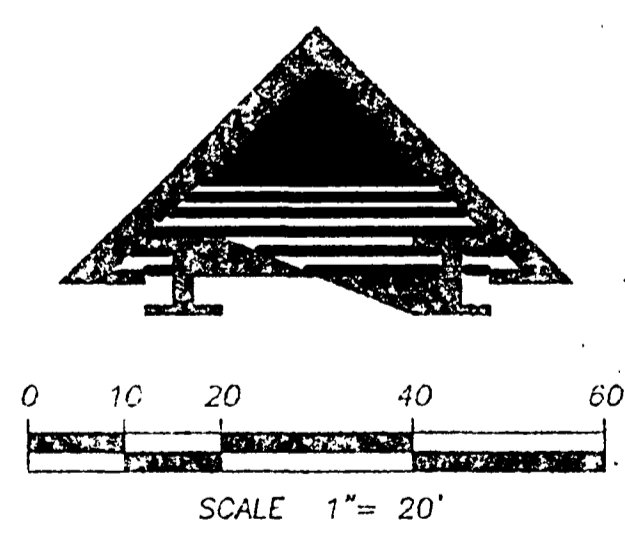
NEWPORT BEACH

Armstrong

GARDEN CENTERS

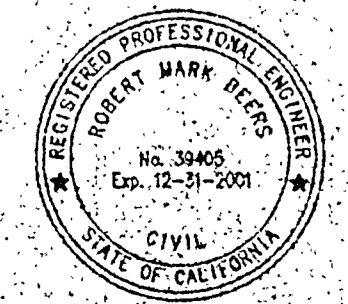


- LEGEND:
- IRRIGATION CONTROL BOX
 - ELECTRIC PULL BOX
 - POWER POLE
 - SIGN
 - WATER VALVE
 - LIGHT POLE
 - FIRE HYDRANT
 - ELECTRIC MANHOLE
 - TELEPHONE MANHOLE
 - SEWER MANHOLE
 - STORM DRAIN MANHOLE
 - TREE
 - CHAIN LINK FENCE
 - EDGE OF PAVEMENT
 - EXISTING BUILDING
 - EXISTING WALL
 - EXISTING CONTOUR
 - EXISTING CURB
 - CONCRETE
 - BLDG OVERHANG



BENCHMARK
 THE BENCHMARK USED FOR THIS PROJECT IS AN ORANGE COUNTY SURVEYOR'S BM #3K-46-91: A BRASS DISK ON THE W'LY CORNER OF A CATCH BASIN AT THE NORTHEASTERLY CORNER OF THE INTERSECTION OF PACIFIC COAST HWY AND NEWPORT CENTER DR. ELEV = 95.4841'

BASIS OF BEARINGS
 THE BASIS OF BEARING HELD FOR THIS PROJECT IS THE CENTERLINE OF PACIFIC COAST HWY PER ORANGE COUNTY SURVEYOR'S CONTROL NET POINTS, #S 6294 TO 6290 (AVOCADO AVE. TO IRVINE TERR.) BEARING = N 49° 45' 09" W



Crouse/Beers & Associates, Inc.
 Civil Engineering * Surveying * Planning
 1700 Hammer Avenue, Suite 104
 Norco, Ca. 91760 (909) 736-2040 Fax: (909) 736-5292
 ROBERT M. BEERS R.C.E. NO. 39405 EXP. 12/31/01 DATE

NO.	REVISIONS

CONCEPTUAL GRADING PLAN
 FOR
 ARMSTRONG NURSERY
 1500 E. PACIFIC COAST HWY
 NEWPORT BEACH, CA

DATE: 8/13/98
 SHEET 1 OF 1

1 ABBY.

A/C	Air Conditioning
ACP	Asphaltic Concrete Paving
AFP	Above Finish Floor
ALT.	Alternate
ALU	Aluminum
ARCH	Architectural
BLDG	Building
C.J.	Control Joint
CLG	Ceiling
CLR	Clear
COL.	Column
CONC	Concrete
CONT	Continuous
CPT	Corpart
C.T.	Ceramic Tile
D.A.	Disabled Access
D.F.	Drinking Fountain
DIA	Diameter
D.S.	Drip Spout
DTL	Detail
DWS	Drawing
(E)	Existing
EA	Each
EJ	Expansion Joint
ELEC	Electrical
EL	Elevation
EQ	Equal
EQUIP	Equipment
EW	Electric Water Cooler
EXT.	Exterior
F.D.	Floor Drain
FDN	Foundation
F.E.	Fire Extinguisher
FEC	Fire Extinguisher Cabinet
F.F.	Finish Floor
F.O.C.	Face of Concrete
F.O.F.	Face of Finish
F.O.S.	Face of Stud
F.R.	Fire Retardant
FUR	Furring
GA	Gauge or Gage
GLV	Galvanized
GC	General Contractor
GWB	Gypsum Wall Board
GWB-MR	GWB Moisture Resistant
GWB-X	GWB Fire Retardant "X"
HB	Hose Bib
HC	Hollow Core
HDWR	Hardware
H.M.	Hollow Metal
HORIZ	Horizontal
HT	Height
I.D.	Inside Diameter
INSUL	Insulation
INT	Interior
JAN.	Janitor
JT	Joint
LAV	Lavatory
LAM	Laminate
MAX	Maximum
MECH	Mechanical
MEMB	Membrane
M.F.	Manufacturer Finish
MFR	Manufacturer
MIN	Minimum
M.O.	Masonry Opening
MTL	Metal
(N)	Non
NIC	Not In Contract
NUM	Number
NTS	Not To Scale
O.C.	On Center
O.D.	Outside Diameter
O.H.	Opposite Hand
OPF	Opposite
(P)	Paint
PR	Pair
PWD	Plywood
QT	Quarry Tile
R	Riser
(R)	Remove
REF	Refer (to)
REQD	Required
RENF	Reinforced
R.D.	Roof Drain
R.O.	Rough Opening
S.A.C.	Suspended Acoustical Ceiling
SC	Solid Core
SF	Square Foot
SIM	Similar
SPEC	Specifications
SST	Stainless Steel
STD	Standard
STL	Steel
STRUC	Structural
SUSP.	Suspended
T	Tread
T.O.B.	Top of Beam - Steel
T.O.C.	Top of Concrete
T.O.S.	Top of Sheathing
T.O.W.	Top of Wall
TYP	Typical
UL	Underwriters Laboratory
UNO	Unless Noted Otherwise
VCT	Vinyl Composition Tile
VER	Vertical
VWC	Vinyl Wall Covering
W	With
WC	Water Closet
WR	Water Resistant
WFF	Welded Wire Fabric

2 GENERAL NOTES

- THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- THESE DOCUMENTS AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF OP-ART, AND ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF OP-ART.
- SCOPE: THESE DRAWINGS AND SPECIFICATIONS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPTS, DIMENSIONS OF THE BUILDINGS, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESIRED, FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- ALL ITEMS ARE NEW UNLESS CALLED OUT AS "EXISTING."
- ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE UNIFORM BUILDING CODE AND THE LOCAL GOVERNING CODES AND AUTHORITIES. INSTALLATION SHALL FOLLOW THE MANUFACTURERS' PUBLISHED SPECIFICATION AND/OR TRADE STANDARDS, IN ADDITION TO MEETINGS OR EXCEEDING THE DESIGN STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING(S) ON SITE.
- UNLESS NOTED OTHERWISE, PLAN DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE WALLS. INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.
- DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS THAT AFFECT ANY WORK, NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTION ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED WITHOUT INSTRUCTIONS FROM THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT. SHOULD A CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DOCUMENTS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIAL.
- LOCATIONS OF ALL UTILITIES ARE APPROXIMATE AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATING AND TRENCHING ON THIS SITE TO AVOID INTERCEPTING EXISTING PIPING OR CONDUITS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT SHOULD ANY UNIDENTIFIED CONDITIONS BE DISCOVERED. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK.
- PENETRATIONS TO FIRE RATED MATERIALS OR ASSEMBLIES SHALL BE RESTORED TO EQUAL RATINGS. FIRE STOP SYSTEMS AS LISTED BY UNDERWRITERS LABORATORIES SHALL BE INSTALLED PER FIRE RESISTANCE DIRECTORY. FIRE STOP SYSTEMS SHALL BE AS FOLLOWS:
(a) STUD WALLS - UL No. 147
(b) MASONRY WALLS - UL No. - 180/340
- CONFINE ALL OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE OWNER. THE WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LAWS, LOCAL ORDINANCES, PERMITS, AND THE CONTRACT DOCUMENTS. THE JOB SITE IS TO BE MAINTAINED IN A CLEAN, ORDERLY CONDITION FREE FROM DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIAL OR EQUIPMENT. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS OPERATION.
- ALL MATERIAL STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USED. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
- ALL CUTTING, FITTINGS, OR PATCHING THAT MAY BE REQUIRED TO MAKE SEVERAL PARTS FIT TOGETHER PROPERLY SHALL BE DONE SO AS NOT TO ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATING, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED, IN EXECUTION OF WORK SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE ARCHITECT HAS APPROVED THE SUBMISSION. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND SAMPLES.
- ALL REQUESTS FOR SUBSTITUTIONS OF ITEMS SPECIFIED SHALL BE SUBMITTED IN WRITINGS TO THE ARCHITECT AND WILL BE CONSIDERED ONLY IF BETTER SERVICE FACILITATES MORE ADVANTAGEOUS DELIVERY DATE, OR A LESSER PRICE WITH CREDIT TO THE OWNER WILL BE PROVIDED WITHOUT SACRIFICING QUALITY, APPEARANCE, AND/OR FUNCTION. UNDER NO CIRCUMSTANCE WILL THE ARCHITECT BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT SPECIFIED.
- PROVIDE ALL NECESSARY OPENINGS THROUGH FLOORS AND WALLS, BLOCKING, BACKINGS, ROUGH BUCKS, FURRING, CURBS, ANCHORS, INSERTS, EQUIPMENT BASES AND FRAMING FOR LIGHT FIXTURES, ELECTRIC UNITS, A/C EQUIPMENT AND ALL OTHER ITEMS REQUIRING IT TO ENSURE A COMPLETE AND PROPER INSTALLATION OF SURFACE MOUNTED AND RECESSED ITEMS.
- WHERE LARGER STUDS OR FURRING IS REQUIRED TO COVER STRUCTURE, DUCTS, PIPING OR CONDUIT, THE LARGER STUD SIZE FURRING SHALL EXTEND THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS, UNLESS NOTED OTHERWISE.
- DOORS NOT DIMENSIONALLY LOCATED SHALL BE 6" FROM STUD FACE TO EDGE OF DOOR OR CENTERED BETWEEN WALLS AS SHOWN.
- WATER HEATERS WITH NON-RIGID CONNECTION AND OVER FOUR (4) FEET IN HEIGHT SHALL BE EQUIPPED WITH EARTHQUAKE ANCHORS AND STRAPPINGS.
- VENT ALL BATHROOM AND KITCHEN FANS TO OUTSIDE ATMOSPHERE. BATHROOM / KITCHEN FANS SHALL BE CAPABLE OF FIVE (5) AIR CHANGES PER HOUR AND SHALL BE VENTED DIRECTLY OUTSIDE THE BUILDING ENVELOPE VIA SMOOTH, RIGID, NON-CORROSIVE 24 GAUGE METAL DUCTWORK.
- EXIT SIGNS: PROVIDE ALL ILLUMINATED AND NON-ILLUMINATED EXIT SIGNS AS INDICATED ON THE DRAWINGS AND AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES AND CHAPTER 10 OF THE UNIFORM BUILDING CODE. REFER TO SPECIFICATION SECTION 10400.
- PROVIDE ACCESS PANELS TO ALL CONCEALED EQUIPMENT AND OPEN SPACES (I.E., ATTICS, VOID SPACES, ETC.) AS REQUIRED BY THE UNIFORM BUILDING CODE AND LOCAL GOVERNING AUTHORITIES.
- COMPLY WITH THE DISABLED ACCESSIBILITY REQUIREMENTS OF CALIFORNIA ADMINISTRATIVE CODE, TITLE 24 - PART 2
- WHEN INSTALLING DRILLED-IN ANCHORS OR POWER DRIVEN PINS IN NON-PRESTRESSED REINFORCED CONCRETE, USE CARE AND CAUTION TO AVOID CUTTING, OR DAMAGING THE EXISTING REINFORCING BARS. MAINTAIN A MIN. CLEARANCE OF 1" BETWEEN THE REINFORCEMENT AND THE DRILLED-IN ANCHOR OR PIN.
- FOOD HANDLING FACILITIES SHALL COMPLY WITH ALL LOCAL HEALTH DEPARTMENT REQUIREMENTS AND CALIFORNIA'S UNIFORM RETAIL FOOD FACILITIES LAWS.

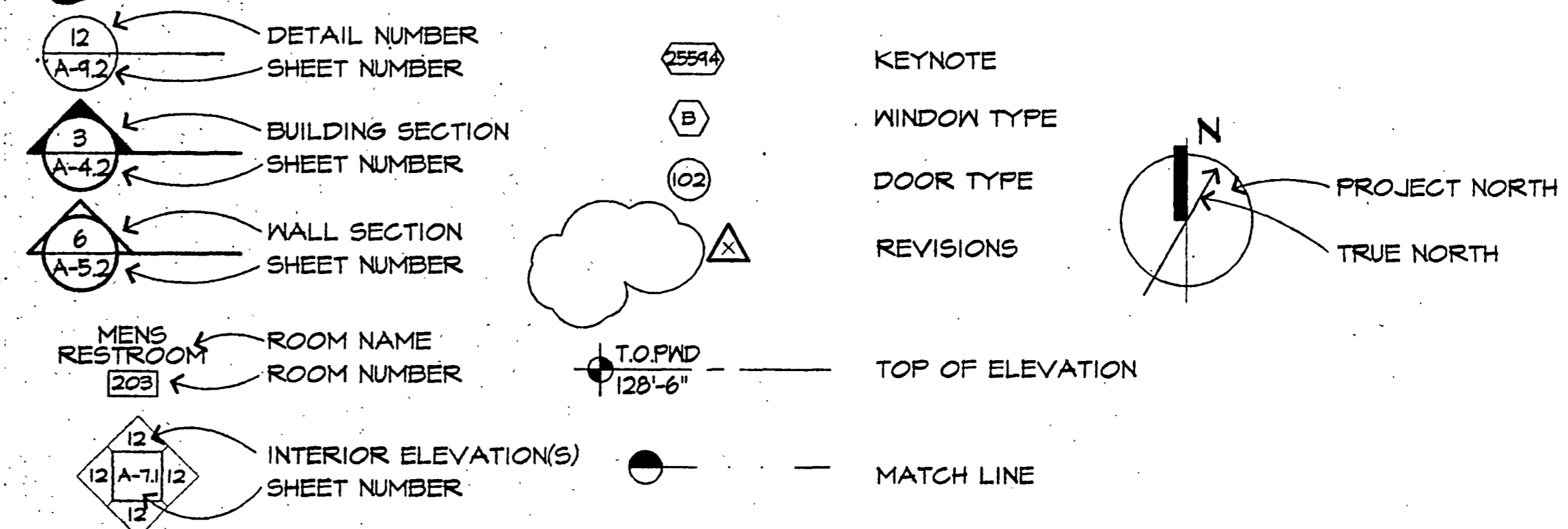
3 DRAWING INDEX

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		E-30	POWER, LIGHTING, & SIGNAL PLANS
			LANDSCAPING
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S-01	GENERAL NOTES AND DETAILS		
S-02	GENERAL NOTES AND WOOD DETAILS		
S-03	DETAILS		
S-11	FOUNDATION AND ROOF FRAMING PLAN		

4 PROJECT TEAM

- OWNER**
 COMPANY: ARMSTRONG GARDEN CENTERS
 ADDRESS: 2200 EAST ALOSTA AVENUE, SUITE 200, GLENORA, CA 91140
 TELE: 626/914-1041
 FAX: 626/335-0251
 CONTACT: MICHAEL KUNCE
- ARCHITECT**
 COMPANY: OP-ART
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 TELE: 909/355-2405
 FAX: 909/355-2405
 CONTACT: TIMOTHY F. WHITE
- CONTRACTOR**
 COMPANY: SIMAG CONSTRUCTION, INC.
 ADDRESS: 15430 BERNARDO CENTER DRIVE, SAN DIEGO, CA 92127
 TELE: 619/674-4800
 FAX: 619/674-5580
 CONTACT: ANDY MACHIN
- CIVIL ENGINEER**
 COMPANY: CROUSE BEERS & ASSOCIATES, INC.
 ADDRESS: 1700 HANMER AVENUE, SUITE 104, NORCO, CA 91760
 TELE: 909/786-2040
 FAX: 909/786-3242
 CONTACT: DOUG CROUSE
- STRUCTURAL ENGINEER**
 COMPANY: RICK BYRD & ASSOCIATES
 ADDRESS: 551 NORTH EUCLID AVENUE, ONTARIO, CA 91762
 TELE: 909/982-2544
 FAX: 909/983-4456
 CONTACT: RICK BYRD
- ELECTRICAL ENGINEER**
 COMPANY: MANDALORIAN DESIGN CONCEPTS
 ADDRESS: 2026 N. RIVERSIDE AVE., SUITE L-165, RIALTO, CA 92371
 TELE: 909/257-6806
 FAX: 909/256-8844
 CONTACT: JAMES CORNS
- PLUMBING ENGINEER**
 COMPANY: T.P. DESIGN
 ADDRESS: 486 BRITANNY DRIVE, CORONA, CA 91719
 TELE: 909/278-8058
 FAX: 909/278-8056
 CONTACT: TIMOTHY ROGCOCK

5 ARCHITECTURAL SYMBOLS



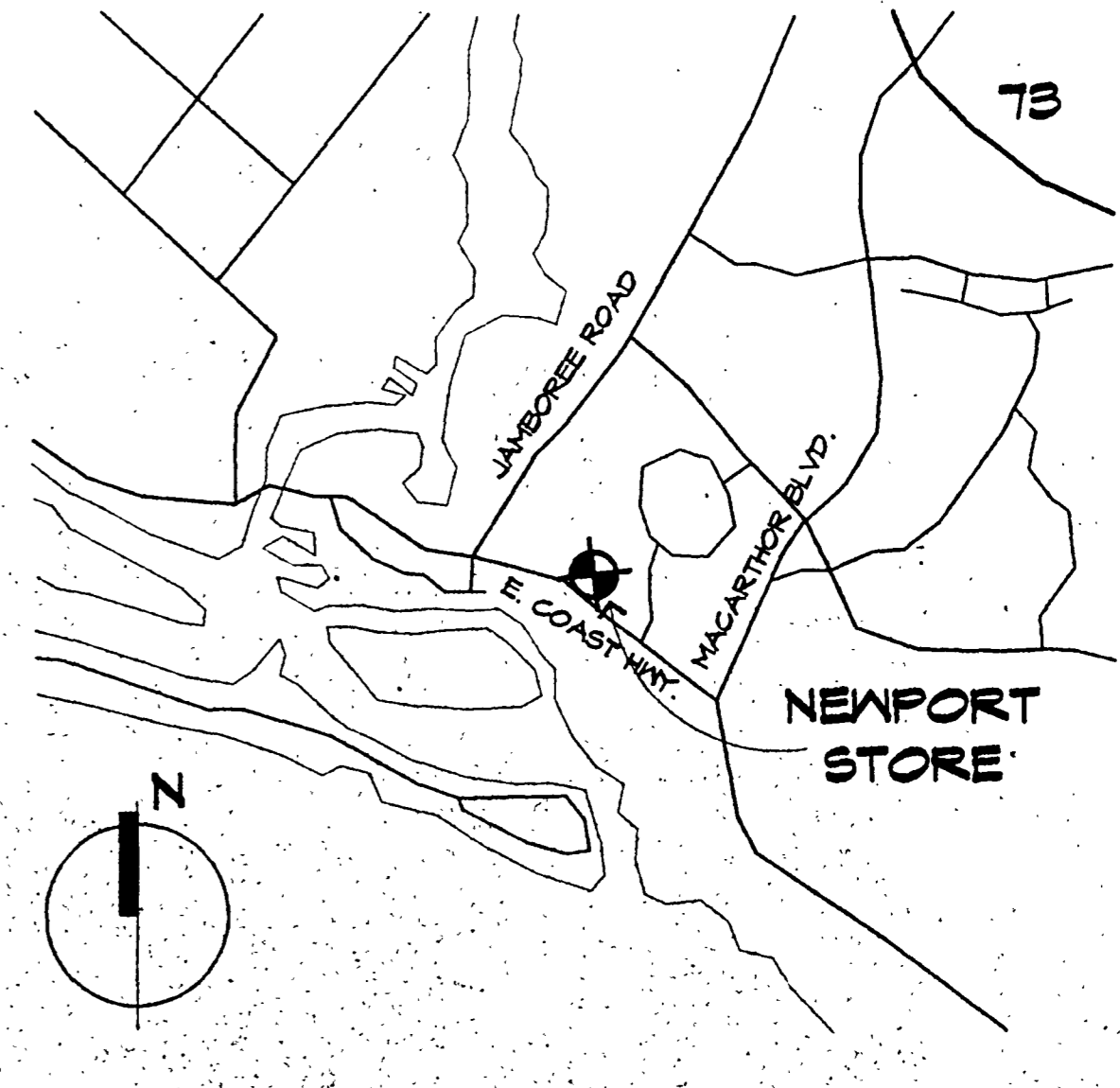
6 CODE ANALYSIS

- PROJECT DESCRIPTION: RETAIL GARDEN CENTER
- PROJECT LOCATION: 1500 EAST COAST HIGHWAY, NEWPORT BEACH, CALIFORNIA 92660
- APPLICABLE CODES: 1994 UBC, UFG, UMC, UFG, '93 NEC, & CCR TITLE 24
- ZONING INFORMATION

CODE	ACTUAL
A. ZONE DISTRICT	PG
B. MIN. FRONT YARD SETBACK	0 FT 86 FT
C. MIN. SIDE YARD SETBACK	5 FT (W. WEST) 110 FT
D. MIN. REAR YARD SETBACK	0 FT 10 FT
E. MAX HEIGHT	32 FT 30 FT
F. OFF STREET PARKING	2B 4B
- BUILDING INFORMATION

CODE	ACTUAL
A. OCCUPANCY	M
B. CONSTRUCTION TYPE	V - NON RATED, SPRINKLERED
C. OCCUPANT LOAD	130# 160
D. EXITS (PER OCCUPANT LOAD)	2 x 50' 4
E. BASIC ALLOWABLE AREA	8000#
F. AREA INCREASE PER SEPERATION	100% OR 8000#
G. AREA INCREASE IV SPRINKLERS	100% OR 8000#
H. MAXIMUM BUILDING AREA	24,000# 4800#

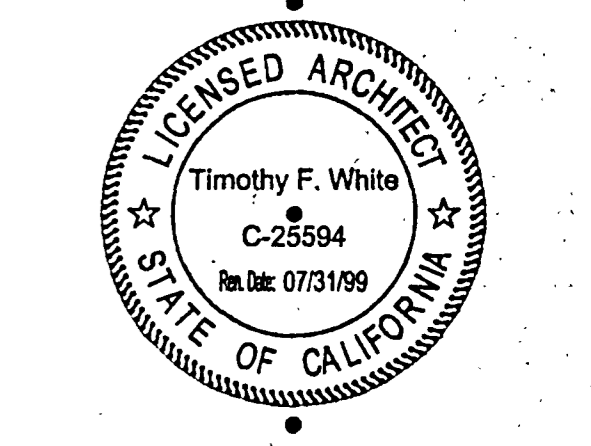
7 VICINITY MAP



18240 SHAMROCK STREET
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REVISIONS

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 NEWPORT BEACH, CALIFORNIA 92660



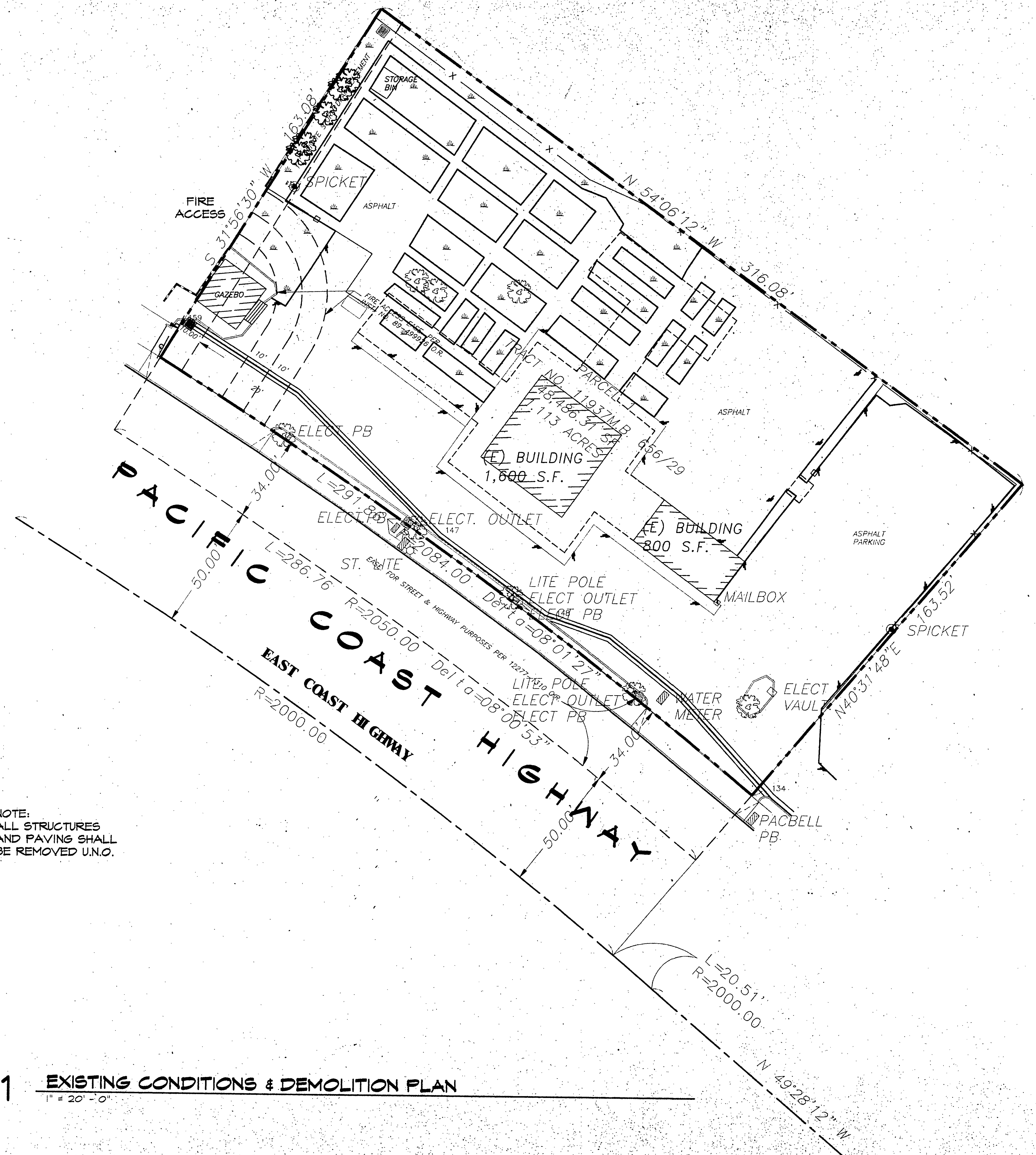
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PROJECT GENERAL INFORMATION

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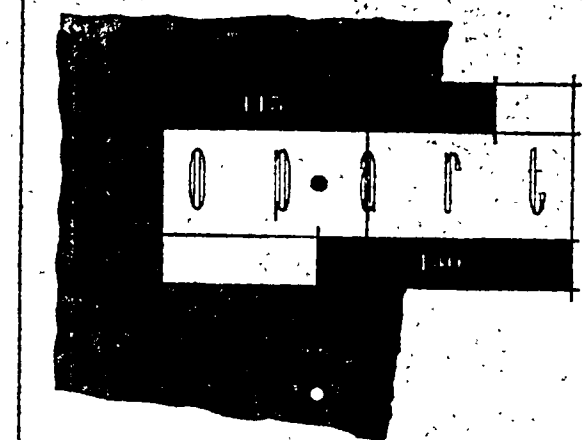
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NOTE:
ALL STRUCTURES
AND PAVING SHALL
BE REMOVED U.N.O.

1 EXISTING CONDITIONS & DEMOLITION PLAN
1" = 20' - 0"

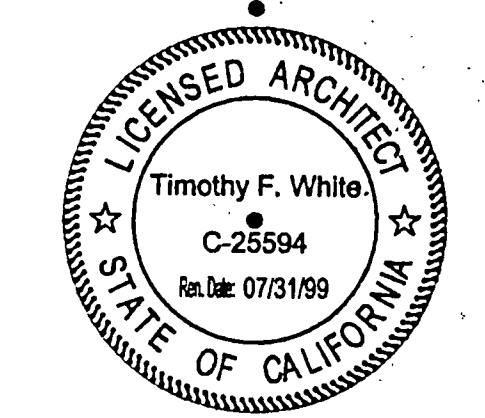


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REVISIONS

NO.	DESCRIPTION

ARMSTRONG G. C.
NEWPORT BEACH
1500 EAST PACIFIC COAST HIGHWAY
NEWPORT BEACH, CALIFORNIA 92660



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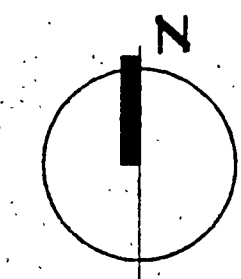
EXISTING COND. & DEMOLITION SITE PLAN

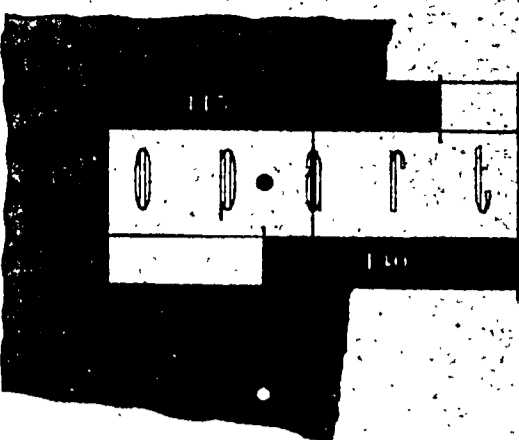
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A-1.1

CLUB HOUSE DRIVE



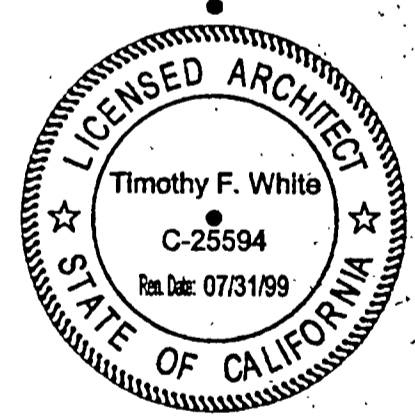


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REVISIONS

NO.	DATE	DESCRIPTION
1		

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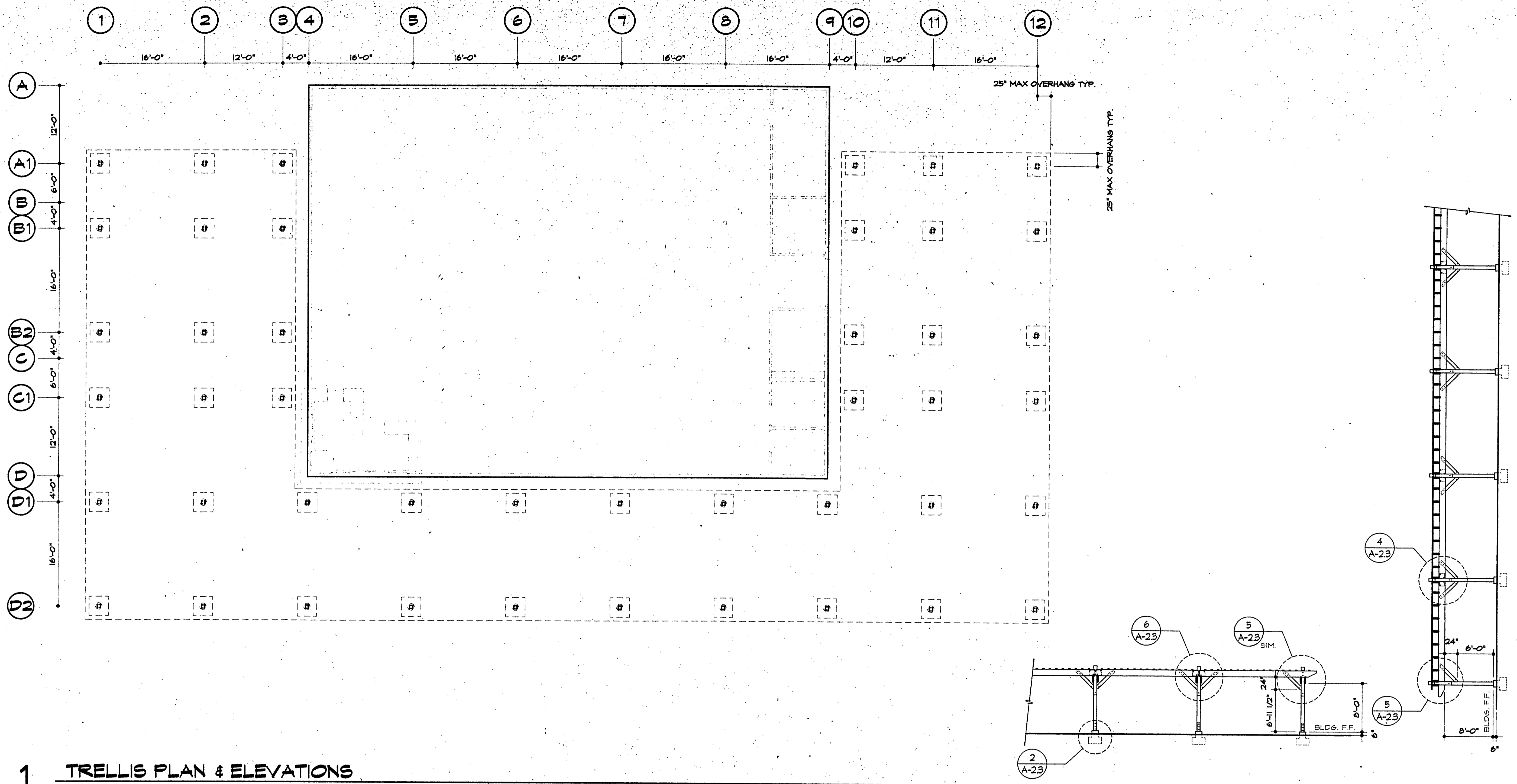
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TRELLIS PLAN & DETAILS

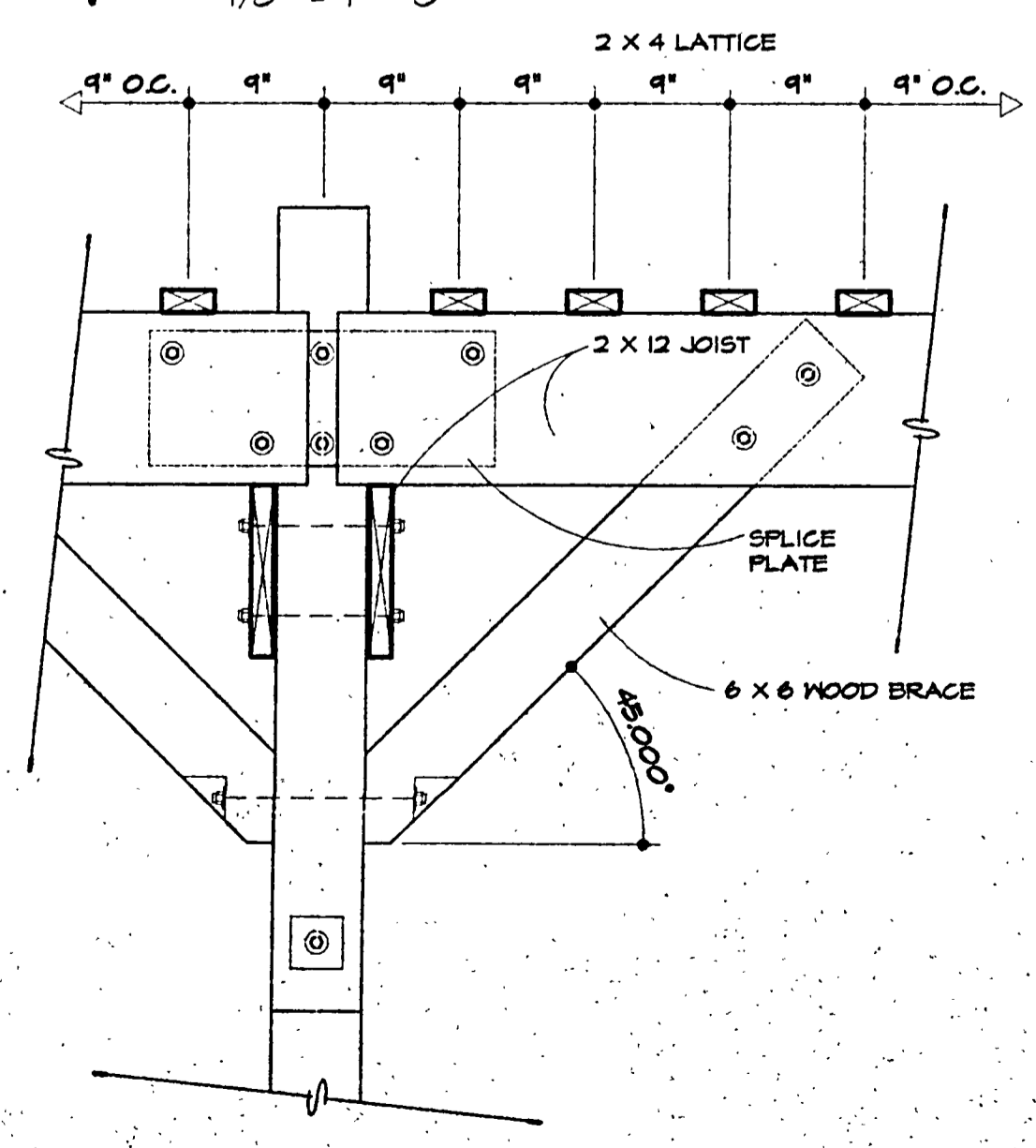
JOB No. 9801
 DRAWN T. WHITE
 DATE 09/12/98
 CHECKED TFH
 SCALE: NOTED
 FILE ID: 9702A23.DWG
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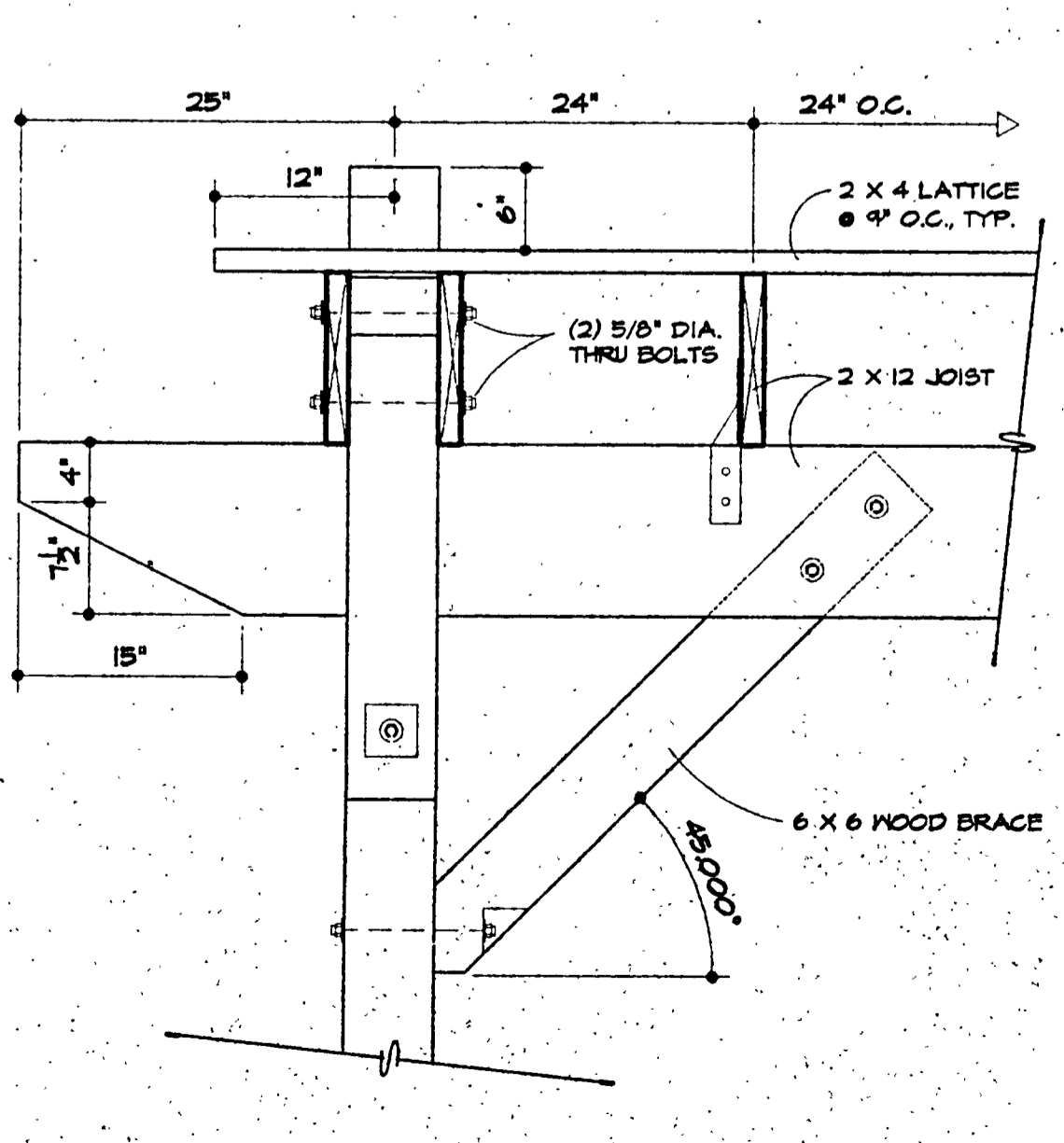
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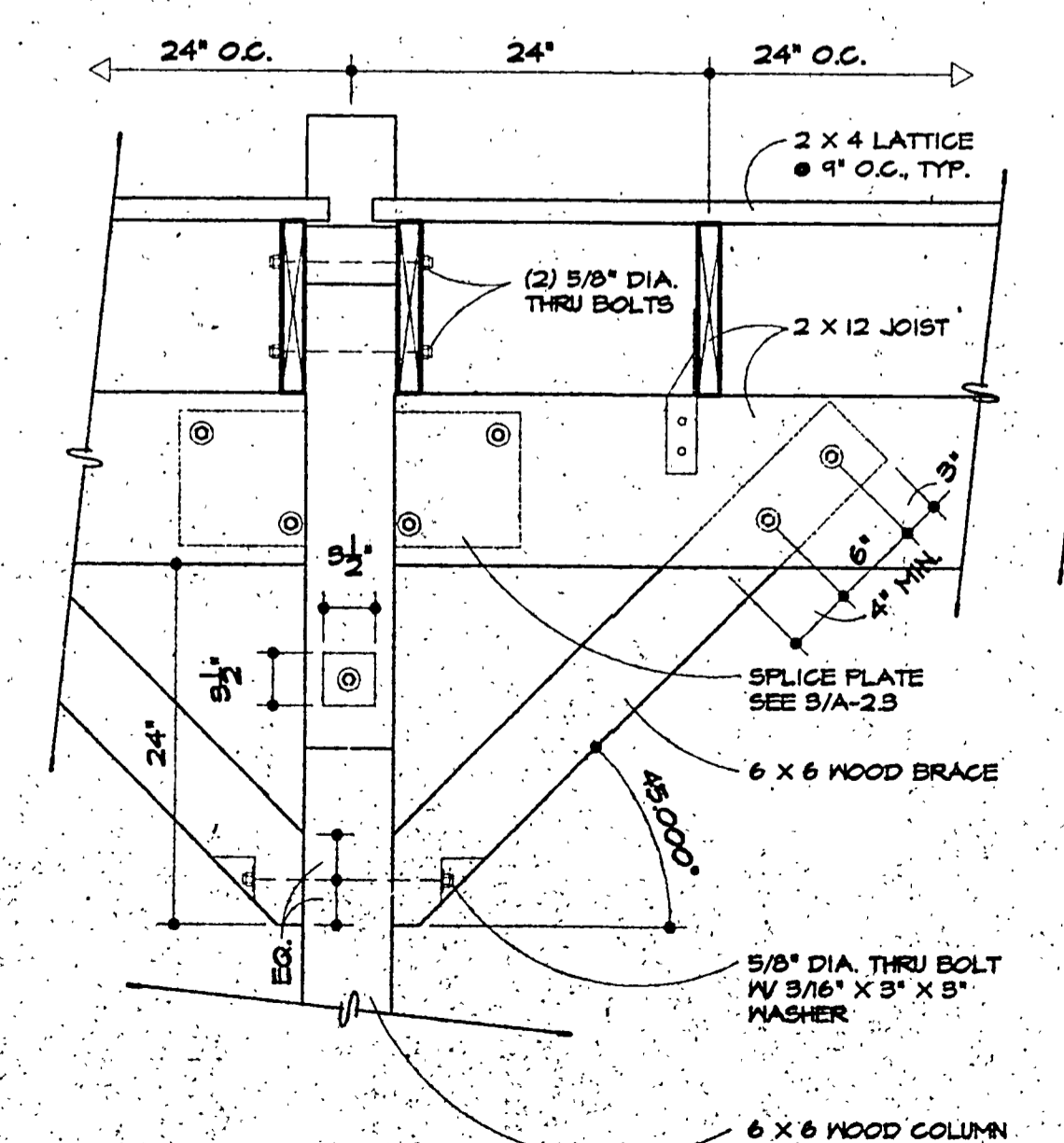
1 TRELLIS PLAN & ELEVATIONS
 1/8" = 1' - 0"



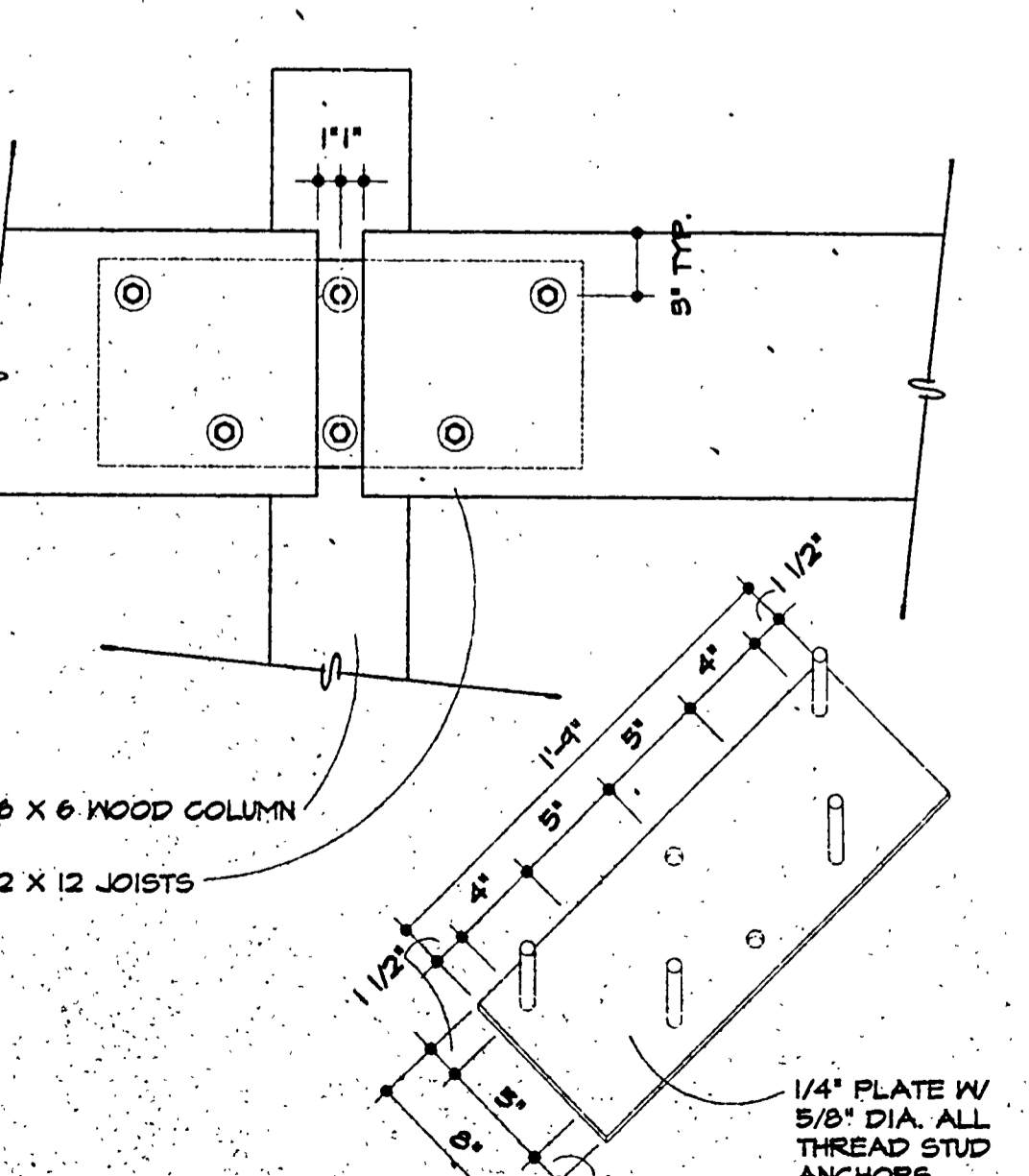
6 EAST/WEST BRACE
 1" = 1' - 0" DET18024



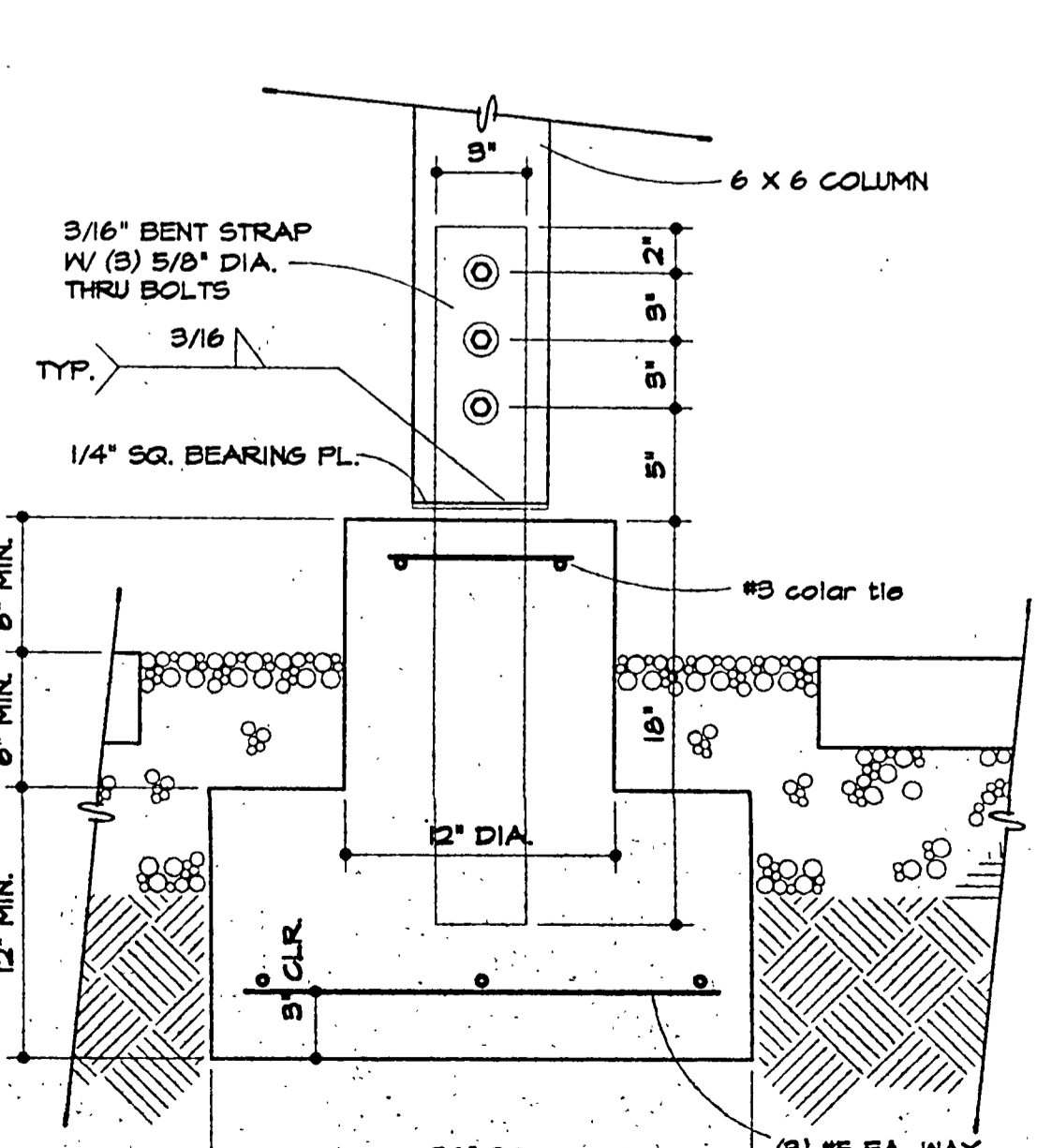
5 PERIMETER BRACE
 1" = 1' - 0" DET18023



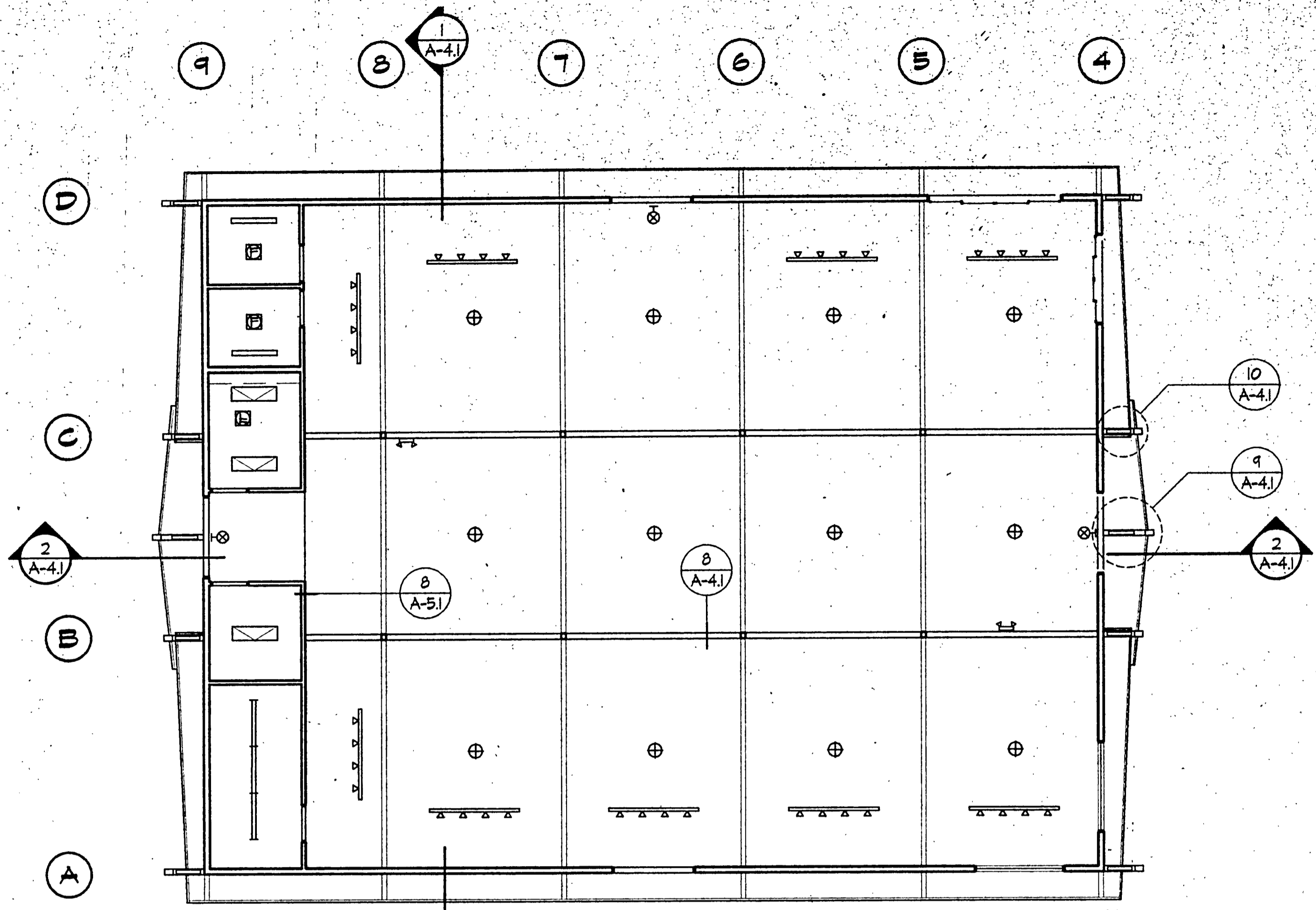
4 NORTH/SOUTH BRACE
 1" = 1' - 0" DET18022



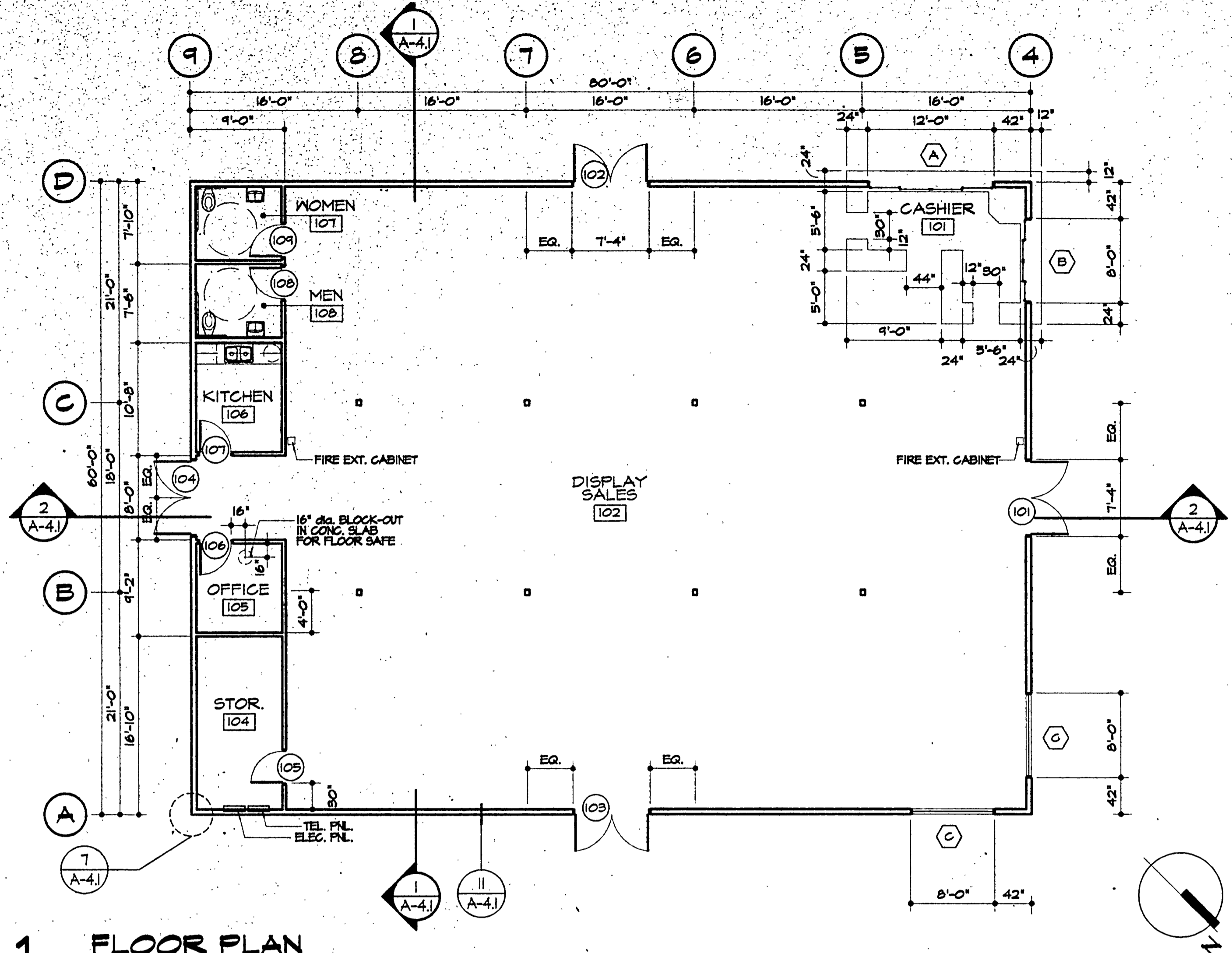
3 SPLICE PLATE
 1 1/2" = 1' - 0" DET18021



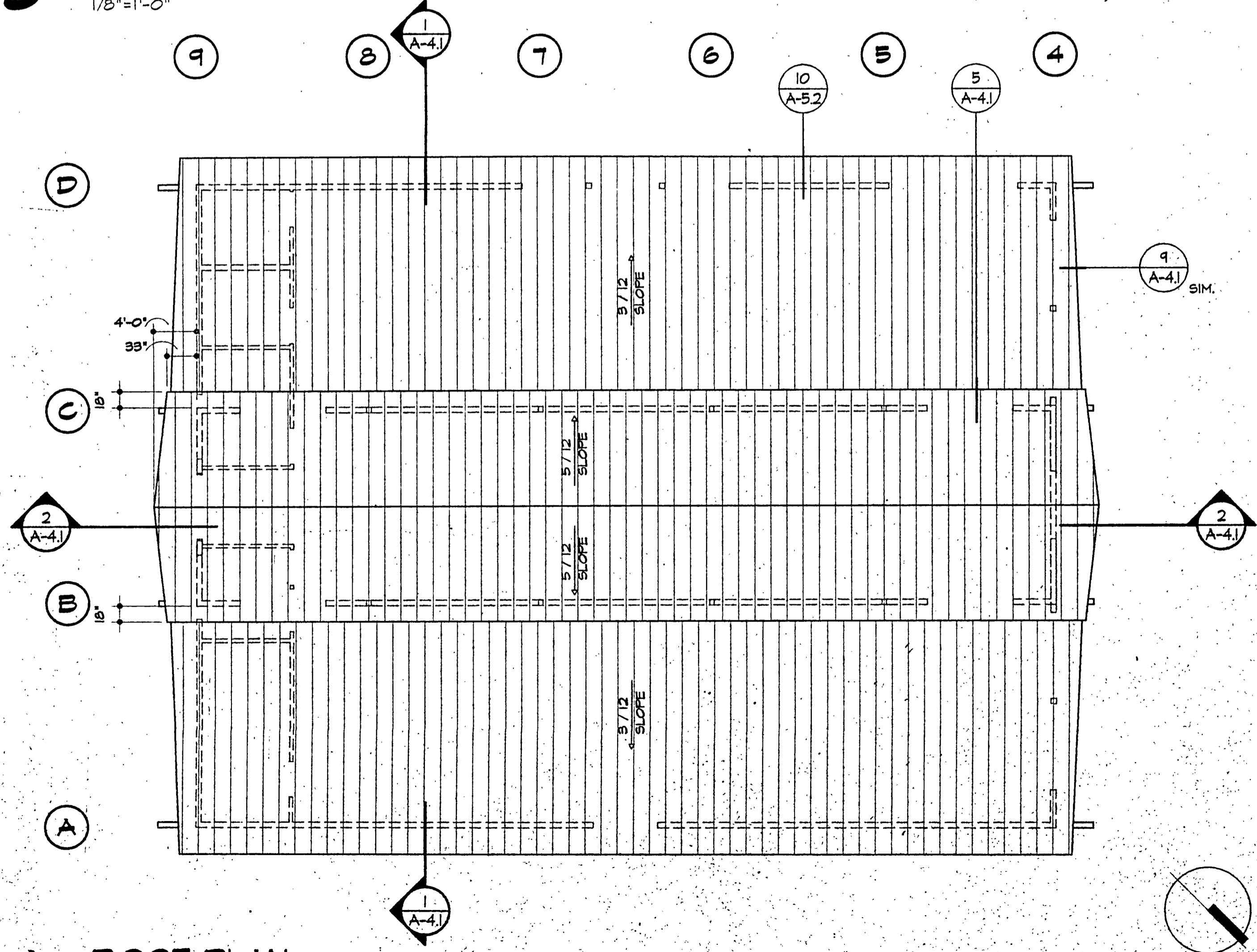
2 COLUMN BASE
 1 1/2" = 1' - 0" DET18020



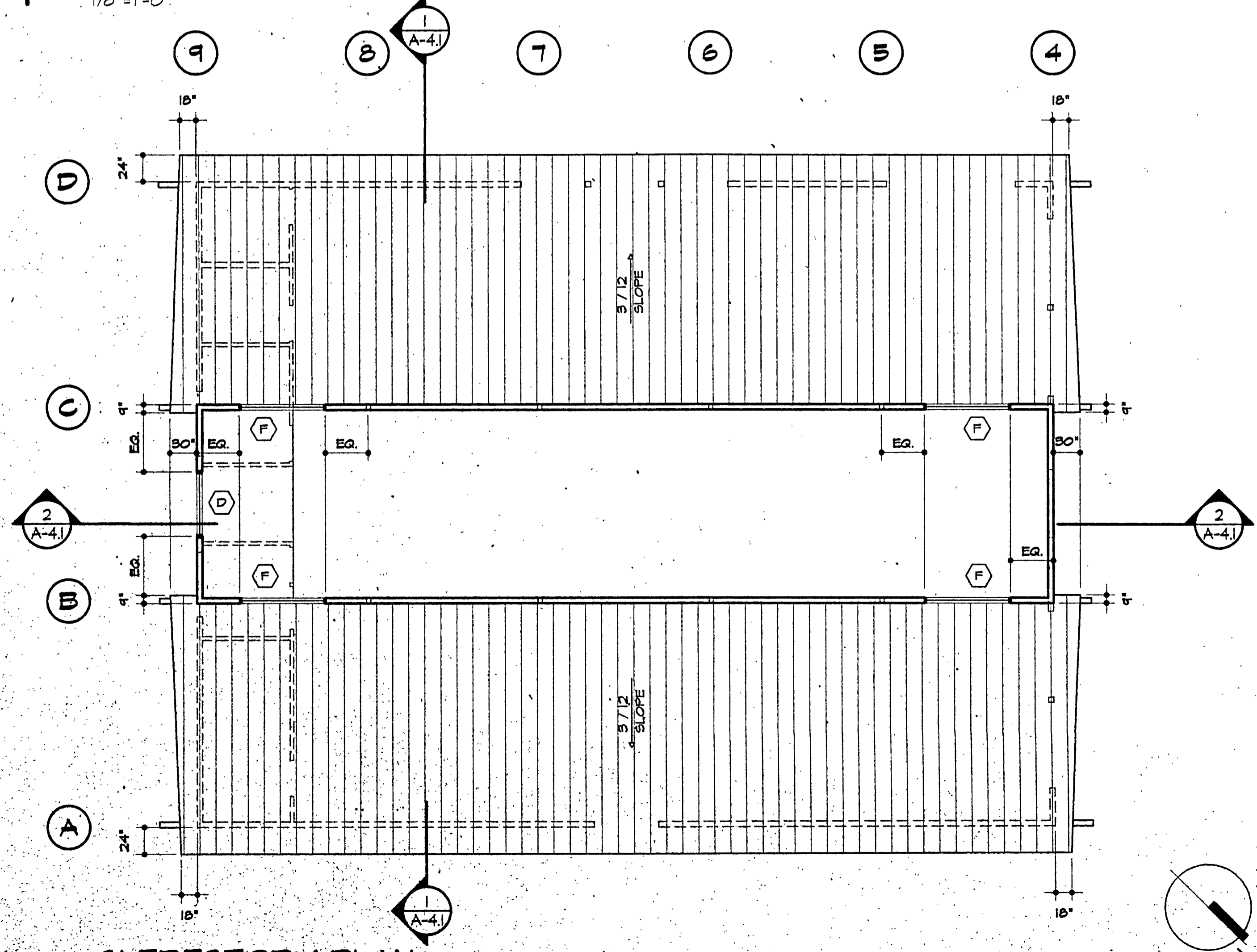
3 REFLECTED CEILING PLAN
1/8"=1'-0"



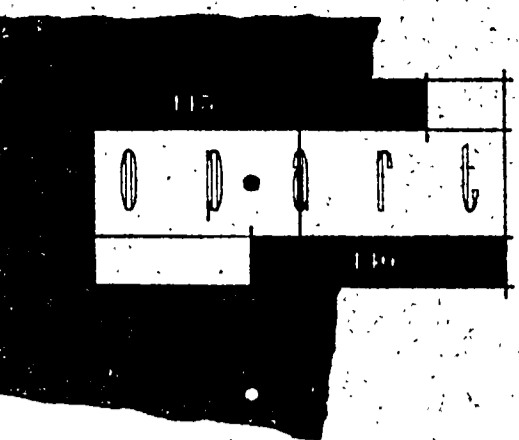
1 FLOOR PLAN
1/8"=1'-0"



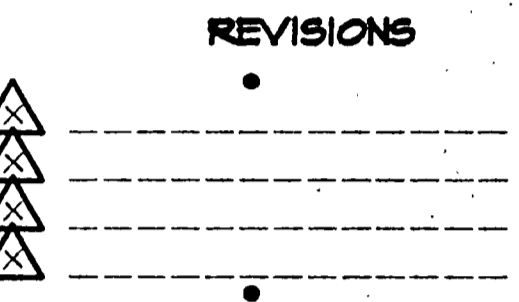
4 ROOF PLAN
1/8"=1'-0"



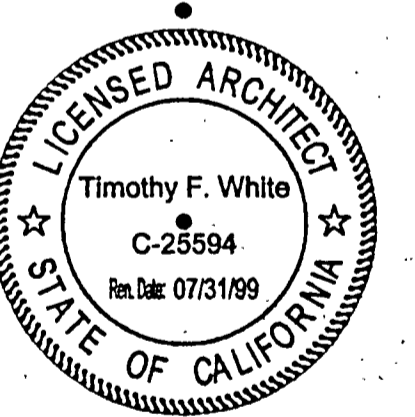
2 CLERESTORY PLAN
1/8"=1'-0"



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DRAWING INFO.
FLOOR, ROOF
REFLECTED CLG.
CLERESTORY PLAN

JOB No. 9801
DRAWN T. WHITE
DATE 08/12/98
CHECKED TFW
SCALE: NOTED
FILE ID: 9702A21.DWG

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SHEET No.

A-2.2

FINISH SCHEDULE														
RM. NO.	ROOM NAME	FLOOR FINISH	WALL FINISH				CEILING FINISH	CLNG. HGHT.	FINISH NOTES	RM. NO.				
			N	S	E	W								
		PLYWOOD SHIG. CERAMIC TILE VINYL TILE CONCRETE SHEET VINYL OTHER	1/2" GWB TAPE, FINISH, & PAINT STAIN (NIC) PLAIN WAINSCOT EXPOSED STRUCTURE 1x8 VERT. SHIP LAP (NIC)	1/2" GWB TAPE, FINISH, & PAINT STAIN (NIC) PLAIN WAINSCOT EXPOSED STRUCTURE 1x8 VERT. SHIP LAP (NIC)	1/2" GWB TAPE, FINISH, & PAINT STAIN (NIC) PLAIN WAINSCOT EXPOSED STRUCTURE 1x8 VERT. SHIP LAP (NIC)	1/2" GWB TAPE, FINISH, & PAINT STAIN (NIC) PLAIN WAINSCOT EXPOSED STRUCTURE 1x8 VERT. SHIP LAP (NIC)	EXPOSED STRUCTURE ACOUSTICAL TILES TAPE, FINISH, & PAINT STAIN OTHER	EXPOSED STRUCTURE +/- 7'-6"	6" SELF-COVE VINYL BASE 4" RUBBER BASE					
101	CASHIER									101				
102	DISPLAY									102				
103										103				
104	STORAGE									104				
105	OFFICE									105				
106	KITCHEN									106				
107	MENS									107				
108	WOMENS									108				
109										109				

1 FINISH SCHEDULE

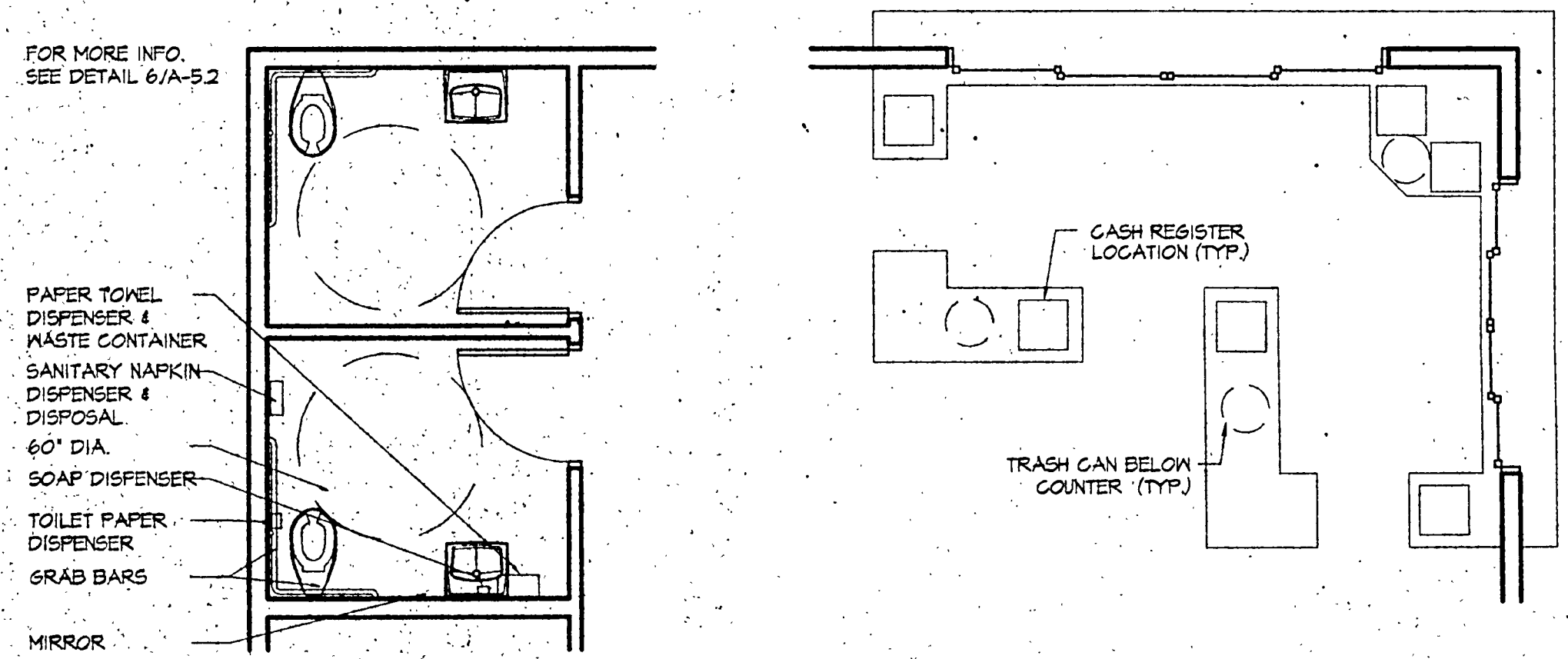
DOOR SCHEDULE															
NO.	TYPE	MAT'L	DOOR				FINISH	PANIC	HDW	TYPE	FRAME				REMARKS
			WIDTH	HEIGHT	THICK	CLASS					HEAD	JAMB	SILL	MARK	
101	A	ALUM	2'3"-6"	7'-0"	1-3/4"	M.F.	-	-	-	METAL	M.F.	4/A-5.1	5/A-5.1	6/A-5.1	-
102	A	ALUM	2'3"-6"	7'-0"	1-3/4"	M.F.	Y	-	-	METAL	M.F.	4/A-5.1	5/A-5.1	6/A-5.1	-
103	A	ALUM	2'3"-6"	7'-0"	1-3/4"	M.F.	Y	-	-	METAL	M.F.	4/A-5.1	5/A-5.1	6/A-5.1	-
104	A	ALUM	2'3"-6"	7'-0"	1-3/4"	M.F.	Y	-	-	METAL	M.F.	4/A-5.1	5/A-5.1	6/A-5.1	-
105	B	SC	3'-0"	7'-0"	1-3/4"	PAINT	-	-	-	METAL	M.F.	8/A-5.1	9/A-5.1	-	-
106	B	SC	3'-0"	7'-0"	1-3/4"	PAINT	-	-	-	METAL	M.F.	8/A-5.1	9/A-5.1	-	-
107	B	SC	3'-0"	7'-0"	1-3/4"	PAINT	-	-	-	METAL	M.F.	8/A-5.1	9/A-5.1	-	-
108	B	SC	3'-0"	7'-0"	1-3/4"	PAINT	-	-	-	METAL	M.F.	8/A-5.1	9/A-5.1	-	-
109	B	SC	3'-0"	7'-0"	1-3/4"	PAINT	-	-	-	METAL	M.F.	8/A-5.1	9/A-5.1	-	-

2 DOOR SCHEDULE

WINDOW SCHEDULE										
MARK	TYPE	SIZE		FRAME MAT'L	CLASS	HEAD	DETAIL		REMARKS	MARK
		WIDTH	HEIGHT				JAMB	SILL		
A	BYPARTING w/ CENTER MUNTIONS	12'-0"	4'-4"	ALUM	-	10A/A-5.1	10B/A-5.1	10E/A-5.1	SOLAR GREY, INSULATED w/ GRID	A
B	BYPARTING w/ CENTER MUNTIONS	8'-0"	4'-4"	ALUM	-	10A/A-5.1	10B/A-5.1	10E/A-5.1	SOLAR GREY, INSULATED w/ GRID	B
C	MILGARD 910 (OR EQUAL) - FIXED	8'-0"	4'-4"	ALUM	-	1/A-5.1	2/A-5.1	3/A-5.1	SOLAR GREY, INSULATED w/ GRID	C
D	MILGARD 910 (OR EQUAL) - FIXED	6'-0"	4'-4"	ALUM	-	1/A-5.1	2/A-5.1	3/A-5.1	SOLAR GREY, INSULATED w/ GRID	D
E	MILGARD 910 (OR EQUAL) - FIXED	4'-0"	4'-0"	ALUM	-	1/A-5.1 SIM.	2/A-5.1 SIM.	3/A-5.1 SIM.	SOLAR GREY, INSULATED w/ GRID	E
F	MILGARD 910 (OR EQUAL) - FIXED	8'-0"	3'-0"	ALUM	-	1/A-5.1	2/A-5.1	3/A-5.1	ONE-WAY SECURITY GLAZING	F

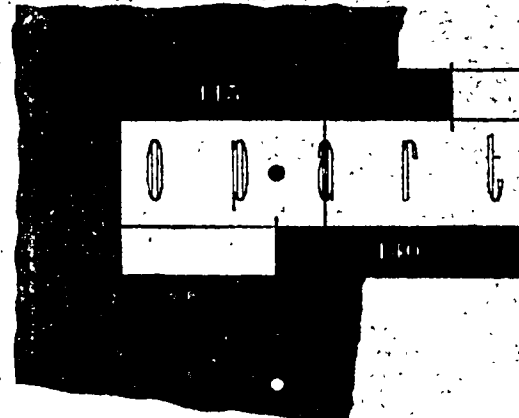
WINDOW SCHEDULE NOTES:
 1. CONTRACTOR TO VERIFY ALL GLAZING SIZING, AND DOOR DIMENSIONS IN FIELD PRIOR TO ROUGH FRAMING & ORDERING OF GLAZING/WINDOW/DOOR MATERIALS. REVIEW SIZES AND ANY DISCREPANCIES W/ ARCHITECT.
 2. WINDOWS TO BE MANUFACTURED BY TESTED & APPROVED MANUFACTURERS ONLY.
 3. GLAZING IN DOORS AND/OR WITHIN 18" OF A DOOR TO BE TEMPERED.
 4. ALL GLAZING TO BE SINGLED GLAZED UNLESS NOTED OTHERWISE.

3 WINDOW SCHEDULE



5 ENLARGED PLANS

1/4"=1'-0"



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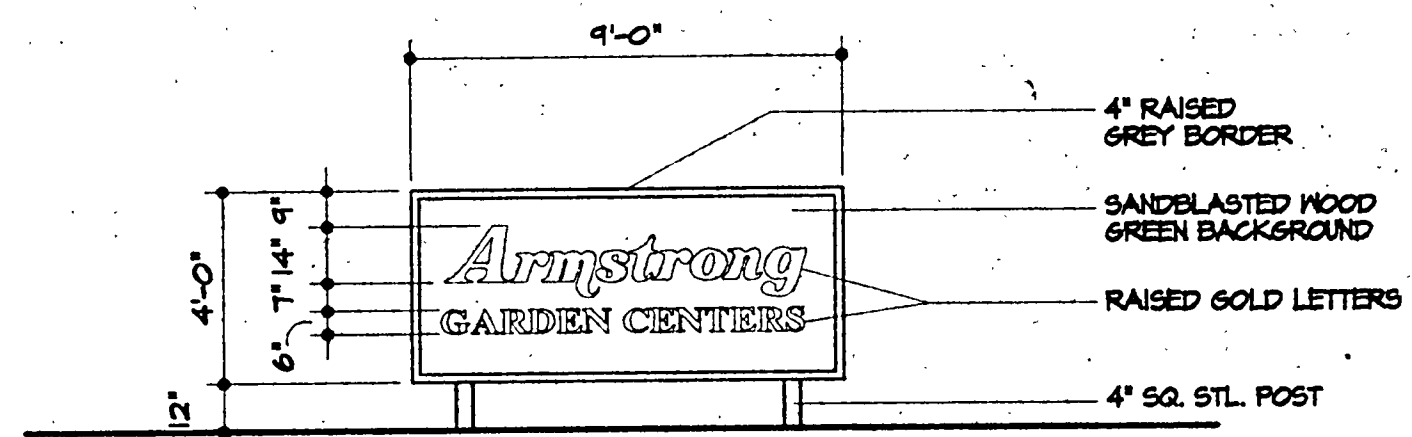
DRAWING INFO.
 SCHEDULES & ENLARGED PLANS

JOB No. 9801
 DRAWN T. WHITE
 DATE 08/12/98
 CHECKED TFW

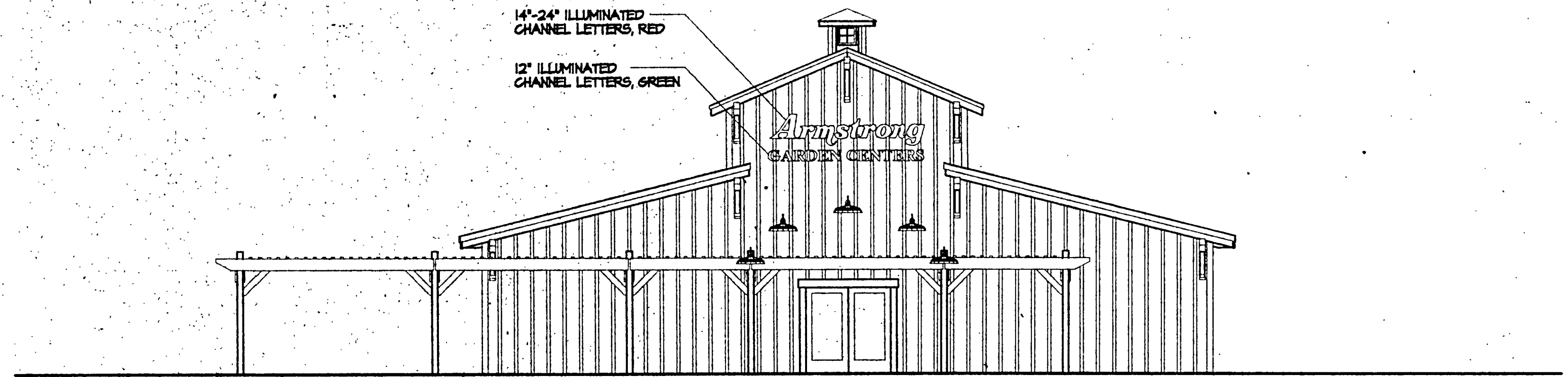
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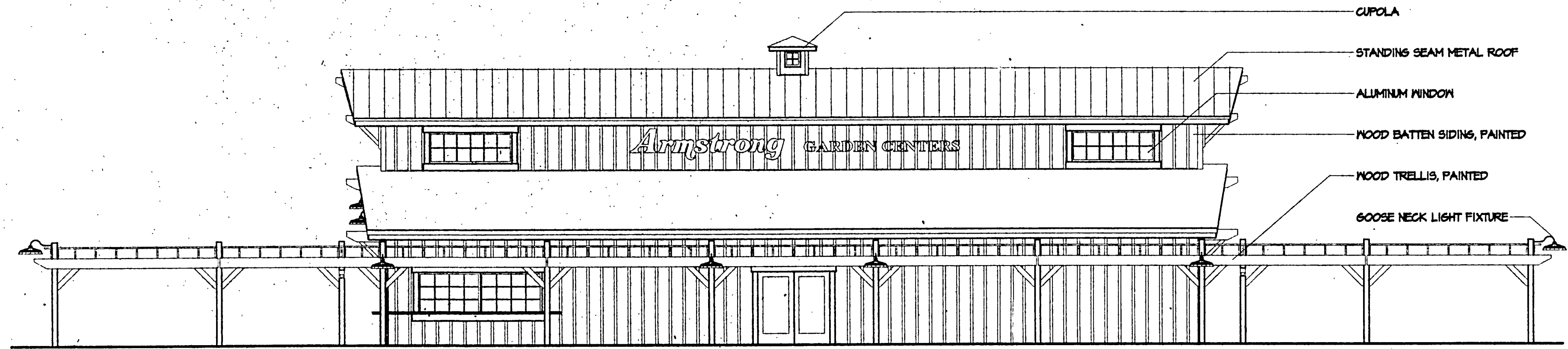
SHEET No.
 A-2.5



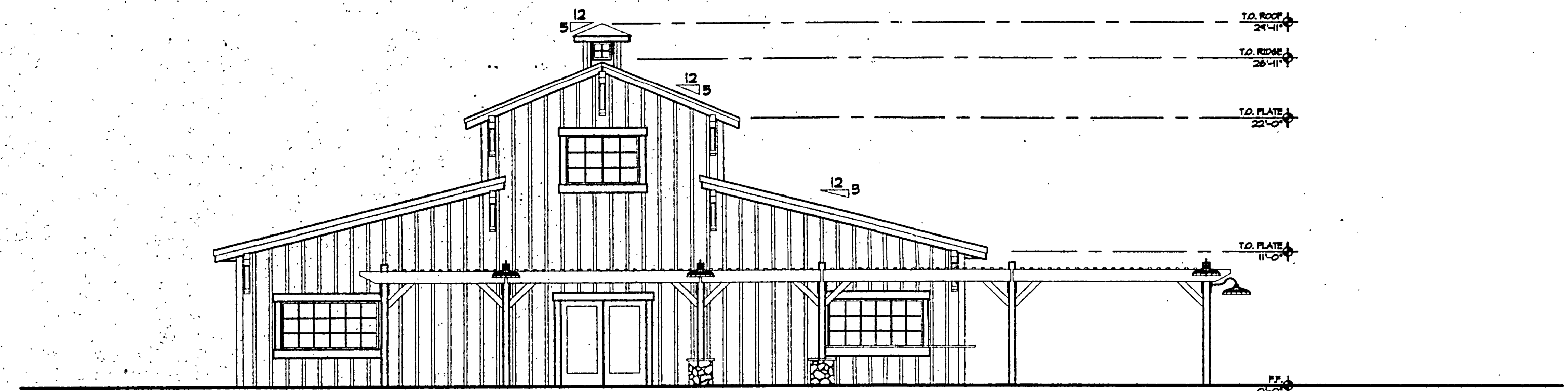
U MONUMENT SIGN
1/4"=1'-0"



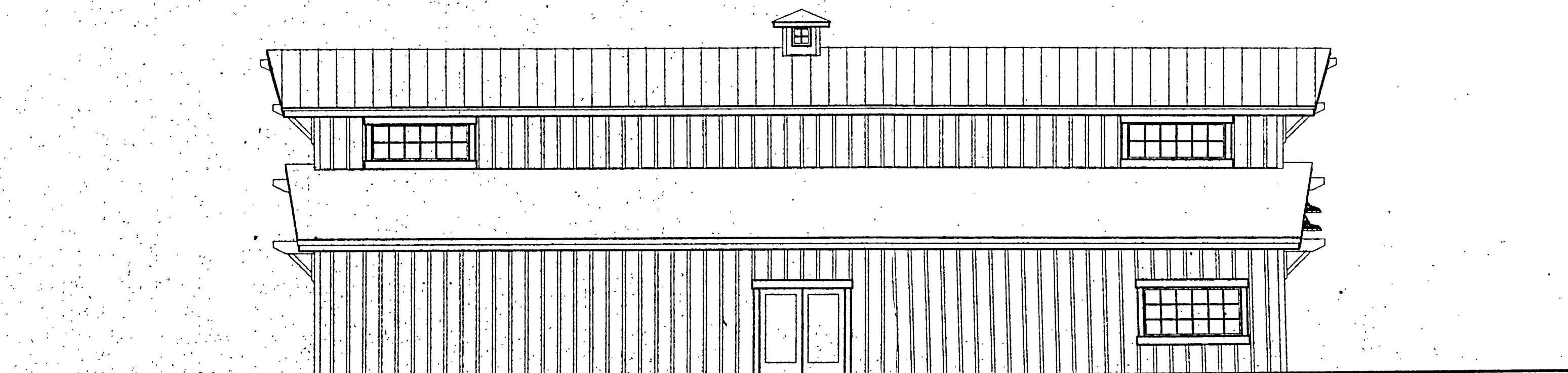
1 SOUTH-EAST ELEVATION
1/8"=1'-0"



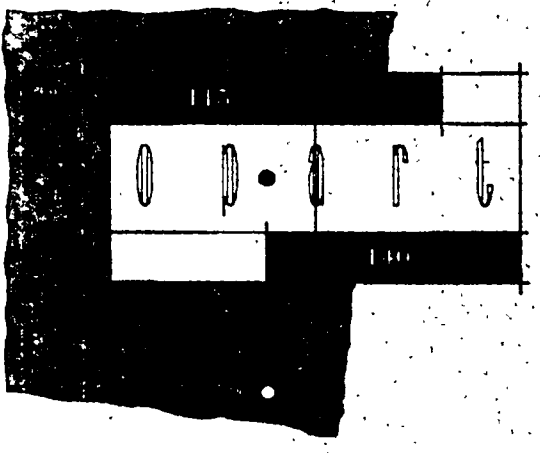
2 SOUTH-WEST ELEVATION
1/8"=1'-0"



3 NORTH-WEST ELEVATION
1/8"=1'-0"



4 NORTH-EAST ELEVATION
1/8"=1'-0"

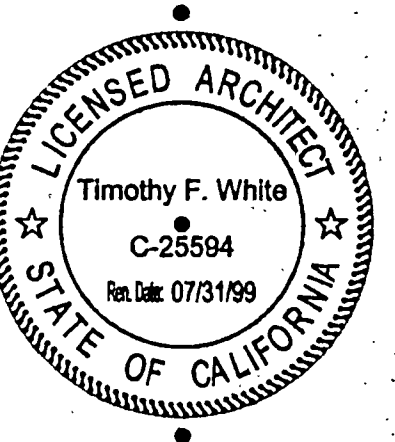


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DRAWING INFO.

EXTERIOR ELEVATIONS & DETAILS

JOB No. 9801
DRAWN T. WHITE
DATE 08/12/98
CHECKED TFW
SCALE: NOTED
FILE ID: 9702A31.DWG

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