

Housing Element Update 2021-2029



General Plan Steering Committee
April 2019



What is the Housing Element?



- Sets 8-year plan to meet the existing and projected housing needs of all economic segments of the community
- Identifies constraints to the development and maintenance of housing
- Establishes goals, policies, and programs pertaining to housing needs

Historical Compliance



- **2000-2008 Housing Element**
 - Out of compliance due to 2006 General Plan land use changes
- **2008-2014 Housing Element**
 - Difficult review; new requirements
 - RHNA- Adequate zoning for 1,914 units, including 770 lower-income units
 - Airport Area – Residential Development Overlay for Affordable Housing
 - Found compliant in 2011!
- **2014-2021 Housing Element**
 - Streamlined Approval - Found compliant 2013
 - RHNA- 5 units, including 2 lower-income
 - Low RHNA in response to decline in economy and high vacancy rates

Housing Element Components



Housing Needs



- **Existing**

- Housing Stock Characteristics
- Pop, Employment and Household Characteristics
- At-Risk of Conversion
- Extremely Low-Income
- Overpayment and Overcrowding

- **Special Housing Needs**

- Farmworkers, large families, female head of households, people with disabilities, and seniors

- **Projected** – Regional Housing Needs Allocation (RHNA)

Sites Inventory and Analysis



- Zoning to accommodate RHNA (not build)
- Detailed analysis of available sites
 - Vacant and underutilized sites
 - Parcel size, zoning, density, existing conditions, availability of infrastructure, constraints
- Lower-income sites
 - 30 du/ac or show through performance/agreements
- New requirements (AB-1397)
 - Site size (.5 ac.- 10 ac.)
 - Reuse of non-vacant sites
 - By-right development if 20% affordable
 - Prior experience converting to higher density residential
 - Market demand and existing contracts for use

Analysis of Constraints



- Governmental constraints to the maintenance & development of housing
 - Codes and land use controls
 - Fees and exaction
 - Nongovernmental constraints
 - New- development requests at lower densities
 - Processing and permit procedures
- Demonstrate efforts to remove
- Example - Residential Overlay in Airport Area

Program Requirements



- Achieve goals and objectives
- Includes action steps, timeline, responsibility
- Topics:
 - Address or mitigate constraints
 - Assist in housing development
 - Identify adequate sites (rezoning)
 - Improve and conserve housing stock
 - Preserve units at-risk of conversion
 - Provide equal housing opportunities

The RHNA Process



1 RHNA Determination / Assessment

Department of Housing & Community Development (HCD)

- Determination for entire SCAG region
- Consults with Dept. of Finance and SCAG
- Existing Needs & Projected Needs
- Process: Dec 2018- Aug 2019



2 RHNA Distribution/Allocation

Southern CA Association of Governments (SCAG)

- Develops a plan to distribute units to SCAG jurisdictions
- Proposed Methodology (Development): Feb 2019-Sept 2019
- Proposed Methodology (HCD Review): Oct 2019-Dec 2019
- Draft RHNA (Appeals Process): Feb. 2020 – Oct. 2020



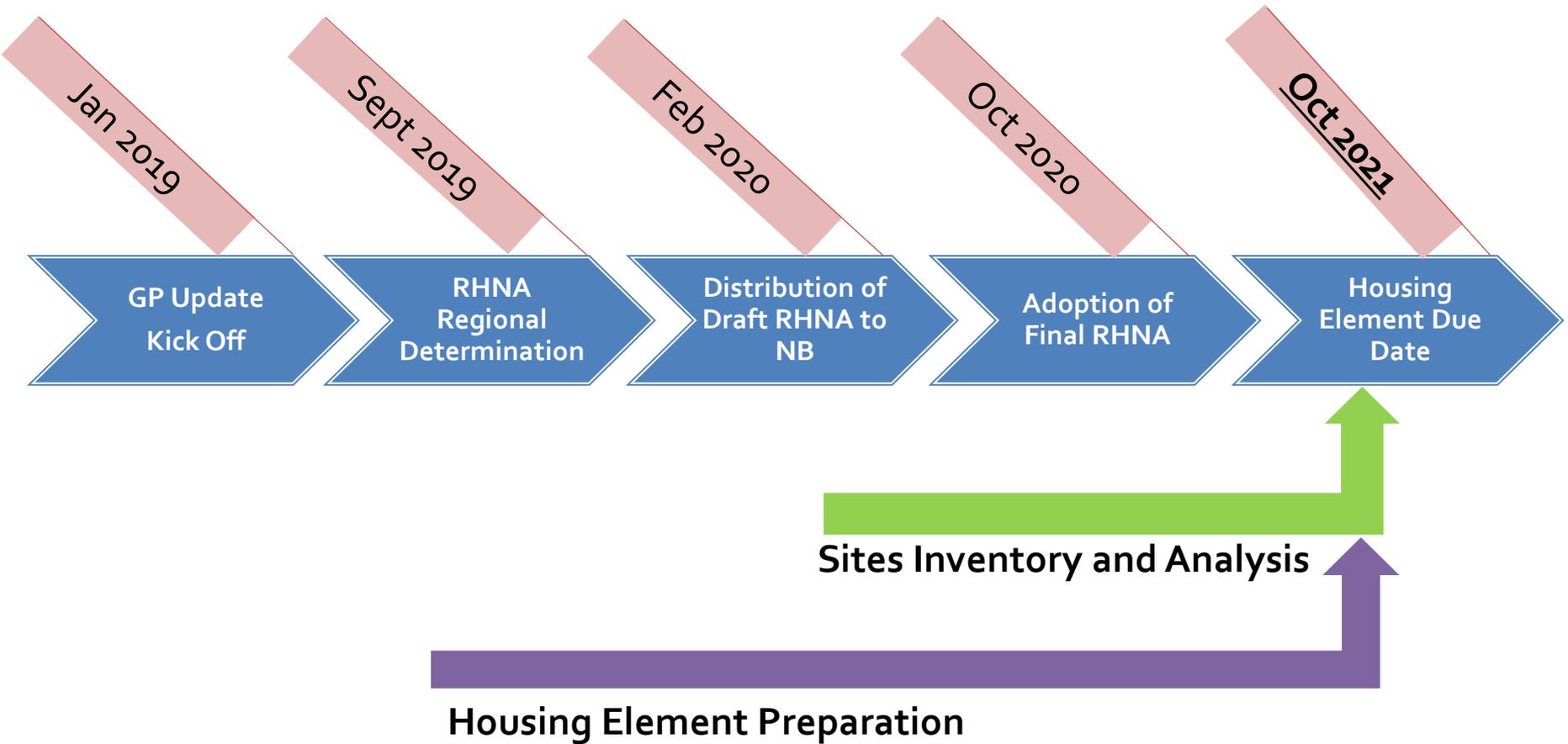
3 RHNA Planning

City of Newport Beach

Housing Element Update

- Sites Inventory & Analysis
- 2021-2029 Planning Period
- HE Due Date: October 2021

Housing Element Timeline



Non-Compliance Consequences Review and Development



- Review Cycle
 - 4-Year vs. 8-Year
 - Submit to HCD 90 days prior to adoption
 - Must adopt HE within 120 days of due date

- Carryover Provision
 - Unmet RHNA rolls into next Planning Period

- Streamlined Development (SB35)
 - Not keeping up with RHNA
 - Ministerial approval
 - Compliance with objective standards
 - Labor provisions and coastal exemption

Non-Compliance Consequences

Legal and Financial



- Legal Action
 - Ordered judgement can suspend building permits
- Referral to Attorney General (SB72)
 - Example: Huntington Beach Lawsuit
- Financial Impacts
 - SB2 Planning Grant eligibility
 - Potential transportation funds



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