

**CITY OF NEWPORT BEACH
STAFF ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

FROM: Planning Department
Javier Garcia, Zoning Administrator
jgarcia@city.newport-beach.ca.us

SUBJECT: Report of actions taken by Planning Department Staff for the week ending February 15, 2008

Item 1: Alex Batley on behalf of property owner Craig Batley – Comprehensive Sign Program No. CS2007-010 (PA2007-215)
2903 and 2905 Newport Boulevard

The Zoning Administrator approved the Comprehensive Sign Program for an existing retail/commercial building in accordance with the provisions of Section 20.67.030 (Sign Code) of the Newport Beach Municipal Code. The building is occupied by multiple tenants and the sign program is for awning signs on the front and rear fascias of the building that face two street sides of Newport Boulevard. Chapter 20.67 of the Newport Beach Municipal Code, specifically Section 20.67.030(l), provides that the Zoning Administrator may review and approve comprehensive sign programs for multi-tenant commercial buildings. The property is located in the SP-6 (Cannery Village/McFadden Square Specific Plan) District.

Approved – February 14, 2008

Council District 1

Item 2: Rolly Pulaski, AIA on behalf of property owner Helen Rotherham and Adam Mikkelsen – Planning Director's Use Permit No. UP2007-028 (PA2007-226)
307 Medina Way

The Planning Director approved the applicants request to allow structural alterations throughout the building greater than 50% but less than 75% of the existing structural elements. The property is located in the R-2 District.

Approved – February 14, 2008

Council District 1

Item 3: Outdoor Dimension on behalf of property owner The Irvine Company – Comprehensive Sign Program No. CS2008-001 (PA2008-013)
21101 Newport Coast Drive (and various locations throughout Newport Coast/Newport Ridge)

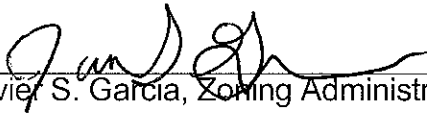
The Zoning Administrator approved the Comprehensive Sign Program for an existing way finding sign program in accordance with the provisions of Section 20.67.030 (Sign Code) of the Newport Beach Municipal Code. The program includes various locations within the Newport Coast/Newport Ridge Planned Community District and includes changes to existing signs and the addition of

new signs. The signs are for directional and project identification purposes. Chapter 20.67 of the Newport Beach Municipal Code, specifically Section 20.67.030(I), provides that the Zoning Administrator may review and approve comprehensive sign programs for projects within the planned community district. The property is located in NPR_PC (Newport Coast/Newport Ridge Planned Community) Districts.

Approved – February 15, 2008

Council District 6

Prepared and submitted by: -



Javier S. Garcia, Zoning Administrator

APPEAL:

The decision of the Planning Director and Zoning Administrator-(Comprehensive Sign only) may be appealed to the Planning Commission within 14 days of the action date. A \$600.00 filing fee shall accompany any appeal filed. No building permits may be issued until the appeal period has expired.

- c: David Lepo, Planning Director (e-mail)
- Sharon Wood, Assistant City Manager (e-mail)
- David Keely, Public Works Senior Civil Engineer (e-mail)
- Kay Sims, Assistant Planner (e-mail)
- Sgt. Ron Vallercamp, Vice/Narcotics (e-mail)
- Code Enforcement Division (e-mail)
- Erin Steffen, Office Assistant (e-mail)
- Iris Lee, Public Works (e-mail)
- Evelyn Tseng, Revenue (e-mail)



Comprehensive Sign Program No. CS2007-010
(PA2007-215)

PLANNING DEPARTMENT
3300 NEWPORT BOULEVARD
NEWPORT BEACH, CA 92663
(949) 644-3200; FAX (949) 644-3229

Staff Planner: Javier Garcia
Appeal Period: 14 days after decision date

APPLICATION: **Comprehensive Sign Program CS2007-010 (PA2007-215)**

APPLICANT: **Alex Batley on behalf of property owner Craig Batley**

LOCATION: **2903 AND 2905 NEWPORT BOULEVARD**

Request and Authority:

Comprehensive Sign Program for an existing retail/commercial building in accordance with the provisions of Section 20.67.030 (Sign Code) of the Newport Beach Municipal Code. The building is occupied by multiple tenants and the sign program is for awning signs on the front and rear fascias of the building that face two street sides of Newport Boulevard. Chapter 20.67 of the Newport Beach Municipal Code, specifically Section 20.67.030(I), provides that the Zoning Administrator may review and approve comprehensive sign programs for multi-tenant commercial buildings. The property is located in the SP-6 (Cannery Village/McFadden Square Specific Plan) District.

ACTION: **APPROVED – FEBRUARY 14, 2008** - The Zoning Administrator approved the Comprehensive Sign Program request for the existing commercial building.

FINDINGS

1. The Land Use Element of the General Plan designates the site for "Retail Service Commercial" land use. The signs are accessory to the primary use.
2. After reviewing this project, it has been determined that it is categorically exempt from the requirements of the California Environmental Quality Act under Class 1 (Existing Facilities).
3. The proposed sign program is consistent with the legislative intent of Title 20, Chapter 20.67 of the Newport Beach Municipal Code with regard to the sign regulations based on the following reasons:
 - Chapter 20.67 of the Newport Beach Municipal Code requires comprehensive sign programs to provide a means for latitude in the design and display of signage for all projects.
 - The sign program as presented and approved is consistent with the purpose and intent of Chapter 20.67 of the Newport Beach Municipal Code.
 - The approved comprehensive sign program will create a unified architectural statement and provide limited signage on the building facades by placement on the proposed awning structures on the two sides to the building.

- There is a reasonable need for the number and size of signs to provide adequate identification of the tenants that face three different sides of the property.
- The proposed sign program, as conditioned, will not interfere with sight distance from any street, alley or driveway.


CONDITIONS

1. The development shall be in substantial conformance with the approved plot plan and sign details, except as noted in the following conditions.
2. The primary and secondary identification wall signs shall be measured by two perpendicular sets of parallel lines that surround the proposed sign copy area.
3. Awning or wall signs are limited to the designated building facades and shall comply with the limitations specified in the Sign Matrix/Table included in this approval and the provisions of Chapter 20.67 of the Newport Beach Municipal Code.
4. Anything not specifically approved by this comprehensive sign program is prohibited. Revisions to the program may be approved by the Planning Director if the intent of the original approval is not affected. Revisions that substantially deviate from the original approval must be addressed in a separate and subsequent amendment to this Comprehensive Sign Program.
5. Any future revisions or changes to the signs approved by this comprehensive sign program due to a change in the use or tenants of the building shall be reviewed and approved by the Planning Director, so long as the sign size, copy configuration and number of signs authorized by this approval does not substantially change or increase.
6. This approval was based on the particulars of the individual case and does not, in and of itself or in combination with other approvals in the vicinity or Citywide, constitute a precedent for future approvals or decisions.
7. A building permit shall be obtained prior to commencement of installation of the signs.
8. All work performed within the public right-of-way shall be reviewed and approved by the Public Works Department under an encroachment permit/agreement if required.
9. The Planning Director or the Planning Commission may add to or modify conditions of this approval, or revoke this approval upon a determination that any sign that is authorized by this approval has been altered beyond the parameters of the authorization and therefore beyond the justification.

10. This approval shall expire unless exercised within 24 months from the date of approval as specified in Section 20.93.050 (A) of the Newport Beach Municipal Code, unless an extension is approved prior to the expiration date of this approval, in accordance with Section 20.93.050 (B) of the Newport Beach Municipal Code.

APPEAL PERIOD

The decision of the Zoning Administrator may be appealed to the Planning Commission within 14 days of the date of the decision, in accordance with the provision of Section 20.95.050 of the Newport Beach Municipal Code. A filing fee of \$600.00 shall accompany any appeal filed. No building permits may be issued until the appeal period has expired. A copy of the approval letter shall be incorporated into the Building Department set of plans prior to issuance of the building permits or issuance of revised plans.

By  _____
Zoning Administrator Javier S. Garcia, AICP

JSG/rm

Attachments: Table/Matrix
Vicinity Map
"Site Plan and Sign Detail Plans" on file in the Planning Department

**TABLE-MATRIX
COMPREHENSIVE SIGN PROGRAM CS2007-010 (PA2007-215)**

The following table defines the Primary and Secondary frontage for each tenant space as designated by the property owner. Combined tenant spaces shall utilize the frontage designation of the suite nearest to the street.

2903-2905 Newport Blvd

Designated Frontage

A - NORTHEAST ELEVATION Newport Blvd (northbound)

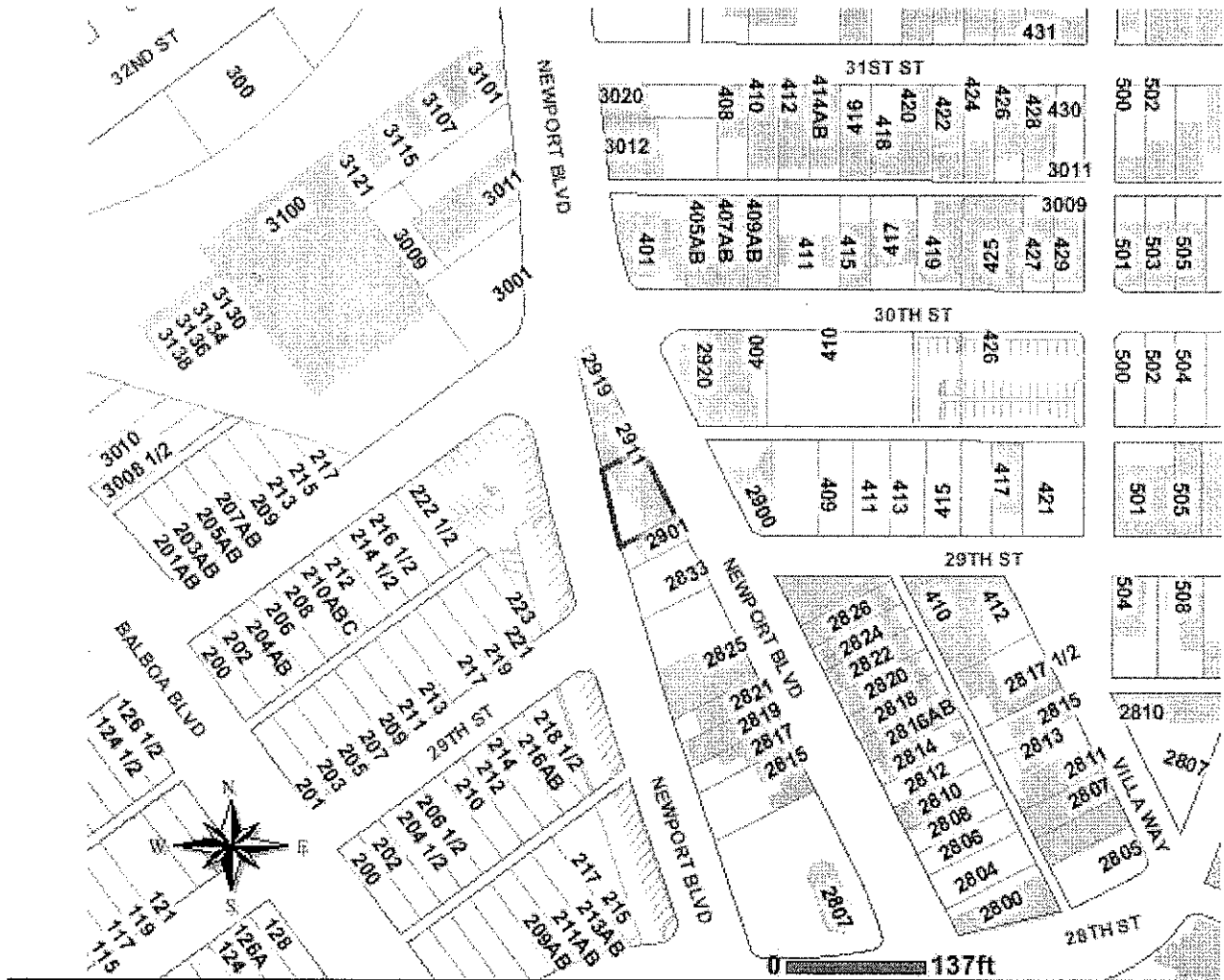
B - SOUTHWEST ELEVATION ON Newport Blvd (southbound)

TABLE-MATRIX: Includes Frontage Designation and Size Limitations

Building Address	Primary Frontage Size limitations where applicable	Secondary Frontage Size limitations, where applicable
2903 A 2905 B	<p>Northeast Elevation- WALL SIGN 1.5 square feet/linear foot of store frontage or max area of 28.5 sq ft. Maximum vertical dimension, sign or logos, 36-inches. Maximum horizontal dimension 9.5 feet.</p> <p>OR</p> <p>Northeast Elevation- AWNING SIGN Max area of 18.2 sq ft. Maximum vertical dimension, sign or logos, 23-inches. Maximum horizontal dimension 9.5 feet. Valence signage is prohibited.</p>	<p>Southwest Elevation- WALL SIGN 1.5 square feet/linear foot of store frontage or max area of 14.25 sq ft. Maximum vertical dimension, sign or logos, 36-inches. Maximum horizontal dimension 10 feet.</p> <p>OR</p> <p>Southwest Elevation- AWNING SIGN Max area of 14.25 sq ft. Maximum vertical dimension, sign or logos, 23-inches. Maximum horizontal dimension 10 feet. Valence signage is prohibited.</p>
2903 B 2905 A	<p>Northeast Elevation- WALL SIGN 1.5 square feet/linear foot of store frontage or max area of 25.5 sq ft. Maximum vertical dimension, sign or logos, 36-inches. Maximum horizontal dimension 8.5 feet.</p> <p>OR</p> <p>Northeast Elevation- AWNING SIGN Max area of 16.3 sq ft. Maximum vertical dimension, sign or logos, 23-inches. Maximum horizontal dimension 8.5 feet. Valence signage is prohibited.</p>	<p>Southwest Elevation- WALL SIGN 1.5 square feet/linear foot of store frontage or max area of 12.75 sq ft. Maximum vertical dimension, sign or logos, 36-inches. Maximum horizontal dimension 8.5 feet.</p> <p>OR</p> <p>Southwest Elevation- AWNING SIGN Max area of 12.75 sq ft. Maximum vertical dimension, sign or logos, 23-inches. Maximum horizontal dimension 8.5 feet. Valence signage is prohibited.</p>
Other Signage (awning, blade, etc)	All other signs are prohibited, unless an amendment to this sign program is first approved.	All other signs are prohibited, unless an amendment to this sign program is first approved.

NOTE: The combining of tenant spaces does not increase the number or area of allowed signs per tenant, unless an amendment to this approval is approved by the approval authority as designated by the Zoning code.

VICINITY MAP



Comprehensive Sign Program CS2007-010 (PA2007-215)

2903 AND 2905 NEWPORT BOULEVARD

page intentionally blank



USE PERMIT NO. UP2007-028

(PA2007-226)

PLANNING DEPARTMENT
3300 NEWPORT BOULEVARD
NEWPORT BEACH, CA 92663
(949) 644-3200 FAX (949) 644-3229

Staff Person: Javier S. Garcia, 644-3206
Appeal Period: 14 days after approval date

Application: Planning Director's Use Permit No. UP2007-028
(PA2007-226)

Applicant: Rolly Pulaski

Site Address: 307 Medina Way

Legal Description: Lots 14 and 15 SELY 44.9 ft , Block East Newport ,
Tract 220

Request as Modified and Approved:

To allow structural alterations throughout the building greater than 50% but less than 75% of the existing structural elements. The property is located in the R-2 District.

Authority

A use permit is required when the proposed addition to a nonconforming structure is between 50% and 75% of the existing gross square footage and/or an alteration of up to 75% of the structural elements occurs within any 12 month period. The use permit may be granted by the Planning Director in accordance with the provisions of Section 20.91.025 of the Newport Beach Municipal Code.

DIRECTOR'S ACTION: **APPROVED - FEBRUARY 14, 2008**

The Planning Director, in approving this application, reviewed issues such as the extent of the structural elements to be demolished in relation to the total amount of structural elements of all structures on the site. In consideration of those aspects, the Planning Director determined in this case that the proposal would not be detrimental to persons, property or improvements in the neighborhood and that the use permit as approved would be consistent with the legislative intent of Title 20 of the Newport Beach Municipal Code, and made the following findings:

FINDINGS

1. The Land Use Element of the General Plan and Local Coastal Program Land Use Plan designate the site for "Two-Family Residential" use. The existing residential structure is used as a single-family dwelling unit and is consistent with this designation. The proposed alterations and addition to the existing structure does not change the use of the structure as a single-family dwelling unit.

2. This project has been reviewed, and it has been determined that it is categorically exempt from the requirements of the California Environmental Quality Act under Class 1 (Existing Facilities).
3. The approval of Use Permit No. **UP2007-028** will not, under the circumstances of this case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of the City for the following reasons:
 - The addition and remodel will comply with all the provisions of the R-2 District regulations, with the exception of the findings for the approval of Modification MD2007-081, because of the nonconforming status of the building with setback requirements.
 - The addition and remodel will allow for a single-family dwelling that is comparable to other structures in the neighborhood.
 - The addition and remodel will result in a net decrease in the number of dwelling units on the property.
 - The remodel and addition provides a minimum of two enclosed parking spaces for the single-family dwelling to remain.
4. The cost of the remodel and addition is minor in comparison to the value of the existing nonconforming condition because the area of nonconformity is part of and necessary to the structural integrity of the existing building.
5. The cost of correcting the nonconforming condition would exceed the cost of making the addition.
6. Retention of the nonconforming condition is necessary to maintain reasonable use of the structure because the entire building would have to be demolished to comply with the setback requirements.
7. The addition and remodel does not increase the structure's inconsistency with the regulations of the Zoning Code because the structure meets all other development standards for the R-2 Zone.

CONDITIONS

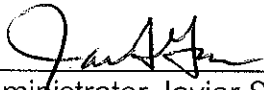
1. Development shall be in substantial conformance with the approved site plan, floor plan and elevations.
2. The amount of project demolition shall be verified by the Planning Department during the regular plan check procedures prior to issuance of building permits. The amount of structural alterations shall be limited to a maximum of 75% as authorized by this approval. There is currently no means by which the percentage of structural alteration may be permitted to exceed 75% without bringing the entire building into conformance with setback requirements.
3. Two (2) enclosed on-site garage spaces shall be provided and remain accessible for the parking of vehicles at all times.

4. The two-car garage shall be used for the parking of vehicles only and not for storage purposes.
5. This approval shall expire unless exercised within 24 months from the end of the appeal period, in accordance with Section 20.91.050 of the Newport Beach Municipal Code.

APPEAL PERIOD

The decision of the Planning Director may be appealed by the applicant or any interested party to the Planning Commission within 14 days of the decision date. Any appeal filed shall be accompanied by a filing fee of \$600.00.

On behalf of Planning Director David Lepo,



Zoning Administrator Javier S. Garcia, AICP

Attachments: Appendix
Vicinity Map
MD2007-081 Approval Letter
Site Plan and Floor Plan on file in the Planning Department

APPENDIX

Background

In reviewing the project, it was determined by staff, that the amount of work proposed would exceed the 50% alteration of the structural elements and in accordance with the provisions of Section 20.91.025 of the Newport Beach Municipal Code the approval of a Use Permit by the Planning Director is required.

Modification Permit No. MD2007-081

The nonstructural alterations throughout the building are minor room changes and second floor addition as specified on plans.

Section 20.62.040 (C)(2,3) states, "that structural elements of a legal nonconforming structure may be modified or repaired subject to the following provision:

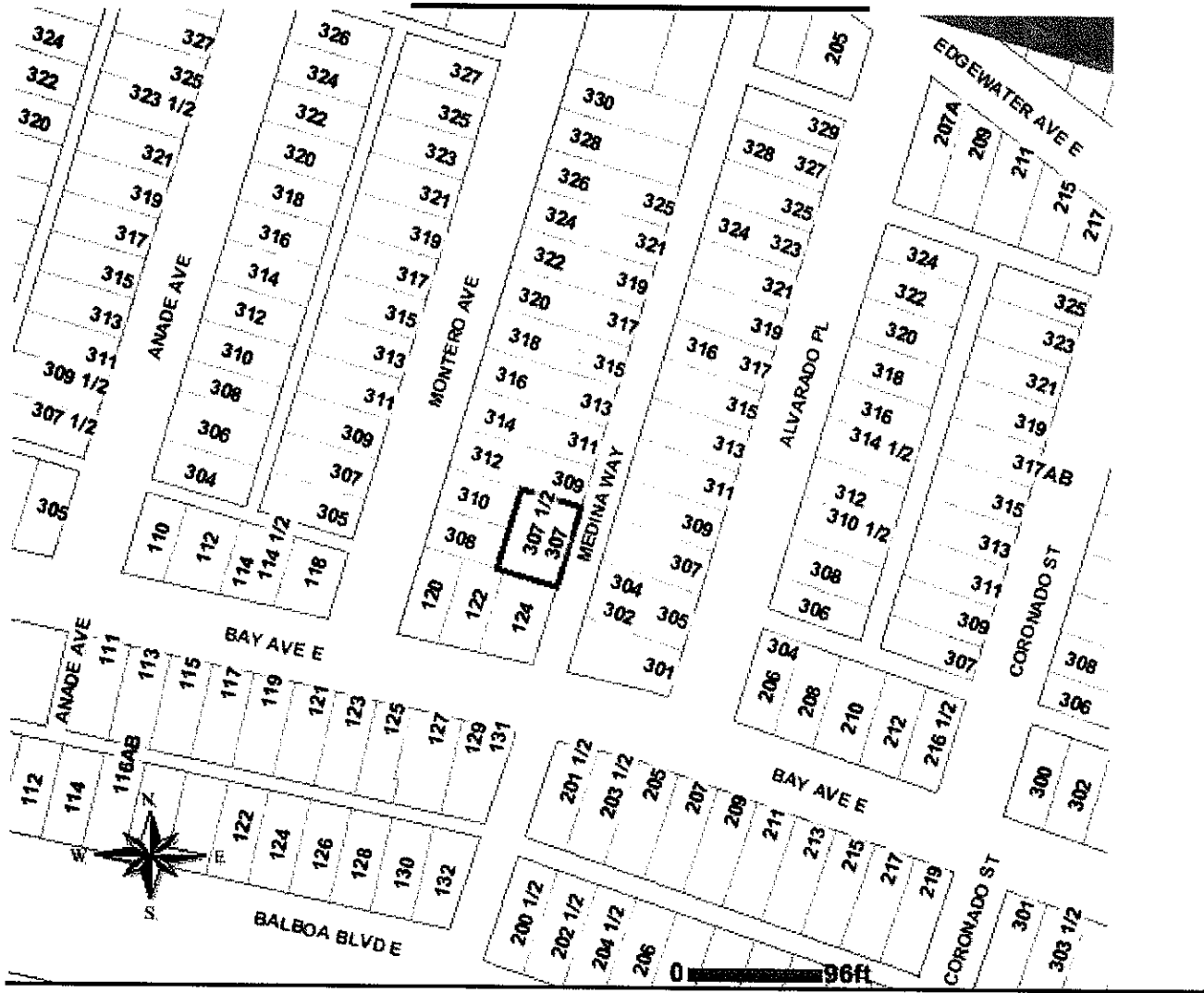
2. *"Alteration of up to 50 percent of the structural elements within any 12 month period may be permitted upon the approval of a modification permit."*
3. *"Alteration of up to 75 percent of the structural elements within any 12 month period may be permitted upon the approval of a use permit by the Planning Director, subject to the findings and provisions contained in Section 20.62.040 (F)."*

The findings for approval of Modification Permit No. **MD2007-081** (see attached approval letter) were based on the fact that the alterations to the existing property were located on the front of the lot and alterations to the remainder of the building throughout. The remodel allowed for an upgrade to the property without demolishing all structures on the site.

Analysis

The building is currently nonconforming with regard to setbacks. The structural alterations are within the existing building and for the additional floor area within the interior of the lot. The required number of on-site parking spaces will be provided for the single-family dwelling.

VICINITY MAP



Planning Director's Use Permit No. UP2007-028
(PA2007-226)

307 MEDINA WAY



MODIFICATION PERMIT NO. MD2007-081
(PA2007-226)

PLANNING DEPARTMENT
3300 NEWPORT BOULEVARD
NEWPORT BEACH, CA 92663
(949) 644-3200 FAX (949) 644-3229

Application No.	Modification Permit No. MD2007-081 (PA2007-226)
Applicant	Rolly Pulaski
Site Address	307 Medina Way
Legal Description	Lots 14 and 15 SELY 44.9 ft , Block East Newport , Tract 220

On **December 4, 2007**, the Zoning Administrator approved the application request to permit the addition of between 25 and 50 percent of the existing gross floor area of an existing nonconforming single-family dwelling unit. The existing structure is nonconforming due to the encroachment of the building into both of the required 4-foot sideyard setbacks and substandard size parking spaces within the garage. The proposed addition will maintain all required setbacks with the exception of a one-foot encroachment into the required southeasterly side yard setback with a portion of building wall at the remodeled entry. The proposed remodel will create the minimum required two-car garage parking spaces. Concurrent with Modification Permit No. 2007-081 is review by the Planning Director of a use permit request to allow structural alterations throughout the building greater than 50 percent but less than 75 percent of the existing structural elements. The property is located in the R-2 District. The Zoning Administrator's approval is based on the following findings and subject to the following conditions.

FINDINGS

1. The Land Use Element of the General Plan and the Local Coastal Program Land Use Plan designate the site for "Two-Unit Residential" use. The existing residential structure is used as a single-family dwelling unit and is consistent with this designation. The proposed alterations and addition to the existing structure does not change the use of the structure as a single-family dwelling unit.
2. This project has been reviewed, and it has been determined that it is categorically exempt from the requirements of the California Environmental Quality Act under Class 1 (Existing Facilities).

3. The modification to the Zoning Code, as proposed, is consistent with the legislative intent of Title 20 of the Newport Beach Municipal Code. It is a logical use of the property that would be precluded by strict application of the zoning requirements for this District for the following reasons:
 - The existing single family dwelling unit was built in 1922 and is nonconforming due to the encroachment of the structure into the required 4-foot side yard setbacks and substandard size parking spaces within the garage. The proposed remodel will create the minimum required two-car garage parking spaces.
 - Chapter 20.62 in the Zoning Code permits existing legal nonconforming structures to additions that increase up to 25 percent of the existing gross floor area by right.
4. In accordance with the provisions of Chapter 20.93, the granting of this application is necessary due to practical difficulties associated with the property. The strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code for the following reason:
 - The Zoning Code permits the addition to an existing legal nonconforming structure by up to 50 percent of the gross floor area with the approval of a Modification Permit.
5. In accordance with the provisions of Chapter 20.93, the requested modification will be compatible with existing development(s) in the neighborhood for the following reasons:
 - The proposed gross square footage of the structure is less than the maximum square footage allowed by the Zoning Code for the subject property and is consistent with the surrounding neighborhood as well as similar land uses throughout the City.
 - Granting the request of a square footage addition of up to 50 percent of the gross floor area is a suggested option by the Zoning Code and is consistent with modified and conditioned approvals granted by the Zoning Administrator and the Modifications Committee within the neighborhood and throughout the City.
6. In accordance with the provisions of Chapter 20.93, the granting of this Modification Permit will not adversely affect the health or safety of persons residing or working in the neighborhood of the property and not be detrimental to the general welfare or injurious to property or improvements in the neighborhood based on the following:
 - The minimum open space requirement of 7,488 cubic feet will be provided on site.

- The addition of 617 square feet creates a single family residence with a gross floor area within the maximum limits allowed by the Zoning Code for the subject property.


CONDITIONS

1. The development shall be in substantial conformance with the approved plot plan, floor plans and elevations, except as noted in the following conditions.
2. Anything not specifically approved by this Modification Permit is prohibited and must be addressed in a separate and subsequent Modification Permit review.
3. If any of the existing public improvements surrounding the site is damaged by private work, new concrete sidewalk, curb and gutter, street pavement, and other public improvements will be required by the City at the time of private construction completion. Said determination and the extent of the repair work shall be made at the discretion of the Public Works inspector.
4. This approval was based on the particulars of the individual case and does not, in and of itself or in combination with other approvals in the vicinity or Citywide, constitute a precedent for future approvals or decisions.
5. The proposed addition creates exterior structural member alterations that are greater than 50 percent but less than 75 percent. Therefore, a Planning Directors Use Permit shall be obtained to allow the exterior structural member alterations to be greater than 50 percent but less than 75 percent, prior to issuance of building permits.
6. Prior to issuance of building permits, the applicant shall submit to the Planning Department an additional copy of the approved architectural plans for inclusion in the Modification Permit file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11-inches by 17-inches. The plans shall accurately depict the elements approved by this Modification Permit and shall highlight the approved elements such that they are readily discernible from other elements of the plans.
7. The proposed addition and related work shall comply with the California Building Code and all adopted local amendments.
8. A building permit shall be obtained prior to commencement of the construction.
9. A copy of this approval letter shall be incorporated into the Building Department and field sets of plans prior to issuance of the building permits.

10. All work performed within the public right-of-way shall be reviewed and approved by the Public Works Department under an encroachment permit/agreement, if required.
11. This approval shall expire unless exercised within 24 months from the approval date, as specified in Section 20.93.050 (A) of the Newport Beach Municipal Code. Prior to the expiration date of this approval, an extension may be approved in accordance with Section 20.93.050 (B) of the Newport Beach Municipal Code. Requests for an extension must be in writing.

APPEAL PERIOD

The Zoning Administrator's decision may be appealed to the Planning Commission within 14 days of the action date. A \$600.00 filing fee shall accompany any appeal filed. No building permits may be issued until the appeal period has expired. **A copy of the approval letter shall be incorporated into the Building Department set of plans prior to issuance of the building permits or issuance of revised plans.**

By: 
Zoning Administrator Javier S. Garcia, AICP

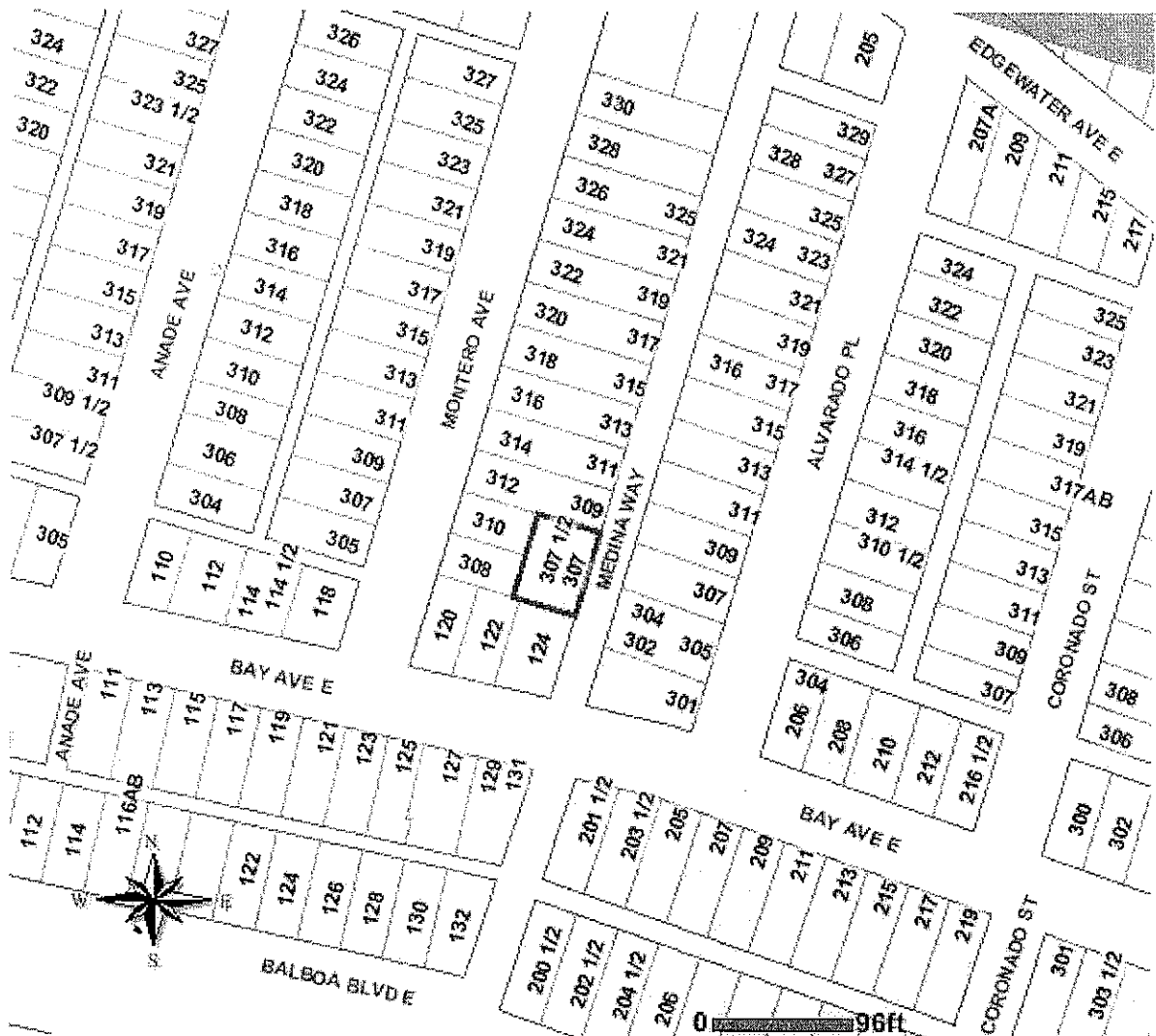
JSG:msg/rm

Attachments: Vicinity Map

Appeared in Opposition: None

Appeared in Support: None

VICINITY MAP



Modification Permit No. MD2007-081
PA2007-226

307 Medina Way



Comprehensive Sign Program No. CS2008-001
(PA2008-013)

PLANNING DEPARTMENT
3300 NEWPORT BOULEVARD
NEWPORT BEACH, CA 92663
(949) 644-3200; FAX (949) 644-3229

Staff Planner: Javier Garcia
Appeal Period: 14 days after decision date

APPLICATION: Comprehensive Sign Program CS2008-001 (PA2008-013)

APPLICANT: Outdoor Dimensions on behalf of property owner The Irvine Company

LOCATION: 21101 NEWPORT COAST DRIVE (and various locations throughout Newport Coast/Newport Ridge)

Request and Authority:

Comprehensive Sign Program for an existing way finding sign program in accordance with the provisions of Section 20.67.030 (Sign Code) of the Newport Beach Municipal Code. The program includes various locations within the Newport Coast/Newport Ridge Planned Community District and includes changes to existing signs and the addition of new signs. The signs are for directional and project identification purposes. Chapter 20.67 of the Newport Beach Municipal Code, specifically Section 20.67.030(I), provides that the Zoning Administrator may review and approve comprehensive sign programs for projects within the planned community district. The property is located in NPR_PC (Newport Coast/Newport Ridge Planned Community) Districts.

ACTION: **APPROVED – FEBRUARY 15, 2008** – The Zoning Administrator approved the request for a Comprehensive Sign Program to allow changes to an existing sign program for Newport Coast previously approved by the County of Orange in conjunction with a way finding sign program.

The Zoning Administrator determined in this case that the proposal would not be detrimental to persons, property or improvements in the neighborhood. The sign program, as approved, would be consistent with the legislative intent of Title 20 of the Newport Beach Municipal Code based on the following findings:

FINDINGS

1. The Land Use Element of the General Plan designates the site for "Open Space" land use. The sign locations are consistent with this designation, and the sign program is accessory to the planned community district regulations.
2. After reviewing this project, it has been determined that it is categorically exempt from the requirements of the California Environmental Quality Act under Class 11 (Accessory Structures).

3. The proposed changes to the existing sign program is consistent with the legislative intent of Title 20 and Chapter 20.67 of the Newport Beach Municipal Code with regard to the sign regulations based on the following findings:
 - Chapter 20.67 of the Newport Beach Municipal Code requires comprehensive sign programs in order to provide a means for increased latitude in the design and display of signage for all projects with street frontage.
 - The sign program as presented and approved is consistent with the purpose and intent of Chapter 20.67 of the Newport Beach Municipal Code and the purpose and intent of the existing sign program.
 - The proposed sign program, as conditioned, will not interfere with sight distance from any street, alley or driveway. The traffic directional signs are subject to review by the City Traffic Engineer.
 - The subject locations are throughout the planned community and the approval of changes and the addition of other signs is appropriate given the size of the area and the number of projects identified by the program.
 - Due to the size of the planned community district, there is a reasonable need for an increase in the number of way finding and identification signs to provide adequate identification and direction to traffic.
 - The approved sign program will integrate the new signs into a single unified and comprehensive program.

CONDITIONS

1. The development shall be in substantial conformance with the approved plot plan and sign details, except as noted in the following conditions.
2. The project identification or directional signs shall comply with the dimensions specified in the approved plans.
3. Anything not specifically approved by this Comprehensive Sign Program is prohibited. Revisions to the program may be approved by the Zoning Administrator if the intent of the original approval is not affected. Revisions that substantially deviate from the original approval must be addressed in a separate amendment and subsequent Comprehensive Sign Program review for Zoning Administrator's approval.
4. Any future revisions or changes to the signs approved by this sign program (per the attached Sign Program Inventory) due to a change in the project names or directional signs shall be reviewed and approved by the Planning Director/Zoning Administrator, so long as the sign size and number of signs does not increase. Any increase in the size, location or increase in the number of signs may require an amendment to this application.
5. This approval was based on the particulars of the individual case and does not, in and of itself or in combination with other approvals in the vicinity or Citywide, constitute a precedent for future approvals or decisions.

6. A building permit shall be obtained prior to commencement of installation of any signs.
7. All work performed within or adjacent to the public right-of-way shall be reviewed and approved by the Public Works Department under an encroachment permit/agreement or prior to issuance of building permits, if required.
8. The Zoning Administrator or the Planning Commission may add to or modify conditions of this approval, or revoke this approval upon a determination that any sign that is authorized by this approval has been altered beyond the parameters of the authorization and therefore beyond the justification.
9. This approval shall expire unless exercised within 24 months from the date of approval as specified in Section 20.93.050(A) of the Newport Beach Municipal Code, unless an extension is approved prior to the expiration date of this approval, in accordance with Section 20.93.050(B) of the Newport Beach Municipal Code.

APPEAL PERIOD

The decision of the Zoning Administrator may be appealed to the Planning Commission within 14 days of the date of the decision, in accordance with the provision of Section 20.95.050 of the Newport Beach Municipal Code. A filing fee of \$600.00 shall accompany any appeal filed. No building permits may be issued until the appeal period has expired. A copy of the approval letter shall be incorporated into the Building Department set of plans prior to issuance of the building permits or issuance of revised plans.

By  _____
Zoning Administrator Javier S. Garcia, AICP

JSG/rm

- Attachments: Vicinity Map
Sign Details for the following locations:
- 20801 Newport Coast Drive
 - 21101 Newport Coast Drive
 - 21125 Newport Coast Drive
 - 22802 Newport Coast Drive
 - 6202 San Joaquin Hills Road
 - 6310 San Joaquin Hills Road
 - 6403 San Joaquin Hills Road

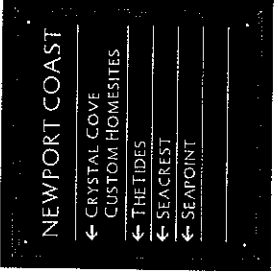
VICINITY MAP



Comprehensive Sign Program No. CS2008-001
PA2008-013

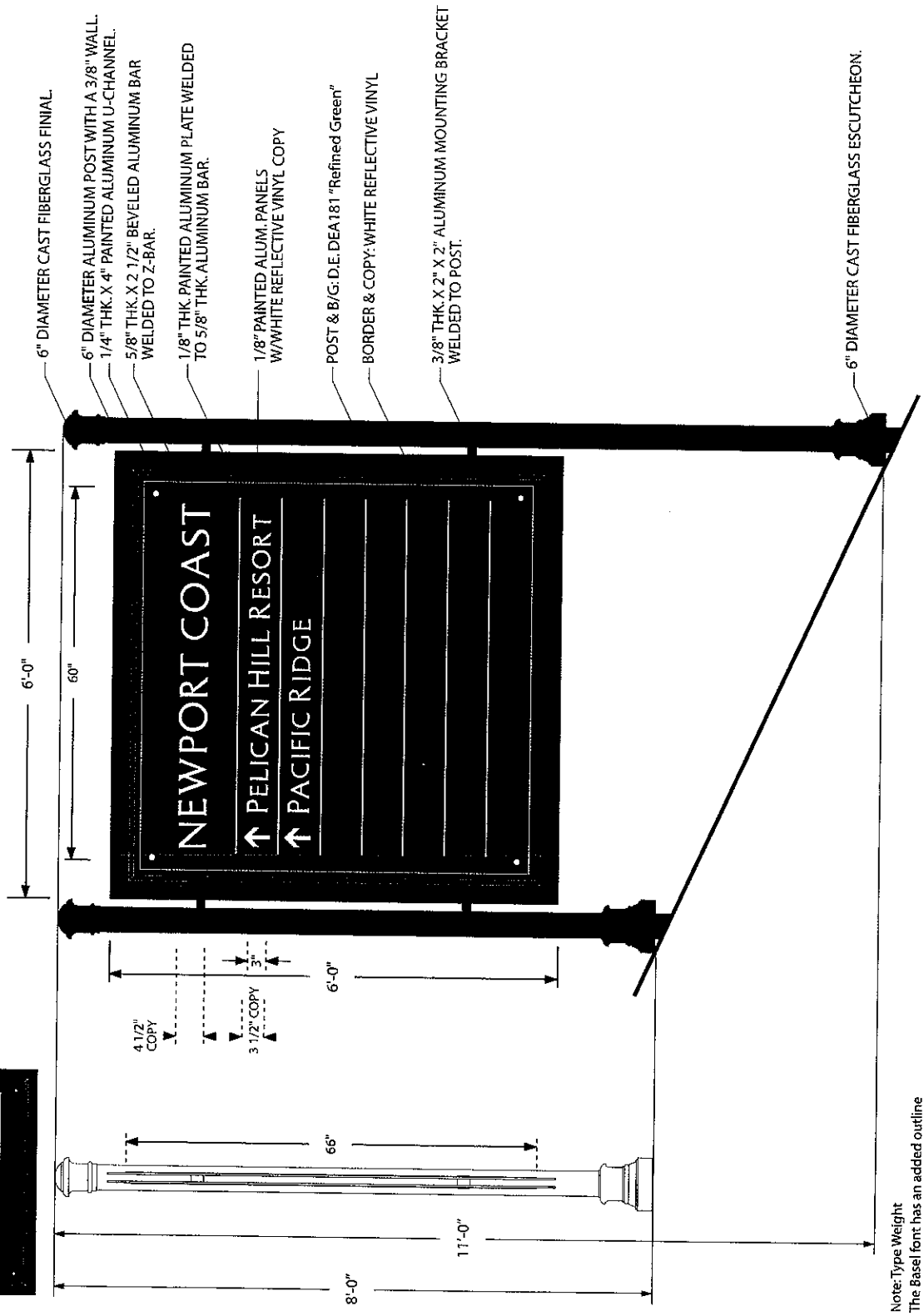
21101 Newport Coast Drive

BACK SIDE 50% OF SCALE



NEW REFLECTIVE WHITE VINYL COPY & ARROW
9/24/07

SIGN NO. C2
(aka #19)



- 6" DIAMETER CAST FIBERGLASS FINIAL.
- 6" DIAMETER ALUMINUM POST WITH A 3/8" WALL.
- 1/4" THK. X 4" PAINTED ALUMINUM U-CHANNEL.
- 5/8" THK. X 2 1/2" BEVELED ALUMINUM BAR WELDED TO Z-BAR.
- 1/8" THK. PAINTED ALUMINUM PLATE WELDED TO 5/8" THK. ALUMINUM BAR.
- 1/8" PAINTED ALUM. PANELS W/WHITE REFLECTIVE VINYL COPY
- POST & B/G: D.E. DEA181 "Refined Green"
- BORDER & COPY: WHITE REFLECTIVE VINYL
- 3/8" THK X 2" X 2" ALUMINUM MOUNTING BRACKET WELDED TO POST.
- 6" DIAMETER CAST FIBERGLASS ESCUTCHEON.

PROJECT:	D-10.5										
CLIENT:	NEWPORT COAST										
SALES REP:	IRVINE CO.										
DESIGNER:	GERI										
AGENCY/TERRI:											
DATE:	4/30/07										
REVISIONS (DATE):	<table border="1"> <tr><td>5/29/07 TF</td><td>.25</td></tr> <tr><td>6/11/07 J.W.</td><td>.25</td></tr> <tr><td>6/26/07 IP</td><td>.25</td></tr> <tr><td>7/23/07 GV</td><td>.25</td></tr> <tr><td>9/24/07 GV</td><td>.25</td></tr> </table>	5/29/07 TF	.25	6/11/07 J.W.	.25	6/26/07 IP	.25	7/23/07 GV	.25	9/24/07 GV	.25
5/29/07 TF	.25										
6/11/07 J.W.	.25										
6/26/07 IP	.25										
7/23/07 GV	.25										
9/24/07 GV	.25										
SCALE:	1/2" = 1'										
SHOP DWG.:											
WO#	22739.0										
CLIENT APPROVAL:											
(PLEASE CHECK BOX)											
<input type="checkbox"/> AS SHOWN											
<input type="checkbox"/> WITH CHANGES											
CLIENT SIGNATURE	DATE:										
YOUR SIGNATURE ACKNOWLEDGES FULL APPROVAL OF DESIGN LAYOUT AND CONTENT, RELEASING OUTDOOR DIMENSIONS FROM RESPONSIBILITY IN REGARD TO INCORRECT DESIGN AND INFORMATION. THE COLORS SHOWN ARE ONLY REPRESENTATIVE OF ACTUAL PMS COLOR CALL OUTS. FINAL COLOR WILL BE MATCHED AS CLOSE AS POSSIBLE, DUE TO MATERIALS USED.											
DESIGNS ARE THE PROPERTY OF OUTDOOR DIMENSIONS UNTIL PURCHASED BY CLIENT.											



PA2008-013 for CS2008-001
21101 NEWPORT COAST DRIVE
Outdoor Dimensions

Note: Type Weight
The Basel font has an added outline to give it additional weight.
Example: a 4" high letter has a .125" offset.
All other letters proportionately adjusted.
Basel Regular Letters (Small cap letters are 86.5% of the size of the initial cap) - 18pt., 13.5pt., 11.5pt.

D/F PAINTED ALUM. DIRECTIONAL W/ CUSTOM ALUM. POST STRUC & REFLECTIVE VINYL COPY
(CLEAR COAT W/ MATTE FINISH)

6331

6401

Newport Coast Community Center

SAN JOAQUIN HILLS RD

9
 8
 1
 16 22 116 27 8 12 10
 5
 50
 54
 52
 31
 23
 19
 41
 15
 21
 45 24 36 33 25 56 48
 17
 51
 53
 43
 30
 57
 39

21131
 21161
 21101
 21151
 21111
 21121
 21149 21153 21173 21123 21103 21141 21
 21133
 21171
 21163
 21113

21181

6655

Newport Coast Elementary School

3101

6502 Fire Station 8



NEWPORT COAST

21244

6612
6692

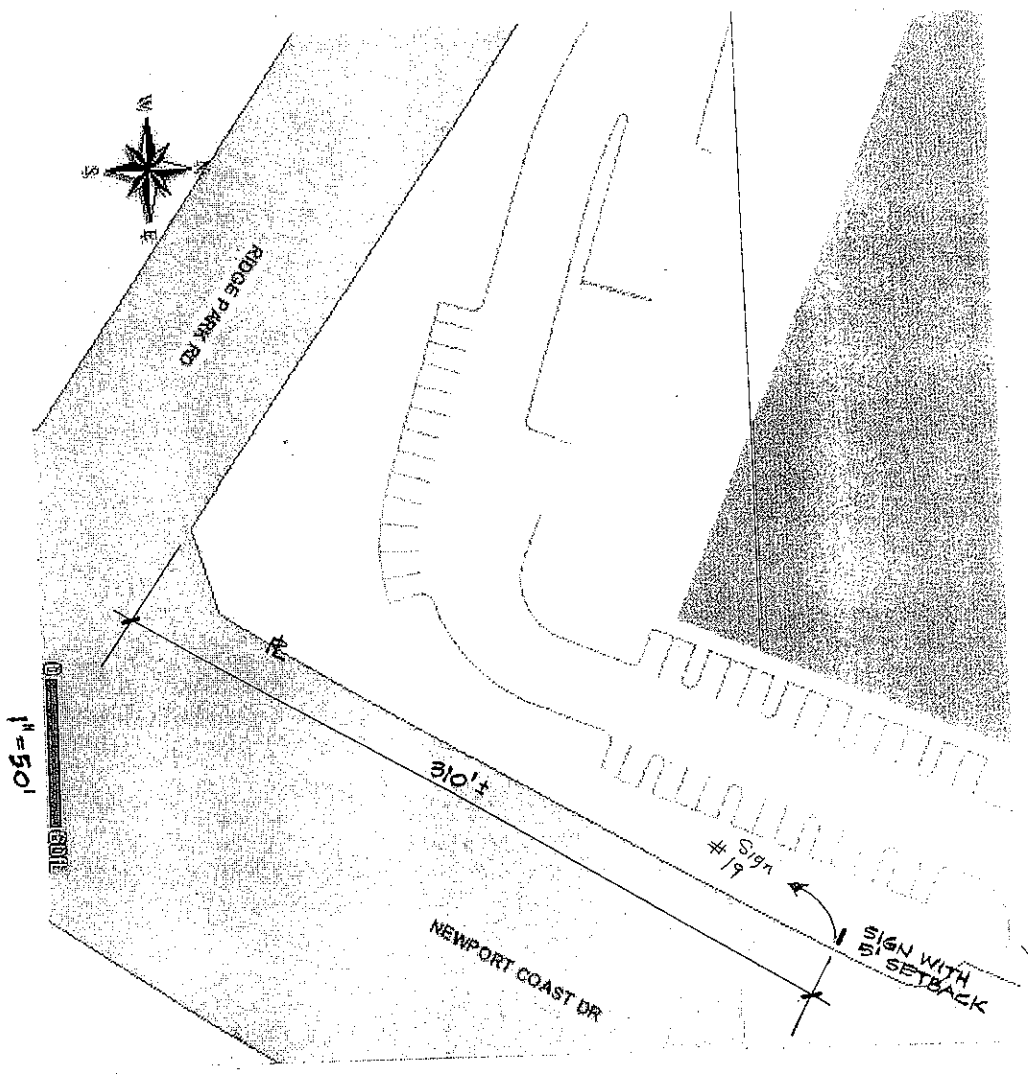
RIDGE PARK RD

2401

5
 7
 1 3 5 7 9 11 9
 11
 2
 6 8 10 12 14 16
 18
 20
 22
 24
 31
 33
 35
 37
 39
 41
 43
 45
 47
 11 9 7 5
 15
 17 8 6
 19
 21 20
 23 22
 24

TESORO

AMADOR



1" = 50'

0 50 100



RIDGE PARK RD

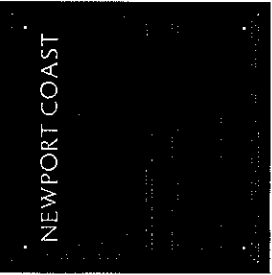
310' ±

NEWPORT COAST DR

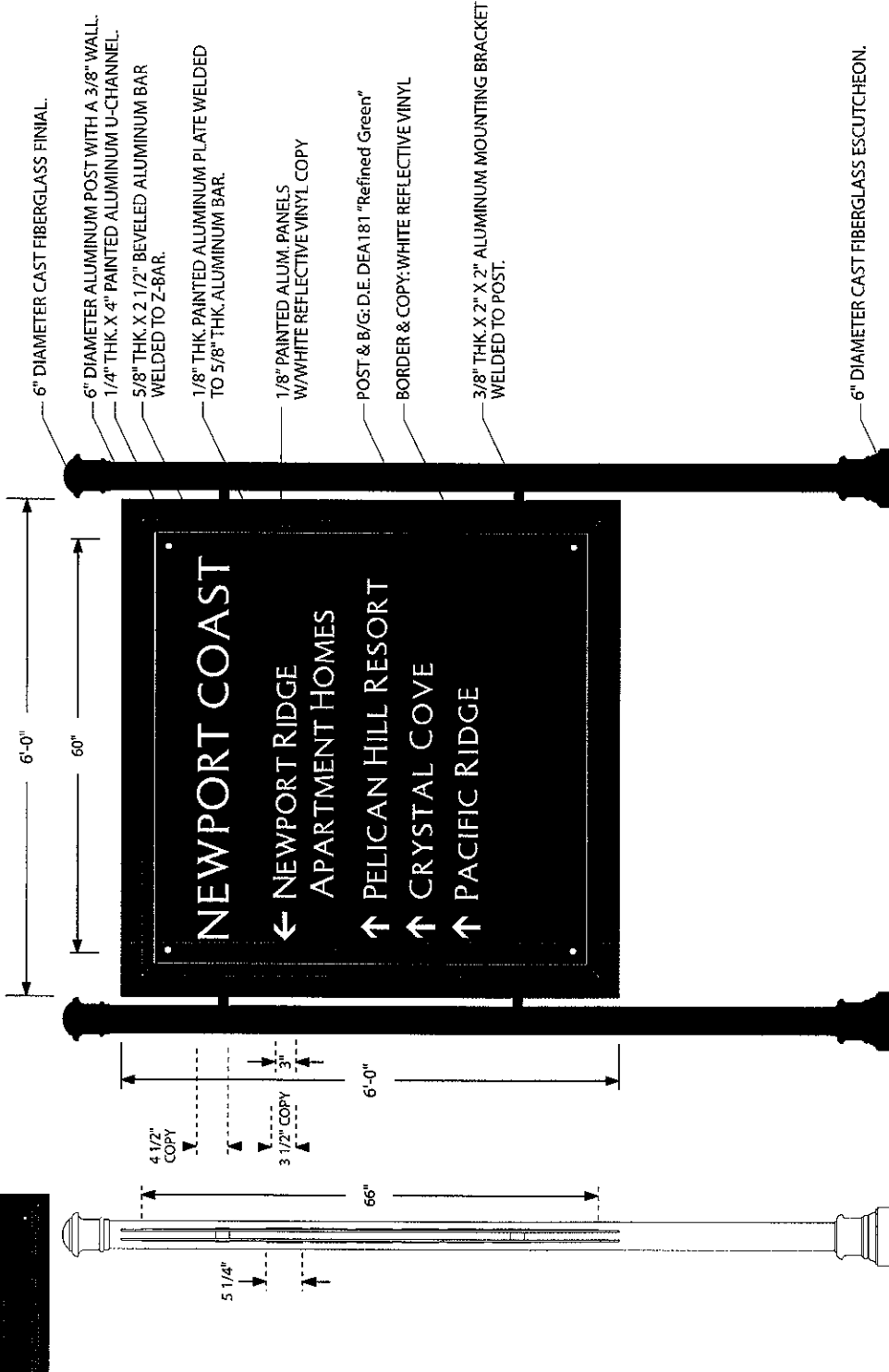
Sign #19

SIGN WITH 5' SETBACK

BACK SIDE 50% OF SCALE



SIGN NO. 29



D/F COMMUNITY DIRECTIONAL PAINTED W/ CUSTOM POST, ALUM. RIDER PANELS & VINYL COPY

Note: Type Weight
 The Basel font has an added outline to give it additional weight.
 Example: a 4" high letter has a .125" offset.
 All other letters proportionately adjusted.
 Basel Regular Letters (Small cap letters are 86.5% of the size of the initial cap) - 18pt., 13.5pt., 11.5pt.

PROJECT:	NEWPORT COAST	C-4
CLIENT:	IRVINE CO.	
SALES REP:	GERI	
DESIGNER:	ISAAC P.	
DATE:	8/6/07 (82)	.25
REVISIONS (DATE):		
SCALE:	1/2" = 1'	
SHOP DWG.:		
CLIENT APPROVAL:		
(PLEASE CHECK BOX)		
<input type="checkbox"/> AS SHOWN		
<input type="checkbox"/> WITH CHANGES		
CLIENT SIGNATURE		
DATE:		

YOUR SIGNATURE ACKNOWLEDGES FULL APPROVAL OF DESIGN LAYOUT AND CONTENT, RELEASING OUTDOOR DIMENSIONS FROM RESPONSIBILITY IN REGARD TO INCORRECT DESIGN AND INFORMATION. THE COLORS SHOWN ARE ONLY REPRESENTATIVE OF ACTUAL PMS COLOR. CALL OUTS, FINAL COLOR WILL BE MATCHED AS CLOSE AS POSSIBLE, DUE TO MATERIALS USED.

DESIGNS ARE THE PROPERTY OF OUTDOOR DIMENSIONS UNTIL PURCHASED BY CLIENT.



PA2008-013 for CS2008-001
 21101 NEWPORT COAST DRIVE
 Outdoor Dimensions

12
821622 14101864
8
6

21
9
1
3
5
11

36
84
10
18
22
12
8
2

933353634191 611933312243

WHITE GAP LN

96 58 56 66 48 80 4 62 98 78 92 40 24

412 498 362 502 342 454 400 420

526
504
314
364
524
336
352
506
462
396
382

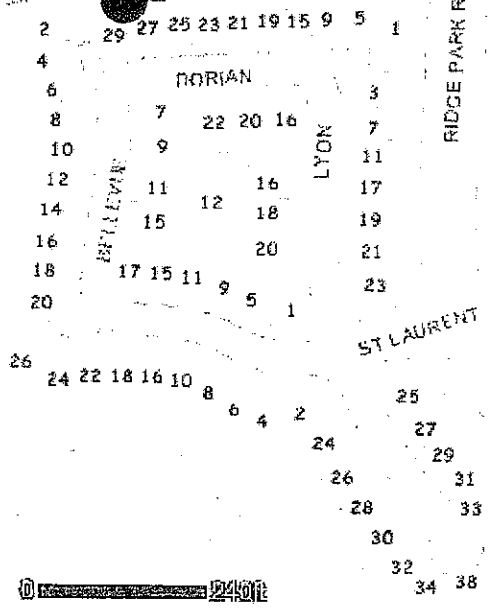
6
16
14
72
60
94

1
21
9
17 3 19
12 1
6 5
2 22 7
8 11
4

21 23
31 6
8
16 18 22 14
12

SAN JOAQUIN HILLS RD

10
33 22
9 12
3 8
43 15 4
11 6
31 2



© 2011

NEWPORT RIDGE DR E

RIDGE PARK RD

SAN JOAQUIN HILLS RD

400'

1 SIGN WITH
5' RETRACK

Sign # 29

DORIAN

LYON

BELLEVUE

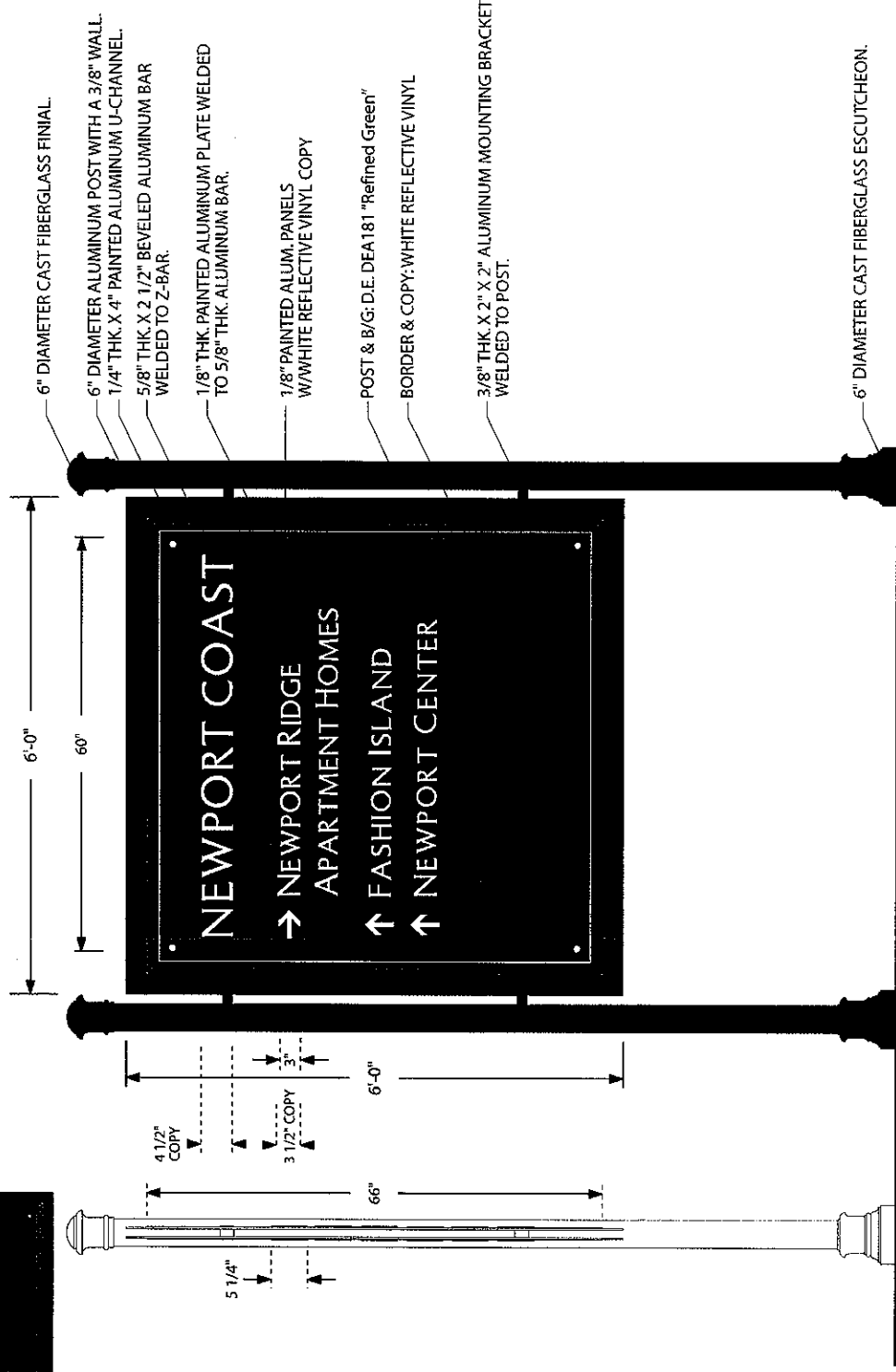
1" = 50'





BACK SIDE 50% OF SCALE

SIGN NO. 14



- 6" DIAMETER CAST FIBERGLASS FINIAL.
- 6" DIAMETER ALUMINUM POST WITH A 3/8" WALL, 1/4" THK. X 4" PAINTED ALUMINUM U-CHANNEL.
- 5/8" THK. X 2 1/2" BEVELED ALUMINUM BAR WELDED TO Z-BAR.
- 1/8" THK. PAINTED ALUMINUM PLATE WELDED TO 5/8" THK. ALUMINUM BAR.
- 1/8" PAINTED ALUM. PANELS W/WHITE REFLECTIVE VINYL COPY
- POST & B/G: D.E. DEA181 "Refined Green"
- BORDER & COPY: WHITE REFLECTIVE VINYL
- 3/8" THK. X 2" X 2" ALUMINUM MOUNTING BRACKET WELDED TO POST.
- 6" DIAMETER CAST FIBERGLASS ESCUTCHEON.

D/F COMMUNITY DIRECTIONAL PAINTED W/ CUSTOM POST, ALUM. RIDER PANELS & VINYL COPY

Note: Type Weight
 The Basel font has an added outline to give it additional weight.
 Example: a 4" high letter has a .125" offset.
 All other letters proportionately adjusted.
 Basel Regular Letters (Small cap letters are 86.5% of the size of the initial cap) - 18pt., 13.5pt., 11.5pt.

PROJECT:	NEWPORT COAST	C-5
CLIENT:	IRVINE CO.	
SALES REP:	GERI	
DESIGNER:	ISAAC P.	
DATE:	8/6/07 (B2)	.25
REVISIONS (DATE):		
SCALE:	1/2" = 1'	
SHOP DWG.:		
CLIENT APPROVAL:		
(PLEASE CHECK BOX)		
<input type="checkbox"/> AS SHOWN		
<input type="checkbox"/> WITH CHANGES		
CLIENT SIGNATURE	DATE:	

YOUR SIGNATURE ACKNOWLEDGES FULL APPROVAL OF DESIGN LAYOUT AND CONTENT, RELEASING OUTDOOR DIMENSIONS FROM RESPONSIBILITY IN REGARD TO INCORRECT DESIGN AND INFORMATION. THE COLORS SHOWN ARE ONLY REPRESENTATIVE OF ACTUAL PMS COLOR CALL OUTS. FINAL COLOR WILL BE MATCHED AS CLOSE AS POSSIBLE, DUE TO MATERIALS USED.

DESIGNS ARE THE PROPERTY OF OUTDOOR DIMENSIONS UNTIL PURCHASED BY CLIENT.



5325 E. HUNTER AVENUE
 ANAHEIM, CA. 92807
 714-578-9555 FAX: 714-693-9578

80
10
14
22
12
4
2 98
6
8
16
18
94
62

NEWPORT RIDGE DR E

6331

Newport Coast Community Center

6401

875'
SAN JOAQUIN HILLS RD

20662

1 3 5 7
9
2
6 8 10

5 1
3
7
11
17
19
21
23
24
26
28
30
32
34 36

9
3
1
16126527112210
8
25
30
29
31
23
19
51
15
21
45 24 36 33 56 48 28
17
43
53
41
54
32
26

21113
21163
21171
21133
21123
21121
21111
21151
21101
21161
21131
21159 21141 21173 21103 21153 21119

21181

6655

ST LAURENT

NEWPORT COAST DR

RIDGE PARK RD

6502
Fire Station 8

Newport Coast Elementary School

240ft

11



Sign # 14

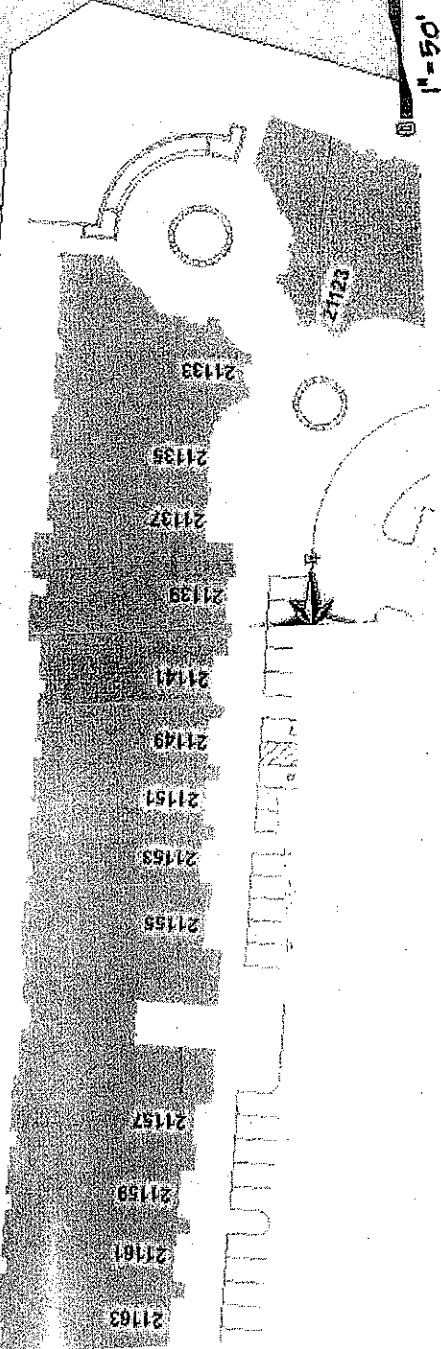
SIGN WITH
5' SETBACK

875'

SAN JOAQUIN HILLS RD

SAN JOAQUIN HILLS RD

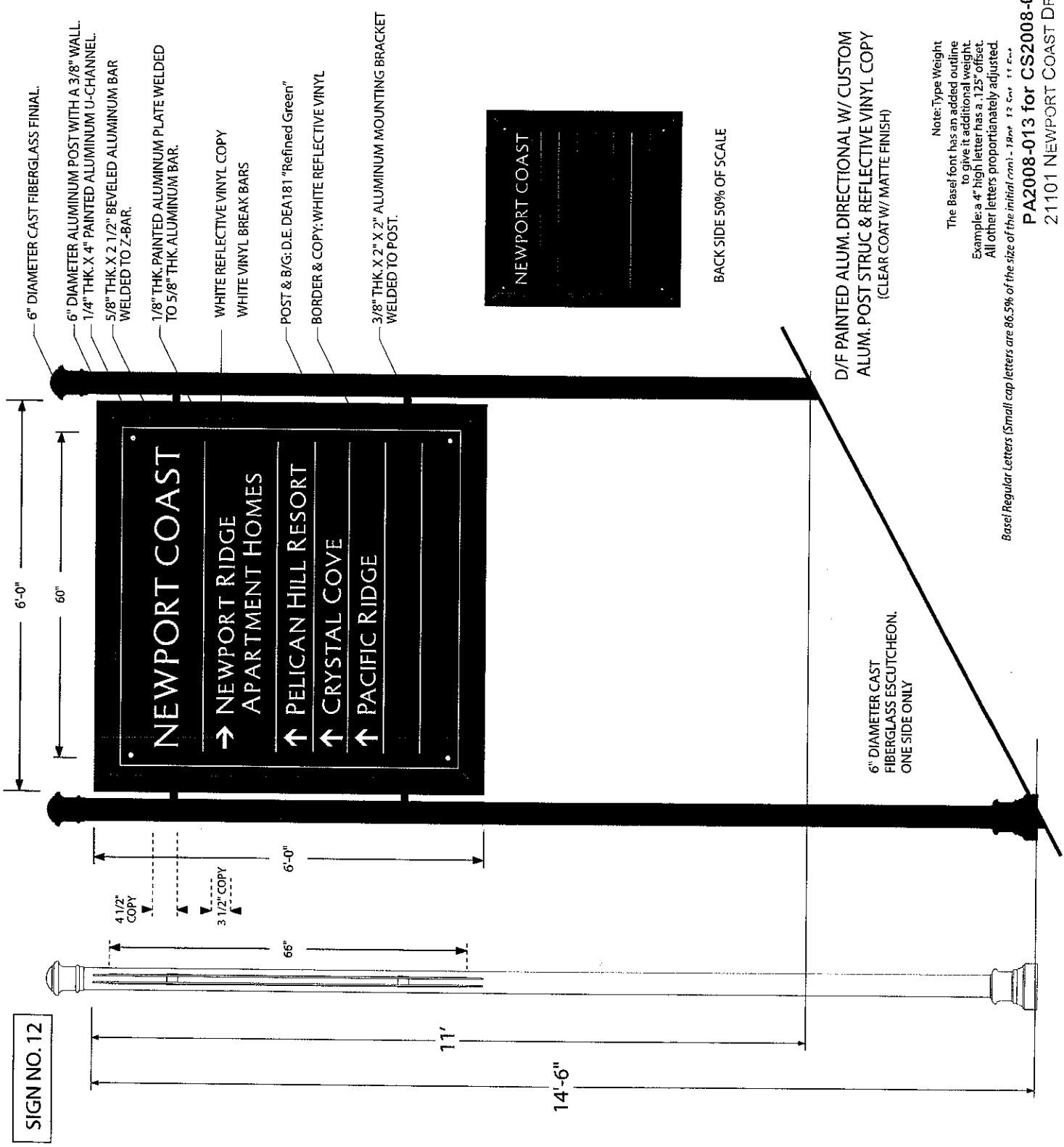
NEWPORT COAST DR



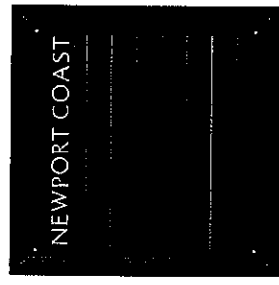
109'

04-11

SIGN NO. 12



- 6" DIAMETER CAST FIBERGLASS FINIAL.
- 6" DIAMETER ALUMINUM POST WITH A 3/8" WALL. 1/4" THK. X 4" PAINTED ALUMINUM U-CHANNEL.
- 5/8" THK. X 2 1/2" BEVELED ALUMINUM BAR WELDED TO Z-BAR.
- 1/8" THK. PAINTED ALUMINUM PLATE WELDED TO 5/8" THK. ALUMINUM BAR.
- WHITE REFLECTIVE VINYL COPY
- WHITE VINYL BREAK BARS
- POST & B/G; D.E. DEA181 "Refined Green"
- BORDER & COPY; WHITE REFLECTIVE VINYL
- 3/8" THK. X 2" X 2" ALUMINUM MOUNTING BRACKET WELDED TO POST.



BACK SIDE 50% OF SCALE

D/F PAINTED ALUM. DIRECTIONAL W/ CUSTOM ALUM. POST STRUC & REFLECTIVE VINYL COPY (CLEAR COAT W/ MATTE FINISH)

6" DIAMETER CAST FIBERGLASS ESCUTCHEON. ONE SIDE ONLY

Note: Type Weight
The Base! font has an added outline to give it additional weight.
Example: a 4" high letter has a .125" offset.
All other letters proportionately adjusted.

Base! Regular Letters (Small cap letters are 86.5% of the size of the initial cap!) - 12pt 12 Cap 11 C...

PROJECT:	D-13.4
CLIENT:	NEWPORT COAST
SALES REP.:	IRVINE CO.
DESIGNER:	GERI
AGENCY/TERRI:	
DATE:	4/25/07
REVISIONS (DATE):	7/5/07 J.W. .25 7/10/07 J.W. .25 8/22/07 J.W. .25 8/29/07 Vtm .25
SCALE:	1/2" = 1'
SHOP DWG.:	
CLIENT APPROVAL:	
(PLEASE CHECK BOX)	
<input type="checkbox"/> AS SHOWN	
<input type="checkbox"/> WITH CHANGES	
CLIENT SIGNATURE	DATE
YOUR SIGNATURE ACKNOWLEDGES FULL APPROVAL OF DESIGN LAYOUT AND CONTENT, RELEASING OUTDOOR DIMENSIONS FROM RESPONSIBILITY IN REGARD TO INCORRECT DESIGN AND INFORMATION. THE COLORS SHOWN ARE ONLY REPRESENTATIVE OF ACTUAL PMS COLOR CALL OUTS. FINAL COLOR WILL BE MATCHED AS CLOSE AS POSSIBLE, DUE TO MATERIALS USED.	
DESIGNS ARE THE PROPERTY OF OUTDOOR DIMENSIONS UNTIL PURCHASED BY CLIENT.	

OUTDOOR DIMENSIONS

PA2008-013 for CS2008-001
21101 NEWPORT COAST DRIVE
Outdoor Dimensions

Sage Hill School
L 20402

SAGE HILL

NEWPORT COAST DR

1375'

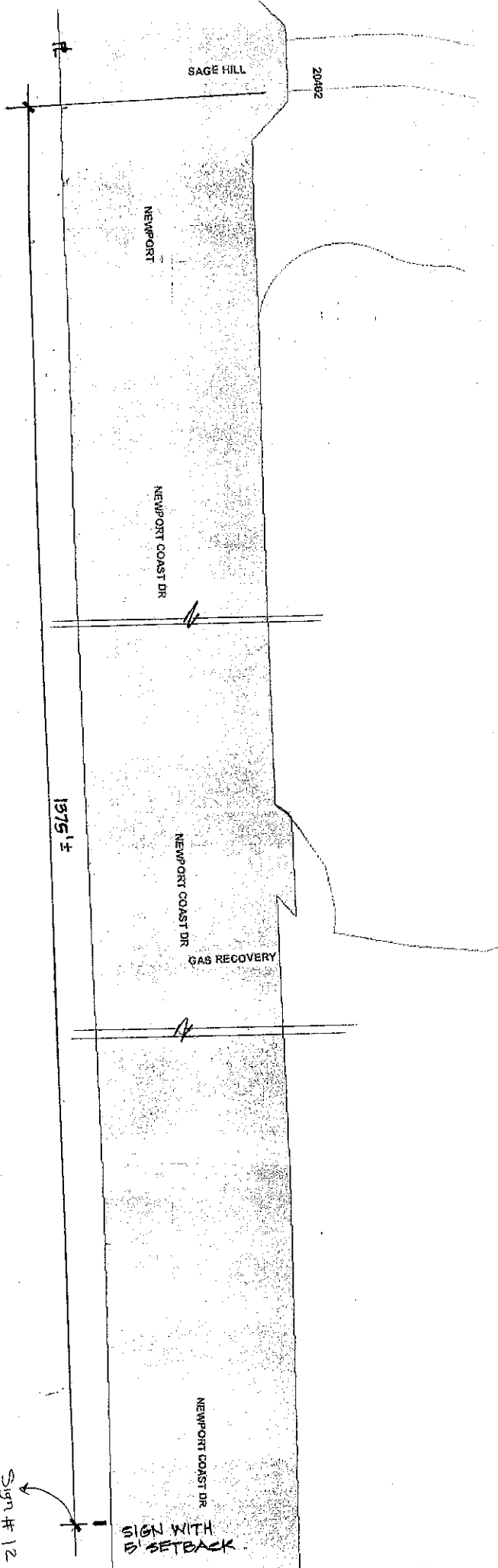
NEWPORT COAST DR

I

20662



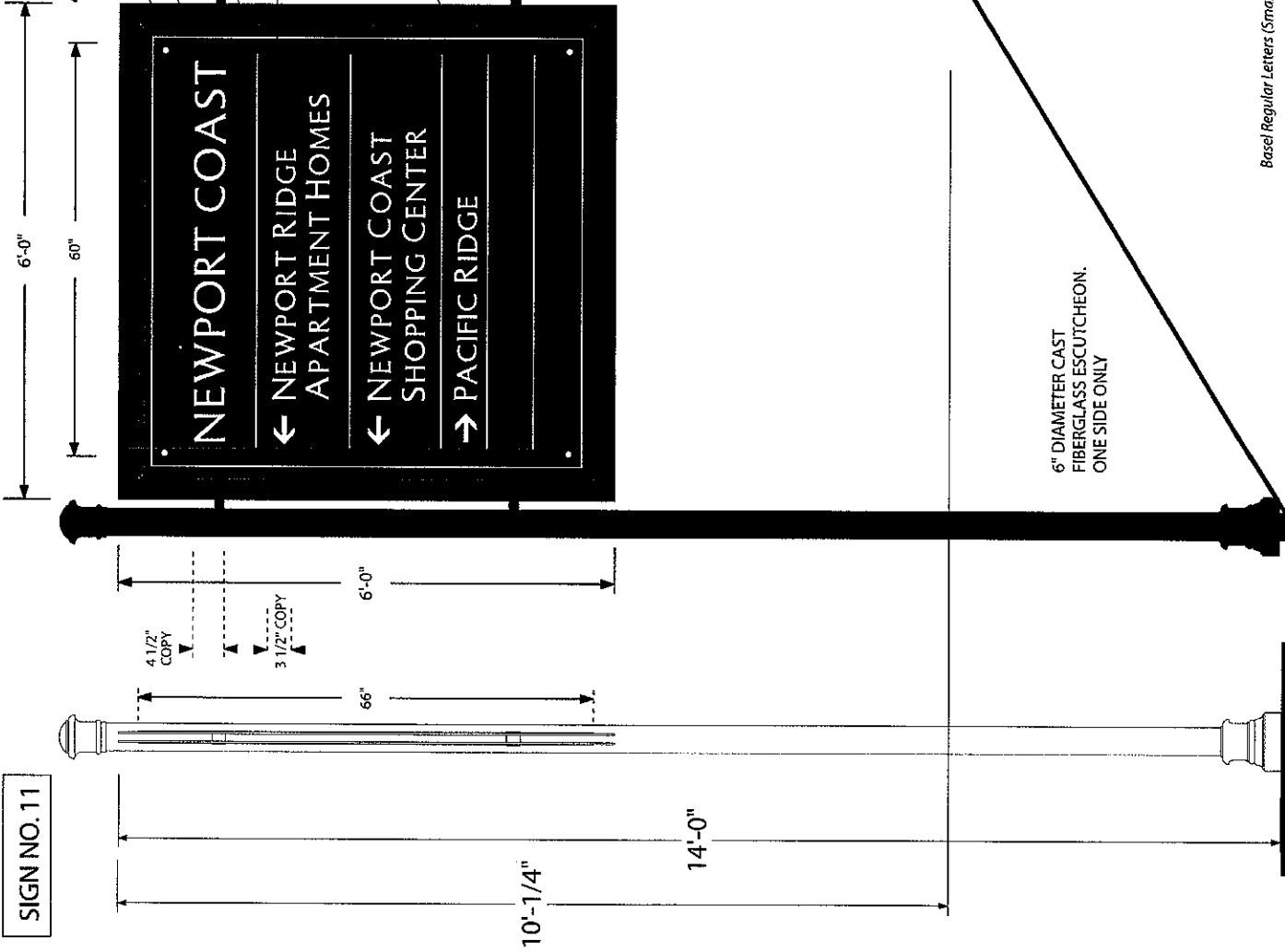
20402



Sign # 12

SIGN WITH SETBACK

SIGN NO. 11



PROJECT:	D-12.1
	NEWPORT COAST
CLIENT:	IRVINE CO.
SALES REP:	GERI
DESIGNER:	AGENCY/TERRI
DATE:	4/25/07
REVISIONS (DATE):	7/5/07 J.W. .25 7/10/07 J.W. .25 8/22/07 J.W. .25

SCALE: 1/2" = 1'
SHOP DWG.:

CLIENT APPROVAL:
(PLEASE CHECK BOX)
 AS SHOWN
 WITH CHANGES

CLIENT SIGNATURE _____ **DATE** _____
YOUR SIGNATURE ACKNOWLEDGES FULL APPROVAL OF DESIGN LAYOUT AND CONTENT, RELEASING OUTDOOR DIMENSIONS FROM RESPONSIBILITY IN REGARD TO INCORRECT DESIGN AND INFORMATION. THE COLORS SHOWN ARE ONLY REPRESENTATIVE OF ACTUAL PMS COLOR CALL OUTS. FINAL COLOR WILL BE MATCHED AS CLOSE AS POSSIBLE, DUE TO MATERIALS USED. DIMENSIONS ARE THE PROPERTY OF OUTDOOR DIMENSIONS UNTIL PURCHASED BY CLIENT.



ES25.E-PRINTED-04/10/07

Note: Type Weight
The Basel font has an added outline to give it additional weight. Example: a 4" high letter has a .125" offset. All other letters proportionately adjusted.
Basel Regular Letters (Small cap letters are 86.5% of the size of the initial cap) - 18pt, 13.5pt, 11.5pt.

PA2008-013 for CS2008-001
21101 NEWPORT COAST DRIVE
Outdoor Dimensions

6655

MONTE PARK RD

21244

6692
6612

27
23
21
19
17
25
15
9
11
7
3
5
1

MONTEREY PINE

151712 111614

141612 111017

141712 11161015

141711 121610

1411 12

NEWPORT COAST DR

151412 111710

171412 111510

26
14
16
12
22
18
20

TROWANE DR

8
9
0
2
3
4
7
6

141511 121610

161512 111710

171411 121615

ADRANO

VISTA RIDGE RD

9
7
1
3
5
18
10
12
4
2
8
6
16
14

5
7
1
3

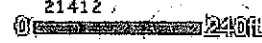
1
11

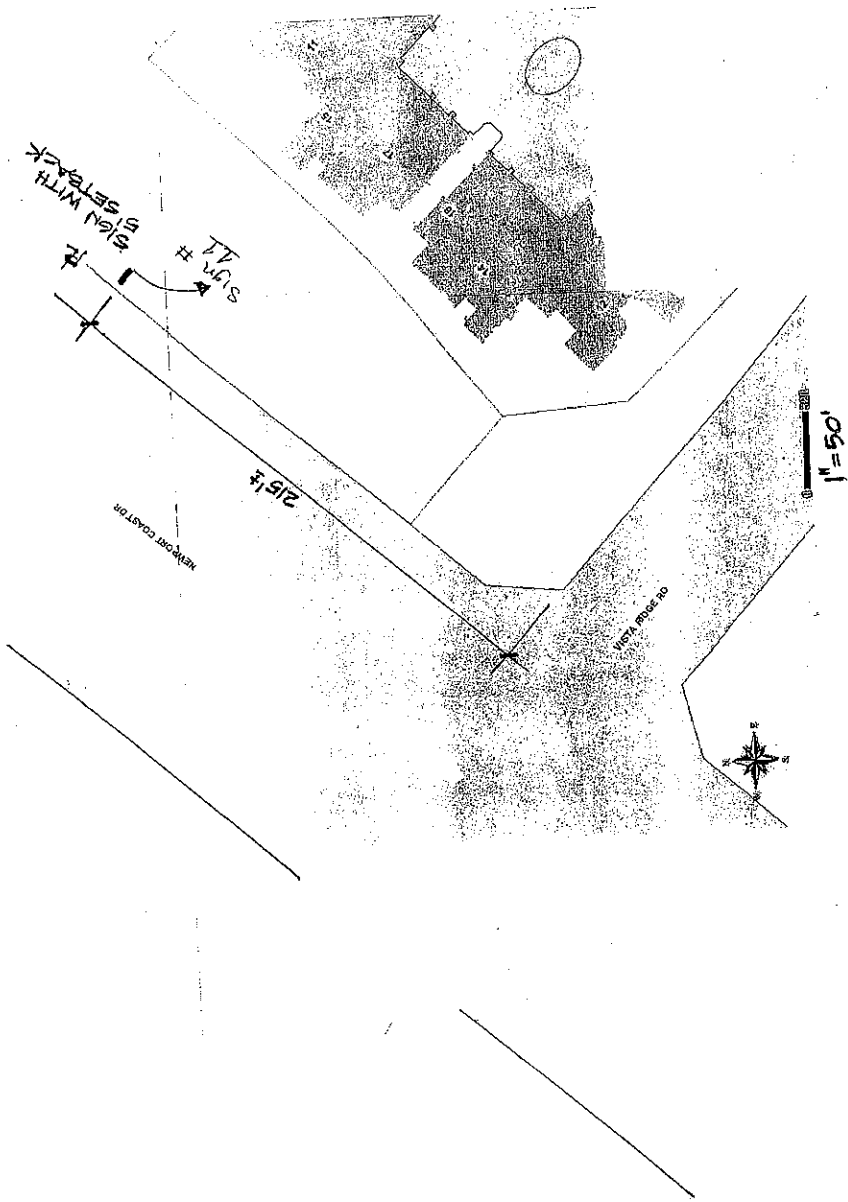


WHITESHORE

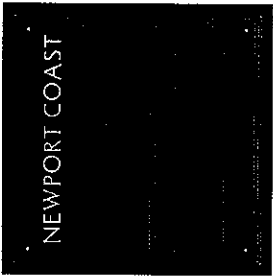
1
3
5
7
9
11

21412

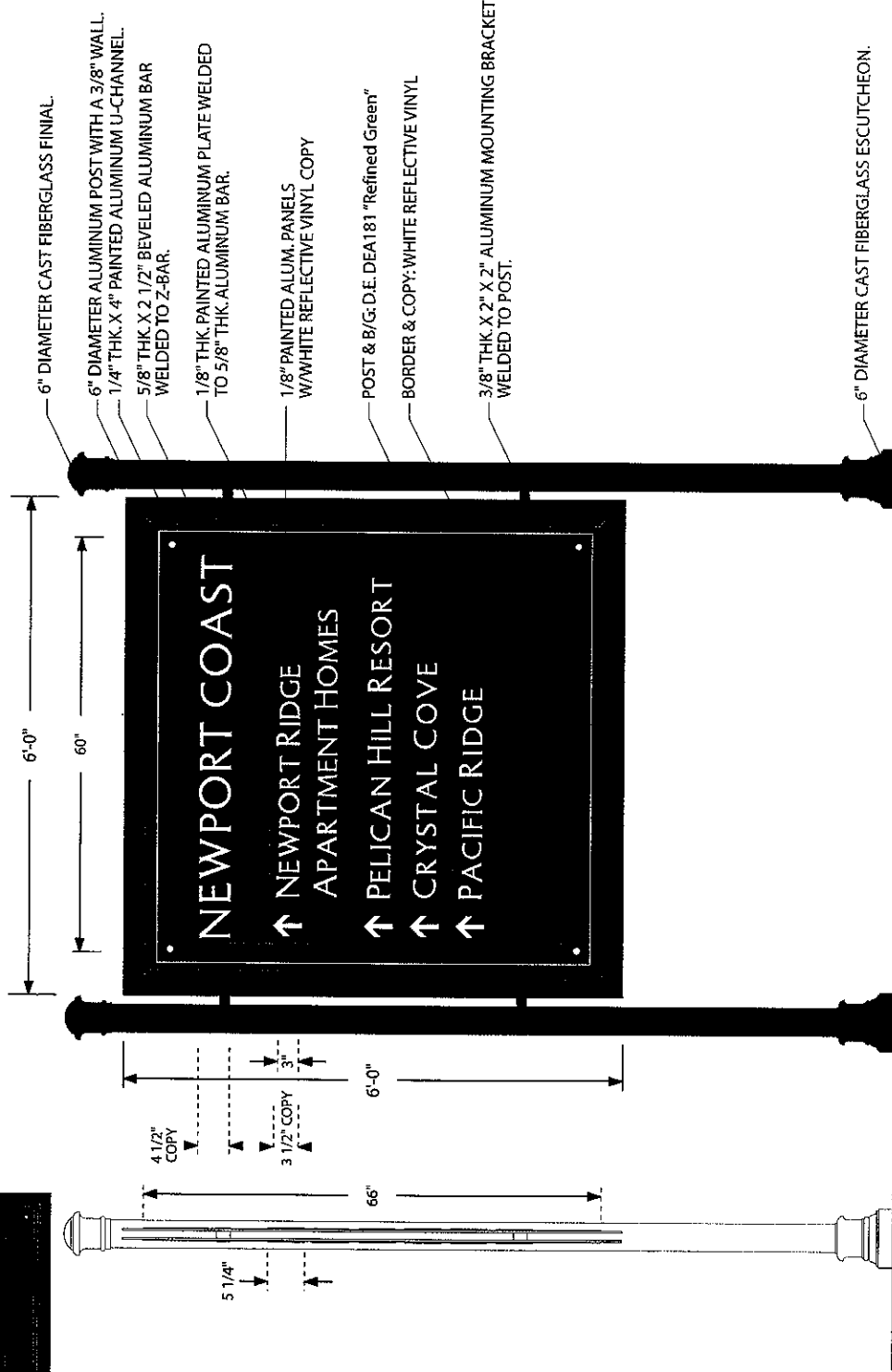




BACK SIDE 50% OF SCALE



SIGN NO. 17



D/F COMMUNITY DIRECTIONAL PAINTED W/ CUSTOM POST, ALUM. RIDER PANELS & VINYL COPY

Note: Type Weight
The Basel font has an added outline
to give it additional weight.
Example: a 4" high letter has a .125" offset.
All other letters proportionately adjusted.
Basel Regular Letters (Small cap letters are 86.5% of the size of the initial cap) - 18pt., 13.5pt., 11.5pt.

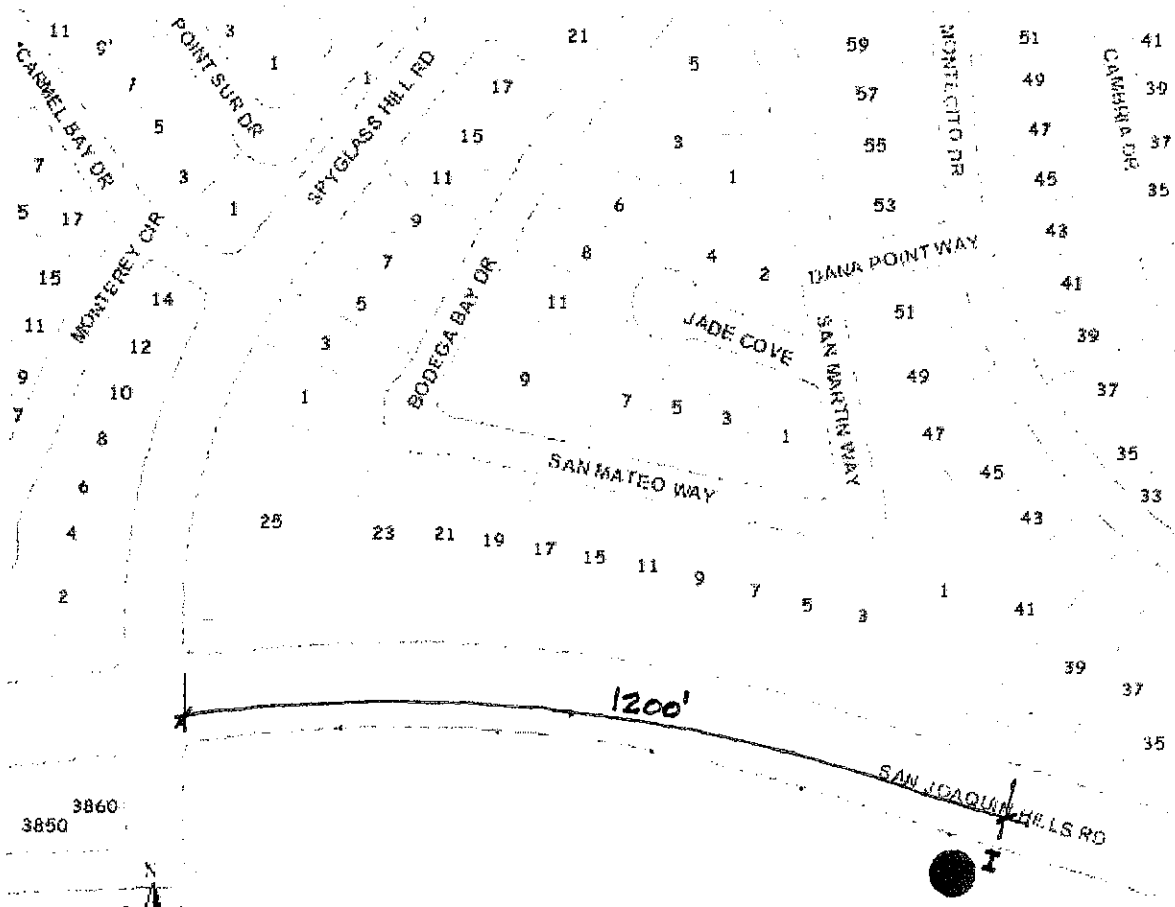
PROJECT:	NEWPORT COAST	C-6
CLIENT:	IRVINE CO.	
SALES REP:	GERI	
DESIGNER:	ISAAC P.	
DATE:	8/6/07 (B2)	25
REVISIONS (DATE):		
SCALE:	1/2" = 1'	
SHOP DWG.:		
CLIENT APPROVAL:		
(PLEASE CHECK BOX)		
<input type="checkbox"/> AS SHOWN		
<input type="checkbox"/> WITH CHANGES		
CLIENT SIGNATURE	DATE:	

YOUR SIGNATURE ACKNOWLEDGES FULL APPROVAL OF DESIGN LAYOUT AND CONTENT, RELEASING OUTDOOR DIMENSIONS FROM RESPONSIBILITY IN REGARD TO INCORRECT DESIGN AND INFORMATION. THE COLORS SHOWN ARE ONLY REPRESENTATIVE OF ACTUAL PMS COLOR CALL OUTS. FINAL COLOR WILL BE MATCHED AS CLOSE AS POSSIBLE, DUE TO MATERIALS USED.

DESIGNS ARE THE PROPERTY OF OUTDOOR DIMENSIONS UNTIL PURCHASED BY CLIENT.



PA2008-013 for CS2008-001
21101 NEWPORT COAST DRIVE
Outdoor Dimensions



3860
3850

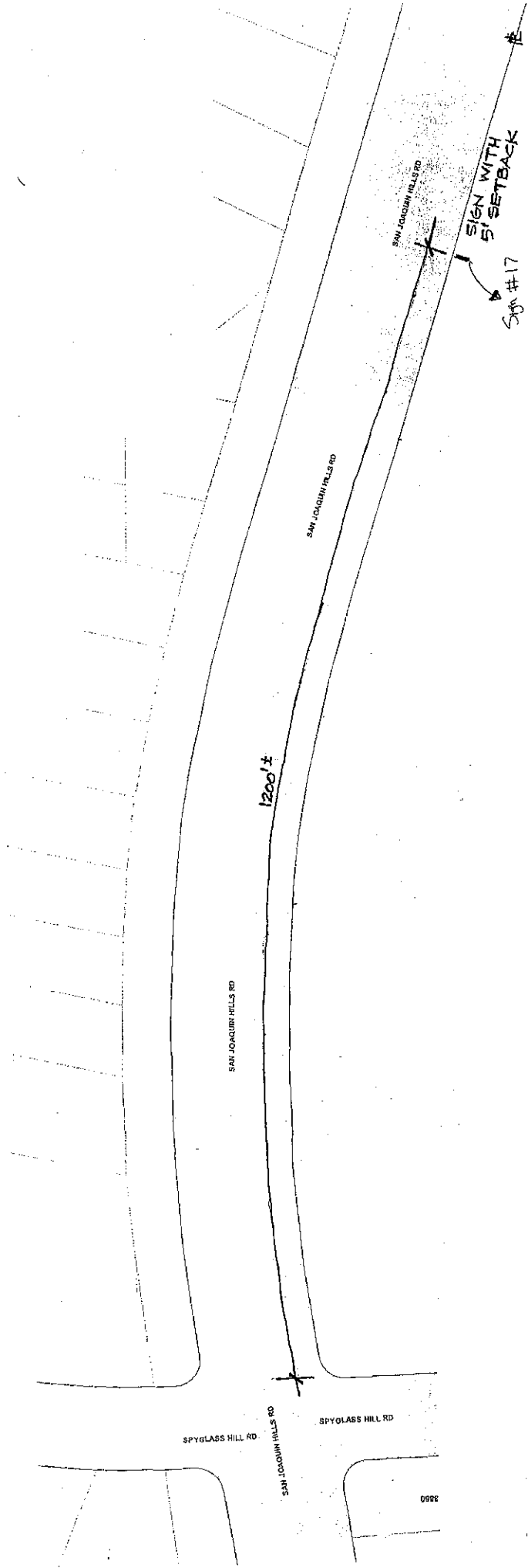


3841 S

1200'

SAN JOAQUIN HILLS RD

0 222 ft



1"=100'

0990

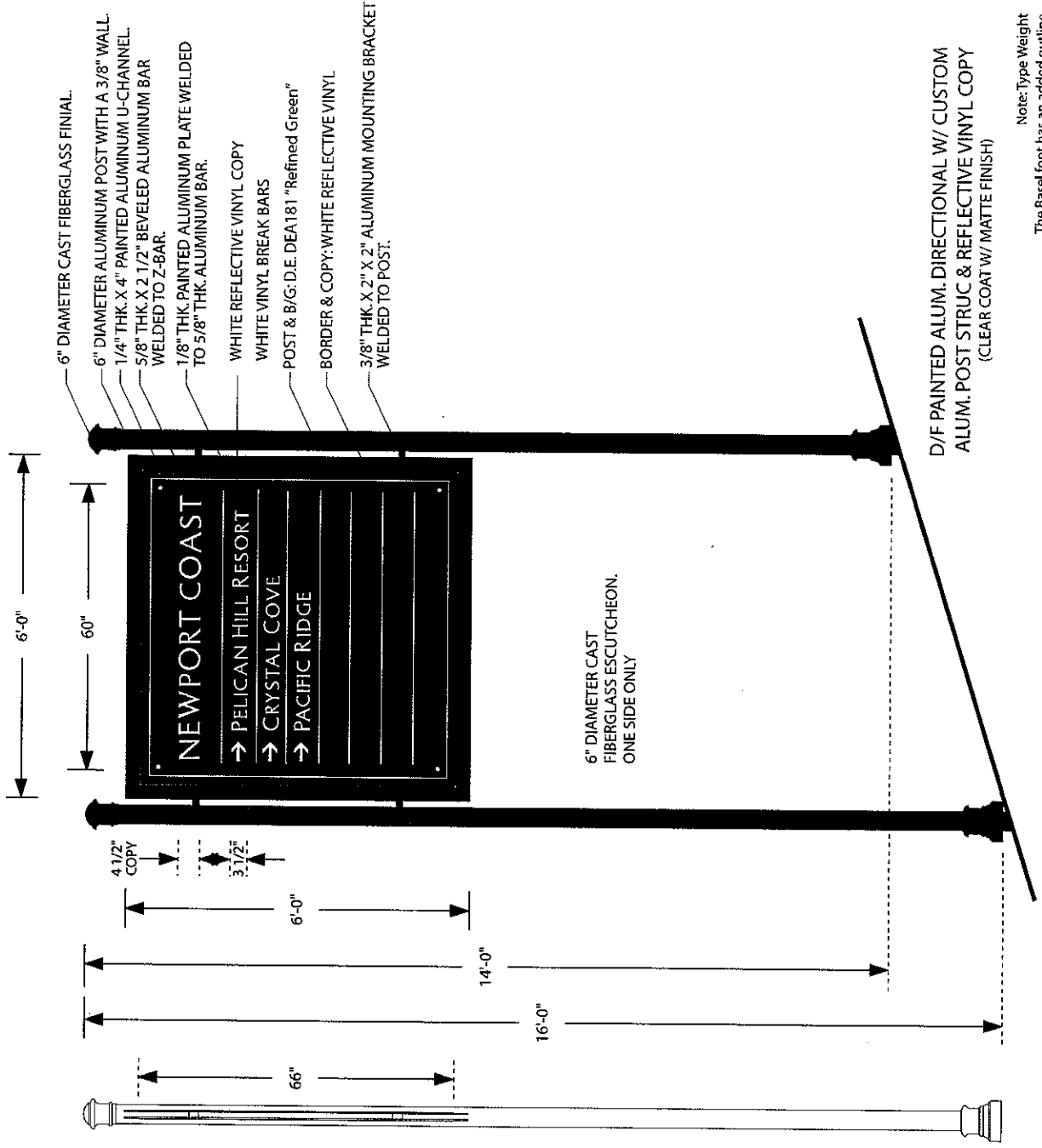
SIGN NO. 13

PROJECT:	D-15
CLIENT:	NEWPORT COAST
SALES REP:	IRVINE CO.
DESIGNER:	GERI
AGENCY/TERRI:	
DATE:	4/25/07
REVISIONS (DATE):	9/13/07 J.W. .5
SCALE:	3/8" = 1'
SHOP DWG.:	

CLIENT APPROVAL:
 (PLEASE CHECK BOX)
 AS SHOWN
 WITH CHANGES

CLIENT SIGNATURE: _____ DATE: _____

YOUR SIGNATURE ACKNOWLEDGES FULL APPROVAL OF DESIGN LAYOUT AND CONTENT, RELEASING OUTDOOR DIMENSIONS FROM RESPONSIBILITY IN REGARD TO INCORRECT DESIGN AND INFORMATION. THE COLORS SHOWN ARE ONLY REPRESENTATIVE OF ACTUAL PMS COLOR CALL OUTS. FINAL COLOR WILL BE MATCHED AS CLOSE AS POSSIBLE, DUE TO MATERIALS USED. DESIGNS ARE THE PROPERTY OF OUTDOOR DIMENSIONS UNLIL PURCHASED BY CLIENT.



D/F PAINTED ALUM. DIRECTIONAL W/ CUSTOM ALUM. POST STRUC & REFLECTIVE VINYL COPY (CLEAR COAT W/ MATTE FINISH)

Note: Type Weight
 The Basel font has an added outline to give it additional weight. Example - a 4" high letter has a 1 1/2" offset

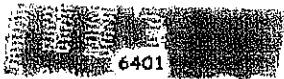
PA2008-013 for CS2008-001
 21101 NEWPORT COAST DRIVE
 Outdoor Dimensions

Basel Regular Letters (Small cap letters are 86.5% of



BACK SIDE 50% OF SCALE

6331



6401

Newport Coast Community Center

SAN JOAQUIN HILLS RD

9
5
1
16221152781210

21131
21161
21101
21151
21111
21121
21129 21102 21141 21167
21139
21171
21163
21113

50
54
52
31
23
19
41
15
21
45 24 36 31 25 56 48
17
51
53
43
30
57
39

21181

6655

Newport Coast Elementary School

31
33
6502
38 Fire Station 6



NEWPORT COAST DR

21244

6612
6692

RIDGE PARK RD



5
7
11
9
11
14
16
18
20
22
24
31
33
35
37
39
41
43
45
47

TEHORO

11 9 7 5

15

17

19

21

23

AMADOR

8 6

20

22

24

SAN JOAQUIN HILLS RD

NEWPORT COAST DR

200'±

SIGN WITH
SIGN SETBACK

5'±

21135
21133

21123

21119

21117

21112



1" = 50'

page intentionally blank