

**CITY OF NEWPORT BEACH
STAFF ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

FROM: Planning Department
Javier Garcia, Zoning Administrator
jgarcia@city.newport-beach.ca.us

SUBJECT: Report of actions taken by Planning Department Staff for the week ending June 6, 2008

Item 1: Café Beau Soleil LLC on behalf of property owner The Irvine Company – Planning Director’s Use Permit No. UP2008-007 (PA2008-051)
953 Newport Center Drive

The Planning Director approved the applicants request to allow alcoholic beverage service in conjunction with an existing restaurant pursuant to the North Newport Center Planned Community District Regulations (NNC PC, PC56). The Use Permit would authorize the sale of alcoholic beverages for on-site consumption (Type 41: beer, and wine) with an existing restaurant located within a retail clothing store. The 1,000 square foot food service facility is located within the 8,753 square foot retail tenant space. The proposed hours of food service operation are 9 a.m. to 9 p.m., daily. The facility includes two outdoor patio areas; an upper patio of 316 square feet and a lower patio of 360 square feet.

Approved – June 6, 2008

Council District 5

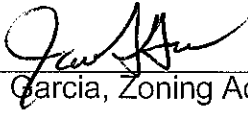
Item 2: Michael Blakemore Architects on behalf of property owner Harpreet Singh – Development Plan No. DP2008-002 (PA2008-053)
510 East Balboa Boulevard

Request for review of proposed development located in the Central Balboa Specific Plan (CBSP) District by conducting a Development Plan Review (DPR). The function of the DPR is to implement the goals and objectives of the Balboa Village Design Guidelines (BVDG) and CBSP, and to preserve and promote the health, safety, and general welfare of the community.

Denied – June 5, 2008

Council District 1

Prepared and submitted by:



Javier S. Garcia, Zoning Administrator

APPEAL:

The decision of the Planning may be appealed to the Planning Commission within 14 days of the action date. A \$600.00 filing fee shall accompany any appeal filed. No building permits may be issued until the appeal period has expired.

- c: David Lepo, Planning Director *(e-mail)*
- Sharon Wood, Assistant City Manager *(e-mail)*
- David Keely, Public Works Senior Civil Engineer *(e-mail)*
- Kay Sims, Assistant Planner *(e-mail)*
- Sgt. Ron Vallercamp, Vice/Narcotics *(e-mail)*
- Code Enforcement Division *(e-mail)*
- Erin Steffen, Office Assistant *(e-mail)*
- Iris Lee, Public Works *(e-mail)*
- Evelyn Tseng, Revenue *(e-mail)*



USE PERMIT NO. UP2008-007

(PA2008-051)

PLANNING DEPARTMENT
3300 NEWPORT BOULEVARD
NEWPORT BEACH, CA 92663
(949) 644-3200 FAX (949) 644-3229

Staff Person: Javier S. Garcia, 644-3206
Appeal Period: 14 days after approval date

Application: Planning Director's Use Permit No. UP2008-007 (PA2008-051)

Applicant: Café Beau Soleil LLC

Site Address: 953 Newport Center Drive (Fashion Island Shopping Center)

Legal Description: Parcel 6, PM- 86-399

Request as Approved:

Request for a Use Permit to allow alcoholic beverage service in conjunction with an existing restaurant pursuant to the North Newport Center Planned Community District Regulations (NNC PC, PC56). The Use Permit would authorize the sale of alcoholic beverages for on-site consumption (Type 41: beer, and wine) with an existing restaurant located within a retail clothing store. The 1,000 square foot food service facility is located within the 8,753 square foot retail tenant space. The proposed hours of food service operation are 9 a.m. to 9 p.m., daily. The facility includes two outdoor patio areas: an upper patio of 316 square feet and a lower patio of 360 square feet.

DIRECTOR'S ACTION: **APPROVED JUNE 6, 2008**

Application Request

In approving this application, the Planning Director analyzed issues with regard to Zoning compliance with the provisions of the North Newport Center Planned Community District Regulations. The Planning Director determined in this case that the use would not be detrimental to persons, property or improvements in the neighborhood. The Planning Director's Use Permit, as approved, would be consistent with the legislative intent of Title 20 of the Newport Beach Municipal Code based on the findings and conditions below.

FINDINGS

1. The City's Land Use Element of the General Plan designates the site as Regional Commercial (CR); and Districting Maps No. 48 and 49 of the Zoning Code designate the site as PC-56 (North Newport Center Planned Community) District, which designates the site for commercial uses. Eating and drinking establishments are commercial uses within the General Plan and the Zoning Code designations.
2. The project has been reviewed, and it qualifies for a categorical exemption pursuant to the California Environmental Quality Act under Class 1 (Minor Alteration of Existing

Structures). This exemption allows for the operation, repair, maintenance and minor alteration of existing buildings.

3. The proposed location of the eating and drinking establishment with beer and wine sales, operated under the conditions of this approval, is consistent with the General Plan and the purpose of the district in which the site is located, will not be detrimental to the public health, safety, peace, morals, comfort, or welfare of persons residing or working in or adjacent to the neighborhood of such use; and will not be detrimental to the properties or improvements in the vicinity or to the general welfare of the City, for the following reasons:
 - a. The restaurant use will be located within a shopping center designated for such development. The Regional Commercial (CR) designation of the General Plan allows eating and drinking establishments.
 - b. The restaurant has been in operation for approximately one year and the applicant is proposing to add the service of alcoholic beverages to the existing facility. The addition of alcoholic beverage service (beer and wine) to the facility will not substantially change the operational character of the restaurant or the principal use of the physically separated premises as a retail clothing store.
 - c. The shopping center does not abut sensitive land uses and is separated from other uses by parking lots, roadways and other commercial uses.
 - d. Adequate parking is provided within the Fashion Island Shopping Center, and the proposed outdoor dining areas and the restaurant area are within the limits of the cumulative floor area allocated for restaurants in Fashion Island.
 - e. The use authorized by this permit is not a bar, tavern, cocktail lounge, nightclub or an establishment where live entertainment, recreational entertainment or dancing is provided. The City has experienced land use conflicts, nuisance issues and issues requiring police intervention with these types of activities in the past. Prohibition of these uses or activities will minimize potential land use conflicts, nuisances and police intervention.
4. The service and consumption of alcohol at the proposed restaurant pursuant to a Type 41 Department of Alcoholic Beverage Control license, under the conditions imposed by this Use Permit that it will be operated and maintained, complies with the provisions of the Zoning Code and the North Newport Center Planned Community District Regulations.

CONDITIONS

1. Use Permit No. 2008-007 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.91.050 of the Newport Beach Municipal Code, or an extension is otherwise granted.
2. Should this alcohol license be transferred, any future license holders, operators or assignees shall be notified of the conditions of this approval by either the current

June 6, 2008

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Page 2

licensee or business operator. Future licensees, operators or assignees shall submit, within 30 days of transfer of the alcohol license, a letter to the Planning Department acknowledging their receipt and acceptance of the limitations, restrictions and conditions of approval of this Use Permit.

3. The Planning Commission or the Planning Director may add to or modify conditions of approval to this Use Permit or recommend to the City Council the revocation of this Use Permit upon a determination that the operation, which is the subject of this Use Permit, causes injury, or is detrimental to the health, safety, peace, morals, comfort, or general welfare of the community.
4. The project shall be in substantial conformance with the approved plot plan, floor plan and elevations dated May 28, 2008.
5. The sale of alcoholic beverages for consumption off-premises or in the adjoining retail clothing store is prohibited.
6. Approval does not permit the premises to operate as a bar tavern, cocktail lounge or nightclub as defined by the Municipal Code, unless the Planning Commission first approves a Use Permit. Police Department Condition (PD1)
7. The type of alcoholic beverage license issued by the California Board of Alcoholic Beverage Control shall be a Type 41 for on-sale beer and wine, eating place for on-site consumption only, and only in conjunction with the service of food as the principal use of the facility. The sale for off-site consumption of alcoholic beverages is prohibited. No alcoholic beverages shall be consumed on any property adjacent to the licensed premises under the control of the licensee. Any change in the alcoholic beverage license type shall be subject to the approval of an amendment to this Use Permit and may require the approval of the Planning Commission. (PD2)
8. No "happy hour" type of reduced price alcoholic beverage promotion shall be allowed except when in conjunction with food ordered from the full service menu. (PD3)
9. The applicant and/or operator shall not share any profits or pay any percentage or commission to a promoter or any other person based upon monies collected as a door charge, cover charge, or any other form of admission charge, including minimum drink orders or the sale of drinks. (PD4)
10. The quarterly gross sales of alcoholic beverages shall not exceed the gross sales of food during the same period. The licensee shall at all times maintain records, which reflect separately the gross sales of food and the gross sales of alcoholic beverages of the licensed business. These records shall be kept no less frequently than on a quarterly basis and shall be made available to the Police Department and/or the Planning Department on demand. (PD5)
11. There shall be no on-site radio, television, video, film or other electronic media broadcasts, including recordings to be broadcasted at a later time, which include the service of alcoholic beverages, without first obtaining an approved Special Event Permit issued by the City of Newport Beach. (PD6)

12. There shall be no dancing and/or live entertainment allowed on the premises at any time. (PD7)
13. All owners, managers and employees selling alcoholic beverages shall undergo and successfully complete a certified training program in responsible methods and skills for selling alcoholic beverages. The certified program must meet the standards of the California Coordinating Council on Responsible Beverage Service or other certifying/licensing body, which the State may designate. The establishment shall comply with the requirements of this section within 180 days of the issuance of the certificate of occupancy. Records of each owner's, manager's and employee's successful completion of the required certified training program shall be maintained on the premises and shall be presented upon request by a representative of the City of Newport Beach.
14. The alcoholic beverage outlet operator shall take reasonable steps to discourage and correct objectionable conditions that constitute a nuisance in parking areas, sidewalks and areas surrounding the alcoholic beverage outlet and adjacent properties during business hours, if directly related to the patrons of the subject alcoholic beverage outlet. If the operator fails to discourage or correct nuisances, the Planning Commission may review, modify or revoke this Use Permit in accordance with Chapter 20.96 of the Zoning Code.
15. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use will be cause for revocation of this permit.
16. A Special Events Permit is required for any event or promotional activity outside the normal operational characteristics of this restaurant business that would attract large crowds, involve the sale of alcoholic beverages, include any form of on-site media broadcast, or any other activities as specified in the Newport Beach Municipal Code to require such permits.
17. The operator of the facility shall be responsible for the control of noise generated by the subject facility. Pre-recorded music may be played in the interior and patio dining areas, provided exterior noise levels outlined below are not exceeded. Use of paging sound equipment is prohibited on the exterior of the building. The noise generated by the proposed use shall comply with the provisions of Chapter 10.26 of the Newport Beach Municipal Code. The maximum noise shall be limited to no more than depicted below for the specified time periods unless the ambient noise level is higher:

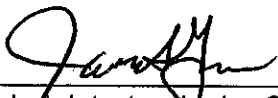
Location	Between the hours of 7:00AM and 10:00PM		Between the hours of 10:00PM and 7:00AM	
	Interior	Exterior	Interior	Exterior
Residential Property	45dBA	55dBA	40dBA	50dBA
Residential Property located within 100 feet of a commercial property	45dBA	60dBA	45dBA	50dBA
Mixed Use Property	45dBA	60dBA	45dBA	50dBA
Commercial Property	N/A	65dBA	N/A	60dBA

18. There shall be no exterior advertising or signs of any kind, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages.
19. No temporary "sandwich signs," balloons or similar temporary signs shall be permitted, either on-site or off-site, to advertise the food establishment, unless specifically permitted.
20. The reciprocal arrangement for ingress, egress and parking that applies to the subject property shall remain in effect for the duration of this food use.
21. The facility shall comply with the provisions of Chapter 14.30 of the Newport Beach Municipal Code for commercial kitchen grease disposal.
22. All signs shall conform to the provisions of the Fashion Island Planned Community District regulations and Chapter 20.67 of the Newport Beach Municipal Code, where applicable.
23. Temporary signs shall be prohibited in the public right-of-way unless otherwise approved by the Public Works Department in conjunction with the issuance of an encroachment permit or encroachment agreement.
24. This Use Permit shall be terminated if the operation is no longer maintained as a "bona fide public eating place" as defined by the California Department of Alcoholic Beverage Control.
25. Full menu food service shall be available for ordering at all times that the restaurant establishment is open for business.
26. Hours of operation shall be limited to between 9:00 am to 9:00 pm, daily.

APPEAL PERIOD

The decision of the Planning Director may be appealed by the applicant or any interested party to the Planning Commission within 14 days of the decision date. Any appeal filed shall be accompanied by a filing fee of \$600.00.

On behalf of Planning Director David Lepo,



Zoning Administrator Javier S. Garcia, AICP

JSG/rm

Attachments: Appendix
Vicinity Map
Applicant's Project Description
Floor Plans and Photos

APPENDIX

Overview and Background:

The Café Beau Soleil, which has been operating for approximately one year, is presently located and operating within a building complex of retail uses and is specifically a part of an existing retail clothing and house wares store located on the easterly portion of Fashion Island. Restaurants are a permitted use in the Fashion Island Planned Community. The retail facility consists of 8,753 square feet and the food service portion consists of approximately 1,000 square feet and will provide service for breakfast, lunch and dinner. The operating hours are daily from 9:00 am to 9:00 pm. The applicant proposes to add alcoholic beverage service to the existing restaurant and has requested an alcoholic beverage license from the Department of Alcoholic Beverage Control (beer, wine and spirits). The overall dining area is about 1,000 square feet and includes interior and exterior dining areas. The 676 square foot outdoor patio will operate during the same hours of the main dining room and retail store, and alcoholic beverages will be served both inside and outside.

Alcoholic Beverage Outlet Ordinance Compliance:

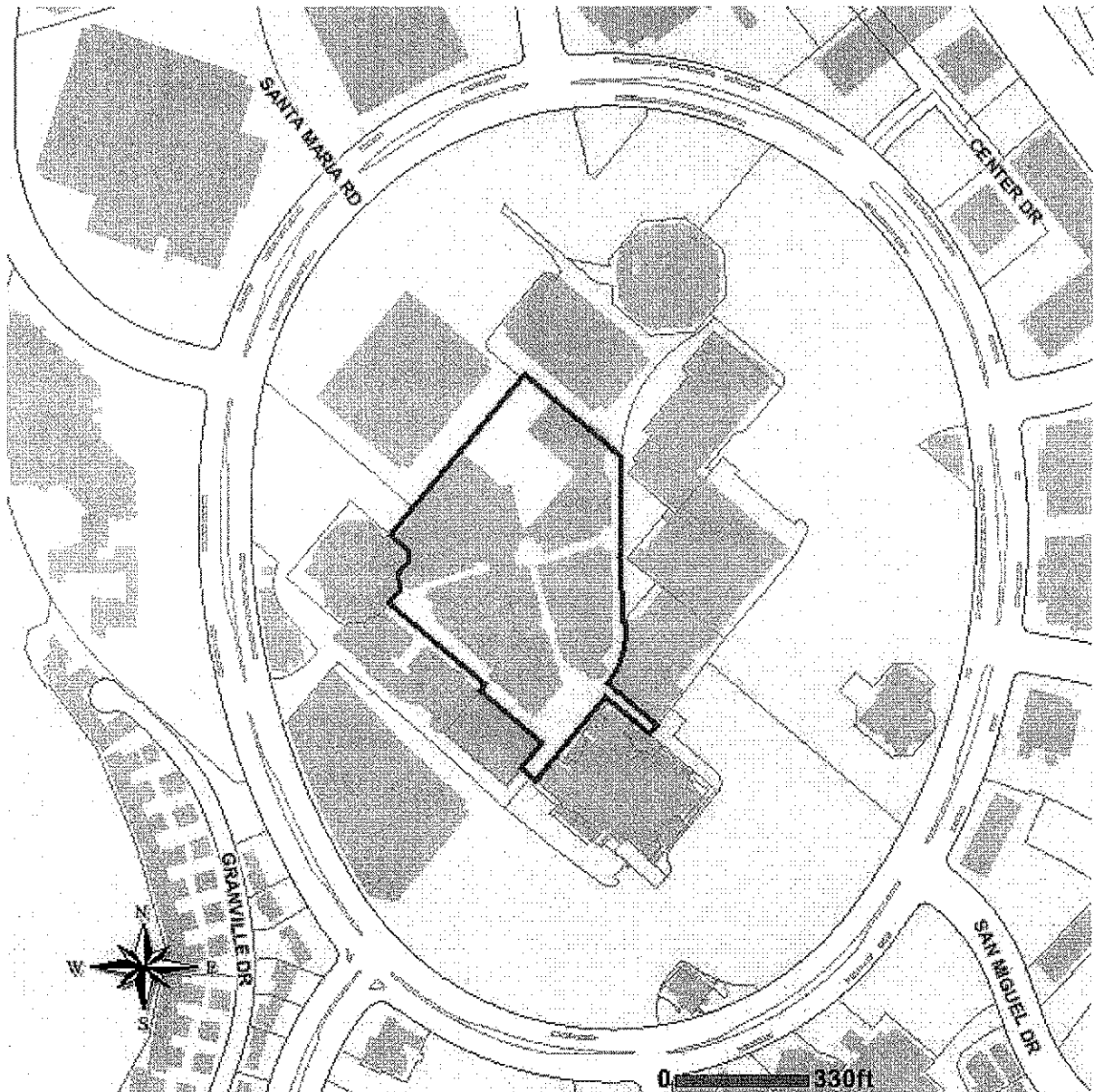
Pursuant to the North Newport Center Planned Community District regulations, the Alcoholic Beverage Outlet Ordinance (Chapter 20.89 of the NBMC) is not applicable within commercial sites within the NNCPC District. Therefore, specific information related to those requirements is not addressed within this approval.

It should be noted that the Police Department in their review of this use permit request has provided conditions that are incorporated into this approval that should address any future concerns.

Parking:

Parking for the restaurant is within the existing parking facilities for Fashion Island. The Fashion Island Planned Community established a total of 1,633,850 square feet total gross floor area (not including theaters) for the entire center, and a maximum of 15 percent of the gross floor area allocated for restaurant, bar and theater/nightclub uses. A record of all floor area is maintained by the City with assistance from the Irvine Company. The total gross floor area and exclusive outdoor dining areas devoted to restaurant uses within Fashion Island remains under the 15 percent allocation ceiling; therefore, the parking demand can be accommodated by the available on-site parking provided.

VICINITY MAP



Planning Director's Use Permit No. UP2008-007
(PA2008-051)

953 NEWPORT CENTER DRIVE

AMERICAN RAG CIE

160 South La Brea Avenue
Los Angeles, California 90036
Tel: (323) 932-5685 / Fax: (323) 933-0273

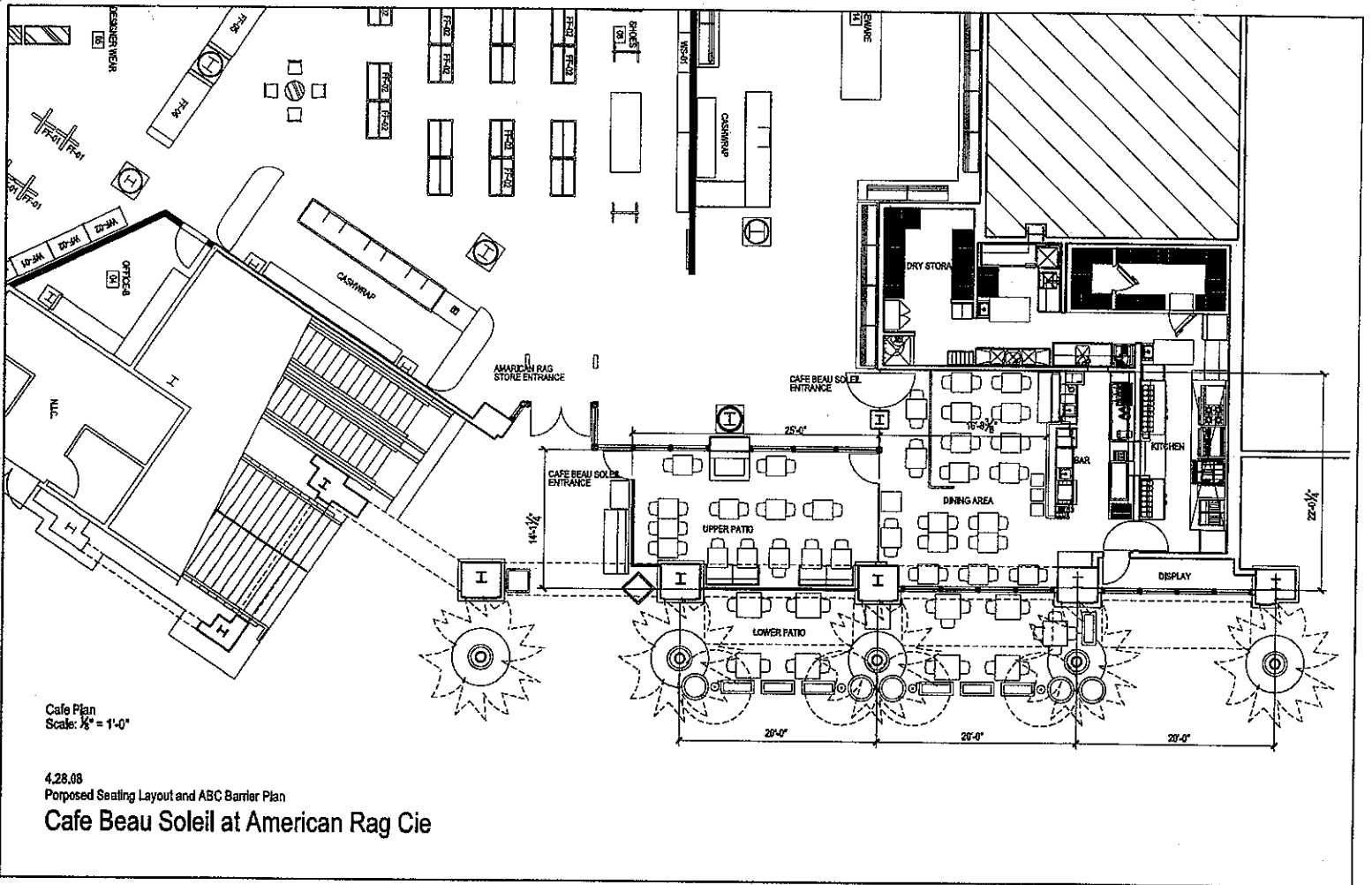
City of Newport Beach,

We operate an upscale, white tablecloth French-European restaurant adjoining to a retail space in Fashion Island Mall. It is proposed to allow the service of wine or beer to complement meals. Other restaurants within Fashion Island have a liquor license and to keep our restaurant up to par with those we believe that we would require alcoholic beverages. Our restaurant is not of the sorts what would compromise the public welfare but would improve the overall atmosphere of Fashion Island Mall. The hours of operation of our restaurant will be 9am to 9pm Monday through Sunday. We thank you for you assistance in this matter.

Sincerely,

Mark Werts

On behalf of Café Beau Soleil



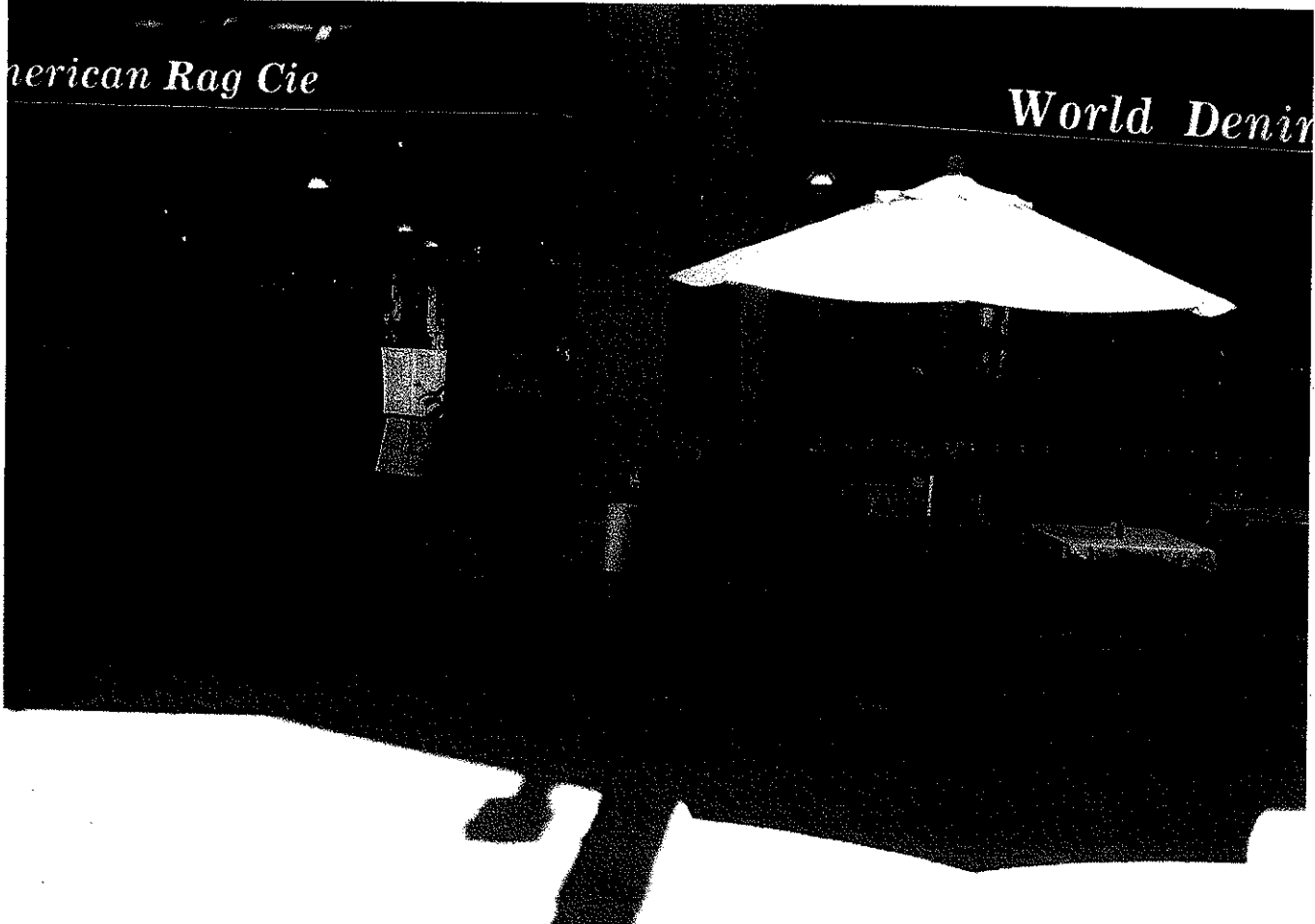
Cafe Plan
 Scale: 1/8" = 1'-0"

4.28.08
 Proposed Seating Layout and ABC Barrier Plan
Cafe Beau Soleil at American Rag Cie

PA2008-051 for UP2008-007
 953 NEWPORT CENTER DRIVE
 Café Beau Soleil LLC

American Rag Cie

World Denim



PA2008-051 for UP2008-007
953 NEWPORT CENTER DRIVE
Café Beau Soleil LLC



Development Plan No. DP2008-002
(PA2008-053)

PLANNING DEPARTMENT
3300 NEWPORT BOULEVARD
NEWPORT BEACH, CA 92663
(949) 644-3200; FAX (949) 644-3229

Staff Person: Russell Bunim 949-644-3233
Appeal Period: 14 days after approval date

Application: Development Plan No. DP2008-002 (PA2008-053)

Applicant: Michael Blakemore

**Address of
Property Involved:** 510 E. Balboa Boulevard

Development Plan Review

In accordance with the provisions Section 20.45.025 of the Newport Beach Zoning Code, the Planning Director must review all new projects in the Central Balboa Specific Plan (CBSP) District by conducting a Development Plan Review (DPR). The function of the DPR is to implement the goals and objectives of the Balboa Village Design Guidelines (BVDG) and CBSP, and to preserve and promote the health, safety, and general welfare of the community.

PLANNING DIRECTOR'S ACTION: DENIED – JUNE 5, 2008

Discussion

The City Council finds, determines and declares that the preservation and enhancement of the Balboa Village area through the consistent application of sound urban design principles and the promotion of thoughtful and tasteful design while allowing creative flexibility as described in the design guidelines is desirable. Therefore, any development, reconstruction and remodeling shall be reviewed for consistency with adopted design principles contained within the Balboa Village Design Guidelines in order to implement the goals and objectives of design guidelines and specific plan district and to preserve and promote the health, safety and general welfare of the community by achieving the following purposes:

Purposes of the Balboa Village Design Guidelines

1. *To assure that development of properties in the specific plan area will not preclude attainment of the General Plan and Specific Plan objectives and policies.*
 - General Plan Policy CE 7.1.8 (Parking Configuration)

"Site and design new development to avoid use of parking configurations or management programs that are difficult to maintain and enforce."

- The proposed site plan precludes trash pick-up service from having direct access to the trash enclosure. In order for the trash to be removed, an employee is required to move his vehicle when the trash truck arrives. Staff believes this design will not function efficiently.
 - City of Newport Beach Traffic Engineer determined that parking plan and circulation is poor for reasons such as: lengthy back up distance, inadequate parking stall size, and the absence of a required hammer-head for vehicles to turn around in the parking lot if no parking spaces are available.
2. *To protect and preserve the value of properties and to encourage high quality development thereof in Balboa Village where adverse effects could result from inadequate and poorly planned buildings and landscaping and from the failure to preserve, where feasible, open spaces, and the like, and will result in the impairment of the benefits of occupancy and use of existing properties in such area.*
- The small, trapezoid-shaped lot created difficulties for the proposed building to function. The location of the structure on the site created a poorly planned site where the parking configuration was inefficient and substandard.
 - Per the BVDG, where parking lots are adjacent to the street, efforts should be made to screen them from public view. However, the site design proposed a highly visible parking lot adjacent to the street.
3. *To ensure that the public benefits derived from expenditures of public funds for improvement and beautification of street and public facilities within the specific plan area shall be protected by the exercise of reasonable controls over the layout and site location and design characteristics of private buildings, structures and open spaces.*
- The design of the project did not request a conflict with the investment of public funds for improvement and beautification of street and public facilities within the specific plan area.
4. *To maintain a pedestrian environment and compatibility with prominent landmarks and existing developments.*
- The proposed project maintains a pedestrian environment and compatibility with existing development on Palm Street. The architecture of the building along Palm Street conforms to the BVDG and development standards in the Zoning Code. However, the proposed parking lot on Balboa Boulevard does not provide a green wall or screen vehicles from public view, which is not compatible with the intent of the BVDG.
5. *To promote the maintenance of superior site location characteristics adjoining Balboa Boulevard, a thoroughfare of city wide importance; to ensure that the community benefits from the commercial use; the natural assets such as the harbor and ocean; and to preserve and protect the property values in said areas.*


- The site design of the proposed building is oriented to have the building frontage on Palm Street with a parking lot adjacent Balboa Boulevard. This is not promoting the maintenance of superior site location characteristics adjoining Balboa Boulevard.
- The proposed project does not comply with the intent of the BVGD along Balboa Boulevard as the intent is to provide store fronts and green walls along public streets. The proposed project has a highly visible parking lot adjacent to Balboa Boulevard.

Conclusion

The Development Plan Review process is required for projects in Central Balboa Specific Plan District. The Planning Director determines, in this case, that siting the building so that the primary building façade is not along Balboa Boulevard is inconsistent with the intent of the Balboa Village Design Guidelines. Moreover, the project did not conform to the development standards of the City of Newport Beach Public Works Department and California Building Code (see Appendix A).

The decision of the Planning Director may be appealed by the applicant or any interested party to the Planning Commission within 14 days of the date of the decision. Any appeal filed shall be accompanied by a filing fee of \$600.00.

On behalf of Planning Director David Lepo,

By 

Russell Bunim, Assistant Planner

RB/rm

Attachments: Appendix
Vicinity Map
Site Plan, Floor Plans and Elevations

APPENDIX

The proposed plans were routed to the Public Works and Building Departments. Their comments, along with the Planning Departments, were indicative toward the denial of this project.

Planning Department

Redesign the area that requires the trash containers to be rolled over employee parking spaces. This design is not practical.

Provide an explanation for using a stair to access the roof instead of a traditional ladder to service mechanical equipment. Is this a roof deck?

Public Works Corrections

Senior Civil Engineer David Keely for the Public Works Department (Traffic Engineering) forwarded the following traffic related comments, corrections and conditions for the proposed Commercial project, where applicable the following has been included as a condition of approval:

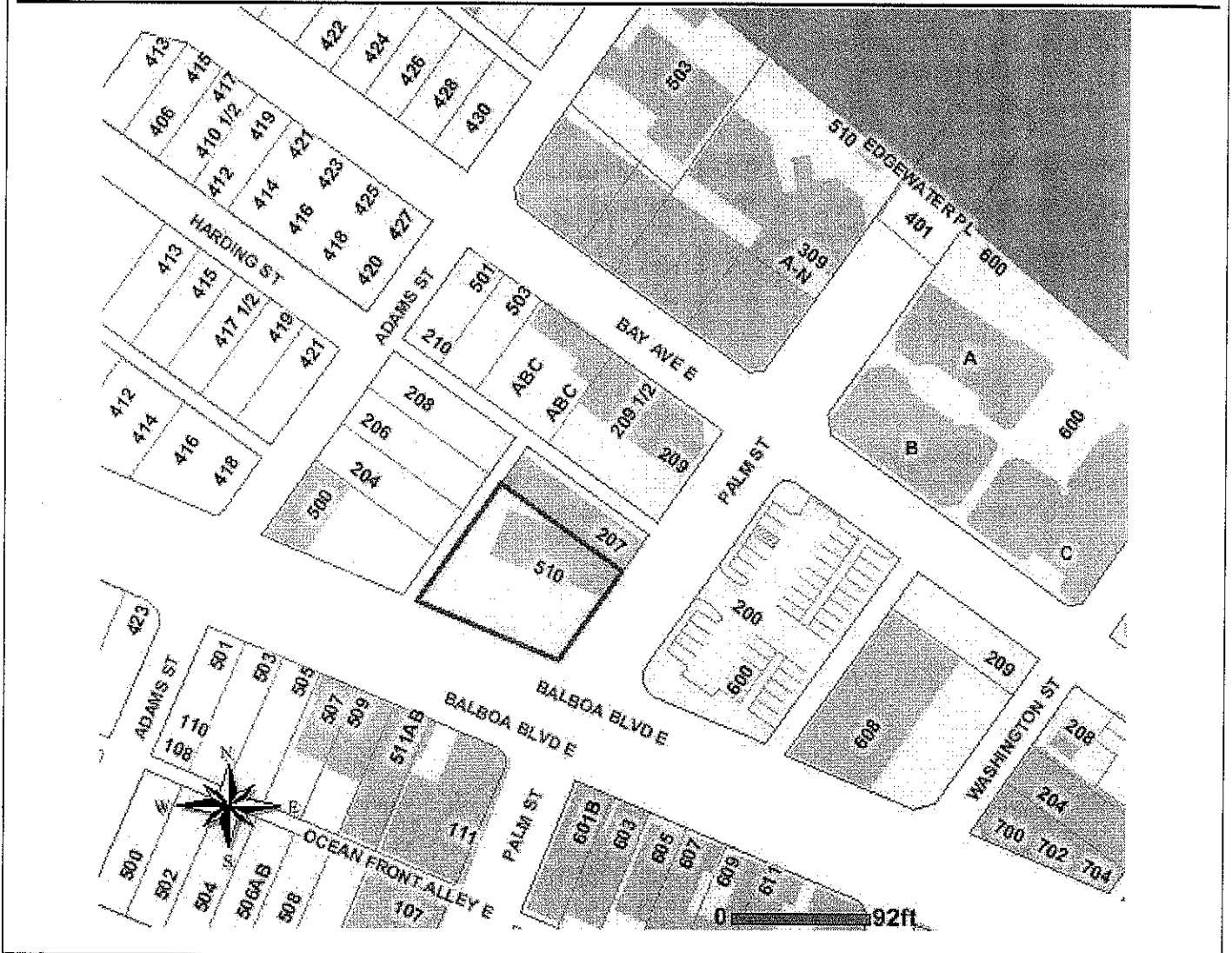
1. A 5-foot setback from the alley frontage will need to remain clear of above ground obstructions to allow for a minimum 20-foot wide backing area for properties on the opposite side of the project.
2. Parking lot layout shall comply with City Standard #805-L-A and B, Parking Lot Standards. Minimum parking space size shall be 8.5 feet wide by 17 feet deep with a maximum 2.5-foot overhang.
3. Traffic Division will need to review and approve the proposed parking lot circulation for the project. Per plans, the circulation is poor in that three parking spaces will need to have a lengthy backup distance and for the remaining parking spaces, a dedicated turnaround area and a 5-foot hammerhead will be required.

Building Department

Deputy Building Official Faisal Jurdi for the Building Department forwarded the following building code comments, corrections and conditions for the proposed commercial project, where applicable the following has been included as a condition of approval:

1. Design to mitigate soil liquefaction effect.
2. If roof is to be used for a deck, it will require two exits and compliance with stair setback from property line.

VICINITY MAP



Development Plan Review
DP2008-002 (PA2008-053)

510 East Balboa Boulevard

510 EAST BALBOA BOULEVARD NEWPORT BEACH, CALIFORNIA

NOTES

All ideas, designs, arrangements, and plans indicated or represented by these drawings are owned by and property of Michael Blumenschein Architects, Inc. and were created, evolved, and developed as a result of services on and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or organization for any purpose whatsoever without the written consent of Michael Blumenschein Architects, Inc. Any reuse of these drawings shall have precedence over scaled drawings. Contractors shall verify and be responsible for all dimensions on the job. Michael Blumenschein Architects, Inc. shall be notified in writing of any variations from the drawings and conditions shown on these drawings. Shop Drawing Submittals, Details, and Changes shall be submitted to the office for approval before proceeding with fabrication.

- Standard Form of Agreement between owner and Contractor to the AIA Document: Standard Form of Agreement between owner and Contractor to the AIA Document.
- General Conditions of the contract for construction to be AIA Document, 170.
- Contractor shall be used to represent all subcontractors, material suppliers, and other trades necessary for the successful completion of the work.
- Plan to submitting the bid, Contractor shall become familiar with the site, contract documents, codes, rules and conditions that may affect the operation and completion of the work. There will be no allowance for Contractor failing to do so.
- Contractor to be responsible for the work compliance with codes, regulations and the requirements of the governmental and local agencies.
- Contractor is responsible for creating and verifying field conditions for accuracy of location and dimensions. In the event of conflicts or discrepancies, the Contractor shall immediately submit information to the architect for resolution prior to proceeding with any related work.
- Contractor is responsible for coordinating work including but not limited to architectural, structural, mechanical, electrical and lighting. In the event of conflicts or discrepancies, the Contractor shall immediately submit information to the architect for resolution prior to proceeding with any related work.
- The intent of the contract documents is to include all items necessary for the proper execution and completion of the work. The documents are complementary and shall be required by one shall be required by all. If the contract documents are not complete as to the details of a particular item, the Contractor shall be required to the same or combining of existing parts, materials, or equipment and there shall be an exception to the standard construction practices which standards shall be deemed to be a requirement of the contract documents.
- During bidding the Contractor shall submit on site delivery dates for all construction materials and equipment. Contractor shall notify architect in writing of any items that may not be available according to the contract schedule.
- Contractor shall furnish all labor, materials, equipment and services required or reasonably incidental to the successful completion of the work.
- All costs of overtime work required by the nature of the work, except emergencies shall be included.
- Contractor shall submit construction schedule, payment schedule and submittal schedule prior to proceeding with application for payment.
- Contractor shall submit all releases along with payment.
- No work defective in construction quality or quantity in any requirement of the contract documents shall be acceptable in consequence of the Owner or Architect's failure to discover the partial and/or non-payment as an acceptance of defective work and proper materials.
- All horizontal dimensions are taken from face of connection and all vertical dimensions are from top of finished floor level.
- Outline specifications are included within the drawings and are a part of the contract documents.
- Contractor to ensure that all penetrations/openings in one hour walls and ceilings are patched and repaired. Fire stoppings stopped, as necessary.
- The contractor shall respect the site and facilities herein with all local conditions and take full responsibility for repairs and access from the site at all times.
- Temporary portable water and electricity shall be provided by the Contractor and Contractor shall pay all installation and meter charges.
- Temporary toilet facilities shall be installed and maintained by the Contractor.
- The owner shall provide, procure and pay for all building permits required for the execution of the contract and completion of the job. During the execution of the work, called for on these plans and in the specifications, the Contractor shall be responsible for any and all damage to existing property, structures, utilities, and utilities.
- Upon completion of the work the building shall be broom cleaned and ready for occupancy. Finished surfaces scratched or damaged shall be reworked, re-manufactured or replaced as the case may be. The entire premises shall be swept and free from debris and evidence of construction. Temporary facilities shall be removed.
- All concrete slabs, walls and driveways shall be adequately protected from damage from any sources until completion of the work.
- The contractor shall check and verify drawings as to the dimensions, if more appear in the drawings or are in conflict with the specifications, the Contractor shall bring them to attention of the architect and Owner. No work shall be started or approved unless approved and approved by the Architect and Owner.
- The contractor shall locate the building in accordance with the general location of the building as shown on the drawings. The contractor shall furnish all engineering services necessary for the proper layout and operation of the building.
- The contractor shall note no deviation from the drawings unless the architect approves such deviation.
- The contractor shall provide temporary telephone communication services during construction and after 10% off of contract.
- The contractor and subcontractors shall guarantee and be responsible for and make good all distress due to earth or labor or materials in the work, indicated in the contract for one year following the completion of the structure (7% retention of contract).
- All subcontractors shall be responsible for designs created by their workmanship, system failures, breakdown or their employees' responsibilities that create additional use and expense to the general contractor. Subcontractors shall be charged for such items as they occur for the period of one year after the completion of construction.
- Before commencing any work under this contract, the Contractor will have in his possession the necessary permits as required by the State of California. The permits are as follows: a. General Construction License. This policy shall cover the full liability of the Contractor and the owner. Each subcontractor shall be required to provide the same for their work. b. Public Liability Insurance. This policy shall cover the full liability and claims for damages for personal injury resulting from accidents on the job.
- Recall charges, safety protection, and maintenance of rented equipment shall be the contractor responsibility.
- These documents do not include the necessary components for construction safety, safety, safety, safety or additional procedures during construction, compliance with state and federal regulations regarding safety, and compliance with the General Conditions 11. and 12. and the contractor's responsibility.

PROJECT DIRECTORY

ARCHITECT
MICHAEL BLUMENSCHHEIN ARCHITECTS INC.
333 ROBERT AVENUE SUITE 10
LAGUNA BEACH, CALIFORNIA 92651
(714) 376-3376

CIVIL ENGINEER / TOPOGRAPHIC SURVEY
TOTAL ENGINEERING INC.
185 AVENUE H VALLEJO
VALLEJO, CALIFORNIA 94597
(949) 452-8884 TEL.
(949) 458-8675 FAX

STRUCTURAL ENGINEER
JFI CONSULTING ENGINEERS, INC.
7844 CROSS VALLEY FURNACE, SUITE F-482
LAGUNA BEACH, CA 92651

SOILS ENGINEER
VIA GEOS
430 BROADWAY SUITE 209
LAGUNA BEACH, CA 92651

M/E/P ENERGY CONSULTANT / RESIDENTIAL HVAC
SOUTHLAND ENERGY CONSULTANTS
1411 GLENVIEW STREET
LAGUNA BEACH, CALIFORNIA 92651
(949) 491-2551

LANDSCAPE ARCHITECT
BLUMENSCHHEIN LANDSCAPE ARCHITECTS
RONALD E. BLUMENSCHHEIN
333 ROBERT AVENUE SUITE 10
LAGUNA BEACH, CALIFORNIA 92651
(714) 376-3376

DRAFTING
STUDIO 141
152-12 HIGH DRIVE
LAGUNA BEACH, CALIFORNIA 92651
(714) 376-3741

OWNER
MR. HARPREET SINGH
510 EAST BALBOA BLVD.
NEWPORT BEACH, CALIFORNIA 92660
(714) 678-4464

ELECTRICAL / PLUMBING ENGINEERS
WESTLAND ENERGY CONSULTANTS
1411 GLENVIEW STREET
LAGUNA BEACH, CALIFORNIA 92651
(949) 491-2551

OCCUPANCY CLASSIFICATIONS

COMMERCIAL / RETAIL SPACE
BUILDING CODE DATA:
CONSTRUCTION TYPE: V-N SFR
EXTERIOR WALL CONSTRUCTION TYPE:
(1) NON-DRAINAGE, (2) LESS THAN 10" PER
(3) NON-DRAINAGE, (4) 10" TO 18" PER
MAX ALLOWABLE AREA - 400 SQ FT.
OCCUPANT LOAD FACTOR - 10 PER 100 SQ FT
3517 SQ FT / 30 = 8523 OCCUPANTS / 2 HRS REQUIRED

CONSTRUCTION REQUIREMENT NOTES

- THE PERMITTES SHALL COMPLY WITH THE FOLLOWING CONSTRUCTION - RELATED REQUIREMENTS:
1. NO CONSTRUCTION MATERIALS, DEBRIS OR WASTE, SHALL BE PLACED OR STORED WHERE IT MAY BE SUBJECT TO SLIDE, WIND, RAIN OR Tidal EROSION AND DISPERSION.
2. ANY AND ALL DEBRIS RESULTS FROM CONSTRUCTION ACTIVITIES SHALL BE REMOVED FROM THE PROJECT SITE WITHIN 24 HOURS OF COMPLETION OF THE PROJECT.
3. CONSTRUCTION DEBRIS AND DEBRIS SHALL BE REMOVED FROM CONSTRUCTION AREAS EACH DAY THAT CONSTRUCTION OCCURS TO PREVENT THE ACCUMULATION OF DEBRIS AND OTHER DEBRIS WHICH MAY BE DISCHARGED INTO COASTAL WATERS.
- EROSION CONTROL / SEDIMENTATION BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE USED TO CONTROL DUST AND SEDIMENTATION IMPACTS TO COASTAL WATERS DURING CONSTRUCTION. BMP'S SHALL INCLUDE, BUT ARE NOT LIMITED TO, PLACEMENT OF BARRIERS AROUND DRAGAGE BASINS TO PREVENT RUNOFF / SEDIMENT TRANSPORT INTO COASTAL WATERS.
- ALL CONSTRUCTION MATERIALS EXCLUDING LIMESTONE SHALL BE COVERED AND ENCLOSED ON ALL SIDES, AND AS FAR AWAY FROM A STORE DRAIN ALLEY AND RECEIVING WATERS AS POSSIBLE.

BEST MANAGEMENT PRACTICES NOTES

- BEST MANAGEMENT PRACTICES (BMP'S) DEMANDS TO PREVENT SPILLAGE AND / OR RUNOFF OF CONSTRUCTION - RELATED MATERIALS, DEBRIS OR CONTAMINANTS ASSOCIATED WITH ACTIVITIES SHALL BE IMPLEMENTED PRIOR TO THE ONSET OF EACH ACTIVITY. REQUIRED BMP'S SHALL BE MAINTAINED IN A FUNCTIONAL CONDITION THROUGHOUT THE DURATION OF THE PROJECT. SUCH REQUIREMENTS SHALL BE USED DURING CONSTRUCTION.
- THE APPLICANTS SHALL INSURE THE PROPER HANDLING, STORAGE, AND APPLICATION OF PETROLEUM PRODUCTS AND OTHER CONSTRUCTION MATERIALS. THESE SHALL INCLUDE A DEDICATED FUELING AND WASHING MAINTENANCE AREA WITH APPROPRIATE DEBRIS AND PROTECTION TO PREVENT ANY RELEASE OF GASOLINE OR RELATED PETROLEUM PRODUCTS OR CONTACT WITH RUNOFF. IT SHALL BE LOCATED AS FAR AWAY FROM THE RECEIVING WATERS AND STORES DRAIN AS POSSIBLE.
- THE APPLICANTS SHALL DEVELOP AND IMPLEMENT SPILL PREVENTION AND CONTROL MEASURES.
- THE APPLICANTS SHALL MAINTAIN AND WASH EQUIPMENT AND MACHINERY IN COVERED AREAS SPECIFICALLY DESIGNED TO COLLECT, TRAP, AND HOLD OILS. THESE SHALL NOT BE DISCHARGED INTO SANITARY OR STORM DRAIN SYSTEMS. SPILLAGE FROM CONCRETE TRUCKS SHALL BE DISPOSED OF AT A LOCATION NOT SUBJECT TO RAIN AND MORE THAN 3' FEET AWAY FROM A STORE DRAIN, OPEN DITCH OR SURFACE WATER.
- THE APPLICANTS SHALL PROVIDE ADEQUATE DISPOSAL FACILITIES FOR SOLID WASTE, INCLUDING EXCESS CONCRETE, PRODUCED DURING CONSTRUCTION.

BUILDING INFORMATION

ADDRESS: 510 EAST BALBOA BOULEVARD
APN: PA2008-053
LEGAL DESCRIPTION: LOT 14, IN BLOCK 3
BALBOA TRACT, CITY OF NEWPORT BEACH, COUNTY
OF ORANGE, STATE OF CALIFORNIA
ZONE: RGC 50-B
AUTOMATIC DISCRESSION: FIXED USE
OCCUPANCY TYPE: P
CONSTRUCTION TYPE: TYPE V-N
AUTOMATIC DISCRESSION SYSTEM: YES
FIRE SPRINKLER DRAWINGS TO BE SUBMITTED INTO PLAN CHECK AND A PERMIT
ISSUED PRIOR TO CALLING FOR FRAMING INSPECTOR. ARCHITECT TO REVIEW AND
APPROVE SPRINKLER DRAWINGS PRIOR TO PLAN CHECK INSPECTION.
FIRE DEPARTMENT NOTES:

- APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION THAT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL BE OF NON-COMBUSTIBLE MATERIALS, SHALL CONTRAST WITH THEIR BACKGROUND, AND SHALL BE EITHER INTERNALLY OR EXTERNALLY ILLUMINATED BY A PHOTO CELL TO BE VISIBLE AT NIGHT. NUMBERS SHALL BE NO LESS THAN SIX INCHES IN HEIGHT WITH A ONE-INCH STROKE.
- A RATIO OF ONE TAREX EXTINGUISHER SHALL BE PROVIDED FOR EACH 3,000 SQUARE FEET OF FLOOR AREA. TRAVEL DISTANCE TO THE EXTINGUISHER SHALL NOT EXCEED 10 FEET.
- ENGINEER / ARCHITECT OF RECORD SHALL REVIEW SPRINKLER PLANS FOR COORDINATION OR BUILDING ASPECTS AS FOLLOWS: LIGHTS, PLUMBING, DUCT WORK, STRUCTURAL METHODS OF ATTACHMENT FOR SPRINKLER PIPING, AND LOADS / IMPACTS ON STRUCTURAL COMPONENTS. ENGINEER / ARCHITECTS STAMP SHALL BE REQUIRED ON PLANS TO RECEIVE APPROVAL.
- IF BUILDING IS PROVIDED WITH A FIRE ALARM SYSTEM OR FIRE SPRINKLER HOISTING SYSTEM, A KNOX BOX WILL BE REQUIRED AT THE FRONT ENTRANCE.
- FIRE SPRINKLER SYSTEM SHALL BE SUBMITTED AND REVIEWED UNDER SEPARATE PLAN AND PERMIT.
- FIRE SPRINKLER SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH NFPA 1, 2007 EDITION.
- FIRE SPRINKLER SYSTEMS WITH OVER 100 SPRINKLER HEADS SHALL BE MONITORED. SPRINKLER SYSTEM HOISTING SHALL BE REVIEWED AND APPROVED UNDER SEPARATE PLAN AND PERMIT.

LOT SIZE: 8501 SF
BUILDABLE AREA: 6001 SF
BUILDING FOOTPRINT: 3554 SF
LOT COVERAGE: 38.9 %
FAR COMMERCIAL GDS FIN: 2840 SF FIN
2554 SF DESIGNED

PARKING:
COMMERCIAL - 1 PER 200 SF. 13 SPACES REQUIRED
(1 HG. VAN SPACE INCLUDED) 13 SPACES PROVIDED

SETBACKS: PALM 0'-0"
BALBOA 0'-0"
ALLEY 10'-0"
REAR YARD 21'-0"

MAXIMUM ALLOWABLE HEIGHT: 35'-0" FLAT
MAXIMUM HEIGHT AS DESIGNED 22'-6" HIGHEST RIDGE
ADDITIONAL SETBACK (54' ABOVE 19'-0"
PALM AND BALBOA

AREA CALCULATIONS
LEVEL ONE COMMERCIAL 3554 SF
TOTAL STRUCTURAL AREA 3554 SF
LANDSCAPE FIN FIN 348 SF REQ'D
438 SF PROVIDED
DECORATIVE LANDSCAPE 348 SF REQ'D
565 SF PROVIDED

SHEET INDEX

- CS COVER SHEET
- A 10 SITE PLAN BUILDING DATA
- A 11 AREA CALCULATIONS
- A 12 TOPOGRAPHIC PLAN
- G 1 TOPOGRAPHIC SURVEY
- G 10 FLOOR PLAN
- G 11 FLOOR PLAN
- A 30 EXTERIOR ELEVATIONS
- A 31 EXTERIOR ELEVATIONS
- A 40 BUILDING SECTIONS
- L 1 PLANTING PLAN
- L 2 IRRIGATION PLAN

FILE COPY



MIXED USE STRUCTURE
DRAWN BY
MR. HARPREET SINGH
510 E. BALBOA BLVD.
NEWPORT BEACH, CA.
92660

DATE: 04/20/08
SCALE: AS SHOWN
DATE: 02/08/08
SCALE: 1/8" = 1'-0"
DRAWN BY: MRSC
SHEET:

RECEIVED BY
PLANNING DEPARTMENT
MAR 27 2008

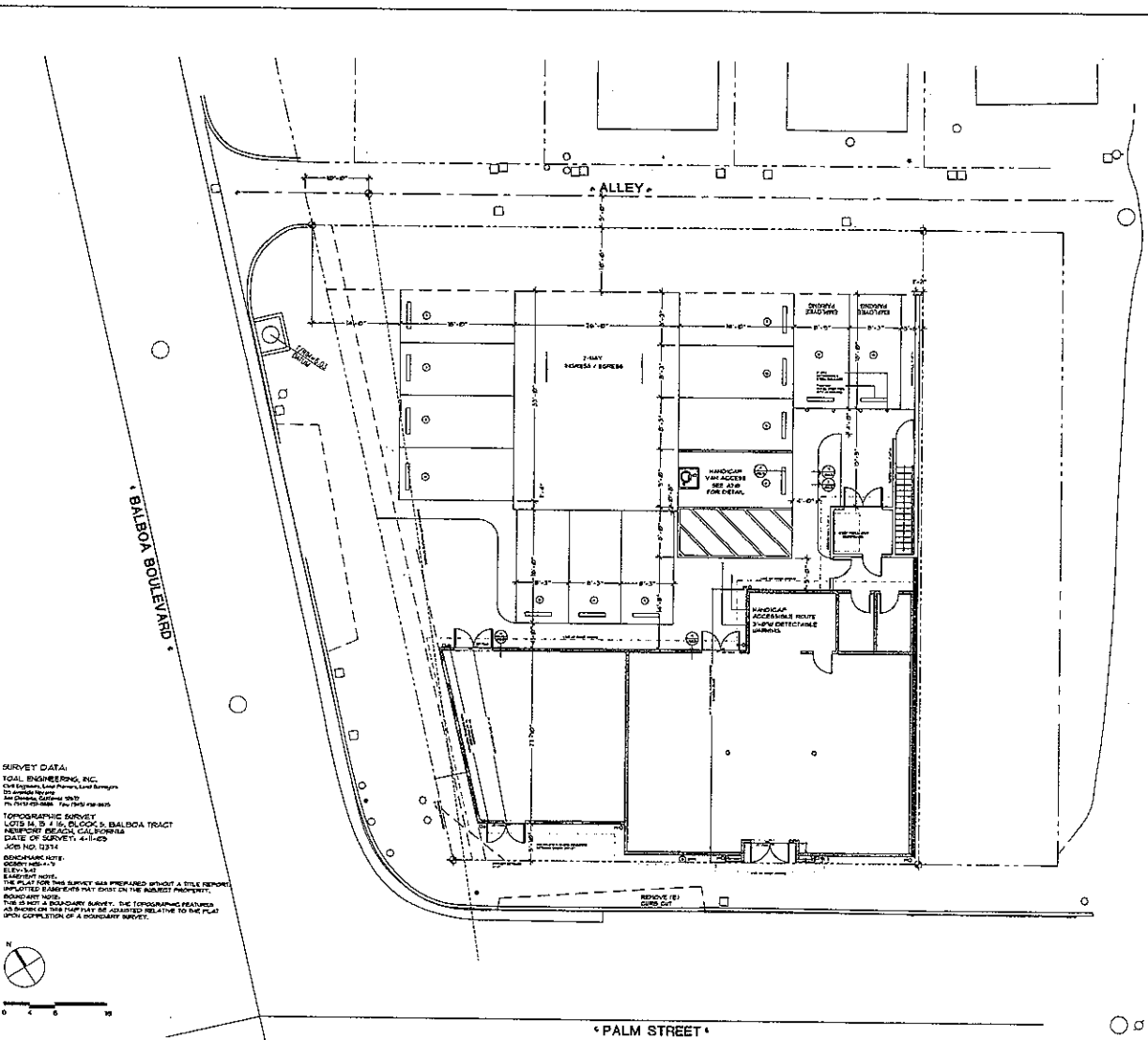
CITY OF NEWPORT BEACH

PA2008-053 for DP2008-002
510 E. Balboa Blvd
DATE OF MEETING: -

CS

/ER SHEET

SITE PLAN



SURVEY DATA:
 TOTAL ENGINEERING, INC.
 2515 S. W. 10th Avenue, Suite 100
 Fort Lauderdale, FL 33304
 PH: 754-332-1111 FAX: 754-332-1112
 E: info@totaleng.com
 LICENSE NO. 12174
 DATE OF SURVEY: 4-11-20
 BENCHMARK: 1054.75
 ELEVATION: 10.00
 BOUNDARY NOTE:
 THIS PLAN FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT
 IMPLICATED ELEMENTS THAT EXIST ON THE SUBJECT PROPERTY.
 BOUNDARY NOTE:
 THIS IS NOT A BOUNDARY SURVEY. THE CONTOURS AND FEATURES
 SHOWN ON THIS PLAN MAY BE ADJUSTED RELATIVE TO THE PLAN
 UPON COMPLETION OF A BOUNDARY SURVEY.

SITE PLAN KEYNOTES

- 1 AREA DRAIN AT DRAIN PIPE TO INFILTRATION CHAMBER
- 2 1/2" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 3 4" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 4 6" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 5 8" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 6 10" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 7 12" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 8 14" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 9 16" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 10 18" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 11 20" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 12 22" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 13 24" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 14 26" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 15 28" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 16 30" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 17 32" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 18 34" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 19 36" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 20 38" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 21 40" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 22 42" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 23 44" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 24 46" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 25 48" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 26 50" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 27 52" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 28 54" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 29 56" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 30 58" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 31 60" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 32 62" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 33 64" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 34 66" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 35 68" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 36 70" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 37 72" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 38 74" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 39 76" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 40 78" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 41 80" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 42 82" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 43 84" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 44 86" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 45 88" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 46 90" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 47 92" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 48 94" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 49 96" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 50 98" DIA. DRAIN PIPE TO INFILTRATION CHAMBER
- 51 100" DIA. DRAIN PIPE TO INFILTRATION CHAMBER

CONSTRUCTION KEYNOTES

- 1 CONSTRUCT PERVIOUS SURFACE PER CITY OF MIAMI
- 2 CONSTRUCT CONCRETE CURB PER CITY OF MIAMI
- 3 NOT USED
- 4 NOT USED
- 5 NOT USED
- 6 NOT USED
- 7 CONCRETE OF CONCRETE CURB
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NOTE:
 REFER TO CIVIL DRAWINGS FOR DETAIL AND
 ADDITIONAL SITE INFORMATION (TYP.)

NOTE:
 REFER TO GRADING PLAN FOR ALL FINISH
 GRADES, SLOPES, ELEVATIONS, &
 PERMANENT SITE IMPROVEMENTS

ADDITIONAL CITY NOTES

- 1 ALL WORK DONE IN PUBLIC RIGHT-OF-WAY REQUIRES AN
 APPROVAL FROM THE CITY OF MIAMI.
- 2 ALL WORKING AND SHEET REQUIRES CONFORMS STREET
 REPAIR PER CITY OF MIAMI.
- 3 IF ANY EXISTING PUBLIC UTILITIES ARE ENCOUNTERED, THE
 CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY
 THE CITY OF MIAMI. ALL UTILITIES SHALL BE MARKED
 AND PROTECTED PER CITY OF MIAMI.
- 4 ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MIAMI
 SPECIFICATIONS FOR PUBLIC WORKS. ALL EXISTING STREET TREES
 TO REMAIN, PROTECTED PER CITY OF MIAMI.

GRADING / DRAINAGE LEGEND

- 400' CONDUIT LOCATION
- AREA DRAIN
- DIRECTION OF SLOPE TO DRAIN
- DRAIN LINE
- GRADING SLOPE DIRECTION

SITE LEGEND

- OCUPANCY SEPARATION
 R-1 TO ADJACENT PROPERTY
 R-2 TO ADJACENT PROPERTY
 R-3 TO R-1 / 1 HOUR CONSTRUCTION
 OCCUPANCY SEPARATION
 R-1 TO R-1 / 1 HOUR CONSTRUCTION
 OCCUPANCY SEPARATION
 R-2 TO R-2 / 1 HOUR CONSTRUCTION
 OCCUPANCY SEPARATION
 NEW WALL / PARTITION NOT RATED
- BUILDING ABOVE
- BUILDING BELOW
- RETAINING WALL
- PROPERTY LINE
- STRUCTURAL GRID
- EAVE (1)
 T100' LOCATION (EAVE)
 ELEVATION CALLOUT
 ELEVATION
- SECTION
 SHEET #
- DETAIL
 SHEET #
- REVISION
 DATE
- SPONGE CALLOUT
- DOOR CALLOUT
- KEYNOTE CALLOUT
- PAVING AREA

BLAKEMORE

BLAKEMORE ENGINEERING, INC.
 1317 WEST WASHINGTON AVENUE, SUITE 1000, MIAMI, FL 33135
 TEL: 305-371-1111 FAX: 305-371-1112

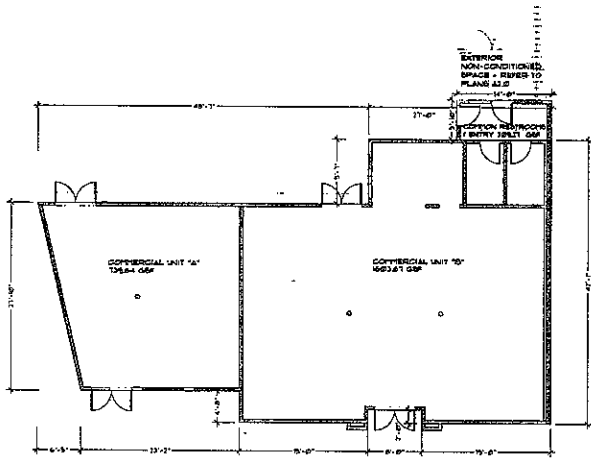
MIXED USE STRUCTURE
MR. HARPREET SINGH
 610 E. BALBOA BLVD.
 NEWPORT BEACH, CA.
 92660

DESIGNER	10/07	CHECKER	10/07
DATE	10/07	DATE	10/07
SCALE	AS SHOWN	SCALE	AS SHOWN
PROJECT NO.	2007-0001	PROJECT NO.	2007-0001
SHEET NO.	A1.0	SHEET NO.	A1.0

A1.0

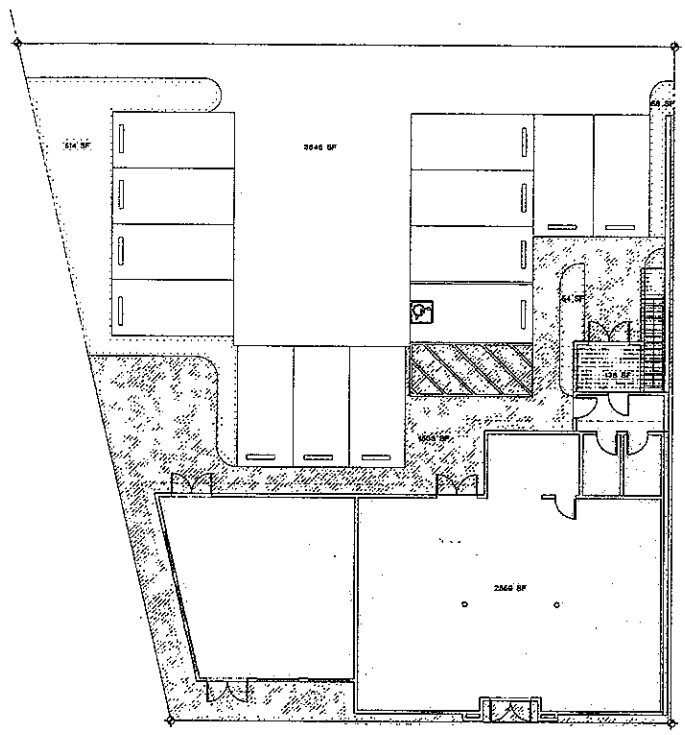
SITE PLAN

ALL AREA, VOLUME, AND WEIGHT INFORMATION IS BASED ON THE ASSUMPTIONS AND CONDITIONS SET FORTH IN THE SPECIFICATIONS AND CONTRACT DOCUMENTS. THE DESIGNER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT AND FOR OBTAINING NECESSARY PERMITS AND APPROVALS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT OR FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THIS DOCUMENT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THIS DOCUMENT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THIS DOCUMENT.



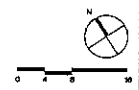
FLOOR PLAN AREA CALCULATIONS

COMMERCIAL UNIT "A"	12624 GSF
COMMERCIAL UNIT "B"	16247 GSF
COMMON RESTROOMS	6438 GSF
TOTAL AREA	24109 GSF



SITE AREA CALCULATIONS

- PERMEABLE PAVING AND PARKING AND DRIVE SEES
3944 SF TOTAL
- LANDSCAPE - PLANTED AREA
206 SF TOTAL
- LANDSCAPE - DECORATIVE PERMEABLE PAVING
1403 SF TOTAL
- NON-CONDITIONED SUPPORT AREAS
139 SF TOTAL
- TOTAL BUILDING FOOTPRINT
2366 SF TOTAL



BLAKEMORE

18204 Balboa Avenue, Newport Beach, CA 92660
 949-774-1234

MIXED USE STRUCTURE
MR. HARPREET SINGH
510 E. BALBOA BLVD.
NEWPORT BEACH, CA.
92660

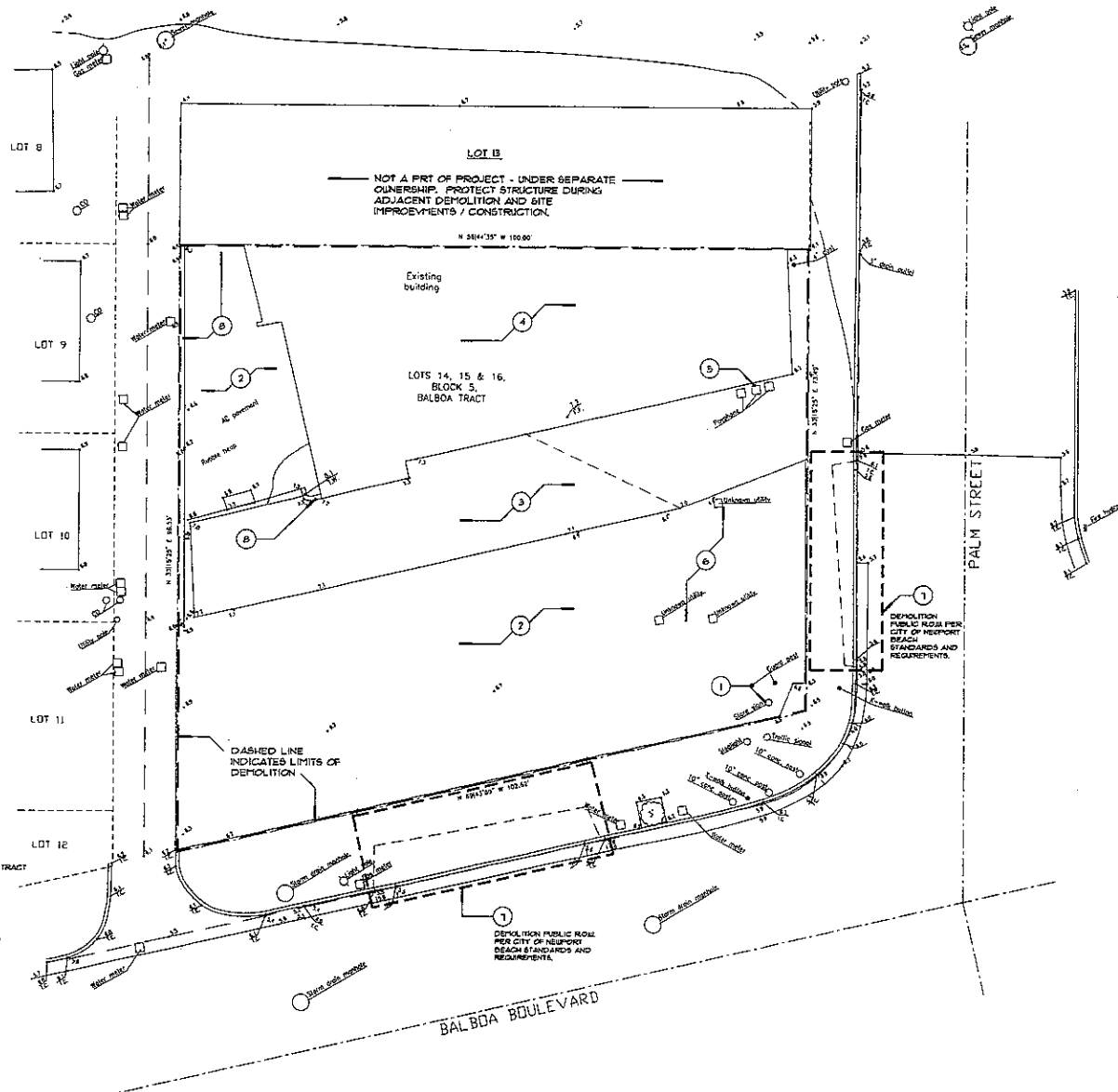
APPROVAL IN CONCEPT <input type="checkbox"/> CONCEPT APPROVAL <input type="checkbox"/> STRUCTURAL PLAN CHECK <input type="checkbox"/> SITE PLAN REVIEW <input type="checkbox"/> PERMITS <input type="checkbox"/> CONSTRUCTION	DESIGN 08/04/08 08/07/08 08/07/08 03/10/08
--	--

DESIGNED BY
 MICHAEL BLAKEMORE
 DATE
 08/20/08
 SCALE
 1/8" = 1'-0"
 DRAWN BY
 MB/CL

A1.1

AREA CALCS

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LOT 18
 NOT A PART OF PROJECT - UNDER SEPARATE OWNERSHIP. PROTECT STRUCTURE DURING ADJACENT DEMOLITION AND SITE IMPROVEMENTS / CONSTRUCTION.
 N 284°33' W 100.00'

LOTS 14, 15 & 16,
 BLOCK 5,
 BALBOA TRACT

DASHED LINE INDICATES LIMITS OF DEMOLITION

DEMOLITION PUBLIC ROAD PER CITY OF NEWPORT BEACH STANDARDS AND REQUIREMENTS.

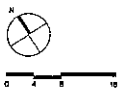
SURVEY DATA:
 TOTAL ENGINEERING, INC.
 CIVIL ENGINEER LICENSE NO. 10000
 15151 17TH AVENUE, SUITE 100
 NEWPORT BEACH, CA 92660
 (714) 861-1111
 www.totaleng.com

TOPOGRAPHIC SURVEY:
 LOTS 14, 15 & 16, BLOCK 5, BALBOA TRACT
 NEWPORT BEACH, CALIFORNIA
 DATE OF SURVEY: 4-11-15
 JOB NO.: 0214

RECORDING INFO:
 SUSHI 1501-15
 8/1/15

ELEMENT NOTE:
 THE PLAN FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE CENTERLINE OF THE SUBJECT PROPERTY.

BOUNDARY NOTE:
 THIS IS A BOUNDARY SURVEY. THE COMPLICATED FEATURES AS SHOWN ON THIS MAP MAY BE ADJUSTED RELATIVE TO THE FINAL APPROVED VERSION OF A BOUNDARY SURVEY.



- DEMOLITION NOTES**
- ENTIRE SITE TO BE CLEAR OF ALL DEBRIS AND EXISTING SITE IMPROVEMENTS (TYPICAL)
 - REFER TO CIVIL ENGINEER'S DRAWINGS FOR SITE PROTECTION, UTILITY PROTECTION, AND WATER MANAGEMENT DURING CONSTRUCTION (TYPICAL)
 - UPON COMPLETION OF DEMOLITION, SITE TO HAVE TEMPORARY 4'-6" HIGH CONSTRUCTION FENCING AT PROPERTY LINES (TYPICAL)
 - ALL MATERIALS AND DEBRIS TO REMAIN ON-SITE UNTIL REMOVED BY WASTE MANAGEMENT COMPANY OR DEMOLITION CONTRACTOR.

- DEMOLITION LEGEND**
- DEMOLISH EXISTING SIGNAGE, POST AND FOOTINGS
 - DEMOLISH / REMOVE EXISTING AC PAVING
 - DEMOLISH / REMOVE EXISTING CONCRETE SLAB AND FOOTINGS
 - DEMOLISH EXISTING ONE STORY CHL AND BOOD - FRAMED STRUCTURE. REMOVE AND CAP ALL EXISTING UTILITIES AT PROPERTY LINE.
 - REMOVE EXISTING PATHTWAYS
 - SOILS ENGINEER TO DETERMINE IF REMOVAL OF EXISTING TANKS OF SLURRY PILL TO TO BE REMOVED
 - DEMOLISH EXISTING CURB CUT / SIDEWALK CURB AND GUTTER
 - DEMOLISH / REMOVE SITE WALL / FENCES

BLAKE MOORE

Michael Moore Architects Incorporated
2111 Pacific Avenue, Suite 501, Newport Beach, California 92660
714.741.1414

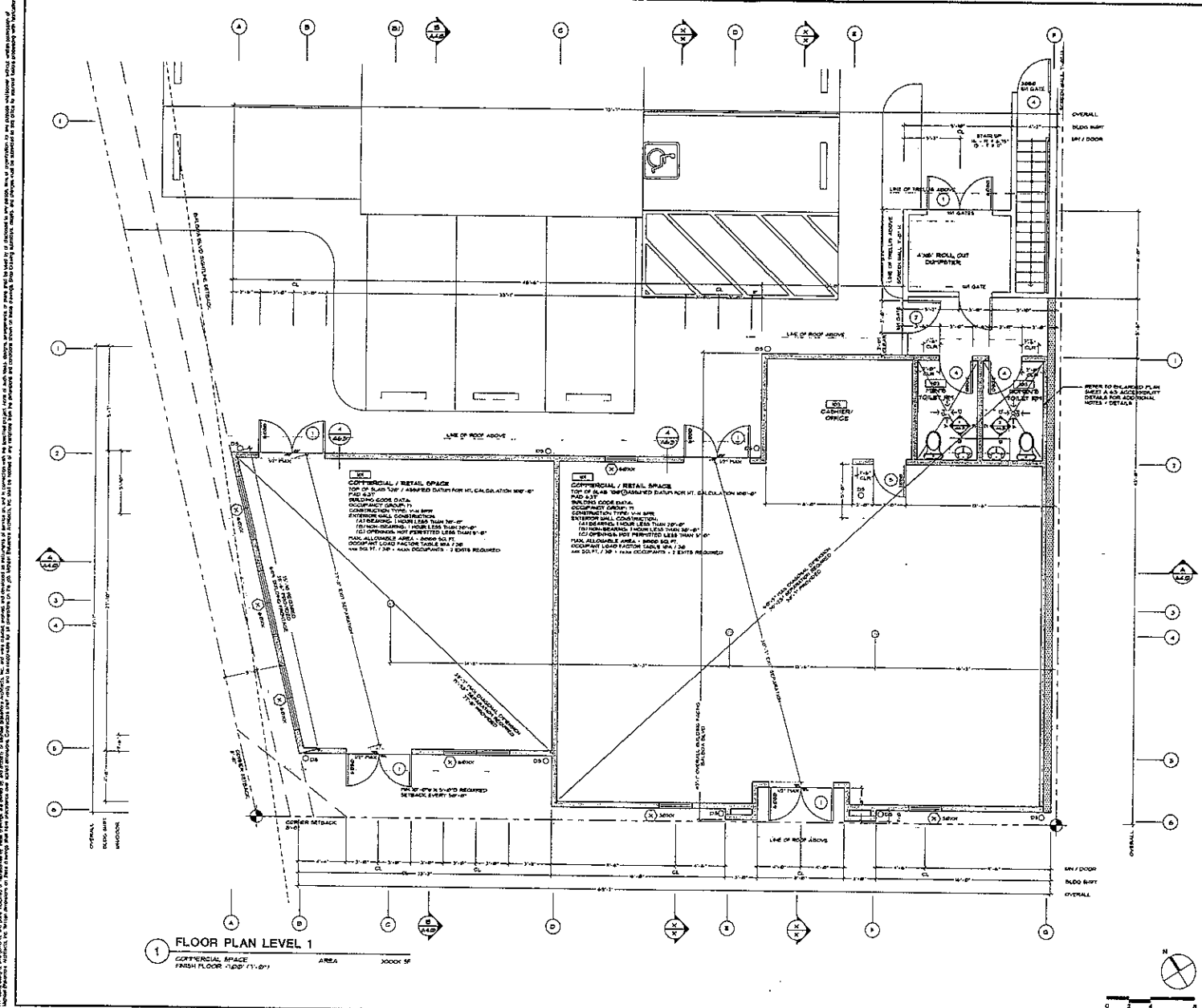
MIXED USE STRUCTURE

OWNER: **MR. HARPREET SINGH**
510 E. BALBOA BLVD.
NEWPORT BEACH, CA.
92660

DATE: 06/25/16	SCALE: AS SHOWN	SHEET: 1 OF 1
APPROVAL BY: [Signature]	DESIGNED BY: [Signature]	CHECKED BY: [Signature]
DATE: 6/25/16	SCALE: 1/8" = 1'-0"	DRAWN BY: MB/RCL

A1.2

DEMOLITION PLAN



FLOOR PLAN KEYNOTES

REFER TO RELATED PLAN SHEET A-2.0 FOR CONSTRUCTION DETAILS FOR ADDITIONAL NOTES + DETAILS

- LEGEND**
- DOOR/ENTRYWAY
 - 1-HOUR FIRE RATED WALL
 - EXTERIOR SCREEN WALL
 - BUILDING ABOVE/BUILDING BELOW
 - SETBACK LINE
 - PROPERTY LINE
 - STRUCTURAL GRID
 - ELEVATION CALLOUT
 - CROSS SECTION CALLOUT
 - DETAIL CALLOUT
 - REVISION CALLOUT
 - ROOM CALLOUT
 - DOOR CALLOUT
 - KEYNOTE CALLOUT

BLAKE/MORE

BLAKE/MORE ARCHITECTS INCORPORATED
4411 Point Loma Blvd., Suite 100, San Diego, CA 92161
619.451.1111

REGISTERED ARCHITECT
STATE OF CALIFORNIA
C-10833

MIXED USE STRUCTURE

MR. HARPREET SINGH

510 E. BALBOA BLVD.

NEWPORT BEACH, CA.

92660

NO. REVISIONS	000000
DATE	03/27/27
REVISION	000001
DATE	03/27/27
REVISION	000002
DATE	03/27/27
REVISION	000003
DATE	03/27/27

DESIGNED BY: MR. HARPREET SINGH
DATE: 03/27/27
SCALE: 1/8" = 1'-0"
DRAWN BY: MRS. J. SINGH

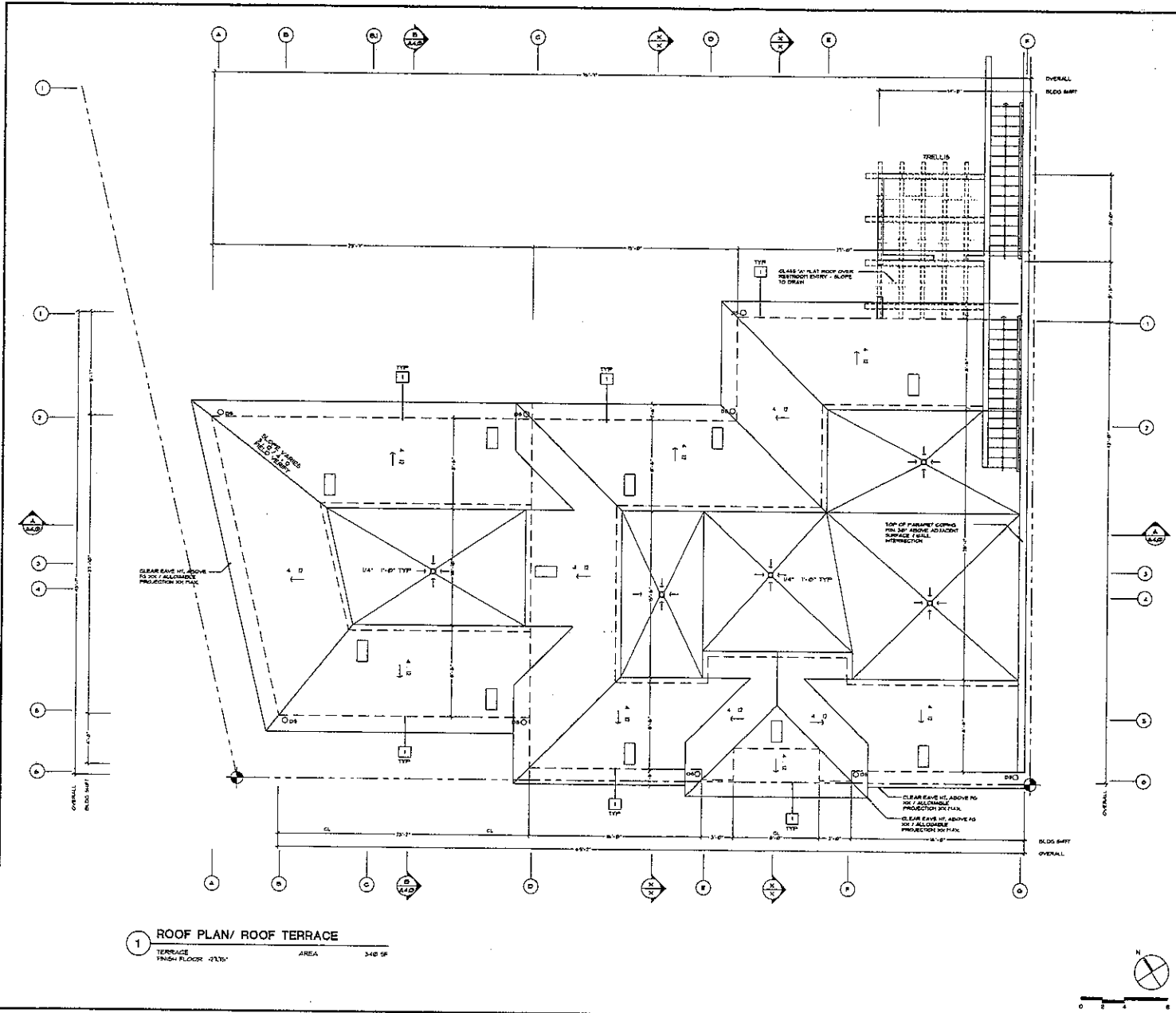
SHEET

A2.0

FLOOR PLANS

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1 ROOF PLAN/ ROOF TERRACE
 TERRACE FINISH FLOOR +2'11.5"
 AREA 348 SF

ROOF NOTES

ATTIC AREA 'A'

ATTIC AREA VENTILATION CRITERIA:

ATTIC AREA 'A'

AREA 646 SQ. FT.

FREEDOM 17,300

ALUMINA FIBER 17,300 X 1/2" X 1/2" X 1/4" SQ. IN. X 18648 SQ. IN.

MIN. R-VALUE 1.0

MIN. R-VALUE 1.0

MIN. R-VALUE 1.0

ATTIC AREA 'B'

AREA 898 SQ. FT.

FREEDOM 17,300

ALUMINA FIBER 17,300 X 1/2" X 1/2" X 1/4" SQ. IN. X 18648 SQ. IN.

MIN. R-VALUE 1.0

MIN. R-VALUE 1.0

MIN. R-VALUE 1.0

ATTIC VENT - CHANGING MODEL BY (SEE REPORT NO. 18688)
 R-10 COMPOSITE DECK, GALV. ALUM. PANT. TO MATCH TILE
 OR

ROOF VENTILATION NOTES:

- WHERE BARS WITH AIR INSTALLED SIMILATION SHALL NOT BLOCK THE FLOW OF AIR THROUGH THE ROOF SYSTEM.
- CONDENSATION FOR VENTILATION SHALL BE COVERED BY A CONDENSATION RESISTANT MATERIAL WITH MINIMUM R-VALUE OF 1.0 IN DEPENDENT.
- ATTIC VENTILATION TO BE TOP OF ATTIC AREA BARS PROVIDED BY LEAVE VENTS.
- ATTIC VENTILATION TO BE TOP OF ATTIC AREA BARS PROVIDED 50% OF THE VENTS ARE LOCATED 2'-0" ABOVE THE FLUTE LINE.

ROOF PLAN KEYNOTES

MATERIALS CLASS 'A' FIRE RETARDANT

- WHERE NOTED THE NON-COMBUSTIBLE TYPED FIBERGLASS INSULATED ROOF PANELS SHALL BE USED IN ALL AREAS WHERE NOTED.
- ROOF USOC PERFORMANCE IN TILE OR STONE FRESH (SEE REPORT NO. 18688)
- WHERE NOTED THE NON-COMBUSTIBLE TYPED FIBERGLASS INSULATED ROOF PANELS SHALL BE USED IN ALL AREAS WHERE NOTED.
- WHERE NOTED THE NON-COMBUSTIBLE TYPED FIBERGLASS INSULATED ROOF PANELS SHALL BE USED IN ALL AREAS WHERE NOTED.

DASHED LINE INDICATES GULLIES BELOW
 ROOF DRAIN
 ROOF DRAIN WITH INTEGRATED OVERFLOW
 DRAIN
 ROOF DRAIN WITH INTEGRATED OVERFLOW
 DRAIN
 OVERFLOW - REFER TO OVERFLOW PLAN
 OVERFLOW ALUMINUM DRAIN BRIDGE FROM PLUMB TO GUTTER 4" DIA.
 PLUMBING - REFER TO PLUMBING
 CHECK OVER CONDITIONED SPACE BELOW - SEE PLAN
 ROOF COVER FOR DRAINAGE
 NOT USED
 NOT USED
 NOT USED
 NOT USED
 NOT USED

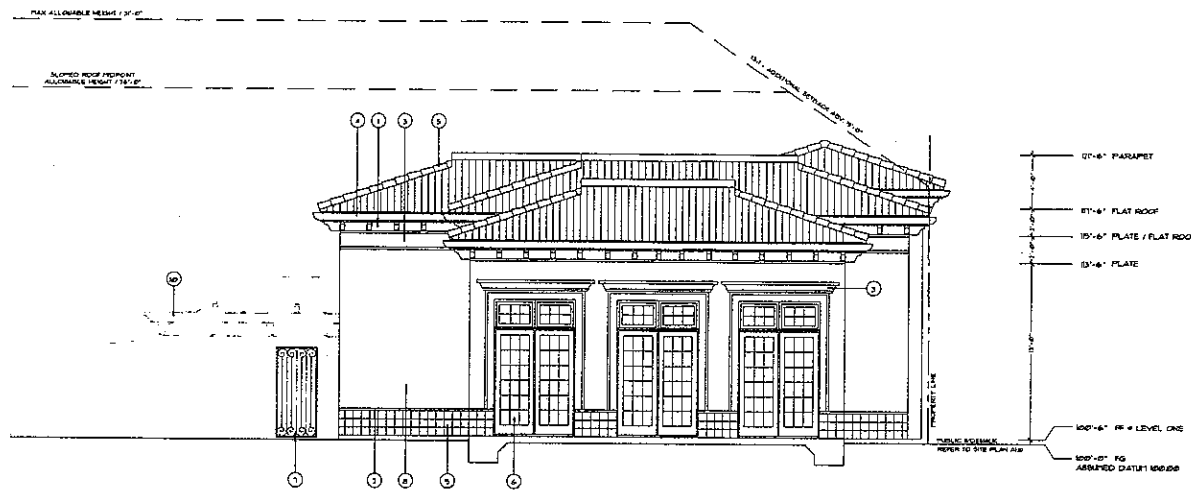
LEGEND

OCCUPANCY SEPARATION PER TO ADJOINING PROPERTY
 PER BALL / PARTITION NOT RATED / EXTERIOR SCREEN WALL
 BUILDING ABOVE
 BUILDING BELOW
 RETROFIT LINE
 PROPERTY LINE
 STRUCTURAL GRID
 EAVE (1) LOCATION (RANGE) ELEVATION CALLOUT ELEVATION
 SECTION (A) CROSS SECTION CALLOUT SHEET (A.1)
 DETAIL (A.1) DETAIL CALLOUT SHEET (A.1)
 REVISION (A) REVISION CALLOUT SHEET (A.1)
 UNION CALLOUT
 DOOR CALLOUT
 KEYNOTE CALLOUT

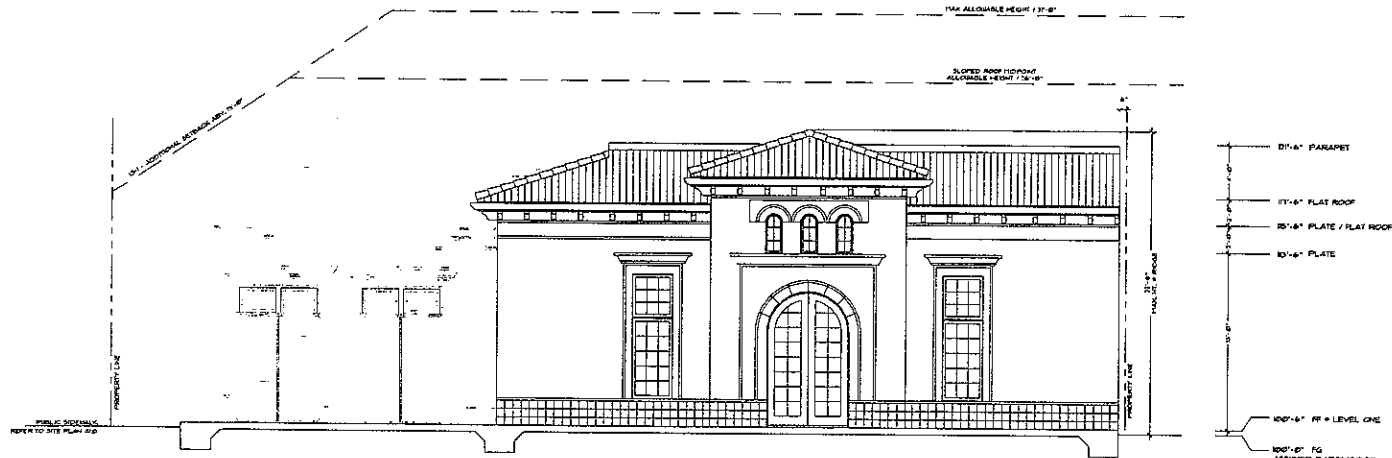
MIXED USE STRUCTURE
 PROJECT OWNER
MR. HARPREET SINGH
610 E. BALBOA BLVD.
NEWPORT BEACH, CA.
92660

DESIGNED BY
DATE
 SCALE
5/8" = 1'-0"
 DRAWN BY
ME/LS
SHEET
A2.1
ROOF PLAN

ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF BLENHEIRE, CALIFORNIA, AND THE STATE OF CALIFORNIA. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLENHEIRE AND THE STATE OF CALIFORNIA. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLENHEIRE AND THE STATE OF CALIFORNIA. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLENHEIRE AND THE STATE OF CALIFORNIA.



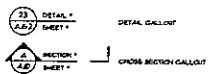
1 WEST ELEVATION



2 SOUTH ELEVATION

MATERIAL LEGEND

- EXTERIOR FINISH AND MATERIALS
- 1 EPS CORNER HOLDING / BRACKET
 - 2 EPS BALL
 - 3 EPS TRIM / MOLDING
 - 4 COPPER GUTTER AND DOWNSPOUTS
 - 5 TERRA COTTA TILE ROOF, CLASS A
 - 6 WOOD GLAD BRIDGES AND DOOR STOPPER
 - 7 UNPAINT IRON GATES
 - 8 SMOOTH FINISH STUCCO 1/2" THICK W/ METAL LATH OVER FIRE RESISTANT HEAVYWEIGHT BUILDING PAPER
 - 9 CERAMIC TILE DETAIL
 - 10 WOOD TRIMMIS



NOTE:
 IF A COMMERCIAL UNIT CANNOT BE LOWER THAN 8'6" PER NATIONAL DASH
 ALL HEIGHTS TO BE MEASURED FROM THIS DATE. ALL OTHER
 NON COMMERCIAL AREAS TO BE MEASURED FROM NAT. GRADE

BLENHEIRE

10000 BLENHEIRE AVENUE, SUITE 100, BLENHEIRE, CALIFORNIA 92506
 (951) 261-1000

RETAIL STRUCTURE
 MR. HAREPREET SINGH
 510 E BALBOA BLVD.
 NEWPORT BEACH, CA.
 92660

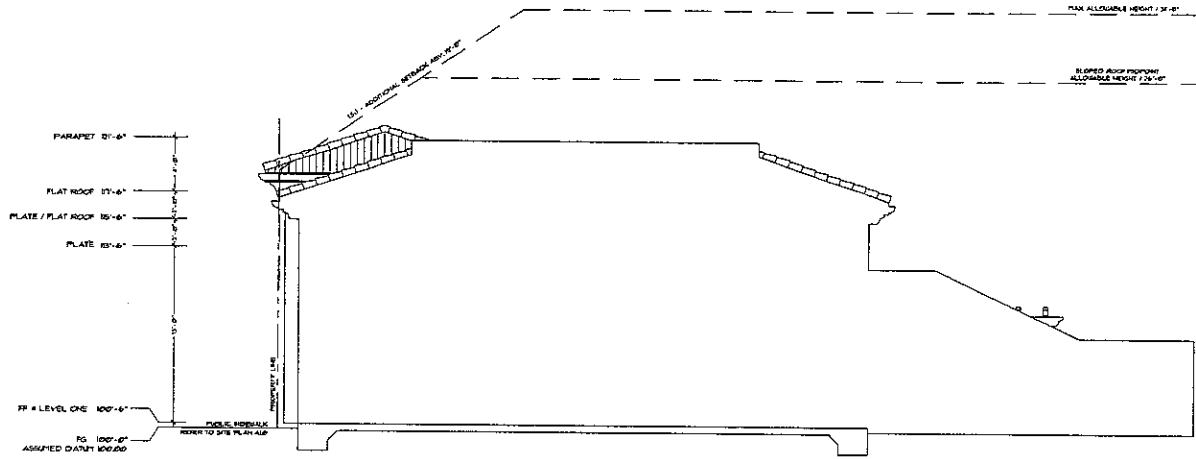
DESIGNER	DATE

DESIGNED BY: HARE PREET SINGH
 DATE: 04.20.08
 SCALE: 1/4" = 1'-0"
 DRAWN BY: HARE PREET SINGH

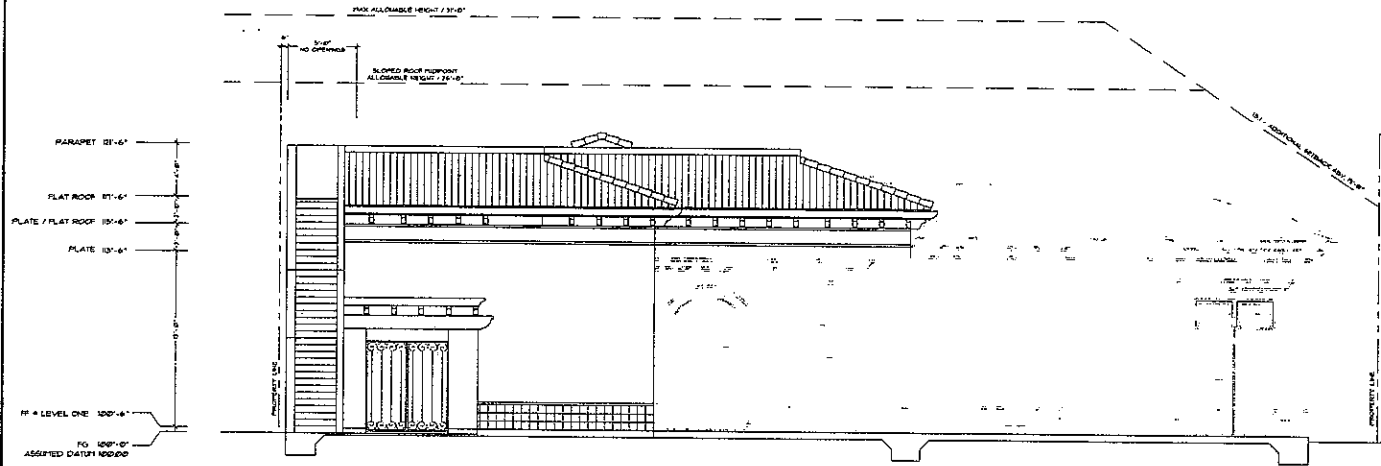
A3.0

ELEVATIONS

ALL VIEWS, SECTIONS, ELEVATIONS, AND DETAILS ARE TO BE CONSIDERED AS PARTS OF AN INTEGRAL DESIGN. ALL MATERIALS AND METHODS ARE TO BE APPROVED BY THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE A DESIGN THAT MEETS THE CLIENT'S REQUIREMENTS AND TO ENSURE THAT THE DESIGN IS FEASIBLE AND CONFORMS TO ALL APPLICABLE CODES AND REGULATIONS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN SERVICES PROVIDED HEREIN.



1 EAST ELEVATION



1 NORTH ELEVATION

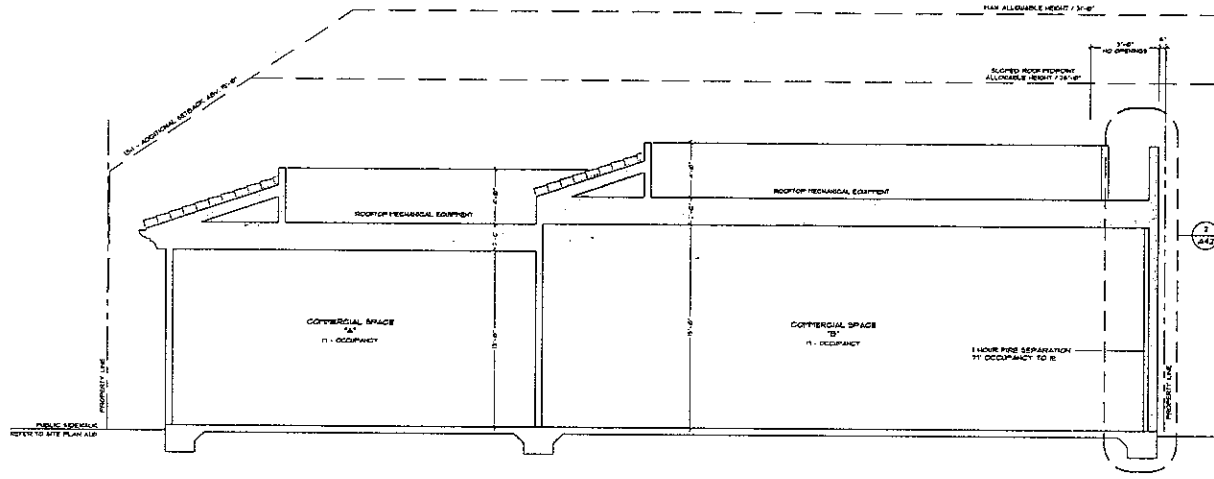
MATERIAL LEGEND

- EXTERIOR FINISH AND MATERIALS**
- ① EPS GORGE HOLDING / BRACKET
 - ② EPS GILL
 - ③ EPS TRIM / MOLDING
 - ④ COPPER GUTTER AND DOWNSPOUTS
 - ⑤ TERRA COTTA TILE ROOF, CLASS A
 - ⑥ WOOD CLAD WINDOW AND DOOR SYSTEM
 - ⑦ WROUGHT IRON GATES
 - ⑧ SMOOTH FINISH STUCCO 1/2" THICK BY METAL LATH OVER FIRE RESISTANT WEATHER RETARDANT BUILDING PAPER
 - ⑨ CERAMIC TILE DETAIL
 - ⑩ WOOD TRELLIS
- (A) DETAIL
 (A) DETAIL CALLOUT
 (A) SECTION
 (A) CROSS SECTION CALLOUT

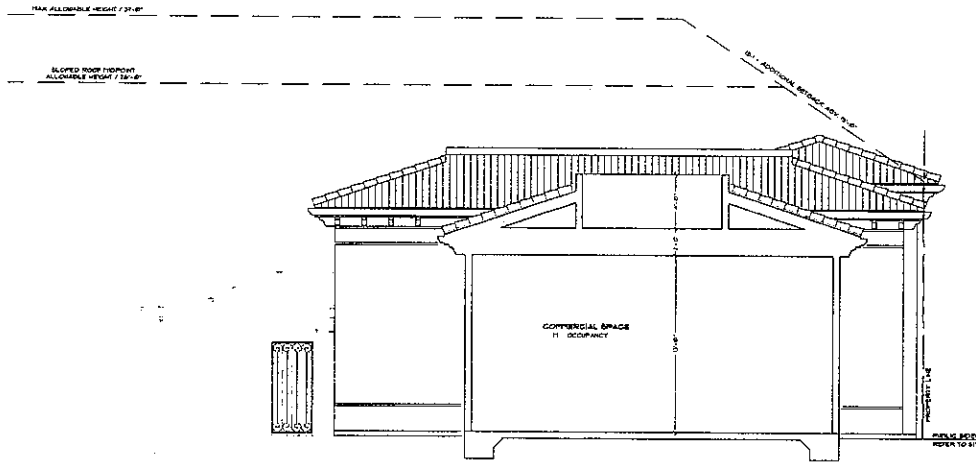
BLANEMORE	
1111 1/2 Street, Suite 800, 91 Newport Beach, California 92660 949-774-1178	
PROJECT: RETAIL STRUCTURE CLIENT: MR. HARPREET SINGH 610 E. BALBOA BLVD. NEWPORT BEACH, CA. 92660	
DESIGNER: MR. SINGH	
DATE: 08/20/08	
SCALE: 1/4" = 1'-0"	
DRAWN BY: MB/BL	
SHEET: A3.1	
ELEVATIONS	



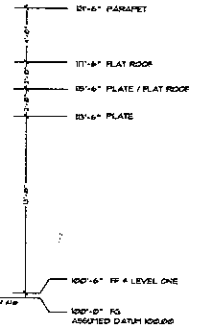
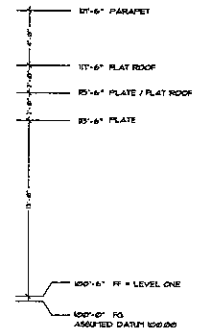
ALL WORK SHOWN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED OR THE RESULTS OF ANY TESTS OR ANALYSES PERFORMED BY OTHERS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED OR THE RESULTS OF ANY TESTS OR ANALYSES PERFORMED BY OTHERS.



BUILDING SECTION A-A



BUILDING SECTION B-B



PROJECT: RETAIL STRUCTURE
 CLIENT: MR. HARPREET SINGH
 610 E BALBOA BLVD.
 NEWPORT BEACH, CA. 92660

DATE	DESCRIPTION
08/20/08	CONCEPT
08/20/08	SCHEMATIC
08/20/08	PRELIMINARY
08/20/08	PERMITS
08/20/08	CONSTRUCTION

DATE	DESCRIPTION
08/20/08	CONCEPT
08/20/08	SCHEMATIC
08/20/08	PRELIMINARY
08/20/08	PERMITS
08/20/08	CONSTRUCTION

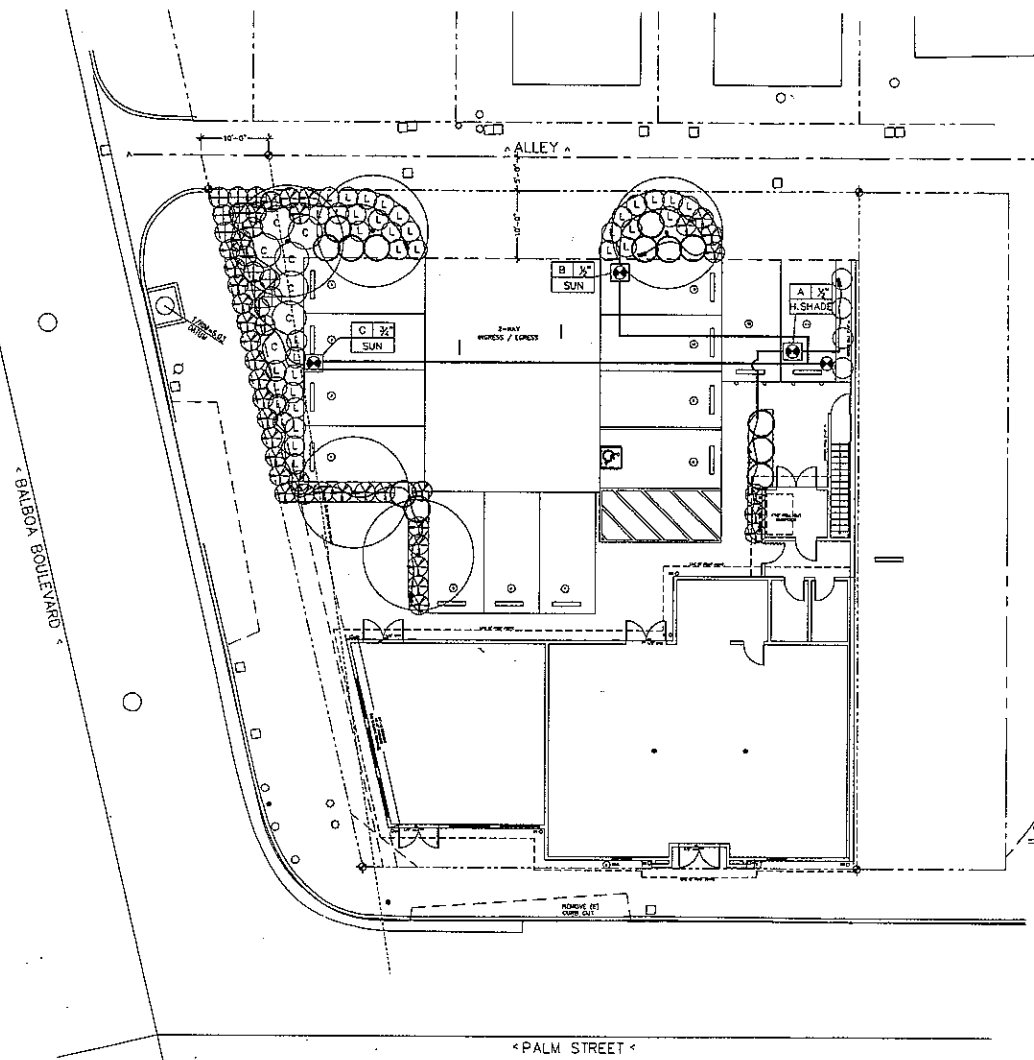
DESIGNED BY: MIKE BLAKEMORE
 DATE: 08/20/08
 SCALE: 1/4" = 1'-0"
 DRAWN BY: MBL/KL

SHEET: A4.0
 SECTIONS



ALL IRRIGATION MATERIALS, INCLUDING PIPING, SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION MANUAL, 1998 EDITION, PUBLISHED BY THE IRRIGATION ENGINEERS OF CALIFORNIA. THE IRRIGATION MANUAL IS AVAILABLE FOR PURCHASE FROM THE IRRIGATION ENGINEERS OF CALIFORNIA, 1000 S. GARDEN STREET, ANAHEIM, CALIFORNIA 92810. THE IRRIGATION MANUAL IS AVAILABLE FOR PURCHASE FROM THE IRRIGATION ENGINEERS OF CALIFORNIA, 1000 S. GARDEN STREET, ANAHEIM, CALIFORNIA 92810.

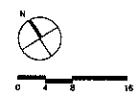
SITE PLAN



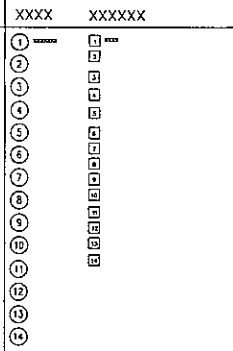
- IRRIGATION LEGEND**
- CIRCUIT
 - VALVE SIZE
 - EXPOSURE
 - MAIN SUPPLY 1" SCH 40 PVC FLEXIBLE IRRIGATION LINE
 - FLUSH CAP @ ENDS/LOW PTS.
 - POC/BACKFLOW DEVICE
 - DRIP VALVE ASSEMBLY
 - CONTROLLER

- EMITTER SCHEDULE**
- 36" BOX: (6) 4 GPH EMITTERS/ PLANT
 - 5 GAL: (2) 2GPH EMITTERS/ PLANT

- PLANT MATERIAL LIST**
- Arbutus unedo*
Strawberry Tree
(5) 36" box (3" Cal Min.)
 - Cotoneaster dammeri*
"Coral Beauty"
Bearberry Cotoneaster
(7) 5 Gal.
 - Phormium tenax "Marticia"*
New Zealand Flax
(13) 5 Gal.
 - Rosmarinus officinalis*
"Huntington Carpet"
Huntington Carpet Rosemary
(13) 5 Gal.
 - Westringia fruticosa*
Coast Rosemary
(40) 5 Gal.
 - Leptospermum scoparium*
"Pink Cascade"
New Zealand Tea Tree
(24) 5 Gal.
 - Ficus repens*
Creeping Fig
(4) 5 Gal. Espalier



1 LANDSCAPE PLAN



BLAKEMORE
 Michael Blakemore Architects Incorporated
 2025 N. GARDEN STREET, SUITE 200
 ANAHEIM, CA 92810



PROJECT MIXED USE STRUCTURE
 OWNER: MR. HARPREET SINGH
 510 E. BALBOA BLVD.
 NEWPORT BEACH, CA.
 92660

APPROVAL IN CONCEPT	05/20/06
CONCEPT APPROVAL	11/07/07
STRUCTURAL PLAN CHECK	11/28/07
MECHANICAL PLAN CHECK	
ELECTRICAL PLAN CHECK	
PLUMBING PLAN CHECK	
CONSTRUCTION	
TENANT IMPROVEMENTS	

DESIGNED BY
 MIKE BLAKEMORE
 DATE
 6.20.06
 SCALE
 1/8" = 1'-0"
 DRAWN BY
 MB/ML

SHEET
A1.0
 LANDSCAPE