

**CITY OF NEWPORT BEACH
PLANNING DEPARTMENT ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

FROM: David Lepo, Planning Director

SUBJECT: Report of actions taken by the Zoning Administrator, Planning Director and/or Planning Department staff for the week ending April 16, 2010

ACTIONS TAKEN BY THE PLANNING DIRECTOR OR PLANNING DEPARTMENT STAFF

Item 1: Newport Healthcare Center, LLP – Use Permit No. UP2010-005 (PA2010-019)
538 Superior Avenue (Hoag Healthcare Center)

Approved – April 15, 2010

Council District 2

On behalf of David Lepo, Planning Director:



Patrick J. Alford, Planning Manager

APPEAL PERIOD: Modification Permit applications do not become effective until 14 days after the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code. Tentative Parcel Map, Condominium Conversion, Lot Merger, and Lot Line Adjustment applications do not become effective until 10 days following the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code.

Email City Council
Planning Commission
David Lepo, Planning Director
Sharon Wood, Assistant City Manager
David Keely, Public Works Senior Civil Engineer
Code Enforcement Division



USE PERMIT ACTION LETTER

PLANNING DEPARTMENT
3300 NEWPORT BOULEVARD
NEWPORT BEACH, CA 92663
(949) 644-3200 FAX (949) 644-3229

Application No. **Use Permit No. UP2010-005 (PA2010-019)**
Applicant **Newport Healthcare Center, LLP**
Site Address **538 Superior Avenue (Hoag Healthcare Center)**
Legal Description **Irvine Sub Lot 169, Block 2**

On **April 15, 2010**, the Planning Director approved the following: A use permit to allow installation of a 12-foot-wide by 40-foot-long one-story modular building for use as a café offering the sale of pre-packaged food items and beverages. The modular building will be located between the two existing parking structures on the north side of the property. The installation will be allowed for a period of up to two years and is intended to be utilized until a permanent café building is approved and constructed. The property is located in the M-1-A (Controlled Manufacturing) District. The approval is based on the following findings and subject to the following conditions.

Authority:

Section 20.60.015.C of the Newport Beach Municipal Code provides that the Planning Director may approve a use permit authorizing the temporary use of structures and land for a period of time in excess of 90 days. The site shall be restored at such time as the use is terminated, unless, a subsequent application or request for an extension of time or other time period is approved prior to expiration of this approval.

FINDINGS

1. This project has been reviewed, and it has been determined that it is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) Guidelines under Section 15303, Class 13 (New Construction or Conversion of Small Structures). The proposed modular building is an accessory structure that will complement the existing medical campus and its activities. Additionally, a Final Environment Impact Report (SCH No. 2006-101105) was prepared for Use Permit No. 2006-010 and certified by the Planning Commission on January 17, 2008, which authorizes up to 350,000 gross square feet of floor medical office area at the subject site. The construction of a maximum of 20,586 square feet of floor area for a café or medically-related retail space was considered as part of the approval of Use Permit No. 2006-010. The addition of the temporary modular building does not exceed the maximum allotment for the site and does not propose any significant environmental impacts.

2. Finding: That the proposed location of the use is in accord with the objectives of this code and the purposes of the district in which the site is located.

Facts in Support of Finding:

- The project is located in the M-1-A (Controlled Manufacturing) Zoning District, which provides for a wide range of moderate to low intensity industrial uses and limited accessory and ancillary commercial and office uses. Food and beverage sales are permitted within the M-1-A zone as an ancillary use separate from the principal use upon determination by the Planning Director. In this case, the Planning Director finds that the proposed use is a permitted, accessory use as it contributes to the comfort convenience, employees, and customers of the principal use (general and medical office) served.
- Subject to the approval of a use permit by the Planning Director, the temporary use of the modular building as a café is permitted within this district. Use permits enable the City to control certain uses which could have detrimental effects if not compatible with uses in the surrounding area or if not appropriately regulated. The proposed application does not present any conflict with the purpose and intent of the M-1-A District; and conditions of approval for the proposed project assure compliance with zoning regulations and require a specific point in time (two years from the date of approval) in which the use shall be terminated and the site restored.

3. Finding: That the proposed location of the use permit and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan and the purpose of the district in which the site is located; will not be detrimental to the public health, safety, peace, morals, comfort, or welfare of persons residing or working in or adjacent to the neighborhood of such use; and will not be detrimental to the properties or improvements in the vicinity or to the general welfare of the city.

Facts in Support of Finding:

- The City is in process of updating the Zoning Code for consistency with the adopted General Plan. The proposed zoning designation for the site is OM (Office-Medical), which is intended to provide for medical-related offices, other professional offices, retail, short-term convalescent and long-term care facilities. The proposed project is accessory to the primary use and will not conflict with future zoning implementation.
- The project has been conditioned to regulate the design and operation of the use to minimize impacts to adjacent uses, as well as occupants of the medical office buildings. Specifically, the project will not be detrimental to the public for the following reasons:

- The proposed hours of operation of the facility are 6:00 a.m. to 4:00 p.m., daily and are compatible with the hours of operation of the medical office campus. Deliveries to the facility will not impact adjacent drive aisles and are prohibited between the hours of 5:00 p.m. and 9:00 a.m., daily, to limit adverse noise impacts.
 - The placement and use of the modular building will not conflict with the activities and use of the other buildings and uses on site. The proposed modular building location between the two parking structures on the north side of the property will have no effect on vehicular circulation or use of the adjacent parking lot. The modular building will be shielded from view from the residential developments to the west and south, as well as any views from Superior Avenue.
 - With completion of a previously-approved parking structure, the site will provide a total of 1,985 parking spaces on-site, exceeding the minimum code requirement by 235 spaces, thereby providing sufficient parking to accommodate the 5 additional spaces required for the proposed modular building and use.
 - The project has been conditioned so as to control and reduce excess lighting and to avoid off-site light spillage.
 - The proposed project will not increase traffic generation resulting in significant impacts to intersection or traffic circulation in the City of Newport Beach, and more specifically, within the vicinity of the project site. The proposed use will be primarily utilized by individuals already at the site either working or utilizing the medical services.
4. Finding: That the proposed use will comply with the provisions of this Code, including any specific condition required for the proposed use in the district in which it would be located.

Facts in Support of Finding:

- The project has been conditioned to ensure that all conflicts with surrounding land uses are minimized to the greatest extent possible or eliminated. The limited duration (two years from the date of approval) of the project will further limit any adverse impacts on this site and require the use to be terminated and the site restored.
- An addition of up to 20,586 square feet of floor is allowed and conditioned to be limited within a building envelope located between the two parking structures on the north side of the property with a height not to exceed the 32-foot height limit pursuant to Use Permit No. 2006-010. The proposed trailer meets these limitations and requirements and does not exceed the overall total gross floor area of 350,000 square foot assigned to the site.

CONDITIONS

1. The modular building shall conform to the approved plans (attached) except as modified by other conditions.
2. The temporary one-story modular building shall not be greater than 12-foot-wide by 40-foot-long and exceed 480 square feet and 32 feet in height. It shall be located between the two existing parking structures on the north side of the property and operate as a café offering the sale of pre-packaged food items and beverages.
3. The net public area for outdoor seating shall not exceed 842 square feet and shall be limited to minor landscape improvements, trash receptacles, tables, chairs, and canvas umbrellas at the tables, unless otherwise approved by the Planning Director.
4. One non-illuminated sign not to exceed 4 feet by 8 feet in size shall be allowed on the outside of the proposed modular building. No other on-site or off-site signs shall be permitted in conjunction with or advertising the presence of the modular building.
5. The hours of operation shall be limited to between the hours of 6:00 a.m. and 4:00 p.m., daily. Removal or replacement of the trailer, and or other deliveries for the facility shall be prohibited between the hours of 5:00 p.m. and 9:00 a.m., daily.
6. The modular building shall be removed from the site and the use terminated no later than April 15, 2012, unless it is otherwise extended or superseded by the approval of the Planning Director or the Planning Commission. The Planning Director may extend the duration for an additional year in accordance with the provisions of Section 20.91.050.B.
7. Sales of alcoholic beverages shall be prohibited.
8. No live entertainment or dancing shall be provided.
9. No cooking of foods is allowed except for in a microwave oven.
10. The facility shall contain receptacles sufficient in size to accommodate all trash deposited by customers. Trash receptacles for patrons shall be conveniently located both inside and outside of the proposed facility, however, not located on or within any public property or right-of-way.
11. Trash generated by the proposed use is stored on-site in an area screened from view to the public right-of-way and adjacent residences except when placed for pick-up. The operator of the food and beverage sales facility shall be responsible for the clean-up of all on-site and off-site trash, garbage and litter generated by the use.

12. The applicant is required to obtain all applicable permits from the City's Building and Fire Departments. The construction plans must comply with the most recent, City-adopted version of the California Building Code and all applicable state and federal laws.
13. No temporary "sandwich" signs, balloons or similar temporary signs shall be permitted on-site or off-site to advertise the proposed use, unless specifically permitted in accordance with the Sign Ordinance of the Municipal Code. Temporary signs shall be prohibited in the public right-of-way unless otherwise approved by the Public Works Department in conjunction with the issuance of an encroachment permit or encroachment agreement.
14. Storage outside of the building in the front or at the rear of the property shall be prohibited, with the exception of the required trash container(s).
15. If this property is sold or otherwise comes under different ownership, the current business owner, property owner, or leasing company shall notify the future owners/assignees of the conditions of this approval.
16. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 and other applicable noise control requirements of the Newport Beach Municipal Code. The maximum noise shall be limited to no more than depicted below for the specified time periods unless the ambient noise level is higher:

Location	Between the hours of 7:00AM and 10:00PM		Between the hours of 10:00PM and 7:00AM	
	Interior	Exterior	Interior	Exterior
Residential Property	45dBA	55dBA	40dBA	50dBA
Residential Property located within 100 feet of a commercial property	45dBA	60dBA	45dBA	50dBA
Mixed Use Property	45dBA	60dBA	45dBA	50dBA
Commercial Property	N/A	65dBA	N/A	60dBA


17. This Use Permit may be modified or revoked by the Planning Director, Planning Commission, or City Council should they determine that the use or one or more of the conditions set forth herein is not being complied with, or the manner in which the project is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
18. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
19. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.

19. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
20. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.
21. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Hoag Healthcare Center including, but not limited to PA2010-019. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD

The applicant or any interested party may appeal the decision of the Planning Director, Zoning Administrator and department staff to the Planning Commission by a written request to the Planning Director within 14 days of the action date. A \$3,070.00 filing fee shall accompany any appeal filed. For additional information on filing an appeal, contact the Planning Department at 949 644-3200.

On behalf of David Lepo, Planning Director

By: 
James Campbell, Principal Planner

JC/ems

Attachments: PD 1 Vicinity Map
PD 2 Applicant's Project Description
PD 3 Applicant's Response to Incomplete Letter
PD 4 Project plans

VICINITY MAP



Use Permit No. UP2010-005
PA2010-019

**Hoag Healthcare Center
538 Superior Avenue**

**Hoag Health Center Newport Beach
Use Permit
Project Description
January 18, 2010**

Hoag Health Center is located at 500 – 540 Superior Avenue. The 13.7 acre site is bounded by Superior Ave. on the West, Dana Road on the South, Newport Avenue on the East and the City of Newport Beach property on the North. The site is a fully improved commercial site.

Background

On January 17, 2008, the Newport Beach Planning Commission approved Use Permit No. 2006-010. This approval allows for up to 350,000 sf. Medical office uses on the site.

Entitlement Request

The development plans for the property include the construction and operation of a Café building to be located between the parking structures. The Café shall provide food service to the center's employees and patrons. The Café building is planned to be designed and constructed between 2010 and 2012.

In the interim, the applicant requests approval to construct and operate a temporary Café trailer.

- The Café trailer will be located in the vicinity of the Café building and will remain in operation through the completion of the permanent Café building.
- The Café trailer will sell pre-packaged food and drinks. Coffee will be brewed in the trailer in standard coffee brewing appliances. No food will be prepared or processed in the trailer.
- The Café trailer operating hours will be consistent with the Center's operating hours.
- The Café trailer will be connected to sewer, water, electrical and telephone utilities.
- Signage will be mounted to the trailer.
- Landscaping will be through the use of existing planter pots and landscape.
- Upon completion and opening of the Permanent Café building, the Café trailer shall cease and the trailer removed from the site.

PA2010-019 for UP2010-005
500 Superior Avenue
Newport Healthcare Center, LLP

Use Permit – Notice of Incomplete Filing

Project: Hoag Health Center – Modular Café Building
Use Permit No: UP2010-005 (PA2010-019)
Date: 23 March 2010



Erin Steffen,

Per your request, the following represents a list of information required to complete the review for the above referenced project.

1. Square footage of the modular building (Café).
The proposed modular building is 12'Wx40'L for a gross square footage of 480 square feet.
2. Specific hours of operation of the proposed Café.
The hours shall be 6:00am to 4:00pm Monday through Friday.
3. New public area of outdoor seating area.
The net public area of outdoor seating is 842 square feet.
4. A description and/or plan of any proposed signage.
There shall be one non-illuminated sign, size approximately 4'x8' and will be painted plywood. The sign background color will be white and the lettering color will be Hoag blue. The lettering will be the name of the Café facility, which has not yet been determined. The size of the lettering will be based on the actual name to fit approximately with the allowable area.
5. A description and/or plan of any new/proposed landscape.
The existing planter area along the Westside of Parking Structure "B" (Building 540) shall remain as is. The existing planters adjacent to the steps accessing Parking Structure "A" (Building 550) shall remain as is. We currently have six planter pots in the area where the outdoor seating area will be installed. Three of these planter pots shall be placed as shown on Sheet A200. The remaining three planter pots will be distributed around the trailer once it's set in place. The planter pots are currently landscaped and shall remain as is.
6. A description and/or plan of any new/proposed outdoor lighting (if applicable).
The trailer will have wall packs (see attachment for cut-sheet) mounted on all four sides at approximately 10'-6" above finish surface. There is also an existing pole light in the sidewalk adjacent to the outdoor seating area.
7. A description and/or plan of any new/proposed awning, canopy, shade structures, and/or patio covers (if applicable).
The awning over the modular building entry doors will be canvas material measuring 22'-0"Lx4'-6"D. Additionally, there will be standard retractable, canvas umbrellas located at the tables in the seating area. The canvas color of the umbrellas will match the color of the awning.
8. Additional information (i.e. proposed height, material, elevation, plan, detailed description) of item 6 (temporary fence) and 11 (brick trim) from sheet A200 of the submitted project plans.
Item 6: The fence shall be 6' tall, chain link with green screen. The gates will be chain link with green screen also.
Item 11: The brick trim is a Header Course of Interlocking Brick Pavers in the outdoor seating area hardscape. The brick pavers shall match the existing pavers used throughout the site in color, shape and size.

Use Permit – Notice of Incomplete Filing

Project: Hoag Health Center – Modular Café Building
Use Permit No: UP2010-005 (PA2010-019)
Date: 23 March 2010



If you have any questions or require any additional information, please feel free to contact us.

Thank you,

Ryan Caldera
WBSA

C.C.: Rick Wood – WBSA Architect of Record
Greg Holcomb – MPA Owner Representative

Attachment: Wall pack lights catalog cut sheet



FEATURES & SPECIFICATIONS

INTENDED USE

Ideal for mounting above entryways and loading docks.

CONSTRUCTION

Rugged, corrosion-resistant die-cast aluminum back housing and hinged door frame. Castings are sealed with a one-piece gasket to inhibit the entrance of external contaminants. Lens is thermal- and shock-resistant clear tempered glass. Finish is bronze polyester powder paint for lasting durability.

ELECTRICAL SYSTEM

HID: Ballast is high-reactance, high-power-factor for 70-150W. Ballast is copper-wound and 100% factory-tested.

Socket: Medium-base socket, nickel-plated screw shell and center contact.

OPTICAL SYSTEM

Anodized aluminum reflector, provides IES cutoff distribution. Optional full cutoff visor available.

Medium-base lamp included in carton.

INSTALLATION

Housing is configured for mounting directly over a standard 4" outlet box or for surface wiring via any of three convenient 3/4" threaded conduit entry hubs.

LISTING

UL Listed to US and Canadian safety standards (see Options). Suitable for wet locations (25°C maximum ambient temperature).

Specifications subject to change without notice.

Catalog Number

Notes

Type

Cutoff Wall Packs

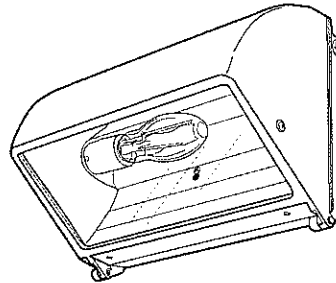
TWR1C

HIGH PRESSURE SODIUM

70-150W

METAL HALIDE

70-150W



Specifications

Height: 10-1/4 (26-4/100)

Width: 13 (33-2/100)

Depth: 8-15/32 (21-5/10)

Weight: 16.45lbs/ 7.46kg

All dimensions shown in inches (cm) unless otherwise noted.

Weight as configured in example below.



Consistent with LEED® goals
& Green Globes™ criteria
for light pollution reduction

ORDERING INFORMATION

For shortest lead times, configure product using **standard options (shown in bold)**.

Example: TWR1C 100M TB LPI

TWR1C						LPI	
Series	Wattage	Voltage	Options		Lamp ⁴		
TWR1C	<u>High pressure sodium</u>	120	<u>Shipped installed in fixture</u>		LPI Lamp included as standard		
	70S	277	CSA	Listed and labeled to comply with Canadian Standards			
	100S	TB¹	PE	Photoelectric cell, button type ²			
	150S		<u>Shipped separately³</u>				
	<u>Metal halide</u>		FCV	Full cutoff visor			
	70M		WG	Wireguard			
	100M						
	150M						

NOTES:

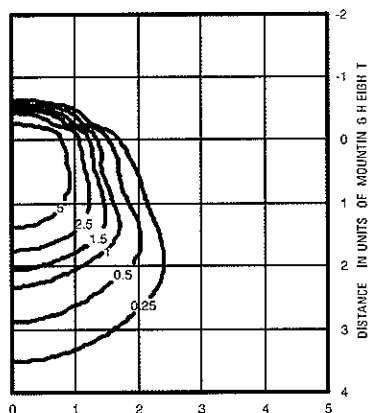
- Optional multi-tap ballast (120, 208, 240, 277V). In Canada 120, 277, 347V; ships as 120/347.
- Available with 150M only. Consult factory for other voltages/wattages availability.
- May be ordered as an accessory.
- Must be specified.

Accessories

Order as separate catalog number.
TWR1CWG Wireguard
TWR1C FCV Full cutoff visor

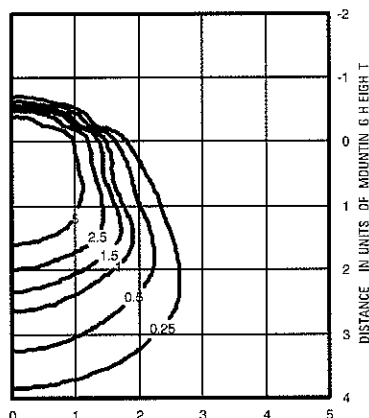
TWR1C High Pressure Sodium/Metal Halide Cutoff Wall Pack

TWR1C 70S TESTNO: LTL12140
ISOILLUMINANCE PLOT (Footcandle)



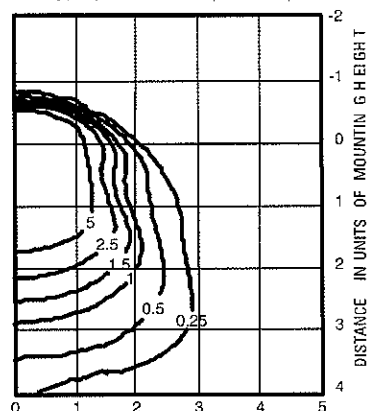
70W high pressure sodium lamp
Footcandle values based on 10'
mounting height, 6300 rated lumens
Luminaire Efficiency: 70.3%

TWR1C 100S TEST NO: LTL12165
ISOILLUMINANCE PLOT (Footcandle)



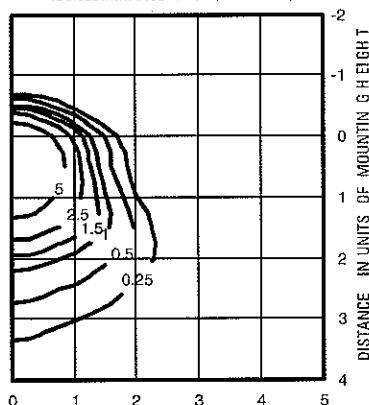
100W high pressure sodium lamp.
Footcandle values based on 10'
mounting height, 9500 rated lumens.
Luminaire Efficiency: 70.3%

TWR1C 150S TEST NO: LTL12138
ISOILLUMINANCE PLOT (Footcandle)



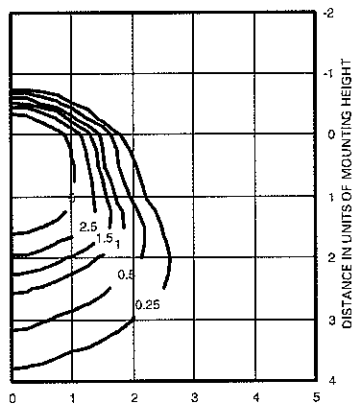
150W high pressure sodium lamp
Footcandle values based on 10'
mounting height, 15800 rated lumens.
Luminaire Efficiency: 66.9%

TWR1C 70M TEST NO: LTL12142
ISOILLUMINANCE PLOT (Footcandle)

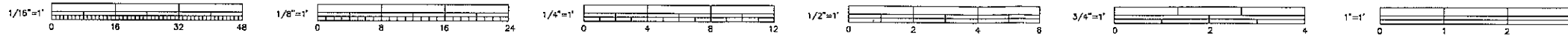


70W metal halide lamp
Footcandle values based on 10'
mounting height, 5200 rated lumens.
Luminaire Efficiency: 69.0%

TWR1C 100M TEST NO: LTL12166
ISOILLUMINANCE PLOT (Footcandle)



100W metal halide lamp.
Footcandle values based on 10'
mounting height, 8500 rated lumens.
Luminaire Efficiency: 69.0%



If this sheet is not 24" by 36" it is a reduced print, scale accordingly



Hoag Health Center - Newport Beach

TEMPORARY CAFE MODULAR BUILDING
500 SUPERIOR AVENUE
NEWPORT BEACH, CA. 92663

WBSA
WOOD
BURGHARD
SWAIN
ARCHITECTS

4850 BARRANCA PARKWAY
SUITE 203
IRVINE CA 92604
(TEL) 949 552 2081 (FAX) 949 552 9442

ARCHITECT OF RECORD

CIVIL ENGINEER
APD CONSULTANTS, INC.
188 TECHNOLOGY DRIVE, SUITE B
IRVINE, CA 92618
(949) 336-6336
FAX (949) 336-6338

CONSULTANTS

ISSUED FOR BIDDING: 1/15/10

REVISIONS

APPROVAL

DESIGN/BUILD BID PACKAGE

PROJECT PHASE



HOAG HEALTH CENTER
TEMPORARY CAFE
MODULAR BUILDING
500 SUPERIOR AVE.
NEWPORT BEACH, CA 92663-3657

PROJECT NAME

09078A

PROJECT NUMBER

TITLE SHEET

SHEET TITLE

A010

SHEET NUMBER

AS SHOWN 12/11/2009

SCAL DATE

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH, BUT SHALL NOT BE LIMITED TO THE LATEST EDITION AND ORDINANCES OF:
 - 2007 CALIFORNIA BUILDING CODE (CBC)
 - 2007 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2007 CALIFORNIA MECHANICAL CODE (CMC)
 - 2007 CALIFORNIA PLUMBING CODE (CPC)
 - 2007 ENERGY CODE
 - 2007 CALIFORNIA FIRE CODE (CFC)
 - 2006 INTERNATIONAL FIRE CODE
 - AMERICANS WITH DISABILITIES ACT (ADA)
- A STAMPED SET OF APPROVED PLANS SHALL BE KEPT AT THE JOB SITE AT ALL TIMES.
- THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY ERRORS AFTER THE START OF CONSTRUCTION WHICH IS NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ANY ON-SITE UTILITIES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND INSPECTIONS, OTHER THAN PLAN CHECK AND BUILDING PERMIT FEES PROVIDED BY THE OWNER.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, EQUIPMENT, TRANSPORTATION AND SERVICES NECESSARY FOR SUCCESSFUL COMPLETION OF THE WORK. ALL EQUIPMENT, WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES AND GOVERNING AGENCIES.
- THE CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE TO PROTECT HIMSELF AND HOLD THE ARCHITECT AND OWNER HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES FOR PERSONAL, BODILY INJURY, DEATH OR PROPERTY DURING THE COURSE OF THE CONTRACT. FIRE INSURANCE SHALL BE MAINTAINED BY THE OWNER.
- TEMPORARY POWER AND WATER, WORKERS TOILET FACILITIES, PARKING AND MATERIAL STORAGE SHALL BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROTECT ALL FINISHED WORK AND ADJACENT SURFACES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION AND SHALL REPLACE AND/OR REPAIR ANY AND ALL DAMAGE CAUSED BY THE WORKERS.
- UPON COMPLETION OF THE WORK, ALL AREAS SHALL BE LEFT BROOM ALL DEBRIS SHALL BE REMOVED FROM THE SITE.
- ALL RECESSED BOXES, EQUIPMENT, CABINETS AND THE LIKE, 16 SQ. IN. OR LARGER IN "1-HOUR" RATED WALLS, SHALL MAINTAIN A 1-HOUR CONSTRUCTION RATING.
- DIMENSIONS SHOWN ON FLOOR PLANS, SECTIONS AND DETAILS ARE TO FACE OF FINISH WALL UNLESS NOTED OTHERWISE.
- ANY DRILLING OR NOTCHING OF STUDS FOR ELECTRICAL WIRING, UTILITY LINES, BRACING, ETC. SHALL CONFORM TO USC SECTION 2308.
- PROVIDE A MINIMUM STUD SIZE OF 2 X 6 (6" METAL STUDS) WHERE USING 2" PIPE OR LARGER.
- ALL NEW GLAZING SHALL COMPLY WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION, MANUFACTURER TO SUPPLY CERTIFICATE OF COMPLIANCE TO THE OWNER.
- ALL TOILETS SHALL BE "LOW FLUSH" AS REQUIRED BY THE STATE. (1.6 GPF)
- NAILING INSPECTION IS REQUIRED FOR ALL DRYWALL AND LATH AFTER INSTALLATION BEFORE TAPING AND FINISHING. CORNER BEADS TO BE NAILED. DRYWALL BOARD SPACING TO BE 1/8" MAXIMUM.
- ALL EXIT DOORS ARE TO BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY HANDICAPPED PERSONS. TITLE 24 CAC 2-522(B-2). THE FIGURE SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. LETTERS AND NUMBERS SHALL HAVE A WIDTH TO HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH TO HEIGHT RATIO BETWEEN 1:5 AND 1:10 BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY HANDICAPPED PERSONS SHALL BE IDENTIFIED WITH AT LEAST ONE (1) STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.

BUILDING DATA

BUILDING OWNER: HOAG HEALTH CENTER LLP
ONE HOAG DRIVE
NEWPORT BEACH, CA 92658

PROJECT ADDRESS: 550 SUPERIOR AVENUE
NEWPORT BEACH, CA 92663-3657

ZONING: M-1-A

BUILDING 520
NUMBER OF STORES: 1 FLOOR
OCCUPANCY TYPE: V-B
CONSTRUCTION TYPE: YES
FULLY SPRINKLERED: NO
FIRE ALARM: NO

NET S.F.: 419 S.F.
GROSS S.F.: 480 S.F.

SYMBOLS / MATERIALS

- PROPERTY LINE
- COLUMN GRID LINES
- BUILDING SECTION
- WALL SECTION
- DETAIL SECTION
- ENLARGED DETAIL OR ENLARGED PLAN
- NORTH ARROW
- MATCH LINE REFERENCE
- DOOR NUMBER
- WINDOW TYPE
- LEGEND (KEY NOTES)
- ELEVATION SYMBOL
- INTERIOR FINISHES
- ROOM NAME
ROOM NUMBER
- FINISHED FLOOR ELEVATION
- FINISHED FLOOR ELEVATION SECTIONS / ELEVATIONS

ABBREVIATIONS

AB	ANCHOR BOLT	H	HIGH
AC	ASPHALT CONCRETE	HB	HOSE BIB
A/C	AIR CONDITIONING	HC	HOLLOW CORE
ACoust	ACOUSTICAL	HDR	HEADER
AD	AREA DRAIN	HDW	HARDWARE
ADD	ADDENDUM	HM	HOLLOW METAL
ADJ	ADJUSTABLE	HORIZ	HORIZONTAL
AFT	ABOVE FINISH FLOOR	HR	HOUR
ALUM	ALUMINUM	HT	HEIGHT
ALT	ALTERNATIVE	HVAC	HEATING, VENTILATION, & AIR CONDITIONING
ANOD	ANODIZED	ID	INSIDE DIAMETER
APPROX	APPROXIMATELY	INCL	INCLUDE(D), (ING)
ARCH	ARCHITECT(URAL)	INT	INTERIOR
ASPH	ASPHALT	IPS	IRON PIPE SIZE
BD	BOARD	L	LONG (LENGTH)
BEL	BELLOW	LAM	LAMINATED
BET	BETWEEN	LAV	LAVATORY
BLDG	BUILDING	LBL	LABEL
BLK	BLOCK	LH	LEFT HAND
BLKG	BLOCKING	LT	LIGHT
BMA	BEAM	LW	LIGHTWEIGHT
BOT	BOTTOM	MAS	MASONRY
BRG	BEARING	MATL	MATERIAL
BSMT	BASEMENT	MAX	MAXIMUM
CAB	CABINET	MECH	MACHINE BOLT
CB	CATCH BASIN	MED	MEDIUM
CEM	CEMENT	MET	METAL
CER	CERAMIC	MFR	MANUFACTUR(ER)
CI	CAST-IRON	MIN	MINIMUM
CJ	CEILING JOIST	MIR	MIRROR
CLG	CEILING	MISC	MISCELLANEOUS
CLKG	CAULKING	MO	MASONRY OPENING
CLR	CLEAR(ANCE)	MTD	MOUNTED
COL	COLUMN	N	NORTH
CTR	CENTER	NAT	NATURAL
COMB	COMBINATION	NIC	NOT IN CONTRACT
CONC	CONCRETE	NOM	NORMAL
CONSTR	CONSTRUCTION	NRC	NOISE REDUCTION COEFFICIENT
CONT	CONTINUOUS OR CONTINUE	NTS	NOT TO SCALE
CONTR	CONTRACT(OR)	OC	ON CENTER(S)
DBL	DEEP (DEPTH)	OD	OUTSIDE DIAMETER
DF	DOUBLE	OPNG	OPENING
DAC	DIAGONAL	OPP	OPPOSITE
DAM	DIAMETER	PCF	POUNDS PER CUBIC FOOT
DIM	DIMENSION	PH	PANIC HARDWARE
DN	DOWN	PLAS	PLASTER
DR	DOOR	PLAN	PLASTIC LAMINATE
DS	DOWNSPOUT	PR	PAIR
DET	DETAIL	PLYWD	PLYWOOD
DSP	DRY STAND PIPE	PSF	POUNDS PER SQUARE FOOT
DRAW	DRAWING	PSI	POUNDS PER SQUARE INCH
DWR	DRAWER	PVC	POLYVINYL CHLORIDE
E	EAST	R	RISER
EA	EACH	RA	RETURN AIR
EJ	EXPANSION JOINT	RAD	RADIUS
ELEV	ELEVATION	REFER	REFRIGERATOR
ELEC	ELECTRIC(AL)	REF	REFERENCE
EMER	EMERGENCY	REFL	REFLECT(ED), (IVE), (OR)
EQ	EQUIP	REIN	REINFORCE(D), (ING)
EW	ELECTRICAL WATER COOLER	REQ	REQUIRE(D)
EXH	EXHAUST	REV	REVISION(S), REVISED
EXIST	EXISTING	RH	RIGHT HAND
EXT	EXTERIOR	ROOF	ROUGH OPENING
FD	FLOOR DRAIN	ROW	RIGHT OF WAY
FE	FIRE EXTINGUISHER	S	SOUTH
FDN	FOUNDATION	SC	SOLID CORE
FEC	FIRE EXTINGUISHER CABINET	SEC	SECTION
FEE	FINISH FLOOR ELEVATION	SF	SQUARE FOOT (FEET)
FHC	FIRE HOSE CABINET	SHT	SHEET
FIN	FINISH(ED)	SIM	SIMILAR
FJ	FLOOR JOIST	SPEC	SPECIFICATION(S)
FLR	FLOOR(ING)	SO	SQUARE
FLUOR	FLUORESCENT	SS	STAINLESS STEEL
FUR	FURFACE OF CONCRETE	STC	SOUND TRANSMISSION CLASS
FUR	FURFACE OF FINISH	STD	STANDARD
FOM	FACE OF MASONRY	STR	STRUCTURE
FOS	FACE OF STUDS	SCHED	SCHEDULE
FT	FEET/FOOT	SYN	SYMMETRY(ICAL)
FTG	FOOTING		
FUR	FURRED(ING)		
GA	GAGE/GAUGE		
GI	GALVANIZED IRON		
GL	GLASS, GLAZING		
GLB	GLUE LAMINATED BEAM		
GR	GRADE		
GYP	GYPSON		

DRAWING INDEX

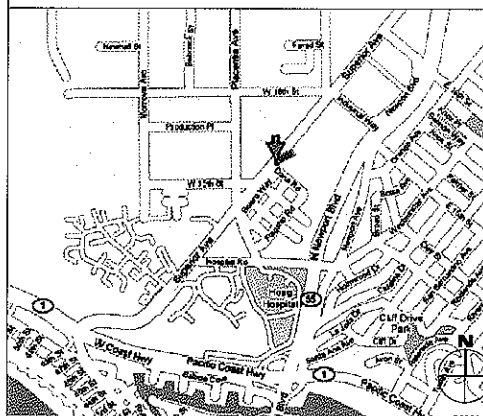
ARCHITECTURAL DRAWINGS
A010 TITLE SHEET
A100 OVERALL SITE PLAN
A200 ENLARGED SITE PLAN / FLOOR PLAN
A400 EXTERIOR ELEVATIONS & CASHIER COUNTER ELEVATIONS

CIVIL DRAWINGS
C101 GRADING AND DRAINAGE PLAN
C102 UTILITY PLAN
1 TOPOGRAPHIC SURVEY

SCOPE OF WORK

- PROVIDE A NEW MODULAR BUILDING WHICH WILL SERVE AS A TEMPORARY CAFE FOR THE EXISTING HOAG HEALTH CENTER. THE SITE IS CURRENTLY BOUND BY TWO PARKING GARAGES. FINAL DESIGN, PERMITTING AND INSPECTIONS OF ALL BUILDING AND SITE SYSTEMS WILL BE BY THE DESIGN/BUILD CONTRACTOR.

VICINITY MAP

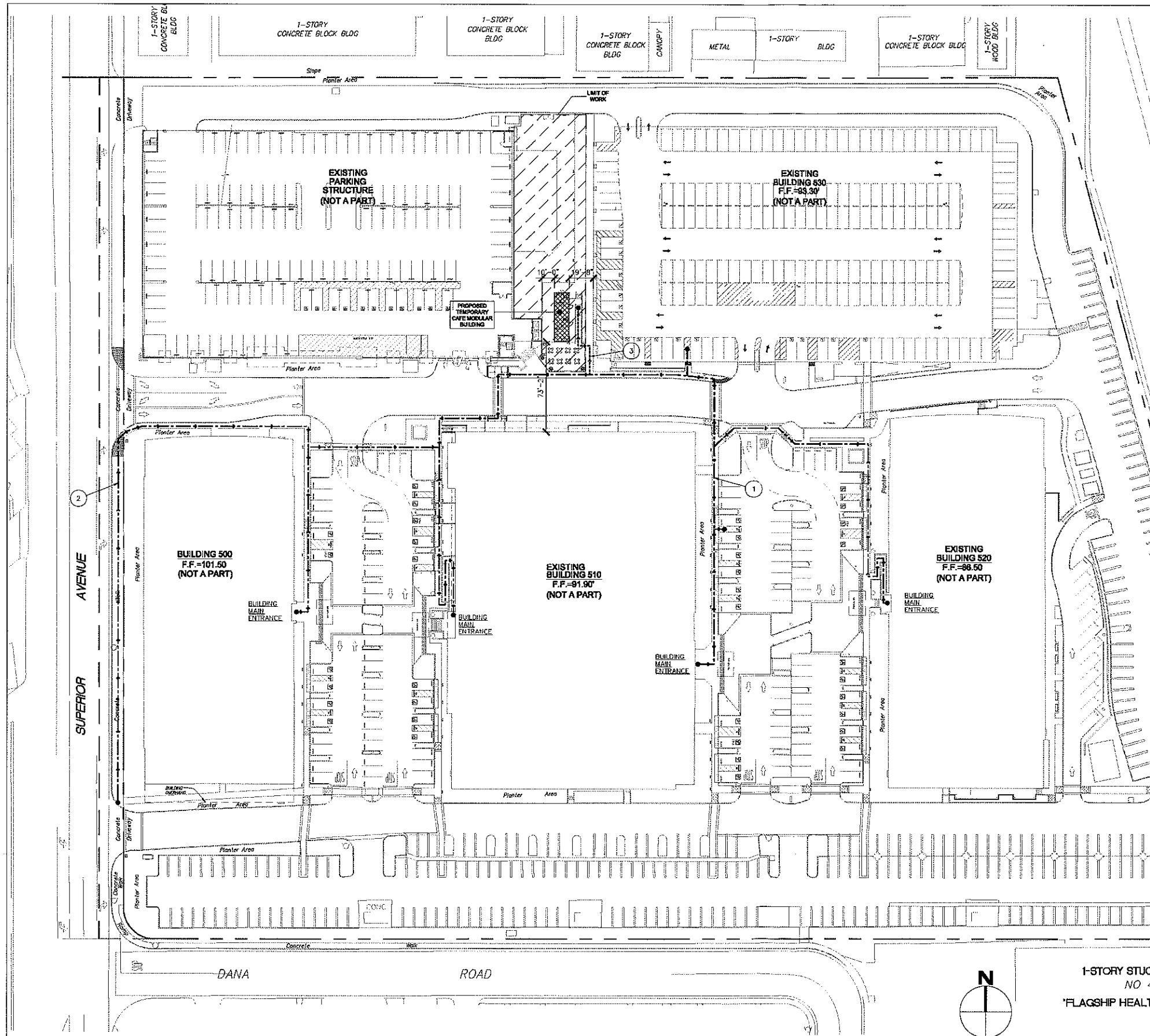


ABBREVIATIONS (CONT.)

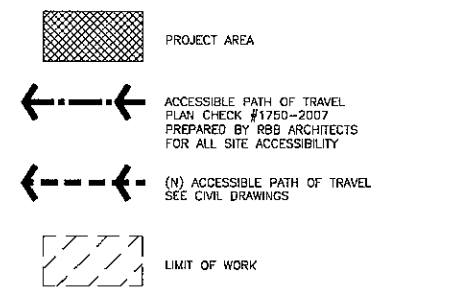
T	TREAD	<	ANGLE
TC	TOP OF CURB	@	AT
TEL	TELEPHONE	<	CENTERLINE
T&G	TONGUE AND GROVE	<	CHANNEL
THK	THICK(NESS)	<	OVER
TSL	TOP OF SLAB	<	PENNY
TST	TOP OF STEEL	<	PLATE
TW	TOP OF WALL	<	DIAMETER
TYP	TYPICAL	<	SQUARE FOOT (FEET)
UC	UNDERCUT	<	WITH
UNO	UNLESS NOTED OTHERWISE	<	WITHOUT
UR	URNAL	<	PROPERTY LINE
VCT	VINYL COMPOSITION TILE	<	POUND OR NUMBER
VERT	VERTICAL	<	EXISTING
VIN	VINYL	<	NEW
W	WEST, WIDTH, WIDE	<	REMOVE
WC	WATER CLOSET	<	REMOVE AND RELOCATE
WD	WOOD		
WI	WROUGHT IRON		
WP	WATERPROOFING		
WR	WATER RESISTANT		
WST	WAINSCOT		
WWM	WELDED WIRE MESH		



If this sheet is not 24\"/>



- 1 ACCESSIBLE PATH OF TRAVEL FROM ACCESSIBLE PARKING STALLS TO BUILDING ENTRANCE PER PC# 1750-2007
- 2 ACCESSIBLE PATH OF TRAVEL FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE PER PC# 1750-2007
- 3 NEW ACCESSIBLE PATH OF TRAVEL, SEE CIVIL DRAWINGS



SITE PLAN
SCALE: 1" = 40'-0"

LEGEND
SCALE: N.T.S.

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BURGHARD
SWAIN
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APD CONSULTANTS, INC.
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IRVINE, CA 92618
(949) 336-6336
FAX (949) 336-6338

CONSULTANTS
ISSUED FOR BIDDING: 1/15/10

REVISIONS

APPROVAL
DESIGN/BUILD BID PACKAGE
PROJ - T PHASE



HOAG HEALTH CENTER
TEMPORARY CAFE
MODULAR BUILDING
500 SUPERIOR AVE.
NEWPORT BEACH, CA 92663-3857

PROJECT NAME
09078A

PROJECT NUMBER

OVERALL
SITE PLAN

SHEET TITLE

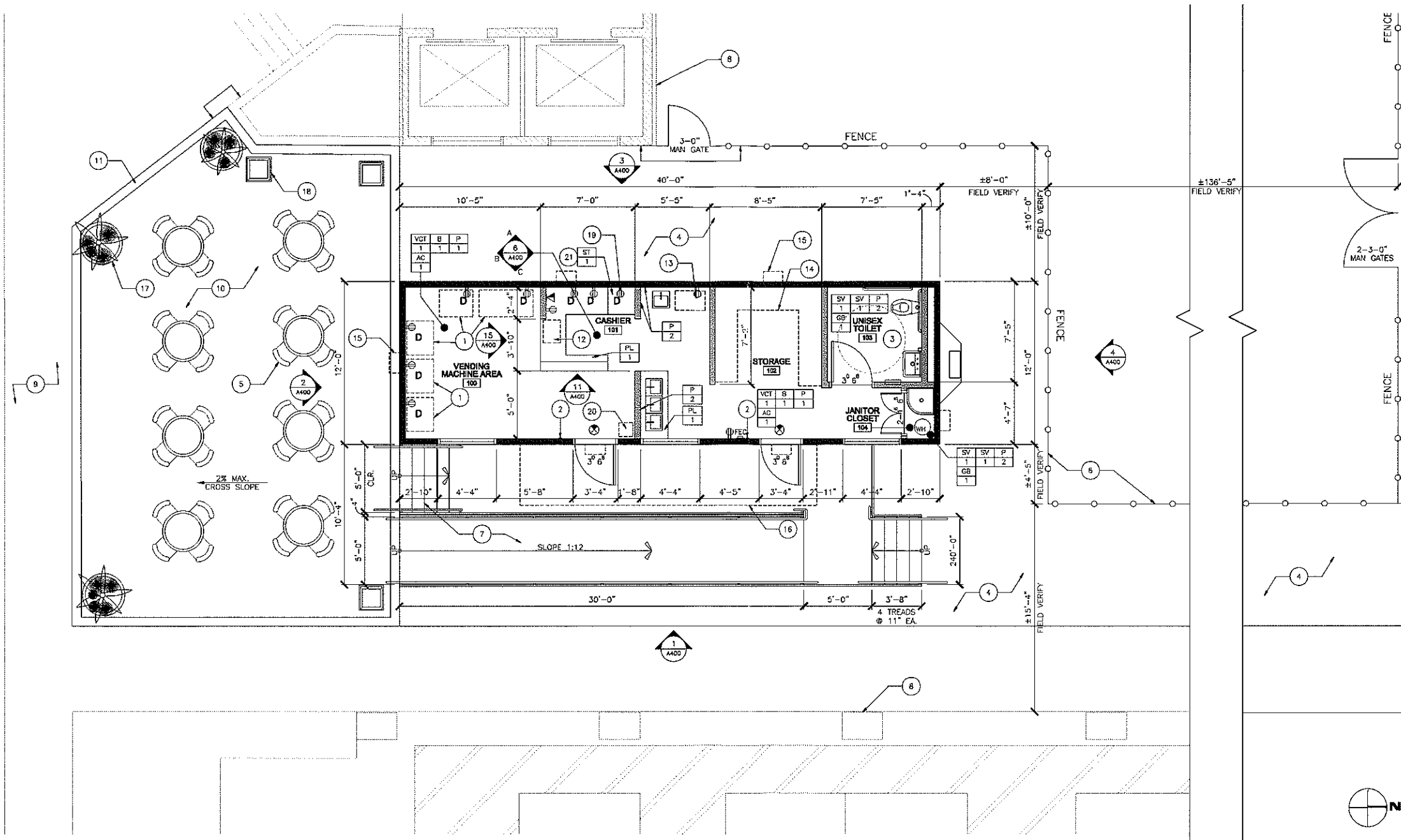
A100

SHEET NUMBER

AS SHOWN 12/11/2009
SCAL **DATE**



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ENLARGED SITE PLAN / FLOOR PLAN 1
SCALE: 1/4\"/>

1. DOOR FRAMES TO BE PAINTED, SEMI-GLOSS.
2. ALL PAINTS ARE TO BE LOW SHEEN UNLESS NOTED OTHERWISE.
3. ALL FURNITURE IS OWNER FURNISHED, OWNER INSTALLED, (U.N.O.)
4. PAINT ALL WINDOW FRAMES, SEMI GLOSS.
5. ALL GYPSUM BOARD CEILINGS TO BE PAINTED, LOW-GLOW, (U.N.O.)
6. ALL SHEET VINYL TO HAVE WELDED SEAMS WITH 6\"/>

FLOOR COVERING								
VCT1	VINYL COMPOSITE TILE							
SV1	SHEET VINYL							
WALL FINISH								
P1	LOW SHEEN PAINT							
P2	WATER PROOF PAINT, PROVIDE F.R.P. TO 48" A.F.F.							
CEILING FINISH								
AC1	ACOUSTIC TILE 24"x24" SYSTEM							
GB1	GYPSUM BOARD; SMOOTH SANDED FINISH PAINTED							
BASE FINISH								
B1	RUBBER BASE 6" COVERED							
SV1	SHEET VINYL 6" INTEGRAL COVE BASE							
CASEWORK FINISH								
PL1	PLASTIC LAMINATE CABINET FACE							
ST1	STAINLESS STEEL COUNTER TOP							
<table><tr><td>VCT</td><td>B</td><td>P</td></tr><tr><td>1</td><td>1</td><td>1</td></tr></table> FLOOR / BASE / WALL FINISH			VCT	B	P	1	1	1
VCT	B	P						
1	1	1						
<table><tr><td>PL</td><td>1</td></tr></table> FACE OF CABINET			PL	1				
PL	1							

- DUPLEX OUTLET MOUNTED 18\"/>
- DEDICATED DUPLEX OUTLET MOUNTED 18\"/>
- TELEPHONE/DATA OUTLET
- ALIGN
- WATER HEATER
- FIRE EXTINGUISHER CABINET
- ILLUMINATED EXIT SIGN

- 1 VENDING MACHINE, BY OWNER
- 2 PROVIDE TACTILE EXIT SIGNAGE PER 2007 CBC REQUIREMENTS
- 3 ACCESSIBLE TOILET ROOM PER 2007 CBC REQUIREMENTS
- 4 NEW AC PAVING AREA, SEE CIVIL DRAWINGS
- 5 NEW TEMPORARY SEATING AREA, SEATING TYPE AND LOCATION TBD BY OWNER
- 6 TEMPORARY FENCE WITH PRIVACY FABRIC SPECIFIED BY OWNER TO BE PROVIDED DURING CONSTRUCTION
- 7 ACCESSIBLE RAMP AND STAIRS PER 2007 CBC REQUIREMENTS TO BE PROVIDED AS DESIGN/BUILD BY CONTRACTOR
- 8 EXISTING ADJACENT PARKING STRUCTURE
- 9 EXISTING SIDEWALK
- 10 INTERLOCKING BRICK PATTERN - MATCH EXISTING SITE CONDITIONS
- 11 BRICK TRIM - MATCH EXISTING SITE CONDITIONS
- 12 CASH REGISTER - OWNER FURNISHED, OWNER INSTALLED

- 13 CART - OWNER FURNISHED, OWNER INSTALLED
- 14 OPEN WIRE SHELVES - OWNER FURNISHED, CONTRACTOR INSTALLED
- 15 WALL PACK LIGHTING
- 16 LINE OF 4\"/>
- 17 RELOCATED EXISTING PLANTER POTS - OWNER FURNISHED, CONTRACTOR INSTALLED
- 18 NEW SITE TRASH CANS TO MATCH EXISTING ON SITE - OWNER FURNISHED, OWNER INSTALLED
- 19 DEDICATED 208V OUTLET FOR ESPRESSO MACHINE
- 20 TRASH CAN - OWNER FURNISHED, OWNER INSTALLED
- 21 PROVIDE 24\"/>

FINISH NOTES 5
SCALE: FULL

FINISH LEGEND & SCHEDULE 4
SCALE: FULL

FLOOR PLAN LEGEND 3
SCALE: FULL

KEYNOTES 2
SCALE: FULL

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CONSULTANTS

- A ISSUED FOR BIDDING: 1/15/10
- A USE PERMIT SUBMITTAL: 1/21/10

REVISIONS

APPROVAL

DESIGN/BUILD BID PACKAGE

PROJ T PHASE

HOAG
HOSPITAL

HOAG HEALTH CENTER
TEMPORARY CAFE
MODULAR BUILDING
500 SUPERIOR AVE.
NEWPORT BEACH, CA 92663-3857

PROJECT NAME

09078A

PROJECT NUMBER

ENLARGED SITE PLAN /
FLOOR PLAN

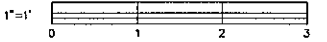
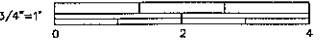
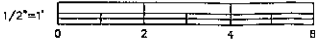
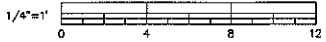
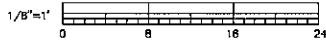
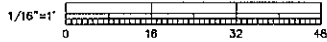
SHEET TITLE

A200

SHEET NUMBER

AS SHOWN 12/11/2009

SCALE DATE



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CONSULTANTS

ISSUED FOR BIDDING: 1/15/10

REVISIONS

APPROVAL

DESIGN/BUILD BID PACKAGE

PROJECT PHASE

HOAG
HOSPITAL

HOAG HEALTH CENTER
TEMPORARY CAFE
MODULAR BUILDING
500 SUPERIOR AVE.
NEWPORT BEACH, CA 92663-3657

PROJECT NAME

09078A

PROJECT NUMBER

EXTERIOR ELEVATIONS
& CASHIER COUNTER
ELEVATIONS

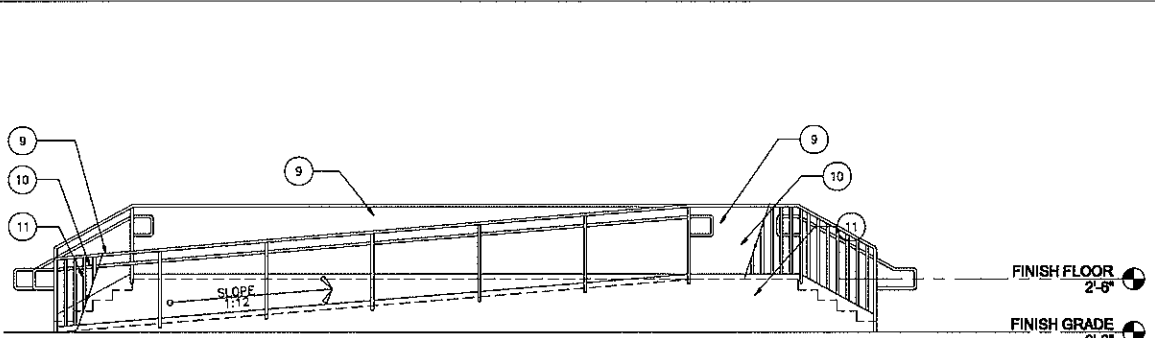
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A400

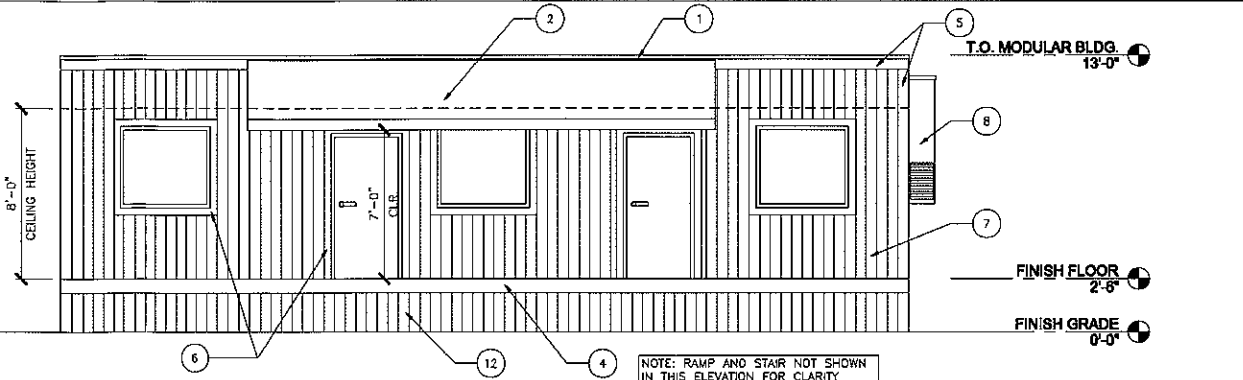
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AS SHOWN 12/11/2009

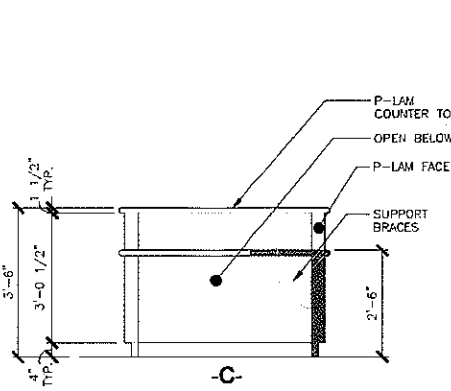
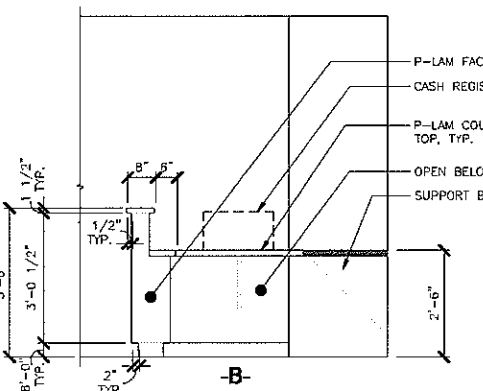
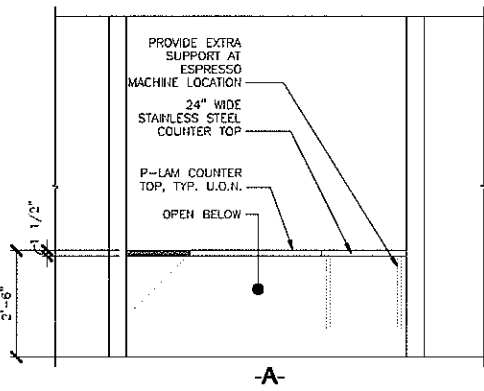
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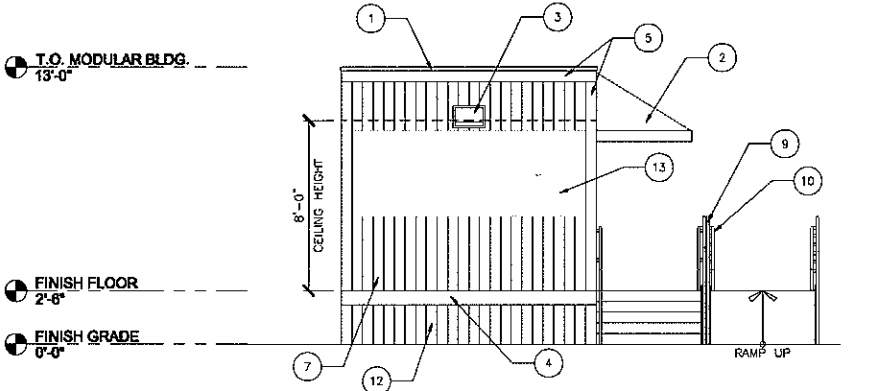
EAST ELEVATION (RAMP AND STAIR) 9
SCALE: 1/4" = 1'-0"



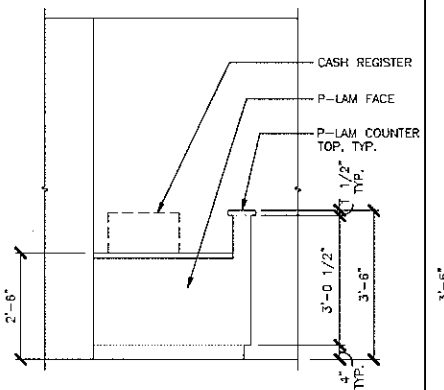
EAST ELEVATION 1
SCALE: 1/4" = 1'-0"



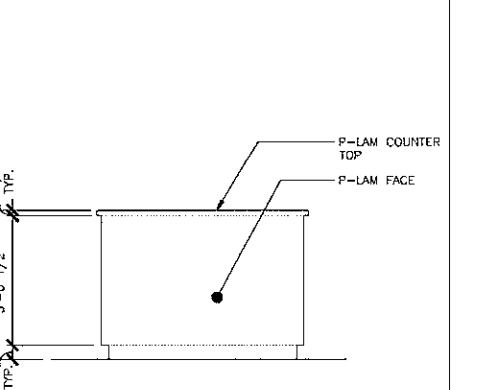
CASHIER COUNTER ELEVATIONS 6
SCALE: 1/2" = 1'-0"



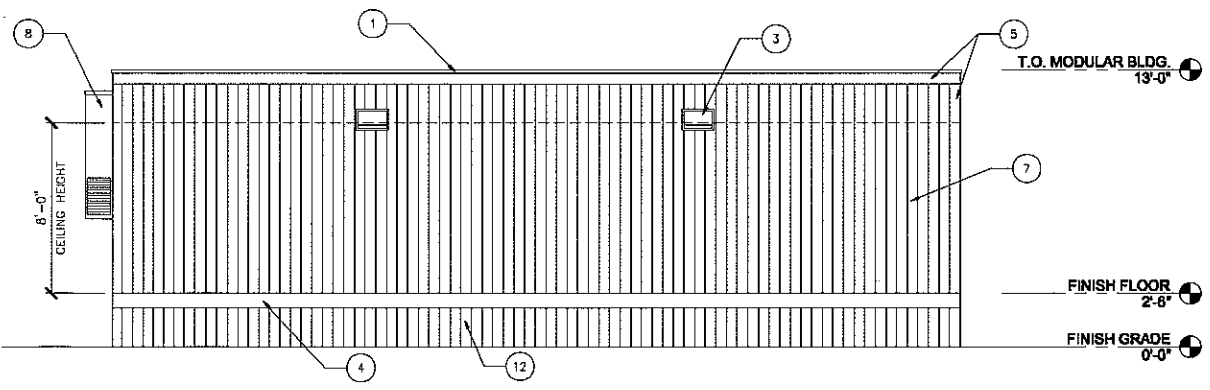
SOUTH ELEVATION 2
SCALE: 1/4" = 1'-0"



CASHIER COUNTER ELEVATIONS 15
SCALE: 1/2" = 1'-0"



CASHIER COUNTER ELEVATIONS 11
SCALE: 1/2" = 1'-0"

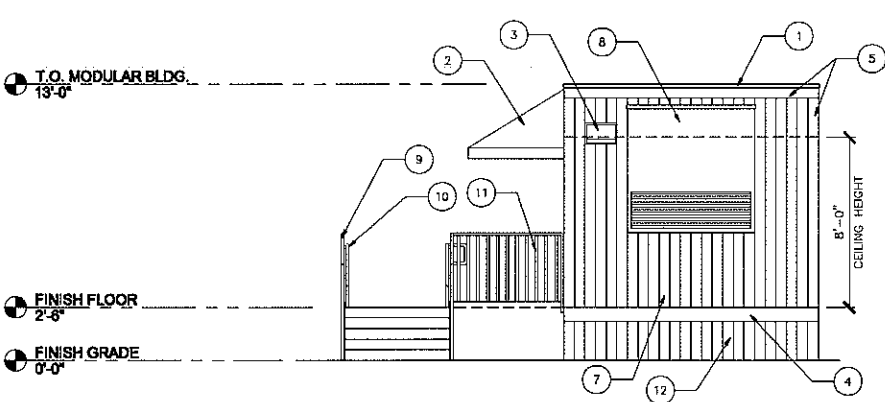


WEST ELEVATION 3
SCALE: 1/4" = 1'-0"

- 1 SHEET METAL CAP FLASHING
- 2 CANVAS AWNING AT ENTRY
- 3 WALL PACK LIGHTS
- 4 6" MASONITE TRIM PAINTED ACCENT COLOR TO MATCH EXISTING CAMPUS
- 5 6" MASONITE TRIM PAINTED ACCENT COLOR TO MATCH EXISTING CAMPUS
- 6 4" MASONITE TRIM PAINTED ACCENT COLOR TO MATCH EXISTING CAMPUS
- 7 MODULAR BUILDING BODY PANELING PER MODULAR BUILDING MFR. PAINT FIELD COLOR TO MATCH EXISTING CAMPUS
- 8 HVAC UNIT PER MODULAR BUILDING MFR.
- 9 GUARDRAIL PER 2007 CBC REQUIREMENTS DESIGN/BUILD BY CONTRACTOR
- 10 HANDRAIL PER 2007 CBC REQUIREMENTS DESIGN/BUILD BY CONTRACTOR
- 11 VERTICAL RAILING ALONG LENGTH OF GUARDRAILS PER 2007 CBC REQUIREMENTS DESIGN/BUILD BY CONTRACTOR
- 12 MODULAR BUILDING SKIRTING. PAINT FIELD COLOR TO MATCH EXISTING CAMPUS

13 AREA DEDICATED FOR NON-ILLUMINATED SIGNAGE

KEYNOTES 8
SCALE: FULL



NORTH ELEVATION 4
SCALE: 1/4" = 1'-0"