

**CITY OF NEWPORT BEACH
PLANNING DEPARTMENT ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION
FROM: James W. Campbell, Acting Planning Director
SUBJECT: Report of actions taken by the Zoning Administrator, Planning Director and/or Planning Department staff for the week ending January 14, 2011.

ACTIONS TAKEN AT JANUARY 13, 2011 ZONING ADMINISTRATOR HEARING

- Item 1: Modification Permit No MD2010-016 (PA2010-130)
8 Via Burrone

This item was continued to the 01/27/2011 Zoning Council District 6 Administrator Hearing.
- Item 2: Condominium Conversion No. CC2010-006 and Parcel Map No. NP2010-009 (PA2010-168)
500 39th Street Units A & B

This item was approved. Council District 1
- Item 3: Use Permit No. UP2010-032 (PA2010-144)
406 32nd Street

This item was approved as modified. Council District 1
- Item 4: Use Permit No. UP2010-036 (PA2010-155)
3107 Newport Boulevard

This item was continued to the 01/27/2011 Zoning Council District 1 Administrator Hearing.



James W. Campbell, Acting Planning Director:

APPEAL PERIOD: Modification Permit applications do not become effective until 14 days after the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code. Tentative Parcel Map, Condominium Conversion, Lot Merger, and Lot Line Adjustment applications do not become effective until 10 days following the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code.

Email Dana Smith, Assistant City Manager
Leonie Mulvihill, Assistant City Attorney
David Keely, Public Works Senior Civil Engineer
Code Enforcement Division
Bryan Moore, NBPD
Sgt. John Freeman, NBPD



ZONING ADMINISTRATOR ACTION LETTER

PLANNING DEPARTMENT
3300 NEWPORT BOULEVARD
NEWPORT BEACH, CA 92663
(949) 644-3200 FAX (949) 644-3229

Application No. **Condominium Conversion No. CC2010-006**
Parcel Map No. NP2010-009
County Tentative Parcel Map No. 2009-116
(PA2010-168)

Applicant **Ben C. Anderson**

Site Address **500 39th Street Units A & B**
Anderson Residence Condo Conversion

Legal Description **Canal Section Lot 1, Block 538**

On January 13, 2011, the Zoning Administrator approved the following: A condominium conversion to convert a duplex into a condominium project. The code required two-car parking per unit will be provided. No exceptions to the Title 19 development standards are proposed with this application. The property is located in the R-2 (Two-Family Residential) Zoning District. The Zoning Administrator's approval is based on the following findings and subject to the following condition(s).

FINDINGS

For Condominium Conversion No. CC2010-006

1. The Project conforms to the standards of Section 19.64.070 of Title 19 of the City of Newport Beach Municipal Code.

Facts in Support of Findings

- The property has the required four parking spaces for the existing two dwelling units.
- As conditioned, each dwelling unit within a building will have a separate sewer connection to the City sewer prior to final of the condominium conversion permit.
- As conditioned, each sewer lateral will be retrofitted/fitted with a cleanout at the property line prior to final of the condominium conversion permit.
- As conditioned, each unit will maintain water meter and water meter connection prior to final of the condominium conversion permit.

- As conditioned, electrical service connection will comply with the requirements of Chapter 15.32 of the Municipal Code prior to final of the condominium conversion permit.
 - A special inspection for the Building Department was performed on January 4, 2011.
 - As conditioned, the project will substantially comply with all applicable standard plans and specifications, adopted City and State Building Codes, and zoning requirements for new buildings related to the district in which the proposed project is located at the time of original construction.
 - As conditioned, the project will comply with this requirement prior to recordation of the final parcel map.
 - The project is consistent with the adopted goals and policies of the Land Use Element and other Elements of the General Plan and the Local Coastal Program Land Use Plan. The project site is designated as RT (Two-Unit Residential) by the Land Use Element of the General Plan and as RT-D (Two-Unit Residential) by the Coastal Land Use Plan (CLUP). The proposed project is consistent with the RT land use category, which is intended to provide for a range of two-family dwelling units such as duplexes and townhomes.
-
- An existing two-unit dwelling will be converted into a two-unit condominium project. The residential density on the site will remain the same.
 - The application of the project conditions provided below will ensure the health, safety, peace, comfort, and general welfare of persons residing or working in the neighborhood and the City.
 - The design of the development will not conflict with any easements acquired by the public-at-large for access through or use of property within the proposed development.
 - Public improvements will be required of the applicants per the Municipal Code and the Subdivision Map Act.
 - This project has been reviewed, and it has been determined that it is categorically exempt from the requirements of the California Environmental Quality Act under Section 15315, Class 15 (Minor Land Divisions), which exempts the division of property in areas zoned for residential uses into four or fewer parcels when the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope greater than 20 percent.

For Parcel Map No. NP2010-009

The Zoning Administrator determined, in this case that the proposed parcel map is consistent with the legislative intent of Title 20 of the Newport Beach Municipal Code and is approved based on the following findings per Section 19.12.070 of Title 19 (Subdivision Code):

Facts in Support of Findings

- The proposed parcel map is to create one parcel of land for two unit condominium purposes. An existing duplex will be converted to a two unit condominium project. The residential density on the site will remain the same. The proposed subdivision and improvements are consistent with the density of the R-2 Zoning District and the current General Plan Land Use Designation RT (Two-Unit Residential).
- The subject parcel, located at the corner of Finley Avenue/Channel Place/39th Street, has an area of 3,990 square feet. The lot is generally rectangular in shape with a slope of less than 20 percent and is suitable for the development.
- The project is categorically exempt from the requirements of the California Environmental Quality Act under Class 15 (Minor Land Divisions) because it consists of a division of four or fewer parcels, is not involved in a division of a larger parcel within the previous two years, and does not have an average slope greater than 20 percent.
- The proposed parcel map is for residential condominium purposes. The construction of the proposed condominiums will comply with all Building, Public Works, and Fire Codes. Public improvements will be required of the developer per Section 19.28.010 of the Municipal Code and Section 66411 of the Subdivision Map Act. All ordinances of the City and all Conditions of Approval will be complied with.
- The design of the development will not conflict with any easements acquired by the public at large for access through or use of property within the proposed development.
- The project site is not subject to a Williamson Act contract as it is developed with a single family residence with no agricultural resources are present.
- The property is not a "land project" as defined in Section 11000.5 of the California Business and Professions Code, and is not located within a specific plan area.
- The proposed Parcel Map and improvements are subject to Title 24 of the California Building Code that requires new construction to meet minimum heating

and cooling efficiency standards depending on location and climate. The Newport Beach Building Department enforces Title 24 compliance through the plan check and inspection process.

- The proposed subdivision is consistent with Section 66412.3 of the Subdivision Map Act and Section 65584 of the California Government Code regarding the City's share of the regional housing need. The residential density on the site will remain the same. No affordable housing units are being eliminated based upon the fact that the previously existing units were not occupied by low or moderate income households and the proposed number of units remains the same.
- Wastewater discharge into the existing sewer system will remain the same and does not violate Regional Water Quality Control Board (RWQCB) requirements.
- The proposed parcel map is located in the Coastal Zone, and there is no public access or recreation area located on the site. The subdivision conforms to the certified Local Coastal Program. The project site is designated as RT-E (Two-Unit Residential) by the Coastal Land Use Plan (CLUP) which allows for two unit residential use.

CONDITIONS

For Condominium Conversion No. CC2010-006

1. The project shall be in substantial conformance with the submitted plot plan, floor plans and elevations, except as noted below.
2. No more than two dwelling units shall be permitted on the site.
3. All work conducted within the public right-of-way shall be approved under an encroachment permit issued by the Public Works Department.
4. Each of the tenants of the proposed condominium shall be given 180 days' written notice of intention to convert, prior to the termination of tenancy due to the proposed conversion.
5. Each of the tenants of the proposed condominium shall be given written notification within 10 days of the approval of the condominium conversion permit establishing the proposed condominium conversion. Proof of said notification shall be provided to the Planning Department.
6. Each of the tenants of the proposed condominium shall be given notice of an exclusive right to contract for the purchase of their respective units upon the same terms and conditions that such units will be initially offered to the general public or terms more favorable to the tenant. Such right shall run for a period of not less than 90 days prior to the initial public offer for sale, unless the tenant gives prior written notice of his or her intention not to exercise the right. Prior to final of the

condominium conversion permit, the applicant shall provide a copy of the written verification forwarded to the tenants and said verification shall be presented to the Planning Department.

7. Two-car parking, including one covered space, shall be provided on site for each dwelling unit per requirements of the Zoning Code. All parking spaces shall be maintained clear of obstructions for the parking of vehicles at all times.
8. Each unit shall be served by its individual water service/meter and sewer lateral/cleanout. Each water meter and sewer cleanout shall be installed with a traffic-grade box and cover. This work shall be completed prior to final of the condominium conversion permit.
9. All existing drainage facilities in the public right-of-way shall be retrofitted to comply with the City's on-site non-storm runoff retention requirements. All on-site drainage shall comply with the latest City Water Quality requirements.
10. The electrical service connection shall comply with the requirements of Chapter 15.32 of the Municipal Code.
11. All improvements shall be constructed as required by Ordinance and the Public Works Department.
12. If any of the existing public improvements surrounding the site are damaged, new concrete, sidewalk, curb and gutter, and alley/street pavement will be required and 100% paid by the owner. Said determination and the extent of the repair work shall be made at the discretion of the Public Works Inspector.
13. A new ADA compliant curb access ramp shall be constructed at the Finley Avenue/Channel Place/39th Street curb return.
14. Smoke detectors shall be provided in each bedroom.
15. The corrections listed by the Building Department in the special inspection report shall be made prior to final of the condominium conversion permit.
16. The property owner shall provide information to the Building Department that the roof is a Class C fire retardant roof as certified by a roofing contractor.
17. Arrangements shall be made with the Public Works Department in order to guarantee satisfactory completion of the public improvements if it is desired to record a parcel map or obtain a building permit prior to completion of the public improvements.
18. The building permit obtained from the Building Department in order to convert the subject residential units into condominiums shall be finalized after the Parcel Map for Condominium Purposes has been recorded with the County of Orange and all

conditions of approval have been completed and verified by the Planning Department.

19. This condominium conversion approval shall expire unless exercised within 24 months from the date of approval, as specified in Section 20.93.050 of the Newport Beach Municipal Code.
20. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Anderson Residence Condo Conversion including, but not limited to, the CC2010-006 (PA2010-168). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

For Parcel Map No. NP2010-009

1. A parcel map shall be recorded. The map shall be prepared on the California coordinate system (NAD83). Prior to recordation of the map, the surveyor/engineer preparing the map shall submit to the County Surveyor and the City of Newport Beach a digital-graphic file of said map in a manner described in Section 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18. The map to be submitted to the City of Newport Beach shall comply with the City's CADD Standards. Scanned images will not be accepted.
2. Prior to recordation of the Parcel Map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County Surveyor in a manner described in Sections 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18. Monuments (one inch iron pipe with tag) shall be set on each lot corner, unless otherwise approved by the Subdivision Engineer. Monuments shall be protected in place if installed prior to completion of construction project.
3. All applicable Public Works Department plan check fees, improvement bonds and inspection fees shall be paid prior to processing of the map by the Public Works Department.

4. County Sanitation District fees shall be paid prior to issuance of any building permits, if required by the Public Works Department or the Building Department.
5. Coastal Commission approval shall be obtained prior to the recordation of the Parcel Map.
6. All improvements shall be constructed as required by City Ordinance and the Public Works Department.
7. Additional Public Works improvements, including street and alley reconstruction, work may be required at the discretion of the Public Works Inspector.
8. In case of damage done to public improvements surrounding the development site by the private construction, additional reconstruction within the public right-of-way could be required at the discretion of the Public Works Inspector.
9. A new ADA compliant curb access ramp shall be constructed at the Finley Avenue/Channel Place/39th Street curb return.
10. All work conducted within the public right-of-way shall be approved under an encroachment permit issued by the Public Works Department.
11. Arrangements shall be made with the Public Works Department in order to guarantee satisfactory completion of the public improvements if it is desired to record a parcel map or obtain a building permit prior to completion of the public improvements.
12. Overhead utilities serving the site shall be undergrounded to the nearest appropriate pole in accordance with Section 19.28.090 of the Municipal Code unless it is determined by the City Engineer that such undergrounding is unreasonable or impractical.
13. Each unit shall be connected to its individual water meter and sewer lateral and cleanout located within the public right-of-way. If installed at a location that will be subjected to vehicle traffic, each water meter and sewer cleanout shall be installed with a traffic-grade box/frame and cover.
14. Each dwelling unit shall be served with an individual water service and sewer lateral connection to the public water and sewer systems, unless otherwise approved by the Public Works Department and the Building Department.
15. Each dwelling unit shall be served with individual gas and electrical service connection and shall maintain separate meters for the utilities.
16. Two-car parking, including one enclosed garage space, shall be provided on site for each dwelling unit per requirements of the Zoning Code.

17. All on-site drainage shall comply with the latest City Water Quality requirements.
18. All existing drainage facilities in the public right-of-way shall be retrofitted to comply with the City's on-site non-storm runoff retention requirements. The Public Works Inspector shall field verify compliance with this requirement prior to recordation of the parcel map.
19. Disruption caused by construction work along roadways and by movement of construction vehicles shall be minimized by proper use of traffic control equipment and flagmen. Traffic control and transportation of equipment and materials shall be conducted in accordance with state and local requirements.
20. In compliance with the requirements of Chapter 9.04, Section 901.4.4, of the Newport Beach Municipal Code, approved street numbers or addresses shall be placed on all new and existing buildings in such a location that is plainly visible and legible from the street or road fronting the subject property. Said numbers shall be of non-combustible materials, shall contrast with the background, and shall be either internally or externally illuminated to be visible at night. Numbers shall be no less than four inches in height with a one-inch wide stroke. The Planning Department Plan Check designee shall verify the installation of the approved street number or addresses during the plan check process for the new or remodeled structure.
21. Subsequent to recordation of the Parcel Map, the applicant shall apply for a building permit for description change of the subject project development from "duplex" to "condominium." **The development will not be condominiums until this permit is finalized.** The building permit for the new construction shall not be finalized until after recordation of the Parcel Map.
22. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees; and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Anderson Residence Condo Conversion including, but not limited to, the CC2010-006 (PA2010-168). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD: Tentative Parcel Map and Condominium Conversion applications do not become effective until 10 days following the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code. For additional information on filing an appeal, contact the Planning Department at 949 644-3200.

By: 
Gregg Ramirez, Zoning Administrator

GR/ems

Attachments: Vicinity Map

VICINITY MAP



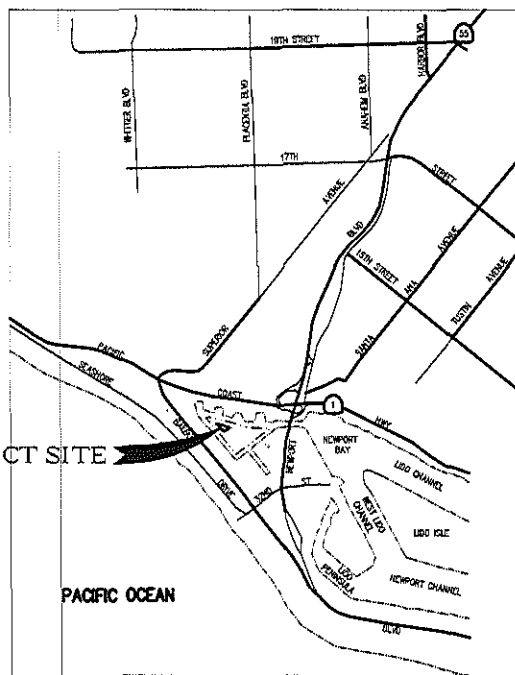
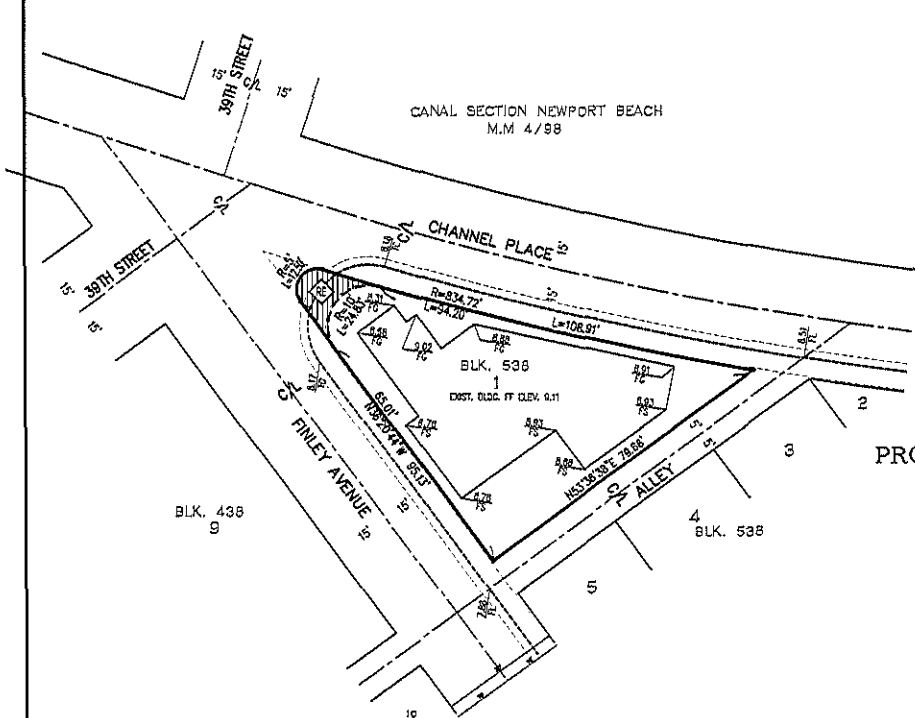
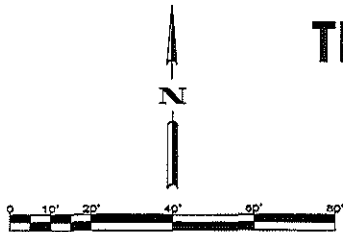
Condominium Conversion No. CC2010-006
PA2010-168

500 39th Street Units A & B

TENTATIVE PARCEL MAP NO. 2009-116

500 39TH STREET

NEWPORT BEACH, CALIFORNIA



VICINITY MAP
2008 TG 888/G7

LEGAL DESCRIPTION

LOT 1 IN BLOCK 538 OF "CANAL BEACH, NEWPORT BEACH", IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP THEREOF RECORDED IN BOOK 4, PAGE 98 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY.

APN: 423-064-01

EASEMENTS

AN EASEMENT FOR PUBLIC USE, INCLUDING STREET, HIGHWAY AND SIDEWALK PURPOSES AND INCIDENTAL PURPOSES, RECORDED OCTOBER 5, 1994 AS INSTRUMENT NO. 94-0598769 OF OFFICIAL RECORDS, IN FAVOR OF THE CITY OF NEWPORT BEACH.

BENCHMARK

U-1415
NAD 88
ELEV.=9.196

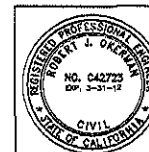
DESCRIBED BY THE NATIONAL GEODETIC SURVEY 1989 IN NEWPORT BEACH AT 3700 NEWPORT BOULEVARD, IN A CONCRETE SEAWALL, 7.5 FEET NORTH OF THE NORTHWEST END OF THE BEACH, 1 FOOT EAST OF THE NORTH END OF A BLOCKWALL AND 0.6 FEET SOUTH OF THE NORTH EDGE OF THE SEAWALL.

BASIS OF BEARINGS

BEARING SHOWN HEREON ARE BASED ON THE BEARING BETWEEN O.C.S. G.P.S. STATION NOS 6287 AND 6288 BEING NORTH 76°33'59.53" WEST.

PREPARED FOR:

ANDERSON FAMILY TRUST
500 39TH STREET
NEWPORT BEACH, CA 92663



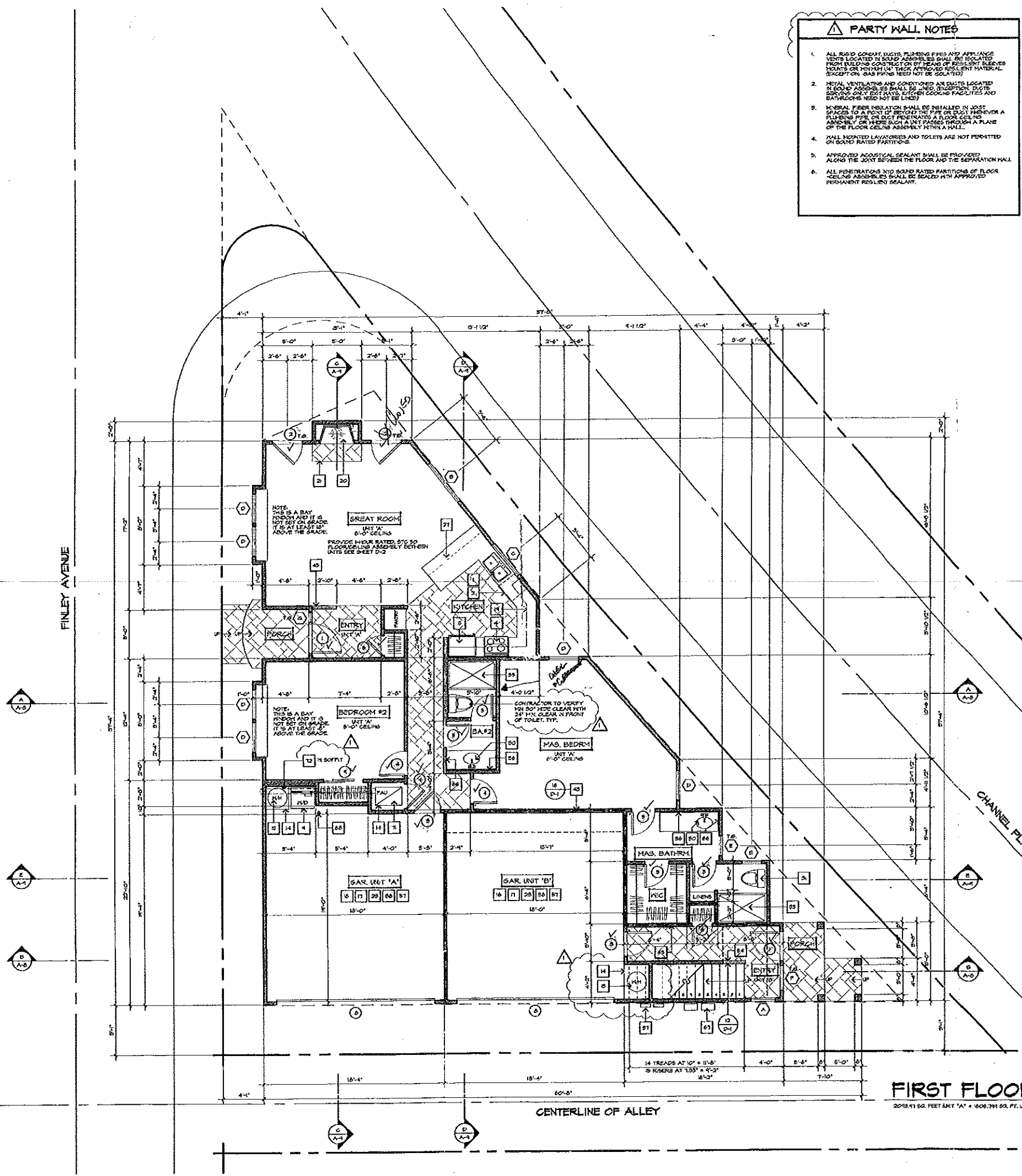
PREPARED BY:

PHB & ASSOCIATES, INC.
7630 SOUTH GRAND AVENUE, GLENDBORA, CALIFORNIA 91740
(626) 914-0254 FAX: (626) 914-0736

ROBERT J. OCKERMAN
R.C.E. No. C42723 EXP. DATE: 3-31-12

DATE

02/23/2004 9:34 PM
500 39TH STREET.DWG



△ PARTY WALL NOTES

- ALL RIGID CONDUIT, DUCTS, PLUMBING PIPES AND APPLIANCE VENTS LOCATED IN SOFT ASSEMBLIES SHALL BE ISOLATED FROM BUILDING CONSTRUCTION BY MEANS OF RESILIENT BUSHINGS, HOISTS OR MINIMUM 1/4" THICK APPROVED RESILIENT MATERIAL (EXCEPT ON GAS PIPING NEED NOT BE ISOLATED)
- METAL VENTILATING AND CONDITIONED AIR DUCTS LOCATED IN SOFT ASSEMBLIES SHALL BE JINED, EXCEPT ON DUCT SERVING ONLY EXIST RATES, EITHER COOKING FACILITIES AND BATHROOMS NEED NOT BE JINED
- MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES TO A POINT OF BEYOND THE PIPE OR DUCT THEREFOR A PLUMBING PIPE OR DUCT PENETRATING A FLOOR CEILING ASSEMBLY OR WHERE SUCH A UNIT PASSES THROUGH A PLANE OF THE FLOOR CEILING ASSEMBLY WITHIN A WALL.
- WALL MOUNTED LAVATOIRES AND TOILETS ARE NOT PERMITTED ON SOUND RATED PARTITIONS.
- APPROVED ADDITIONAL SEALANT SHALL BE PROVIDED ALONG THE JOINT BETWEEN THE FLOOR AND THE SEPARATION WALL.
- ALL PENETRATIONS INTO SOUND RATED PARTITIONS OF FLOOR CEILING ASSEMBLIES SHALL BE SEALED WITH APPROVED PERMANENT RESILIENT SEALANT.

NEW WALL LEGEND

- NEW 2 X 4 WOOD STUDS AT 16" O.C. WITH R-13 INSULATION AT ALL EXTERIOR WALLS ARE 5-KOVN SHADDED.
- NEW ONE HOUR RATED PARTY WALL WITH MINIMUM 5/8" SO RATING. REFER TO DETAILS.

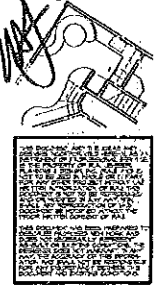
SYMBOL LEGEND

- INDICATES A PLAN NOTE OR FORMER CALL-OUT. SEE PLAN NOTES ON SHEET A-1.
- NEW DOOR SYMBOL. SEE SHEET A-5 FOR DOOR SCHEDULE.
- NEW WINDOW SYMBOL. SEE SHEET A-6 FOR WINDOW SCHEDULE.

NOTE:
ALL ITEMS SHALL BE FIELD VERIFIED WITH THE OWNER DURING THE BIDDING PHASE. OWNER TO SELECT, CONTRACTOR TO INSTALL ALWAYS.

REVISIONS	BY
△ PLAN CHECK 02-23-04	EA
△	
△	

R.A. JEHEBER
PLANNING & DESIGN CONSULTANT
410 32ND STREET, SUITE 202
NEWPORT BEACH, CA 92663
OFFICE: (949) 725-4383
FAX: (949) 725-0719



BCA DEVELOPMENT, INC.
500 39th STREET
NEWPORT BEACH, CALIFORNIA

SHEET TITLE:	
FIRST FLOOR PLAN	
PLOTTED: 02/24/2004	
SCALE: 1/4" = 1'-0"	
JOB NO.: 2002-03	
SHEET	
A-1	

PA2010-168 for CC2010-006 NP2010-009
500 39th Street Units A & B
Ben C. Anderson

FIRST FLOOR PLAN
2013.41 SQ. FEET UNIT 'A' = 604.791 SQ. FT. UNIT 'B' = 491.2 SQ. FT.

03/23/2004 2:22 PM
500 39TH STREET.DWG

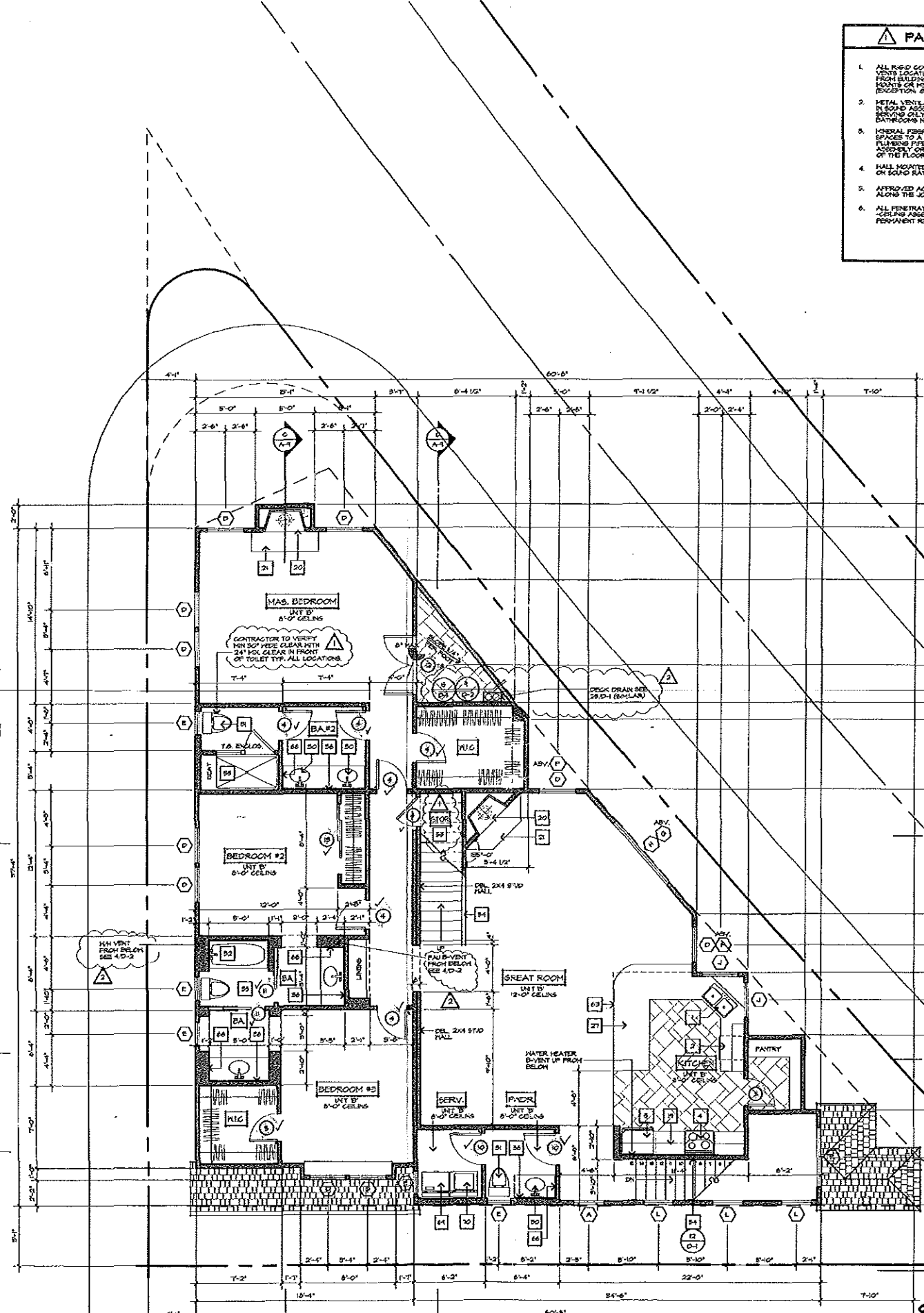
FINLEY AVENUE

CHANNEL PLACE

CENTERLINE OF ALLEY

SECOND FLOOR PLAN

UNIT #1 = 1462X58 SQ. FT.



△ PARTY WALL NOTES

1. ALL RISE CONDIT. DUCTS, PLUMBING PIPES AND APPLIANCE VENTS LOCATED IN SOLID ASSEMBLIES SHALL BE ISOLATED FROM BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES, JOISTS OR HANGERS (E.G. THICK APPROVED RESILIENT MATERIAL - EXCEPTION: GAS PIPING NEED NOT BE ISOLATED)
2. METAL VENTILATING AND CONDITIONED AIR DUCTS LOCATED IN SOLID ASSEMBLIES SHALL BE LINED. EXCEPTION: DUCTS SERVING ONLY EXTERIOR KITCHEN COOKING FACILITIES AND BATHROOMS NEED NOT BE LINED
3. GENERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES TO A POINT 12" BEYOND THE PIPE OR DUCT WHEREVER A PLUMBING PIPE, GAS LINE OR PENETRATES A FLOOR CEILING ASSEMBLY OR WHERE SUCH A UNIT PASSES THROUGH A PLANE OF THE FLOOR CEILING ASSEMBLY WITH A WALL.
4. WALL MOUNTED LAVATORIES AND TOILETS ARE NOT PERMITTED ON SOLID RATED PARTITIONS.
5. APPROVED ACOUSTICAL SEALANT SHALL BE PROVIDED ALONG THE JOINT BETWEEN THE FLOOR AND THE SEPARATION WALL.
6. ALL PENETRATIONS INTO SOLID RATED PARTITIONS OF FLOOR CEILING ASSEMBLIES SHALL BE SEALED WITH APPROVED PERMANENT RESILIENT SEALANT.

NEW WALL LEGEND

NEW 2 X 4 HOOD STUDS AT 18" O.C. WITH R-13 INSULATION AT ALL EXTERIOR WALLS ARE SHOWN SHADDED.

NEW 60R HOUR RATED PARTY WALL WITH MINIMUM STC 50 RATING. REFER TO DETAILS.

SYMBOL LEGEND

□ INDICATES A PLAN NOTE OR FIGURE CALL-OUT. SEE PLAN NOTES ON SHEET A-3.

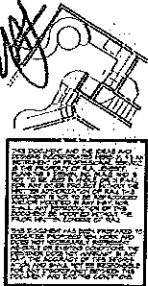
○ NEW DOOR SYMBOL. SEE SHEET A-3 FOR DOOR SCHEDULE.

○ NEW WINDOW SYMBOL. SEE SHEET A-3 FOR WINDOW SCHEDULE.

NOTE: ALL ITEMS SHALL BE FIELD VERIFIED WITH THE OWNER DURING THE BIDDING PHASE. OWNER TO SELECT, CONTRACTOR TO INSTALL ALWAYS.

REVISIONS	BY
1	PLAN CHECK 03-30-04
2	PLAN CHECK 03-30-04
3	

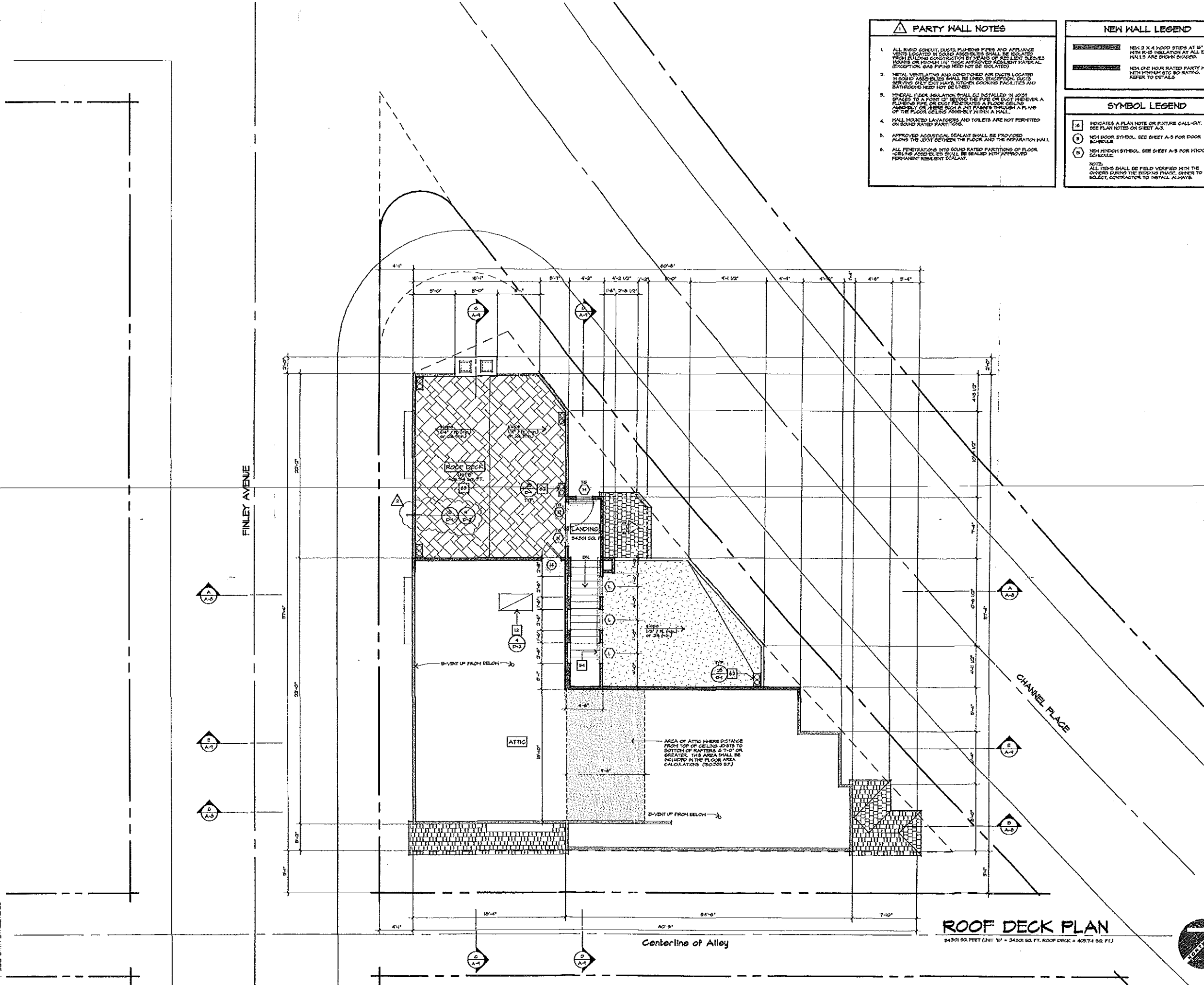
R.A. JEHEBER
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OFFICE: (949) 722-4393
FAX: (949) 722-0719



BCA DEVELOPMENT, INC.
500 39th STREET
NEWPORT BEACH, CALIFORNIA

SHEET TITLE:	SECOND FLOOR PLAN
PLOTTED:	03/24/2004
SCALE:	1/4" = 1'-0"
JOB NO.:	2003-43
SHEET:	A-2

09/25/2004 2:22 PM
500 39TH STREET/DC25



- △ PARTY WALL NOTES**
1. ALL RIGID CONDUIT, DUCTS, PLUMBING PIPES AND APPLIANCE VENTS LOCATED IN SOUD ASSEMBLIES SHALL BE ISOLATED FROM BUILDING CONSTRUCTION BY MEANS OF FIBERGLASS SLEEVES OR PROPER 1/2" THICK APPROVED RESILIENT MATERIAL (EXCEPTION: GAS PIPING NEED NOT BE ISOLATED)
 2. METAL VENTILATING AND CONDITIONED AIR DUCTS LOCATED IN SOUD ASSEMBLIES SHALL BE LINED (EXCEPTION: DUCTS SERVING ONLY RESTROOMS, KITCHEN COOKING FACILITIES AND BATHROOMS NEED NOT BE LINED)
 3. MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES TO A POINT 12" BEYOND THE PIPE OR DUCT THROUGH A FLOORING JOIST OR BEYOND THE JOIST FRAMES OR JOIST SPACES, OR BEYOND SUCH A POINT THROUGH A PLANE OF THE FLOOR CEILING ASSEMBLY WITHIN A HALL.
 4. HALL MOUNTED LAVATORIES AND TOILETS ARE NOT PERMITTED ON SOUND RATED PARTITIONS.
 5. APPROVED ACOUSTICAL SEALANT SHALL BE PROVIDED ALONG THE JOINT BETWEEN THE FLOOR AND THE SEPARATION WALL.
 6. ALL PENETRATIONS INTO SOUND RATED PARTITIONS OF FLOOR/CEILING ASSEMBLIES SHALL BE SEALED WITH APPROVED PERMANENT RESILIENT SEALANT.

NEW WALL LEGEND

	NEW 2 X 4 WOOD STUDS AT 16" O.C. WITH R15 INSULATION AT ALL EXTERIOR WALLS ARE SHOWN SHADDED.
	NEW ONE HOUR RATED PARTY WALL WITH MINIMUM STC 50 RATING. REFER TO DETAILS.

SYMBOL LEGEND

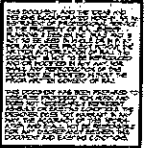
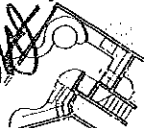
	INDICATES A PLAN NOTE OR FUTURE CALL-OUT. SEE PLAN NOTES ON SHEET A-3.
	NON DOOR SYMBOL. SEE SHEET A-3 FOR DOOR SCHEDULE.
	NON WINDOW SYMBOL. SEE SHEET A-3 FOR WINDOW SCHEDULE.

NOTE:
ALL ITEMS SHALL BE FIELD VERIFIED WITH THE OWNER DURING THE BIDDING PHASE. OWNER TO SELECT, CONTRACTOR TO INSTALL ALWAYS.

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	02-20-04	CH	PLAN CHECK
2	05-26-04	CH	PLAN CHECK

R.A. JEHEBER
PLANNING & DESIGN CONSULTANT
410 32ND STREET, SUITE 202
NEWPORT BEACH, CA 92653
OFFICE: (949) 723-4393
FAX: (949) 723-0719



BCA DEVELOPMENT, INC.
500 39TH STREET
NEWPORT BEACH, CALIFORNIA

SHEET TITLE:
THIRD FLOOR PLAN

PLOTTED: 09/24/2004

SCALE: 1/4" = 1'-0"

JOB NO.: 2003-18

SHEET:
A-3

ROOF DECK PLAN
34501 SQ. FEET (ATTIC: 38400 SQ. FT., ROOF DECK = 4287.4 SQ. FT.)



ZONING ADMINISTRATOR ACTION LETTER

PLANNING DEPARTMENT
3300 NEWPORT BOULEVARD
NEWPORT BEACH, CA 92663
(949) 644-3200 FAX (949) 644-3229

Application No. **Minor Use Permit No. UP2010-032 (PA2010-144)**

Applicant **Sabatino's**

Site Address **406 32nd Street**

Legal Description **Lot 1, Block 431, Tract 421, Landcasters**

On January 13, 2011, the Zoning Administrator approved the following: A minor use permit to allow a take-out service, limited eating and drinking establishment within an existing retail tenant space. The gross floor area of the establishment is 693 square feet in area and the proposed net public area is 225 square feet in area. The applicant proposes nine linear feet of 42-inch-high counter space to accommodate a maximum of six patrons. Alcohol will not be served at the establishment and the proposed hours of operation are from 11:00 a.m. to 9:00 p.m. Monday through Friday, 10:00 a.m. to 9:00 p.m. Saturday, and 11:00 a.m. to 8:00 p.m. Sunday. The project site is nonconforming because the existing building does not comply with the required 5-foot rear alley setback and the property does not provide any on-site parking. The property is located in the CV (Commercial Visitor-Serving) District. The approval is based on the following findings and subject to the following conditions.

REQUIRED FINDINGS

Finding

- A. *The project has been reviewed, and it qualifies for a categorical exemption pursuant to Section 15301 of the California Environmental Quality Act under Class 3 (New Construction or Conversion of Small Structures) of the Implementing Guidelines of the California Environmental Quality Act.*

Facts in Support of Finding

- A-1. The Class 3 exemption includes a store, motel, office, restaurant or similar structure not involving significant amounts of hazardous substances, and not exceeding 2,500 square feet in floor area. This exemption also includes accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences. The proposed project involves the establishment of a restaurant in an existing retail tenant space. The proposed use is less than 2,500

square feet. Therefore, proposed use qualifies for a categorical exemption under Class 3.

In accordance with Section 20.52.020.F of the Newport Beach Municipal Code, the following findings and facts in support of the findings for a use permit are set forth:

Finding

B. *The use is consistent with the General Plan and any applicable specific plan;*

Facts in Support of Finding

- B-1. The General Plan land use category for this site is Visitor Serving Commercial (CV). The CV category is intended to provide for accommodations, goods, and services intended to primarily serve visitors to the City of Newport Beach. The existing retail building and the proposed take-out service, limited eating and drinking establishment are a permitted uses within this land use designation.
- B-2. The take-out service, limited, eating and drinking establishment will serve residents and visitors to the surrounding community. The proposed establishment will provide dining services to the surrounding neighborhood. This will provide an opportunity for the property owner to update the retail tenants and services, which best serve the quality of life for the surrounding residential community.
- B-3. General Plan Policy LU 6.8.2 (Component Districts) emphasizes Lido Village and McFadden Square as the primary activity centers of the northern portion of the Peninsula, linked by corridors of retail and visitor-serving uses along Newport Boulevard. These core areas surround a residential core in the inland section of Cannery Village. The proposed establishment is located adjacent to the retail and visitor-serving corridor of Newport Boulevard and the restaurant use will continue to serve as a linkage to land uses further on the Balboa Peninsula. The establishment will readily accommodate residents of Cannery Village and visitors that travel along Newport Boulevard.
- B-4. The subject property is not part of a specific plan area.

Finding

C. *The use is allowed within the applicable zoning district and complies with all other applicable provisions of this Zoning Code and the Municipal Code;*

Facts in Support of Finding

- C-1. The site is located in the CV (Commercial Visitor-Serving) Zoning District. The CV Zoning District is intended to provide for areas appropriate for

accommodations, goods, and services intended to serve primarily visitors to the City. The proposed take-out service, limited, eating and drinking establishment is consistent with land uses permitted by the CV Zoning District.

- C-2. The subject property is a multi-tenant site and provides no off-street parking spaces. The subject property is nonconforming due to deficient off-street parking; however the nonconforming status is not intensified by the proposed use. Pursuant to Section 20.38.060.B.1 (Nonconforming Uses and Structures – Nonconforming Parking) of the Municipal Code, nonconforming uses in nonresidential districts may be continued or changed to a use requiring the same or less on-site parking. The change in use will not increase parking demand above the prior use of the existing suite. Take-out service, limited, eating and drinking establishments require one parking space per 250 square feet of gross floor area. The previous retail use would have required three (3) parking spaces based upon the retail parking ratio of one (1) parking space per 250 feet of gross floor area required per Chapter 20.40 (Off-street Parking and Loading Regulations) of the Municipal Code. The gross floor area of the subject suite is approximately 693 square feet, which would require three (3) off-street parking spaces. The proposed use with limited seating will require the same amount of parking as the previous retail use.
- C-3. The restaurant development standards pertaining to parking lot illumination, circulation, walls, landscaping, utilities, and the required parking spaces are not applicable because the proposed project will be located within an existing retail tenant space where the building occupies the entire property and on-site parking is not available.

Finding

- D. *The design, location, size, and operating characteristics of the use are compatible with the allowed uses in the vicinity;*

Facts in Support of Finding

- D-1. Eating and drinking establishments are common in the vicinity along the Balboa Peninsula and are frequented by visitors and residents alike. The establishment is compatible with the land uses permitted within the surrounding neighborhood. The new establishment will improve and revitalize the existing retail building and the surrounding neighborhood.
- D-2. The project includes conditions of approval to ensure the welfare of the surrounding community. The applicant is required to control trash and litter around the subject property. The trash areas are required to be attached to the existing building and located on private property so that the trash bins do not hinder access through the adjacent alley.

Finding

- E. *The site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities; and*

Facts in Support of Finding

- E-1. The project site is located within an existing retail building adjacent to a retail corridor which serves residents and visitor-serving uses to the area. The proposed use is intended for take-out of food and beverages. Alcohol, live entertainment, and dancing are not permitted under the current application at the subject establishment. The design, size, location, and operating characteristics of the use are compatible with the surrounding neighborhood.
- E-2. The proposed establishment is located in an area with established infrastructure and services and adequate public and emergency vehicle access is available to the subject property along 32nd Street.
- E-3. The tenant improvements to the project site will comply with all Building, Public Works, and Fire Codes. All ordinances of the City and all conditions of approval will be complied with.

Finding

- F. *Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, a safety, or general welfare of persons residing or working in the neighborhood of the proposed use.*

Facts in Support of Finding

- F-1. The take-out service, limited, eating and drinking establishment would not be detrimental to the harmonious and orderly growth of the City and will contribute rather than hinder public convenience. The establishment does not jeopardize the health, interest, safety, or general welfare of residents in the vicinity.
- F-2. The project has been reviewed and includes conditions of approval to ensure that potential conflicts with the surrounding land uses are minimized to the greatest extent possible. The operator is required to take reasonable steps to discourage and correct objectionable conditions that constitute a nuisance in parking areas, sidewalks and areas surrounding the subject property and adjacent properties during business hours, if directly related to the patrons of the establishment.
- F-3. The counter area and seating for the eating and drinking establishment accommodate a maximum of six seats for patrons of the establishment.

CONDITIONS OF APPROVAL

Planning Department Conditions

1. The development shall be in substantial conformance with the approved site plan, floor plan(s) and building elevations dated with this date of approval. (Except as modified by applicable conditions of approval.)
2. This Use Permit may be modified or revoked by the City Council or the Planning Commission should they determine that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
3. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
4. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.
5. Prior to the issuance of a building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Department.
6. *Prior to the issuance of building permits, Fair Share Traffic Fees shall be paid for the change from general commercial to restaurant use in accordance with Chapter 15.38 of the Newport Beach Municipal Code. The applicant shall be credited for the reduction in general commercial square footage and the remaining balance shall be charged or credited to the applicant.*
7. *Customer seating and/or stand-up counter space shall be limited to six seats within the subject establishment. Every 18 inches of counter space provided shall count toward one seat per the seating requirement above. Customer seating and/or stand-up counter space shall be prohibited outside the subject establishment.*
8. *[deleted]*
9. *Hours of operations shall be limited to between 10:00 a.m. and 9:00 p.m. daily.*
10. *No on-sale or off-sale of alcoholic beverages is permitted.*
11. *Live entertainment, dancing, and outdoor dining shall be prohibited as a part of the regular operation.*

12. *A covered wash-out area for refuse containers and kitchen equipment, with minimum useable area dimensions of 36-inches wide, 36-inches deep and 72-inches high, shall be provided, and the area shall drain directly into the sewer system, unless otherwise approved by the Building Director and Public Works Director in conjunction with the approval of an alternate drainage plan.*
13. A Special Events Permit is required for any event or promotional activity outside the normal operational characteristics of the approved use, as conditioned, or that would attract large crowds, involve the sale of alcoholic beverages, include any form of on-site media broadcast, or any other activities as specified in the Newport Beach Municipal Code to require such permits.
14. Any event or activity staged by an outside promoter or entity, where the applicant, operator, owner or his employees or representatives share in any profits, or pay any percentage or commission to a promoter or any other person based upon money collected as a door charge, cover charge or any other form of admission charge is prohibited.
15. The operator of the facility shall be responsible for the control of noise generated on the subject facility. Pre-recorded music may be played in the tenant space, provided exterior noise levels outlined below are not exceeded. The noise generated by the proposed use shall comply with the provisions of Chapter 10.26 of the Newport Beach Municipal Code. The maximum noise shall be limited to no more than depicted below for the specified time period unless the ambient noise level is higher:

Location	Between the hours of 7:00AM and 10:00PM		Between the hours of 10:00PM and 7:00AM	
	Interior	Exterior	Interior	Exterior
Residential Property	45dBA	55dBA	40dBA	50dBA
Residential Property located within 100 feet of a commercial property	45dBA	60dBA	45dBA	50dBA
Mixed Use Property	45dBA	60dBA	45dBA	50dBA
Commercial Property	N/A	65dBA	N/A	60dBA

16. The operator of the facility shall be responsible for the control of noise generated by the subject facility including, but not limited to, noise generated by patrons, food service operations, and mechanical equipment. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 and other applicable noise control requirements of the Newport Beach Municipal Code
17. No outside paging system shall be utilized in conjunction with this establishment.

18. All mechanical equipment shall be screened from view of adjacent properties and adjacent public streets within the limits authorized by this permit, and shall be sound attenuated in accordance with Chapter 10.26 of the Newport Beach Municipal Code, Community Noise Control.
19. Lighting shall be in compliance with applicable standards of the Zoning Code. Exterior on-site lighting shall be shielded and confined within site boundaries. No direct rays or glare are permitted to shine onto public streets or adjacent sites or create a public nuisance. "Walpak" type fixtures are not permitted.
20. The site shall not be excessively illuminated based on the luminance recommendations of the Illuminating Engineering Society of North America, or, if in the opinion of the Planning Director, the illumination creates an unacceptable negative impact on surrounding land uses or environmental resources. The Planning Director may order the dimming of light sources or other remediation upon finding that the site is excessively illuminated.
21. All proposed signs shall be in conformance with the approved Comprehensive Sign Program for the project site and provisions of Chapter 20.67 of the Newport Beach Municipal Code. All signs shall be approved by the City Traffic Engineer if located adjacent to the vehicular ingress and egress.
22. No temporary "sandwich" signs or similar temporary signs shall be permitted, either on-site or off-site, to advertise the restaurant.
23. Temporary signs shall be prohibited in the public right-of-way unless otherwise approved by the Public Works Department in conjunction with the issuance of an encroachment permit or encroachment agreement.
24. *All trash shall be stored within the building or within dumpsters affixed to the adjacent tenant space so that the trash dumpsters do not hinder access to the adjacent alley and are located entirely on the subject property.*
25. *The trash dumpsters shall have a top, which shall remain closed at all times, except when being loaded or while being collected by the refuse collection agency.*
26. *The tenant or property owner shall be responsible for contracting for refuse pickup. The applicant shall provide a minimum of one (1) common dumpster for the project site. The size, design and location of trash enclosures shall be subject to the review and approval of the Public Works and Planning Departments prior to issuance of a building permit for new construction.*
27. Trash receptacles for patrons shall be conveniently located inside of the establishment.

28. The exterior of the business shall be maintained free of litter and graffiti at all times. The owner or operator shall provide for daily removal of trash, litter debris and graffiti from the premises and on all abutting sidewalks within 20 feet of the premises.
29. The applicant shall ensure that the trash dumpsters and/or receptacles are maintained to control odors. This may include the provision of either fully self-contained dumpsters or periodic steam cleaning of the dumpsters, if deemed necessary by the Planning Department. Cleaning and maintenance of trash dumpsters shall be done in compliance with the provisions of Title 14, including all future amendments (including Water Quality related requirements).
30. Prior to final of the building permits, the applicant shall prepare and submit a practical program for controlling litter, spills, and stains resulting from the use on the site and adjacent areas to the Planning Department for review. The building permit shall not be finalized and use cannot be implemented until that program is approved. The program shall include a detailed time frame for the policing and cleanup of the public sidewalk and right-of-way in front of the subject property as well as the adjacent public right-of-way (25 feet north and south of the subject property) not just in front of the subject tenant space. Failure to comply with that program shall be considered a violation of the use permit and shall be subject to administrative remedy in accordance with Chapter 1.05 of the Newport Beach Municipal Code that includes issuance of a citation of violation and monetary fines.
31. Deliveries and refuse collection for the facility shall be prohibited between the hours of 10:00 p.m. and 8:00 a.m., daily, unless otherwise approved by the Planning Director, and may require an amendment to this use permit.
32. Storage outside of the building in the front or at the rear of the property shall be prohibited, with the exception of the required trash container enclosure.
33. Any change in operational characteristics, hours of operation, expansion in area, or other modification to the approved plans, shall require an amendment to this Use Permit or the processing of a new Use Permit.
34. This approval was based on the particulars of the individual case and does not in and of itself or in combination with other approvals in the vicinity or Citywide constitute a precedent for future approvals or decisions.
35. Use Permit No. UP2010-032 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.91.050 and Section 20.93.050 of the Newport Beach Municipal Code, unless an extension is otherwise granted.

36. Should this business be sold or otherwise come under different ownership, any future owners or assignees shall be notified in writing of the conditions of this approval by the current owner or leasing company.
37. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Sabatino's Restaurant including, but not limited to, Use Permit No. 2010-032, and the determination that the project is exempt under the requirements of the California Environmental Quality Act. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Building and Fire Department Conditions

38. The applicant is required to obtain all applicable permits from the City Building and Fire Departments. The construction plans must comply with the most recent, City-adopted version of the California Building Code.
39. The construction plans must meet all applicable State Disabilities access requirements.
40. *Approval from the Orange County Health Department is required prior to the issuance of a building permit.*
41. *A grease collection device is required. The size shall be determined in compliance with the plumbing code and the location shall comply with the Orange County Health Department requirement.*
42. *A Type I hood shall be provided with the kitchen suppression system.*
43. Kitchen exhaust fans shall be installed/maintained in accordance with the Uniform Mechanical Code. The issues with regard to the control of smoke and odor shall be directed to the South Coast Air Quality Management District.

44. The rear doors of the facility shall remain closed at all times. The use of the rear door shall be limited to deliveries and employee use only. Ingress and egress by patrons is prohibited in unless there is an emergency.
45. All exits shall remain free of obstructions and available for ingress and egress at all times.
46. Strict adherence to maximum occupancy limits is required.

Public Works Department Conditions

47. *The door swing shall be modified so that it does not project into the public right-of-way.*

Notice of this application was mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant and posted on the subject property at least 10 days prior to the decision date, consistent with the provisions of the Municipal Code.

APPEAL PERIOD

The applicant or any interested party may appeal the decision of the Zoning Administrator to the Planning Commission by a written request to the Planning Director within 14 days of the action date. A \$4,280.00 filing fee shall accompany any appeal filed. For additional information on filing an appeal, contact the Planning Department at 949 644-3200.

By: 
Gregg Ramirez, Zoning Administrator

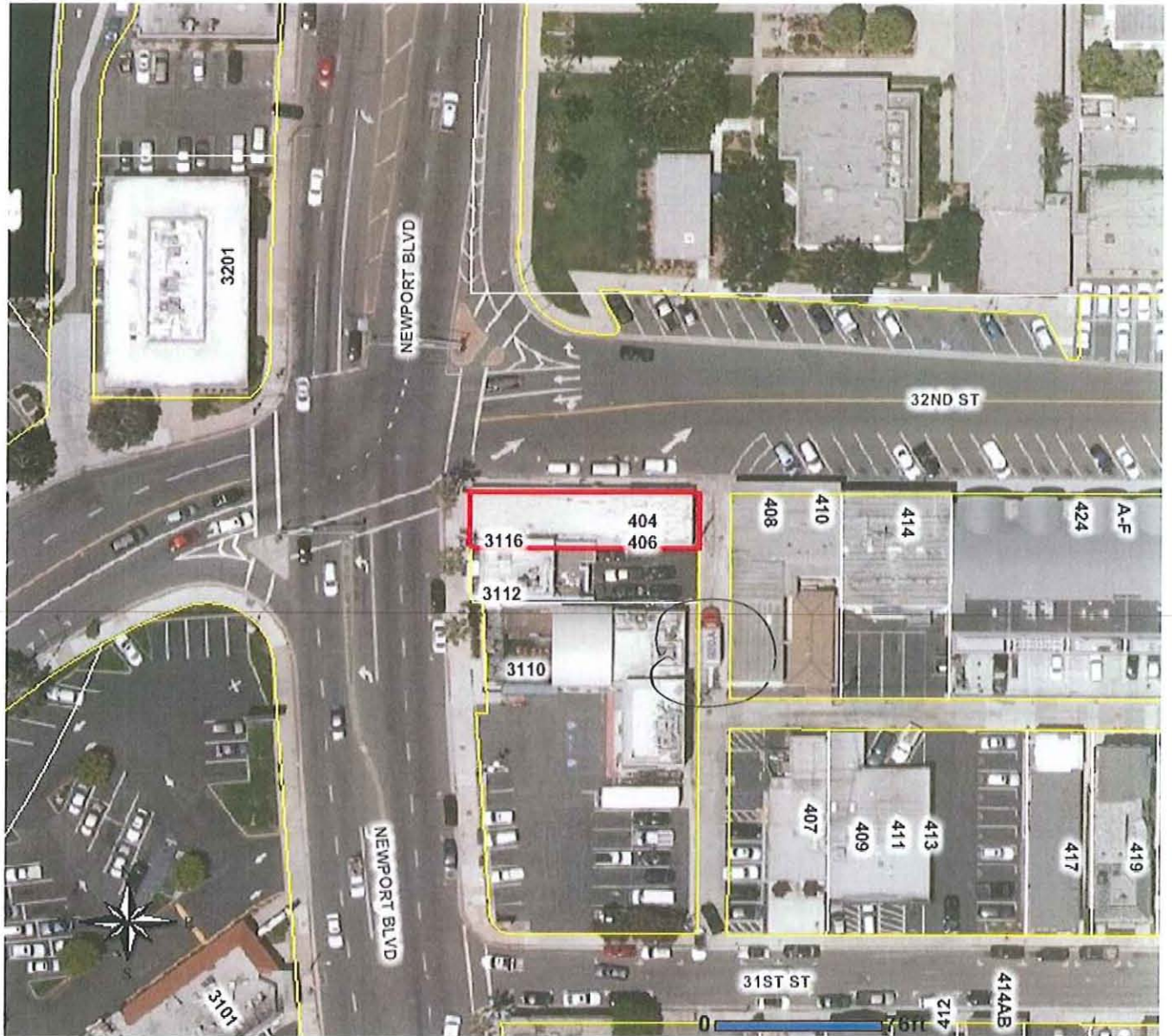
PJA/mkn

Attachments: ZA 1 Vicinity Map
ZA 2 Applicant's Project Description
ZA 5 Project Plans

Attachment No. ZA 1

Vicinity Map

VICINITY MAP



Use Permit No. UP2010-032
PA2010-144

406 32nd Street

Attachment No. ZA 2

Applicant's Project Description



Fulbright Rodriguez Architects, Inc.
31878 Del Obispo Street | Suite 118-339 | San Juan Capistrano, CA 92675
949.783.0727

November 22, 2010

To: Makana Nova, Assistant Planner
City of Newport Beach, Planning Department
3300 Newport Blvd
Newport Beach, CA 92663

From: Fulbright Rodriguez Architects, Inc
Rafael Rodriguez, Associate AIA
31878 Del Obispo St., Ste. 118-339
San Juan Capistrano, CA 92675

RE: Sabatinos Take-Out Restaurant
406 32nd Street
Newport Beach, Ca 92663
Use Permit No. UP2010-032

RECEIVED BY
PLANNING DEPARTMENT

NOV 22 2010

CITY OF NEWPORT BEACH

Makana,

The proposed "Take-Out Service, Limited" Sabatinos restaurant is located at the above address within an existing retail building. The space that was occupied by a previous tenant was used for an office and will now be converted into a take-out restaurant with a maximum of 6 seats for customers. The tenant improvement will consist of an ADA compliant restroom, interior mechanical, electrical and plumbing. There will also be new finishes throughout the space to comply with the Health Department requirements.

The total square footage of the space consists of 693 s.f. in which 225 s.f. will be used for the net public area. The remaining square footage area will be used for serving and storage to satisfy local jurisdiction requirements. There will be no more than 3 employees on a shift and no alcohol beverages will be sold on the premises. The hours of operation will be Monday thru Friday 10am-9pm, Saturday 11am-10pm, and Sunday 11am-8pm.

Please do not hesitate to contact me, or my partner – Paul Fulbright, should you have any questions or need any additional information from us.

Sincerely,

A handwritten signature in black ink, appearing to read "Rafael Rodriguez", is written over a horizontal line.

Rafael Rodriguez, Associate AIA,
Co-Founder & Principal

Attachment No. ZA 3

Project Plans

CITY OF NEWPORT BEACH

January 11, 2011

JAN 12 2011

To: Zoning Administrator

PLANNING DEPARTMENT

Re: Sabatino's Use Permit PFN-PA 2010-144

RECEIVED BY

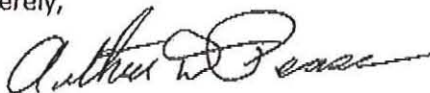
My purpose in writing this response is to oppose the use of 406 32nd Street to Commercial Visitor-Serving.

The change in use creates a higher designation with a greater impact. The new business brings with it inherent negative consequences at this location.

- a. The site has no off-street parking. Although the city may consider this neighborhood a high-pedestrian area, in actuality it is not. The businesses in this block and Cannery Village are a point of destination location served by trucks and automobiles. The demand for parking by Sabatino's will exacerbate the problem of public parking. The city has allowed an over density of businesses established with inadequate parking within the immediate block. The Alano Club, Hosum Bistro, DP's and Bear Flag all have inadequate parking and now utilize 32nd Street for parking.
- b. Excessive noise and congestion are the conditions we experience from the existing businesses in this block. The alley serving 406 32nd Street as well as businesses named above is overstressed. Trucks are randomly delivering food and supplies all day. The result of these deliveries is blocked traffic and an unacceptable level of noise. Also, as a consequence of these types of business, trash pickup is increased. This greatly increases the aggravated noise and traffic problems we already experience. Inverse condemnation to the quality and accessibility of my property at 408/410 32nd Street and existing businesses has been created as a consequence of what the city planners have allowed to develop on this block.
- c. My understanding is that staff is recommending deliveries for Sabatino's to be limited to 32nd Street. This is a great example of the city overreaching its arbitrary discretion to try to accommodate a new business without adequately considering the impact on our neighborhood and existing businesses. The trucks delivering to Sabatino's will be forced to double-park on 32nd Street, thus creating a traffic hazard and more stress for an already overstressed area.

Thank you for your consideration of the problems created by the proposed Business and Use Entitlement. I look forward to your findings.

Sincerely,



Arthur D. Pease

Nova, Makana

From: Ed O'Neill [ed@hosumbistro.com]
Sent: Wednesday, January 12, 2011 9:39 PM
To: Nova, Makana
Subject: RE: Sabatino's Use Permit

Dear Nova,

My only concern with regard to the proposed take-out site for Sabatino's is where they would be receiving their deliveries. As you know the alley behind Ho Sum Bistro services three restaurants already with regard to deliveries and renders our parking lot inaccessible from the Rudy's side for a good portion of the day. My fear is adding one more restaurant receiving deliveries in the alley will block my parking from the 32nd street access as well. I would like to request a condition of use be that delivery vehicles not park in the alley restricting access to my parking. There is adequate curb and metered parking along 32nd street for this purpose. Thank you for your consideration.

Sincerely,
Ed O'Neill
Ho Sum Bistro

From: Nova, Makana [mailto:MNova@newportbeachca.gov]
Sent: Thursday, January 06, 2011 4:59 PM
To: Ed O'Neill
Subject: Sabatino's Use Permit

Hi Ed,

Thanks for your phone call this afternoon regarding the proposed take-out service, limited, eating and drinking establishment for Sabatino's. Please feel free to contact me if you have any additional comments or questions regarding this project application.

Thank you,

***Makana Nova* | ASSISTANT PLANNER**

Planning Department | City of Newport Beach
3300 Newport Boulevard | Newport Beach, CA 92658
P. 949.644.3249 | F. 949.644.3203
mnova@newportbeachca.gov
www.newportbeachca.gov

RECEIVED BY
PLANNING DEPARTMENT

JAN 13 2011

CITY OF NEWPORT BEACH

Sabatino's Take-Out Restaurant

"Tenant Improvement"

406 32nd Street
Newport Beach, Ca

Fulbright Architecture
Rodriguez Architects, Inc. planning
Architects, Inc. urban design

FRA, Inc.
11275 Del Obispo St., Ste. 118-079
San Juan Capistrano, CA 92675
(949) 785-0727

Review	Principal	P.M.	Peer
by	Date	by	Date
0.D./Comments			
Floor plans			
25% block-out			
Addenda			
Final C.D.			
Consultant			
Consult. Coord.			

Fulbright Rodriguez Architects, Inc. hereby expressly reserves its common law copyright and other property rights in these drawings. These drawings are not to be reproduced, copied or changed in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the express written permission and consent of Fulbright Rodriguez Architects, Inc.

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY THE OWNER.
- ALL CONSTRUCTION MUST COMPLY WITH ALL LOCAL GOVERNING CODES.
- THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERROR OR OMISSION HE MAY DISCOVER IN THE DRAWINGS, OR ANY INCONSISTENCY BETWEEN THE DRAWINGS AND FIELD CONDITIONS, PRIOR TO CONSTRUCTION SO THAT THE ARCHITECT MAY ISSUE WRITTEN CLARIFICATION IN A TIMELY MANNER.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND FEES.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE BLOCKING AT THE REQUIRED LOCATIONS FOR ALL WALL MOUNTED SHELVING, TABLES ETC. NO EXTRA FEES WILL BE ENTERTAINED FOR LACK OF COORDINATION.
- CONTRACTOR IS RESPONSIBLE FOR RECEIVING AND ON-SITE STORAGE OF ALL SOFT-GOODS (SMALLWARES ETC.) DURING REGULAR CONSTRUCTION HOURS.
- CONTRACTOR SHALL CONTROL NOISE PRODUCING ITEMS (STEREOS) AT ALL TIMES.
- INTERIOR WALLS TO BE 5/8" GYP. BD. ON EACH SIDE OF 3 5/8" METAL STUDS UNLESS NOTED OTHERWISE. EXTEND WALLS TO 6" ABOVE THE HIGHER CEILING. PROVIDE "L-METAL" AT CORNERS. ALL WALLS TO BE TAPED, SANDED AND PAINTED. VERIFY WITH OWNER WHICH WALLS TO RECEIVE WALL COVERING. PRIME THESE WALLS WITH ONE COAT OF PRIMER PRIOR TO APPLYING ANY FINISH.
- REFER TO REFLECTED CEILING PLAN FOR LIGHT FIXTURE SCHEDULE.
- CONTRACTOR SHALL INSTALL ALL RESTROOM DISPENSERS FURNISHED.
- CONTRACTOR SHALL INSTALL ALL ARTWORK AND DECOR, INCLUDING WALL HUNG PICTURES.
- ALL WORK SHALL CONFORM TO THE LATEST ISSUE OF THE CODES SPECIFIED ON THESE PLANS.
- THERE WILL BE NO SUBSTITUTION OF ANY MATERIAL SPECIFICATION.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS USED TO ACCOMPLISH DESIGNATED WORK.
- CONTRACTOR WILL APPOINT ONE SPECIFIC INDIVIDUAL FOR LIAISON WITH TENANT REPRESENTATIVE AND ARCHITECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK, AND SHALL COORDINATE SUCH WITH TENANT REPRESENTATIVE.

HEALTH DEPARTMENT NOTES

- ALL EQUIPMENT AND SHELVING shall be supported by six (6) inch high, easily cleanable legs, commercial casters, or completely sealed in position on a four (4) inch high minimum continuously covered base or concrete curb to facilitate ease of cleaning.
- ALL FOOD AND UTENSIL RELATED KITCHEN EQUIPMENT shall be NSF or ANCI certified.
- CONCRETE FLOORS shall be smooth and sealed with sealers from Health Department Approved list of sealer manufacturers. Cove base used shall be ceramic tile "slim-fool" designed specifically for top set application. Submit proposed sealer specs and samples of "slim-fool" top set cove base prior to installation.
- FLOOR COVERINGS in all areas in which food is prepared, packaged, or stored, where any utensils are washed, where refuse or garbage is stored, where janitorial facilities are located, in oil toilet and hand-washing areas, employee change area and storage areas shall be of an approved type that continues up the wall a minimum of four (4) inches in a seamless manner with a 3/8" radius cove as an integral unit. Submit samples of floor covering(s) and cove base(s), including any proposed "slim-fool" or metal top-set cove bases, prior to installation. Topset cove base shall be model number 536191.
- WALLS IN THE KITCHEN shall be smooth drywall painted semi-gloss enamel with a minimum 70% reflective value, or:
 - Covered with stainless steel flashing under the range hood.
 - Covered FRP over water-resistant "green-board" behind all sinks.
- WALLS IN THE RESTROOM (S) shall be smooth ceramic tile or FRP wainscoting a minimum 4'-0" above the finish floor as indicated on the plans and smooth drywall painted semi-gloss enamel above, and shall consist of the following light reflective values:
 - 70% light reflective value (LRV) below the splash line.
 - 40% light reflective value (LRV) above the splash line.
- WALLS IN THE CUSTOMER AREAS shall be smooth drywall painted semi-gloss enamel or tiles with the following light reflective values:
 - 70% light reflective value (LRV) below the splash line.
 - 40% light reflective value (LRV) above the splash line.
- HOOD exhaust fan(s) shall be electrically interlocked with 100% MAKE-UP AIR fan(s).
- (E) WOP SINK is floor mounted and has the following:
 - A faucet equipped with a back-flow prevention device.
 - A mop rack adjacent to the sink.
 - A chemical shelf above or adjacent to the sink.
- DIRECT DRAINING Plumbing Fixtures and Equipment to WASTE SYSTEM:
 - Hand Sink
 - Mop Sink

- CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT APPROVED CONTRACT DOCUMENTS.
 - CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ARCHITECTURAL, MECHANICAL, TELEPHONE, ELECTRICAL (INCLUDING LIGHTING), AND PLUMBING TO INSURE THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ALL EQUIPMENT ARE PROVIDED.
 - DIMENSIONS SHALL NOT BE CHANGED WITHOUT ARCHITECT'S WRITTEN APPROVAL.
 - CONTRACTOR TO PROTECT EXISTING CONSTRUCTION AND RESTORE ALL FINISH SURFACES TO THEIR ORIGINAL CONDITION WHERE DAMAGED.
 - CONTRACTOR SHALL CAREFULLY CHECK FIELD CONDITIONS COORDINATING THEM WITH THE CONTRACT DOCUMENTS FOR ACCURACY AND CONFIRMING THAT THE WORK IS BUILDABLE AS SHOWN, BEFORE PROCEEDING WITH CONSTRUCTION.
- HVAC:
1. A 4 TON ROOFTOP HVAC UNIT IS EXISTING. CONTRACTOR TO PROVIDE DISTRIBUTION AS SHOWN ON THE MECHANICAL PLANS. ALL ROOFTOP MECHANICAL EQUIPMENT IS SCREENED FROM PUBLIC VIEW BY THE EXISTING BUILDING PARAPET.
- EQUIPMENT NOTES:
1. REFER TO EQUIPMENT SCHEDULE FOR FOR PARTY RESPONSIBLE TO FURNISH AND/OR INSTALL EACH PIECE OF EQUIPMENT.
2. ALL NON-PORTABLE (I.E. NON-ROLLING) EQUIPMENT SHALL BE COMPLETELY CAULKED IN PLACE WITH CLEAR SEALANT. FILL ALL GAPS, ETC. COMPLETELY AROUND ALL EQUIPMENT.
- ORDERING OF EQUIPMENT AND MATERIALS:
1. NO EQUIPMENT OR MATERIALS SHALL BE ORDERED FROM PLANS OTHER THAN APPROVED PLANS OR PLANS SPECIFICALLY ISSUED BY THE ARCHITECT FOR CONSTRUCTION
- FIELD LAYOUT OF STORE:
1. THE CONTRACTOR SHALL PERFORM A FULL STORE LAYOUT INCLUDING EQUIPMENT PRIOR TO BEGINNING ANY WORK. THE LAYOUT SHALL INCLUDE CLEARANCES BETWEEN WALL AND EQUIPMENT AND ONE PIECE OF EQUIPMENT TO ANOTHER. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH ANY WORK.
- DEMOLITION:
1. CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING AND INCLUDE ALL NECESSARY DEMOLITION IN HIS BID.
- REVIEW OF HEALTH DEPARTMENT APPROVED PLANS:
1. CONTRACTOR SHALL REVIEW HEALTH DEPARTMENT APPROVED PLANS FOR ANY COMMENTS WHETHER HAND WRITTEN, BY ATTACHMENT OR OTHER MEANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL HEALTH DEPARTMENT REQUIREMENTS ARE INCORPORATED INTO THE CONSTRUCTION.

- INDIRECT DRAINING Plumbing Fixtures and Equipment to FLOOR SINKS:
 - Prep Sink
 - Steam Tables (not self-contained)
 - Ice Machines
 - Soda Fountains
 - Walk-in Coolers and Freezers
 - Gas Water Heater Over-flow
 - 3-Compartment sink w/ 1" air gap
- WATER HEATER shall:
 - Be dedicated for exclusive use for this establishment.
 - Be mounted on a 6" high galvanized steel stand (interior) 18" (exterior) and strapped to walls with steel straps 1/3 from the top and bottom.
 - Provide hot water to all sinks.
 - Be equipped with recirculation pump.
- COOKING EQUIPMENT shall be spaced 6" apart and from adjacent walls, or flashed together and to the walls, or the cooking equipment must be equipped with commercial castors and quick disconnect gas lines.
- RESTROOM FACILITIES:
 - Separate toilet facilities shall be provided for each sex. Exception:
 - Residential installations
 - In occupancies serving ten (10) or fewer people, one toilet facility designed for use by no more than one person at a time, shall be permitted for use by both sexes.
 - In business and mercantile occupancies with a total floor area of fifteen hundred (1500) square feet or less, one (1) toilet facility, designed for use by no more than one (1) person at a time, shall be permitted for use by both sexes.
 - Fixtures for customer use shall be permitted to be met by providing a centrally located facility accessible to several stores. The maximum distance from entry to one store to this facility shall not exceed five hundred (500) feet.
 - In stores with a floor area of one hundred fifty (150) square feet or less, the requirements to provide facilities for employees shall be permitted to be met by providing centrally located facility accessible to several stores. The maximum distance from entry to one store to this facility shall not exceed three hundred (300) feet.
 - In Occupancy Groups B, F, H, M and S, buildings or portions thereof where persons are employed shall be provided with at least one water closet. Separate facilities shall be provided for each sex when the number of employees exceeds four (4). Such toilet facilities shall be located either in such building or conveniently in a building adjacent thereto on the same property.

PROJECT DIRECTORY

OWNER
PETER SABATINO
251 SHIPYARD WAY, CABIN D
NEWPORT BEACH, CA 92663
CONTACT: PETER SABATINO
TEL: 949.723.0621

LEGAL DESCRIPTION
TRACT: 421
BLOCK: 431
LOT: U
APH: 047-041-07

JOB ADDRESS
406 32ND STREET
NEWPORT BEACH, CA

ARCHITECT
FULBRIGHT RODRIGUEZ ARCHITECTS, INC
31878 DEL OBISPO ST. STE 118-339
SAN JUAN CAPISTRANO, CA 92675
CONTACT: RAFAEL RODRIGUEZ
TEL: 949.783.0727
FAX: 775.254.2176

MECHANICAL
PERFECT DESIGN
2416 W. VALLEY BLVD
ALHAMBRA, CA 91803
CONTACT: SELINA D. ZHONG
TEL: 626.289.8808
FAX: 626.289.4913

ELECTRICAL
PERFECT DESIGN
2416 W. VALLEY BLVD
ALHAMBRA, CA 91803
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PLUMBING
PERFECT DESIGN
2416 W. VALLEY BLVD
ALHAMBRA, CA 91803
CONTACT: SELINA D. ZHONG
TEL: 626.289.8808
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HOOD CONSULTANT
CALIFORNIA VENTILATION SYSTEMS, INC
6800 WATCHER ST
COMMERCE, CA 90040
CONTACT: KEVIN KRATZER
TEL: 562.776.0208
FAX: 562.776.0210

LIST OF DRAWINGS

ARCHITECTURAL

T1 TITLE SHEET
A1.0 SITE PLAN
A2.1 FLOOR PLAN
A2.2 EQUIPMENT PLAN
A2.3 FINISH PLAN
A2.4 REFLECTED CEILING PLAN
A2.5 INTERIOR ELEVATIONS

D1 DETAILS
D2 ACCESSIBILITY STANDARDS
K1 HOOD PLAN 1
K2 HOOD PLAN 2

MECHANICAL

ENY-1 MECHANICAL TITLE-2: ENERGY FORMS
ENY-2 MECHANICAL TITLE-2: ENERGY FORMS
M-1 MECHANICAL NOTES AND DETAILS
M-2 MECHANICAL NOTES
M-3 MECHANICAL PLAN, NOTES AND SCHEDULES
M-4 MECHANICAL DETAILS
M-5 MECHANICAL DETAILS
M-6 ICC REPORT AND DETAILS

ELECTRICAL

E1 ELECTRICAL NOTES, LEGEND AND SINGLE LINE DIAGRAM
E2 ELECTRICAL POER AND LIGHTING PLAN
E3 LIGHTING TITLE-24 ENERGY FORMS

PLUMBING

P1 PLUMBING NOTES AND DETAILS
P2 PLUMBING SCHEDULE
P3 HOT AND COLD WATER PLAN
P4 WASTE AND VENT PLAN
P5 GAS PLAN, NOTES AND SCHEDULE

TABULATIONS

SITE TABULATIONS

SITE AREA 2,621 SQ.FT. = .06 ACRE
SITE COVERAGE 2,491 SQ. FT. (95%)

BUILDING TABULATIONS

FLOOR AREA 693 S.F.
OCCUPANT LOAD TABULATION:
CUSTOMER AREA, ORDERING, CASHIER
SERVING AREA AND STORAGE 225/15 = 15
337/200 = 2

TOTAL OCCUPANT LOAD 17

AREAS EXCLUDED FROM OCCUPANT LOAD TABULATION INCLUDE THE FOLLOWING:
RESTROOM

NUMBER OF REQUIRED EXITS ONE
MAXIMUM NUMBER OF EMPLOYEES ANY ONE SHIFT 3
NO ALCOHOLIC BEVERAGES SALES ARE PERMITTED
A SEPERATE PLAN REVIEW AND PERMIT ARE REQUIRED FOR SIGNS

TABULATION BREAKDOWN

NET PUBLIC AREA 225 S.F.
TENANT GROSS FLOOR AREA 693 S.F.
BUILDING GROSS FLOOR AREA 2,358 S.F.

FIRE DEPT. NOTES

- FIRE PREVENTION BUREAU MUST INSPECT THE BUILDING FOR FINAL AND GRANT ACCEPTANCE BEFORE THE BUILDING DEPARTMENT IS SUMMONED FOR THEIR FINAL INSPECTION.
- PROVIDE ADDRESS/SUITE NUMBERS AT LEAST 6" HIGH WHICH SHALL BE PLAINLY VISIBLE FROM ROADWAY.
- PROVIDE 2A 10BC MINIMUM RATED FIRE EXTINGUISHERS TO BE LOCATED ON EACH LEVEL WITHIN 75 FEET OF TRAVEL DISTANCE FROM ALL AREAS. MOUNT FIRE EXTINGUISHER TO WALL AT BETWEEN 3'-6" AND 5'-0" A.F.F.
- INSPECTOR MAY REQUIRE ADDITIONAL EXIT SIGNS AND FIRE EXTINGUISHERS AT THE TIME OF FINAL INSPECTION.

SCOPE OF WORK

THE SUBJECT TENANT SPACE CONSISTS OF 693 S.F. WITHIN AN EXISTING RETAIL BUILDING.

THE PREVIOUS OCCUPANT WAS AN OFFICE SPACE. THE SPACE HAS BEEN VACATED AND WILL BE CONVERTED TO THE PROPOSED RETAIL TAKE-OUT RESTAURANT OPERATION WITH A TOTAL OF 6 SEATS FOR CUSTOMERS.

TENANT IMPROVEMENT WORK WILL CONSIST OF THE FOLLOWING:

ADA COMPLIANT UNISEX RESTROOM
INTERIOR PARTITIONS AS SHOWN ON PLAN
INTERIOR FINISHES INCLUDING FLOOR, CEILING AND WALLS
INTERIOR ELECTRICAL INCLUDING LIGHTING
INTERIOR PLUMBING
MECHANICAL DUCTING

MAIN ELECTRICAL SERVICE, INTERIOR PANELS AND BREAKERS ARE EXISTING BY LANDLORD

ROOFTOP MECHANICAL UNITS ARE EXISTING BY LANDLORD

THERE IS NO CHANGE IN THE BUILDING FOOTPRINT OR BUILDING FLOOR AREA

THERE IS NO ALCOHOL SALES PERMITTED

HOURS OF OPERATION - MONDAY-FRIDAY 10AM - 9PM, SATURDAY 11AM-10PM AND SUNDAY 11AM-8PM

CODE DATA

OCCUPANCY GROUP:
A-2

ZONING DESIGNATION:
CG- GENERAL COMMERCIAL, CV- VISITOR SERVICING COMMERCIAL, SP-6 CANNERY VILLAGE/MCFADDEN SQUARE

TYPE OF CONSTRUCTION:
TYPE V, B

NUMBER OF STORIES:
ONE STORY

RECEIVED BY
PLANNING DEPARTMENT
DEC 23 2010

CITY OF NEWPORT BEACH

GOVERNING AUTHORITY

BUILDING DEPARTMENT:
CITY OF NEWPORT BEACH BUILDING AND SAFETY DIVISION
3300 NEWPORT BOULEVARD
NEWPORT BEACH, CALIFORNIA 92663

HEALTH DEPARTMENT:
ORANGE COUNTY ENVIRONMENTAL HEALTH
1241 EAST DYER ROAD, SUITE 120
SANTA ANA, CALIFORNIA 92705
(714) 433-6000

CODE:
CONSTRUCTION PLANS AND CALCULATIONS SHALL COMPLY FULLY WITH THE FOLLOWING:
2007 CALIFORNIA BUILDING CODE
2007 CALIFORNIA PLUMBING CODE
2007 CALIFORNIA MECHANICAL CODE
2007 CALIFORNIA ELECTRICAL CODE
2007 CALIFORNIA FIRE CODE
2005 CALIFORNIA ENERGY CODE EFFICIENCY STANDARDS
AS ADOPTED BY THE CITY OF NEWPORT BEACH INCLUDING ALL AMENDMENTS AND MUNICIPAL CODES

VICINITY MAP

SABATINO'S TAKE OUT
 406 32ND STREET
 NEWPORT BEACH
 CALIFORNIA

REVISIONS

NO.	DATE	DESCRIPTION
1	11.12.10	REVISED PLANNING SUR.
2	12.14.10	HEALTH DEPT COMMENTS
3	12.23.10	REVISED PLANNING SUR.

JOB NUMBER:	10-110
1ST BUDG. DEPT. SUBMITTAL:	
ISSUED FOR CONSTRUCTION:	
SHEET SCALE:	
REVIEWED BY:	
PRINCIPAL:	PF/RK
PROJECT MANAGER:	PF/RK
DRAWN BY:	PF/RK
CAD FILE NAME:	

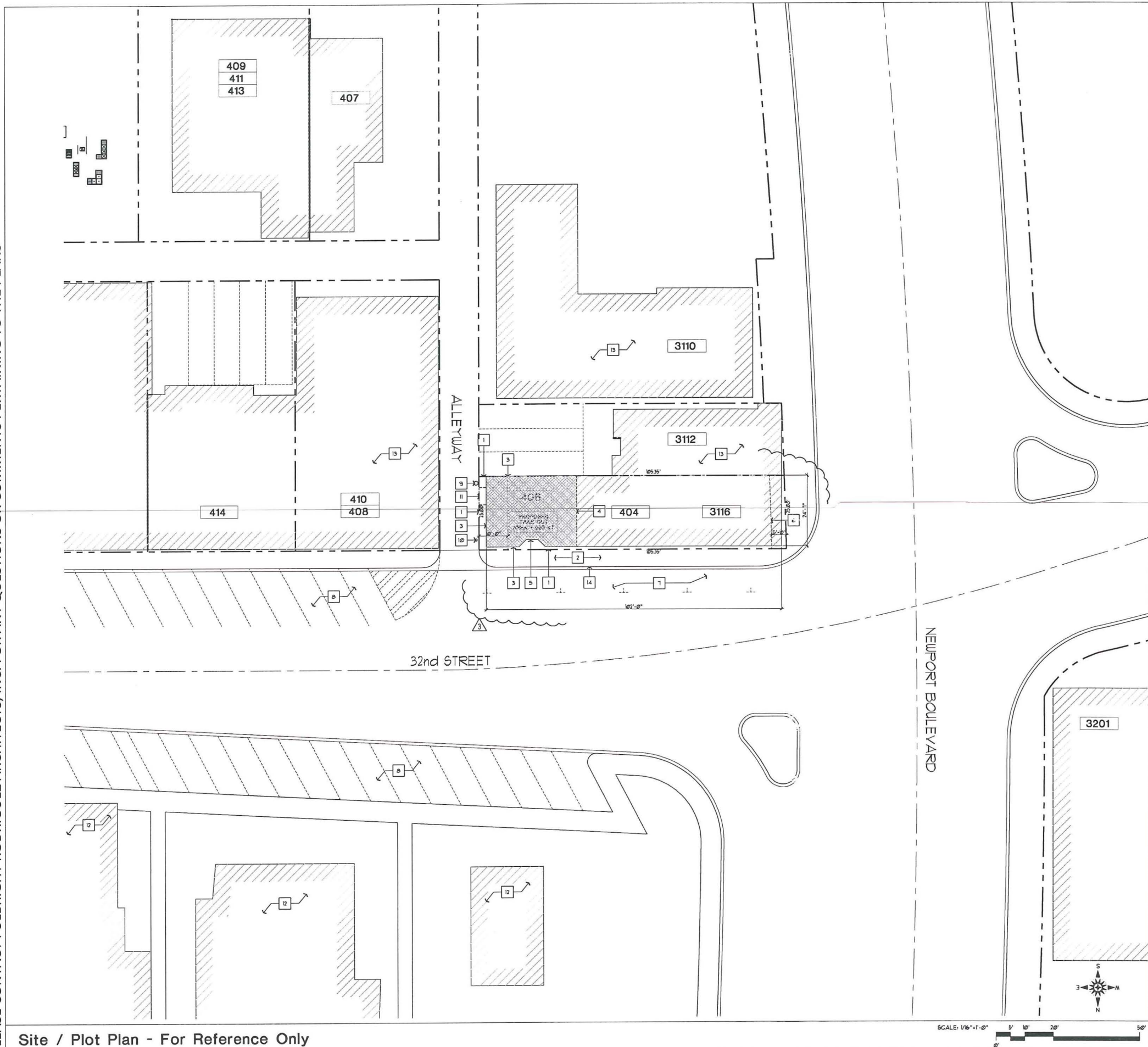
Title Sheet

DATE:	12.23.10	SHEET:	T1
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PLEASE CONTACT FULBRIGHT RODRIGUEZ ARCHITECTS, INC. FOR ANY QUESTIONS OR COMMENTS PERTAINING TO THE PLANS

HEALTH & BUILDING DEPT. SUBMITTAL

PLEASE CONTACT FULBRIGHT RODRIGUEZ ARCHITECTS, INC. FOR ANY QUESTIONS OR COMMENTS PERTAINING TO THE PLANS



Site / Plot Plan - For Reference Only

Site / Plot Plan Keynotes

- 1 PROPERTY LINE
- 2 EXISTING CONCRETE SIDEWALK
- 3 EXISTING BUILDING SHELL
- 4 EXISTING INTERIOR DEMISING WALL
- 5 EXISTING ENTRY TO REMAIN
- 6 LINE OF EXISTING BUILDING SETBACK
- 7 EXISTING PARALLEL METERED STREET PARKING
- 8 EXISTING ANGLED METERED STREET PARKING
- 9 EXISTING 1/2" DIA. POWER POLE
- 10 EXISTING 1/4 1/2" DIA. STEEL BOLLARD
- 11 EXISTING TRASH BIN LOCATION
- 12 EXISTING CITY OF NEWPORT BEACH PUBLIC BUILDING
- 13 EXISTING NEIGHBORING BUILDING
- 14 EXISTING LINE OF CURB

General Notes

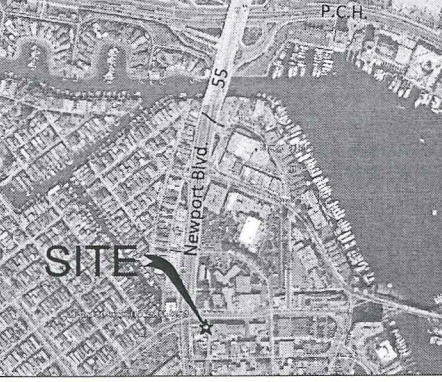
1. SITE PLAN IS INTENDED FOR REFERENCE PURPOSES ONLY. THIS SITE / PLOT PLAN IS AN ARCHITECTURAL REPRESENTATION OF EXISTING CONDITIONS FOR INITIAL DESIGN / PLANNING PURPOSES ONLY, AND DOES NOT REPRESENT A THOROUGH CIVIL ENGINEERING SURVEY / STUDY. FURTHERMORE, THIS DOCUMENT DOES NOT REPLACE, OR SUBSTITUTE, CIVIL ENGINEERING SURVEYS, GEOTECHNICAL, AND/OR SOILS REPORTS AND STUDIES.
 2. NO BASE INFORMATION HAS BEEN PROVIDED BY A LICENSED CIVIL ENGINEER OR SURVEYOR.
 3. FINISH FLOOR ELEVATIONS ARE FOR BUILDING DEPARTMENT REFERENCE ONLY; REFER TO THE ARCHITECTURAL FLOOR PLANS FOR ALL FINISH FLOOR ELEVATIONS.
 4. SITE / PLOT PLAN DOES NOT WARRANT, OR GUARANTEE CODE COMPLIANCE AND/OR ZONING ORDINANCE COMPLIANCE.
 5. THESE PLANS AND THE OWNER SHALL COMPLY WITH ALL CITY OF NEWPORT BEACH OR OCA, FIRE AUTHORITY COMMUNITY SAFETY AND EDUCATION BUREAU GUIDELINES FOR FUEL MODIFICATION PLANS AND MAINTENANCE, IF APPLICABLE.
 6. CIVIL ENGINEER WILL BE REQUIRED TO VERIFY ALL PROPERTY LINE DIMENSIONS, SETBACKS, EASEMENTS, ROAD & CURB ALIGNMENTS, AND GRADING & TOPOGRAPHY CONDITIONS.
 7. ALL DOWNSPOUT (D.S.) LOCATIONS TO BE VERIFIED WITH EXTERIOR ELEVATIONS, ELEVATION TAKE PRECEDENT.
 8. USE BOARD-FORMED AND L-SHAPED WALL FOOTINGS FOR THE PROPERTY LINE AND ANY RETAINING WALLS TO ASSURE THAT PLANTS WILL FIT.
- I HAVE VERIFIED THE SUBJECT PROPERTY'S GRANT DEED AND TITLE REPORT AND HAVE FOUND NO EASEMENTS IN THE AREA OF CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNTABLE FOR NOT CONSTRUCTING IN THE EASEMENTS.
- OWNER OR AUTHORIZED AGENT

NOTE:
THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

Legend

- AREA OF TENANT IMPROVEMENT
- EXISTING BUILDING
- PROPERTY LINE
- LINE OF BUILDING SETBACK

Vicinity Map (N.T.S.)



Fulbright architecture
Rodriguez planning
Architects, Inc. urban design

FRA, Inc.
15278 Del Obispo St., Ste. 210-319
San Juan Capistrano, CA 92675
DIAL: 714-517-7777

Review	Principal	P.M.	Peer
by	Date	by	Date
D.D./Constraints			
Floor plans			
25% block-out			
Addenda			
Final C.D.			
Consultant			
Consult. Coord.			

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SABATINO'S TAKE OUT
406 32ND STREET
NEWPORT BEACH
CALIFORNIA

REVISIONS

NO.	DATE	DESCRIPTION
1	11.12.10	REVISED PLANNING SUB.
2	12.14.10	HEALTH DEPT COMMENTS
3	12.23.10	REVISED PLANNING SUB.

JOB NUMBER: 10-110

1ST BLDG. DEPT. SUBMITTAL:

ISSUED FOR CONSTRUCTION:

SHEET SCALE:

REVIEWED BY:

PRINCIPAL: PF/RR

PROJECT MANAGER: PF/RR

DRAWN BY: PF/RR

CAD FILE NAME:

Site / Plot Plan

DATE:	SHEET:
12.23.10	A1.0

HEALTH & BUILDING DEPT. SUBMITTAL

PLEASE CONTACT FULBRIGHT RODRIGUEZ ARCHITECTS, INC. FOR ANY QUESTIONS OR COMMENTS PERTAINING TO THE PLANS

Door Types

RESTROOM WALL HC SIGNAGE

RESTROOM DOOR HC SIGNAGE

RESTROOM DOOR HC SIGNAGE

TACTILE EXIT SIGN DETAIL

Door Schedule

DOOR NO.	SIZE	TYPE	GLAZING	DOOR		FRAME		HARDWARE AND SIGN	REMARKS
				MAT.	FIN.	MAT.	FIN.		
101	3'-0" x 7'-0"	A	-	S.G.H.	STAIN METAL	PAIN	4,6	4,6	EXISTING DOOR WITH NEW HARDWARE
102	3'-0" x 7'-0"	B	-	S.G.H.	STAIN METAL	ANOD.	4,9,10	4,9,10	NEW DOOR AND HARDWARE

F.F. - FACTORY
F.H. - FINISH FACTORY HARDWARE
S.G.H. - SOLID CORE WOOD

Notes and Abbreviations

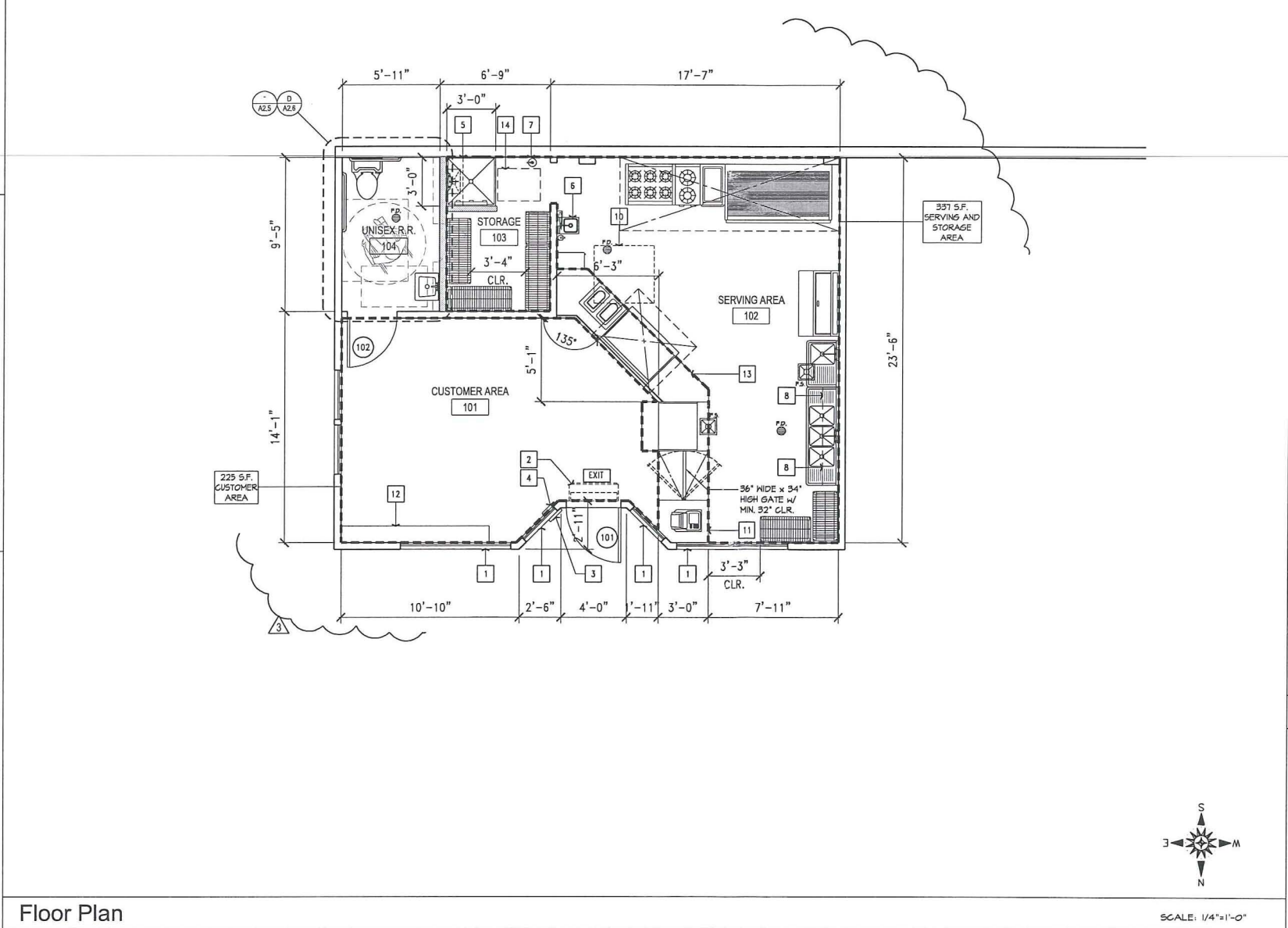
- ALL EXITS TO BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- FOR HARDWARE AND SIGN INFORMATION SEE 2/A2.6
- FOR DOOR CONSTRUCTION SEE 2/A2.6
- FOR LEVEL LANDING AT DOORS SEE 3/A2.6
- FOR THRESHOLD SEE 2/A2.6
- PROVIDE DOOR STOPS AT ALL DOOR LOCATIONS
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. PER CBC 11338.2.5

Hardware/Sign Legend

1 RIM CYLINDER LOCK WITH LOCKED/UNLOCKED INDICATOR CLOSER AND PUSH/PULL HANDLE. WHEN UNLOCKED, THE SINGLE DOOR OR BOTH LEAVES OF A PAIR OF DOORS MUST BE FREE TO SWING WITHOUT OPERATION OF ANY LATCHING DEVICE	6 CLOSER
2 NOT USED	7 POST SIGN ON DOOR STATING "THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS"
3 ENTRY LOCK ACTUATED WITH A LEVER HANDLE OPERABLE FROM INSIDE THE ROOM WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT	8 ILLUMINATED EXIT SIGN SEE NOTES ON THIS SHEET FOR SPECIFICATION
4 PRIVACY LOCK ACTUATED WITH A LEVER HANDLE AND CLOSER	9 UNISEX RESTROOM DOOR SIGN 12" DIAMETER GIRCLE WITH 12" EQUILATERAL TRIANGLE SUPERIMPOSED (11B5.1)
5 PASSAGE LEVER HANDLE	10 UNISEX RESTROOM WALL SIGN WITH CORRESPONDING GRADE II BRAILLE PER 11B5.1

Keynotes

- EXISTING FIXED TEMPERED GLASS STOREFRONT
- AIR CURTAIN ABOVE DOOR WITH DOOR ACTIVATED MICRO SWITCH
- MINIMUM 5"x5" INTERNATIONAL SYMBOL OF ACCESSIBILITY DECAL MOUNTED ON GLASS OR WALL ADJACENT TO DOOR AT 5'-0" TO CENTER OF SIGN A.F.F.
- TACTILE EXIT SIGN MOUNTED TO GLASS AT 60" A.F.F. PER 11B5.1 THROUGH 11B5.7
- COVERED WASH OUT AREA AND MOP SINK WITH TANKLESS WATER HEATER ABOVE MOUNTED ON WALL 36" H X 36" D X 12" H
- HALL HUNG S.S. HANDSINK WITH SOAP AND PAPER TOWEL DISPENSER SEE A2.5 FOR MOUNTING HEIGHTS
- 2A, 10 BC FIRE EXTINGUISHER MOUNTED AT 48" A.F.F.
- HALL HUNG SHELVES PROVIDE SOLID BACKING FOR ANCHORAGE
- STAINLESS STEEL WORK TABLE
- (E) 5 TON ROOFTOP PACKAGED GAS/ELECTRIC HVAC UNIT
- SOLID SURFACE COUNTER 30" D X 34" H WITH BASE CABINET BELOW. GENERAL CONTRACTOR TO CORE FOR REGISTER POWER CORD DROPS.
- NEW 4" WIDE X 42" HIGH COUNTER [55-1]
- SOLID SURFACE COUNTER 30" D X 36" H WITH BASE CABINET BELOW. GENERAL CONTRACTOR TO CORE FOR REGISTER POWER CORD DROPS.
- NEW MIFAB GREASE INTERCEPTOR MODEL# MI-6-6 - SEE MECHANICAL PLANS FOR MORE INFO



Wall Legend and Notes

--- EXISTING HALL TO BE DEMOLISHED

==== EXISTING HALL OR NON-BEARING OR INTERIOR PARTITION

===== NEW 2x4 WOOD STUDS @ 16" O.C. W/ 5/8" GYP. BD. ON EACH SIDE

EXIT DENOTES ILLUMINATED EXIT SIGN WITH MIN. 5.0-FOOT CANDLES (MIN. 1-FOOT CANDLE AT FLOOR) AND BACK-UP BATTERY POWER

****NOTE:**

- EXIT SIGN COLOR AND DESIGN OF LETTERING SHALL BE IN HIGH CONTRAST WITH THEIR BACKGROUND. WORDS ON THE SIGN SHALL BE IN BLOCK LETTERS 6" IN HEIGHT WITH A STROKE OF NOT LESS THAN 3/4".
- WHERE EXIT SIGNS ARE LOCATED, TACTILE EXIT SIGNS SHALL BE PROVIDED (PER CBC 1008.2.8.6.1) AND POSITIONED TO SIDE OF DOORS ON WALL ADJACENT TO THE LATCH @ 48" AFF (PER CBC 11B5.7).
- ALL EXIT DOORS WILL HAVE A LOCKING DEVICE THAT IS READILY DISTINGUISHABLE AS LOCKED. A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE OR ADJACENT TO THE DOOR STATING: THIS DOOR IS TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED. THE SIGN SHALL BE IN LETTERS 1 INCH (25 MM) HIGH ON A CONTRASTING BACKGROUND. (PER CBC 1008.1.8.3)

Building Ventilation Note

A. ALL ENCLOSED PORTIONS OF BUILDINGS CUSTOMARILY OCCUPIED BY HUMAN BEINGS SHALL BE PROVIDED WITH A MECHANICALLY OPERATED VENTILATION SYSTEM. SUCH MECHANICALLY OPERATED VENTILATION SYSTEM SHALL BE CAPABLE OF SUPPLYING A MINIMUM OF 15 CUBIC FEET PER MINUTE OF OUTSIDE AIR PER OCCUPANT DURING SUCH TIME AS THE BUILDING IS OCCUPIED. IF THE VELOCITY OF AIR AT A REGISTER EXCEEDS 10 FEET PER SECOND, THE REGISTER SHALL BE PLACED MORE THAN 8 FEET ABOVE THE FLOOR DIRECTLY BENEATH.

B. TOILET ROOMS SHALL BE PROVIDED WITH A MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH MECHANICALLY OPERATED EXHAUST SYSTEM SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE FROM THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING WHICH ALLOWS AIR ENTRY.

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Floor plans			
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Final C.D.			
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Consult. Coord.			

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SABATINO'S TAKE OUT
406 32ND STREET
NEWPORT BEACH
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REVISIONS

NO.	DATE	DESCRIPTION
1	11.12.10	REVISED PLANNING SUB.
2	12.14.10	HEALTH DEPT COMMENTS
3	12.23.10	REVISED PLANNING SUB.

JOB NUMBER: 10-110
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PRINCIPAL: PF/RR
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CAD FILE NAME:

Floor Plan

DATE: 12.23.10
SHEET: A2.1

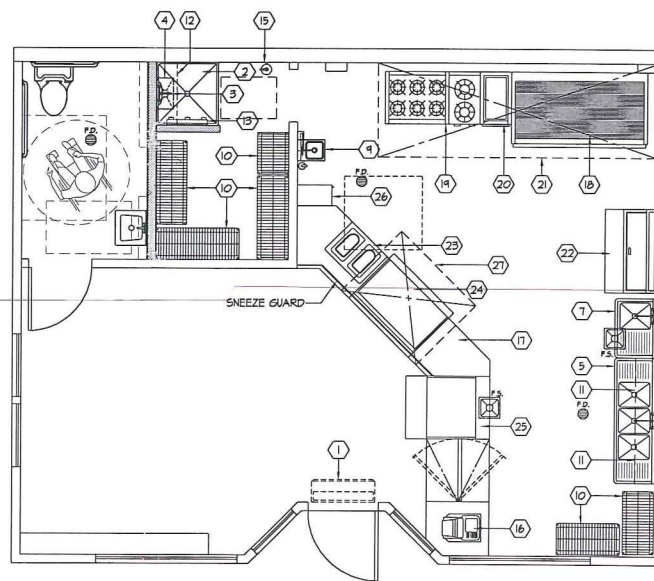
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Equipment Schedule														SYMBOLS =	
EQUIPMENT						PLUMBING			ELECTRICAL			REMARKS			
SYMBOL	QTY.	PURCHASED BY	INSTALLED BY	DESCRIPTION	MANUFACTURER/MODEL NO.	DIMENSIONS	HOT WATER	COLD WATER	WASTE INDIRECT DIRECT	GAS (BTUH x1000)	VOLT/PH	AMP	H.P.	REMARKS	
1	1	OWNER	G.C.	AIR CURTAIN	MARS 48 NCH	14 3/4" H x 12 3/4" D					115V/1Ø	5.0A	1/2	ELECTRICAL CONTRACTOR TO PROVIDE DOOR ACTIVATED MICO SWITCH	
2	1	G.C.	G.C.	FLOOR MOUNTED MOP SINK	SPOKANE #FLR-1	24" x 24"	1/2"	1/2"	2"					EQUIP WITH BUCKER HOLDER, SHELF AND MOP RACK	
3	1	G.C.	G.C.	MOP SINK FAUCET W/ BUILT IN VACUUM BREAKER	CHICAGO #897	8 1/2" x 1 1/4" x 1 1/4"	1/2"	1/2"						EQUIP WITH LONG SPOUT AND BRACE	
4	1	G.C.	G.C.	S.S. TANKLESS WATERHEATER	NORITZ N-931 M-DV-ASME	24.4" H x 18.4" W x 9.4" D	3/4"	3/4"			250	115V/1Ø	1.5A	MOUNT ON WALL ABOVE MOP SINK. PROVIDE 4" VENT THROUGH ROOF	
5	1	OWNER	G.C.	S.S. THREE COMP. SINK WITH DRAIN BOARD EACH END	R&J FABRICATORS #RL-3-1818-18D	24" D x 90" W x 44 1/2" H	1/2"	1/2"	2" TO FLR SINK					EQUIP WITH 8" HIGH INTEGRAL S.S. SPLASH AGAINST WALLS	
6	1	OWNER	G.C.	PRE-RINSE WITH ADD-ON FAUCET AND 12" SWING SPOUT	FISHER #2010-1WB AND 2901-14		1/2"	1/2"							
7	1	OWNER	G.C.	S.S. ONE COMP. PREP SINK WITH SINGLE DRAIN BOARD	R&J FABRICATORS #RL-1-1818-18L	24" D x 38 1/2" W x 44 1/2" H	1/2"	1/2"	2" TO FLR SINK						
8	1	OWNER	G.C.	PREP SINK FAUCET	FISHER #3250		1/2"	1/2"							
9	1	OWNER	G.C.	WALL MOUNTED S.S. HANDSINK WITH FAUCET	TURBO AIR TSS-1-H	15" W x 17" L x 14" H	1/2"	1/2"	2"					PROVIDE FAUCET, SOAP AND PAPER TOWEL DISPENSER	
10	4	OWNER	G.C.	18" W x 5-TIER DRY STORAGE WIRE SHELVING (SEE PLAN FOR LENGTH AND TABULATION)	METRO										
11	1	OWNER	G.C.	WALL SHELF WITH TWO BRACKETS, EPOXY FINISH	METROSEAL 3	18" D x 36" L								MOUNT SHELVES ABOVE THREE COMP. SINK AND PREP SINK	
12	1	OWNER	G.C.	WALL MOUNTED S.S. SOAP SHELF		12" D x 24" L									
13	1	OWNER	G.C.	MOP RACK											
14	1	OWNER	G.C.	S.S. WORK TABLE	DUKE MANUFACTURING										
15	1	G.C.	G.C.	2A10BC FIRE EXTINGUISHER	KIDDE									MOUNT TO WALL AT 48" A.F.F.	
16	1	OWNER	G.C.	CASH REGISTER WITH DIGITAL SCALE							120V/1Ø	15A		DEDICATED CIRCUIT	
17	1	G.C.	G.C.	SERVICE COUNTER W/ SOLID SURFACE COUNTERTOP	CUSTOM										
18	1	OWNER	G.C.	GAS DECK OVEN	BAKERS PRIDE MODEL# YL-6028L	78" W x 43" D x 66 1/4" H					240			NSF	
19	1	OWNER	G.C.	6 BURNER RANGE	BAKERS PRIDE MODEL# X08-636	36" W x 30 1/4" D x 13 1/4" H					180			NSF	
20	1	OWNER	G.C.	RANGE/GRILL	BAKERS PRIDE MODEL#										
21	1	OWNER	G.C.	HOOD #1	ACCUREX										
22	1	OWNER	G.C.	PIZZA PREP TABLE	DELFIELD MODEL# 18648PTBM	48" W x 31" D x 32" H					115V/1Ø	10A			
23	1	OWNER	G.C.	HOT FOOD WELLS - WARMER	APW-WYOTT MODEL# HW-20 2-WELL W/DRAIN	28.662" W x 22.5" D x 5.625" H									
24	1	OWNER	G.C.	GAS GRIDDLE	VULCAN MODEL# MSA48	48" W x 31.5" D x 15.25" H					108				
25	1	OWNER	G.C.	REFRIGERATED DELI CASE	TRUE MODEL# TSD-36-2	36.5" W x 29.25" D x 50.25" H					115V/1Ø	8A			
26	2	OWNER	G.C.	TWO TIER EMPLOYEE LOCKERS	LOCKER SOLUTIONS	12" W x 18" D x 36" H								FOUR LOCKERS TOTAL	
27	1	OWNER	G.C.	HOOD #2	ACCUREX										

Equipment Schedule Notes

- PROVIDE SOLID HOOD BLOCKING FOR ALL WALL MOUNTED EQUIPMENT INCLUDING SINKS
- ALL EQUIPMENT, INCLUDING SHELVING, MUST BE SUPPORTED BY 6" HIGH EASILY CLEANABLE LEGS, COMMERCIAL CASTORS, OR COMPLETELY SEALED IN POSITION ON A 4" HIGH CONTINUOUSLY COVERED BASE OR CONCRETE CURB TO FACILITATE EASE OF CLEANING.
- ALL EQUIPMENT SHALL BE NSF, APPROVED OR APPROVED EQUAL.
- ALL SELF CONTAINED REFRIGERATION EQUIPMENT SHALL BE EQUIPPED WITH AN EVAPORATOR.
- THREE COMPARTMENT STAINLESS STEEL SINK HAS 3-18" SQ. X 12" DEEP TUBS W/8" WIDE DRAINBOARD AT EACH END AND 8" HIGH INTEGRAL SPLASH WHERE SINK IS AGAINST WALL.
- SHELVING OVER WET AREAS AND FOOD PREP SURFACES SHALL BE METAL.
- THE MOP SINK WILL HAVE A THREADED OUTER LIP FOR HOSE ATTACHMENT AND AN APPROVED BACKFLOW PREVENTION DEVICE. NO DOWNSTEAM VALVES OR CHEMICAL DISPENSING SYSTEMS TO BE ATTACHED TO MOP SINK FAUCET (UNLESS A SIDEKICK PLUMBING DEVICE IS PROVIDED).
- CONTRACTOR IS RESPONSIBLE TO RECEIVE, UNPACKAGE, ASSEMBLE AND INSTALL ALL EQUIPMENT SHOWN ON THESE PLANS.
- ALL COUNTERTOPS ARE SOLID SURFACE
- ALL FLOOR SINKS MUST BE AT LEAST HALF-EXPOSED UNDER THE CURB MOUNTED EQUIPMENT, OR BE IN LINE WITH THE FRONT FACE OF ELEVATED FREESTANDING EQUIPMENT AND LOCATED WITHIN 15 FEET OF THE CONDENSATE PRODUCING EQUIPMENT



Equipment Layout Plan



SCALE: 1/4"=1'-0"

Symbol Legend

- EQUIPMENT SCHEDULE SYMBOL
-
- FLOOR DRAIN SET FLUSH WITH FLOOR FINISH

Storage Shelving Tabulation

SYM.	SIZE	QTY.	LINEAR FEET	TIERS	TOTAL L.F.
10	24" x 18"	1	2	5	10
10	48" x 18"	3	12	5	60
10	36" x 18"	2	6	5	30
TOTAL			20		100

ALL STORAGE SHELVING IS MIN. 5 TIER, 14" POST

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Equipment Plan

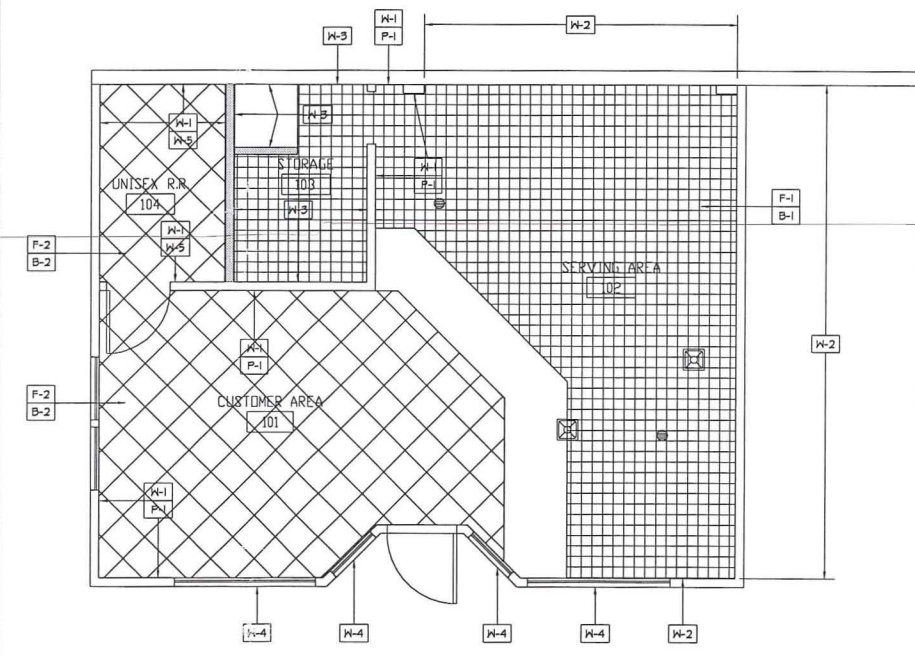
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Finish Schedule									
ROOM NO.	ROOM/AREA	FLOOR	BASE	WALLS			CEILING	REMARKS	
				NORTH	EAST	SOUTH	WEST		
101	CUSTOMER AREA	F-2	B-2	H-1 P-1	H-1 P-1	H-1 P-1	-	C-1 P-1	
102	SERVING AREA	F-1	B-1	H-2	-	H-2	H-2	C-1 P-1	
103	DRY STORAGE	F-1	B-1	H-3	H-3	H-3	H-3	C-1	
104	UNISEX RESTROOM	F-2	B-2	H-3	H-3	H-3	H-3	C-1 P-1	

Finish Legend			
Floor Finishes			
F-1	6"x6" SMOOTH QUARRY TILE	-	-
F-2	18"x18" CERAMIC TILE, SMOOTH, DURABLE, NON ABSORBENT AND EASILY WASHABLE	-	-
Wall Base Finishes			
B-1	5"x6" SMOOTH QUARRY TILE W/ 3/8" RADIUS INTEGRAL GOVE	-	-
B-2	6"x12" CERAMIC TILE BASE WITH 3/8" RADIUS INTEGRAL GOVE, SMOOTH, DURABLE, NON ABSORBENT AND EASILY WASHABLE	-	-
Ceiling Finishes			
C-1	PAINTED GYPSUM BOARD		SMOOTH FINISH GYP. BD., SEMI GLOSS PAINT
Paint			
P-1	SEMI GLOSS	WHITE, DEK 300	DUNN EDWARDS
Wall Finishes			
H-1	GYPSUM BOARD	PAINT FINISH, SEE SCHEDULE FOR PAINT SPECIFICATION	SMOOTH FINISH
H-2	STAINLESS STEEL PANEL	SILVER	
H-3	FRP PANELS OVER GYPSUM BOARD	GLASBORD-P EMBOSSED WALL PANEL	KEM-LITE
H-4	EXISTING FIXED GLASS STOREFRONT		
H-5	12"x12" CERAMIC TILE, SMOOTH, DURABLE, NON ABSORBENT AND EASILY WASHABLE OVER GYPSUM BOARD		
Laminates and Solid Surfaces			
SS-1	SOLID SURFACE	GLACIER WHITE	CORIAN
L-1	PLASTIC LAMINATE	GLOSSY WHITE (449-90)	FORMICA
L-2	METAL LAMINATE	SATIN SILVER ALUMINUM (FT19)	CHEMETAL



Finish Plan

Finish Plan Notes

- ALL OUTSIDE CORNERS OF DRYWALL TO RECEIVE 90° CORNER METAL.
- PAINT ALL DOORS WITH THE SAME COLOR AS THE WALL WHERE THEY ARE LOCATED.
- PROVIDE BRUSHED ALUM. SLUJTER STRIP AT EXPOSED TILE EDGES

Symbol Legend

- 12" x 12" FLOOR SINK WITH GRATE FLUSH WITH FINISHED FLOOR. PROVIDE 1" AIR GAP BETWEEN GRATE AND DRAIN PIPE.
- FLOOR DRAIN SET FLUSH WITH FLOOR FINISH
- FINISH CALLOUT - SEE FINISH LEGEND
- ROOM NUMBER

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Exit Signs / Exit Illumination

EXIT SIGNS:
GRAPHICS:
 THE COLOR AND DESIGN OF LETTERING, ARROWS, AND OTHER SYMBOLS ON EXIT SIGNS SHALL BE IN HIGH CONTRAST WITH THEIR BACKGROUND. WORDS ON SIGNS SHALL BE IN BLOCK LETTERS 6 INCHES IN HEIGHT WITH A STROKE OF NOT LESS THAN 3/4 INCH. THE WORD "EXIT" SHALL HAVE LETTERS HAVING A WIDTH OF NOT LESS THAN 2" EXCEPT THE LETTER "I" AND A MINIMUM SPACING OF NOT LESS THAN 3/8".

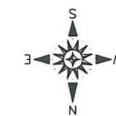
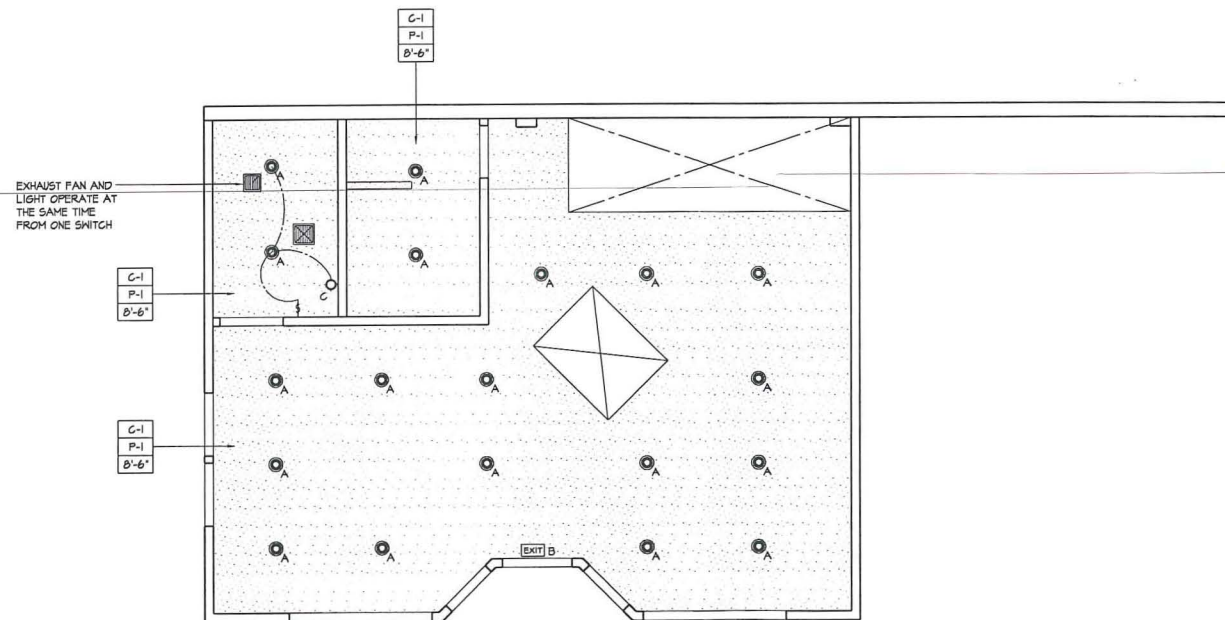
ILLUMINATION:
 SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. WHEN THE FACE OF AN EXIT SIGN IS ILLUMINATED FROM AN EXTERNAL SOURCE, IT SHALL HAVE AN INTENSITY OF NOT LESS THAN 5.0 FOOTCANDLES (54 lx) FROM EITHER OF TWO ELECTRIC LAMPS. INTERNALLY ILLUMINATED SIGNS SHALL PROVIDE EQUIVALENT LUMINANCE AND BE LISTED FOR THE PURPOSE.

POWER SOURCE:
 ALL EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 1 1/2 HOURS IN CASE OF PRIMARY POWER LOSS, THE EXIT SIGNS SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON SITE GENERATOR SET, AND THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE.

EXIT ILLUMINATION:
 EXIT ILLUMINATION ANY TIME A BUILDING IS OCCUPIED, THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOTCANDLE (10.76 lx) AT THE FLOOR LEVEL.

POWER SUPPLY:
 THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY.

Reflected Ceiling Plan



SCALE: 1/4"=1'-0"

Ceiling Plan Notes

C-1 CEILING FINISH CALLOUT - SEE A2.3 FOR LEGEND
 10'-0" CEILING HEIGHT

- NOTES:
 1. ALL LIGHT FIXTURES INSTALLED OVER UTENSIL WASHING, FOOD HANDLING OR STORAGE AREAS SHALL BE EQUIPPED WITH APPROVED SAFETY COVERS.
 2. FOR ADDITIONAL INFORMATION ON FIXTURES SEE ELECTRICAL AND MECHANICAL PLANS.

Mechanical Symbol Legend

SYMBOL	DESCRIPTION	REMARKS
	EXHAUST FAN - FLUSH TYPE	TO PROVIDE 5 AIR CHANGES PER HOUR - VENT TO OUTSIDE
	2'-0" x 2'-0" RETURN AIR GRILLE	RETURN AIR GRILLE FOR SUSPENDED CEILING W/ELBOW CONNECTION AND INSULATED FLEXIBLE DUCT RUNOUT
	2'-0" x 2'-0" SUPPLY AIR GRILLE	SUPPLY AIR GRILLE FOR SUSPENDED CEILING W/ELBOW CONNECTION AND INSULATED FLEXIBLE DUCT RUNOUT
	1'-0" x 1'-0" SUPPLY AIR GRILLE	SUPPLY AIR GRILLE FOR GYP. BOARD CEILING W/ELBOW CONNECTION AND INSULATED FLEXIBLE DUCT RUNOUT
	1'-0" x 1'-0" RETURN AIR GRILLE	RETURN AIR GRILLE FOR GYP. BOARD CEILING W/ELBOW CONNECTION AND INSULATED FLEXIBLE DUCT RUNOUT

Light Fixture Schedule

TYPE	SYMBOL	DESCRIPTION	WATTS	REMARKS
A		6" RECESSED COMPACT FLUORESCENT LIGHT FIXTURE; NORA LIGHTING PNP-13, 120V w/ ELECTRONIC BALLAST, 15W ELECTRONIC 4-PIN QUAD LAMP	13	6" UNIVERSAL HOUSING
B		LED EXIT SIGN w/ WHITE HOUSING 4 EM LITON. LX400G (90 MIN. EM BATTERY BACK-UP POWER SUPPLY)	-	-
C		WALL MOUNTED LIGHT FIXTURE	50	MOUNTS OVER RESTROOM MIRROR

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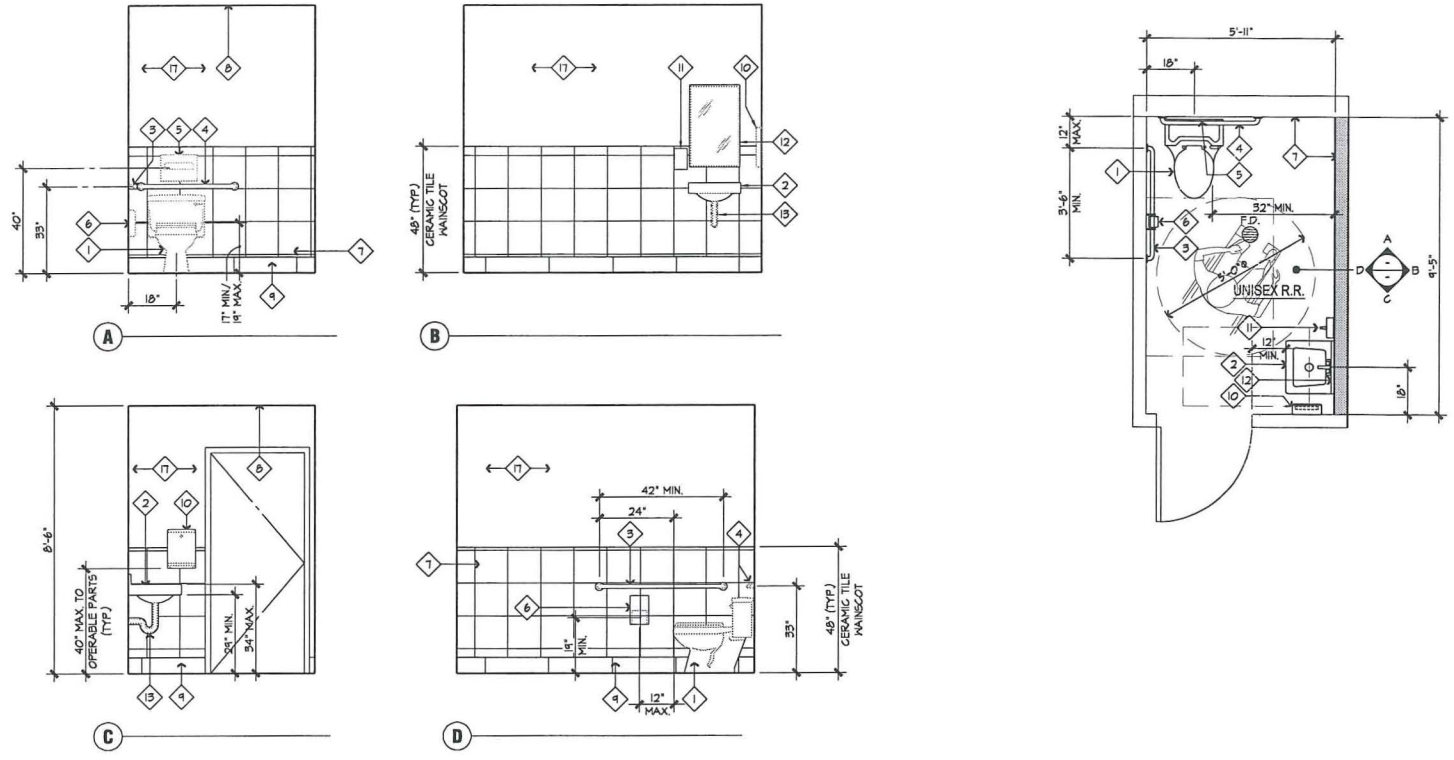
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Restroom Keynotes

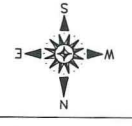
- 1 TANK TOILET WITH FLUSH HANDLE ON WIDE SIDE
- 2 WALL MOUNTED LAVATORY
- 3 42" LONG STAINLESS STEEL GRAB BAR
- 4 36" LONG STAINLESS STEEL GRAB BAR
- 5 SURFACE MOUNTED TOILET SEAT COVER DISPENSER
- 6 SURFACE MOUNTED TOILET TISSUE DISPENSER
- 7 CERAMIC TILE [M-5]
- 8 PAINTED SMOOTH SEMI-GLOSS FINISH GYPSUM BOARD CEILING [P-1]
- 9 CERAMIC TILE COVE BASE [B-2]
- 10 SURFACE MOUNTED PAPER TOWEL DISPENSER
- 11 SURFACE MOUNTED LIQUID SOAP DISPENSER
- 12 MIRROR
- 13 INSULATE HOT WATER AND WASTE LINES
- 14 PROVIDE BACKING FOR GRAB BARS
- 15 UNISEX H.C. TOILET DOOR SIGN PER DETAIL ON SHT. A2.J
- 16 UNISEX H.C. TOILET MALL SIGN PER DETAIL ON SHT. A2.J
- 17 PAINTED SMOOTH SEMI-GLOSS FINISH GYPSUM BOARD

Interior Elevation Notes

1. ALL OUTSIDE CORNERS OF DRYHALL TO RECEIVE 90° CORNER METAL.
2. PAINT ALL DOORS WITH THE SAME COLOR AS THE WALL WHERE THEY ARE LOCATED.
3. PROVIDE BRUSHED ALUMINUM SCHLUTER STRIP AT EXPOSED TILE EDGES

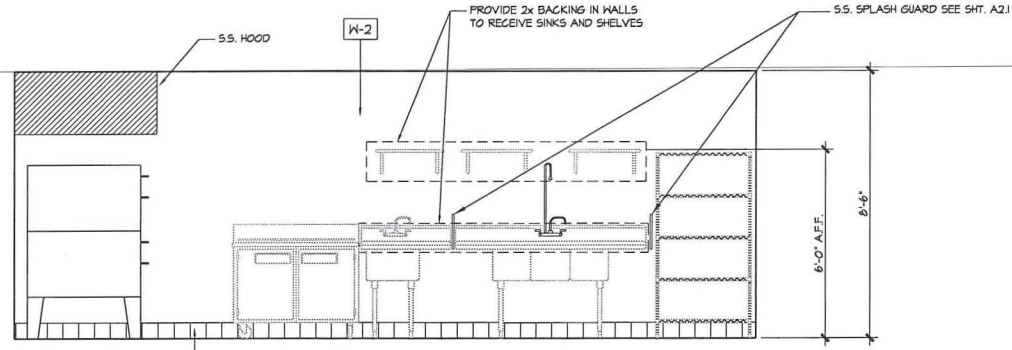
Symbol Legend

- FINISH CALLOUT - SEE FINISH LEGEND

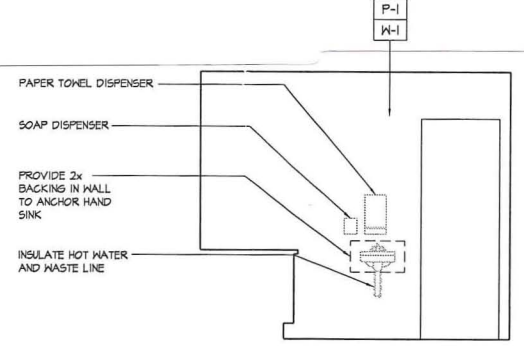


Enlarged Restroom Plan and Interior Elevations

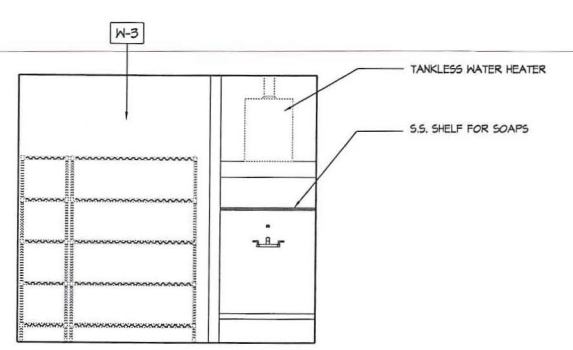
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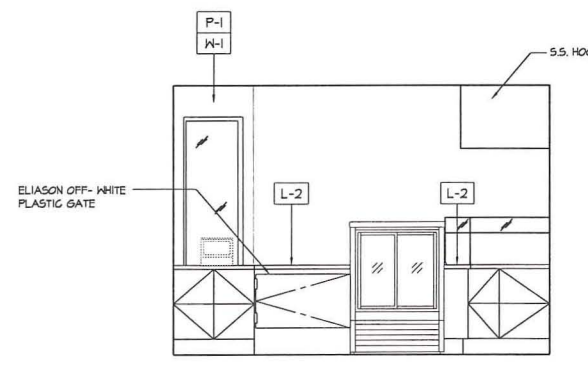
B SCULLERY ELEVATION



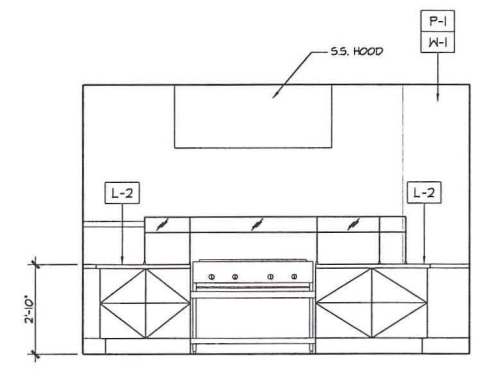
D SCULLERY ELEVATION



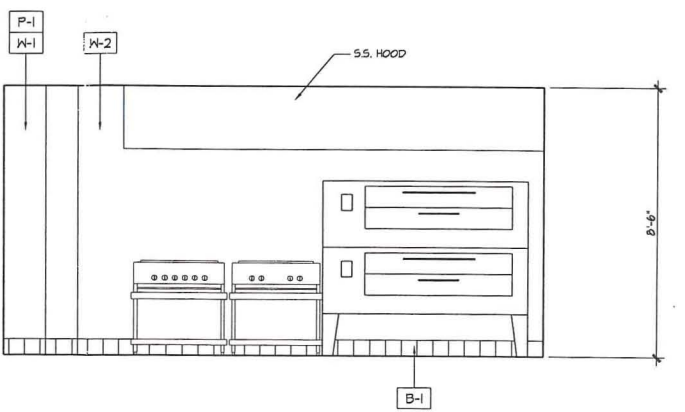
D STORAGE



D FRONT COUNTER ELEVATION



D GRIDDLE ELEVATION



A OVEN AND RANGE ELEVATION

Interior Elevations

SCALE: 3/8"=1'-0" B

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REVISIONS

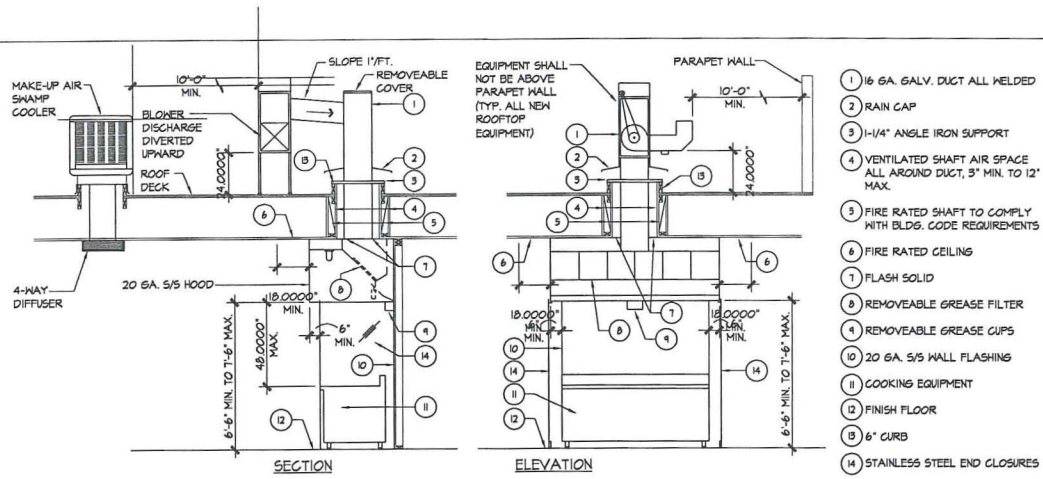
NO.	DATE	DESCRIPTION
▲	11.12.10	REVISED PLANNING SUB.
▲	12.14.10	HEALTH DEPT COMMENTS
▲	12.23.10	REVISED PLANNING SUB.

JOB NUMBER: 10-110
 LST BLDG. DEPT. SUBMITTAL:
 ISSUED FOR CONSTRUCTION:
 SHEET SCALE:
 REVIEWED BY:
 PRINCIPAL: P/R
 PROJECT MANAGER: P/R
 DRAWN BY: P/R
 CAD FILE NAME:

Interior Elevations

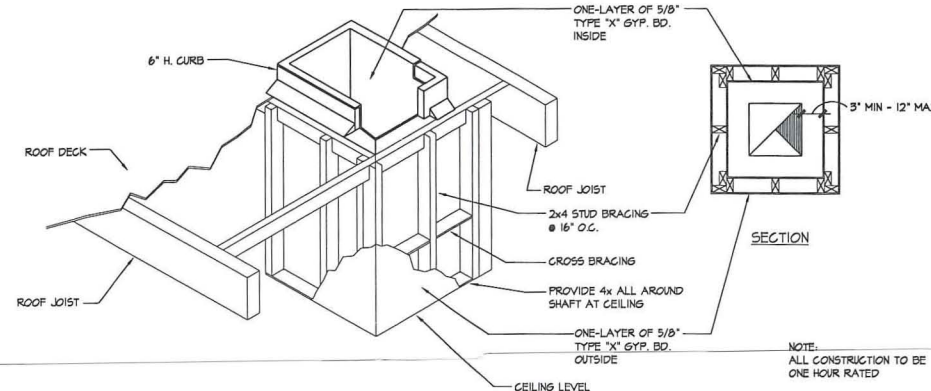
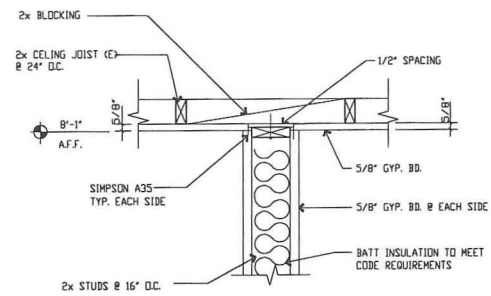
DATE: 12.23.10 SHEET: A2.5

HEALTH & BUILDING DEPT. SUBMITTAL



HOOD & SHAFT - TYPICAL INSTALLATION

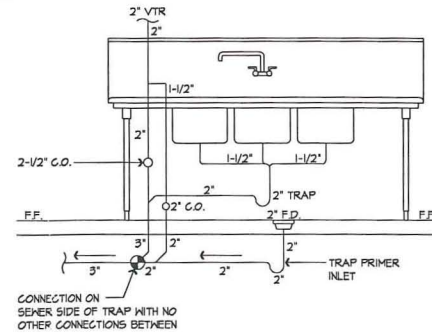
1/4" = 1'-0"



TYPICAL SHAFT DETAILS

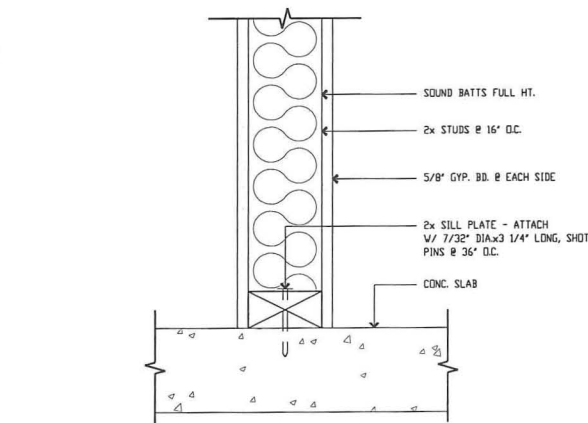
1/4" = 1'-0"

CPC SECTION: 704.3 - POT SINKS, SULLERY SINK, DISHWASHING SINKS, DISHWASHING MACHINES, SILVERWARE WASHING MACHINES, AND OTHER SIMILAR FIXTURES SHALL BE CONNECTED DIRECTLY TO THE DRAINAGE SYSTEM. A FLOOR DRAIN SHALL BE PROVIDED ADJACENT TO THE FIXTURE, AND THE FIXTURE SHALL BE CONNECTED ON THE SEWER SIDE OF THE FLOOR DRAIN TRAP, PROVIDED THAT NO OTHER DRAINAGE LINE IS CONNECTED BETWEEN THE FLOOR DRAIN WASTE CONNECTION AND THE FIXTURE DRAIN. THE FIXTURE AND FLOOR DRAIN SHALL BE TRAPPED AND VENTED AS REQUIRED BY THIS CODE.



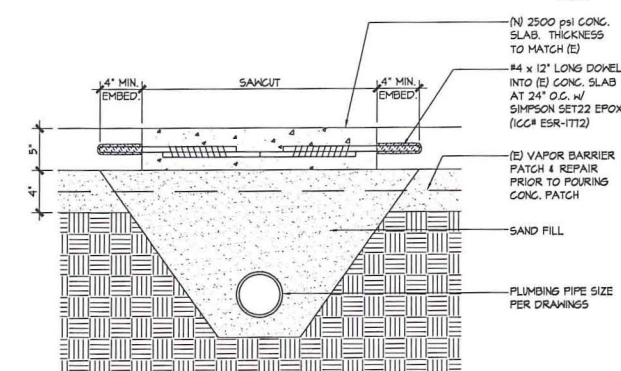
(3) COMPARTMENT SINK DETAIL

N.T.S.



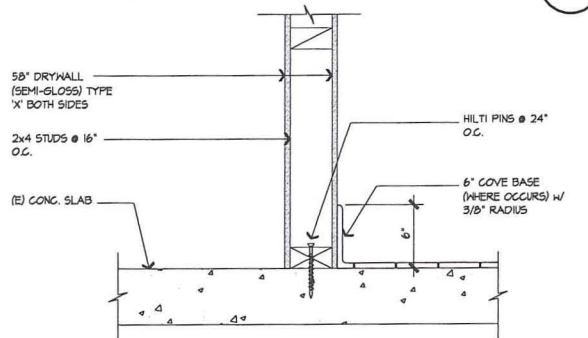
INTERIOR PARTITION PLATE

3' = 1'-0"



CONC. SLAB PATCH (TYP.)

N.T.S.



BASE DETAIL

N.T.S.

Fulbright architecture
 Rodriguez planning
 Architects, Inc. urban design

FRA, Inc.
 31878 Del Coronado St., Ste. 110-1199
 San Juan Capistrano, CA 92675
 (949) 785-0127

Review	Principal	P.M.	Peer
by	Date	by	Date

Final C.D.
 Consultant
 Consult. Coord.

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SABATINO'S TAKE OUT
 406 32ND STREET
 NEWPORT BEACH
 CALIFORNIA

REVISIONS

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PRINCIPAL: PFR/R

PROJECT MANAGER: PFR/R

DRAWN BY: PFR/R

CAD FILE NAME:

Details

DATE:	SHEET:
12.23.10	D1

PLEASE CONTACT FULBRIGHT RODRIGUEZ ARCHITECTS, INC. FOR ANY QUESTIONS OR COMMENTS PERTAINING TO THE PLANS

A. ENTRANCES, DOORS & DOORWAYS

DOORS

- HAND ACTIVATED DOOR OPENING HARDWARE TO BE MOUNTED 30" TO 44" ABOVE THE FLOOR AND BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8.5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS.
- THE BOTTOM 10" OF ALL DOORS (EXCEPT SLIDING AND AUTOMATIC) SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE.
- ALL REQUIRED EXIT DOORWAYS SHALL HAVE A MINIMUM 32" CLEAR OPENING WITH THE DOOR AT 90° TO THE CLOSED POSITION.
- ONE DOOR OF A PAIR OF DOORS SHALL MEET THE MINIMUM WIDTH REQUIREMENTS.
- MAXIMUM HEIGHT OF THRESHOLD TO BE 4" EXCEED 8.5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS.
- ALL EXIT DOORS TO BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.

LEVEL MANEUVERING CLEARANCE AT DOORS

THRESHOLDS

B. SIGNS & IDENTIFICATION

International Symbol of Accessibility. The International symbol of accessibility shall be standardized used to identify facilities that are accessible to and usable by physically disabled persons.

Color of Symbol. The symbol specified above shall consist of a white figure on a blue background. The blue shall be equal to Color No. 15090 Standard 599b.

Braille Symbols. Contracted Grade 2 Braille shall be used wherever Braille symbols are specifically required in other portions of these standards. Dots shall be 1/10 inch on centers in each cell with 2/10 inch space between cells. Dots shall be raised a minimum of 1/40 inch above the background.

Proportions. Letters and numbers on signs shall have 3 width-to-height ratio of between 3:5 and 1:1 and a stroke width to height ratio between 1:5 and 1:10.

Character Height. Characters and numbers on signs shall be sized according to the viewing distance from which they are to be read. The minimum height is measured using an upper case X. Lower case characters are permitted. For signs suspended or projected above the finish floor in compliance the minimum character height shall be 3 inches.

Contrast of Symbol. Characters and symbols shall contrast with their background, either light characters on a dark background or dark characters on a light background.

Raised Characters and Pictorial Symbol Signs. When raised characters or symbols are used, they shall conform to the following:

Letter Type. Letters and numbers on signs shall be raised or recessed 1/32 inch minimum and shall be sans-serif uppercase characters accompanied by Grade 2 Braille.

Symbol Size. Raised characters or symbols shall be a minimum of 5/8 inch high.

Pictorial Symbol Signs (Pictograms). Pictorial symbol signs (pictograms) shall be accompanied by the equivalent verbal description placed directly below the pictogram. The border dimension of the pictogram shall be a minimum of 6 inches in height.

Entrance Signs. All building entrances that are accessible to and usable by persons with disabilities shall be identified with at least one standard sign with additional directional signs, as required, to be visible to persons along approaching pedestrian ways.

Identification Symbols. Doorways leading to men's sanitary, shall be identified by an equilateral triangle 1/4 inch thick with edges 12 inches long and vertex pointing upward. Women's sanitary facilities shall be identified by a circle, 1/4 inch thick and 12 inches in diameter. Unisex sanitary facilities shall be identified by a circle 1/4 inch thick, 12 inches in diameter with a 1/4 inch thick triangle superimposed on the circle and within the 12 inch diameter. These geometric symbols shall be centered on the door at a height of 60 inches and their color and contrast shall be distinctly different from the color and contrast of the door.

Per section 1003.2.8.6.1, tactile exit signs shall be provided at the following locations:

- Wherever basic CBC provisions require exit signs from a room or area to a corridor or a hallway. The tactile sign shall have the words, "EXIT ROUTE."
- Each grade-level exit door. The tactile exit sign shall have the word, "EXIT."
- Each exit door that leads directly to a grade-level exterior exit by means of a stairway or a ramp. The tactile exit sign shall have the following words as appropriate: "EXIT STAIR DOWN."
- Each exit door that leads directly to a grade-level exterior exit by means of an exit enclosure or an exit passageway. The tactile exit sign shall have the words, "EXIT ROUTE."

Tactile stair level identification signs (complying with Section 11178.5.1) shall be located at each floor level landing in all enclosed stairways in buildings two or more stories in height to identify the floor level. At the exit discharge level, the sign shall include a raised five point star located to the left of the identifying floor level. Section 1003.3.3.13.1.

SYMBOL PROPORTIONS

DISPLAY CONDITIONS

INTERNATIONAL ACCESSIBILITY SYMBOL

C. STAIRS AND HANDRAILS

STAIRS

WARNING STRIPING AND HANDRAIL EXTENSIONS

Handrails shall extend a minimum of 12 inches beyond the top nosing and 12 inches plus the tread width beyond the bottom nosing.

Ends shall be returned or shall terminate in newel posts or safety terminals.

Where the extension of the handrail in the direction of the stair run would create a hazard, the termination of the extension shall be made either rounded or returned smoothly to floor, wall, or post. Where the stairs are continuous from landing to landing, the inner rail shall be continuous and need not extend out to landing.

Handrails projecting from a wall shall have a space of 1-1/2 inches between the wall and handrail. Handrails may be located in a recess if the recess is a maximum of 3 inches deep and extends at least 18 inches above the top of the rail.

The handgrip portion of handrails shall be not less than 1-1/4 inches nor more than 1-1/2 inches in cross sectional dimension or the shape shall provide an equivalent gripping surface. The handgrip portion of handrails shall have a smooth surface with no sharp corners. Any wall or other surface adjacent to the handrail shall be free of sharp or abrasive elements. Edges shall have a minimum radius of 1/8 inch.

Striping for the Visually Impaired. The upper approach and lower tread of each stair shall be marked by a strip of clearly contrasting color of at least 2 inches wide placed parallel to and not more than 1 inch from the nose of the step or landing to alert the visually impaired. The strip shall be of material that is at least as slip resistant as the other treads of the stair.

Where stairways occur outside a building, the upper approach and all treads shall be marked by a strip of clearly contrasting color of at least 2 inches wide and placed parallel to and not more than 1 inch from the nose of the step or landing to alert the visually impaired. The strip shall be of a material that is at least as slip resistant as the other treads of the stair. A pointed strip shall be acceptable.

Treads, Nosing and Risers. Treads. All tread surface shall be slip-resistant. Treads shall have smooth, rounded or chamfered exposed edges, and no abrupt edges at the nosing (lower front edge).

Nosing. Nosing shall not project more than 1-1/2 inch past the face of the stair below.

STAIR HANDRAILS

D. PLUMBING/TOILET ROOMS

Water Closet

The height of accessible water closets shall be a minimum of 17 inches on a maximum of 19 inches measured to the top of a maximum 2-inch-high toilet seat, except that 3-inch seats shall be permitted only in alterations where the existing fixture is less than 15 inches high. Controls shall be operable with one hand, and shall not require light grasping, pinching or twisting of the wrist. Controls for the flush valves shall be mounted on the wide side of toilet areas, no more than 44 inches above the floor. The force required to activate controls shall be no greater than 5 lbs.

Covered multi-family dwellings.

- The water closet seat must be at least 15" above the floor. Section 1109a.3.
- When only one complying bathroom is provided, then toilets shall be located in a manner that permit a grab bar to be installed on one side of the fixture. In locations where toilets are adjacent to walls or bathtubs, the center line of the fixture must be a minimum of 18" from the obstacle. The other (non-grab bar) side of the toilet fixture must be a minimum of 18" from the finished surface of adjoining walls, vanities or from the edge of a lavatory. Section 1109a2.2.

Urinals

Where one or more urinals are provided, at least one with a rim projecting a minimum of 14 inches from the wall and at a maximum of 17 inches above the floor shall be provided.

Flush controls shall be operable with one hand and shall not require light grasping, pinching or twisting of the wrist and shall be mounted no more than 44 inches above the floor. The force required to activate controls shall be no greater than 5 pounds force.

Lavatories

Lavatories adjacent to a wall shall be mounted with a minimum distance of 18 inches to the center line of the fixture. All accessible lavatories shall be mounted with the rim or counter surface no higher than 34 inches above the finished floor and with a clearance of at least 29 inches from the floor to the bottom of the apron with knee clearance under the front lip extending a minimum of 30 inches in width and 8 inches minimum depth at the top. Toe clearance shall be the same width and shall be a minimum of 9 inches high from the floor and a minimum of 17 inches deep from the front of the lavatory.

Hot water and drain pipes accessible under lavatories shall be insulated or otherwise covered. There shall be no sharp or brasive surfaces under lavatories. Faucet controls and operating mechanisms shall be operable with one hand and shall not require light grasping, pinching or twisting of the wrist. The force required to activate controls shall be no greater than 5 lbs. Lever-operated, push-type and electronically controlled mechanisms are examples of acceptable designs. Self-closing valves are allowed if the faucet remains open for at least 10 seconds.

Kitchen Sinks

Faucet Controls and operating mechanisms shall be operable with one hand and shall not require light grasping, pinching or twisting of the wrist. The force required to activate controls shall be no greater than 5 lbs. Lever-operated, push-type and electronically controlled mechanisms are examples of acceptable designs. Self-closing valves are allowed if the faucet remains open for at least 10 seconds.

Toilet Facilities. Multiple Accommodation Toilet. Multiple accommodation toilet facilities shall have the following:

Wheelchair Clearance. A clear space measured from the floor to a height of 27 inches above the floor, within the sanitary facility room, of sufficient size to inscribe a circle with a diameter not less than 60 inches, or a clear space 56 inches x 63 inches in size. Doors other than the door to the accessible toilet compartment in any position may encroach into this space by not more than 12 inches.

Clear Space. A water closet fixture located in a compartment shall provide a minimum 28 inches wide clear space from a fixture or a minimum 32 inches wide clear space from a wall on one side of the water closet. The other side of the water closet shall provide 18 inches from the centerline of the water closet to the wall. A minimum 48 inches long clear space shall be provided in front of the water closet if the compartment has an end opening door (facing the water closet). A 60 inches minimum length clear space shall be provided in a compartment with the door located at the side. Grab bars shall not project more than 3 inches into the clear spaces as specified above.

E. PARKING/STRIPING/SIGNAGE

Arrangement of Parking Space. In each parking area, a bumper or curb shall be provided and located to prevent encroachment of cars over the required width of walkways. Also, the space shall be so located that persons with disabilities are not compelled to wheel or walk behind parked cars other than their own. Pedestrian ways which are accessible to people with disabilities shall be provided.

SECTION THROUGH TYPICAL GRAB BAR

SINGLE PARKING STALLS

Single Accommodation Toilet Facilities. There shall be sufficient space in the toilet room for a wheelchair measuring 30 inches wide by 48 inches long to enter the room and permit the door to close. There shall be in the room a clear floor space of at least 60 inches diameter, or a T-shaped space complying with Figure. No door shall encroach into this space. The water closet shall be located in a space which provides a minimum 28 inches wide clear space from a fixture or a minimum 32 inches wide clear space from a wall on one side. The other side shall provide 18 inches from the centerline of the water closet to the wall. A minimum 48 inches of clear space shall be provided in front of the water closet. All doors, fixtures and controls shall be on an accessible route. The minimum clear width of an accessible route shall be 36 inches except at doors.

SINGLE OCCUPANCY TOILET

Surface. A grab bar and any wall at either surface adjacent to it shall be free of any sharp or abrasive elements. Edges shall have a minimum radius of 1/8 inch.

Toilet Room Fixtures and Accessories. A Lavatory Fixtures. The requirements of this subsection shall apply to lavatory fixtures, vanities and built-in lavatories. A clear floor space: 30 inches x 48 inches shall be provided in front of a lavatory to allow a wheelchair user to clear floor space shall adjoin or overlap an accessible route and shall extend into knee and toe space underneath the lavatory.

Towel, Sanitary Napkins, Waste Receptacles. Where towel, sanitary napkins, waste receptacles and other similar dispensing and disposal fixtures are provided, at least one of each type shall be located with all operable parts, including coin slots, within 40 inches from the finished floor.

Toilet Tissue Dispensers. Toilet tissue dispensers shall be located on the wall within 12 inches of the front edge of the toilet seat. Dispensers that control delivery or that do not permit continuous paper flow shall not be used.

Urinals. Where urinals are provided, at least one shall have a clear floor space 30 inches x 48 inches in front of the urinal to allow forward approach. This clear space shall comply.

Mirrors shall be mounted with the bottom edge no higher than 40 inches from the floor.

Interior Surfaces. In other than dwelling units, toilet room floors shall have a smooth, hard non-absorbent surface such as portland cement, concrete, ceramic tile or other approved material which extends upward onto the walls at least 5 inches. Walls within water closet compartments and walls within 24 inches of the front and sides of urinals shall be similarly finished to a height of 48 inches and, except for structural elements, the materials used in such walls shall be a type which is not adversely affected by moisture.

Grab Bars. Location. Grab bars located on each side, or one side and the back of the accessible toilet stall or compartment, shall be securely attached 33 inches above and parallel to the floor, except that where a bank-type toilet is used which obstructs placement. At 33 inches, the grab bar may be as high as 36 inches. Grab bars shall be at least 42 inches long with the front and positioned 24 inches in front of the water closet stool. Grab bars at the back shall be not less than 36 inches long.

The Diameter or Width. The diameter or width of the gripping surfaces of a grabbar shall be 1-1/4 inches to 1-1/2 inches or the shape shall provide an equivalent gripping surface. If grab bars are mounted adjacent to a wall, the space between the wall and the grab bars shall be 1-1/2 inches.

SIDE ELEVATION

SECTION THROUGH TYPICAL GRAB BAR

from each such as parking space to related facilities, including curb cuts or ramps as needed. Ramps shall not encroach into any parking space.

Accessible Route Required. General. Each lot or parking structure where parking is provided for the public as clients, guests or employees shall provide accessible parking as required by this section. Accessible parking spaces serving a particular building shall be located on the shortest accessible route of travel from adjacent parking to an accessible entrance. Path of travel shall be designed in accordance with CBC section 11148.1.2. In parking facilities that do not serve a particular building, accessible parking shall be located on the shortest accessible route of travel to an accessible pedestrian entrance of the parking facility. In buildings with multiple accessible entrances with adjacent parking, accessible parking spaces shall be dispersed and located closest to the accessible entrances.

11148.1.2 Accessible Route of Travel. When a building, or portion of a building, is required to be accessible or adaptable, an accessible route of travel complying with Sections 1102B, 1114B, 1124B, 1133B.3, 1133B.5, 1133B.7 and 1133B.8.6 shall be provided to all portions of the building, to accessible building entrances and between the building and the public way. Except within an individual dwelling unit, an accessible route of travel shall not pass through kitchens, storage rooms, restrooms, closets or other spaces used for similar purposes. At least one accessible route within the boundary of the site shall be provided from public transportation stops, accessible parking and accessible passenger loading zones and public streets or sidewalks to the accessible building entrance they serve. The accessible route shall, to the maximum extent feasible, coincide with the route for the general public. At least one accessible route shall connect accessible buildings, facilities, elements and spaces that are on the same site. At least one accessible route shall connect accessible building or facility entrances with all accessible dwelling units within the building facility. An accessible route shall connect at least one accessible entrance of each accessible dwelling unit with those exterior and interior spaces and facilities that serve the accessible dwelling unit.

Where more than one route of travel is provided, all routes shall be accessible.

Parking Space Size. Accessible parking spaces shall be located as near as practical to primary entrance and shall be sized as follows:

Where single spaces are provided, they shall be 14 feet wide and outlined to provide a 9-foot parking area and a 5-foot loading and unloading access aisle on the passenger side of the vehicle. When more than one space is provided in lieu of providing a 14-foot-wide space for each parking space, two spaces can be provided within a 23-foot-wide area lined to provide a 9-foot parking area on each side of a 5-foot loading and unloading access aisle in the center. The minimum length of such parking space shall be 18 feet.

One in every eight accessible spaces, but not less than one, shall be served by an access aisle 96 inches wide minimum and shall be designated with a sign "VAN ACCESSIBLE" mounted below the symbol of accessibility. All such spaces may be grouped on one level of a parking structure. Section 1118a.4.2.

The words "NO PARKING" shall be painted on the ground within each 8' loading and unloading access aisle (in white letters no less than 12" high and located so that it is visible to traffic enforcement officials). Section 1129b.4.2.

Slope of Parking Space. Surface slopes of accessible parking spaces shall be the minimum possible and shall not exceed 1/4 inch per foot (2.083 percent gradient) in any direction.

Identification of Parking Spaces for Off-Street Parking Facilities. Each parking space reserved for persons with physical disabilities shall be identified by a reflectorized sign permanently posted immediately adjacent to and visible from each stall or space, consisting of a profile view of a wheelchair with occupant in white on dark blue background. The sign shall not be smaller than 70 square inches in area and, when in a path of travel, shall be posted at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade. Signs may also be centered on the wall of the interior end of the parking space finished grade, ground or sidewalks. Spaces complying shall have an additional sign "Van Accessible" mounted below the symbol of accessibility. Each accessible visitor parking space shall be identified by a sign, centered between feet and 5 feet above the parking space. The sign shall include the International symbol of accessibility and state RESERVED, or equivalent language. Section 1118A.5.

An additional sign shall also be posted, in a conspicuous place, at each entrance to an off-street parking facility, or immediately adjacent to and visible from each stall or space. The sign shall be not less than 17 inches by 22 inches in size with lettering not less than 1 inch in height, which clearly and conspicuously states the following:

"Unauthorized vehicles parked in designated accessible spaces not displaying distinguishing placards or license plates issued for persons with disabilities may be towed away at owner's expense. Towed vehicles may be reclaimed at _____ or by telephoning _____"

Blank spaces are to be filled in with appropriate information as a permanent part of the sign.

VAN ACCESSIBLE SIGN

ACCESSIBILITY SIGN

UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT (Address) OR BY TELEPHONING (Telephone Number)

F. MISCELLANEOUS

Branch Circuits Installation Height. The center of 15-, 20- and 30-ampere receptacle outlets shall be installed no higher than 48" and no lower than 15 inches above the floor or working platform.

Switches. Accessibility and Grouping. The center of the grip of operating handle of controls or switches intended to be used by the occupant of the room or area to control lighting and receptacle outlets, appliances, or cooling, heating and ventilating equipment shall not be more than 48 inches above the floor or working platform.

Cabinets. Base cabinets directly under the kitchen sink counter area, including toe board and shelving shall be removable without special knowledge or tools. Finish flooring shall be provided on the floor beneath the counter top. Section 1112a.4.

VAN ACCESSIBLE SIGN

ACCESSIBILITY SIGN

UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT (Address) OR BY TELEPHONING (Telephone Number)

ACCESSIBLE PARKING LOT SIGN

Fulbright Rodriguez Architects, Inc. **architectura** **planning** **urban design**

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11875 Oak Grove Pk., Ste. 118-337
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(949) 785-0727

Review	Principal	P.A.M.	Peer
By	Date	Date	Date
D.D./Constraints			
Floor plans			
25% block-out			
Address			
Final C.D.			
Consultant			
Consult. Coord.			

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HEALTH & BUILDING DEPT. SUBMITTAL