

**CITY OF NEWPORT BEACH
PLANNING DEPARTMENT ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION
FROM: James W. Campbell, Acting Planning Director
SUBJECT: Report of actions taken by the Zoning Administrator, Planning Director and/or Planning Department staff for the week ending January 21, 2011

ACTIONS TAKEN BY THE PLANNING DIRECTOR OR PLANNING DEPARTMENT STAFF

- Item 1: Dancespot Newport – Use Permit No. UP2010-041 (PA2010-175)
1044 Irvine Avenue
This item was approved on January 20, 2011 Council District 3
- Item 2: Verizon Wireless – Telecom Permit No. TP2011-001 (PA2011-002)
3355 Via Lido
This item was approved on January 20, 2011 Council District 1

On behalf of James W. Campbell, Acting Planning Director:



Patrick J. Alford, Planning Manager

APPEAL PERIOD: Modification Permit applications do not become effective until 14 days after the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code. Tentative Parcel Map, Condominium Conversion, Lot Merger, and Lot Line Adjustment applications do not become effective until 10 days following the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code.

TELECOM APPEAL:

The applicant or any interested party may appeal the decision of the Planning Director to the City Council by a written request to the City Council within 14 days of the action date. A \$4,010.00 filing fee shall accompany any appeal filed. The City Council's action on appeals shall be final.

Email Dana Smith, Assistant City Manager
Leonie Mulvihill, Assistant City Attorney
David Keely, Public Works Senior Civil Engineer
Code Enforcement Division
Jon Lewis, Support Services Lt., NBPD



PLANNING DIRECTOR ACTION LETTER

PLANNING DEPARTMENT
3300 NEWPORT BOULEVARD
NEWPORT BEACH, CA 92663
(949) 644-3200 FAX (949) 644-3229

Application No. **Use Permit No. UP2010-041 (PA2010-175)**
Applicant **TD Architects**
Site Address **1044 Irvine Avenue**
 Dancespot Newport
Legal Description **Lot 11, Tract 04824**

On January 20, 2011, the Planning Director approved the following: A use permit to allow a dance/fitness studio in the Westcliff Plaza Shopping Center, which will provide dance and fitness classes for women and children. The hours of operation will be Monday through Friday 8:30 A.M. to 9:00 P.M. Saturday and Sunday 9:00 A.M. to 5:00 P.M. A break in classes will take place on weekdays during the hours of 12:00 P.M. to 4:00 P.M. However, this approval does not restrict hours of operation. The studio will consist of two classrooms, a kids room for day-care services, a lobby area, a locker room, and restroom facilities. The maximum number of students in any class will be 15. The maximum number of employees on-site during the operation will be 5, and will include: one (1) fitness instructor during each class, one (1) front desk receptionist, one (1) manager, and one (1) certified and licensed child-care worker. The property is located in the RSC (Retail, Service, Commercial) District. The application was received and deemed complete prior to the effective date for discretionary projects for the Zoning Code update (November, 2010) and has been processed pursuant to the regulations, standards, and findings of the previous Zoning Code. The update to the Zoning Code would allow this use subject to the approval of a minor use permit by the Zoning Administrator. The approval is based on the following findings and subject to the following conditions:

FINDINGS

Finding:

1. That the proposed location of the use is in accord with the objectives of the Zoning Code and the purpose of the district in which the site is located.

Facts in Support of Finding:

- Pursuant to the previous Zoning Code, the subject site is designated as RSC (Retail, Service, Commercial). Per Section 20.05.040, the proposed

dance/fitness studio is defined as a personal improvement service, which is a commercial use permitted within the RSC Zoning District with approval of a use permit by the Planning Director (Section 20.15.020).

- Pursuant to the updated Zoning Code, the subject site is located within the CN (Commercial Neighborhood) District, and Section 20.20.020 classifies the proposed use as a "large" health/fitness facility (over 2,000 square feet), which is a permitted use within the CN District subject to approval of a minor use permit by the Zoning Administrator.

Finding:

2. That the proposed location of the Use Permit and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan and the purpose of the district in which the site is located; will not be detrimental to the public health, safety, peace, morals, comfort, or welfare of persons residing or working in or adjacent to the neighborhood of such use; and will not be detrimental to the properties or improvements in the vicinity or to the general welfare of the city.

Facts in Support of Finding:

- The City's Land Use Element of the General Plan designates the site as CN (Neighborhood Commercial). The CN designation is intended to provide for a limited range of retail and service uses developed in one or more distinct centers oriented to primarily serve the needs of and maintain compatibility with residential uses in the immediate area. The proposed dance/fitness studio is consistent with this designation.
- The dance/fitness studio will be located within the Westcliff Plaza Shopping Center, which is located at the corner of Irvine Avenue and 17th Street. Although the shopping center abuts residential land uses to the North and East, the project site is separated from residential uses by parking lots, a roadway and other commercial uses.
- The Westcliff Plaza Shopping Center is currently developed with a total gross floor area of 111,377 square feet. As specified in Chapter 20.66 (Off-Street Parking and Loading Regulations) of the previous Zoning Code, the total number of parking spaces required for the shopping center based on the general commercial rate of one parking space per 250 square feet is 446 parking spaces ($111,377/250 = 446$ spaces). Because several of the existing uses on the property have additional parking requirements, the current parking demand for the entire shopping center is 508 spaces and 516 parking spaces are provided on site. There are adequate surplus parking spaces located on-site within the Westcliff Plaza Shopping Center to accommodate the additional parking demand of the proposed use.

Finding:

3. That the proposed use will comply with the provisions of this Zoning Code, including any specific condition required for the proposed use in the district in which it would be located.

Facts in Support of Finding:

- The proposed use has been conditioned to limit the maximum number of classes provided at any one time (two), the total number of students in each class (15), and the total number of employees on site at any one time (5 = one at the front desk, one in the child care area, and one manager on duty).
- The proposed hours of operation will be Monday through Friday 8:30 A.M. to 9:00 P.M. Saturday and Sunday 9:00 A.M. to 5:00 P.M. A break in classes will take place on weekdays during the hours of 12:00 P.M. to 4:00 P.M.
- The subject site (2,750 total gross square feet) is currently vacant. Per the previous Zoning Code standards, the previous retail use required 11 parking spaces ($2,750/250 = 11$). The previous Zoning Code states that the parking requirement for the proposed personal improvement service use (health/fitness club) is "as specified by use permit". Staff looked to the Zoning Code update for guidance in analyzing the parking demand for the proposed dance/fitness studio. The updated Zoning Code would classify the use as a "large" health/fitness facility (over 2,000 square feet of floor area) and would require 14 parking spaces: one (1) parking space per each 200 square feet of gross floor area ($2,750/200 = 14$). Staff determined that 14 spaces is a reasonable number to require for the proposed use given the project characteristics, parking supply, and mix of tenants at the shopping center.
- Since the shopping center provides surplus parking, the use has been conditioned to require 14 parking spaces for the proposed use and will conform to the requirements of the updated Zoning Code.

Finding:

4. The proposed project is in compliance with the California Environmental Quality Act (CEQA).

Facts in Support of Finding:

- This project qualifies for an exemption from environmental review pursuant to Section 15303 (Class 3, New Construction or Conversion of Small Structures) of the Implementing Guidelines of the California Environmental Quality Act (CEQA), which exempts the conversion of existing small structures from one use to another where only minor modifications are made to the exterior of the structure. The project proposal involves minimal construction including minor interior alterations.

CONDITIONS

1. Use Permit No. UP2010-2010-041 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.91.050 of the Newport Beach Municipal Code, or an extension is otherwise granted.
2. The Planning Director may add to or modify conditions of approval to this Use Permit or revoke this Use Permit upon a determination that the operation, which is the subject of this use Permit, causes injury, or is detrimental to the health, safety, peace, comfort, or general welfare of the community.
3. The project shall be in substantial conformance with the approved plot plan, floor plan and elevations.
4. The project and all tenant improvements must comply with the California Building Code and State Disabled Access requirements as determined by review and approval of the Building Department.
5. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use will be cause for revocation of this Permit.
6. A Special Events Permit is required for any event or promotional activity outside the normal operational characteristics of this dance/fitness studio that would attract large crowds, include any form of on-site media broadcast, or any other activities as specified in the Newport Beach Municipal Code to require such permits.
7. The operator of the facility shall be responsible for the control of noise generated on the subject facility. Pre-recorded music may be played in the tenant space, provided exterior noise levels outlined below are not exceeded. The doors and windows of the dance/fitness studio shall remain closed at all times during periods when noise is generated by the proposed use. The noise generated by the proposed use shall comply with the provisions of Chapter 10.26 of the Newport Beach Municipal Code. The maximum noise level shall be limited to no more than depicted below for the specified time period unless the ambient noise level is higher:

Location	Between the hours of 7:00AM and 10:00PM		Between the hours of 10:00PM and 7:00AM	
	Interior	Exterior	Interior	Exterior
Residential Property	45dBA	55dBA	40dBA	50dBA
Residential Property located within 100 feet of a commercial property	45dBA	60dBA	45dBA	50dBA
Mixed Use Property	45dBA	60dBA	45dBA	50dBA
Commercial Property	N/A	65dBA	N/A	60dBA

8. The use shall be limited to a maximum two classes at any one time. Each class shall be limited to a maximum 15 students and one instructor. There shall be a maximum 30 students and 5 employees on-site at any one time during the operation.
9. Any increase in the number of clients or employees on site at any one time shall be subject to the approval of an amendment to this use permit.
10. A total of 14 parking spaces shall be provided for the proposed health and fitness club.
11. If this business is sold or otherwise comes under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current business owner, property owner, or leasing company.
12. Temporary signs shall be prohibited in the public right-of-way unless otherwise approved by the Public Works Department in conjunction with the issuance of an encroachment permit or encroachment agreement.
13. All signs on the subject property shall be in conformance with the conditions of approval for the Comprehensive Sign Program as approved per Modification Permit No. MD2001-008 (PA2001-010) and the provisions of Chapter 20.67 of the Newport Beach Municipal Code.
14. Prior to issuance of building permits, the applicant shall submit to the Planning Department an additional copy of the approved architectural plans for inclusion in the use permit file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11-inches by 17-inches. The plans shall accurately depict the elements approved by this Planning Director's Use Permit and shall highlight the approved elements such that they are readily discernible from other elements of the plans.

15. *To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the "Dancespot" including, but not limited to, the UP2010-041 (PA2010-175). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.*

APPEAL PERIOD

The applicant or any interested party may appeal the decision of the Planning Director, and department staff to the Planning Commission by a written request to the Planning Director within 14 days of the action date. For additional information on filing an appeal, contact the Planning Department at 949 644-3200.

On behalf of James W. Campbell, Acting Planning Director

By: 
Gregg Ramirez, Senior Planner

GR/ks

Attachments: PD 1 Vicinity Map
PD 2 Site Plan and Floor Plan
PD 3 Westcliff Plaza Parking Summary

Attachment No. PD 1

Vicinity Map

VICINITY MAP



Use Permit No. UP2010-041
PA2010-175

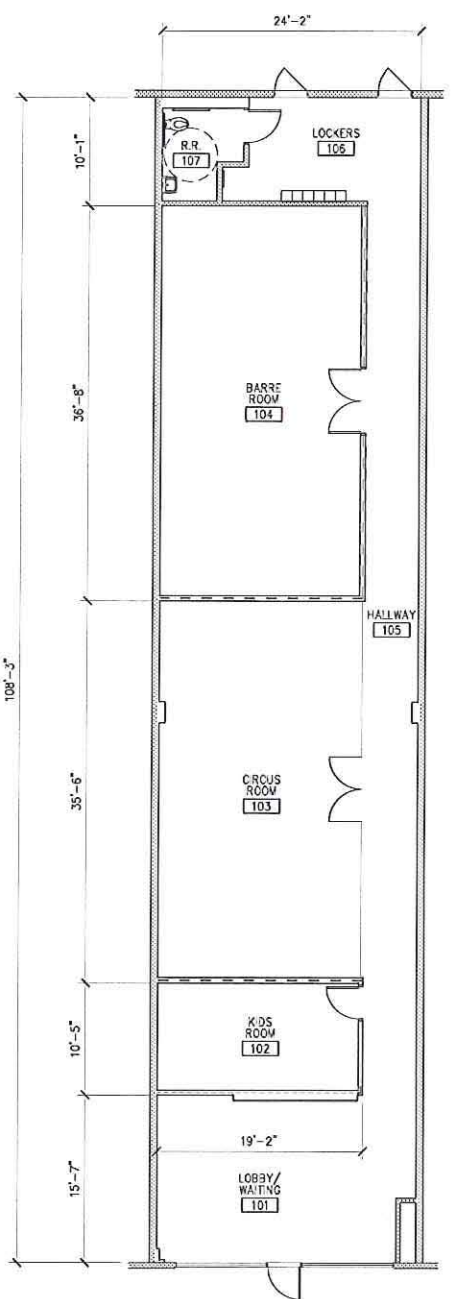
1044 Irvine Avenue

Attachment No. PD2
Site Plan and Floor Plan

DANCESPOT NEWPORT WESTCLIFF PLAZA

1044 IRVINE AVENUE
NEWPORT BEACH, CA
(Tenant Improvement Only)

FLOOR PLAN



NORTH
02
SCALE: 1/8"=1'-0"

FLOOR PLAN

OWNER

THE IRVINE COMPANY

100 INNOVATION DRIVE
IRVINE, CA 92617

CONTACT PERSON: ERIN LAMBERT
TEL: 949 720 5850
EMAIL: ELAMBERT@IRVINECOMPANY.COM

TENANT

DANCESPOT NEWPORT

1044 IRVINE AVENUE
NEWPORT BEACH, CA

CONTACT PERSON: JAMES BASTIN/ MEGAN WHITE
TEL: 949 630 8789
EMAIL: MEGAN@DANCESPOTNEWPORT.COM

ARCHITECT

TD ARCHITECTS

160 N. RIVERVIEW DRIVE, SUITE 200
ANAHEIM HILLS, CA 92803

CONTACT PERSON: TONY DABAGHY
TEL: 949 689 4777
EMAIL: TONY@TDARC.COM

PROJECT DATA

NUMBER OF STORIES: 1
OVERALL GROSS AREA: 2,750 S.F.

WALL LEGEND

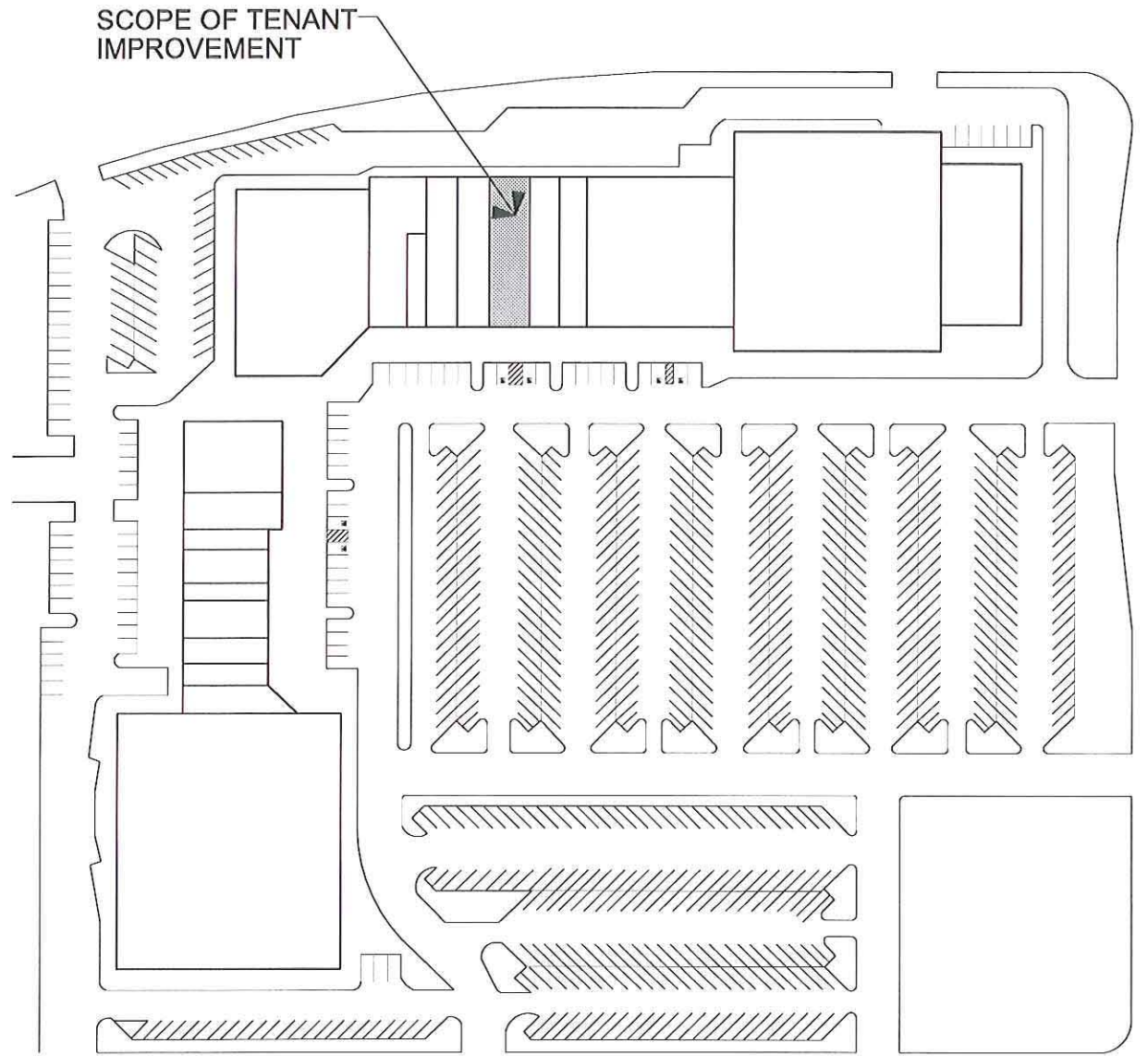
- EXISTING PARTITION
- FULL HEIGHT NON-RATED PARTITION TO STRUCTURE
- FULL HEIGHT PARTITION TO 6" ABOVE CEILING
- 8'-0" HIGH GLASS WALL

VICINITY MAP



NORTH
NO SCALE

SITE PLAN



NORTH
01
SCALE: N.T.S.

SITE PLAN

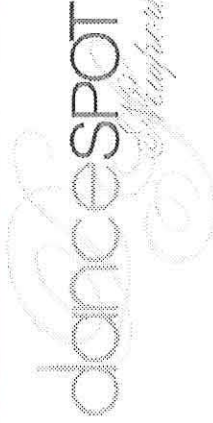
IRVINE APPROVED BY
PLANNING DEPARTMENT

DEC 21 2010

PA2010-175 for UP2010-041
1044 Irvine Avenue
TD Architects

TD ARCHITECTS | architecture-interior design-planning
 160 N. Riverview Dr., Suite 200 - Anaheim Hills, CA 92808
 tel 714.820.4559 - fax 714.783.2939

1044 IRVINE AVE
 NEWPORT BEACH
 CALIFORNIA



NO.	REMARKS	DATE
C.P. SUBMITAL		11/22/10

A0.1

Attachment No. PD 3

Westliff Plaza Parking Summary

Westcliff Parking - Includes Pilates Studio

suite tenant	use	sf ²	ratio	required	rounded up to next whole number
1000 Shell Oil Company	gas pad	2,000	UP 3193	-	2
1016 Bank of America	bank	7,200	0.004	28.80	29
1020 CVS #8881	retail pharmacy	23,594	0.004	94.38	95
1024 Crown Hardware	hardware	10,270	0.004	41.08	42
1036 Michael Nusskern	retail	2,200	0.004	8.80	9
1040 vacant	retail	2,420	0.004	9.68	10
1044 Dancespot Newport	personal imprvmt svcs	2,750	UP2010-041	13.66	14
1048 Newport Beach Business Center	postal services	2,028	0.004	8.11	9
1052 vacant	personal services	2,503	0.004	10.01	11
1058 Core Reform Pilates *	personal imprvmt svcs	1,300	UP2010-012	9.00	9
1062 Drapers & Damons #2	retail	3,737	0.004	14.95	15
1080 Ulta	beauty supply	11,235	0.004	44.94	45
1104 The Counter	full service	1,078	1/40	26.95	27
1104P The Counter patio	patio	120	0.025	3.00	3
1112 Pick-Up Stix #7121	take-out	1,400	UP3464	6.00	6
1116 Champagne	retail	975	0.004	3.90	4
1120 Chronic Tacos	small scale	1,300	UP 3171	6.00	6
1124 vacant	take out limited or retail	780	UP 2006-022	4.00	4
1126A Westcliff Cleaners	personal services	1,940	0.004	7.76	8
1128A Starbucks #Coffee 522 ¹	small scale	1,200	M3981	5.00	5
1130 Anthony's Shoe	personal services	975	0.004	3.90	4
1132 Newport Nails	personal services	1,035	0.013	12.94	13
1150 Ralphps #Fresh Fair #745	food & beverage	27,900	0.005	139.50	140
ATM1				0.00	1
total		109,820 ***		existing on site	511
					516

*1058 Irvine Avenue - six parking spaces @ 1/250 square feet plus three additional spaces required by this use permit

** Only parking spaces required on-site are noted in this table. Parking spaces waived under a discretionary approval are not calculated in this table.

***This is a leaseable footage representation and not gross floor area.



TELECOM PERMIT NO. TP2010-004 (PA2010-045)

Planning Department
3300 Newport Boulevard
Newport Beach, CA 92663
(949) 644-3200; FAX (949) 644-3229

Staff Person:

Melinda Whelan
(949) 644-3221

APPLICATION: Telecom Permit No. TP2011-001 (PA2011-002)

APPLICANT: Verizon Wireless

LOCATION: 3355 Via Lido

LEGAL DESCRIPTION: Portion of Lots 4 and 5 including Portion of abandoned alley adjacent, Tract 1117

PROJECT REQUEST AND DESCRIPTION

Verizon Wireless has submitted an application requesting to install a wireless telecom facility on an existing office building located at 3355 Via Lido for a temporary duration of approximately 12-14 months. The facility will be co-located with one other existing telecom facility on the building.

The project includes the installation of three panel antennas and one flat microwave panel antenna. The four antennas will be wall mounted on the exterior of the building and will be painted to match the color of the building. The support equipment is proposed to be located within the building in a vacant suite.

DIRECTOR'S ACTION: **Approved with Conditions – January 20, 2011**

In approving this application, the Planning Director analyzed issues regarding compliance with Chapter 15.70 (Wireless Telecommunication Facilities) of the Newport Beach Municipal Code (NBMC). This approval is based on the findings and subject to the conditions attached to this report.

The Planning Director determined in this case that the proposed project meets the provisions of Chapter 15.70 based on the following:

1. The new telecom facility is co-locating with one existing telecom facility on the same structure, which is consistent with the provisions of Section 15.70.050 C (Co-Location Requirements) of the Wireless Telecommunications Ordinance.
2. The proposed antennas will be wall mounted on the building and will not exceed the maximum height of 55 feet allowed by Use Permit No. 315.

3. The proposed antennas will be painted to match the color of the building walls upon which they are mounted.
4. The coax cables which will run in a vertical direction on the building wall will be screened from view within a metal coax cable cover, which will be painted to match the building wall.
5. The support equipment will be located within the building in an existing vacant suite and will not be visible to the public.

BACKGROUND

The proposed site is intended to temporarily fill a coverage and capacity gap that will occur during the time the existing facility located at 3388 Via Lido is taken off air for a remodel of the building (approximately 12-14 months). The proposed temporary site is an existing commercial office building with many vacancies. An existing telecom facility operated and maintained by Sprint-Nextel is located on the building, which includes nine roof mounted panel antennas. The Sprint-Nextel installation was approved administratively prior to adoption of the Telecom Ordinance.

APPEAL PERIOD

The applicant or any interested party may appeal the decision of the Planning Director to the City Council within 14 days of the action date. The City Council's action on appeals shall be final. A \$4,010.00 filing fee shall accompany any appeal filed. For additional information on filing an appeal, contact the City Clerk at 949 644-3005.

On behalf of Jim Campbell, Acting Planning Director

By 

Melinda Whelan
Assistant Planner

Attachments: Vicinity Map
Findings and Conditions of Approval
Plans

VICINITY MAP

3355 Via Lido



TP2011-001 (PA2011-002)

**FINDINGS AND
CONDITIONS OF APPROVAL
TP2011-001 (PA2011-002)**

FINDINGS

1. The telecommunications facility as proposed meets the intent of Chapter 15.70 of the Newport Beach Municipal Code (NBMC), while ensuring public safety, reducing the visual effects of telecom equipment on public streetscapes, protecting scenic ocean and coastal views, and otherwise mitigating the impacts of such facilities for the following reasons:
 - The proposed telecom facility will not be detrimental to public health or safety because it is required to comply with the applicable rules, regulations and standards of the Federal Communications Commission (FCC) and the California Public Utilities Commission (CPUC).
 - The telecom facility will be located on an existing building and will be a temporary telecom facility for the duration of a building remodel at the approved telecom site located at 3388 Via Lido. The approval will be conditioned with a 14-month time limit. The new telecom facility is co-locating with one existing telecom facility on the same structure, which is consistent with the provisions of Section 15.70.050 C (Co-Location Requirements) of the Wireless Telecommunications.
 - There is no impact to public views based on the following: 1) The antennas will be wall-mounted on the existing building and will not exceed the height of the existing roofline; 2) The antennas will be painted to match the color of the wall upon which they are mounted; and, 3) The support equipment will be placed within the building and completely screened from view.

2. The telecommunications facility as proposed conforms to the technology, height, location and design standards for the following reasons:
 - The telecom facility approved under this permit utilizes the most efficient and diminutive available technology in order to minimize the number of facilities and reduce the visual impact.
 - The telecom facility approved by the permit does not exceed the maximum building height limit of 55 feet allowed by the previously approved Use Permit No. 315.
 - The antennas for the telecom facility approved by this permit will be wall-mounted on the existing building and will be painted to match the colors of the walls on which they are mounted.
 - The support equipment for the telecom facility will be placed within a vacant suite of the building.

3. This project has been reviewed, and it has been determined that it is categorically exempt from the requirements of the California Environmental Quality Act under Class 1 (Existing Facilities).

CONDITIONS

1. The development shall be in substantial conformance with the approved plot plan, antenna and equipment plans, and elevations, except as noted in the following conditions.
2. Anything not specifically approved by this Telecom Permit is not permitted and must be addressed in a separate and subsequent Telecom Permit review.
3. This approval is for a temporary use as a telecom facility for Verizon Wireless while the building at 3388 Via Lido is being remodeled. This approval shall expire 14 months from the effective date of this permit. Extensions may be requested in accordance with Section 20.54.060 B. of the NBMC.
4. The telecom facility approved by this permit shall comply with all applicable rules, regulations and standards of the Federal Communications Commission (FCC) and the California Public Utilities Commission (CPUC).
5. Any future facilities proposed by other carriers to be located within 1,000 feet from the subject property shall be approved to co-locate at the same site by the property owner or authorized agent, unless otherwise approved by the Planning Director.
6. The telecom facility shall comply with all regulations and requirements of the Uniform Building Code, Uniform Fire Code, Uniform Mechanical Code and National Electrical Code. All required permits shall be obtained prior to commencement of the construction.
7. Prior to the issuance of any building, mechanical and/or electrical permits, architectural drawings and structural design plans shall be submitted to the City of Newport Beach for review and approval by the applicable departments. A copy of this approval letter shall be incorporated into the drawings approved for the issuance of permits.
8. All four proposed antennas shall be painted to match the color of the wall upon which they are mounted.
9. All coax cables that are attached to the building walls shall be screened with a cable cover and painted to match the building.
10. Appropriate information and barriers such as warning signs, plates, or locks shall be posted or implemented at the access locations and at each transmitting antenna as recommended in Section 1.3 of the RF Site Compliance Report dated January 6, 2011, prepared by Site Safe RF Compliance Experts. In addition, contact information (e.g. a telephone number) shall be provided on the warning signs or plates to arrange for access to the roof top area. The location of

the information warning signs, plates, or locks shall be depicted on the plans submitted for construction permits.

11. No advertising signage or identifying logos shall be displayed on the telecom facility except for small identification, address, warning and similar information plates. A detail of the information plates depicting the language on the plate shall be included in the plans submitted for issuance of building permits.
12. The facility shall transmit at a frequency range of 880-895; 1965-1985; 698-710; and 728-740 MHz, and shall receive at a frequency range of 835-850; 1885-1905; 728-740; and 776-787 MHz. Any change or alteration to the frequency range shall require the prior review and approval of the Planning Director.
13. The applicant recognizes that the frequencies used by the cellular facility located at 3355 Via Lido are extremely close to the frequencies used by the City of Newport Beach for public safety. This proximity will require extraordinary "comprehensive advanced planning and frequency coordination" engineering measures to prevent interference, especially in the choice of frequencies and radio ancillary hardware. This is encouraged in the "Best Practices Guide" published by the Association of Public-safety Communications Officials-International, Inc. (APCO), and as endorsed by the Federal Communications Commission (FCC).
14. The applicant shall not prevent the City of Newport Beach from having adequate spectrum capacity on the City's 800 MHz radio frequencies at any time.
15. Should it be determined that the telecom facility approved by this permit causes interference with the City's Public Safety radio equipment, use of the facility shall be suspended and Verizon shall work with the affected Department to correct the interference within two hours of the City's written or telephone notice to Verizon until the radio frequency is corrected and verification of the compliance is reported. If Verizon is unable to correct interference to the City's satisfaction, use of the facility shall remain suspended until they are able to do so.
16. Within 30 days after installation of the telecom facility, a radio frequency (RF) compliance and radiation report prepared by a qualified RF engineer acceptable to the City shall be submitted in order to demonstrate that the facility is operating at the approved frequency and complies with FCC standards for radiation. If the report shows that the facility does not so comply, the use of the facility shall be suspended until the facility is modified to comply and a new report has been submitted confirming such compliance.
17. The applicant shall provide a "single point of contact" in its Engineering and Maintenance Departments that is monitored 24 hours per day to insure continuity on all interference issues, and to which interference problems may be reported. The name, telephone number, fax number and e-mail address of that person shall be provided to the Planning Department and Newport Beach Police Department's Support Services Commander prior to activation of the facility.

18. Prior to issuance of building permits, a deposit of \$1,000 shall be paid to the City of Newport Beach. This deposit is required by the Planning Department to ensure preparation and submittal of the RF Compliance and Radiation Report, referenced in the above Condition. The deposit will be used to defray any and all fees associated with review of the report by an independent technical consultant, pursuant to Section 15.70.070 B-10 of the Telecom Ordinance. Any unused deposit fees will be refunded to the applicant upon determination of compliance with the approved frequency and FCC standards.
19. The applicant shall insure that lessee or other user(s) shall comply with the terms and conditions of this permit, and shall be responsible for the failure of any lessee or other users under the control of the applicant to comply.
20. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the applicant, current property owner or leasing agent.
21. The telecom facility approved by the permit shall comply with any easements, covenants, conditions or restrictions on the underlying real property upon which the facility is located.
22. The telecom facility shall not be lighted except as deemed necessary by the Newport Beach Police Department for security lighting. The night lighting shall be at the lowest intensity necessary for that purpose and such lighting shall be shielded so that direct rays do not shine on nearby properties. Prior to the final of building permits, the applicant shall schedule an evening inspection by the Code Enforcement Division to confirm compliance with this condition.
23. The operator of the telecom facility shall maintain the facility in a manner consistent with the original approval of the facility.
24. The City reserves the right and jurisdiction to review and modify any telecom permit approved pursuant to Chapter 15.70 of the Newport Beach Municipal Code, including the conditions of approval, based on changed circumstances. The operator shall notify the Planning Department of any proposal to change the height or size of the facility; increase the size, shape or number of antennas; change the facility's color or materials or location on the site; or increase the signal output above the maximum permissible exposure (MPE) limits imposed by the radio frequency emissions guidelines of the FCC. Any changed circumstance shall require the operator to apply for a modification of the original telecom permit and obtain the modified telecom permit prior to implementing any change.
25. This telecom permit may be modified or revoked by the City Council should they determine that the facility or operator has violated any law regulating the telecom facility or has failed to comply with the requirements of Chapter 15.70 of the NBMC, or this telecom permit.

26. Any operator who intends to abandon or discontinue use of a telecom facility must notify the Planning Director by certified mail no less than 30 days prior to such action. The operator or property owner shall have 90 days from the date of abandonment or discontinuance to reactivate use of the facility, transfer the rights to use the facility to another operator, or remove the telecom facility and restore the site.

ABBREVIATIONS

ABV.	ABBREVIATION	EQ.	EQUAL	MECH.	MECHANICAL
AC	ACOUSTIC(AL)	EQUIP.	EQUIPMENT	MET.	METAL
A/C	AIR CONDITIONING	EXIST.	EXISTING	MIN.	MINIMUM
ALT.	ALTERNATE	EX.	EXTERIOR	MISC.	MISCELLANEOUS
ALUM.	ALUMINUM	F.S.	FACE OF STUD	NAT.	NATURAL
A.B.	ANCHOR BOLT	FIN.	FINISH	N.	NORTH
APPROX.	APPROXIMATE	FIX.	FIXURE	N.I.C.	NOT IN CONTRACT
ARCH.	ARCHITECT(URAL)	FL.	FLOOR	N.T.S.	NOT TO SCALE
A.C.	ASPHALTIC CONCRETE	F.L.	FLOW LINE	O.C.	ON CENTER
BM.	BEAM	F.D.	FLOOR DRAIN	O.D.	OUTSIDE DIAMETER
BLK(G)	BLOCKING	FLOUR.	FLOURESCENT	OPNG.	OPENING
BD.	BOARD	FT./	FOOT PER	OPP.	OPPOSITE
BOT.	BOTTOM	FTG.	FOOTING	PL.	PLATE
BLDG.	BUILDING	FDN.	FOUNDATION	PLYWD.	PLYWOOD
CAB.	CABINET	GAL.	GALLON	REINF.	REINFORCE(NG)
C.I.	CAST IRON	GALV.	GALVANIZED	RM.	ROOM
C.B.	CATCH BASIN	G.I.	GALVANIZED IRON	SCHED.	SCHEDULE
CLG.	CEILING	G.	GAS	SEC.	SECTION
CEM.	CEMENT	GA.	GAUGE	SHT.	SHEET
CER.	CERAMIC	GL.	GLASS	SIM.	SIMILAR
C.O.	CLEAN OUT	G.L.	GLUED LAMINATE	S.	SOUTH
CLR.	CLEAR	GYP.	GYP SUM	SPECS.	SPECIFICATIONS
COL.	COLUMN	HT.	HEIGHT	SQ.	SQUARE
CONC.	CONCRETE	H.M.	HOLLOW METAL	STD.	STANDARD
CONN.	CONNECTION	HORIZ.	HORIZONTAL	STL.	STEEL
CONT.	CONTINUE(OUS)	H.B.	HOSE BIBB	STRUCT.	STRUCTURAL
DET.	DETAIL	INFO.	INFORMATION	SUSP.	SUSPENDED
DIAM.	DIAMETER	I.D.	INSIDE DIAMETER	T & P	TELEPHONE & POWER
DIM.	DIMENSION	INSUL.	INSULATE(ION)	THK.	THICK
DR.	DOOR	INT.	INTERIOR	T & B	TOP & BOTTOM
DBL.	DOUBLE	INT.	INTERIOR	TYP.	TYPICAL
DN.	DOWN	JT.	JOINT	U.N.O.	UNLESS NOTED OTHERWISE
DS.	DOWN SPOUT	KIT.	KITCHEN	VENT.	VENTILATION
DWG.	DRAWING	LAB.	LABORATORY	VERT.	VERTICAL
D.F.	DRINKING FOUNTAIN	LT.	LIGHT	W.	WATER
EA.	EACH	LIN.	LINEAL	WT.	WEIGHT
E.	EAST	MFR.	MANUFACTUR(ER'S)	W.W.M.	WELDED WIRE MESH
ELEC.	ELECTRIC(AL)	M.O.	MASONRY OPENING	W.	WEST
EL.	ELEVATION	MAT.	MATERIAL	W/	WITH
ENCL.	ENCLOSURE	MAX.	MAXIMUM	WD.	WOOD

verizon wireless

SITE NAME: Newport Bay Relo

3355 VIA LIDO
NEWPORT BEACH, CA 92633

LEGAL DESCRIPTION

COORDINATES:

LATITUDE 33°37'01.50" N
LONGITUDE 117°55'40.32" W

NAD 1983 GEODETIC COORDINATES AND ELEVATIONS WERE ESTABLISHED USING SURVEY GRADE "ASHTech" G.P.S. RECEIVERS AND ASHTech SURVEY GRADE PRECISION SOFTWARE FOR POST-PROCESSING.

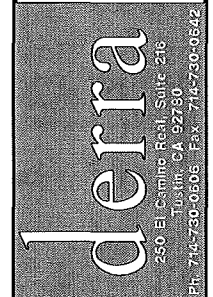
ASSESSOR'S IDENTIFICATION:
ORANGE COUNTY A.P.N. 423-112-03

AREA:
0.80± ACRES PER ORANGE COUNTY ASSESSOR

LEGAL DESCRIPTION:
(PENDING RECEIPT OF TITLE REPORT)

LOT 5 AND THOSE PORTIONS OF LOT 4 AND ALLEY OF TRACT NO. 1117, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON MAP OF SAID TRACT, RECORDED IN BOOK 35, PAGE 48 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE RECORDER OF SAID COUNTY.

Dept.	Approved	Date
A&C	RE	
RF	INT	
EE	OPS	
EE/OUT		



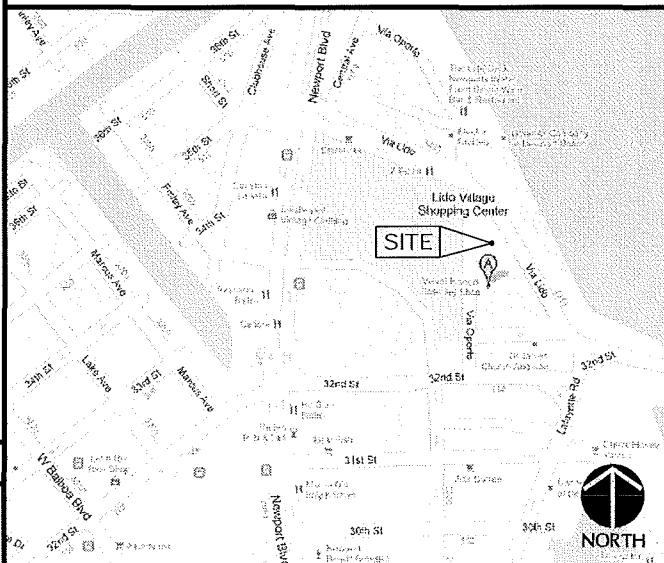
"NEWPORT BAY RELO"
3355 VIA LIDO
NEWPORT BEACH, CA 92663
TITLE SHEET
CONSTRUCTION DOCUMENT

REVISIONS	DATE	DESCRIPTION
0	12/10/10	PRELIMINARY 2D REVIEW
0	12/23/10	PRELIMINARY CD REVIEW
1	1/29/11	PLANNING DEPT. P.C. REV'S

T-1
Job No. 1001V

VICINITY MAP

THIS VICINITY MAP NOT TO SCALE



PROJECT TEAM

APPLICANT:
VERIZON WIRELESS
15505 SAND CANYON AVE.
BUILDING D, FIRST FLOOR
IRVINE, CA 92618

APPLICANT'S AGENT:
PLANCOM
250 EL CAMINO REAL
SUITE 117
TUSTIN, CALIFORNIA 92780
PH: (949) 370-5939
CONTACT: ERIC MEURS

ARCHITECT:
DERRA DESIGN, INC.
250 EL CAMINO REAL, #218
TUSTIN, CA, 92780
714-730-0606
CONTACT: BILL ATKINS

OWNER:
MARSHALL PROPERTY & DEVELOPMENT
7040 SCHOLARSHIP
IRVINE, CA 92612
PHONE NUMBER: (949) 838-0011
CONTACT: MATT MONTGOMERY

SURVEYOR:
BERT HAZE & ASSOC., INC.
3188 AIRWAY AVE., SUITE K1
COSTA MESA, CA, 92626
714-557-1567
CONTACT: BERT HAZE

STRUCTURAL ENGINEER:
SHUCRI "CHUCK" YAGHI, P.E.
112 E. CHAPMAN AVE., SUITE D
ORANGE, CA, 92866
714-997-9120
CONTACT: CHUCK YAGHI, P.E.

ELECTRICAL ENGINEER:
CD DESIGN GROUP
P.O. Box 11704
NEWPORT BEACH, CA 92658-1704
PH: (949) 387-8476
CONTACT: CHRIS KARJALA

MECHANICAL ENGINEER:
BPA, INC.
3 PETERS CANYON, STE. 100
IRVINE, CA 92606
PH: (949) 417-3900
CONTACT: ABBY BANERJEE

SHEET INDEX

SHEET NUMBER	DESCRIPTION
T-1	TITLE SHEET
T-2	GENERAL NOTES
LS-1	TOPOGRAPHIC SURVEY
LS-2	TOPOGRAPHIC SURVEY
A-1	SITE PLAN
A-2.0	ROOF PLAN / ANTENNA SECTOR PLANS
A-2.1	EQUIPMENT ROOM PLANS
A-3	ELEVATIONS
A-4	ELEVATIONS
A-5	DETAILS

PROJECT DESCRIPTION

PROPOSED VERIZON WIRELESS COMMUNICATIONS UNMANNED SUBSTATION TO CONSIST OF THE FOLLOWING: TEMPORARY INSTALLATION OF (3) PANEL ANTENNAS AND (1) MICROWAVE PANEL ANTENNA AT BUILDING FACADE, INSTALLATION OF TEMPORARY EQUIPMENT AT TENANT IMPROVEMENT SPACE WITHIN EXISTING BUILDING (SUITE 'G').

CONSTRUCTION DATA:

AREA OF IMPROVEMENT (NEW TOTAL LEASE AREA): (25'-5" x 18'-10") 479 SQ. FT.
CONSTRUCTION TYPE: V-B
OCCUPANCY CLASSIFICATION: S-2
ZONING: RM (MULTIPLE UNIT RESIDENTIAL)
JURISDICTION: CITY OF NEWPORT BEACH

PROJECT INFORMATION

ALL WORK AND MATERIALS SHALL COMPLY WITH THE FOLLOWING:

- 2010 BUILDING STANDARDS ADMINISTRATIVE CODE PART 1, TITLE 24, C.C.R.
- 2010 CALIFORNIA BUILDING CODE (C.B.C.) PART 2, TITLE 24, C.C.R.
- 2007 CALIFORNIA ELECTRICAL CODE (C.E.C.) PART 3, TITLE 24, C.C.R.
- 2007 CALIFORNIA MECHANICAL CODE (C.M.C.) PART 4, TITLE 24, C.C.R.
- 2007 CALIFORNIA PLUMBING CODE (C.P.C.) PART 5, TITLE 24, C.C.R.
- 2007 CALIFORNIA FIRE CODE (C.F.C.) PART 9, TITLE 24, C.C.R.
- 2007 TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

AND ALL APPLICABLE CODES, LOCAL, CURRENT OSHA LAWS, T-24 ENERGY CONSERVATION, LISTIS OF STANDARDS, AND DISABLED ACCESS REGULATIONS WHERE REQUIRED.

APPROVALS

APPROVED BY	DATE	INITIALS	COMMENTS
RF ENGINEER			
SITE DEV.			
SITE ACQ.			
PM			

COMMENTS:

NOTES

- THE MAXIMUM NUMBER OF DIRECTIONAL CELLULAR ANTENNAS TO BE LOCATED IS THREE (3)
- THE MAXIMUM NUMBER OF MICROWAVE ANTENNAS TO BE LOCATED IS ONE (1)
- THE MAXIMUM NUMBER OF GPS ANTENNAS TO BE LOCATED IS ONE (1)
- THE SIZE, HEIGHT, DIRECTION AND LOCATION OF ANTENNAS SHALL BE ADJUSTED TO MEET SYSTEM REQUIREMENTS AS NEEDED
- ALL ITEMS, WHETHER EXISTING OR NEW, WHICH ARE WITHIN THE VERIZON WIRELESS LEASE AREA ARE TO BE APPROVED

PROPRIETARY INFORMATION

NOT FOR USE OR DISCLOSURE OUTSIDE VERIZON WIRELESS EXCEPT UNDER WRITTEN AGREEMENT

SPECIAL INSPECTIONS

SPECIAL INSPECTION IS REQUIRED FOR THE WORK:
EPOXY BOLTS

GENERAL NOTES

- EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED OR SHOWN ON THE PLANS, WORKMANSHIP & MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE C.B.C., I.B.C. OR LOCAL CODE.
- THE PLANS SHALL BE REVIEWED FOR DIMENSIONAL & EXISTING SITE CONFORMANCE WITH THE PLANS BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE ARCHITECT & ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- WORKING DIMENSIONS SHALL NOT BE SCALED FROM DRAWINGS.
- ITEMS IDENTIFIED BY TRADE NAMES MAY BE SUBSTITUTED BY APPROVED EQUALS.
- NOTES & DETAILS ON DRAWINGS SHALL PRECEDE THESE GENERAL NOTES.

REMODELING NOTES

- PROVIDE ANY SHORING & OR BRACING PRIOR TO REMOVING EXISTING WALLS, BEAMS, OR SUPPORTS FOR CONSTRUCTION. REMOVE SHORING ONLY WHEN NEW SUPPORTS ARE IN PLACE AND SECURED.
- PROVIDE RED HEADS INTO EXISTING CONCRETE AT ALL SHEAR WALLS PER MFG. SPECIFICATIONS. SEE SHEAR WALL SCHEDULE FOR SIZE AND SPACING.
- PROVIDE SIMPSON ST-6224 BETWEEN NEW WALLS AND EXISTING WALLS AT THE DOORSE TOP PLATE.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES WHETHER OR NOT SHOWN ON DRAWINGS AND PROTECT THEM FROM DAMAGE.
- DO NOT CUT POST TENSION SLABS. CONTRACTOR TO DETERMINE EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS FOR FOOTINGS, BEAMS AND JOISTS, SIZES, LOCATIONS ETC. AND SHALL NOTIFY THE ARCHITECT & ENGINEER OF ANY DISCREPANCIES.
- DOVEL NEW INTO EXISTING SLABS W/#4 REBAR @ 24" O.C. AND FOOTINGS W/DOWELS TO MATCH NEW REIN. SIZE/LOCATION.

ENGINEERING NOTES

- CONCRETE SLABS ON GRADE HAVE NOT BEEN DESIGNED BY THE STRUCTURAL ENGINEER.
- THE VIBRATIONAL EFFECTS OF MECHANICAL EQUIPMENT HAVE NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER.
- THE DESIGN, ADEQUACY AND SAFETY OF ERECTION, BRACING SHORING, TEMPORARY SUPPORTS ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE DURING THE ENTIRE COURSE OF CONSTRUCTION. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR FIELD INSPECTION/OBSERVATION OF THE ABOVE ITEMS.
- ALLOWABLE SOILS PRESSURE TO BE A MINIMUM OF 1500 PSF UNLESS A SOILS REPORT IS PROVIDED. SOILS IN THE BUILDING AREA & 5 FEET BEYOND SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION PER I.B.C.

SOILS REPORT BY: GEOTECHNICAL SOLUTIONS INC.
JOB NO. SD-3728-01
DATED DEC. 8, 2008

STRUCTURAL SYMBOLS

INDICATES SHEAR WALL TYPE & LENGTH. SEE FOUNDATION & OR FRAMING PLAN AND SHEAR WALL SCHEDULE FOR TYPE, SILL BOLTING, SHIC, ETC. NOTE: FOR SILL BOLTING AT EXISTING FOOTINGS USE "RED HEAD WEDGE ANCHORS" ICC E-1372 THE SAME SIZE & SPACING AS SILL BOLTING (MIN 7 1/2" EMBED).

INDICATES POST MIN. POST SIZE/TYPE AS FOLLOWS U.N.O.:
BEAM SIZE POST SIZE
4" X 14" & SMALLER 2-2X4 W/166 NAILS @ 12" O.C.
6" X 12" & SMALLER 3-2X4 W/166 NAILS @ 12" O.C.
6" X 16" & LARGER 4X4
6" X 14" & LARGER 4X6

SEE HOLDING DETAILS AND TYPICAL WALL FRAMING FOR FURTHER POST SIZE REQUIREMENTS.

POSTS ARE TO CONTINUE DOWN TO FOUNDATION.

FOUNDATION NOTES

GENERAL

- SOIL BENEATH FOOTINGS AND SLABS SHALL BE COMPACTED PER I.B.C. (90%) RELATIVE COMPACTION MINIMUM.
- THE SOILS ENGINEER SHALL INSPECT THE FOUNDATION PRIOR TO POURING OF CONCRETE AND SHALL VERIFY THE SOIL BEARING CAPACITY TO BE 1500 PSF MIN OR PER THE SOILS REPORT.
- SLAB ON GRADE: 5 INCH CONCRETE SLAB WITH #4 @ 12" O/C E.W. @ CENTER OF SLAB OVER 2 INCH. OF SAND OVER TO MIN. VISIBILITY OVER COMPACTED SOILS U.N.O.
- NO TRENCHES OR EXCAVATIONS FIVE FEET IN DEPTH OR GREATER INTO WHICH A PERSON SHALL BE REQUIRED TO DESCEND SHALL BE MADE WITHOUT PROPER PERMITS.
- THE MINIMUM BOLTING FOR SILL PLATES TO FOUNDATION SHALL BE AS FOLLOWS: 3/8" DIAMETER ANCHOR BOLTS WITH 7" MIN EMBEDMENT IN CONCRETE WITH SPACING NO GREATER THAN 4 FEET O.C. NOR FURTHER THAN 12" FROM CORNERS (MIN 2 BOLTS PER FACE). SEE THE FOUNDATION PLAN & SHEAR WALL SCHEDULE FOR FURTHER BOLTING REQUIREMENTS.
- PIPES OR DUCTS THAT EXCEED ONE THIRD THE SLAB OR CONC. WALL THICKNESS SHALL NOT BE PLACED IN STRUCTURAL CONC. UNLESS SPECIFICALLY DETAILED. SEE MECHANICAL AND/OR ELECTRICAL DRAWINGS FOR LOCATION OF SLEEVES, ACCESSORIES, ETC.
- PIPES MAY PASS THRU STRUCTURAL CONC. IN SLEEVES, BUT SHALL NOT BE EMBEDDED THEREIN.
- PROVIDE 3/4" CHAMFERS AT ALL EXPOSED CORNERS.
- SEE ARCHITECTURAL PLANS FOR MOLDS, GROOVES, ORNAVENTS CLIPS OR GROUNDS REQUIRED TO BE CAST IN CONCRETE, AND FOR LOCATIONS OF FLOOR FINISHES AND SLAB DEPRESSIONS.
- LOCATION OF POUR JOINTS SHALL BE APPROVED BY THE STRUCTURAL ENGINEER.

1. UNLESS OTHERWISE NOTED ON PLANS CONCRETE SHALL BE TYPE V WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS. CEMENT SHALL CONFORM TO A.S.T.M. C-150 FINE & COURSE AGGREGATE SHALL CONFORM TO A.S.T.M. C-33.

REINFORCING STEEL

- REINFORCING STEEL, #3 AND #4 GRADE 40, #5 AND LARGER GRADE 60 PER A.S.T.M. A615.
- LOW HYDROGEN WELDING RODS SHALL BE USED FOR ALL WELDING OF REINFORCING BARS.
- BARS NOTED AS TYPICAL WALL REINFORCING AND VERTICAL COLUMN REINFORCING SHALL HAVE A MINIMUM SPLICE OF 50 BAR DIAMETERS LAP IN MASONRY OR 40 BAR DIAMETERS MINIMUM IN CONCRETE.
- REINFORCING SHALL BE SPLICED ONLY AS SHOWN OR NOTED. OTHER SPLICES SHALL BE APPROVED BY THE STRUCTURAL ENGINEER.
- SPLICES IN ADJACENT HORIZONTAL WALL REINFORCING BARS SHALL BE STAGGERED 4 FEET UNLESS OTHER WISE NOTED.
- PROVIDE DOVELS IN FOOTINGS AND/OR GRADE BEAMS THE SAME SIZE AND NUMBER AS VERTICAL WALL OR COLUMN REINFORCING. DOVELS SHALL HAVE A MINIMUM PROJECTION EQUAL TO STANDARD LAP SPLICE UNLESS OTHERWISE NOTED.
- ALL REINFORCING ANCHOR BOLTS AND OTHER INSERTS SHALL BE SECURED IN PLACE PRIOR TO PLACEMENT OF CONCRETE OR GROUTING OF MASONRY.
- PROVIDE THE FOLLOWING MINIMUM PROTECTIVE COVERING OF CONCRETE:
BELOW GRADE (UNFORMED)-----3" CLEAR
BELOW GRADE (FORMED)-----2" CLEAR
WALLS-----1" CLEAR
COLUMNS-----1.5" CLEAR
BEAMS AND C-ROBERS-----1.5" CLEAR
STRUCTURAL SLAB (ABOVE GRADE)-----3/4" CLEAR
- NUMBER 5 OR LARGER REINFORCING BARS SHALL NOT BE RE-BENT WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER.

STRUCTURAL STEEL

- STRUCTURAL STEEL SHALL CONFORM TO STANDARD SPECIFICATION FOR STRUCTURAL STEEL FOR BRIDGES OR BUILDINGS A.S.T.M. A572 GRADE 50 OR EQL. GRADE STEEL.
- FABRICATION SHALL COMPLY WITH THE LATEST A.I.S.C. SPECS.
- ALL BOLTS FOR STEEL MEMBERS SHALL CONFORM TO A.S.T.M. A-307 UNLESS OTHERWISE NOTED.
- HIGH TENSILE BOLTS WHERE INDICATED ON THE PLANS OR DETAILS SHALL BE THE FRICTION TYPE AND THERE SHALL BE NO PAINT, OIL, LACQUER OR GALVANIZING BETWEEN THE CONTACT SURFACES. HIGH TENSILE BOLTS SHALL CONFORM TO A.S.T.M. A-325 OR A-490.
- PIPE COLUMNS SHALL CONFORM TO A.S.T.M. A-53 GRADE B
- STEEL TUBE SHAPED MEMBERS SHALL CONFORM TO A.S.T.M. A-501 OR A-500 GRADE B.
- WHERE FINISH IS ATTACHED TO STRUCTURAL STEEL, PROVIDE HOLES FOR 1/2" WELDED STUDS AT 4 FEET O.C. FOR THE ATTACHMENT OF NAILS. SEE ARCHITECTURAL DRAWINGS FOR FINISHES.
- BEAM CONNECTIONS SHALL COMPLY WITH "TRIMMED BEAM CONNECTIONS" A.I.S.C. PART 4, TABLE 1, USING 3/4" DIA. A307 BOLTS (M.B.).
- OPEN WEB JOISTS SHALL COMPLY WITH THE STANDARDS OF "THE STEEL JOIST INSTITUTE".

STRUCT. STEEL WELDING

- WELDING SHALL BE DONE BY THE ELECTRIC SHIELDED ARC PROCESS AND SHALL COMPLY WITH A.I.S.C. SPECIFICATIONS FOR WELDING AND FABRICATION.
- WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS WHO ARE APPROVED BY THE LOCAL AUTHORITY.
- ALL FIELD WELDS SHALL HAVE CONTINUOUS INSPECTION PER BC (1704.3.1) UNLESS OTHERWISE NOTED.
- ALL BUTT WELDS SHALL BE FULL PENETRATION U.N.O.
- A CERTIFICATE OF FABRICATION FROM THE SHOP PERFORMING WELDING OR A REPORT FROM THE SPECIAL INSPECTOR MUST BE FURNISHED TO THE JOB INSPECTOR PRIOR TO FRAMING APPROVAL.
- USE E7018 ELECTRODE W/201-# TOUGHNESS FACTOR.

GRADING NOTES

- A GRADING PERMIT SHALL BE OBTAINED PRIOR TO ANY GRADING.
- ALL FILL ONE FOOT & GREATER SHALL BE CERTIFIED AND TESTED AS TO RELATIVE COMPACTION PER I.B.C.
- ALL FILL SHALL BE COMPACTED IN ACCORDANCE WITH CHAPTER 18 SECTION 1803 OF THE LATEST ADOPTED EDITION OF THE I.B.C.
- ALL UTILITY TRENCH BACKFILLS SHALL BE IN ACCORDANCE WITH THE SOILS ENGINEERS RECOMMENDATIONS.

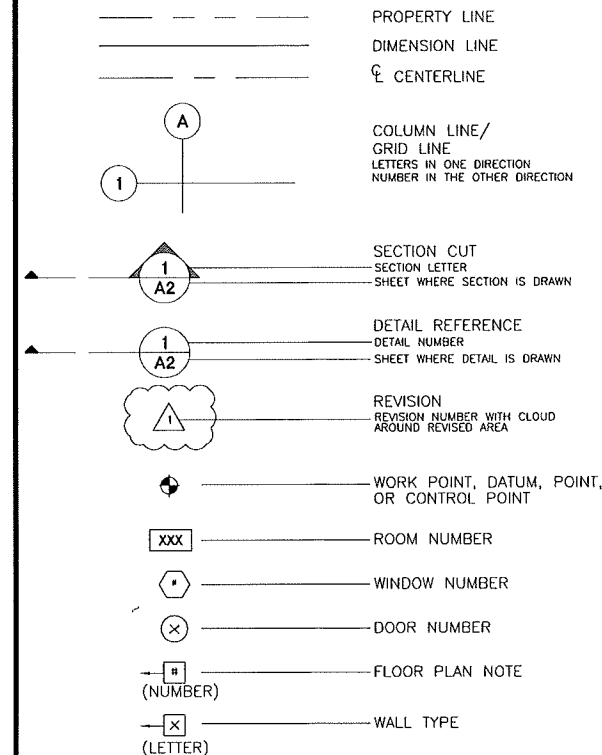
DRAINAGE NOTES

- MIN. SLOPE GRADIENTS ARE AS FOLLOWS: EARTH= 1% PAVING= .5%
- POSITIVE DRAINAGE AWAY FROM STRUCTURES SHALL BE AS FOLLOWS: 2% MIN TO 2 1/2% MAX SWALES TO BE 3 FEET MIN AWAY FROM STRUCTURES.

CONSTRUCTION NOTES

- HOURS OF WORK: CONTRACTOR TO OBSERVE BUSINESS HOURS OF 8 A.M. TO 6 P.M., M - F. ANY OTHER SPECIAL OR EXTENDED HOURS TO BE APPROVED BY OWNER REPRESENTATIVE. VERIFY LOCAL CODES AND ORDANCES FOR WORKING OUTSIDE OF SPECIFIED TIMES.
- STAGING/LOADING AREA: ALL WORK MUST BE ARRANGED TO AVOID INTERFERING WITH EXISTING TRAFFIC (PEDESTRIAN & MOTOR) AND BUSINESS. ALL EQUIPMENT & MATERIALS MUST BE STORED IN NEW EQUIPMENT ROOM ONLY, UNLESS PRIOR AGREEMENT IS MADE BETWEEN VERIZON WIRELESS PROJECT MANAGER, OWNER AND CONTRACTOR.
- CONTRACTOR SHALL READ, UNDERSTAND, & ADHERE TO ALL NOTES ON THESE DRAWINGS & ALL NOTES THROUGHOUT THIS SET OF CONSTRUCTION DOCUMENTS. ANY REQUIRED CHANGES AND/OR ADJUSTMENTS MUST BE MADE WITH THE PRIOR APPROVAL OF THE VERIZON WIRELESS PROJECT MANAGER AND THE ARCHITECT OR ENGINEER OF RECORD.
- PROTECT ALL SURFACES & MATERIALS IN AND ADJACENT TO EQUIPMENT ROOM. ALSO PROTECT, PRESERVE AND CLEAN ALL AREAS; INCLUSIVE OF PATHS OF TRAVEL, IN AND BETWEEN ALL AREAS OF WORK.
- CONTRACTOR TO MAKE APPOINTMENT WITH BUILDING OWNER REPRESENTATIVE PRIOR TO ANY X-RAY & CORE DRILLING THAT MAY AFFECT OTHER TENANTS.

NOTES



STRUCTURAL GENERAL NOTES

SYMBOLS

Dept.	Approved	Date
A&C		
RE		
RF		
INT		
EE		
OPS		
EE/OUT		

derra
250 E. Camino Real, Suite 216
Tustin, CA 92780
PH: 714-730-0606 Fax: 714-730-0642

verizon wireless
15505 Sand Canyon Ave.
Building 'D', First Floor
Irvine, CA 92618
(949) 266-7000

"NEWPORT BAY RELO"
3355 VIA LIDO
NEWPORT BEACH, CA 92663
GENERAL NOTES / SYMBOLS
CONSTRUCTION DOCUMENT

REVISIONS	DATE	BY	DESCRIPTION
0	12/10/10	JUR	PRELIMINARY 2D REVIEW
0	12/23/10	JUR	PRELIMINARY CD REVIEW
1	1/20/11	JUR	PLANNING DEPT. P.C. REVS

T-2
Job No. 1001V

COORDINATES:

LATITUDE 33°37'01.50" N
LONGITUDE 117°55'40.32" W

NAD 1983 GEODETIC COORDINATES AND ELEVATIONS WERE ESTABLISHED USING SURVEY GRADE "ASHTACH" G.P.S. RECEIVERS AND ASHTACH SURVEY GRADE PRECISION SOFTWARE FOR POST-PROCESSING.

BASIS OF BEARINGS:

THE CENTERLINE OF VIA LIDO BEING SOUTH 27°30'00" EAST PER TRACT NO. 907, M.M. 28/25-36, RECORDS OF ORANGE COUNTY.

ASSESSOR'S IDENTIFICATION:

ORANGE COUNTY A.P.N. 423-112-03

AREA:

0.80± ACRES PER ORANGE COUNTY ASSESSOR

BENCH MARK REFERENCE:

U.S.G.S. BENCH MARK "BM 5"

UNITED STATES GEOLOGICAL SURVEY BENCH MARK "BM 5" AS SHOWN ON THE "NEWPORT BEACH" 7.5 MINUTE QUADRANGLE MAP.

ELEVATION: 7.5 FEET A.M.S.L. (NAVD88) (DATUM VERIFIED IN FIELD TO BE WITHIN 1-A ACCURACY STANDARDS)

TITLE REPORT IDENTIFICATION:

LAWYERS TITLE COMPANY, PRELIMINARY TITLE REPORT NO. 12377060-10, DATED AS OF NOVEMBER 24, 2010.

DATE OF SURVEY:

DECEMBER 03, 2010

LIVING PLANTS STATEMENT:

THE HEIGHTS AND ELEVATIONS FOR THE TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY VALID FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.

EASEMENT NOTES:

EASEMENT(S) SHOWN HEREON ARE PER LAWYERS TITLE COMPANY, PRELIMINARY TITLE REPORT NO. 12377060-10, DATED AS OF NOVEMBER 24, 2010.

2 AN EASEMENT FOR STORM DRAIN, RECORDED IN BOOK 1045, PAGE 73 OF OFFICIAL RECORDS. **(DOES NOT AFFECT SITE PROPERTY, FALLS OUTSIDE SCOPE OF SURVEY)**

3 AN EASEMENT GRANTED TO SOUTHERN CALIFORNIA GAS COMPANY FOR GAS PIPES AND MAINS, RECORDED FEBRUARY 20, 1948 IN BOOK 1622, PAGE 120 OF OFFICIAL RECORDS.

4 AN EASEMENT GRANTED TO CITY OF NEWPORT BEACH FOR PUBLIC UTILITIES, RECORDED MAY 21, 1951 IN BOOK 2191, PAGE 208 OF OFFICIAL RECORDS

5 AN EASEMENT GRANTED TO SOUTHERN CALIFORNIA EDISON COMPANY FOR UNDERGROUND ELECTRIC SYSTEM, RECORDED JULY 25, 1956 AS INSTRUMENT NO. 104257 IN BOOK 3598, PAGE 64 OF OFFICIAL RECORDS. PARTIAL QUITCLAIM OF SAID EASEMENT WAS RECORDED DECEMBER 13, 1967 IN BOOK 8465, PAGE 177 OF OFFICIAL RECORDS.

7 AN "AGREEMENT FOR RECIPROCAL DRIVEWAY EASEMENT", RECORDED IN BOOK 13011, PAGE 1804 OF OFFICIAL RECORDS. **(PROVIDES FOR A SHARED GATE FOR PARKING ISSUES)**

8 AN EASEMENT GRANTED TO PACIFIC TELEPHONE AND TELEGRAPH COMPANY FOR PUBLIC UTILITIES, RECORDED APRIL 29, 1981 IN BOOK 14037, PAGE 1144 OF OFFICIAL RECORDS. **(DOES NOT AFFECT SITE PROPERTY, FALLS S'LY OF 3RD ST., OUTSIDE SCOPE OF SURVEY)**

○ DENOTES ITEM PLOTTED HEREON

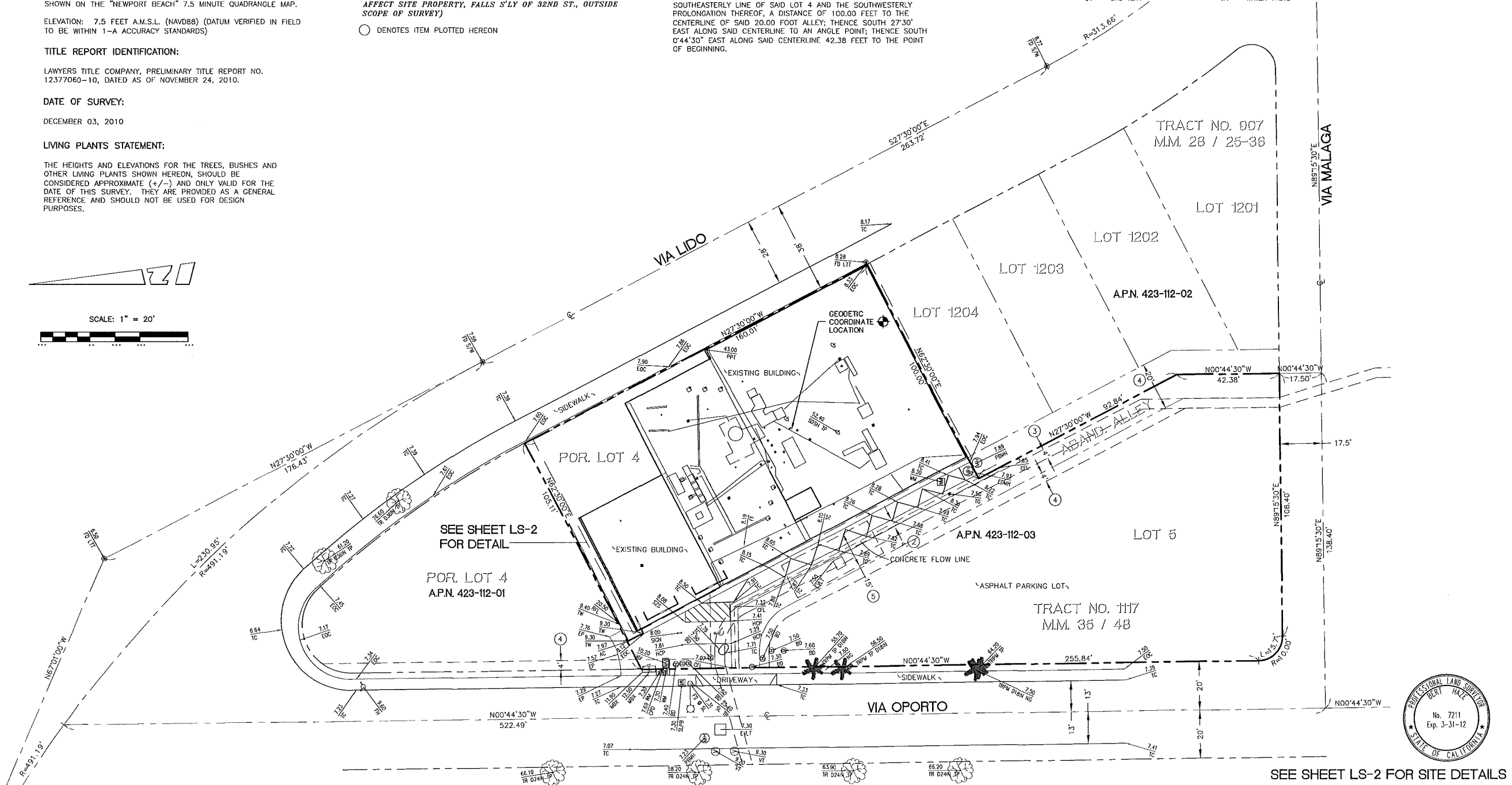
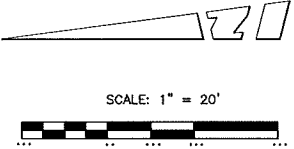
LEGAL DESCRIPTION:

THAT PORTION OF LOTS 4 AND 5 OF TRACT NO. 1117, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 35 PAGE 48 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, TOGETHER WITH A PORTION OF THE 20.00 FOOT ALLEY ADJOINING SAID LOTS 4 AND 5 AS ABANDONED BY RESOLUTION OF THE CITY COUNCIL OF NEWPORT BEACH ON FEBRUARY 4, 1946, A CERTIFIED COPY OF SAID RESOLUTION BEING RECORDED MARCH 11, 1946 IN BOOK 1400 PAGE 189 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE CENTERLINE OF SAID 20.00 FOOT ALLEY WITH THE EASTERLY PROLONGATION OF THE SOUTHERLY LINE OF SAID LOT 5; THENCE SOUTH 89°15'30" WEST ALONG SAID PROLONGATION AND SAID SOUTHERLY LINE OF LOT 5, A DISTANCE OF 108.40 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 10.00 FEET; THENCE WESTERLY AND NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°, A DISTANCE OF 15.71 FEET; THENCE TANGENT TO SAID CURVE NORTH 0°44'30" WEST ALONG THE WESTERLY LINE OF SAID LOT 5 AND ITS NORTHERLY PROLONGATION 226.93 FEET TO THE WESTERLY CORNER OF SAID LOT 4, SAID CORNER BEING THE SOUTHERLY TERMINUS OF THAT CERTAIN COURSE IN THE WESTERLY LINE OF SAID LOT 4 HAVING A BEARING AND DISTANCE OF NORTH 0°44'30" WEST 149.43 FEET; THENCE NORTH 01°44'30" WEST ALONG SAID WESTERLY LINE 28.91 FEET; THENCE NORTH 62°30'00" EAST 105.11 FEET TO THE EASTERLY LINE OF SAID LOT 4; THENCE SOUTH 27°30' EAST ALONG SAID EASTERLY LINE OF LOT 4, A DISTANCE OF 160.00 FEET TO THE EASTERLY CORNER OF SAID LOT 4; THENCE SOUTH 62°30' WEST ALONG THE SOUTHEASTERLY LINE OF SAID LOT 4 AND THE SOUTHWESTERLY PROLONGATION THEREOF, A DISTANCE OF 100.00 FEET TO THE CENTERLINE OF SAID 20.00 FOOT ALLEY; THENCE SOUTH 27°30' EAST ALONG SAID CENTERLINE TO AN ANGLE POINT; THENCE SOUTH 0°44'30" EAST ALONG SAID CENTERLINE 42.38 FEET TO THE POINT OF BEGINNING.

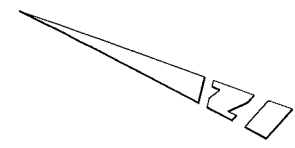
LEGEND:

- | | | |
|---------------------------|----------------------------|-------------------------|
| AC ASPHALT CONCRETE | H HEIGHT | ⊕ ANTENNA |
| ACU AIR CONDITIONING UNIT | HCP HANDICAP PARKING | ▬ BLOCK WALL |
| ANT ANTENNA | IN INCHES | ⊙ BOLLARD |
| BD BOARD | LT LIGHT | ⊕ CENTERLINE |
| BLD BUILDING | LTT LEAD, TACK, AND TAG | ⊕ FIRE HYDRANT |
| BLWR BLOWER | MBX MAIL BOX | ⊕ EDISON MANHOLE |
| BTM BOTTOM | OH OVERHANG | ⊕ FOUND MONUMENT |
| BTS BTS UNIT | NG NATURAL GROUND | ⊕ GAS VENT |
| CDT CONDUIT | PBMH PACIFIC BELL MANHOLE | ⊕ GPS ANTENNA |
| CFL CONCRETE FLOW LINE | PPT PARAPET | ⊕ GRATE |
| CPD CONCRETE PAD | RFL ROOF LINE | ⊕ HANDICAP PARKING |
| CT CABLE TRAY | RH ROOF HATCH | ⊕ MANHOLE |
| D DIAMETER | RFD RAISED ROOF DECK | ⊕ ROOF VENT |
| DK DECK | S/W SPIKE AND WASHER | ⊕ SATELLITE DISH |
| DKL DECK LINE | SDSH SATELLITE DISH | ⊕ STREET LIGHT |
| DR DOOR | SL STREET LIGHT | ⊕ STREET LIGHT PULL BOX |
| DT DUCT | SLPB STREET LIGHT PULL BOX | ⊕ VENT |
| EBX ELECTRICAL BOX | SZS SAFETY ZONE STRIP | ⊕ WATER METER |
| EDMH EDISON MANHOLE | TC TOP OF CURB | ⊕ WATER VALVE |
| EOC EDGE OF CONCRETE | TG TOP OF GRATE | |
| EP EDGE OF PAVEMENT | TNK TANK | |
| EVLV ELECTRICAL VAULT | TP TOP | |
| FD FOUND | TR TREE | |
| FF FINISHED FLOOR | TRPM PALM TREE | |
| FRM FRAME | TW TOP OF WALL | |
| FS FINISHED SURFACE | UT UTILITY | |
| FTG FOOTING | VT VENT | |
| GPS GPS ANTENNA | WM WATER METER | |
| GV GAS VENT | WNDW WINDOW | |
| | WV WATER VALVE | |



Dept. Approved	RE	INT	EE	OPS	EE/OUT																								
	A&C	RE	INT	EE	OPS																								
<p>BERT HAZE AND ASSOCIATES, INC. LAND SURVEYING & MAPPING 3188 AIRWAY AVENUE, SUITE K1 COSTA MESA, CALIFORNIA 92626 714 557-1567 OFFICE 714 557-1568 FAX JN. 803.119</p>																													
<p>verizon wireless 15505 Sand Canyon Ave. Building "D", First Floor Irvine, CA. 92618 (949) 266-7000</p>																													
<p>TOPOGRAPHIC SURVEY "NEWPORT BAY RELO" 3355 VIA LIDO NEWPORT BEACH, CA 92663</p>																													
<p>Revisions</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>ISSUED FOR REVIEW</th> <th>ADDED TITLE INFO.</th> </tr> <tr> <td>01</td> <td>12/09/10</td> <td></td> <td></td> </tr> <tr> <td>02</td> <td>12/29/10</td> <td></td> <td></td> </tr> <tr> <td>03</td> <td></td> <td></td> <td></td> </tr> <tr> <td>04</td> <td></td> <td></td> <td></td> </tr> <tr> <td>05</td> <td></td> <td></td> <td></td> </tr> </table>						NO.	DATE	ISSUED FOR REVIEW	ADDED TITLE INFO.	01	12/09/10			02	12/29/10			03				04				05			
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01	12/09/10																												
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<p>Z.A. CASE NO.: LS-1</p>																													

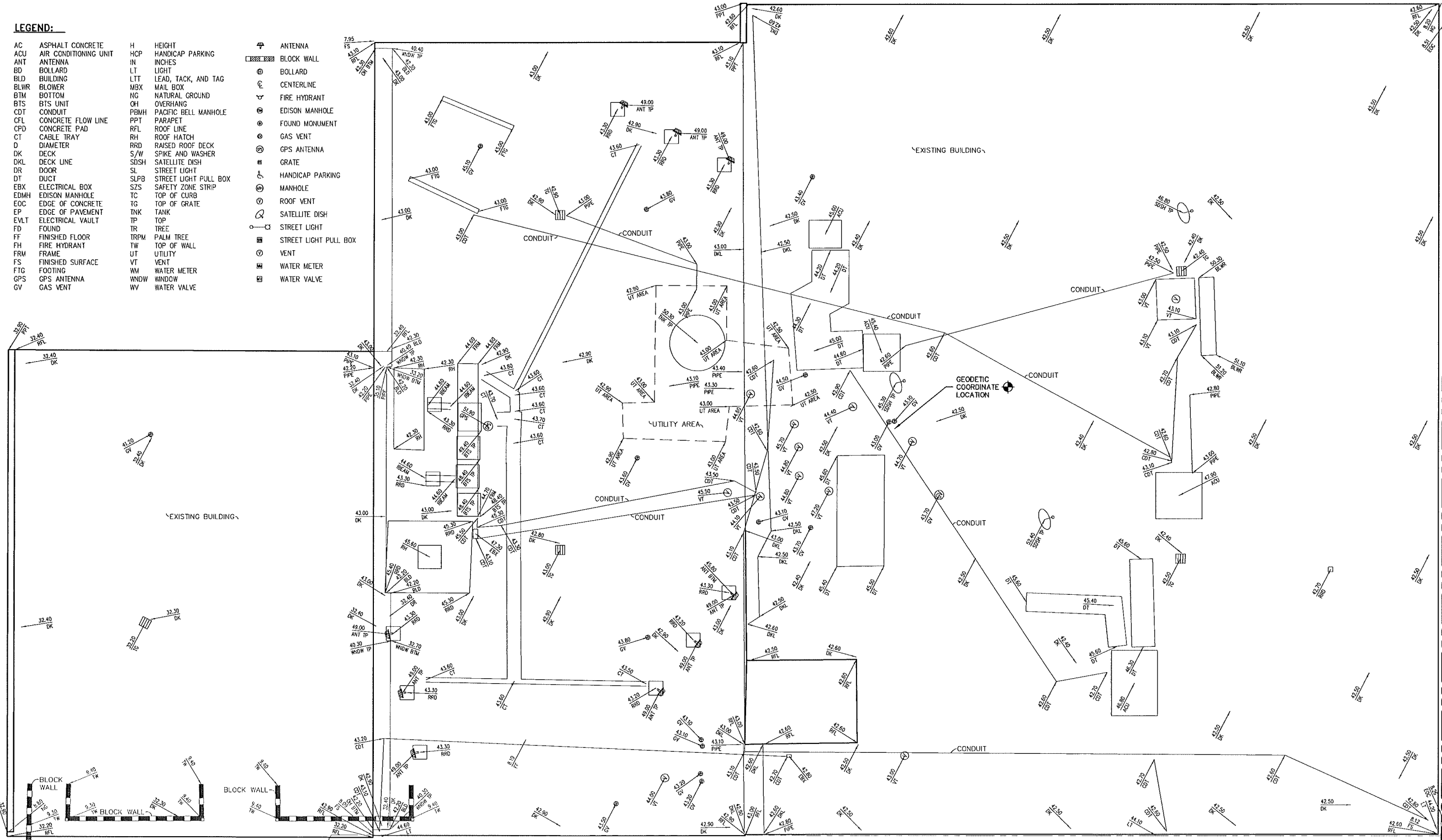
SEE SHEET LS-2 FOR SITE DETAILS



SCALE: 1" = 5'



- LEGEND:**
- | | | |
|---------------------------|----------------------------|----------------------------|
| AC ASPHALT CONCRETE | H HEIGHT | ANT ANTENNA |
| ACU AIR CONDITIONING UNIT | HCP HANDICAP PARKING | BW BLOCK WALL |
| ANT ANTENNA | IN INCHES | BOL BOLLARD |
| BD BOLLARD | LT LIGHT | CL CENTERLINE |
| BLD BUILDING | LTT LEAD, TACK, AND TAG | FH FIRE HYDRANT |
| BLWR BLOWER | MBX MAIL BOX | EM EDISON MANHOLE |
| BTM BOTTOM | NG NATURAL GROUND | FM FOUND MONUMENT |
| BTS BTS UNIT | OH OVERHANG | GV GAS VENT |
| CDT CONDUIT | PBMH PACIFIC BELL MANHOLE | GA GPS ANTENNA |
| CFL CONCRETE FLOW LINE | PPT PARAPET | GR GRATE |
| CPD CONCRETE PAD | RFL ROOF LINE | HP HANDICAP PARKING |
| CT CABLE TRAY | RH ROOF HATCH | M MANHOLE |
| D DIAMETER | RDD RAISED ROOF DECK | RV ROOF VENT |
| DK DECK | S/W SPIKE AND WASHER | SD SATELLITE DISH |
| DKL DECK LINE | SOSH SATELLITE DISH | SL STREET LIGHT |
| DR DOOR | SL STREET LIGHT | SLP8 STREET LIGHT PULL BOX |
| DT DUCT | SLP8 STREET LIGHT PULL BOX | SZS SAFETY ZONE STRIP |
| EBX ELECTRICAL BOX | SZS SAFETY ZONE STRIP | TC TOP OF CURB |
| EDMH EDISON MANHOLE | TC TOP OF CURB | TG TOP OF GRATE |
| EOC EDGE OF CONCRETE | TG TOP OF GRATE | TNK TANK |
| EP EDGE OF PAVEMENT | TNK TANK | TP TOP |
| EVLV ELECTRICAL VAULT | TP TOP | TR TREE |
| FD FOUND | TR TREE | TRPM PALM TREE |
| FF FINISHED FLOOR | TRPM PALM TREE | TW TOP OF WALL |
| FH FIRE HYDRANT | TW TOP OF WALL | UT UTILITY |
| FRM FRAME | UT UTILITY | VT VENT |
| FS FINISHED SURFACE | VT VENT | WM WATER METER |
| FTG FOOTING | WM WATER METER | WV WATER VALVE |
| GPS GPS ANTENNA | WV WATER VALVE | |
| GV GAS VENT | | |



SEE SHEET LS-1 FOR BOUNDARY AND TITLE INFO.

Dept. Approved	Date
A&C	
RE	
RF	
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EE	
OPS	
EE/OT	

BERT HAZE
 AND ASSOCIATES, INC.
 LAND SURVEYING & MAPPING
 3188 AIRWAY AVENUE, SUITE K1
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 714.557-1567 OFFICE
 714.557-1568 FAX
 J.N. 803.119

verizon wireless
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 Building 'D', First Floor
 Irvine, CA 92618
 (949) 286-7000

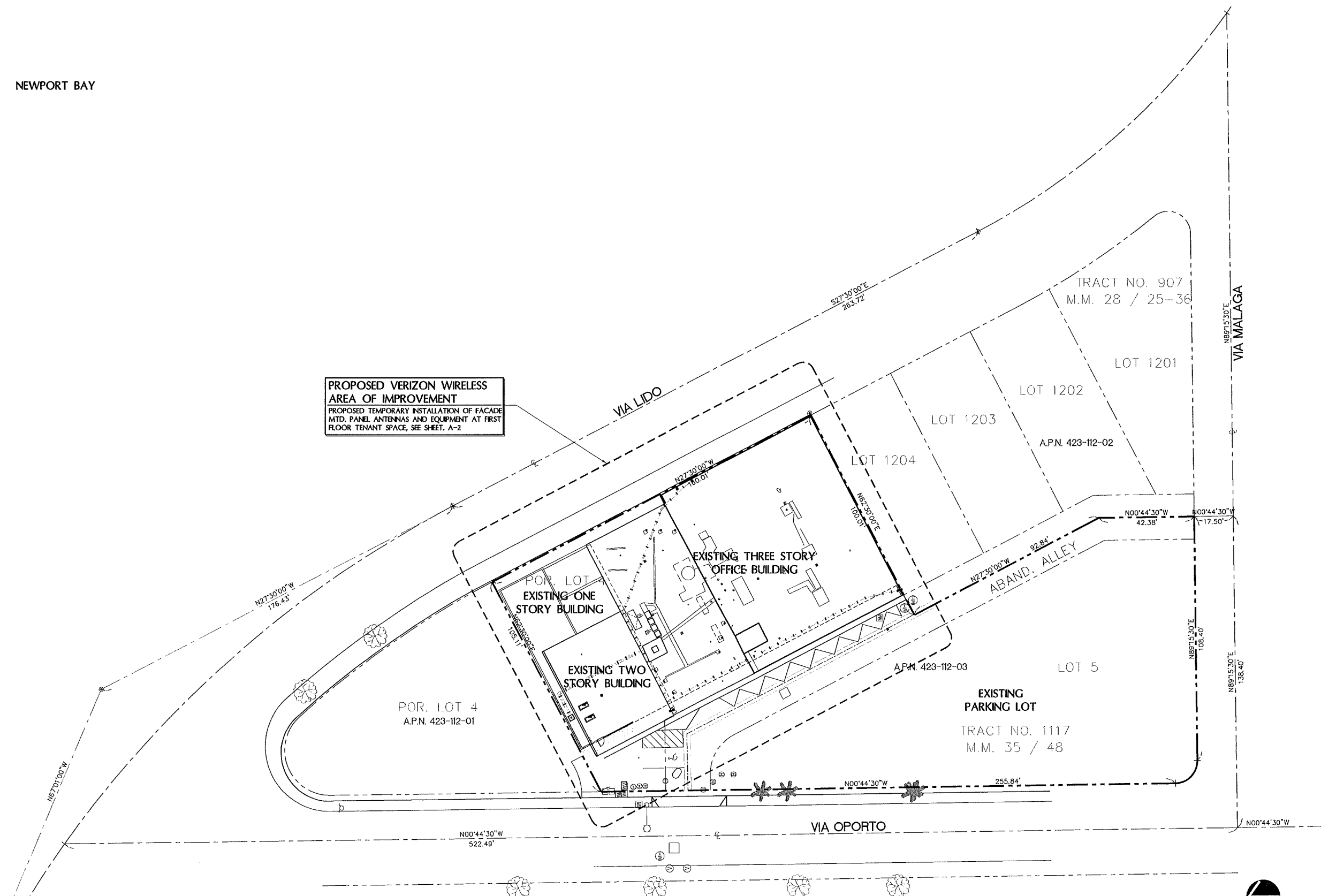
TOPOGRAPHIC SURVEY
 "NEWPORT BAY RELO"
 3355 VIA LIDO
 NEWPORT BEACH, CA 92663

REVISIONS	ISSUED FOR REVIEW
01	12/09/10
02	12/20/10
03	
04	
05	

Z.A. CASE NO.: **LS-2**

NEWPORT BAY

**PROPOSED VERIZON WIRELESS
AREA OF IMPROVEMENT**
PROPOSED TEMPORARY INSTALLATION OF FACADE
MTD. PANEL ANTENNAS AND EQUIPMENT AT FIRST
FLOOR TENANT SPACE, SEE SHEET. A-2



SITE PLAN
NORTH
SCALE: 1"=20'-0"
0 10' 20' 40'
GRAPHIC SCALE

Dept.	Approved	Date
A&C		
RE		
RF		
INT		
EE		
OPS		
EE/OUT		

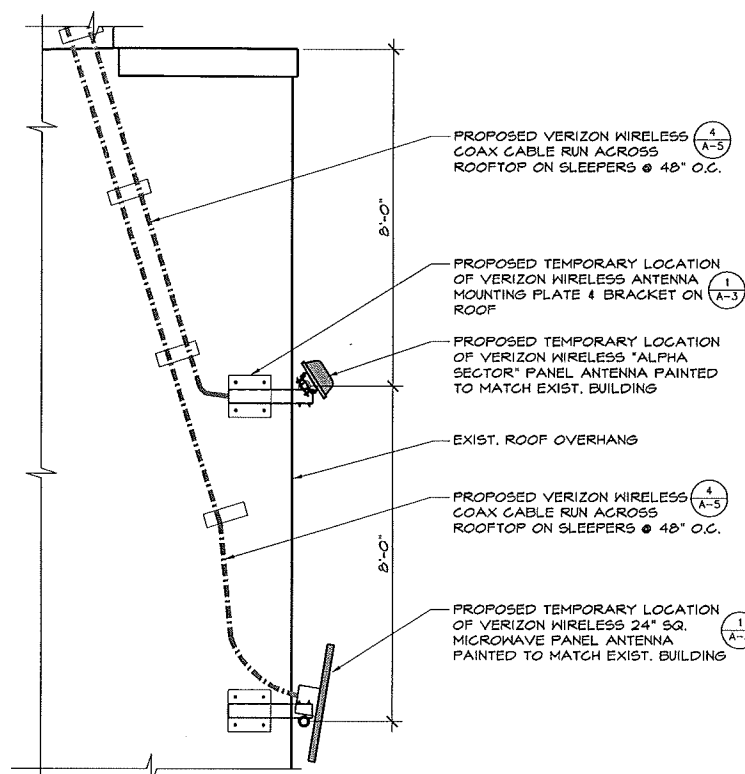
derra
250 El Camino Real, Suite 216
Tustin, CA 92780
Ph: 714-730-0605 Fax: 714-730-0642

verizon wireless
15505 Sand Canyon Ave.
Building "D", First Floor
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(949) 266-7000

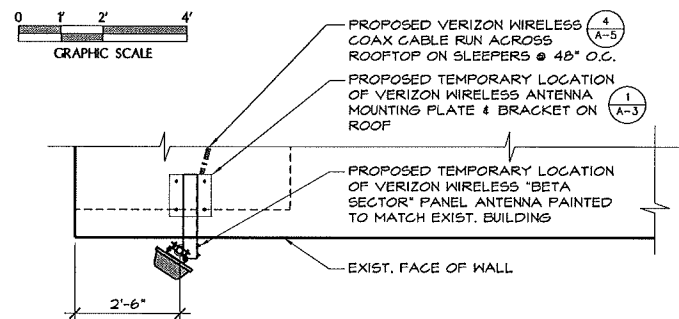
"NEWPORT BAY RELO"
3355 VIA LIDO
NEWPORT BEACH, CA 92663
SITE PLAN
CONSTRUCTION DOCUMENT

Revisions	Date	Description
0	12/18/10	PRELIMINARY 2D REVIEW
0	12/23/10	PRELIMINARY CD REVIEW
1	1/20/11	PLANNING DEPT. P.C. RECS

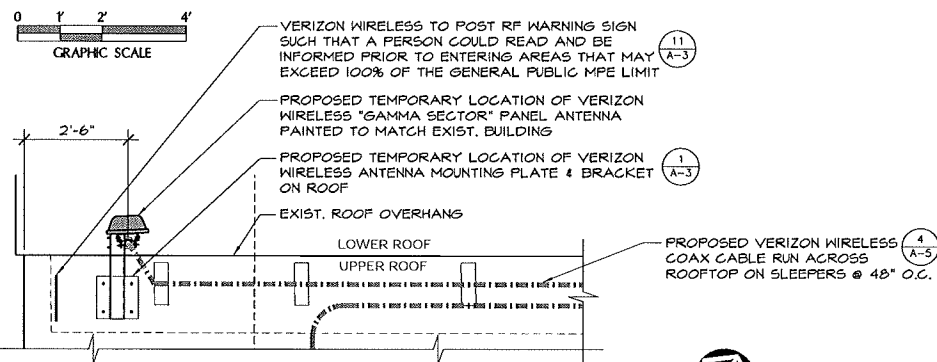
A-1
Job No. 1001V



**(ALPHA SECTOR)
ANTENNA #1 PLAN**



**(BETA SECTOR)
ANTENNA #2 PLAN**



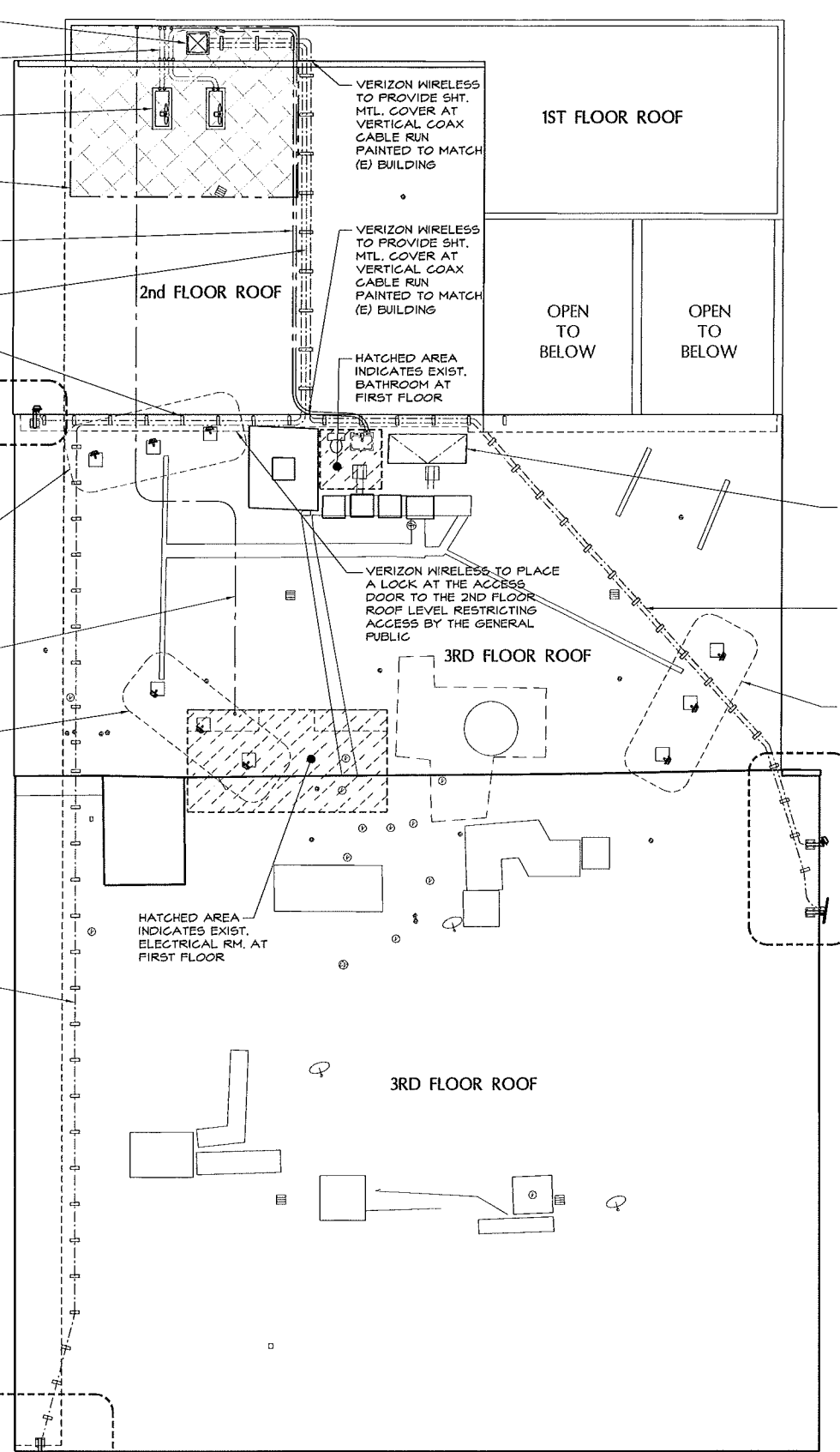
**(GAMMA SECTOR)
ANTENNA #3 PLAN**



- 2 A-5 PROPOSED LOCATION OF VERIZON WIRELESS COAX CABLE "DOG HOUSE" AT FIRST FLOOR ROOF
- 9 A-5 PROPOSED VERIZON WIRELESS MECHANICAL REFRIGERANT LINES TO CONDENSORS AT ROOF, SEE MECH. PLANS
- PROPOSED LOCATION OF VERIZON WIRELESS MECHANICAL CONDENSOR UNITS AT ROOF (TYP. OF 2)
- LINE OF PROPOSED VERIZON WIRELESS TEMPORARY EQUIPMENT ROOM TENANT IMPROVEMENT (414 S.F.) AT FIRST FLOOR SUITE "6"
- 7 A-5 PROPOSED VERIZON WIRELESS MECHANICAL CONDENSATE LINES RUN WITHIN 1ST FLR. DROPPED CLG. TO (E) BATHROOM AT 1ST FLOOR, SEE MECH. PLANS
- 6 A-5 4 A-5 PROPOSED VERIZON WIRELESS COAX CABLE RUN ACROSS ROOFTOP ON SLEEPERS @ 48" O.C.
- ANTENNA #3 PROPOSED TEMPORARY LOCATION OF VERIZON WIRELESS ANTENNA, SEE "GAMMA SECTOR ANTENNA PLAN" AT LEFT
- EXISTING (3) SPRINT-NEXTEL ROOF MOUNTED PANEL ANTENNAS
- 7 A-5 PROPOSED VERIZON WIRELESS ELECTRICAL CONDUIT RUN WITHIN 1ST FLOOR, DROPPED CLG. TO (E) ELECTRICAL ROOM AT 1ST FLOOR, SEE ELECT. PLANS
- EXISTING (3) SPRINT-NEXTEL ROOF MOUNTED PANEL ANTENNAS

- 4 A-5 PROPOSED VERIZON WIRELESS COAX CABLE RUN ACROSS ROOFTOP ON SLEEPERS @ 48" O.C.

- ANTENNA #2 PROPOSED TEMPORARY LOCATION OF VERIZON WIRELESS ANTENNA, SEE "BETA SECTOR ANTENNA PLAN" AT LEFT



ROOF PLAN



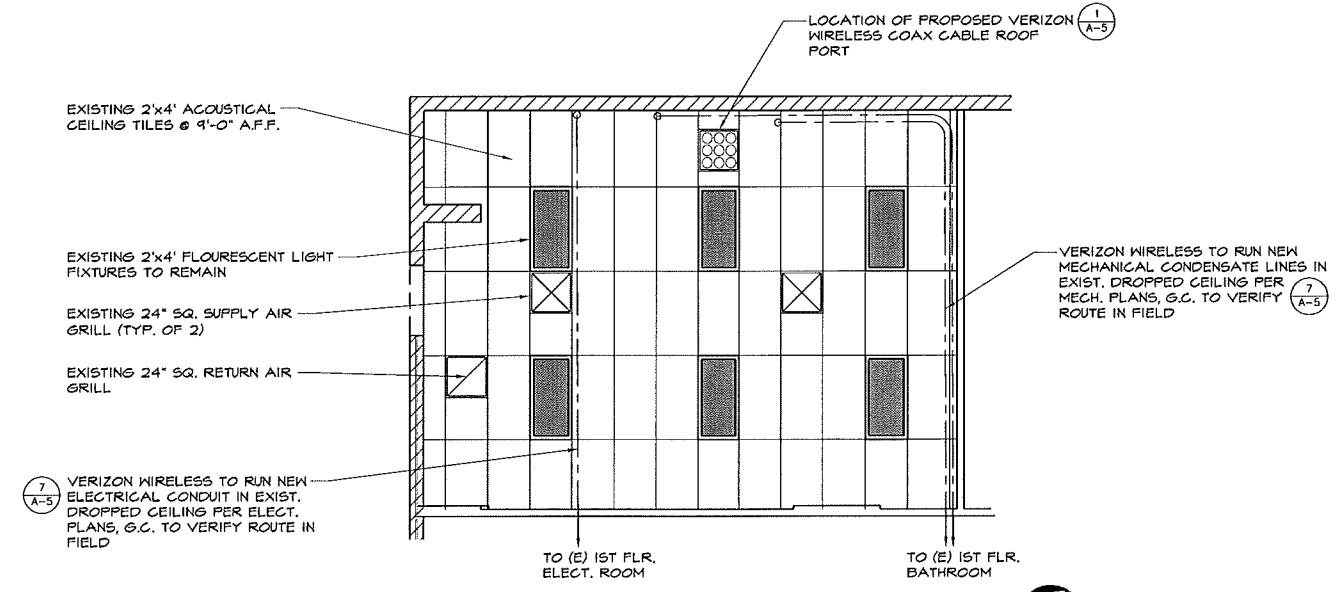
Dept.	Approved	Date
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 15505 Sand Canyon Ave.
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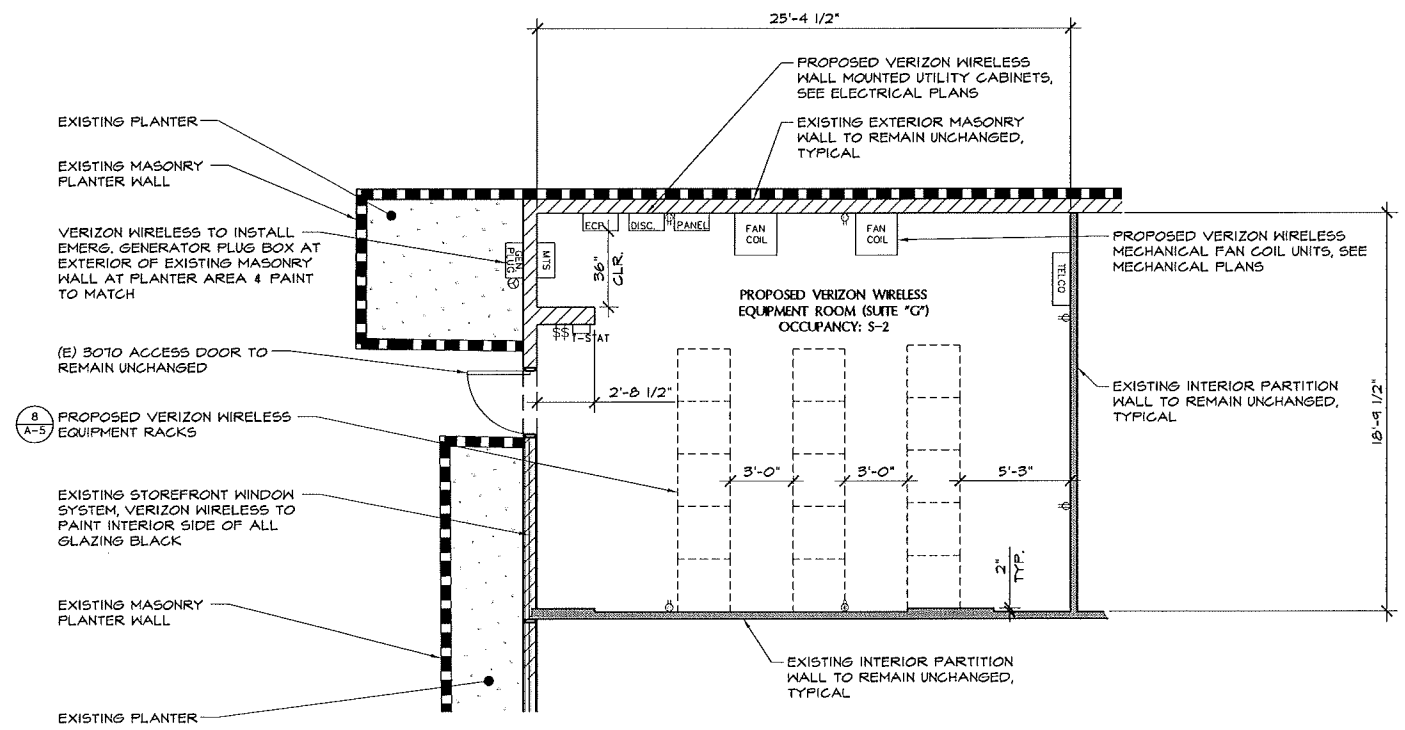
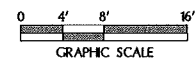
derra
 250 El Camino Real, Suite 216
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"NEWPORT BAY RELO"
 3355 VIA LIDO
 NEWPORT BEACH, CA 92663
 ROOF PLAN &
 ANTENNA SECTOR PLANS
 CONSTRUCTION DOCUMENT

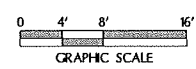
REVISIONS	DATE	DESCRIPTION
0	12/10/10	PRELIMINARY 2D REVIEW
0	12/23/10	PRELIMINARY CD REVIEW
1	1/20/11	PLANNING DEPT. P.C. REVS



**EQUIPMENT ROOM
REFLECTED CEILING PLAN**



**EQUIPMENT ROOM
FLOOR PLAN**



Dept.	Approved	Date
A&C		
RE		
RF		
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OPS		
EE/OUT		

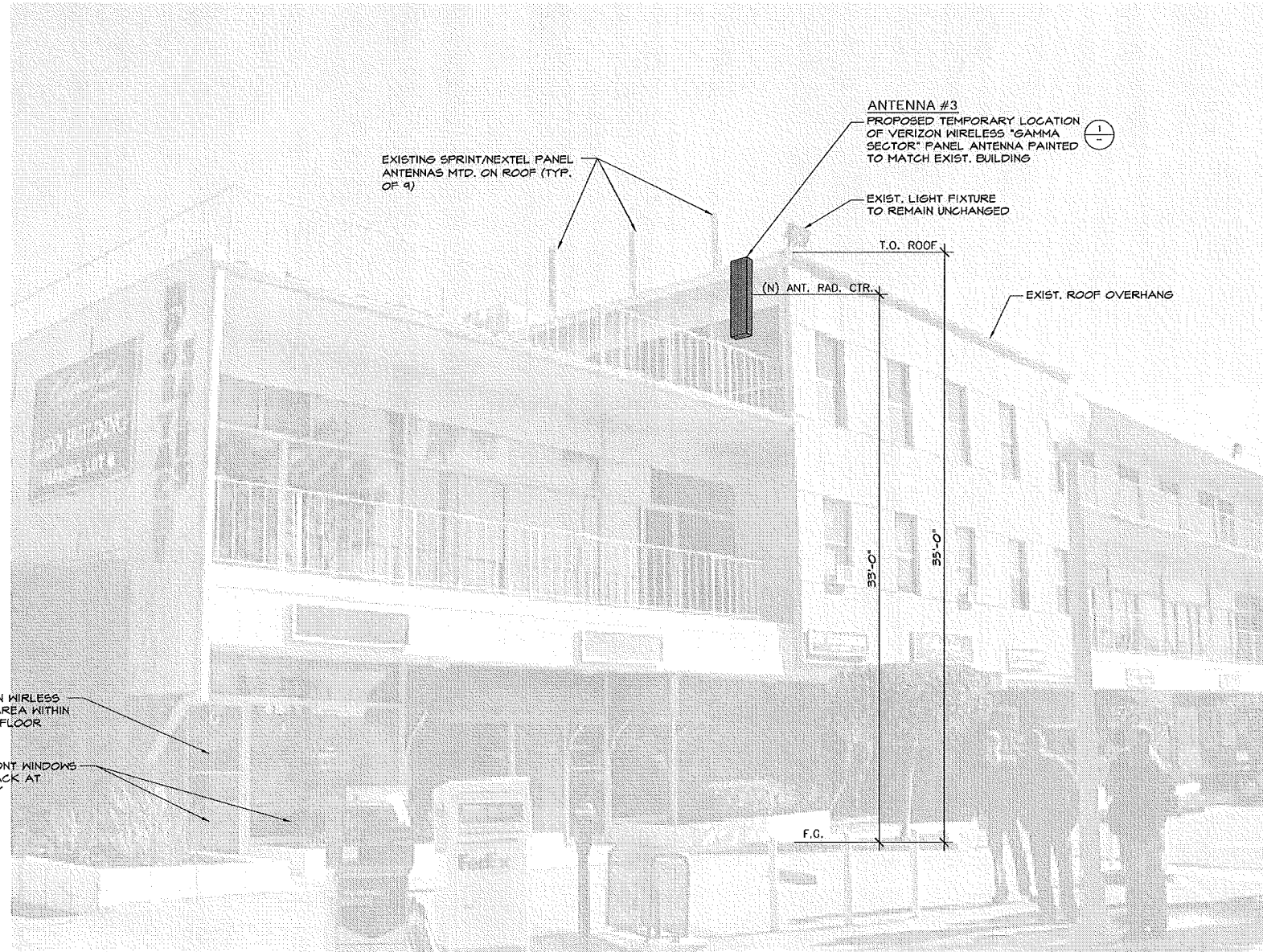
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"NEWPORT BAY RELO"
3355 VIA LIDO
NEWPORT BEACH, CA 92663
EQUIPMENT ROOM PLANS
CONSTRUCTION DOCUMENT

Revisions	DATE	BY	DESCRIPTION
0	12/10/10		PRELIMINARY 2D REVIEW
0	12/23/10		PRELIMINARY CD REVIEW
1	1/20/11		PLANNING DEPT. P.C. REVS

A-2.1

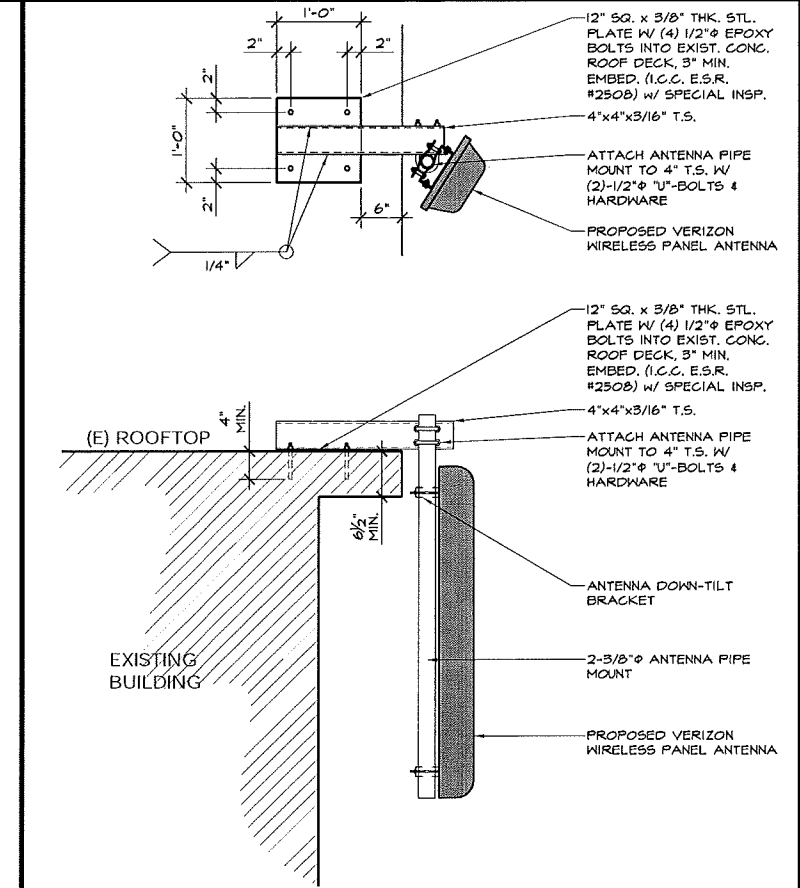


WEST ELEVATION

SCALE: 1/4"=1'-0"

ANTENNA ATTACHMENT

SCALE: 1" = 1'-0" 1



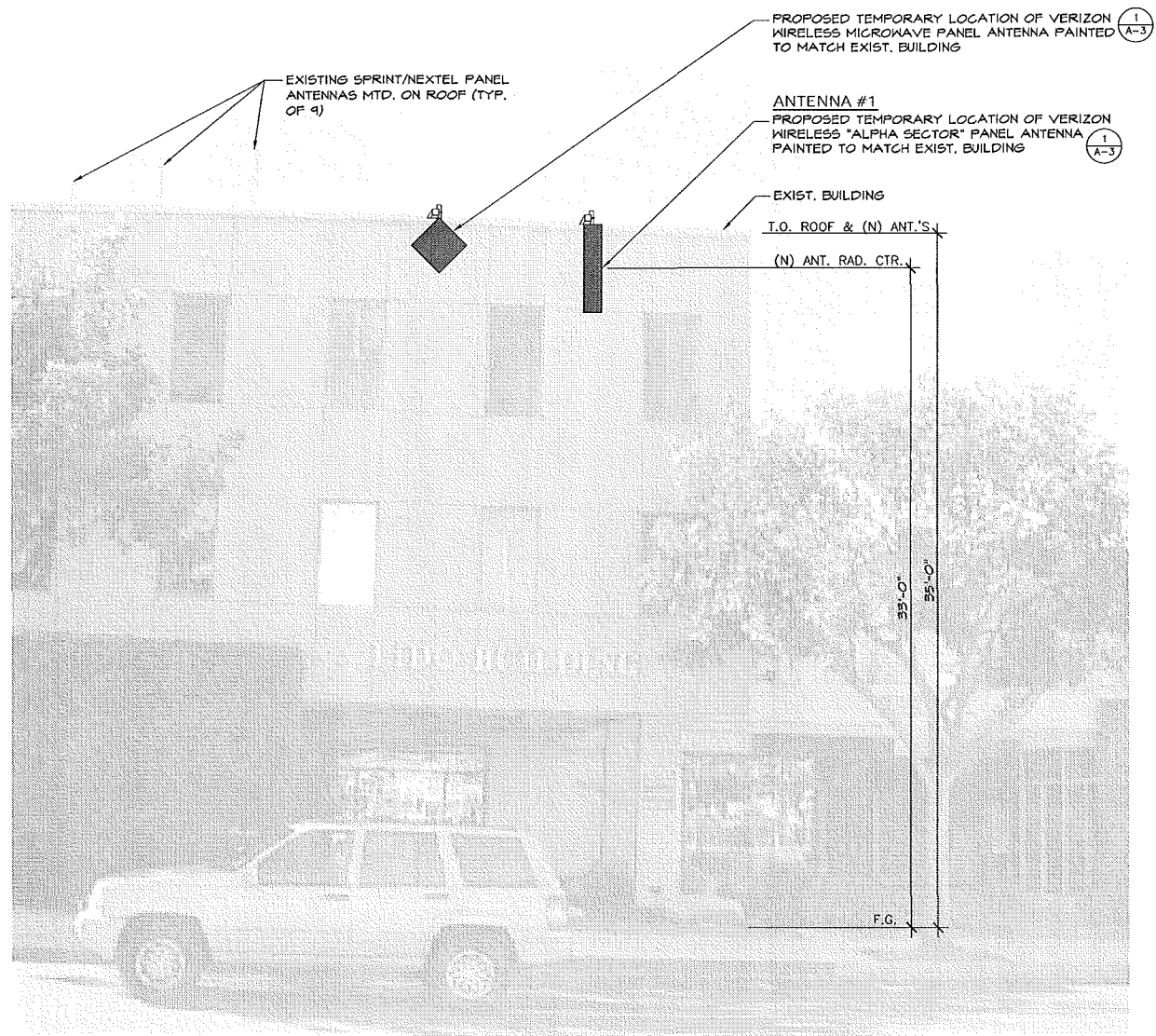
Dept.	Approved	Date
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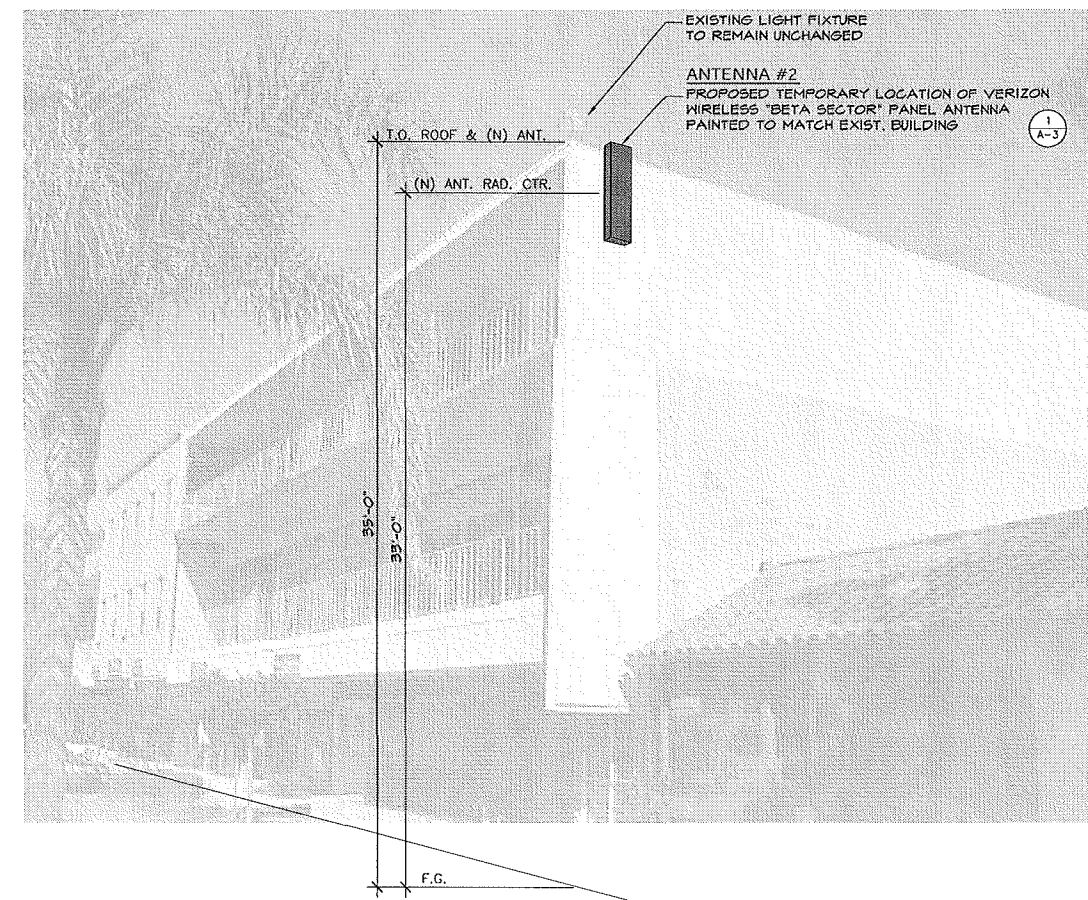
"NEWPORT BAY RELO"
 3355 VIA LIDO
 NEWPORT BEACH, CA 92663
 ELEVATIONS
 CONSTRUCTION DOCUMENT

REVISIONS			
0	12/10/10	PRELIMINARY 2D REVIEW	
0	12/23/10	PRELIMINARY 3D REVIEW	
1	1/20/11	PLANNING DEPT., P.C. REVS	



EAST ELEVATION

SCALE: 1/4"=1'-0"



SOUTH ELEVATION

SCALE: 1/4"=1'-0"

Dept.	Approved	Date
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RE		
RF		
INT		
EE		
OPS		
EE/OUT		

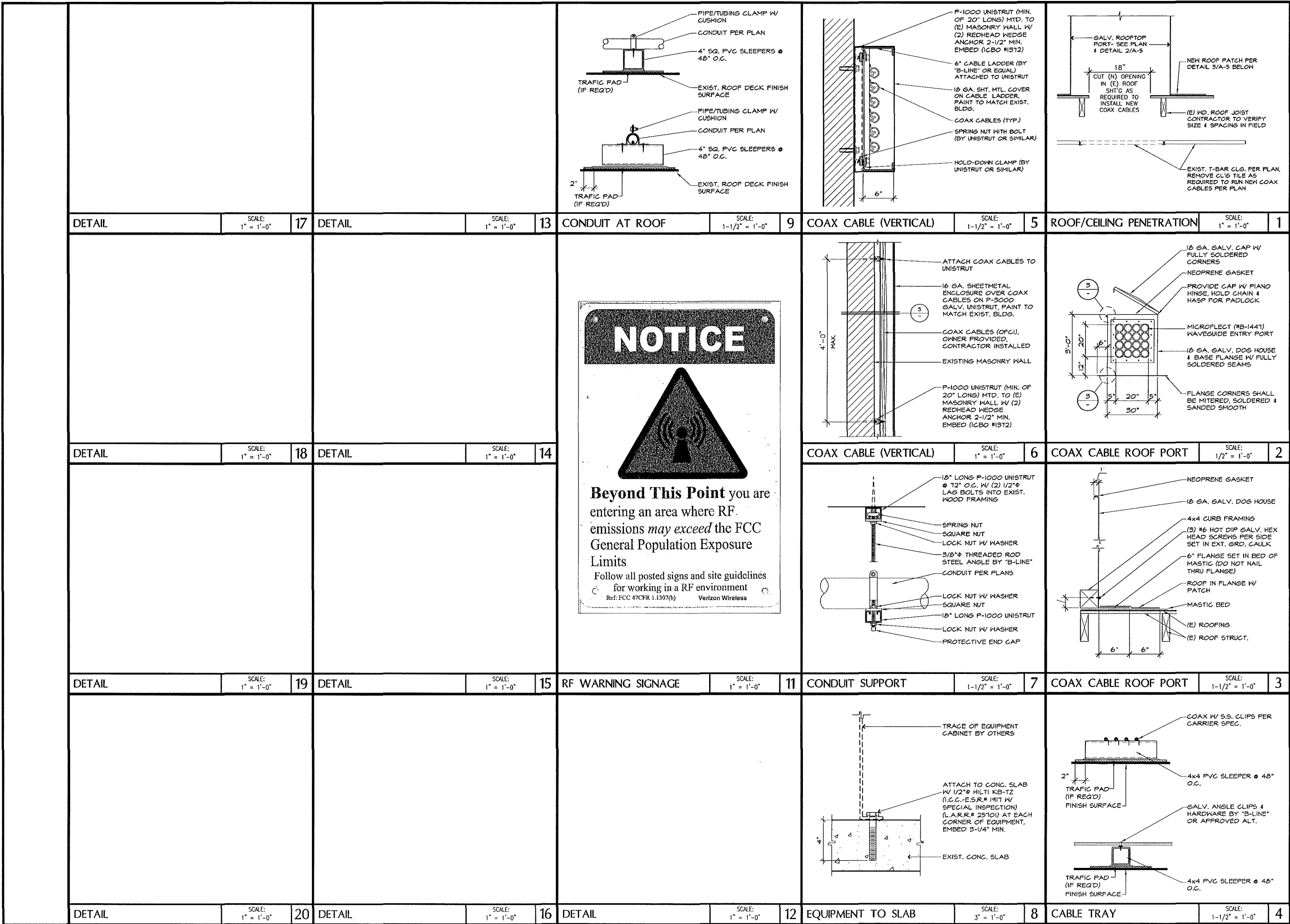
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"NEWPORT BAY RELO"
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 ELEVATIONS
 CONSTRUCTION DOCUMENT

REVISIONS	DATE	DESCRIPTION
0	12/10/10	PRELIMINARY 2D REVIEW
0	12/23/10	PRELIMINARY CD REVIEW
1	1/20/11	PLANNING DEPT. P.C. REVS

A-4



NOTICE

Beyond This Point you are entering an area where RF emissions may exceed the FCC General Population Exposure Limits

Follow all posted signs and site guidelines for working in a RF environment
 Ref: FCC 47CFR 1.1307(b) Verizon Wireless

Dept. Approved Date

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verizon wireless

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 Building "D", First Floor
 Irvine, CA. 92618
 (949) 286-7000

"NEWPORT BAY RELO"
 3355 VIA LIDO
 NEWPORT BEACH, CA 92663
 DETAILS
 CONSTRUCTION DOCUMENT

A-5

job No. 1001V

REVISIONS

NO.	DATE	DESCRIPTION
0	12/10/10	PRELIMINARY 2D REVIEW
0	12/23/10	PRELIMINARY CD REVIEW
1	1/20/11	PLANNING DEPT. P.C. REQS