

**CITY OF NEWPORT BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

FROM: James W. Campbell, Acting Planning Director

SUBJECT: Report of actions taken by the Zoning Administrator, Planning Director and/or Planning Department staff for the week ending February 11, 2011

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**ACTIONS TAKEN AT FEBRUARY 10, 2011 ZONING ADMINISTRATOR HEARING**

Item 1: Welden Residence – Modification No. MD2010-025 and Lot Merger No. LM2010-006 (PA2010-170)  
1104 & 1106 East Balboa Boulevard

This item was approved.

Council District 1

On behalf of James W. Campbell, Acting Planning Director:



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Patrick J. Alford, Planning Manager

APPEAL PERIOD: Modification Permit applications do not become effective until 14 days after the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code. Tentative Parcel Map, Condominium Conversion, Lot Merger, and Lot Line Adjustment applications do not become effective until 10 days following the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code.

*Email* Dana Smith, Assistant City Manager  
Leonie Mulvihill, Assistant City Attorney  
David Keely, Public Works Senior Civil Engineer  
Code Enforcement Division



## COMMUNITY DEVELOPMENT DEPARTMENT

### PLANNING DIVISION

3300 Newport Boulevard, Building C, Newport Beach, CA 92663

(949) 644-3200 Fax: (949) 644-3229

[www.newportbeachca.gov](http://www.newportbeachca.gov)

### **ZONING ADMINISTRATOR ACTION LETTER**

<b>Application No.</b>	<b>Modification Permit No. MD2010-025</b> <b>Lot Merger No. LM2010-006</b> <b>(PA2010-170)</b>
<b>Applicant</b>	<b>Daniel E. &amp; Kathy J. Welden</b>
<b>Site Address</b>	<b>1104 &amp; 1106 East Balboa Boulevard</b> <b>Welden Residence</b>
<b>Legal Description</b>	Parcel 2 of Parcel Map No. 2008-141, Lot 4 in Block 17, and Lot 4 in Block K, together with a portion of the East Bay Avenue abandoned right-of-way and a portion of the vacated 6-foot strip of Balboa Boulevard

On **February 10, 2011**, the Zoning Administrator approved the following: A lot merger to combine three existing lots, a portion vacated East Bay Avenue and a portion of the vacated 6-foot strip of East Balboa Boulevard into one single parcel which will result in a demolition of one of the two existing single-unit residential dwellings located at 1104 East Balboa Boulevard and waived the requirement for a parcel map application. A modification permit was also approved to allow a 5,181-square-foot addition to the remaining 3,230-square foot, two-story single-unit dwelling located at 1106 East Balboa Boulevard that will encroach into the required front, side and rear yard setbacks as follows:

- A. Infill side yard setback encroachment of 11 inches at the existing easterly-recessed covered entry to bring the recess in line with the rest of structure at both levels. At the lower level is a 25 square-foot infill addition and the upper level infill addition is 37 square feet.
- B. Rear yard setback encroachment of 3 feet 5 inches at the new upper level to allow a 13-foot wide addition. This 13-foot wide addition will recess 12 inches deep by 3 feet 8 inches wide at center for enhanced shadow effect and to accommodate the balcony and protective railing.
- C. Side yard setback encroachment of 11 inches at the northwest, southwest, and southeast corners and 23 inches at the northeast corner of the property to allow a 12 inch x 12 inch decorative appendage at each corner of the building.

The Zoning Administrator determined that the following modification requests are not applicable as they are permitted in accordance to Section 20.60.030 Extensions Into Yards:

- A. Front yard (bayside) setback encroachment of 6 inches at the new upper level to allow protective railing at balconies.
- B. Front yard (bayside) setback encroachment of 6 inches at the new upper level to allow new roof eave.

Located in the R-1 (Single-Unit Residential) District, the subject property is currently improved with two, detached single-unit residential dwellings on three separate parcels and two right-of-way abandonments. The addresses of the property are 1104 and 1106 East Balboa. The current lot configurations are subject to a 3-foot side yard setback and a 6-foot building setback and a 2-foot 6-inch garage setback at the rear, along the vacated East Balboa Boulevard. The required front yard setback is 0-feet, measured from the East Bay Avenue abandoned right-of-way. Since the applicant is requesting to merge the existing parcels into a single parcel, the width of the newly consolidated parcel is 70 feet. The required side yard setback, therefore, would be increased from 3 to 4 feet.

The one-story, single-unit residential structure located on 1106 East Balboa was originally constructed in the early 1950's with a 6-inch encroachment into the required 3-foot side yard setback on both sides. In 1987, a modification permit (MD No. 3326) was approved to allow a second-floor addition to encroach 6 inches onto both side yard setbacks.

The applicant requested approval to combine the existing parcels into one, demolish the single-unit residential dwelling located on 1104 East Balboa, and construct the proposed addition to the dwelling located on 1106 East Balboa. The proposed two-story addition consists of a two-garage, a covered pool area and breezeway, three bedrooms with individual attached bathrooms, and a bonus room with an attached bathroom.

The lot merger, modification, and approval-in-concept applications were submitted on November 18, 2010. As a result, these applications were considered and evaluated under the former (1997) Zoning Code.

The Zoning Administrator's approval is based on the following findings and subject to the following condition(s).

### **LOT MERGER**

In accordance with Section 19.68.030.H (Lot Mergers - Required Findings) of the City of Newport Beach Municipal Code, the following finding and facts in support of such finding are set forth:

#### Finding:

- A. *The proposed project is in conformance with the California Environmental Quality Act.*

Facts in Support of the Finding:

A-1 The proposed lot merger qualifies for an exemption from environmental review pursuant to Section 15315 (Class 15 Minor Land Divisions) of the Implementing Guidelines of the California Environmental Quality Act (CEQA). Class 5 consists of division of property in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels when the division is in conformance with the General Plan and zoning; no variances or exceptions are required except for the proposed building setback encroachments; all services and access to the proposed parcels to local standards are available; the parcel was not involved in a division of a larger parcel within the previous two years; and the parcel does not have an average slope greater than 20 percent. This exemption includes a minor lot merger not resulting in the creation of any new parcel and complies with the conditions specified above.

Finding:

*B. Approval of the merger will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City, and further that the proposed lot merger is consistent with the legislative intent of Title 19.*

Facts in Support of Finding:

B-1 The subject lots are currently developed with two single-unit residential dwellings. The merger of lots will reduce density by one unit. Per Section 19.04.035 of the Municipal Code (Development Across Property Lines), structures cannot be constructed across property lines. With the approval of the lot merger and the demolition of the existing single-family residence located at 1104 East Balboa Boulevard (Parcel 2 of Parcel Map No. 2008-141), the proposed addition can be constructed without crossing the interior property line between Parcel 2 of Parcel Map No. 2008-141 and Lot 4 of Block 17 (1106 East Balboa Boulevard).

B-2 The project is similar to the development of other single-family residential properties along the north side of East Balboa Boulevard which have merged smaller lots into larger development sites. These developments have not been detrimental to the health, safety, peace, comfort or general welfare of persons residing or working in the neighborhood or injurious to property and improvements in the neighborhood or the general welfare of the City.

Finding:

*C. The lots to be merged are under common fee ownership at the time of the merger.*

Facts in Support of Finding:

C-1 Parcel 2 of Parcel Map No. 2008-141, Lot 4 in Block 17, Lot 4 in Block K together with a portion of the East Bay Avenue abandoned right-of-way and a portion of the vacated 6-foot strip of Balboa Boulevard are under common ownership by Daniel E. and Kathy J. Welden as trustees of the VW Revocable Living Trust.

Finding:

*D. The lots as merged will be consistent or will be more closely compatible with the applicable zoning regulations and will be consistent with other regulations relating to the subject property including, but not limited to, the General Plan and any applicable Coastal Plan or Specific Plan.*

Facts in Support of Finding:

D-1 The lot merger will be consistent with the applicable R-1 regulations. The resulting parcel will be 8,360 square feet in area, exceeding the minimum lot area requirements of 5,000 square feet, and no setback nonconformities would be directly created by the proposed merger.

D-2 The Land Use Element of the General Plan designates the subject site is Single-Unit Residential Detached (RS-D), which is intended to provide primarily for single-unit residential dwellings on a single legal lot. The Coastal Land Use Plan designates this site as Single Unit Residential Detached (RSD-A) which provides for density ranges from 0.0-5.9 dwelling units per acre. The existing lots are developed with two single-family dwellings. The applicant proposes to demolish one of these units and construct an addition to the remaining single-family residence; therefore, is consistent with the intent of the General Plan and Coastal Land Use Plan designations.

Finding:

*E. Neither the lots as merged nor adjoining parcels will be deprived of legal access as a result of the merger.*

Facts in Support of Finding:

E-1 Neither the merged parcel nor the adjoining parcel will be deprived of legal access as a result of the merger as vehicular access to and from East Balboa Boulevard will remain unchanged.

Finding:

- F. *The lots as merged will be consistent with the surrounding pattern of development and will not create an excessively large lot that is not compatible with the surrounding development.*

Facts in Support of Finding:

- F-1 The development pattern of the Balboa Peninsula area consists of lots of variable widths and sizes. Although the resulting 8,360 sf lot would be larger than the lots along this specific block of Balboa Boulevard, it would not be excessively large when compared with other lots in the immediate vicinity.

In accordance with Section 19.08.030.A.3 (Waiver of Parcel Map Requirement) of the City of Newport Beach Municipal Code, the Zoning Administrator may approve a waiver of the parcel map requirement in cases where no more than three parcels are eliminated. The following finding and facts in support of such finding are set forth:

Finding:

- G. *That the proposed division of land complies with requirements as to area, improvement and design, flood water drainage control, appropriate improved public roads and property access, sanitary disposal facilities, water supply availability, environmental protection, and other applicable requirements of Title 19, the Zoning Code, the General Plan, and any applicable Coastal Plan or Specific Plan*

Facts in Support of Finding:

- G.1 The existing lots have existed as two separate building sites and were developed with two single-unit residential structures in the early 1910's and 1950's. The proposed division of land complies with requirements as to area, improvement and design, flood water drainage control, appropriate improved public roads, sanitary disposal facilities, water supply availability, environmental protection and other applicable requirements of Title 19 and Title 20 of the Newport Beach Municipal Code and the General Plan.
- G.2 Approval of the proposed lot merger would remove the existing lot lines, and allow the property to be used as a single-unit residential site. The lot merger in and of itself would not change the land use, density, and intensity. The proposed merged parcel would comply with all design standards and improvements required for new subdivisions by Title 19, the Zoning Code, and General Plan.
- G.3 The proposed lot merger does not result in the elimination of more than three parcels.

## MODIFICATION REQUEST

In accordance with Section 20.52.050.E (Required Findings) of the City of Newport Beach Municipal Code, the following finding and facts in support of such finding are set forth:

### Finding:

*H. The proposed project is in conformance with the California Environmental Quality Act.*

### Facts in Support of the Finding:

H.1 The proposed modification request qualifies for an exemption from environmental review pursuant to Section 15301 (Class 1 – Existing Facilities) of the Implementing Guidelines of the California Environmental Quality Act (CEQA). Class 1 provides for additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet; and the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and the area in which the project is located is not environmentally sensitive.

### Finding:

*I. The granting of the modification is necessary due to practical difficulties associated with the property and that the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code.*

### Facts in Support of Finding:

I.1 Although the Zoning Code allows encroachment into required setbacks with approval of a modification permit, the strict application of the Zoning Code would require that the existing structure be brought into conformance with the increased required easterly side yard setback prior to construction of the proposed addition. Redesigning or relocating the existing single-unit dwelling would result in a practical difficulty since the costs involved would be disproportionate to the costs of constructing the proposed addition.

I.2 Per approval of Modification Permit No. 3326, the existing single-unit dwelling was permitted to encroach into the required side yard setbacks of the original lot; and it was legally constructed in its present location.

Finding:

- J. *The requested modification will be compatible with existing development in the neighborhood.*

Facts in Support of Finding:

- J.1 The existing and proposed addition will be compatible in height and massing similar to several nearby residences that are larger in size. The applicants are proposing to construct a two-car garage and two-story residential addition, totaling 5,181 square feet. The resulting structure would be similar in character and size to developments located in the neighboring area. The elevation of the structure will maintain the coastal Mediterranean context and will be consistent in texture, accents, colors, and material, including barrel roof tiles, accent shutters, wrought iron, and smooth plaster.
- J.2 The location of the proposed two-car garage and second floor variation step-back would provide articulation of the exterior walls facing East Balboa Boulevard and are not over-imposing massing. The architectural elements of the proposed addition are encouraged by and would comply with the Residential Design Criteria.

Finding:

- K. *The granting of the modification would not be detrimental to public health, safety, or welfare to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.*

Facts in Support of Finding:

- K-1 The proposed encroachments are minor in nature and would not detrimental to the occupants of the property, nearby properties, and the neighborhood. The proposed 11-inch easterly infill of abandoned entry access will be better served as an interior element where it can be used and enjoyed. The southerly encroachment is being proposed to help undulate the upper façade and tie the textured stone continuously to the lower level with protective railing at the balcony wall recess. The northerly 6-inch balcony and protective railing encroachments will serve the purpose of articulation, texture and shadow for visual interest and character to the bayside elevation. The northerly eave encroachment is being proposed to match the roof elements to the new westerly addition. The 12-inch by 12-inch decorative appendage at each corner of the building will encroach 11 inches into the required setback at the northwest, southwest, and southeast and 23 inches at the northeast to add design accents on the building walls. The property would remain a single-family residence consistent with the Zoning District and neighboring properties.



Finding:

- L. *The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.*

Facts in Support of Finding:

- L-1 The granting of the modification is necessary due to the unique use of the property in that the property owners have elected to retain approximately 80 to 90 percent of the existing structure located at 1106 East Balboa Blvd., in an effort to limit the environmental impact (construction waste, pollution, noise, etc) that complete demolition would have otherwise created. This effort is thereby necessitating the design to work around the save elements of massing and general roof line profiles.
- L.2 The shallow depth of the lot causes by the setback restriction along the East Bay Avenue abandoned right-of-way has limited the development of subject property. As a result, the building placement and design are being forced forward toward the front of the property.

Finding:

- M. *There are no alternatives to the Modification Permit, that could provide similar benefits to the applicant with less potential detriment to surrounding owners and occupants, the neighborhood, or the general public.*

Facts in Support of Finding:

- M-1 There are not alternatives to the Modification Permit without significantly impacting the existing structures. The alternative would be more extensive if not complete demolition. The results would create a more detrimental impact on the property owners/occupants (displacement), environment (construction waste, pollution, and noise), and neighborhood (construction and noise impacts).

**CONDITIONS**

1. The development shall be in substantial conformance with the approved plot plan, floor plans and elevations, except as noted in the following conditions.
2. Anything not specifically approved by this Modification Permit is prohibited and must be addressed in a separate and subsequent Modification Permit review.
3. A building permit shall be obtained prior to commencement of the construction.
4. A copy of this approval letter shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.

5. This approval shall expire unless exercised within 24 months from the approval date, as specified in Section 20.54.060 of the Newport Beach Municipal Code. Prior to the expiration date of this approval, an extension may be approved in accordance with Section 20.54.060.B of the Newport Beach Municipal Code. Requests for an extension must be in writing.
6. Infill side yard setback encroachment at the existing easterly-recessed covered entry to bring the recess in line with the rest of structure at both levels shall be 11 inches. The infill addition at the lower level shall be 25 square feet and the upper level infill addition shall be 37 square feet.
7. Rear yard setback encroachment shall be 3 feet 5 inches maximum at the new upper level to allow a 13-foot wide addition. This 13-foot wide addition shall recess at a maximum of 12 inches deep by 3 feet 8 inches wide at center for enhanced shadow effect and to accommodate the balcony and protective railing.
8. Side yard setback encroachment shall be 11 inches maximum at the northwest, southwest, and southeast corners and 23 inches maximum at the northeast corner of the property to allow a 12 inch x 12 inch decorative appendage at each corner of the building.
9. All applicable Public Works Department plan check fees shall be paid prior to review of the lot merger and grant deeds.
10. Prior to recordation of the lot merger, grant deeds indicating the changes in titles of ownership should be submitted to the Public Works Department for review and approval.
11. The lot merger and grant deeds reviewed and approved by the Public Works Department should be filed concurrently with the County Recorder and County Assessor's Offices.
12. The street light pole shall be protected in-place.
13. Reconstruct the easterly-most driveway approach along East Balboa Boulevard so that it aligns with the outside edge of the garage openings. The driveway approach shall be reconstructed per City standard.
14. The driveway approach located on the westerly side of the property that straddles the property line with 1100 East Balboa Boulevard shall be abandoned. Driveway approaches are not permitted to straddle property lines.
15. All unused water services shall be capped at the main. All unused sewer laterals shall be capped at the property line.

16. The applicant shall install red curb on the remaining portion of the full height curb between the proposed driveway approaches.
17. Per the direction of the Municipal Operations Department (MOD) General Services Division, the applicant shall remove the existing ficus tree at the owner's expense.
18. The applicant shall install a minimum 15-foot brown trunk Queen Palm (*Syagrus romanzoffianum*) adjacent to the new westerly driveway approach. Exact location and tree shall be approved by MOD General Services Division prior to installation.
19. No building permits may be issued until the appeal period has expired, unless otherwise approved by the Planning Division.
20. Prior to recordation of the lot merger, the existing single-unit residential dwelling located at 1104 East Balboa Boulevard shall be demolished.
21. The proposed addition shall comply with the California Residential Building Code.
22. *To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Lot Merger No. LM2010-006 and Modification Permit No. MD2010-025. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.*

**APPEAL PERIOD:** Modification Permit applications do not become effective until 14 days after the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code. Tentative Parcel Map, Condominium Conversion, Lot Merger, and Lot Line Adjustment applications do not become effective until 10 days following the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

By:   
Gregg Ramirez, Zoning Administrator

GR/RU

Attachments: Vicinity Map  
Lot Merger Application  
Plans

# VICINITY MAP



Modification Permit No. MD2010-025 &  
Lot Merger No. LM2010-006  
PA2010-170

**1104 & 1106 East Balboa Boulevard**

**CITY OF NEWPORT BEACH PLANNING DEPARTMENT**  
**LOT LINE ADJUSTMENT/LOT MERGER INFORMATION SHEET**

**Fees:**

Lot Line Adjustment/Lot Merger Application:  
 Public Works Plan Check Fee:  
 Approval in Concept (if in coastal zone):

PA2010-170 for MD2010-025 LM2010-006  
 1106 East Balboa Boulevard  
 Hal Woods & Ruben Munoz

**COPY**

**Submittal Requirements Checklist:**

- 1. Signed and Notarized Application with Owner's Affidavit
- 2. Exhibit A – Legal Descriptions
- 3. Exhibit B – Lot Line Adjustment Map
- 4. Exhibit C – Site Plan (including lots to be merged, property lines of adjoining parcels, and structures on and adjacent to lots to be merged)
- 5. Four (4) additional sets (photocopied) of the above listed original items (1 thru 4)
- 6. Copies of the Grant Deed and \*Preliminary Title Report for each parcel  
 \*Preliminary Title Report more than six months old will not be accepted
- 7. Property Owners' Labels and Assessor's Parcel Maps depicting a 300-foot radius around the subject property must be accompanied by the Preparer's Statement
- 8. Lot Line Adjustment/Lot Merger Application Fee

PROJECT ADDRESS(ES): 1106 E. Balboa Blvd. & 1104 E. Balboa Blvd.

ZONE: RS-D PRESENT USE: Single Family Residential

**PROJECT DESCRIPTION/PURPOSE** (Please select all that apply)

(Attach additional sheet if necessary)

- Residential                       New Units                       Lot Consolidation  
 Commercial                       Existing Units                       Other: Periodic

**OWNER/APPLICANT (Print):**

Name: Daniel E. Welden  
 Mailing Address: 1106 E. Balboa Blvd.  
Newport Beach, CA. 92661  
 Phone: (714) 446-9606 Cell ( )  
 Fax: ( )  
 Email: ( )

**CONTACT PERSON (if different):**

Name: Tom King  
 Mailing Address: SAME  
 Phone: ( ) Cell ( )  
 Fax: ( )  
 Email: ( )

**ENGINEER (Print):**

Name: Thomas A King  
 Mailing Address: 101 S. Kraemer Blvd.  
Suite 232, Placentia, CA. 92870  
 Phone: (714) 996-7010 Cell (714) 504-1907  
 Fax: (714) 996-0322  
 Email: ( ) kingcivil@earthlink.net  
King Civil Engineering Corp.

**SURVEYOR (Print):**

Name: Thomas A King  
 Mailing Address: SAME  
 Phone: ( ) Cell ( )  
 Fax: ( )  
 Email: ( )

# EXHIBIT "A"

## CITY OF NEWPORT BEACH

### LOT MERGER NO. LM 2010-000

### LEGAL DESCRIPTION

OWNER	EXISTING PARCEL AP NUMBER	PROPOSED PARCELS REFERENCE NUMBERS
DANIEL E. WELDEN & KATHY J. WELDEN	048-151-60	PCL 1
AS TRUSTEES OF THE VW REVOCABLE LIVING TRUST	048-151-46	
	048-151-47	

Being that certain parcel of land situated in the City of Newport Beach, County of Orange, State of California described as follows:

**PARCEL A:**

Parcel 2 of Parcel Map No. 2008-141, recorded in Book 368, Pages 15 and 16 of Parcel Maps in the office of the County Recorder of Orange County, California.

**PARCEL B:**

Lot 4 in Block 17 of the East Side Addition to the Balboa Tract, in the City of Newport Beach, County of Orange, State of California, as shown on a map recorded in Book 4, Page 20 of Miscellaneous Maps, in the office of the County Recorder of said county, together with the northeasterly 6.00 feet of Balboa Boulevard (formerly Central Avenue, 70 feet wide) adjoining said Lot 4 on the southwest, as abandoned by Resolution No. 5037, recorded June 20, 1959 in Book 4780, Page 77 of Official Records of said Orange County, bounded southeasterly by the southwesterly prolongation of the southeasterly line of said Lot 4 and bounded northwesterly by the southwesterly prolongation of the northwesterly line of said Lot 4.

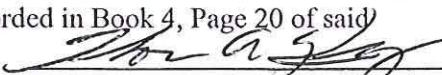
**PARCEL C:**

Lot 4 in Block K of the Bay Front Section of the Balboa Tract, as shown on a map recorded in Book 6, Page 15 of Miscellaneous Maps, records of Orange County, California.

Excepting therefrom any portion lying below the mean high tide of the Pacific Ocean in Newport Bay. Also excepting therefrom that portion thereof lying northerly of the United States Government Bulkhead Line between Stations 109 and 112 as shown on the "Map of Newport Bay, California, showing harbor lines", approved January 18, 1917 by Wm. Ingraham, Assistant Secretary of War.

**PARCEL D:**

That portion of Bay Avenue adjoining Block K of the Bay Front Section to the Balboa Tract, as shown on a map recorded in Book 6, Page 15 of Miscellaneous Maps, records of Orange County, California, and Block 17 in East Side Addition to the Balboa Tract, as shown on a map recorded in Book 4, Page 20 of said


11/23/10  
 THOMAS A. KING R.C.E. NO. 16916      DATE



**EXHIBIT "A"**  
**CITY OF NEWPORT BEACH**  
**LOT MERGER NO. LM 2010-000**  
**LEGAL DESCRIPTION**

OWNER	EXISTING PARCEL AP NUMBER	PROPOSED PARCELS REFERENCE NUMBERS
DANIEL E. WELDEN & KATHY J. WELDEN AS TRUSTEES OF THE VW REVOCABLE LIVING TRUST	048-151-60	PCL 1
	048-151-46	
	048-151-47	

Miscellaneous Maps, bounded southeasterly by the southwesterly prolongation of the southeasterly line of Lot 4 in said Block K and bounded northwesterly by the southwesterly prolongation of the northwesterly line of said Lot 4.

Excepting therefrom any portion of said land which lies below the line of the Mean High Tide of the Pacific Ocean in Newport Bay.

Also excepting therefrom any portion lying northerly of the United States Bulkhead Line, as reserved by C.W. Redman and Florence N. Redman, husband and wife, indeed recorded in Book 1049, Page 195 of Official Records.

**PARCEL E:**

That portion of the northeasterly 6 feet of Balboa Boulevard bounded on the northwest by the southwesterly prolongation of the northwest line of Lot 4 of Parcel A, above described and bounded on the southeast by the southwesterly prolongation of the southeast line of Lot 4 of Parcel A, above described, as abandoned by Resolution No. 5037 of the City Council of the City of Newport Beach, a copy of which was recorded June 30, 1959 in Book 4780, Page 77 of Official Records, County of Orange.

Said land more particularly described as follows:

Beginning at the most westerly corner of said Parcel 2; thence North 26°47'56" East along the westerly line of said Parcel 2, a distance of 121.01 feet to said United States Bulkhead Line; thence South 69°07'43" East along said United States Bulkhead Line, a distance of 70.36 feet to the easterly line of said Lot 4 in Block K; thence South 26°47'21" West along the easterly line of said Lot 4 in Block K, and the easterly line of said Bay Avenue, vacated per City of Newport Beach resolution 4687, recorded in Book 4025, Page 185 of Official Records and the easterly line of said Lot 4 in Block 17, a distance of 128.17 feet to the northerly right-of-way line of East Balboa Boulevard, (formerly Central Avenue), said northerly right-of-way line being 29.00 feet northerly of the centerline of said Balboa Boulevard; thence North 63°17'08" West along said northerly right-of-way line, a distance of 70.01 feet, terminating at the point of beginning.

Said parcel, as described, contains 0.200 acres, more or less.



# EXHIBIT "B"

## CITY OF NEWPORT BEACH

### LOT MERGER NO. LM 2010-000

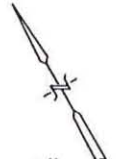
#### MAP

OWNER	EXISTING PARCEL AP NUMBER	PROPOSED PARCELS REFERENCE NUMBERS
DANIEL E. WELDEN & KATHY J. WELDEN	048-151-60	PCL 1
AS TRUSTEES OF THE VW REVOCABLE LIVING TRUST	048-151-46	
	048-151-47	

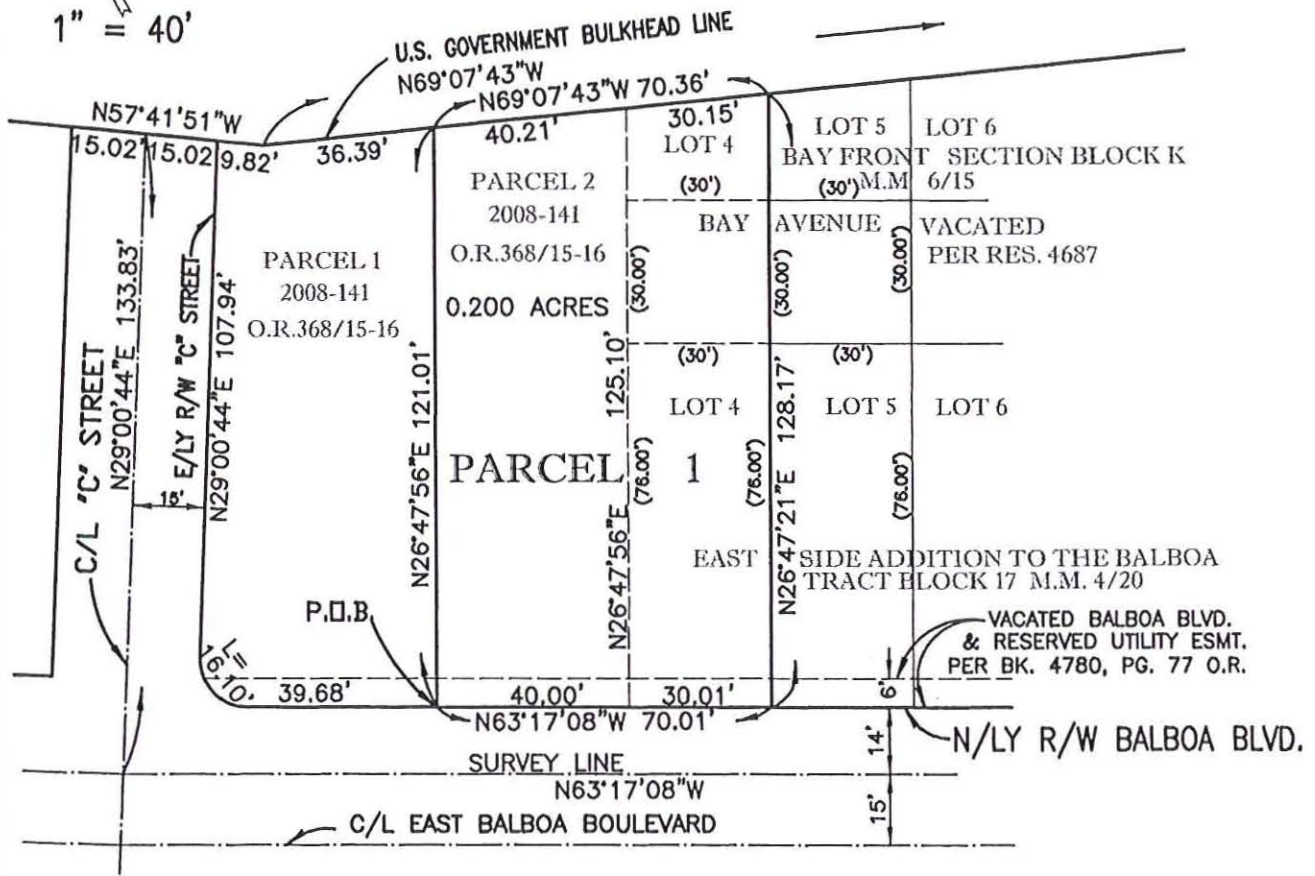
#### LEGEND

EXISTING LOT LINE TO REMAIN \_\_\_\_\_  
 EXISTING LOT LINE TO BE REMOVED - - - - -

*Thomas A. King*  
11/23/10



1" = 40'





RECORDING

Requested by:  
AND  
Mail to:  
City of Newport Beach  
Public Works Dept  
Attn: Subdivision  
3300 Newport Boulevard  
Newport Beach, CA 92663

CITY OF NEWPORT BEACH



LOT LINE ADJUSTMENT/LOT MERGER  
APPLICATION

ADDRESS (ES) OF PROPERTY INVOLVED: 1106 E. Rubbow Blvd and  
1104 E. Rubbow Blvd

OWNER'S AFFIDAVIT

I (We) hereby certify under penalty of perjury that 1) I am (we are) the record owner(s) of all parcels proposed for adjustment by this application, 2) I (We) have knowledge of and consent to the filing of this application, 3) the information submitted in connection with this application is true and correct; and 4) I (We) consent to the recordation of these documents.

RECORD OWNERS:		11/15/10
Parcel <u>1</u>		
NAME: <u>The VW Renewable Living Trust Dated Dec. 15, 1995</u>		
<u>[Signature]</u> Signature of parcel owner	<u>Kalleg J. Walden</u> Trustee	<u>[Signature]</u> Signature of parcel owner
Parcel <u>2</u>		
NAME: <u>The VW Renewable Living Trust Dated Dec. 15, 1995</u>		
<u>[Signature]</u> Signature of parcel owner	<u>Kalleg J. Walden</u> Trustee	<u>[Signature]</u> Signature of parcel owner
Parcel _____		
NAME: _____		
_____ Signature of parcel owner	_____	_____ Signature of parcel owner
Parcel _____		
NAME: _____		
_____ Signature of parcel owner	_____	_____ Signature of parcel owner

NOTE: Each of these signatures must be notarized, and the appropriate Certificate of Acknowledgement attached by a Notary Public.

Approved for Recording CITY OF NEWPORT BEACH

City Surveyor: \_\_\_\_\_ Date: \_\_\_\_\_

ACKNOWLEDGMENT

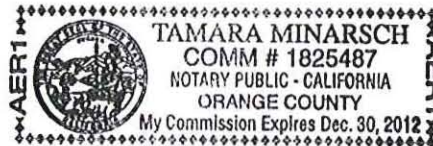
State of California  
County of Orange

On November 15, 2010 before me, Tamara Minarsch  
(insert name and title of the officer)

personally appeared Daniel E. Welden and Kathy J. Welden  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in  
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing  
paragraph is true and correct.

WITNESS my hand and official seal.



Signature Tamara Minarsch (Seal)

November 15, 2010

City of Newport Beach

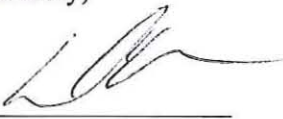
To whom it may concern:

Re: 1106 E. Balboa Blvd.  
1104 E. Balboa Blvd.

The VW Revocable Living Trust dated December 15, 1995 do hereby authorize King Civil Engineering Corp. and its agents to act on our behalf including signing applications for the purpose of Lot Merger, submittals of plans and documents for all permits required for design and construction with Building Department/ Planning Department/Public Works Department.

Thank you in advance,

Sincerely,



---

Daniel E. Welden  
Trustee, VW Revocable Living Trust dated Dec. 15, 1995



---

Daniel E. Welden  
Personally



Conceptual Rendering only

1106 E. Balboa Blvd.

29'



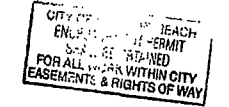


NOTICE

ISSUANCE OF THESE PLANS DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE... THE CITY OF NEWPORT BEACH...

CITY OF NEWPORT BEACH
APPROVAL OF THESE PLANS DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE...

REVISIONS
DATE BY
1/16/98 JPC



OWNER: NEWPORT BEACH PROPERTIES, LLC
3000 NORTH LAKE AVE., SUITE 1010
PASADENA, CA 91101
(714) 615-0951

PA2010-170 for MD2010-025
1106 East Balboa Boulevard
Hal Woods & Ruben Munoz

A CUSTOM RESIDENCE AT

1106 E. BALBOA BLVD.

NEWPORT BEACH, CA 92663

(EXISTING)

TITLE/DATA SHEET

REVISION 9 03 JULY '98

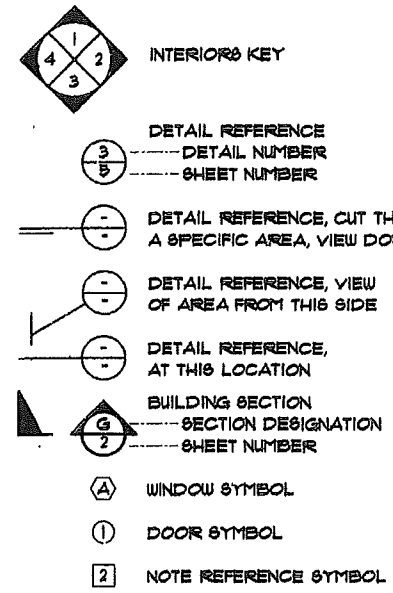
1106 E. BALBOA II

ABBREVIATIONS

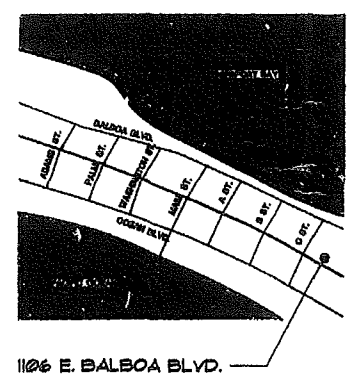
Table of abbreviations for architectural symbols, including terms like ANCHOR BOLT, AREA DRAIN, AREA GRADE, etc.

SYMBOLS

NOTE: FOR DRAWINGS WITH SYMBOLS NOT SHOWN HERE, REFER TO LEGEND ON SAME SHEET.



VICINITY MAP



NOTES:

CONSTRUCTION TYPE: 5-NR
OCCUPANCY GROUP: R3/II

PROJECT DATA

- ZONE R-2
STREET SETBACK TO GARAGE 2'-6"
STREET SETBACK TO LIVING SPACE 6'-0"
SIDE YARD SETBACK 3'-0"
BAYFRONT SETBACK 0
HEIGHT LIMIT 24' MID / 28' MAX
LOT AREA 2280 SF
PROPOSED BUILDING FOOTPRINT 1699 SF
PROPOSED FIRST FLOOR 1254 SF
PROPOSED SECOND FLOOR 1531 SF
PROPOSED TOTAL CONDITIONED AREA 2783 SF
GARAGE FLOOR AREA 445 SF
ALLOWABLE SF. (1,164 SF. 1ST / 1680 SF. 2ND) 3,444 SF.
PROPOSED GROSS SF. 3230 SF.

PROJECT DIRECTORY

- INTERIOR DESIGNER: DESIGN SOURCE INTERIORS
STRUCTURAL ENGINEER: ESI/RYE INC.
T-24 CONSULTANT: HAYNAL & CO.
SOILS ENGINEER: STRATA-TECH, INC.

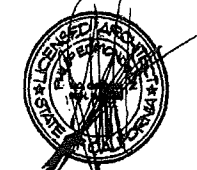
LIST OF DRAWINGS

- 1. TITLE/DATA SHEET
2. SITE, GRADING, & DRAINAGE PLAN
3. SITE SURVEY
4. SPECIFICATIONS
5. FOUNDATION PLAN
6. FIRST FLOOR PLAN
7. SECOND FLOOR PLAN
8. ROOF PLAN
9. FIRST & SECOND FLOOR REFLECTED CEILING PLANS
10. SECOND FLOOR FRAMING PLAN
11. ROOF FRAMING PLAN
12. FIRST & SECOND FLOOR UTILITY PLANS
13. EXTERIOR ELEVATIONS
14. EXTERIOR ELEVATIONS
15. BUILDING SECTIONS
16. SCHEDULES
17. TITLE-24 DATA
18. ICBO REPORTS
19. FOUNDATION DETAILS
20. STRUCTURAL DETAILS
21. STRUCTURAL DETAILS
22. STRUCTURAL DETAILS
23. STRUCTURAL DETAILS

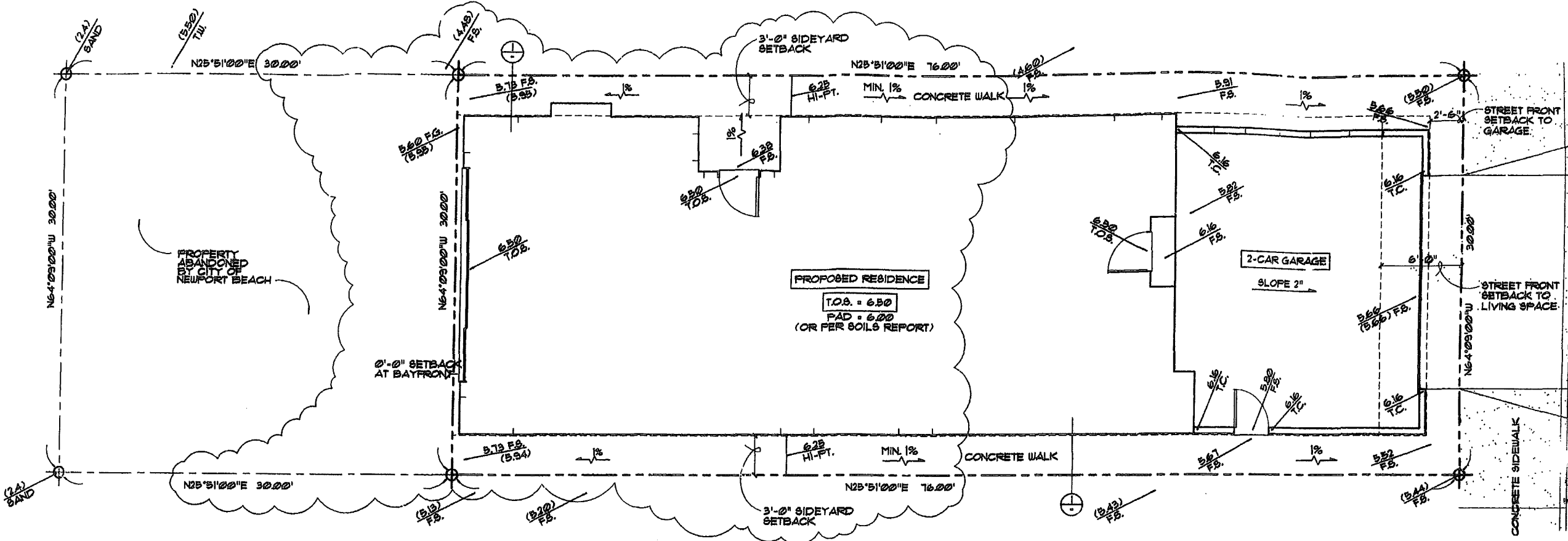
REVIEWED BY CONSULTANT FOR CODE COMPLIANCE

THESE PLANS AND SPECIFICATIONS REPRESENT THE DESIGNER'S BEST EFFORT TO SHOW COMPLIANCE WITH THE STATE AND LOCAL REGULATIONS...





NEIL E. BALBO  
 LICENSE NO. 10000  
 CIVIL ENGINEER  
 STATE OF CALIFORNIA



APPROVAL OF THESE PLANS DOES NOT CONSTITUTE AN ENDORSEMENT OF THE PROJECT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ENGINEER ASSUMES NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS, WHETHER OR NOT SUCH DAMAGE IS CAUSED BY NEGLIGENCE OR OTHERWISE. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE RECORDS OF THE CITY OF NEWPORT BEACH.

REVISION 9 JULY '98

### SITE, GRADING, & DRAINAGE PLAN

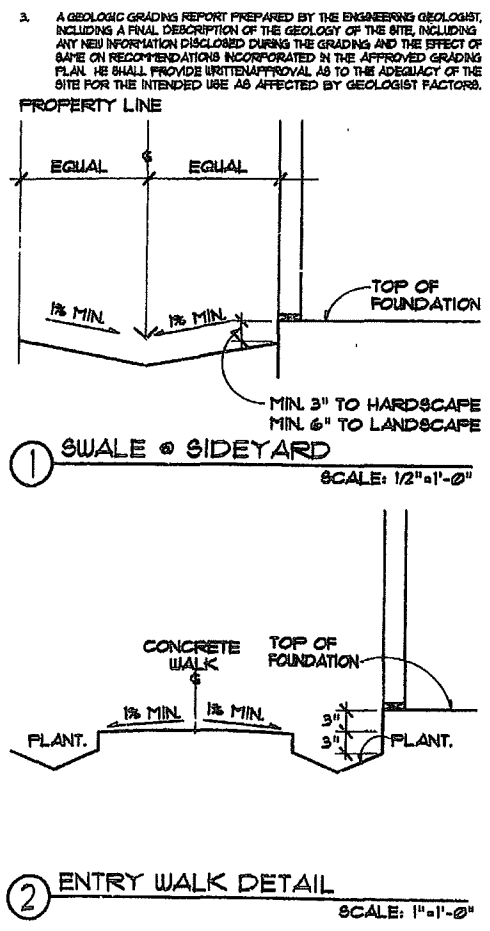
LEGAL DESCRIPTION: LOT 4, BAY AVE. VACATED, 6' OF CENTRAL AVE. VACATED LOCATED IN BLOCK 11, EAST SIDE ADD.

#### GENERAL GRADING SPECIFICATIONS

- ALL WORK SHALL CONFORM TO CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (NEMC), THE PROJECT SOILS REPORT AND SPECIAL REQUIREMENTS OF THE PERMIT.
  - DUST SHALL BE CONTROLLED BY WATERING AND/OR DUST FALLIATIVE.
  - SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE DURING THE CONSTRUCTION PERIOD.
  - WORK HOURS ARE LIMITED FROM 7:00 AM TO 6:30 PM MONDAY THROUGH FRIDAY, 8:00 AM TO 6:00 PM SATURDAYS, AND NO WORK ON SUNDAYS AND HOLIDAYS PER SECTION 10-28 OF THE NEMC.
  - NOISE, EXCAVATION, DELIVERY AND REMOVAL SHALL BE CONTROLLED PER SECTION 10-28 OF THE NEMC.
  - THE STAMPED SET OF APPROVED PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
  - PERMITTEE AND CONTRACTOR ARE RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES.
  - APPROVED DRAINAGE PROVISIONS AND PROTECTIVE MEASURES MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING OPERATIONS.
  - CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE AND APPROVED BY THE BUILDING OFFICIAL.
  - HAIL ROUTES FOR IMPORT OR EXPORT OF MATERIALS SHALL BE APPROVED BY THE CITY TRAFFIC ENGINEER AND PROCEDURES SHALL CONFORM WITH CHAPTER 15 OF THE NEMC.
  - POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM ALL BUILDING AND SLOPE AREAS.
  - FAILURE TO REPAIR INSPECTIONS AND/OR HAVE REMOVABLE INSPECTION CONTROL DEVICES ON-SITE AT THE APPROPRIATE TIMES SHALL RESULT IN FORFEITURE OF THE CONSTRUCTION SITE CLEANUP DEPOSIT.
  - ALL PLASTIC DRAINAGE PIPE SHALL CONSIST OF PVC OR ABS PLASTIC EITHER ASTM 2181, ASTM D2621, ASTM D2624 OR ASTM D1089.
  - NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUES SHALL BE ALLOWED TO ENTER STREETS, CURBS, GUTTERS OR STORM DRAINS. ALL MATERIAL AND WASTE SHALL BE REMOVED FROM THE SITE. NEMC 11.32.020
- #### EROSION CONTROL
- TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO MAY 15.
  - EROSION CONTROL DEVICES SHALL BE AVAILABLE ON SITE BETWEEN OCTOBER 15 AND MAY 15.
  - BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 50 PERCENT. DURING THE REMINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT.

- LANDSCAPING PLANS SHALL BE SUBMITTED FOR APPROVAL, WORK COMPLETED AND A CERTIFICATE OF CONFORMANCE RECEIVED BY THE CITY GRADING ENGINEER PRIOR TO CLOSURE OF PERMIT, UNLESS WAIVED BY THE CITY GRADING ENGINEER.
  - TEMPORARY DESILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.
- #### REQUIRED INSPECTIONS
- A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY GRADING ENGINEER OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.
  - A PRE-PAVING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF PAVING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, PAVING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, CITY GRADING ENGINEER OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.
- #### GRADING FILLS/CUTS
- GRADED SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
  - FILL SLOPES SHALL BE COMPACTED TO NO LESS THAN 90 PERCENT RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.
  - ALL FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION AS DETERMINED BY ASTM TEST METHOD D1557, AND APPROVED BY THE SOILS ENGINEER. COMPACTION TESTS SHALL BE PERFORMED APPROXIMATELY EVERY TWO FEET IN VERTICAL HEIGHT AND OF SUFFICIENT QUANTITY TO ATTEST TO THE OVERALL COMPACTION EFFORT APPLIED TO THE FILL AREAS.
  - AREAS TO RECEIVE FILL SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS SCARIFIED AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING OF THE FILL.
  - FILLS SHALL BE KEYED OR BENCHED INTO COMPETENT MATERIAL.
  - ALL EXISTING FILLS SHALL BE APPROVED BY THE SOILS ENGINEER OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE ADDED.
- #### DOCUMENTATION
- ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND BACKFILLED AND APPROVED BY THE SOILS ENGINEER.
  - THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND DETERMINE THE PRESENCE OF, OR POSSIBILITY OF FUTURE ACCUMULATION OF, SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, DRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
  - THE EXACT LOCATION OF SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE AND GRADE.

- ALL TRENCH BACKFILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION, AND APPROVED BY THE SOILS ENGINEER. THE BUILDING DEPT. MAY REQUIRE CORING OF CONCRETE PLAT WORK PLACED OVER UNTESTED BACKFILLS TO FACILITATE TESTING.
- THE STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE CITY GRADING ENGINEER.
- LANDSCAPING OF ALL SLOPES AND PADS SHALL BE IN ACCORDANCE WITH CHAPTER 15 OF THE NEMC.
- ALL CUTS SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND AND SUPERVISE NECESSARY TREATMENT TO THE CITY GRADING ENGINEER FOR APPROVAL.
- WHERE SUPPORT OR BUTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL OBTAIN APPROVAL OF DESIGN LOCATION AND CALCULATIONS FROM THE CITY GRADING ENGINEER PRIOR TO CONSTRUCTION.
- THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL INSPECT AND TEST THE CONSTRUCTION OF ALL BUTTRESS FILLS AND ATTEST TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- WHEN CUTS PADS ARE BROUGHT TO NEAR GRADE THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BED ROCK IS EXTENSIVELY FRACTURED OR FAILED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
- THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS DURING GRADING.
- NOTIFICATION OF NONCOMPLIANCE: IF IN THE COURSE OF FULFILLING THEIR RESPONSIBILITY, THE CIVIL ENGINEER, THE SOILS ENGINEER, THE ENGINEERING GEOLOGIST OR THE TESTING AGENCY FINDS THAT THE WORK IS NOT BEING DONE IN CONFORMANCE WITH THE APPROVED GRADING PLANS, THE DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE PERSON IN CHARGE OF THE GRADING WORK AND TO THE CITY GRADING ENGINEER. RECOMMENDATIONS FOR CORRECTIVE MEASURES, IF NECESSARY, SHALL BE SUBMITTED TO THE CITY GRADING ENGINEER FOR APPROVAL.



CUT = 0 / FILL = 0



SCALE: 1/4" = 1'-0"

#### SYMBOLS LEGEND

(TL)0	EXISTING SPOT ELEVATION
TL10	PROPOSED SPOT ELEVATION
T.O.S.	TOP OF SLAB
TW	TOP OF WALL
TF	TOP OF FOOTING
FF	FINISH FLOOR
FG	FINISH GRADE
FS	FINISH SURFACE
INL	INLET ELEVATION
INV	INVERT ELEVATION
---	4" Ø SCHED 40 ABS DRAINLINE
⊙	6" Ø FLUSH DRAIN INLET
○	6" Ø DOME TOP ABS DRAIN INLET
→	FL. LINE ARROW
FL	FLOW LINE
HI-PT	HIGH POINT

- #### NOTES:
- SLOPE CRITERIA FOR PAVED SURFACES SHALL BE 1% MINIMUM, (1/8"/FT.)
  - SLOPE CRITERIA FOR UNPAVED SURFACES SHALL BE 2% MINIMUM, (1/4"/FT.)
  - MINIMUM SLOPE AWAY FROM BUILDING PAD SHALL BE 2% FOR FIRST 5'-0", 1% THEREAFTER.
  - MINIMUM SLOPE FOR SUBSURFACE DRAINLINES SHALL BE 1/2%.
  - SUBSURFACE DRAINLINES SHALL HAVE MINIMUM 6" COVERAGE UNO.
  - CARE SHALL BE TAKEN TO AVOID ANY AND ALL ROOTS OF EXIST. TREES TO REMAIN.
  - POOLS, SPAS, WALLS, FENCE, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.

REVIEWED BY CONSULTANT FOR LOCAL COMPLIANCE

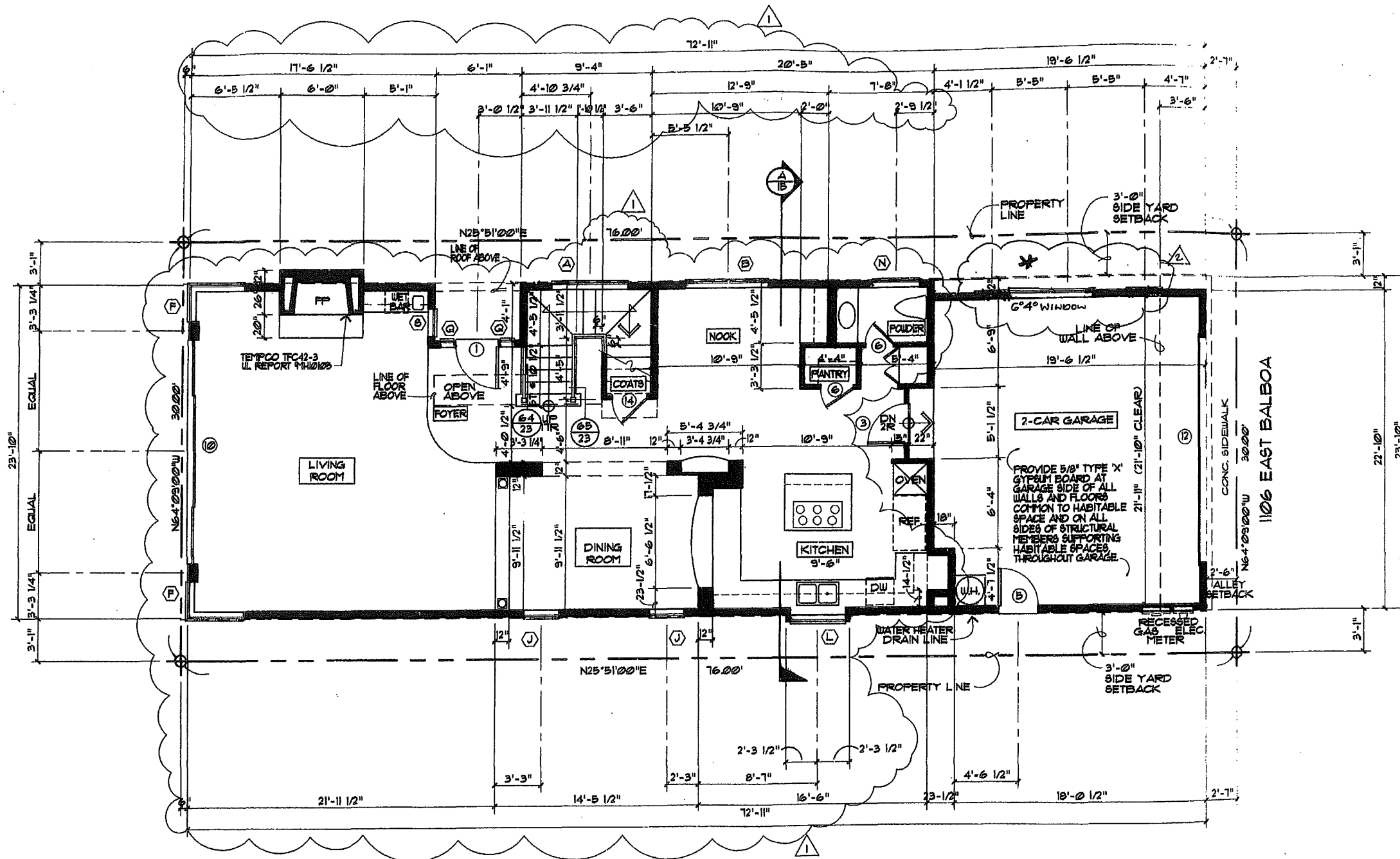
THESE PLANS AND SPECIFICATIONS CONSTITUTE THE ENTIRE AGREEMENT BETWEEN THE ENGINEER AND THE USER. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE RECORDS OF THE CITY OF NEWPORT BEACH.

1106 E. BALBOA

REVISION 9 JULY '98

20 JULY '98





FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

MISC. NOTES

- ALL EXTERIOR WALLS SHALL BE 2x6 STUDS @ 16" O.C. ALL FLUMING WALLS SHALL BE 2x6 WALLS @ 16" O.C. ALL OTHER WALLS SHALL BE 2x4 STUDS @ 16" O.C., UNO.
- WATER HEATER TO BE STRAPPED AT THE 1/3 OF HEIGHT W/ 1-1/2"x1/2" GAUGE STRAP W/ 3/8" DIA x 3" LAG BOLTS EACH SIDE.
- KEEP THREE FEET CLEAR FROM FACE OF ELECTRICAL PANEL TO ANY WALL SURFACE OR OBSTRUCTION.
- PROVIDE 5/8" TYPE 'X' TO WALLS AND CEILING FOR ENCLOSED USABLE SPACE UNDER STAIRWAY.

REVIEWED BY CONSULTANT FOR CODE COMPLIANCE

THESE PLANS AND SPECIFICATIONS REPRESENT THE DESIGN OF THE ARCHITECT AND HAVE BEEN PREPARED AND CHECKED BY THE ARCHITECT IN ACCORDANCE WITH THE STATE BUILDING CODE AS AMENDED BY THE BUILDING DEPARTMENT OF THE CITY OF NEWPORT BEACH, CALIFORNIA. THE ARCHITECT HAS NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS OR FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.



1106 E. BALBOA II

REVISION 1 03 JULY '98  
 20 JULY '98  
 REVISION #2 19 FEB '97

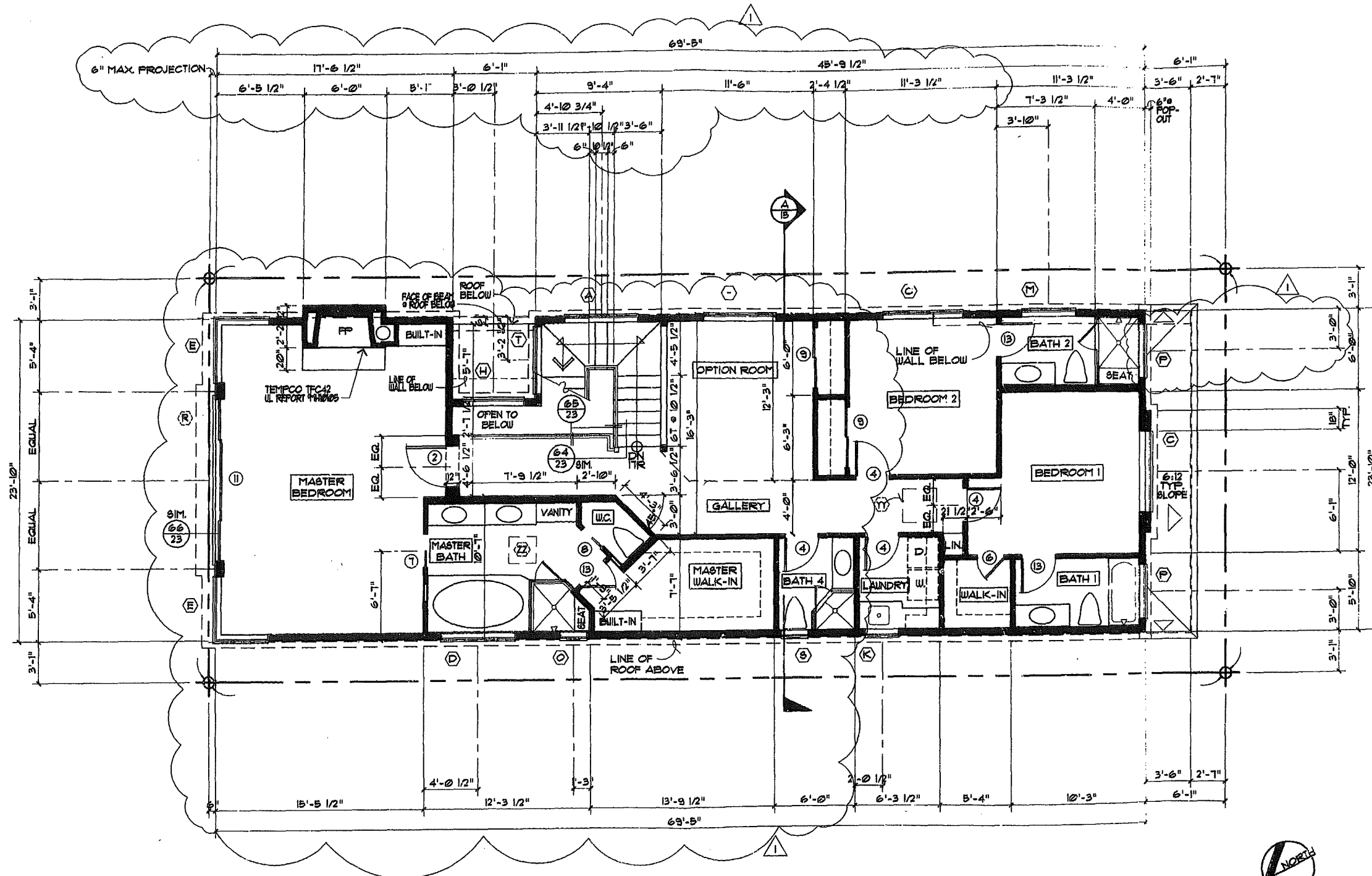


29 of 46

BUILDING DEPARTMENT  
 CITY OF NEWPORT BEACH  
 APPROVAL OF THESE PLANS FOR CONSTRUCTION TO BE MADE BY THE CITY ENGINEER. THESE PLANS HAVE BEEN REVIEWED BY THE CITY ENGINEER AND APPROVED FOR CONSTRUCTION. THE CITY ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLANS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS OR FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

QUINCY NEWPORT BEACH PROPERTIES, LLC  
 2420 NORTH LAKE AVE., SUITE 100  
 PASADENA, CA 91101  
 (714) 615-0531

FIRST FLOOR PLAN



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

MISC. NOTES

- ALL PLUMBING WALLS SHALL BE 2x6 STUDS @ 16" O.C. ALL EXTERIOR WALLS SHALL BE 2x6 STUDS @ 16" O.C. ALL OTHER WALLS SHALL BE 2x4 STUDS @ 16" O.C., UNO.

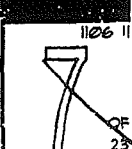
REVIEWED FOR CONSTRUCTION

THESE PLANS AND SPECIFICATIONS HAVE BEEN REPRODUCED AND ALL RIGHTS RESERVED. NO PART OF THESE PLANS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

1106 E. BALBOA II

REVISION #1 03 JULY 98

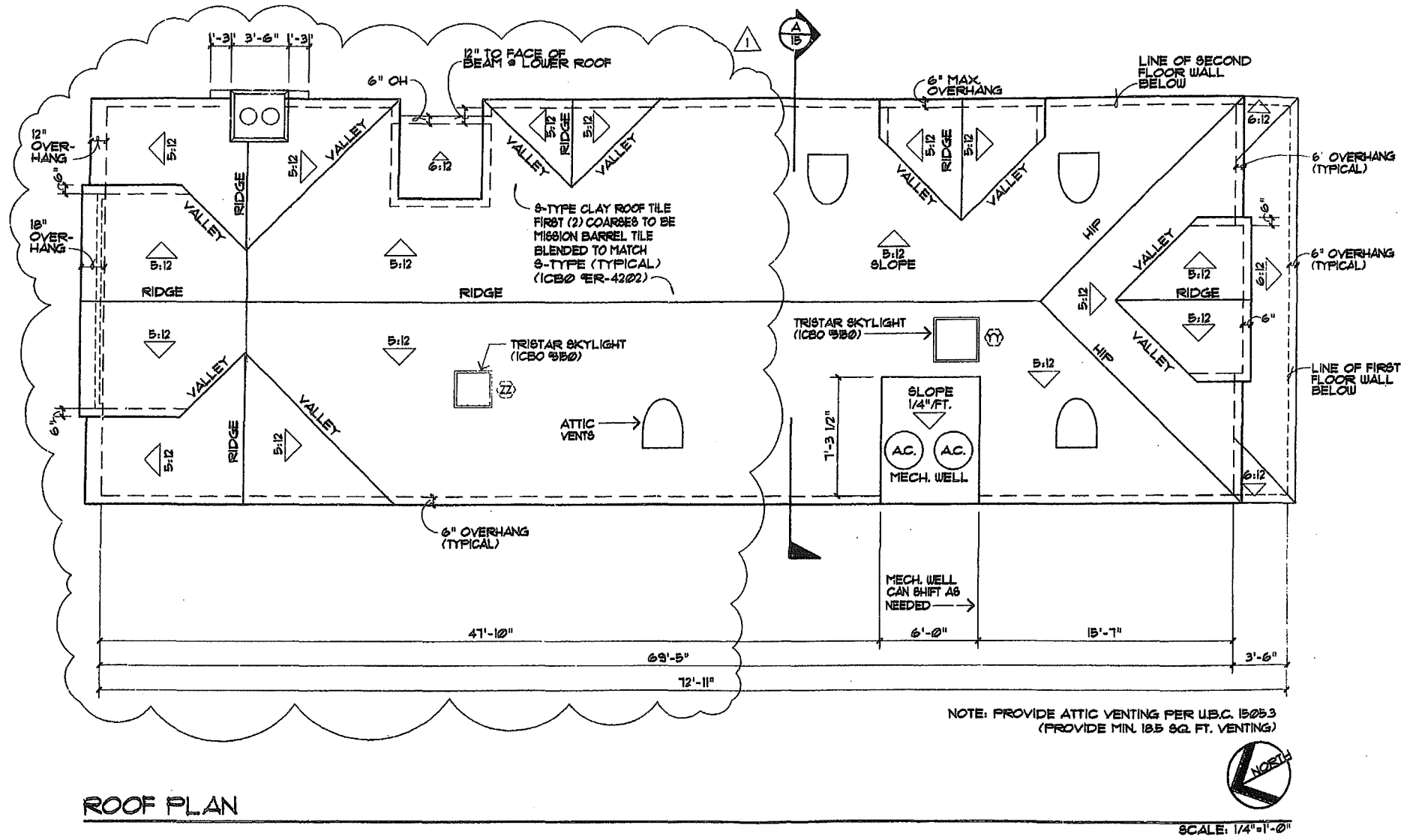
20 JULY 98



SECOND FLOOR PLAN

OWNER: NEWPORT BEACH PROPERTIES, LLC  
 300 NORTH LAKE AVE. SUITE 1010  
 PASADENA, CA 91101  
 (714) 615-0551





ROOF PLAN

SCALE: 1/4" = 1'-0"



BUILDING CITY OF NEWPORT BEACH  
 ENGINEER: NEWPORT BEACH PROPERTIES, LLC  
 3002 NORTH LAKE AVE., SUITE 1010  
 FARMADENA, CA 91101  
 (714) 675-0591

DATE:	07/23/98
BY:	NEWPORT BEACH PROPERTIES, LLC
CHECKED:	
APPROVED:	
REVISION:	
NO.:	
DATE:	

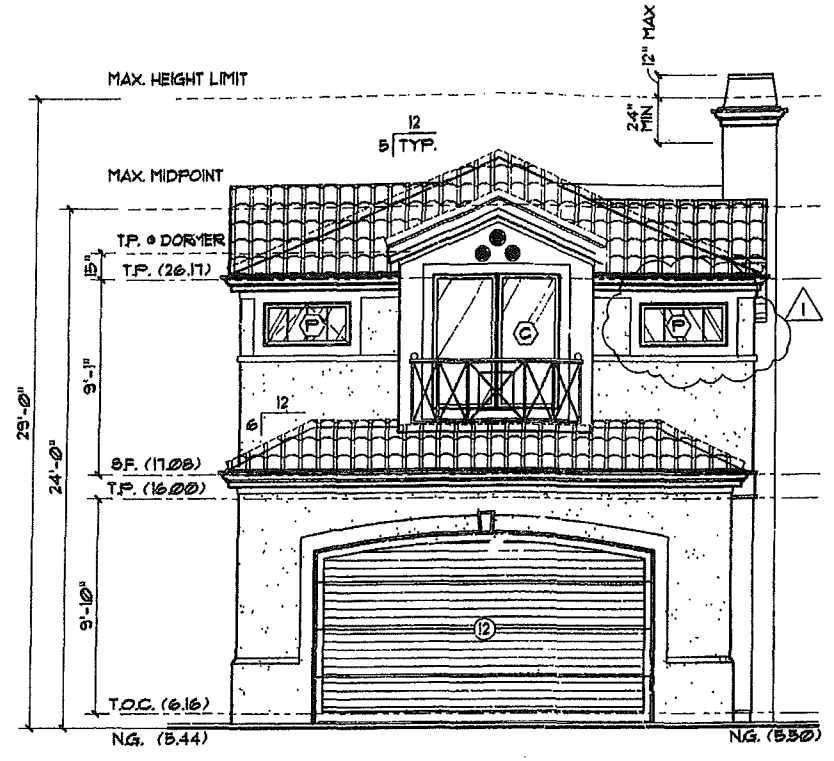
ROOF PLAN

1106 E. BALBOA II

REVISION 9 23 JULY '98  
 03 JULY '98

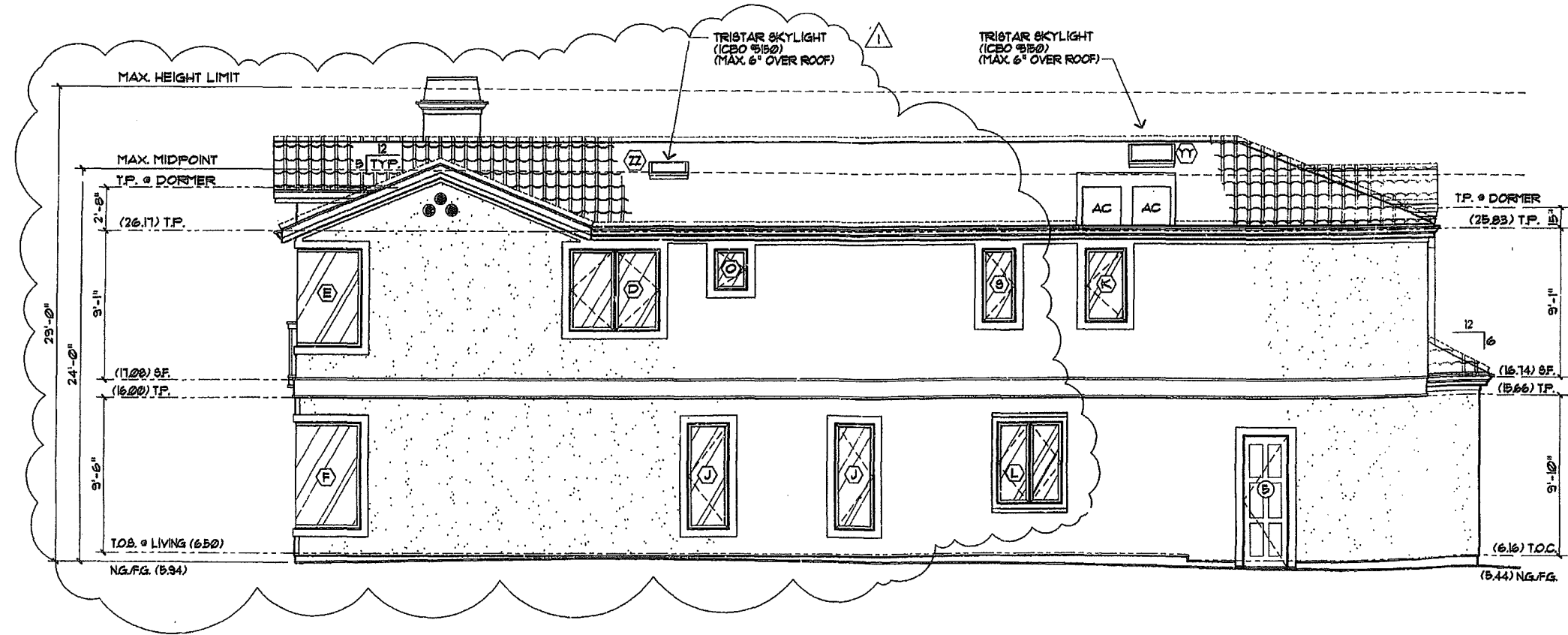


REVIEWED BY: [Signature]  
 FOR UCLC E.  
 THESE PLANS AND SPECIFICATIONS HAVE BEEN REVIEWED AND APPROVED BY THE ARCHITECT AND ENGINEER AND THE CITY OF NEWPORT BEACH. THESE PLANS ARE APPROVED BY THE CITY OF NEWPORT BEACH FOR CONSTRUCTION UNDER THE APPLICABLE ORDINANCES.



NORTH ELEVATION

SCALE: 1/4"=1'-0"



EAST ELEVATION

SCALE: 1/4"=1'-0"



OWNER: NEWPORT BEACH PROPERTIES, LLC  
 2020 NORTH LAKE AVE., SUITE 1010  
 PASADENA, CA 91101  
 (714) 675-0591

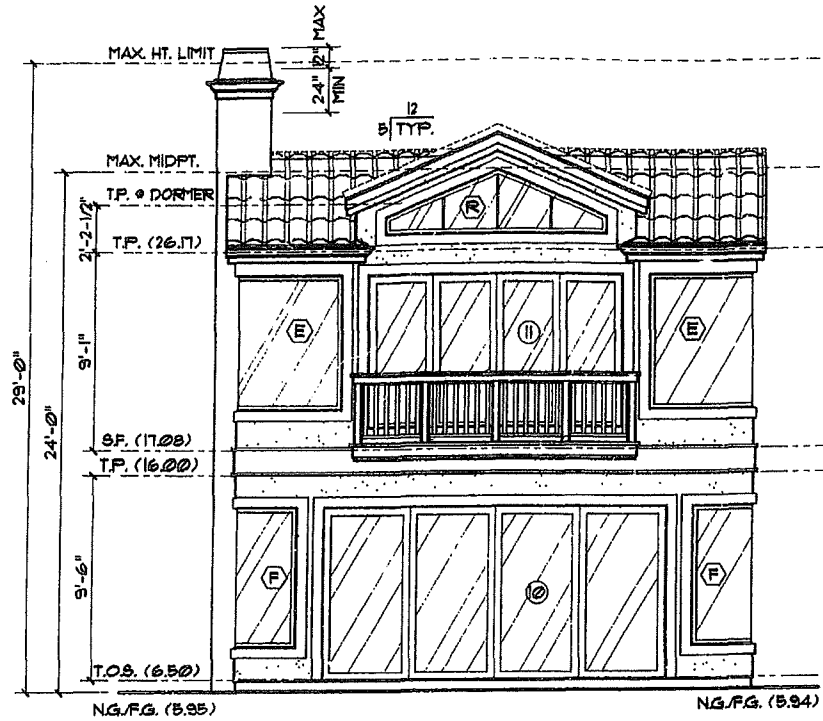
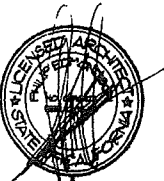
APPROVAL:	
DATE:	
BY:	
FOR:	
REVISION:	
NO.	
DATE	
BY	
FOR	
REVISION	
NO.	
DATE	
BY	
FOR	

1106 E. BALBOA II  
 REVISION 03 JULY '98  
 EXTERIOR ELEVATIONS  
 03 JULY '98

REVISIONS BY  
 FOR CODE  
 THESE PLANS AND SPECIFICATIONS AND ALL  
 PARTS THEREOF SHALL BE IN ACCORDANCE WITH  
 THE LATEST EDITIONS OF THE CALIFORNIA  
 BUILDING CODES AND ALL APPLICABLE ORDINANCES  
 AND REGULATIONS.

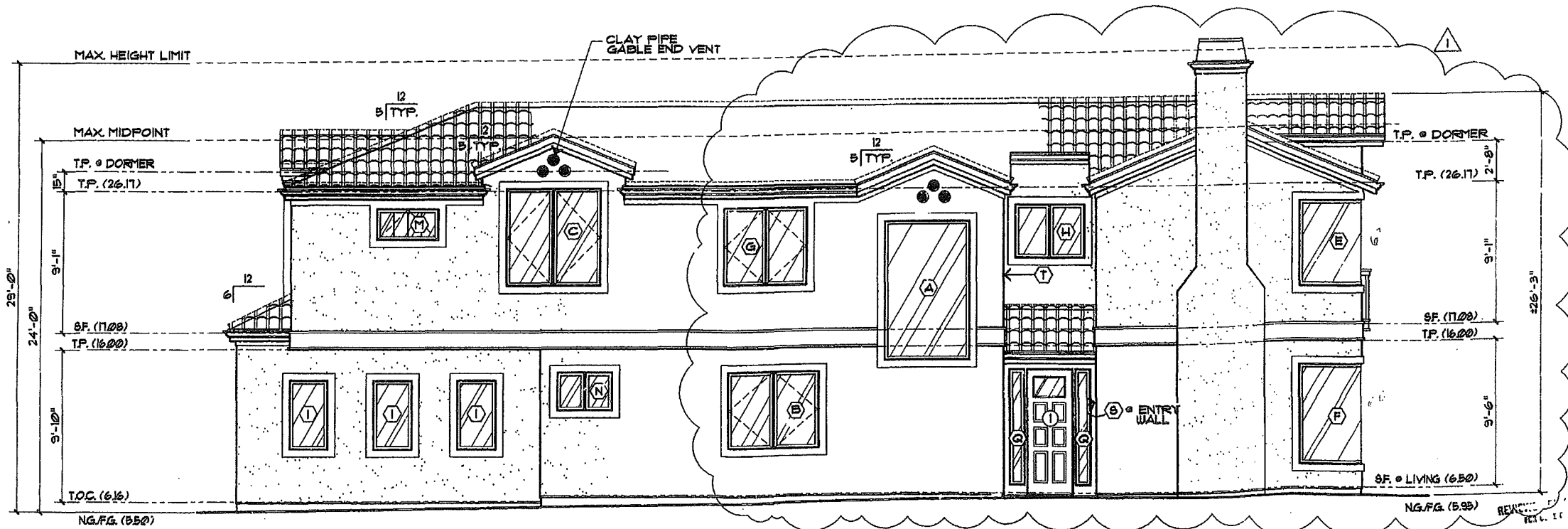


1106 II  
 23



SOUTH ELEVATION

SCALE: 1/4"=1'-0"



WEST ELEVATION

SCALE: 1/4"=1'-0"

BUILDING DEPARTMENT  
CITY OF NEWPORT BEACH  
APPROVAL OF THESE PLANS IS GRANTED FOR THE CITY OF NEWPORT BEACH. THE CITY ENGINEER HAS REVIEWED THESE PLANS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE CITY ORDINANCES AND THE STATE BUILDING CODE. THIS APPROVAL IS VALID FOR THE CITY OF NEWPORT BEACH. THE CITY ENGINEER'S OFFICE IS LOCATED AT 1000 WEST BROADWAY, NEWPORT BEACH, CALIFORNIA 92660. (714) 545-4000

OWNER: NEWPORT BEACH PROPERTIES, LLC  
3020 NORTH LAKE AVE., SUITE 1010  
PASADENA, CA 91101  
(714) 615-0051

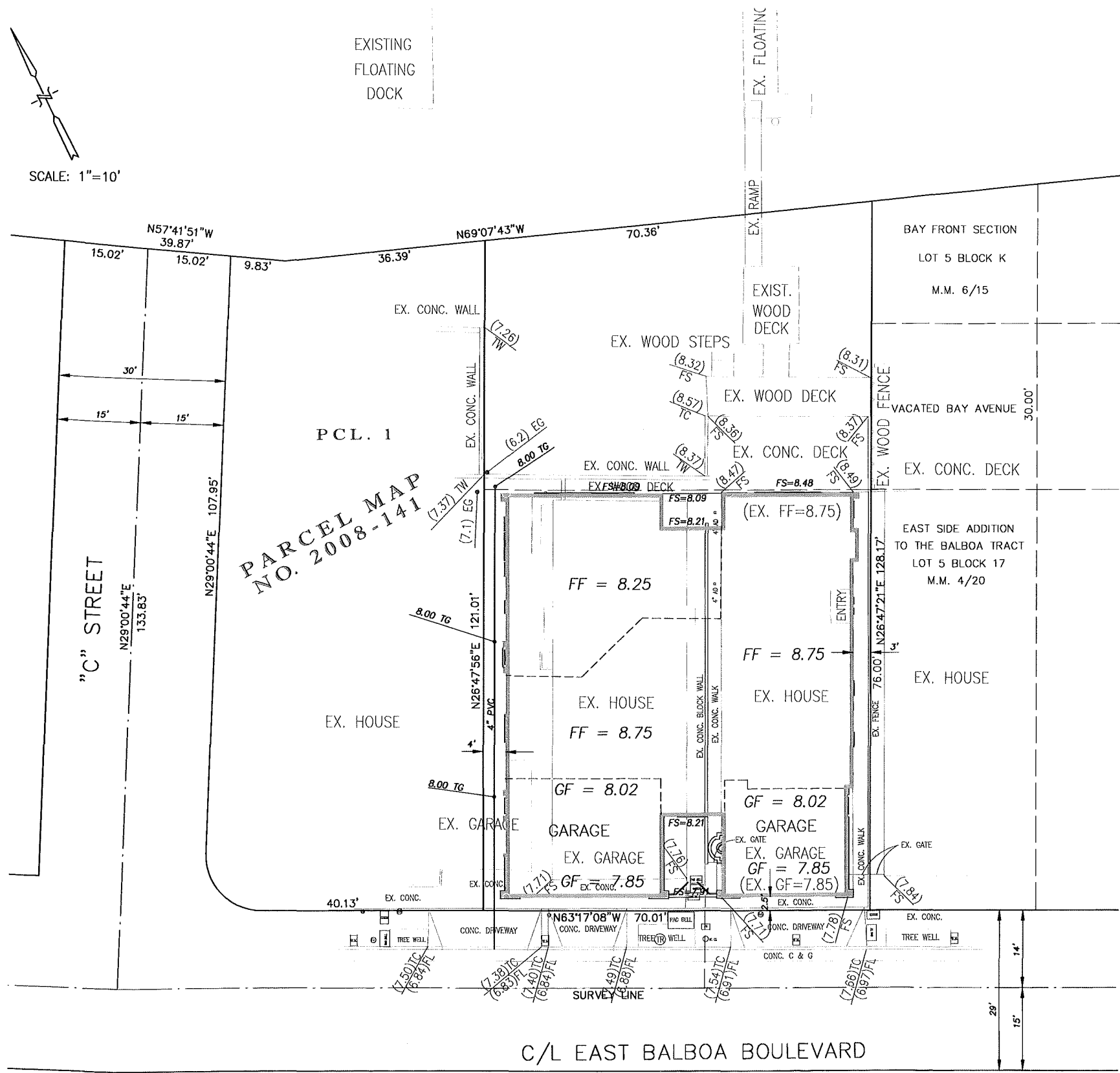
REVISION 9 03 JULY '98  
03 JULY '98  
EXTERIOR ELEVATIONS

1106 E. BALBOA II



1106 II  
14 OF 23

SCALE: 1"=10'



PA2010-170 for MD2010-025  
 1106 East Balboa Boulevard  
 Hal Woods & Ruben Munoz

REVISIONS					
NO.	DATE	BY	DESCRIPTION	DATE	APPR BY

PREPARED FOR:  
**DAN WELDEN**  
 1106 EAST BALBOA BLVD.  
 NEWPORT BEACH, CA. 92886  
 TEL. (714) 446-9806 (EXT. 101)

SOILS ENGINEER/ GEOLOGIST

PREPARED IN THE OFFICES OF:  
**KING CIVIL ENGINEERING CORP.**  
 101 S. KRAEMER BLVD. SUITE 232  
 PLACENTIA, CALIFORNIA. 92870  
 TELEPHONE: (714) 998-7010

UNDER THE SUPERVISION OF:  
**THOMAS A. KING** R.C.E. NO. 16916 DATE \_\_\_\_\_



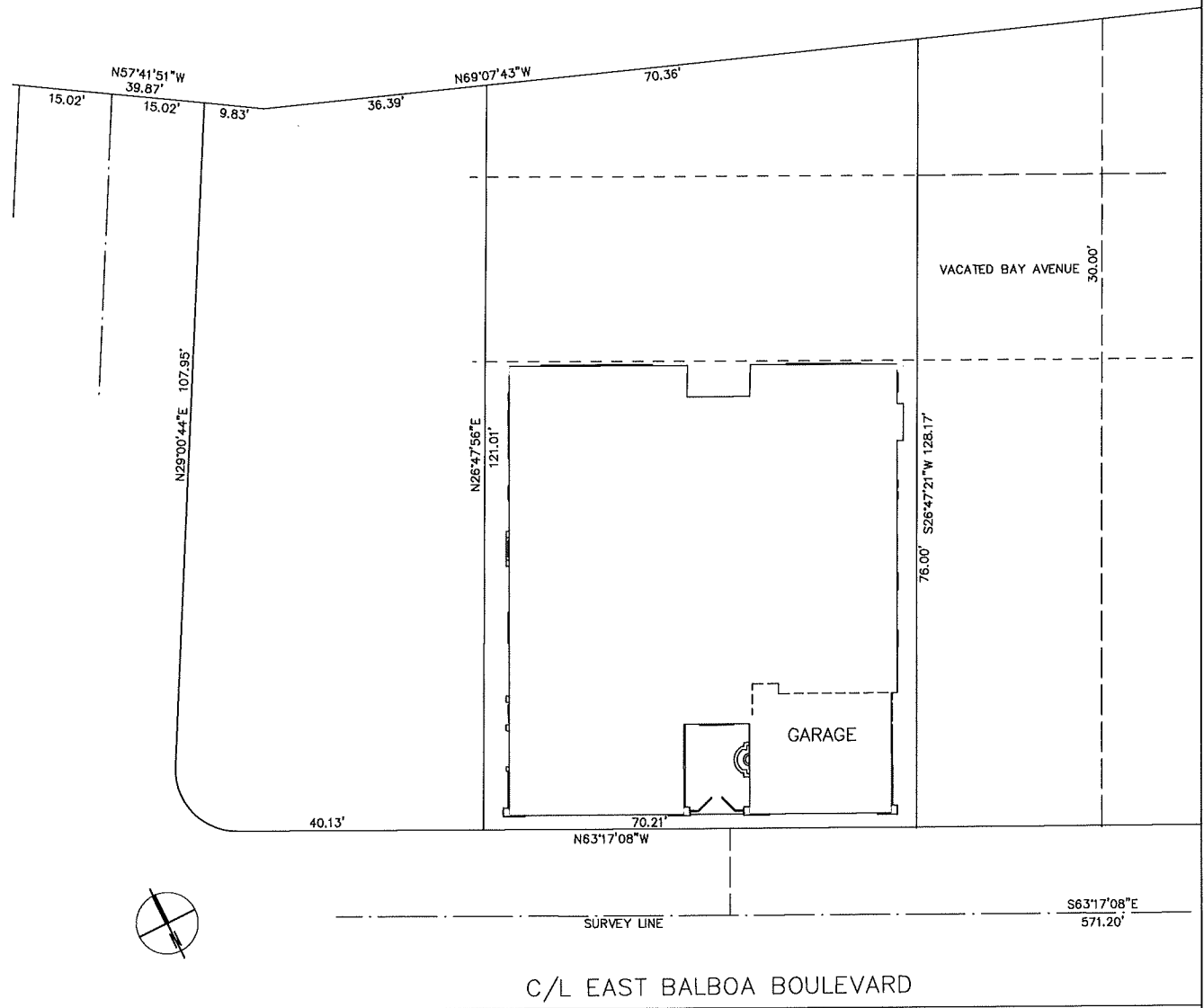
**CITY OF NEWPORT BEACH**  
 PRECISE GRADING & DRAINAGE PLAN  
 FOR  
 1106 E. BALBOA BOULEVARD  
**GRADING PLAN**

SHEET 2 OF 3

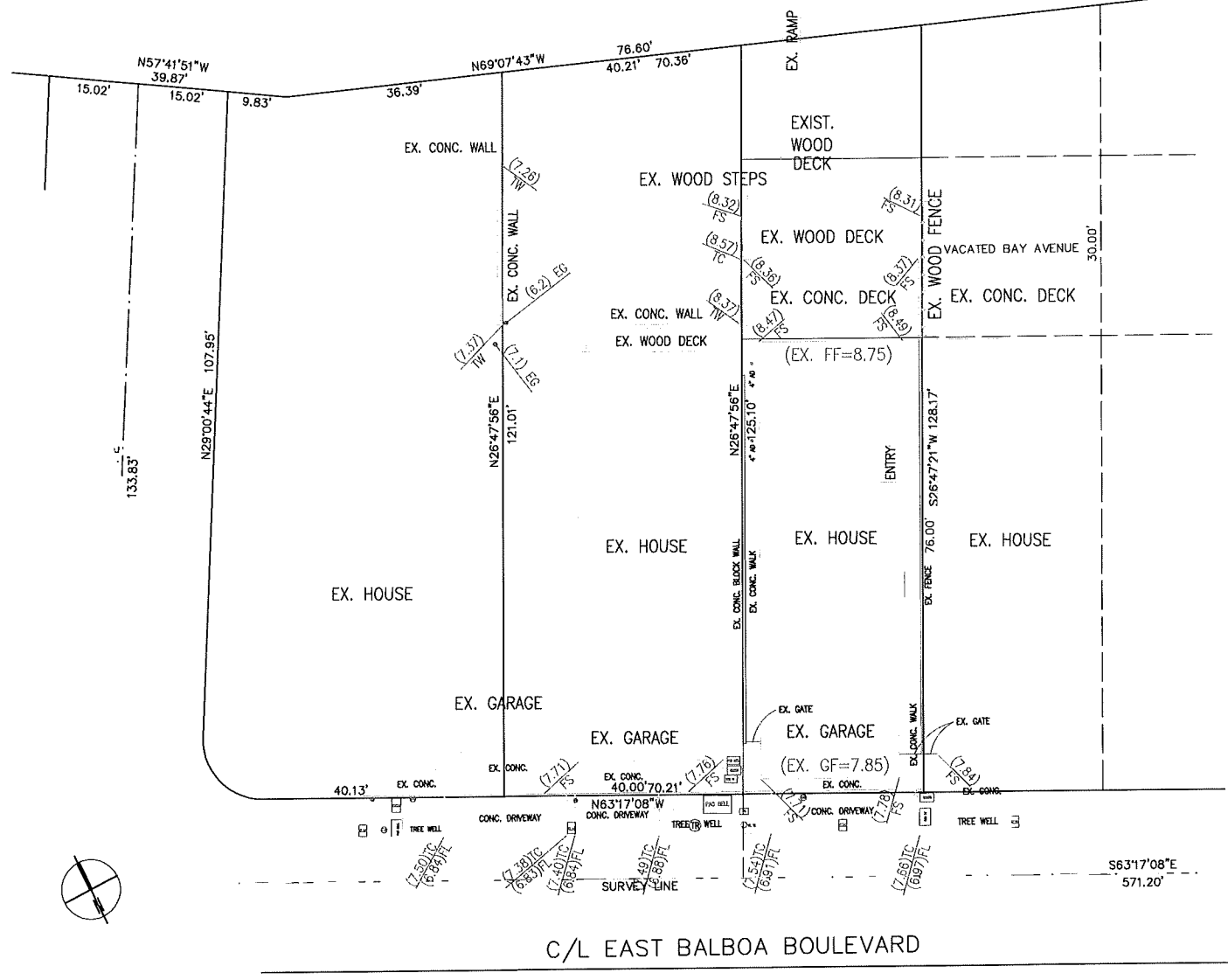
1104 & 1106 Balboa Blvd. E.  
 STREET SETBACK TO GARAGE: 2'-6"  
 STREET SETBACK TO LIVING: 6'-0"  
 SIDE YARD SETBACK: 4'-0"  
 BAYFRONT SETBACK: 0'-0"  
 LOT AREA: 5,320 S.F.  
 PROPOSED FOOTPRINT S.F.: 4,342 S.F.  
 PROPOSED HABITABLE S.F.: 6,305 S.F.  
 PROPOSED GROSS S.F.: 8,411 S.F.  
 ALLOWABLE S.F.: 4557+4340=8,897 S.F.

1104 Balboa Blvd. E.  
 STREET SETBACK TO GARAGE: 2'-6"  
 STREET SETBACK TO LIVING: 6'-0"  
 SIDE YARD SETBACK: 4'-0"  
 BAYFRONT SETBACK: 0'-0"  
 LOT AREA: 3,040 S.F.  
 EXISTING FOOTPRINT: 1,655 S.F.  
 EXISTING GROSS S.F.: 1,920 S.F.  
 ALLOWABLE: 2352+2240=4,592 S.F.

1106 Balboa Blvd. E.  
 STREET SETBACK TO GARAGE: 2'-6"  
 STREET SETBACK TO LIVING: 6'-0"  
 SIDE YARD SETBACK: 3'-0"  
 BAYFRONT SETBACK: 0'-0"  
 LOT AREA: 2,280 S.F.  
 EXISTING FOOTPRINT: 1,593 S.F.  
 EXISTING GROSS S.F.: 3,230 S.F.  
 ALLOWABLE: 1764+1680=3,444 S.F.



PROPOSED STRUCTURES



EXISTING STRUCTURES

# Graphic Tabulations

1106 BALBOA BLVD. E.

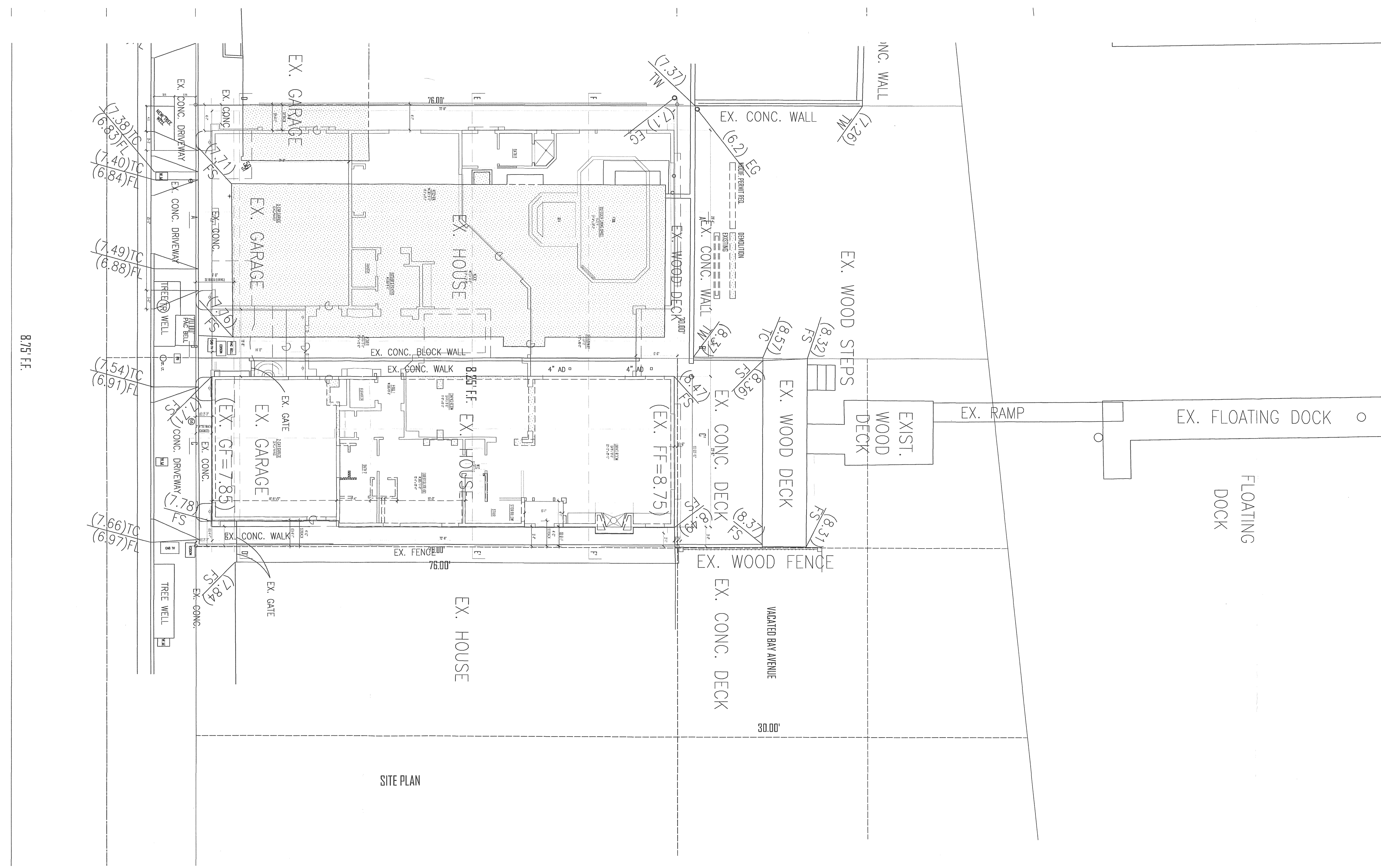
A CUSTOM SINGLE-FAMILY HOME IN THE CITY OF NEWPORT BEACH, CALIFORNIA.

scale: 1:10  
 FOR: MR. & MRS. WELDEN



PA2010-170 for MD2010-025  
 1106 East Balboa Boulevard  
 Hal Woods & Ruben Munoz





RECEIVED BY  
 PLANNING DEPARTMENT  
 JAN 18 2011  
 CITY OF NEWPORT BEACH

# Architectural Site Plan

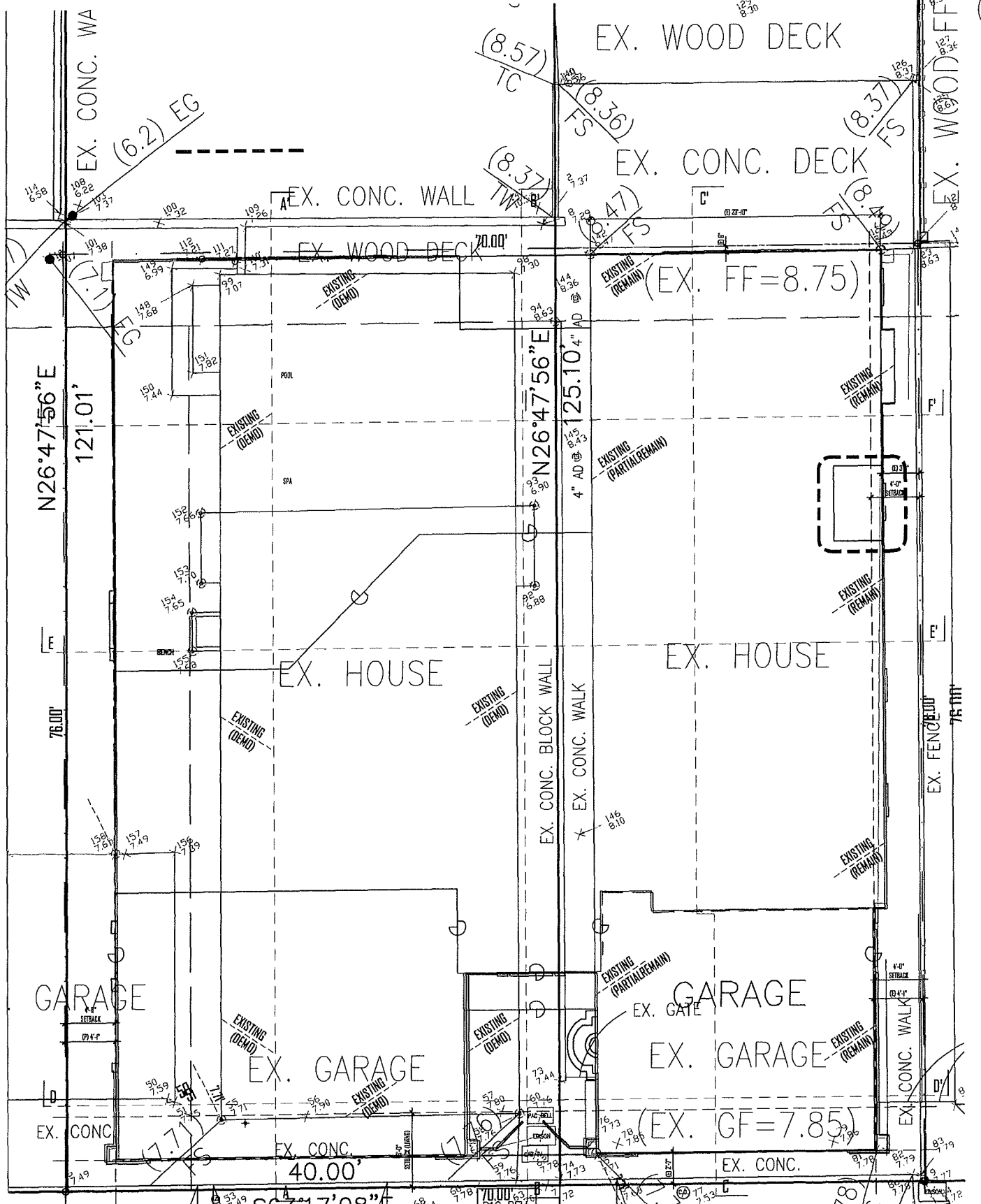
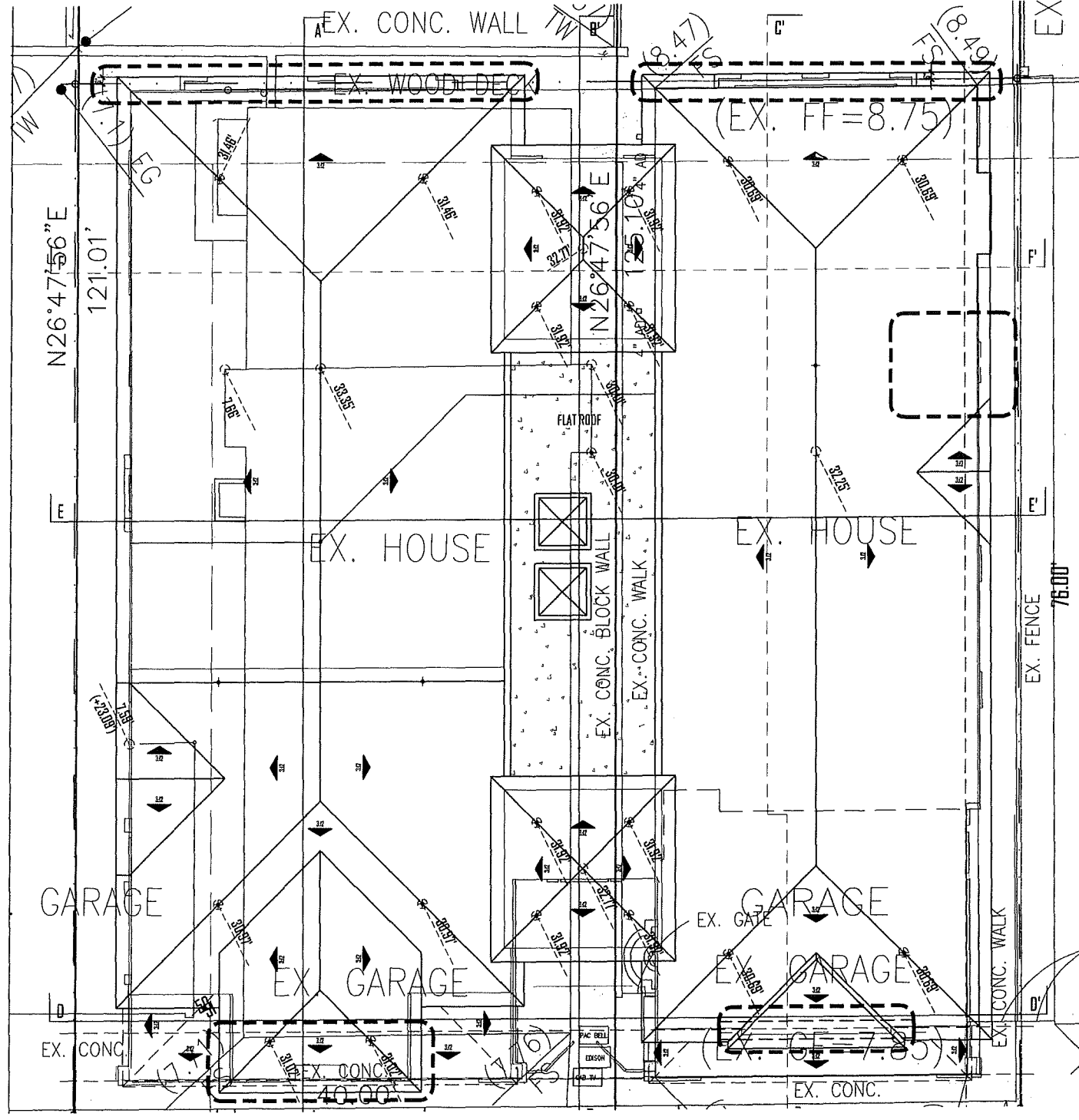
## 1106 BALBOA BLVD. E.

A CUSTOM SINGLE-FAMILY HOME IN THE CITY OF NEWPORT BEACH, CALIFORNIA.

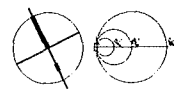
scale: 1/8"=1'-0"

FOR: MR. & MRS. WELDEN





modification permit required



# Conceptual Roof/Site Plan

1106 BALBOA BLVD. E.

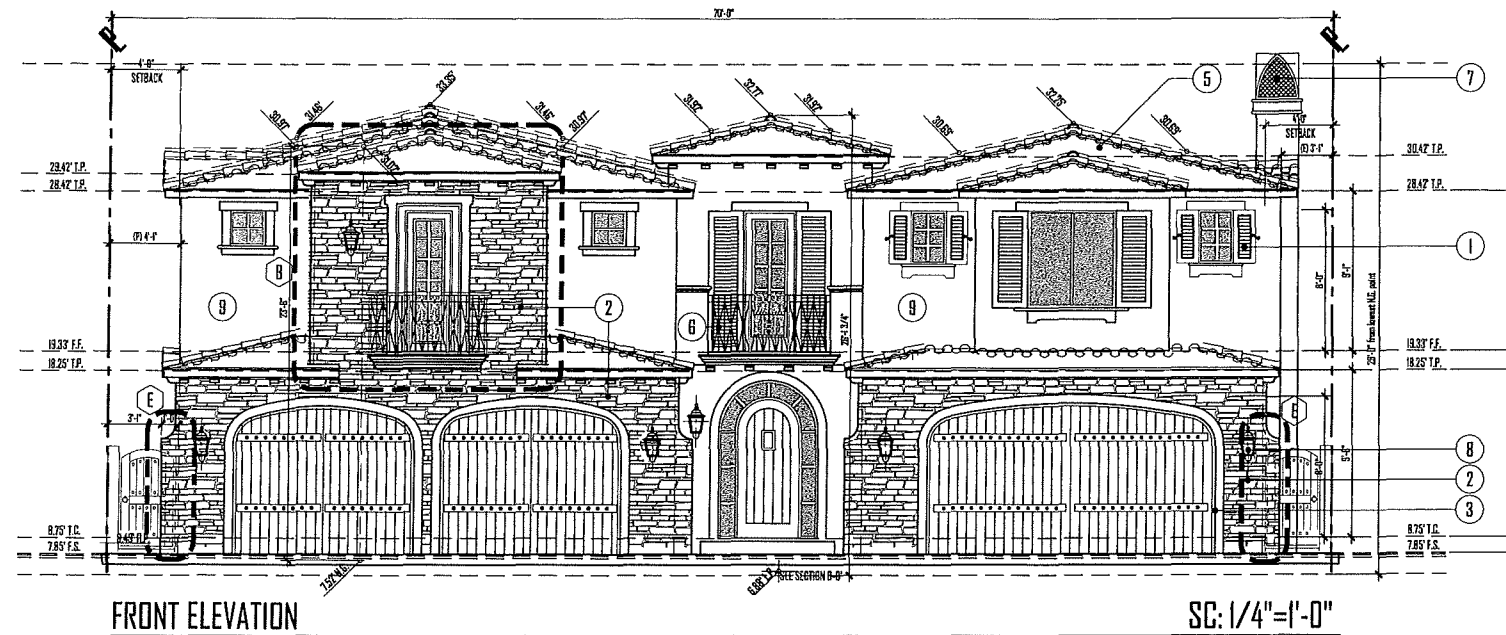
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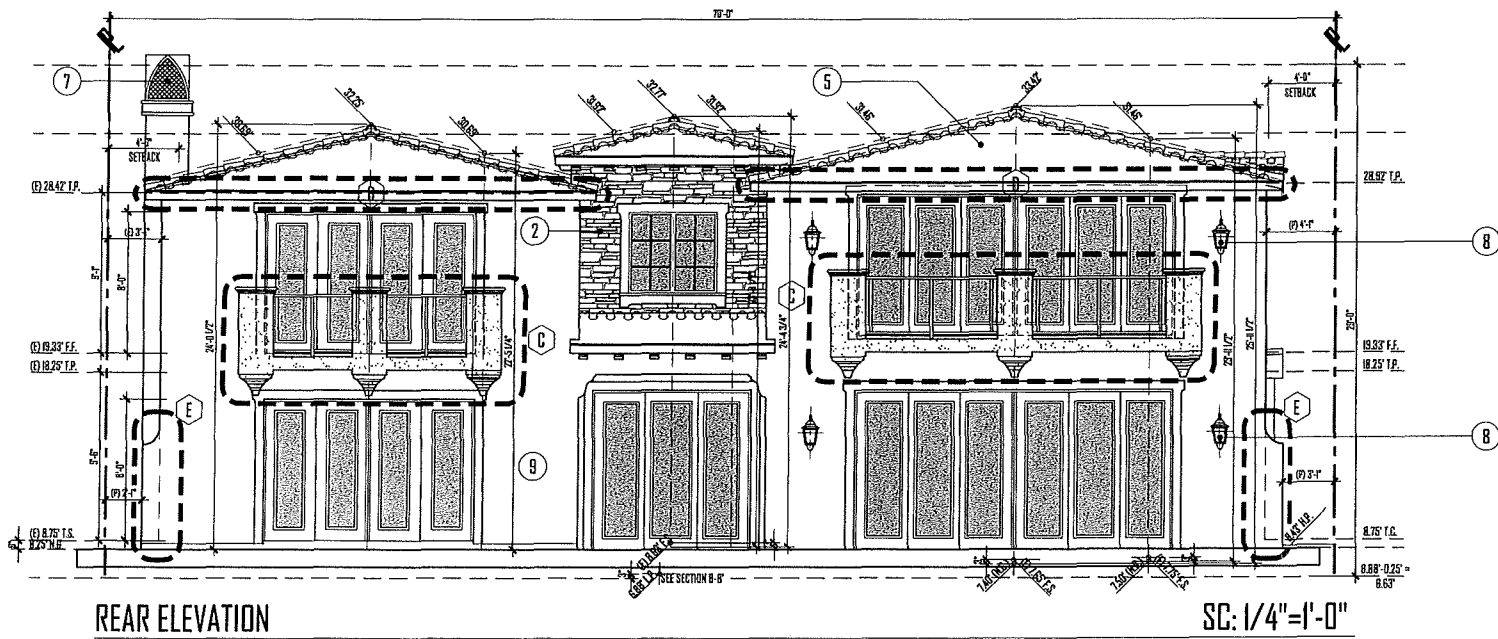
A CUSTOM SINGLE-FAMILY HOME IN THE CITY OF NEWPORT BEACH, CALIFORNIA.

FOR: MR. & MRS. WELDEN





- keynotes
- ① decorative wood shutters
  - ② stone veneer
  - ③ sectional garage door
  - ④ decorative corbels
  - ⑤ lightweight concrete roof tile
  - ⑥ decorative wrought iron railing
  - ⑦ decorative chimney cap
  - ⑧ decorative coach lights
  - ⑨ smooth plaster finish
- modification permit required
- ⬢ A infill setback encroachment
  - ⬢ B upper setback encroachment
  - ⬢ C setback encroachment
  - ⬢ D eave projection encroachment
  - ⬢ E decorative projection encroachment



# Conceptual Elevations

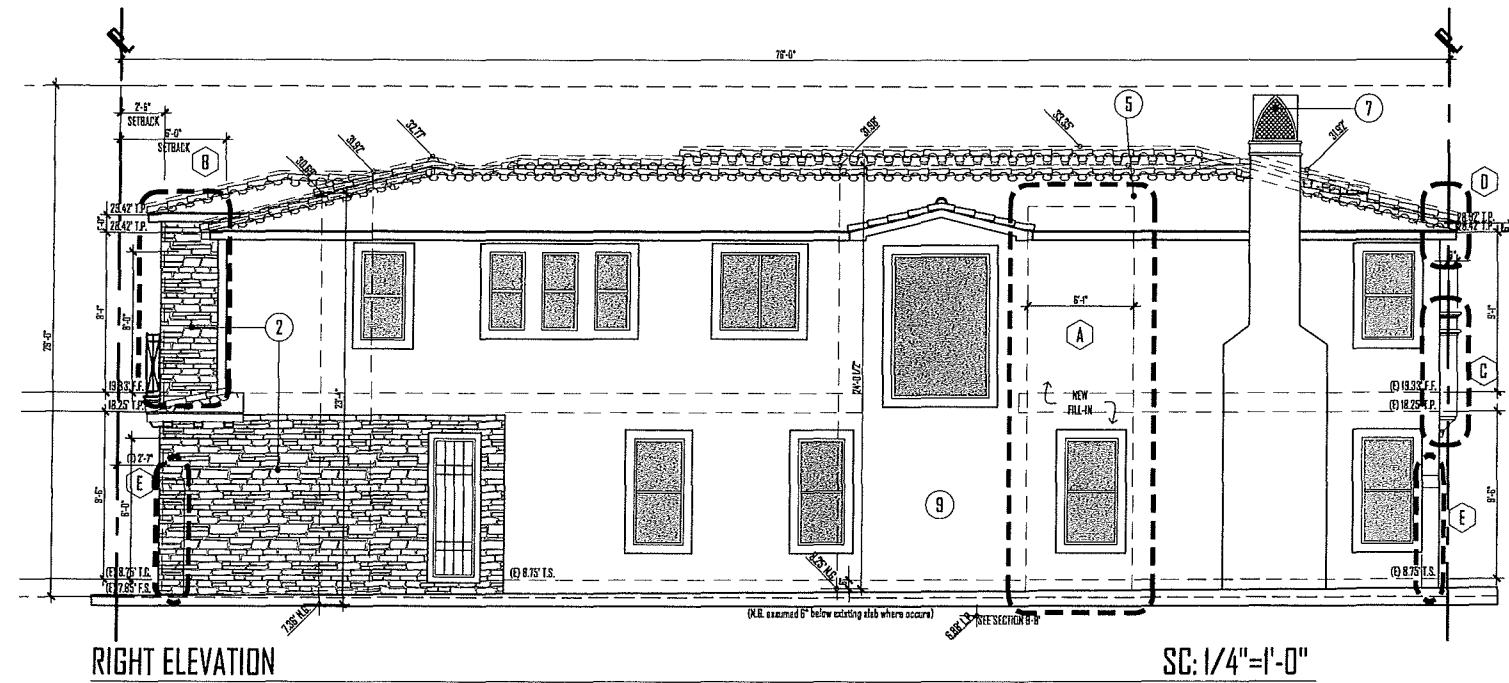
A CUSTOM SINGLE-FAMILY HOME IN THE CITY OF NEWPORT BEACH, CALIFORNIA.

1106 BALBOA BLVD. E.

scale: 1/4"=1'-0"

FOR: MR. & MRS. WELDEN

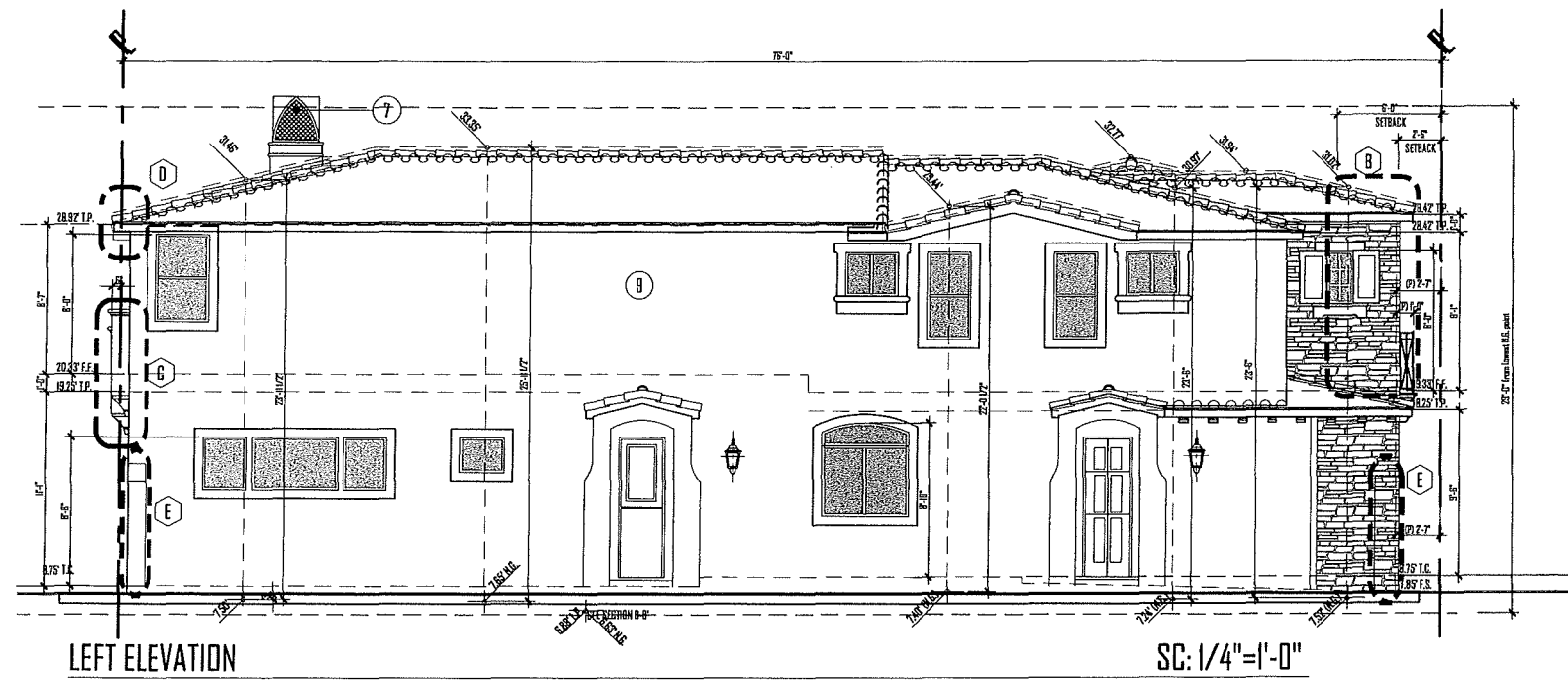




- | keynotes |                                 | modification permit required |                                    |
|----------|---------------------------------|------------------------------|------------------------------------|
| 1        | decorative wood shutters        | ---                          |                                    |
| 2        | stone veneer                    | A                            | infill setback encroachment        |
| 3        | sectional garage door           | B                            | upper setback encroachment         |
| 4        | decorative corbels              | C                            | setback encroachment               |
| 5        | lightweight concrete roof tile  | D                            | eave projection encroachment       |
| 6        | decorative wrought iron railing | E                            | decorative projection encroachment |
| 7        | decorative chimney cap          |                              |                                    |
| 8        | decorative coach lights         |                              |                                    |
| 9        | smooth plaster finish           |                              |                                    |

RIGHT ELEVATION

SC: 1/4"=1'-0"



LEFT ELEVATION

SC: 1/4"=1'-0"

# Conceptual Elevations

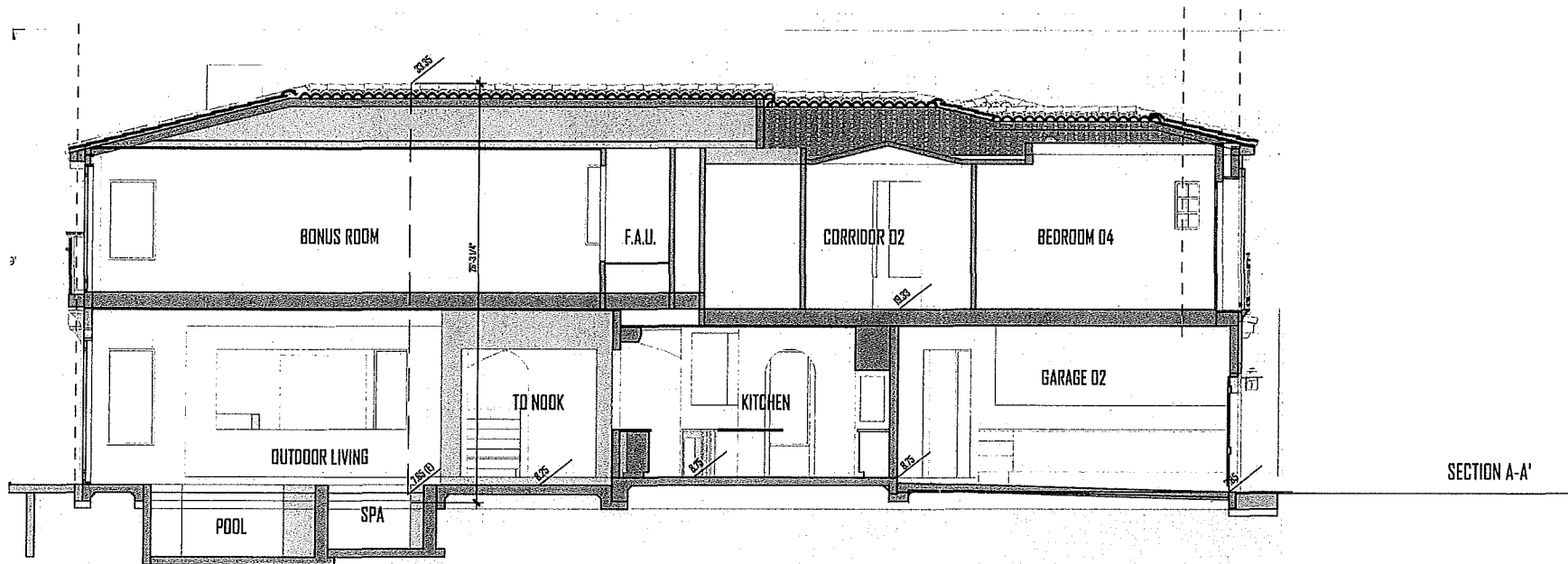
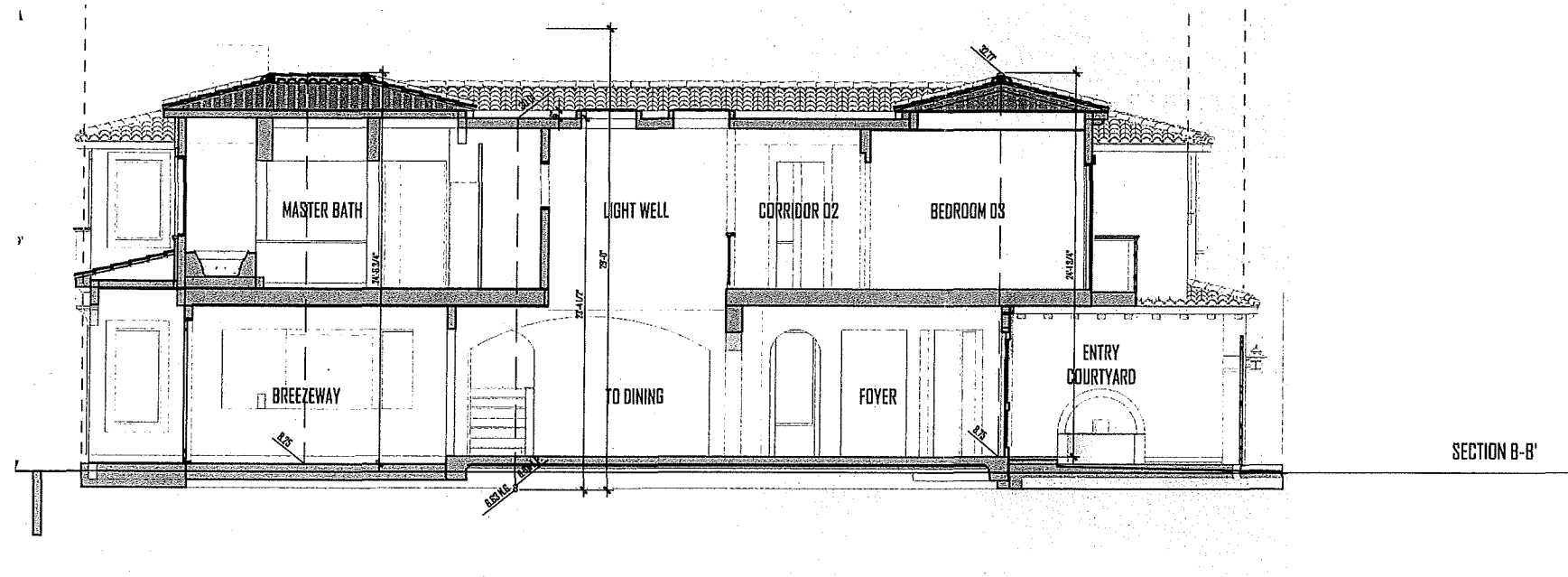
A CUSTOM SINGLE-FAMILY HOME IN THE CITY OF NEWPORT BEACH, CALIFORNIA.

1106 BALBOA BLVD. E.

scale: 1/4"=1'-0"

FOR: MR. & MRS. WELDEN





# Conceptual Sections

A CUSTOM SINGLE-FAMILY HOME IN THE CITY OF NEWPORT BEACH, CALIFORNIA.

1106 BALBOA BLVD. E.

scale: 1/4"=1'-0"

FOR: MR. & MRS. WELDEN

