

**CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION
FROM: James W. Campbell, Acting Planning Director
SUBJECT: Report of actions taken by the Zoning Administrator, Planning Director and/or Planning Department staff for the week ending March 11, 2011

ACTIONS TAKEN AT MARCH 10, 2011 ZONING ADMINISTRATOR HEARING

- Item 1: Fletcher Jones Motorcars Modification - Modification Permit No. MD2011-001 (PA2011-008)
3300 Jamboree Road

This item was approved. Council District 4
- Item 2: Hamilton Modification - Modification Permit No. MD2011-003 (PA2011-023)
339 Catalina Drive

This item was approved. Council District 2

On behalf of James W. Campbell, Acting Planning Director:



Patrick J. Alford, Planning Manager

APPEAL PERIOD: Modification Permit applications do not become effective until 14 days after the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code. Tentative Parcel Map, Condominium Conversion, Lot Merger, and Lot Line Adjustment applications do not become effective until 10 days following the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code.

Email Dana Smith, Assistant City Manager
Leonie Mulvihill, Assistant City Attorney
David Keely, Public Works Senior Civil Engineer
Code Enforcement Division



COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION

3300 Newport Boulevard, Building C, Newport Beach, CA 92663
(949) 644-3200 Fax: (949) 644-3229

www.newportbeachca.gov

ZONING ADMINISTRATOR ACTION LETTER

Application No. **Modification Permit No. MD2011-001(PA2011-008)**
Applicant **Mitch Chemers on behalf of Fletcher Jones Motorcars**
Site Address **3300 Jamboree Road**
 Fletcher Jones Motorcars
Legal Description **Irvine Subdivision Block 51 Lot 146 Portion of Lot**

On **March 10, 2011**, the Zoning Administrator approved the following: A modification permit amending a sign program to increase the size of the primary wall sign, to increase the size of the wall sign adjacent to the showroom building, and to install a new directional sign on the corner of Bayview Way and Jamboree Road. The property is located in the PC-42 (San Diego Creek North) District. The Zoning Administrator's approval is based on the following findings and subject to the following conditions.

Findings

1. **CEQA Compliance:** The project is exempt from environmental review pursuant to Section 15311, Class 11 (Accessory Structures) of the Implementing Guidelines of the California Environmental Quality Act.
 - The proposed signs are incidental and accessory to the principal commercial use of the property and do not intensify or alter the use.
 - Class 11 includes construction or replacement of minor structures such as on-premise signs accessory to (appurtenant to) existing commercial facilities.
2. **Finding:** The requested modification will be compatible with existing development in the neighborhood.

Facts in Support of Finding:

- The subject property is located in its own planned community district.
- Across Jamboree Road to the northwest is Area 3 of the Administrative and Professional Office land use of the Bayview Planned Community.
- The subject property is abutting the SR 73 freeway to the east.

- The subject property is abutting a property designated as Open Space (OS) to the south.
- The showroom building underwent a 4,437-square-foot expansion in 2010 and the proposed larger wall signage will not be abruptly out of scale with the newly expanded building.
- The proposed directional sign will be located entirely within the boundaries of private property and will be used by patrons of the business.
- The subject site is not within close proximity to any residential district; however, the illumination will be conditioned to prevent spillage onto any adjoining properties.

3. **Finding:** The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.

Facts in Support of Finding:

- The existing building has multiple façades visible from two major cross streets (Jamboree Road and Bayview Way) as well as the SR 73 freeway. The proposed larger wall signage will not be out of scale with the existing building and will provide improved visibility from designated paths of travel on the site.
- The site contains several different services including customer areas, showrooms, and car maintenance bays which are integral to the operation of the business. The proposed directional sign is necessary to effectively direct customer traffic and limit traffic congestion.

4. **Finding:** The granting of the modification is necessary due to practical difficulties associated with the property and that the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code.

Facts in Support of Finding:

- The size of the site with related development is 9.63 acres. Staff is of the opinion that the sign program approved by Modification Permit No. 4571 adequately addresses the needs of the existing business; however, the proposed signage is in conjunction with the newly expanded showroom and will provide improved visibility from Jamboree Road and Bristol Street.

5. **Finding:** There are no alternatives to the Modification Permit that could provide similar benefits to the applicant with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.

Facts in Support of Finding:

- The originally approved sign program limits the size and amount of signage for the site. The Modification Permit is necessary to amend the original sign program approval.
 - The proposed signage is necessary due to the size of the site and will not be detrimental to any surrounding owners and occupants, the neighborhood, or to the general public.
6. **Finding:** The granting of the modification would not be detrimental to public health, safety, or welfare to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.

Facts in Support of Finding:

- The site is surrounded and buffered by Jamboree Road, Bayview Way, and the SR 73 freeway. The proposed changes to the existing sign program are negligible as the proposed signage modifies an existing approval to increase visibility to vehicular traffic.
- This approval will allow two larger wall signs as well as a new directional sign located on the interior of the property and will not change the density or intensity of the use.

Conditions

(Project specific conditions are noted in italics)

1. The development shall be in substantial conformance with the approved site plan, sign matrix, sign plans and elevations, except as noted in the following conditions.
2. Anything not specifically approved by this Modification Permit is prohibited and must be addressed in a separate and subsequent Modification Permit review.
3. *Signs are limited to the designated building facades and street frontages and shall comply with the limitations specified in the Fletcher Jones Sign Program (MD4571) as modified by this approval and as designated by the provisions of Chapter 20.42 of the Newport Beach Municipal Code.*

4. *The signs shall be illuminated in accordance with the provisions of Section 20.42.060.H of the Newport Beach Municipal Code.*
5. *The signs modified by this approval include R1, R2 and the new directional sign designated as R19. All other signage is approved in accordance with the provisions of Modification Permit No. 4571, approved on June 24, 1997.*
6. This approval was based on the particulars of the individual case and does not, in and of itself or in combination with other approvals in the vicinity or Citywide, constitute a precedent for future approvals or decisions.
7. Prior to issuance of building permits, the applicant shall submit to the Planning Department an additional copy of the approved architectural plans for inclusion in the Modification Permit file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Modification Permit and shall highlight the approved elements such that they are readily discernible from other elements of the plans.
8. *Construction support details shall be provided and a building permit shall be obtained prior to commencement of the construction.*
9. A copy of this approval letter shall be incorporated into the Building Department and field sets of plans prior to issuance of the building permits.
10. If any of the existing public improvements surrounding the site are damaged by private work, new concrete sidewalk, curb and gutter, street pavement, and other public improvements will be required by the City at the time of private construction completion. Said determination and the extent of the repair work shall be made at the discretion of the Public Works inspector.
11. *Sign R19 shall be set back a minimum of 10 feet from the back of the sidewalk on Jamboree Road.*
12. All work performed within the public right-of-way shall be reviewed and approved by the Public Works Department under an encroachment permit/agreement, if required.
13. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Fletcher Jones Motorcars Modification** including, but not limited to, the

Modification Permit No. MD2011-001, PA2011-008. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

14. This approval shall expire unless exercised within 24 months from the approval date, as specified in Section 20.93.050 (A) of the Newport Beach Municipal Code. Prior to the expiration date of this approval, an extension may be approved in accordance with Section 20.93.050 (B) of the Newport Beach Municipal Code. Requests for an extension must be in writing.

APPEAL PERIOD: Modification Permit applications do not become effective until 14 days after the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

By: 
Gregg Ramirez, Zoning Administrator

GR/bmz

Attachments: Vicinity Map
Sign Program Matrix
Plans

VICINITY MAP



Modification Permit No. MD2011-001
PA2011-008

3300 Jamboree Road



Fletcher Jones Sign Program Matrix

Community Development Department

Planning Division

3300 Newport Boulevard, Newport Beach, CA 92663

(949)644-3200 Telephone | (949)644-3229 Facsimile

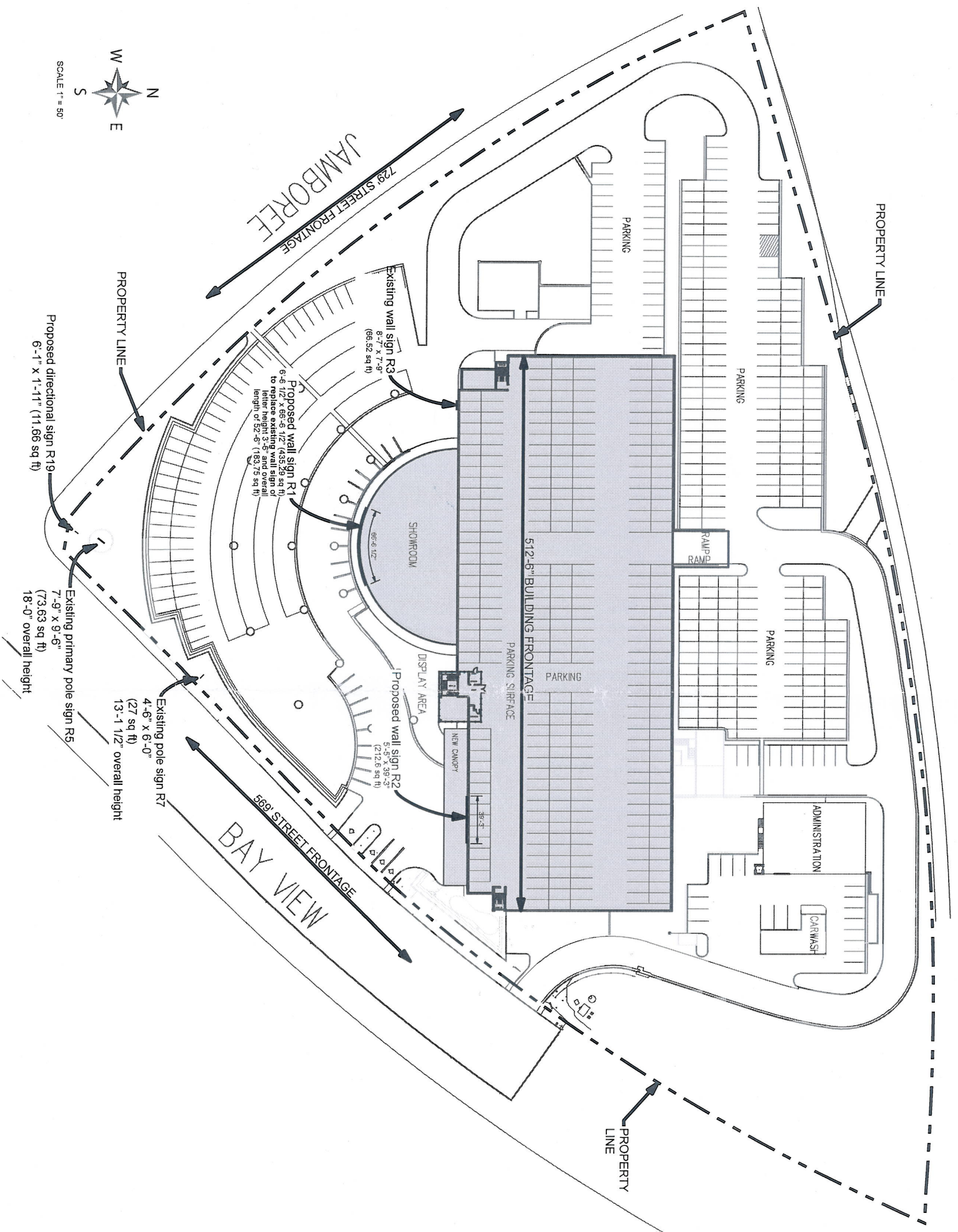
www.newportbeachca.gov

1. Street Frontage/parking lot frontage

- Frontages: A Jamboree Road
 B Bayview Way
 C SR 73

Sign Type	Primary Frontage <i>Size limitations where applicable</i>	Secondary Frontage <i>Size limitations where applicable</i>
Wall Signs	<u>Jamboree Road</u> R1, "Fletcher Jones Motorcars" Maximum Letter Height: 4 ft. Maximum Sign Copy Area: 251 sq. ft. Illuminated	<u>Bayview Way</u> R2, "Mercedes Benz" Maximum Letter Height: 4 ft. Maximum Sign Copy Area: 143 sq. ft. Illuminated
Incidental, Freestanding Directional Signs	<u>Jamboree Road</u> R19 Maximum Letter Height: 4 in. Maximum Sign Area: 12 sq. ft. Illuminated	

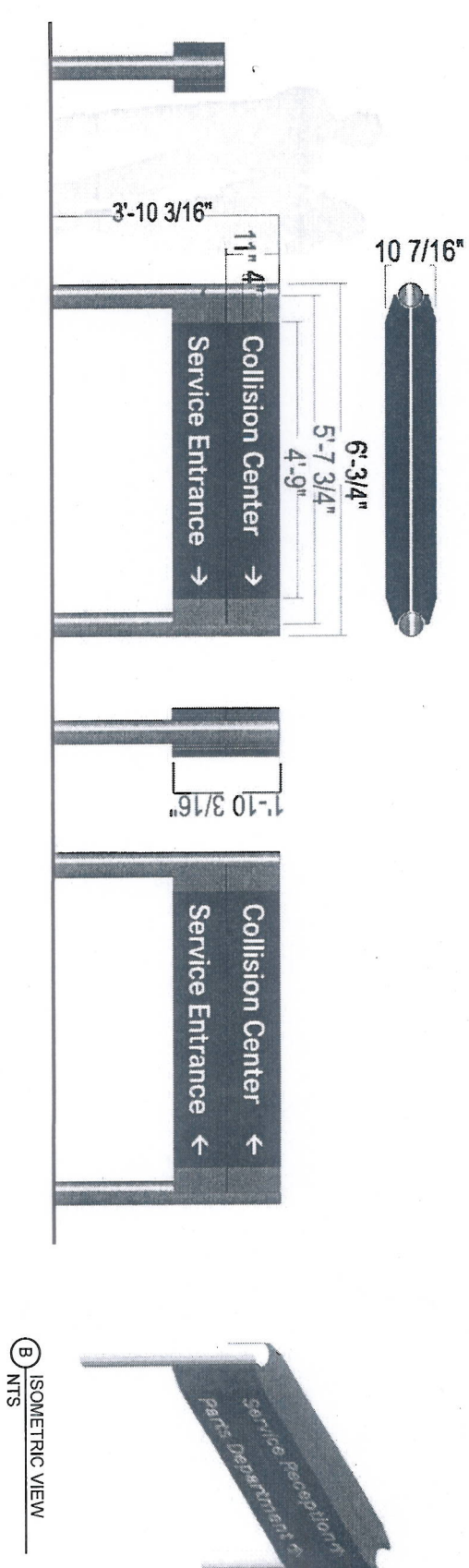
Note: The above referenced signage is as modified by the approval of Modification Permit No. 2011-001. All other signage is approved in accordance with the provisions of Modification Permit No. 4571, approved on June 24, 1997.



Fletcher Jones Motorcars
3300 Jamboree Road
Newport Beach, CA 92660

Sign Modification
01/28/11
SITE PLAN

SIGN R19

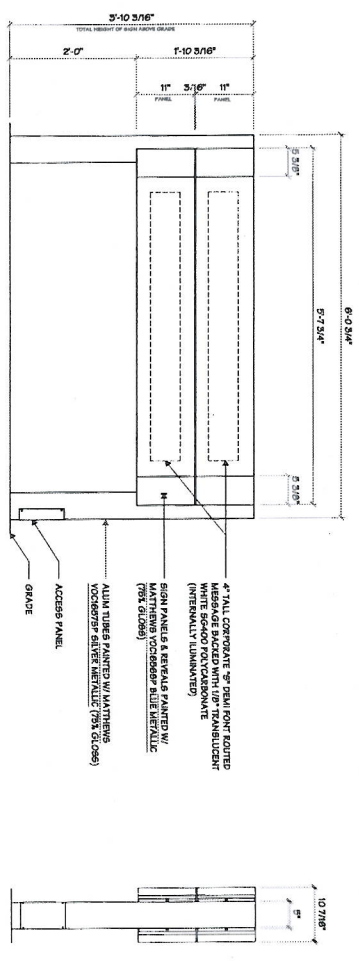


B ISOMETRIC VIEW
NTS

A SIGN R19. DIRECTIONAL SIGN
SCALE: 3/4" = 1'



1 PLAN VIEW
(VERTICAL SIGN = 1'-0")

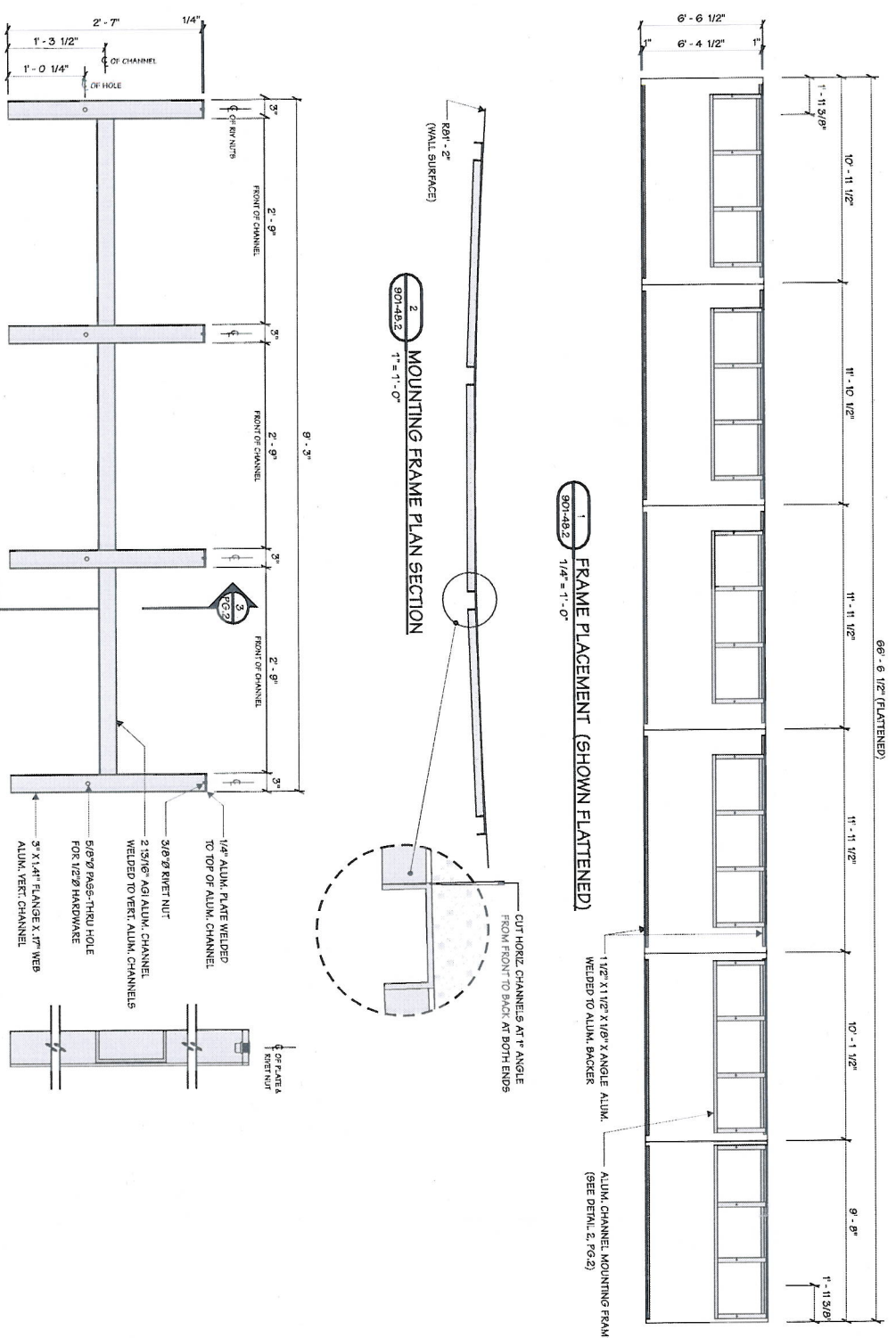


2 FRONT ELEVATION
(VERTICAL SIGN = 1'-0")

3 SIDE VIEW
(VERTICAL SIGN = 1'-0")

C SIGN R19. DETAILS
SCALE: NOTED

SIGN R1

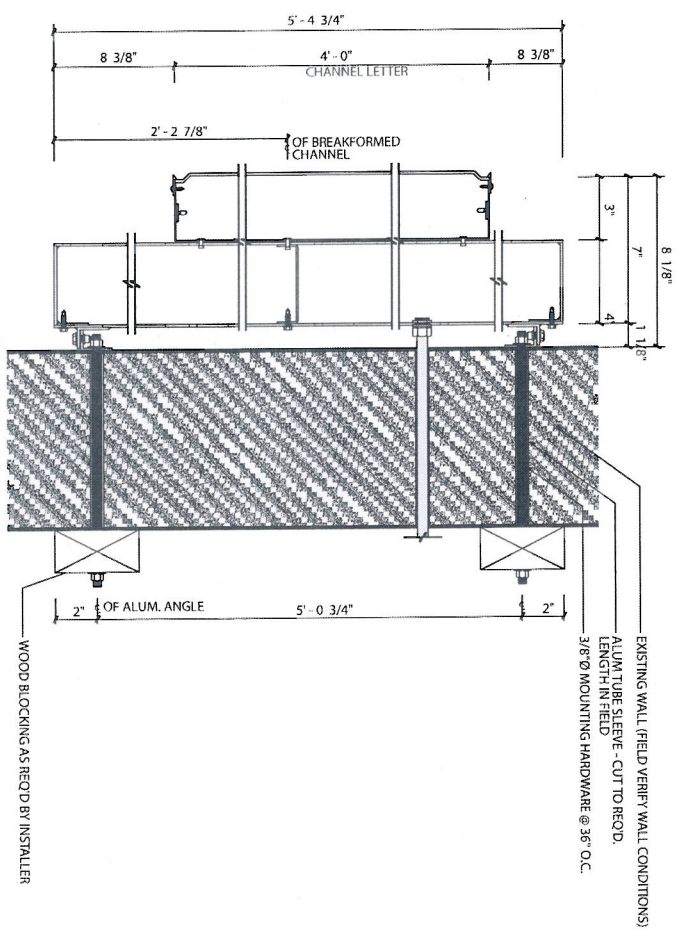


1 FRAME PLACEMENT (SHOWN FLATTENED)
1/4" = 1'-0"

2 MOUNTING FRAME PLAN SECTION
3/8" = 1'-0"

3 SIDE SECTION
3/8" = 1'-0"

E SIGN R2. DETAILS
SCALE: NOTED



1 SIDE SECTION
(VERTICAL SIGN = 1'-0")

GROUND SIGN & WALL SIGN DETAILS

Fletcher Jones Motorcars
3300 Jamboree Road
Newport Beach, CA 92660
Sign Modification
01/28/11

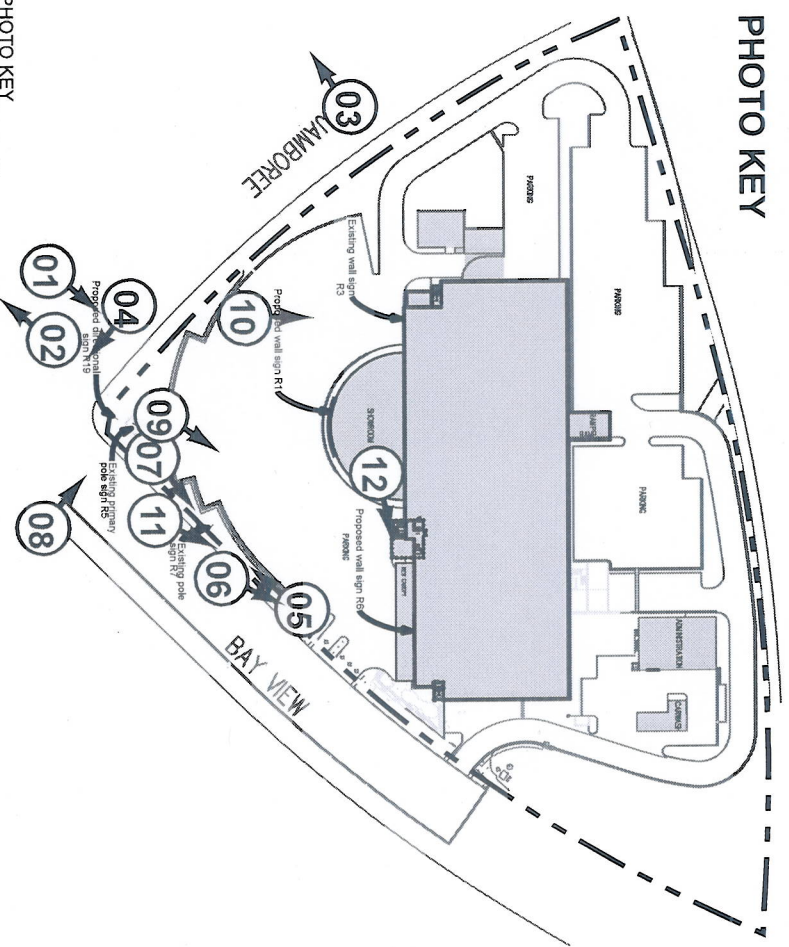
D SIGN R1. DETAILS
SCALE: NOTED

3 MOUNTING FRAME (SHOWN FLATTENED)
3/8" = 1'-0"

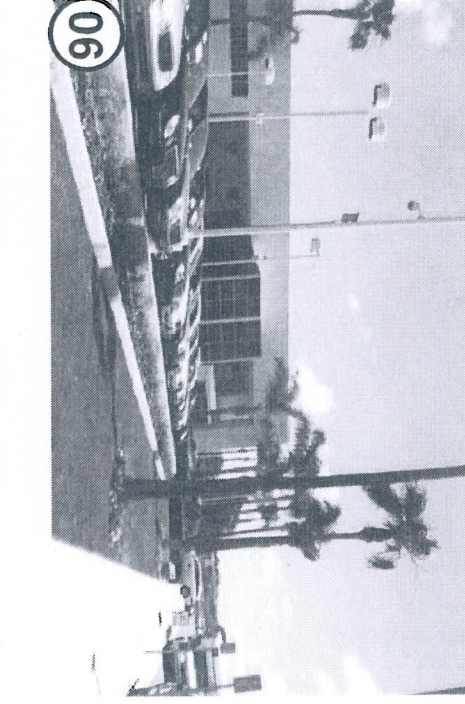
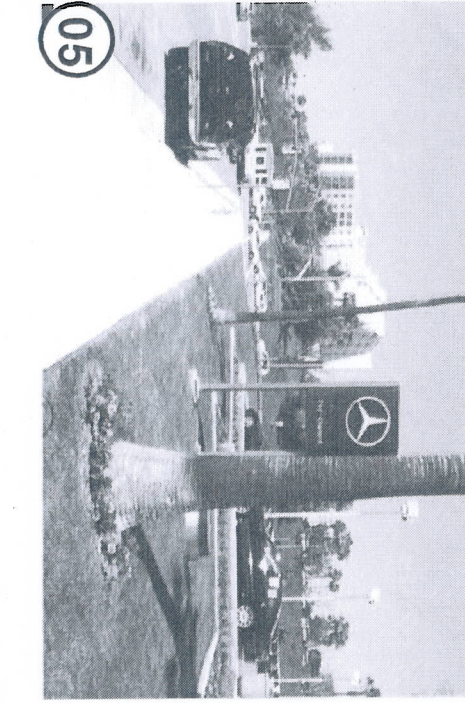
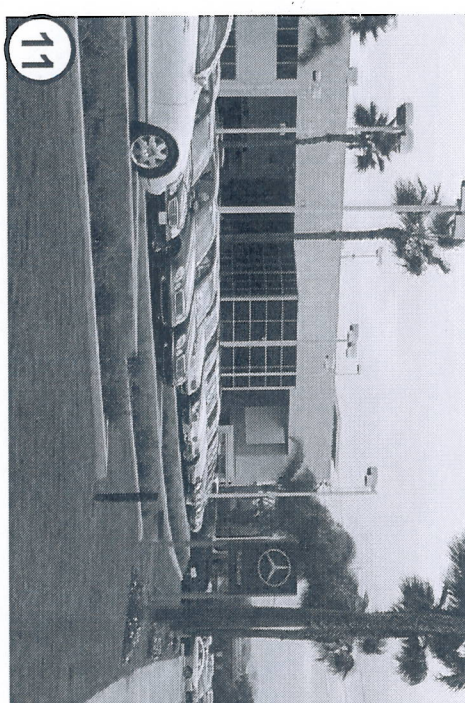
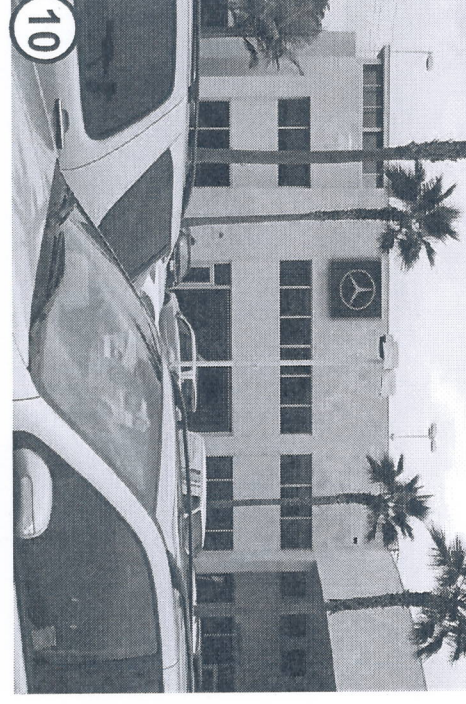
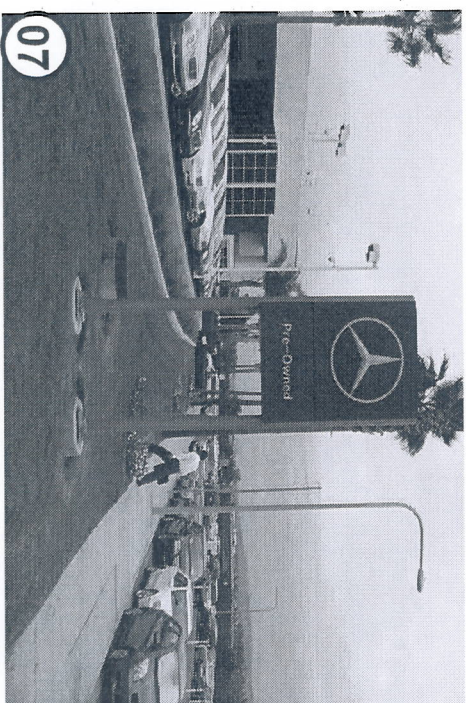
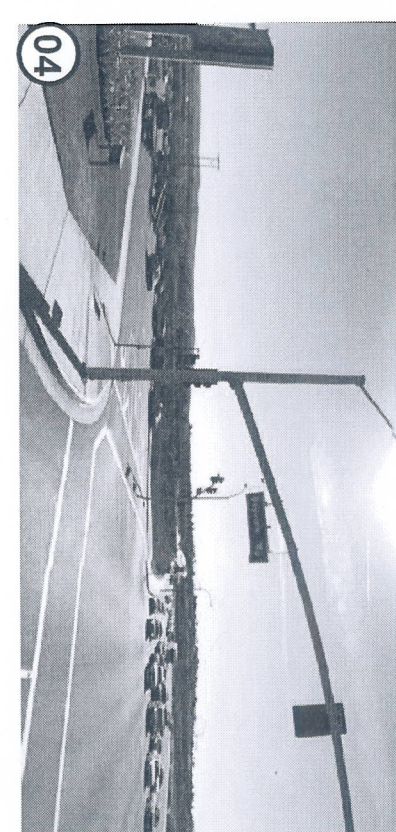
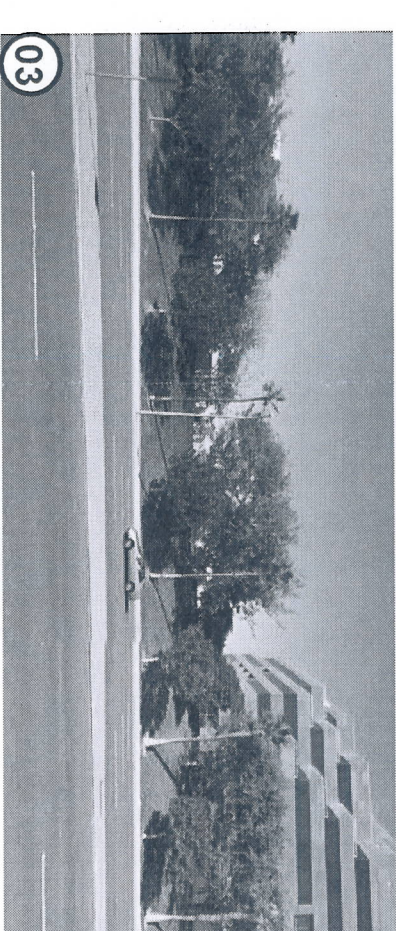
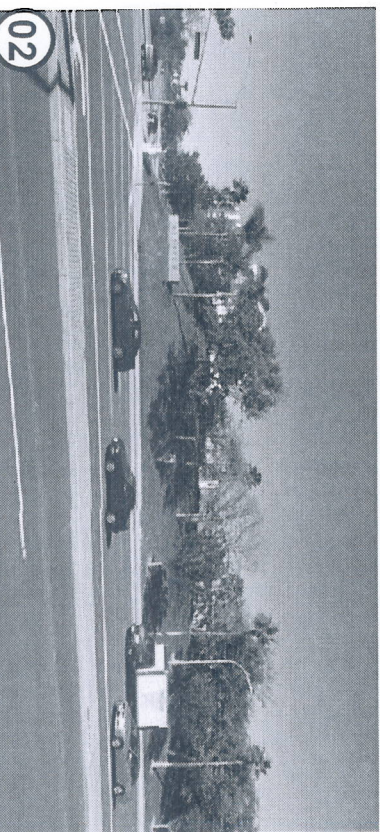
2 SIDE SECTION
3/8" = 1'-0"

PA2011-008 for MD2011-001
3300 Jamboree Road
Fletcher Jones Motorcars

PHOTO KEY



© PHOTO KEY
NTS



Fletcher Jones Motorcars 3300 Jamboree Road Newport Beach, CA 92660

Sign Modification

01/28/11

PHOTOS Page 4 of 4



COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION

3300 Newport Boulevard, Building C, Newport Beach, CA 92663

(949) 644-3200 Fax: (949) 644-3229

www.newportbeachca.gov

ZONING ADMINISTRATOR ACTION LETTER

Application No. **Modification Permit No. MD2011-003 (PA2011-023)**
Applicant **Jack Hamilton**
Site Address **339 Catalina Drive**
 Hamilton Modification
Legal Description **Tract 1136, Lot 66**

On **March 10, 2011**, the Zoning Administrator approved the following: A modification permit to allow the reconstruction of an existing cantilevered deck a portion of which will encroach up to 2 feet into the required 20-foot front setback. The existing deck encroaches 2 feet, 6 inches into the setback; therefore, the encroachment will be reduced by 6 inches. The property is located in the R-1, Single-Unit Residential District. The Zoning Administrator's approval is based on the following findings and subject to the following conditions.

Findings

1. **CEQA Compliance:** The project is categorically exempt under Section 15303, of the California Environmental Quality Act (CEQA) Guidelines - Class 3 (New Construction or Conversion of Small Structures).
 - Class 3 includes accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences. A deck is similar in nature and falls into the same category.
2. **Finding:** The requested modification will be compatible with existing development in the neighborhood.

Facts in Support of Finding:

- The subject property is located within the Newport Heights neighborhood in which most homes are situated on the uppermost portion of a steep hillside. The subject deck is not highly visible from the street as it is buffered by landscaping.
- The requested 2-foot encroachment will reduce the existing 2-foot-6-inch encroachment of the deck and will effectively pull the structure back further from Catalina Drive and the front property line.

- Since the existing deck was incorrectly shown on the building plans in 1996, it was not constructed in compliance with the 20-foot front setback.
- Since the new deck will not be constructed parallel to the front property line, the extent of the encroachment ranges from zero to 2 feet (10 percent of the standard) into the 20-foot front setback.
- The subject cantilevered deck will be constructed such that no upright posts or columns are within the setback area.
- Several homes within the neighborhood have decks constructed on the steep hillside of the front yard and the subject deck does not appear out of line or uncharacteristic.

3. **Finding:** The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.

Facts in Support of Finding:

- The steep hillside in the front yard portion of the property severely limits the useable area and a deck is necessary to facilitate use of this space.
- The front property line is concaved along Catalina Drive and the principal structure was constructed such that it was oriented with the rear property line. Consequently, the existing deck was built parallel to the rear property line, intersecting the 20-foot setback line. The maximum existing encroachment is 2 feet, 6 inches and said encroachment diminishes to zero feet towards the eastern portion of the property. The maximum encroachment of the new deck will be reduced to 2 feet at the worst case.

4. **Finding:** The granting of the modification is necessary due to practical difficulties associated with the property and that the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code.

Facts in Support of Finding:

- A building permit was issued to enlarge the deck in 1996. At that time the property lines were incorrectly depicted on the approved plans as rectangular with a 27-foot front setback.
- The location of existing structures, the sloping topography, and the irregular shape of the lot combined with the strict application of the Zoning Code

creates a practical difficulty. The error on the plans for the existing deck was not identified until the property was sold and surveyed in late 2010.

5. **Finding:** There are no alternatives to the Modification Permit that could provide similar benefits to the applicant with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.

Facts in Support of Finding:

- The Modification Permit will allow the applicant to reconstruct the majority of the existing deck structure.
- The Modification Permit will reduce the existing encroachment from 2 feet, 6 inches to 2 feet into the 20-foot setback. The new deck will maintain the usability of area and will be compatible with the neighborhood.

6. **Finding:** The granting of the modification would not be detrimental to public health, safety, or welfare to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.

Facts in Support of Finding:

- The subject deck will be reinforced structurally upon remodel. Accordingly, the deck will not be detrimental to the health or safety of any surrounding persons.
- The subject deck is located entirely within the property lines of the subject site and does not endanger any property or potential improvements to any neighboring property.
- The subject deck encroachment does not alter or intensify the single-family residential use of the property.
- The existing deck has not proven detrimental.

Conditions

1. The development shall be in substantial conformance with the approved plot plan, floor plans and elevations, except as noted in the following conditions.
2. Anything not specifically approved by this Modification Permit is prohibited and must be addressed in a separate and subsequent Modification Permit review.
3. This approval was based on the particulars of the individual case and does not, in and of itself or in combination with other approvals in the vicinity or Citywide, constitute a precedent for future approvals or decisions.

4. Prior to issuance of building permits, the applicant shall submit to the Planning Department an additional copy of the approved architectural plans for inclusion in the Modification Permit file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Modification Permit and shall highlight the approved elements such that they are readily discernible from other elements of the plans.
5. A building permit shall be obtained prior to commencement of the construction.
6. A copy of this approval letter shall be incorporated into the Building Department and field sets of plans prior to issuance of the building permits.
7. If any of the existing public improvements surrounding the site is damaged by private work, new concrete sidewalk, curb and gutter, street pavement, and other public improvements will be required by the City at the time of private construction completion. Said determination and the extent of the repair work shall be made at the discretion of the Public Works inspector.
8. All work performed within the public right-of-way shall be reviewed and approved by the Public Works Department under an encroachment permit/agreement, if required.
9. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Hamilton Modification** including, but not limited to, the **Modification Permit No. MD2011-003, PA2011-023**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.
10. This approval shall expire unless exercised within 24 months from the approval date, as specified in Section 20.93.050 (A) of the Newport Beach Municipal Code. Prior to the expiration date of this approval, an extension may be approved

in accordance with Section 20.93.050 (B) of the Newport Beach Municipal Code. Requests for an extension must be in writing.

APPEAL PERIOD: Modification Permit applications do not become effective until 14 days after the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

By: 
Gregg Ramirez, Zoning Administrator

GR/bmz

Attachments: Vicinity Map
Plans

VICINITY MAP



Modification Permit No. MD2011-003
PA2011-023

339 Catalina Drive

- FL FLOW LINE
- BTC BACK TOP OF CURB
- GF GARAGE FLOOR
- GM GAS METER
- WM WATER METER
- S STEP
- TW TOP OF WALL
- EG EXISTING GRADE
- G GATE
- EP EDGE OF PAVEMENT
- IG IRON GATE
- WH WATER HEATER
- T TREE
- TG TOP OF GRATE
- LIP LIP OF GUTTER
- BFP BRICK FIRE PIT

BENCH MARK:

ELEVATIONS HEREON ARE REFERENCED TO ASSUMED ELEVATION BEING 100 ON THE FINISHED FLOOR OF 339 CATALINA DRIVE AS SHOWN HEREON.

PA2011-023 for MD2011-003
 339 Catalina Drive
 Jack Hamilton



Douglas O. Foster
 DOUGLAS O. FOSTER P.L.S. 4599

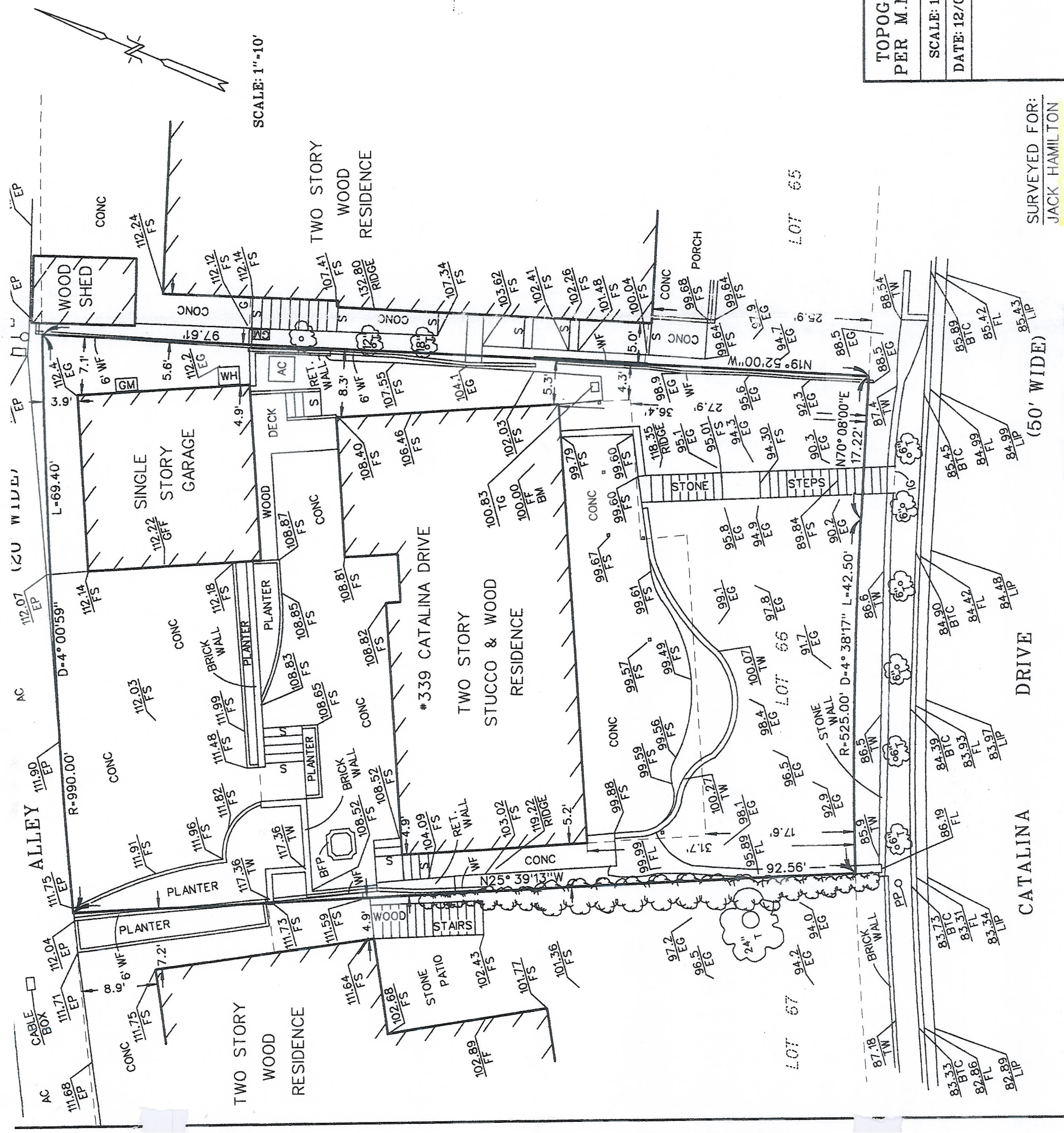
TOPOGRAPHIC SURVEY OF LOT 66, TRACT NO. 1136
 PER M.M. 37/18-19, RECORDS OF ORANGE COUNTY, CA.

SCALE: 1"=10'
 DATE: 12/05/2010

DRAWN BY: M.S.
 REVISED:

BACK BAY SURVEYING & MAPPING

2538 TUSTIN AVENUE
 NEWPORT BEACH, CA. 92660
 PH. (949) 631-1825



SURVEYED FOR:
 JACK HAMILTON

CATALINA DRIVE
 (50' WIDE)

SHEET INDEX

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A2	FIRST FLOOR / SECOND FLOOR PLAN
A3	HIGH & LOW ROOF PLAN
A4	ARCHITECTURAL ELEVATIONS
A4.1	ARCHITECTURAL ELEVATIONS
A5	ARCHITECTURAL SECTIONS
A5.1	ARCHITECTURAL SECTIONS
A6	ARCHITECTURAL SECTIONS

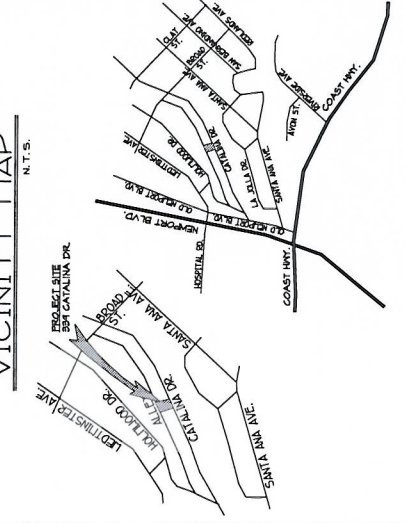
GENERAL NOTES

- ARCHITECT ASSIGNS NO RESPONSIBILITY FOR THE COMPLETENESS OF PLANS OR SPECIFICATIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO BEGINNING OF CONSTRUCTION.
- THE INTENT OF THESE DRAWINGS & SPECIFICATIONS IS TO INCLUDE ALL LABOR, MATERIALS AND SUPPLIES NECESSARY FOR THE COMPLETION OF ALL WORK SHOWN HEREON AND AS NECESSARY FOR THE COMPLETION OF ALL WORK INDICATED IN THE CONTRACT DOCUMENTS.
- THE ARCHITECT'S APPROVAL OF SUCH SHOP DRAWINGS SHALL NOT RELIEVE THE GENERAL CONTRACTOR OR SUBCONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS AT THE TIME OF SUBMISSION. THE ARCHITECT ASSIGNS NO LIABILITY OR LIABILITY FOR ERRORS OF ANY SORT IN THE SHOP DRAWINGS.
- ARCHITECT OR DRAWER AS USED IN THESE DOCUMENTS REFERS TO: RON SHIMAJI - SHIMAJI & LASCOLA STRUCTURAL ENGINEERS, 25663 BRITCHER DR., LAKE FOREST, CA 92650, 949/770-1567
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES HAVING JURISDICTION.
- CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL CONTRACT DOCUMENTS, SPECIFICATIONS AND DRAWINGS. THERE IS NO TIME ASSET FOR REVIEW OF THESE OR OTHER COORDINATION ITEMS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS AT THE TIME OF SUBMISSION. COORDINATION BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK.
- CONTRACTOR FOR THE PROJECT SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL HAVE OBTAINED ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS IN COMPLIANCE WITH SECTION 58000 OF THE CALIFORNIA LABOR CODE.
- DIMENSIONS ON DRAWINGS ARE SHOWN TO FACES OF WALLS AND PARTITIONS OR FINISHED FACE OF EXISTING WALLS UNLESS NOTED OTHERWISE.
- ALL VERTICAL DIMENSIONS SHOWN ARE TO FLOOR SLABS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY BEFORE COMMENCING ANY WORK.
- CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PENETRATIONS THROUGH WALLS AND PARTITIONS. THE CONTRACTOR SHALL RUN ALL MECHANICAL PIPING WITH MECHANICAL CONTRACTOR BEFORE FRAMING WALLS, FLOOR, ETC.
- CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL DUCTS, PLUMBING PIPES WITH MECHANICAL CONTRACTOR BEFORE FRAMING WALLS, FLOOR, ETC.
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- 'ALIGN' AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE 'TYPICAL' OR 'TYP.' AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE DIMENSIONS SHOWN ARE TYPICAL AND NOT TO BE USED AS A GUIDE FOR ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE.
- DETAILS ARE USUALLY KEYED AND NOTED 'TYPICAL' ONLY. WHEN THEY FIRST OCCUR AND ARE REPRESENTATIVE OF ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE.
- REFER TO BASE BUILDING DRAWINGS FOR EXACT LOCATION, DIMENSIONS AND FINISHES. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS.
- CONTRACTOR SHALL SUBMIT CONTRIBUTIONS OF DELIVERY DATES FOR ORDERS OF MATERIALS AND EQUIPMENT HAVING LONG LEAD TIMES.
- CONTRACTOR SHALL PATCH ANY EXISTING WALLS AND/OR CEILING AS NEEDED TO REFRESH THE SPACE AND REPAIR ALL DAMAGES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL CLEANING OF A JOB AFTER ITS COMPLETION. CLEANING SHALL INCLUDE THE INTERIOR OF THE BUILDING AND THE EXTERIOR OF THE BUILDING. ALL DEBRIS SHALL BE HAULED FROM THE SITE.
- CONTRACTOR SHALL REFINISH ANY BLEMISHED DOOR OR REPLACE SAID DOOR IF NOT ABLE TO REFINISH TO 'AS NEW' CONDITION.
- CONTRACTOR SHALL SUBMIT ONE BLUEPRINT SET AND ONE SET OF SHOP DRAWINGS. SHOP DRAWINGS SHOULD INCLUDE DETAILED FABRICATION AND INSTALLATION DETAILS. SHOP DRAWINGS SHOULD BE CLEARLY LABELED, LOCATED AND ORIENTED TO ALL ITEMS. SHOP DRAWINGS SHOULD BE SUBMITTED AND APPROVED BY THE ARCHITECT ONLY AFTER RECEIVING AN INDICATED AND/OR TYPICAL CONSTRUCTION COORDINATION APPROVAL OF SHOP DRAWINGS.
- ALL REQUESTS FOR SUBSTITUTIONS OF ITEMS SPECIFIED SHALL BE SUBMITTED IN WRITING AND WILL BE CONSIDERED ONLY IF BETTER SERVICE FACILITIES, A LOWER COST, OR A MORE DURABLE MATERIAL IS SUBMITTED. THE ARCHITECT AND THE TENANT WILL BE PROVIDED WITHOUT SACRIFICING QUALITY, APPEARANCE AND FUNCTION UNDER NO CIRCUMSTANCES WILL ARCHITECT BE REQUIRED TO APPROVE A SUBSTITUTION FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT SPECIFIED.
- THE GENERAL CONTRACTOR SHALL COORDINATE WITH 'OTHER' CONTRACTORS PER REQUIREMENTS ESTABLISHED BY OWNER.
- CONTRACTOR SHALL MAINTAIN RECORD DOCUMENTS OF CONSTRUCTION CHANGES AND SHALL SUBMIT A FINAL DOCUMENT TO OWNER UPON COMPLETION OF CONSTRUCTION. NO EXCEPTIONS ALLOWED.
- TITLE 24, ENERGY COMPLIANCE & STATEMENT OF DESIGN COMPLIANCE. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY BEFORE COMMENCING ANY WORK.
- GLASS DOORS, ADJACENT PANELS, AND ALL GLAZED OPENINGS WITHIN THE BUILDING SHALL BE PROVIDED WITH GLASS APPROVED FOR IMPACT RESISTANCE AND SHALL BE PROVIDED WITH GLASS APPROVED FOR IMPACT RESISTANCE AND SHALL BE PROVIDED WITH GLASS APPROVED FOR IMPACT RESISTANCE.
- EXTERIOR WALLS AND WALL MATERIALS TO CONSTRUCTION ABOVE. UNLESS OTHERWISE INDICATED.
- SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE.
- CENTER OF SWITCHES SHALL BE NO MORE THAN 48" ABOVE FLOOR.

DATA TABULATION

JOB ADDRESS :	339 CATALINA DR. NEWPORT BEACH, CA 92660
BUILDING OWNER :	ACK & ROBYN HAMILTON
RESIDENCE NUMBER :	CELL (949) 881-7161
MAX BLDG. HT. :	38'-0"
ZONING :	
COVENANT / CONSTRUCTION :	
NUMBER OF STORIES :	2
TABULATION :	EXISTING BASEMENT FLOOR 664 SQ. FT. PROPOSED BASEMENT FLOOR 475 SQ. FT. EXISTING FIRST FLOOR 143 SQ. FT. PROPOSED FIRST FLOOR 805 SQ. FT. TOTAL FIRST FLOOR 948 SQ. FT. EXISTING SECOND FLOOR 420 SQ. FT. PROPOSED SECOND FLOOR 481 SQ. FT. EXISTING FIRST FLOOR DECK 481 SQ. FT. EXISTING LOT AREA 6195 SQ. FT. TOTAL BUILDING FOOTPRINT 2514 SQ. FT.
CODES :	2010 C.B.C., U.P.C. AND L.M.C., EDITION, 2008 N.E.C. WITH STATE TITLE 24 REGULATIONS, CITY & COUNTY LAPS AND ORDINANCES.
LEGAL DESCRIPTION :	LOT #6, TRACT No. 106, SHIMAJI & LASCOLA TRACT, COUNTY OF ORANGE, STATE OF CALIFORNIA

VICINITY MAP

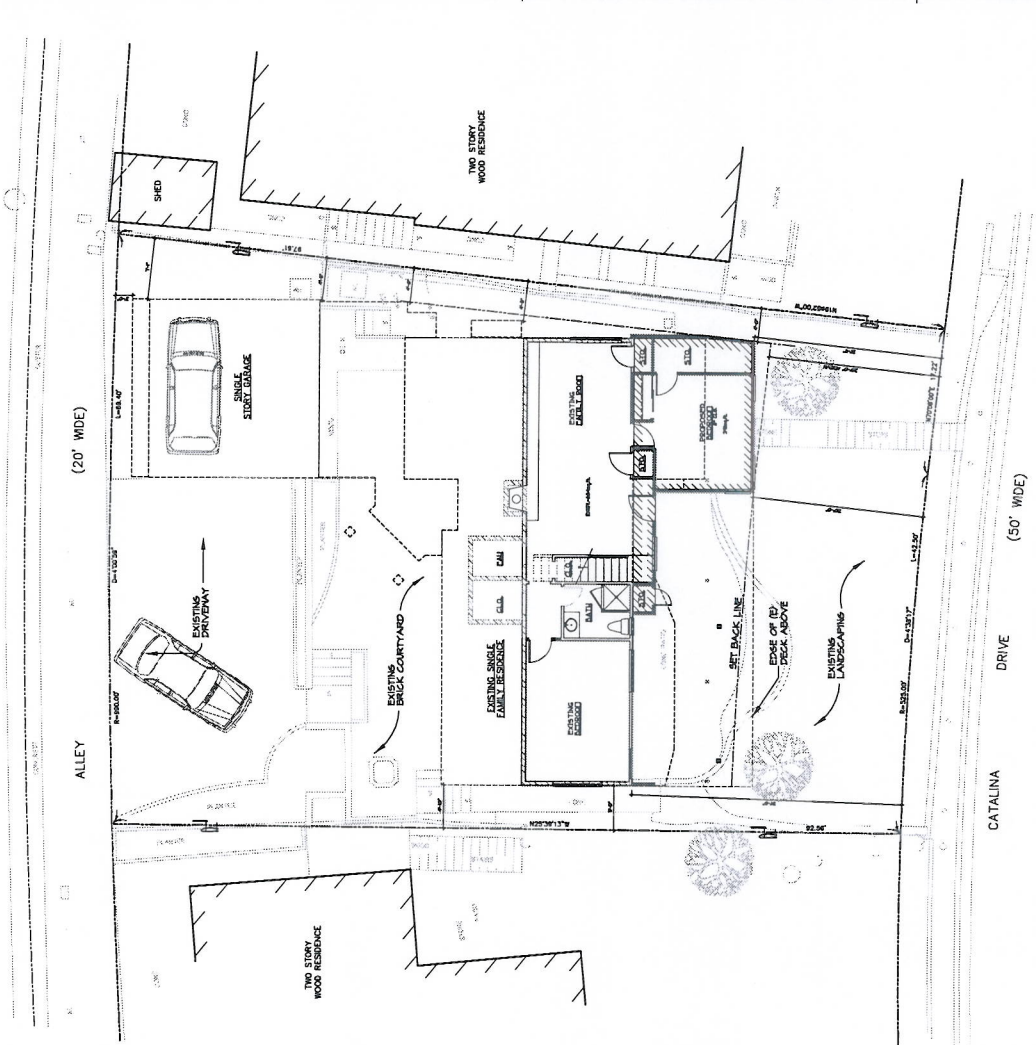


SHIMAJI LASCOLA
structural engineers
18880 Wilshire Blvd., Suite 100
Los Angeles, CA 90025
(949) 770 - 8967 tel
(949) 770 - 9542 fax

DATE: 06/25/2011

NO.	DESCRIPTION	DATE
1	PROGRESS PERM	
2	PLAN CHECK	
3	BD SET	
4	CONSTRUCTION	
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Hamilton Residence
Lot 66 - Tract 1136 ---- 339 Catalina Dr. - Newport Beach, CA



SITE PLAN
SCALE: 1/4" = 1'-0"

General Notes / Site Plan

DATE	06/25/2011
BY	ACK & ROBYN HAMILTON
SCALE	1/4" = 1'-0"
SHEET NUMBER	A1
TOTAL SHEETS	16

PA2011-023 for MD2011-003
339 Catalina Drive
Jack Hamilton

