

**CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

FROM: James W. Campbell, Acting Planning Director

SUBJECT: Report of actions taken by the Zoning Administrator, Planning Director and/or Planning Department staff for the week ending March 25, 2011

ACTIONS TAKEN AT MARCH 24, 2011 ZONING ADMINISTRATOR HEARING

- Item 1: Sanner Residence - Modification Permit No. MD2010-024 (PA2010-169)
440 Mendoza Terrace
- This item was continued to the April 14, 2011 Council District 6
Zoning Administrator Hearing.
- Item 2: Temporary Office Trailers - Limited Term Use Permit No. XP2011-002
(PA2011-039)
2022 Orchard Drive
- This item was approved as modified. Council District 4

ACTIONS TAKEN BY THE PLANNING DIRECTOR OR PLANNING DEPARTMENT STAFF

- Item 3: Substantial Conformance – Staff Approval No. SA2011-001 (PA2011-049)
1245 Bayside Drive
- This item was approved on March 24, 2011 Council District 5

On behalf of James W. Campbell, Acting Planning Director:



Patrick J. Alford, Planning Manager

APPEAL PERIOD: Modification Permit applications do not become effective until 14 days after the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code. Tentative Parcel Map, Condominium Conversion, Lot Merger, and Lot Line Adjustment applications do not become effective until 10 days following the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code.

Email Dana Smith, Assistant City Manager
Leonie Mulvihill, Assistant City Attorney
David Keely, Public Works Senior Civil Engineer
Code Enforcement Division



COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION

3300 Newport Boulevard, Building C, Newport Beach, CA 92663

(949) 644-3200 Fax: (949) 644-3229

www.newportbeachca.gov

ZONING ADMINISTRATOR ACTION LETTER

Application No.	Limited Term Permit (Greater Than 90 Days) No. XP2011-002 (PA2011-039)
Applicant	Korby LLC
Site Address	2022 Orchard Drive Temporary Office Trailers
Legal Description	Tract 706 Lot 71 SELY1/2 -EX SELY 71 FT-

On **March 24, 2011**, the Zoning Administrator approved the following: a limited term permit to allow three modular units to be placed on a vacant commercial office site for the purpose of a small scale landscape architecture office. The units include a temporary office, a storage unit, a lunch/meeting room alongside an additional storage room and will be staffed by two employees. The units would be permitted for 12 months with the possibility of extending placement for an additional 12 months. The property is located in the SP-7 (Santa Ana Heights Specific Plan) District. The Zoning Administrator's approval is based on the following findings and subject to the following conditions.

Findings

- CEQA Compliance:** The project is exempt from environmental review pursuant to Section 15303, Class 3 (New Construction or Conversion of Small Structures) of the Implementing Guidelines of the California Environmental Quality Act.
 - Class 3 exempts up to four commercial buildings not exceeding 10,000 square feet in floor area on sites zoned for such use if not involving the use of significant amounts of hazardous substances where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive.
 - The proposed modular units are roughly 2,000 aggregate square feet and are placed on a site has a General Plan land use designation of CO-G (General Commercial Office) and is in the BP (Business Park) area of the SP-7 (Santa Ana Heights Specific Plan) Zoning District. The proposed office use will not utilize any hazardous substances.
- Finding:** The operation of the requested limited duration use at the location proposed and within the time period specified would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the requested limited duration use.

Facts in Support of Finding:

- The limited duration use will be confined to private property and will operate similarly to a permanent office use consistent with the designated General Plan Land Use of CO-G (General Commercial Office).

- The limited duration of the proposed office use is consistent with the permitted uses of the BP (Business Park) land use designation of the SP-7 (Santa Ana Heights Specific Plan) Zoning District.

3. **Finding:** The subject lot is adequate in size and shape to accommodate the limited duration use without material detriment to the use and enjoyment of other properties located adjacent to and in the vicinity of the lot.

Facts in Support of Finding:

- The subject lot is approximately 8,168 square feet and will be occupied by three modular units to be used as temporary office space.
- The proposed placement of modular units will comply with all applicable regulations of the Santa Ana Heights Specific Plan.

4. **Finding:** The subject lot is adequately served by streets or highways having sufficient width and improvements to accommodate the kind and quantity of traffic that the limited duration use would or could reasonably be expected to generate.

Facts in Support of Finding:

- The subject lot will have direct access from Orchard Drive and the proposed limited duration use is not anticipated to generate an intensification of traffic beyond what a permanent use would generate.
- The limited duration use will be conditioned and reviewed by the Public Works Department to ensure all necessary improvements are made to the subject lot and to mitigate any foreseeable traffic issues.

5. **Finding:** Adequate temporary parking to accommodate vehicular traffic to be generated by the limited duration use would be available either on-site or at alternate locations acceptable to the Zoning Administrator.

Facts in Support of Finding:

- The proposed limited duration use is a small scale administrative office with two employees and is not expected to generate excessive vehicular trips from its clientele.
- The applicant has authorization from the property owner of 20241 Birch Street to utilize three spaces in the lot indicated by attachment "ZA 2 Off-Site Parking Lot".
- The project as conditioned will provide a minimum of three on-site parking spaces.
- The six parking spaces provided (three off-site, three on-site) will sufficiently accommodate the employees and patrons of the proposed limited duration use.

6. **Finding:** The limited duration use is consistent with all applicable provisions of the General Plan, any applicable specific plan, Municipal Code, and other City regulations.

Facts in Support of Finding:

- The subject site is surrounded by properties designated by the General Plan as CO-G (General Commercial Office).
- The subject site abuts three properties designated by the Zoning Code as being within the BP (Business Park) land use area of the SP-7 (Santa Ana Heights Specific Plan) Zoning District.

- The proposed limited duration use is an office use which is consistent with all applicable provisions of the General Plan, Specific Plan, and other City regulations for the subject site.

Conditions

1. The development shall be in substantial conformance with the approved site plan except as noted in the following conditions.
2. Anything not specifically approved by this limited term permit is prohibited and must be addressed in a separate and subsequent review.
3. The limited term permit shall expire 12 months from the finalization of building permits to install the modular units, unless an extension of up to one additional period of 12 months is granted by the Planning Director or his designee.
4. A cash bond in the amount of \$500 for each commercial coach unit shall be posted with the Planning Director to guarantee the removal of each commercial coach unit upon expiration of the limited term permit, unless otherwise approved by the Zoning Administrator.
5. The maximum number of employees on-site shall be limited to four. An increase in this number shall require subsequent, separate limited term permit review.
6. All storage uses identified on the site plan shall remain storage uses and shall not be converted for use as office space.
7. Prior to issuance of building permits, the design of the three required on-site parking spaces shall be provided subject to review and approval of the City Traffic Engineer and the Public Works Department.
8. Setbacks for any temporary building, wall, fence or storage area shall be 10 feet from the property line abutting Orchard Drive.
9. Prior to final of the building permits, an opaque wall or fence shall be constructed at 6 feet in height along the side property line and at 6 feet in height minimum, 8 feet in height maximum along the rear property line, measured from the highest adjacent finished grade of the subject site.
10. Prior to final of the building permits, a landscape and irrigation plan shall be reviewed and approved by the Planning Director. Landscaping in this area shall screen from view temporary buildings and storage areas visible from the public right-of-way. The landscaping shall be consistent with the Design Guidelines of Section 20.90.020 of the Newport Beach Municipal Code.
11. All lighting shall be designed such that is consistent with the standards specified in Outdoor Lighting – Section 20.30.070 of the Newport Beach Municipal Code.
12. All public utility wires and lines shall be undergrounded within the 10-foot setback area adjacent to Orchard Drive where undergrounding of utilities exists. Connections to existing utility poles will be allowed temporarily until such time as undergrounding of utilities within the street is implemented.
13. An all-weather surface (e.g., asphalt, concrete or other approved material) at least four inches thick shall be provided for all storage areas including storage areas for equipment, materials, and vehicles.

14. The height of vehicles, equipment or materials stored on the subject property shall not exceed 10 feet and structures and commercial coaches shall not exceed 16 feet. In all cases, the height of vehicles, equipment, materials, structures and commercial coaches shall not exceed 6 feet if within 10 feet of the perimeter wall or fence.
15. Commercial operation shall occur only between the hours of 7 a.m. and 10 p.m., to ensure compatibility with surrounding land uses.
16. A building permit shall be obtained prior to commencement of the use of the modular units.
17. Prior to issuance of building permits, a copy of this approval letter shall be incorporated into the Building Division and field sets of plans.
18. This approval was based on the particulars of the individual case and does not, in and of itself or in combination with other approvals in the vicinity or Citywide, constitute a precedent for future approvals or decisions.
19. Prior to issuance of building permits, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the limited term permit file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this limited term permit and shall highlight the approved elements such that they are readily discernible from other elements of the plans.
20. The site plan shall be revised such that the wheel stop and signage shall not be located within the vehicle path area.
21. A minimum of 10 feet clear area shall be provided between the ADA (Americans with Disabilities Act) stall and planting area to allow vehicles to pass when necessary. The surface of said area shall be driveable, unless otherwise approved by the Building Division or the City Traffic Engineer.
22. A new driveway shall be installed per City Standard. Driveway approach shall be 5 feet clear of power poles, utility boxes and vaults and is subject to review by the City Traffic Engineer.
23. Low ground cover with a maximum height of 24 inches shall be installed in the parkway area between the two driveways.
24. If any of the existing public improvements surrounding the site are damaged by private work, new concrete sidewalk, curb and gutter, street pavement, and other public improvements will be required by the City at the time of private construction completion. Said determination and the extent of the repair work shall be made at the discretion of the Public Works inspector.
25. All work performed within the public right-of-way shall be reviewed and approved by the Public Works Department under an encroachment permit/agreement, if required.
26. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Temporary Office Trailers** including, but not limited to, the **Limited Term Permit (Greater Than 90 Days) XP2011-002, PA2011-039**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by

applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

27. This approval shall expire unless exercised within 24 months from the approval date, as specified in Section 20.93.050 (A) of the Newport Beach Municipal Code. Prior to the expiration date of this approval, an extension may be approved in accordance with Section 20.93.050 (B) of the Newport Beach Municipal Code. Requests for an extension must be in writing.

APPEAL PERIOD: Limited Term Permit applications do not become effective until 14 days after the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

By: 
Gregg Ramirez, Zoning Administrator

GR/bmz

Attachments: ZA 1 Vicinity Map
ZA 2 Site Plan
ZA 3 Off-Site Parking Lot

VICINITY MAP

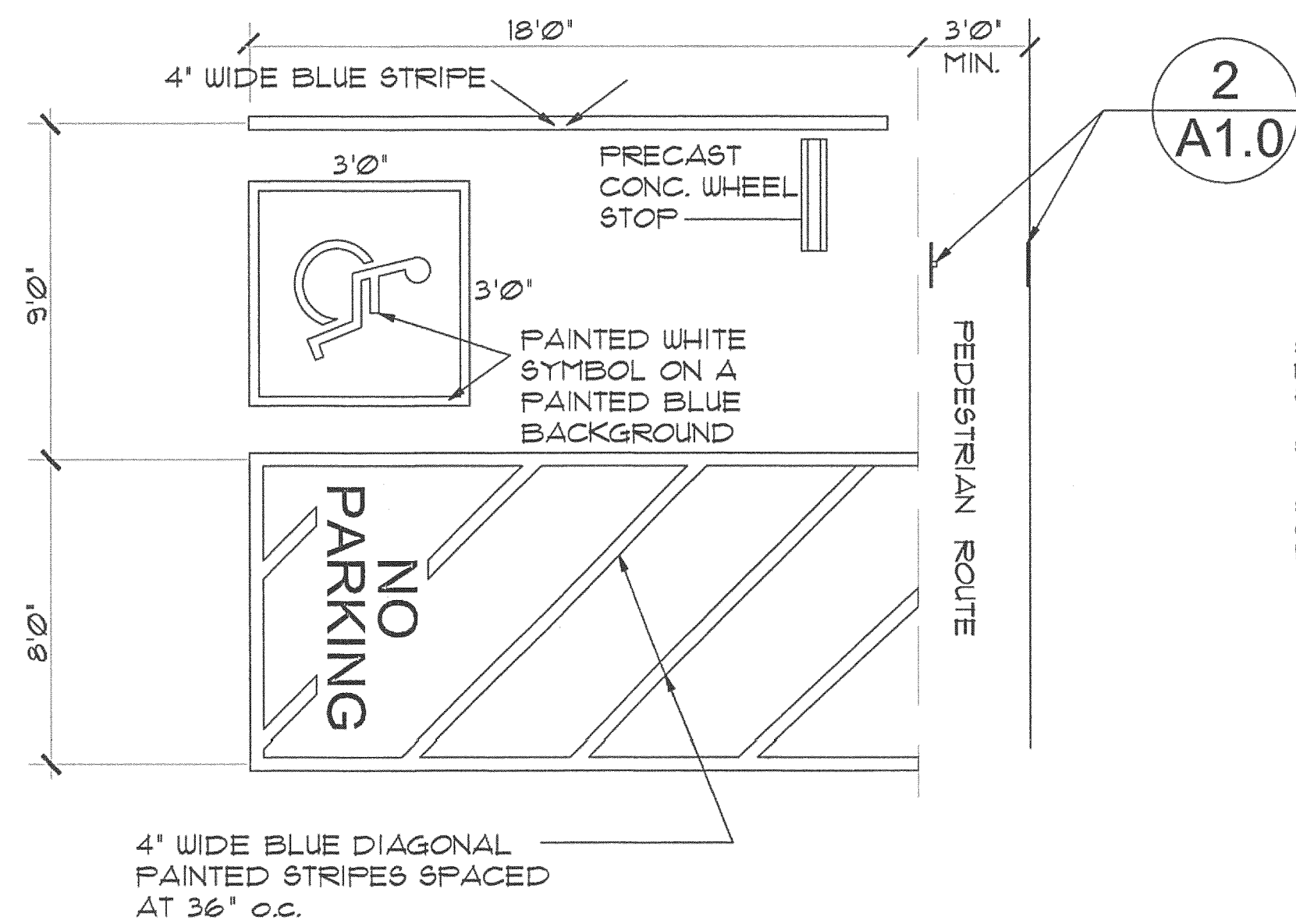


Limited Term Permit (Greater Than 90 Days) No. XP2011-002
PA2011-039

2022 Orchard Drive

Attachment No. ZA 2

Site Plan



ACCESSIBLE
PARKING

N.T.S.

5

ACCESSIBLE
PATH SIGN

N.T.S.

4

ACCESSIBLE
ENTRY SIGN

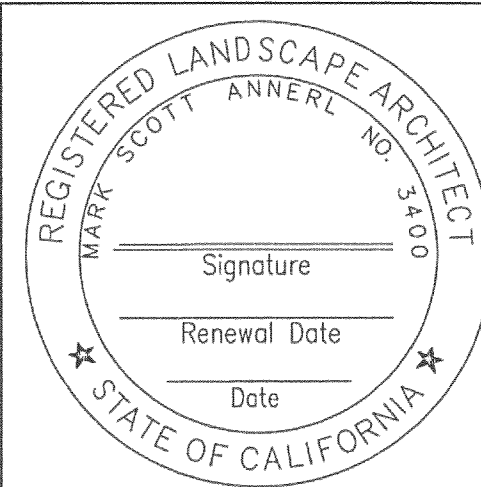
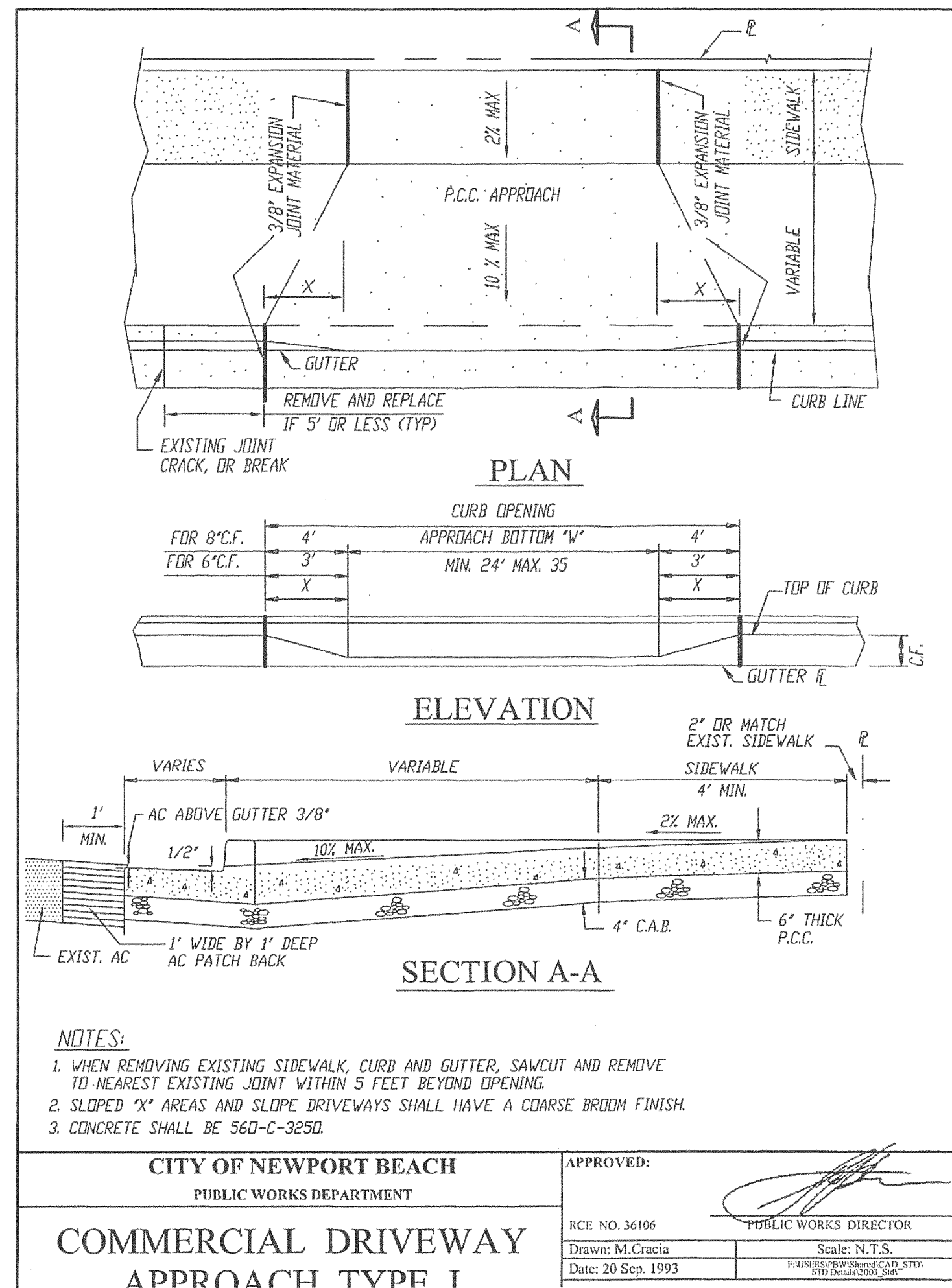
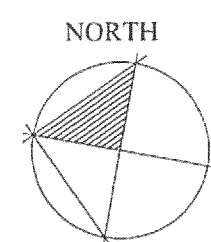
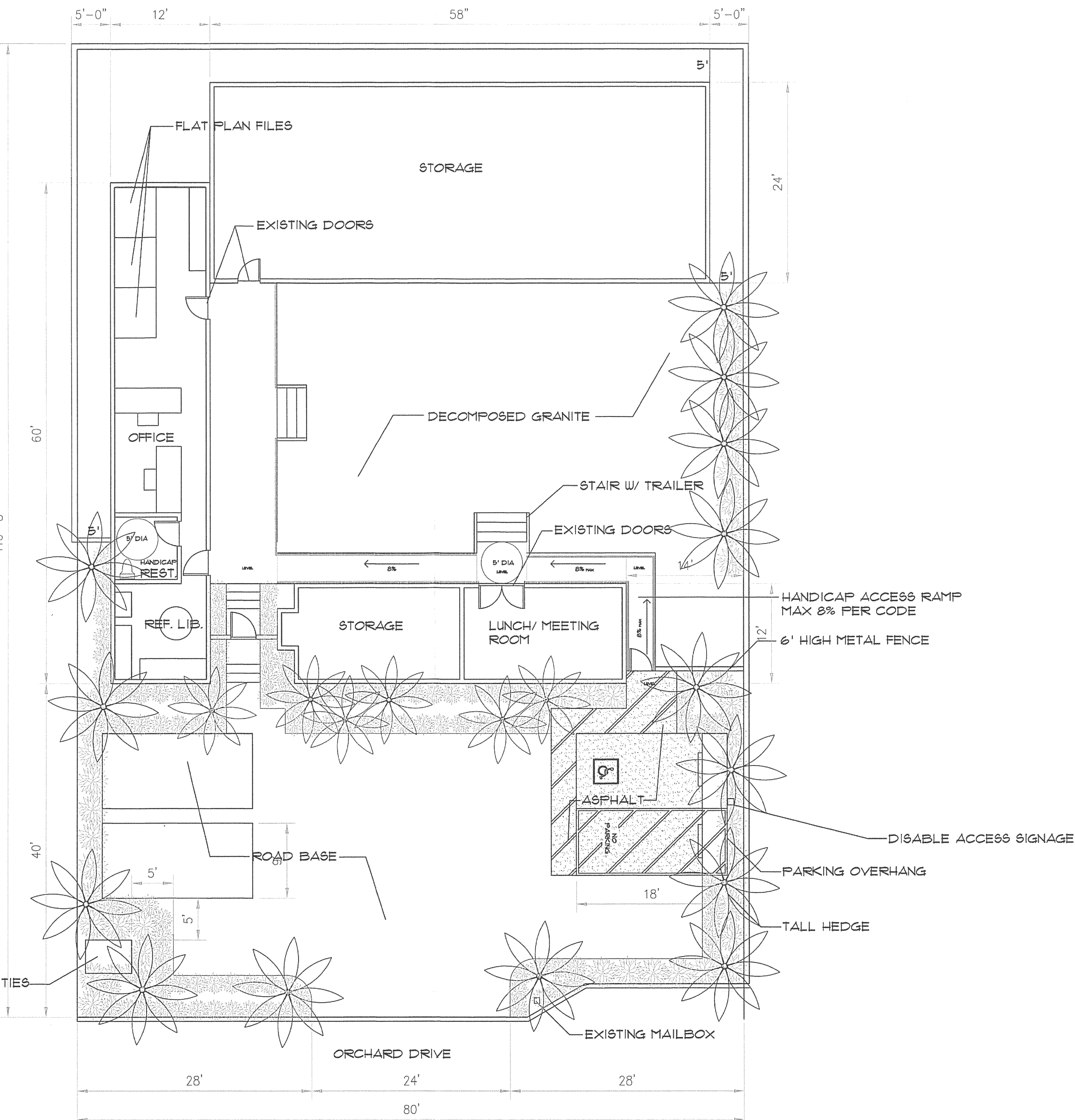
N.T.S.

3

ACCESSIBLE
PARKING SPACE

N.T.S.

2



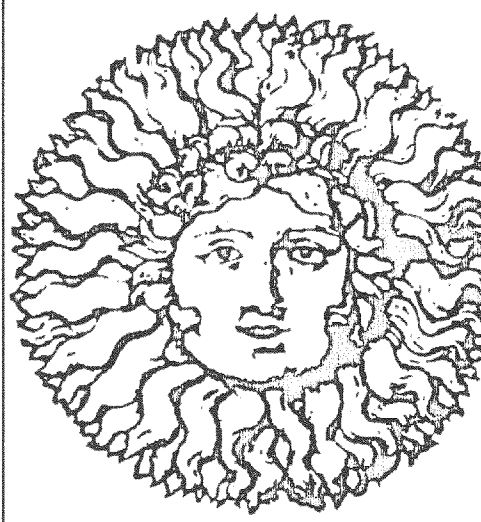
ALL DRAWINGS, DESIGNS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF MARK SCOTT ASSOCIATES AND THE SAME SHALL NOT BE DUPLICATED, USED, OR ASSIGNED TO ANY THIRD PARTY WITHOUT THE WRITTEN CONSENT OF MARK SCOTT ASSOCIATES.

NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		

PROJECT INFORMATION:

KORBY LLC

2022 ORCHARD DR
NEWPORT BEACH, CA 92660



MSA

MARK SCOTT ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
STATE LICENSE # 5400

2022 ORCHARD DRIVE
NEWPORT BEACH, CA 92660
T: (949) 852-1727
F: (949) 852-1821

SHEET DESCRIPTION

SITE
BASE PLAN

DESIGNED MSA
DRAWN JJ
CHECKED MSA
DATE 2.21.11
JOB NO.
SCALE 1/8" = 1'-0"
SHEET NUMBER

L-XXX

SHEET 1 OF 1

Attachment No. ZA 3

Off-Site Parking Lot





COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION

3300 Newport Boulevard, Building C, Newport Beach, CA 92663

(949) 644-3200 Fax: (949) 644-3229

www.newportbeachca.gov

PLANNING DIRECTOR ACTION LETTER

Application No.	Staff Approval No. SA2011-001 (PA2011-049)
Applicant	David Perrin
Site Address	1245 Bayside Drive Substantial Conformance with Use Permit No. 521
Legal Description	Tract 8917 Lot 1 Unit 210 FB RB CP1 of Project Located on AP 50-391-09

On **March 24, 2011**, the Planning Director approved the following: a determination that a proposed addition within a garage to accommodate an elevator/lift between the first and second-story level of a condominium unit and the reduced parking space dimension that results is in substantial conformance with Use Permit No. 521, approved May 21, 1959. The attached condominium units were permitted with one covered and one uncovered parking space for each unit. The property is located in the RM (Multi-Unit Residential) District. The Planning Director's approval is subject to the following finding and conditions:

Findings

1. **Finding:** That the proposed elevator/lift addition is in accord with the objectives of the Newport Beach Municipal Code (NBMC), Use Permit No. 521, and the purposes of the district in which the site is located.

Facts in Support of Finding:

- The subject property is located within a condominium development regulated by the approval of Use Permit No. 521.
- Use Permit No. 521 establishes a parking requirement of one covered parking space and one uncovered parking space per dwelling unit for the development.
- The applicant's dwelling unit currently provides two enclosed spaces within a garage and one uncovered parking space adjacent to the garage.
- The proposed addition will be constructed such that it encroaches into one of the existing garage spaces reducing the number of covered parking spaces from two to one.
- The remaining covered parking space will meet the minimum required interior dimension for parking spaces as specified by Section 20.40.90 of the NBMC.

- The remaining parking of one covered space within a garage and one uncovered parking space will satisfy the parking requirement established by Use Permit No. 521.

Conditions

1. The development authorized by this staff approval shall be in substantial conformance with the approved project plans.
2. A building permit shall be obtained prior to commencement of the construction.
3. Prior to the issuance of building permits, the applicant shall provide written approval from the Homeowners' Association acknowledging the reduction in the dimension of the garage parking spaces and blue-line the approval into the submitted plans.
3. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Substantial Conformance with Use Permit No. 521** including, but not limited to, the **Staff Approval No. SA2011-001 (PA2011-049)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD: The applicant or any interested party may appeal the decision of the Planning Director, Zoning Administrator and department staff to the Planning Commission by a written request to the Planning Director within 14 days of the action date. A \$4,280.00 filing fee shall accompany any appeal filed. For additional information on filing an appeal, contact the Planning Department at 949 644-3200.

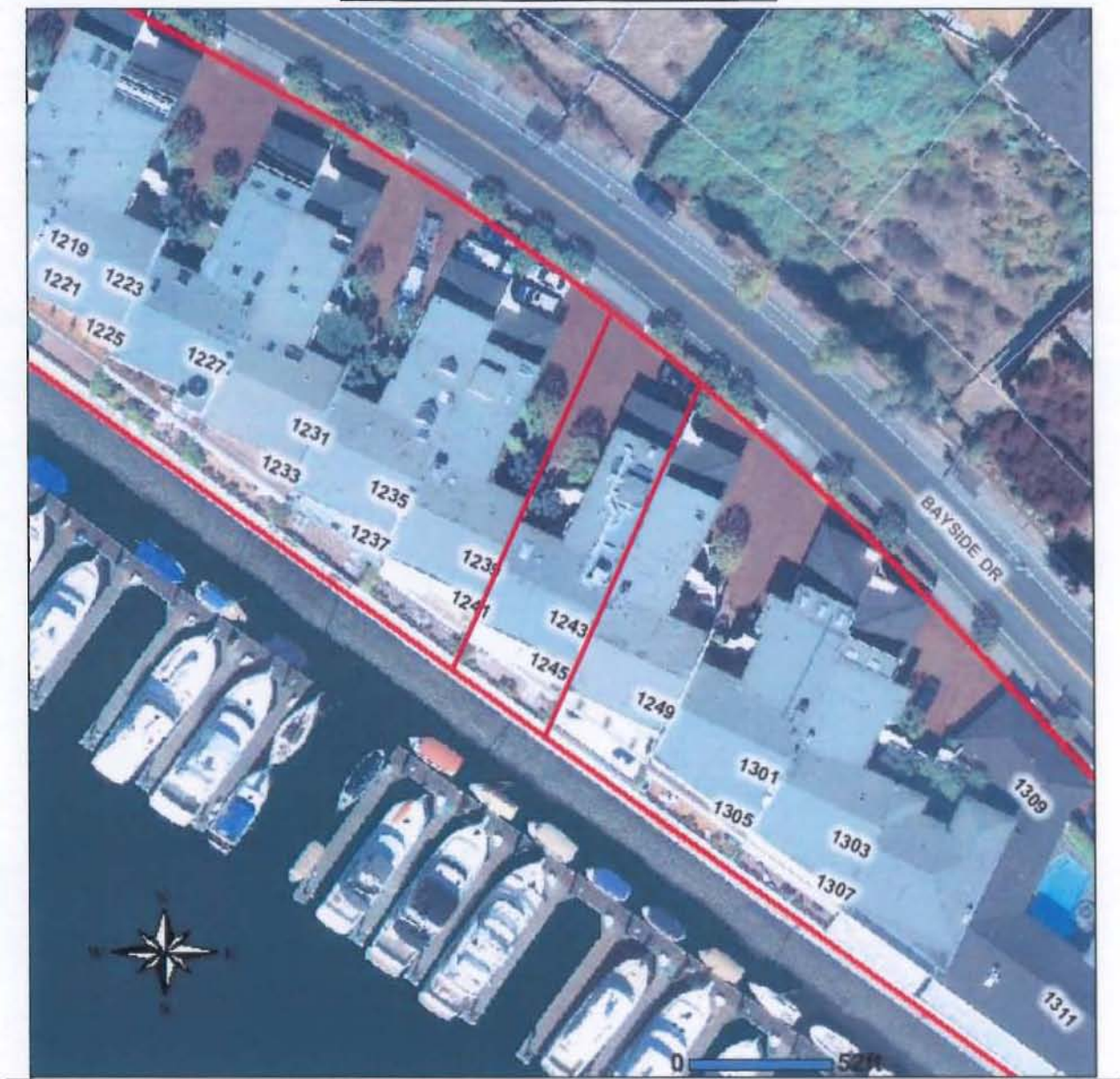
On behalf of James W. Campbell, Acting Planning Director

By: 
Benjamin M. Zdeba, Planning Technician

GR/bmz

Attachments: PD 1 Vicinity Map
PD 2 Use Permit No. 521
PD 3 Building Permit No. 25744 issued Sept. 8, 1960
PD 4 Plans

VICINITY MAP



Staff Approval No. SA2011-001
PA2011-049

1245 Bayside Drive

Attachment No. PD 2

Use Permit No. 521

IF GRANTED, NOT EFFECTIVE
UNTIL 15 DAYS AFTER DATE
OF GRANT

USE PERMIT APPLICATION
ORD. NO. 635 SECT. NO. _____
CITY OF NEWPORT BEACH

NO. 521

DATE: _____

INSTRUCTIONS: (Read Carefully) The Applicant or his legal representative must be present at all public hearings. Fill out this application completely. It must be accompanied by four copies of a plot plan to scale, and with correct dimensions, showing in detail all boundaries, existing buildings, proposed alterations and additions. The Applicant must sign conditions of Use Permit, if any, within thirty days after granting. Application shall be revoked if not used within eighteen months from date of approval.

1. Paul B. Fischer & The Irvine Co. 1200 Bayside Drive
Applicant Address Involved
Portion of Lot 2
2. LOT 3 & 4 BLOCK _____ SECTION _____ TRACT 3232 ZONE C-1-H & R-3
3. DATE OF HEARING May 21, 1959 TIME 8:00 P.M.
4. Application is hereby made for a Use Permit from Section _____ to permit:
Construction of 34 dwelling units in an R-3 and C-1-H Zone.

There are _____ sheets attached to and made a part of this Application. I hereby certify that the foregoing statements, maps, drawings, plans and specifications attached hereto are true and correct. If granted this Use Permit will not adversely affect persons residing or working in the neighborhood. I further consent to any permit issued in reliance thereon being null and void in the event they are not true and correct.

[Signature] 1523 Melvin Drive OR. 38533
Signature of Owner or Applicant Home Address Phone

FOR DEPARTMENTAL USE ONLY

PLANNING COMMISSION ACTION

In accord with Section _____ A Use Permit is hereby granted the above Applicant subject to requirements of all governmental agencies having jurisdiction and subject to the following:

One covered parking space and one uncovered parking space must be provided for each dwelling unit.

The undersigned hereby agrees to all the above conditions.

[Signature]
Signature of Grantee

FINDINGS OF PLANNING COMMISSION: It was determined by the Commission that the granting of this use permit would not be detrimental to persons residing or working in the neighborhood and approval was recommended, subject to the above condition.

DENIED-

GRANTED- By City Planning Commission
on the 21 day of May 19 59.

DENIED-

GRANTED- By the City Council on the _____ day of _____ 19 _____

[Signature]
Ray Y. Copelin, Secretary
Newport Beach City Planning Commission

[Signature]
Margery Schrouder, City Clerk
Newport Beach, California

Use Permit # 521

Attachment No. PD 3

Building Permit No. 25744 issued Sept. 8, 1960

OWNER HARBORLAND DEVELOPMENT CO.				DATE 9-3-60		BLDG. \$ 465.50	
JOB 1201				PERM. No.			
ADDRESS 1200 Bayside Drive				25744			
BUILDER K.W. Koll				VAL. \$ 350,000.00		P.C. \$ 232.75	
LOT 2 Por of 2		BLOCK		TRACT 3232		TOTAL \$ 698.25	
ZONE R-3		FIRE DIST. 3		GROUP II		TYPE V	
22 unit apartment.				Plan check fee paid 12-15-59#21883			
* Note comments on reverse side				U. P. No. 521 *			
Building Inspections		Insp.	O.K. Date	Sub-Contractors		PERMITS	
						Date	No.
Pr. P. <input type="checkbox"/>	Un. Gr. <input checked="" type="checkbox"/>		11-23-60	Elect. [unclear]		10-24-60	26324
Soil <input checked="" type="checkbox"/>	Ground			Plmbg. P.O. [unclear]		10-28-60	26458
Trench	Ground			Sewer [unclear]		1-23-61	27506
Sewer	Ground			Heating [unclear]		12-20-60	27167
Heating	Ground			Chimney [unclear]		11-22-60	26799
Waterpipe	Ground			Lath [unclear]		2-10-61	27853
Gas Pipe	Ground			Plaster [unclear]		2-10-61	27850
Elect.	Ground			Sprinkler [unclear]			
Steel Reinf.				O.K. Edison 11 15 60			
Foundation				Temp Elec - 4 Bldgs		5-1-61	29054
Underpinning				Cert. of Occup.		10-9-61	346

Rough Plumbing	2-2-61	Final - Elect.	2-2-61
Rough Gas Pipe	2-2-61	Final - Plumbing	2-2-61
Rough Heating	2-2-61	Final - Gas	2-2-61
Rough Ventilation	2-2-61	Final - Heating	2-2-61
Rough Elect.	2-2-61	Final - Ventil.	2-2-61
Gas Service	2-2-61	Job Complete	2-2-61
Chimney			
Framing	2-2-61		
Masonry - Concrete			
Band Beam Steel			
Lath - Ext. (1412)	2-2-61		
Lath - Int.	2-2-61		
Gas - Temp.			

SIGNS

Excavation
Frame
Conn. Members
Support
Floor - If Any
Job Complete

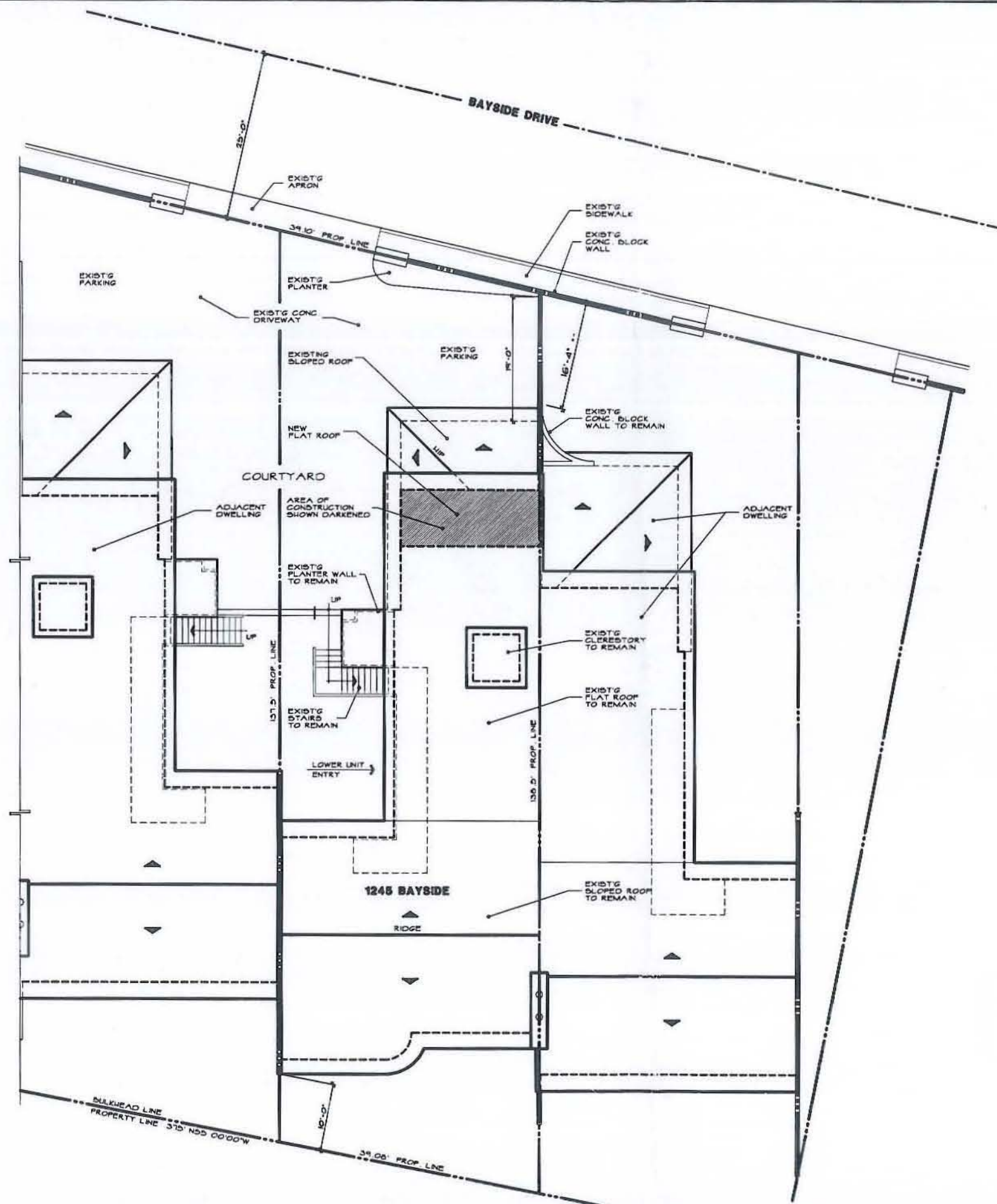
Edison Co. 5-24-61 - add meter 4' 11" 11" 4' meters - Apr. 1201-1209, 1200 1204
COMMENTS: C. R. to Edison Co. 5-2-61 So. Cos. Gas. Co. 5-31-61 18 meters 5-4-61

5-21 approved 5-21-59 permits 10' front yard setback. A 4' setback must be maintained on each side yard.
5-21 approved 5-21-59 permits the construction of 34 units in an R-3 and C-1 Zone.

1 COB. 3 FRONT PL. 10 10 100 5-13-61 1000 1000
0.50 1000 1000 1000 1000 1000 1000 1000 1000 1000

Attachment No. PD 4

Plans



GENERAL DATA

PROJECT DESCRIPTION
ADDITION AND REMODEL TO THE EXISTING
SINGLE FAMILY RESIDENCE

OCCUPANCY — R-3 / U1

CONSTRUCTION TYPE — 3-B

ALL RELATED WORK SHALL CONFORM TO THE

2007 EDITION OF THE C.B.C.
2007 EDITION OF THE C.M.C.
2007 EDITION OF THE C.P.C.
2007 EDITION OF THE C.E.C.
2006 T24-S ENERGY CODE

PROPERTY ADDRESS
1245 BAYSIDE DRIVE
CORONA DEL MAR, CA 92625

LEGAL DESCRIPTION
TRACT 8917, LOT 1, UNIT 210
COUNTY OF ORANGE
ASSESSORS PARCEL NO. 934-54-029

LEGAL OWNER
DMS TRUST, DAVID FERRIN, TRUSTEE
1245 BAYSIDE DRIVE
CORONA DEL MAR, CA 92625

PLANNING DATA

EXISTING AREAS

LIVING SPACE : 1,915 SQ. FT.
GARAGE : 380 SQ. FT.
TOTAL EXISTING : 2,335 SQ. FT.

PROPOSED AREAS

LIVING SPACE : 171 SQ. FT.
GARAGE : 0-0 SQ. FT.
TOTAL ADDITION : 171 SQ. FT.

TOTAL BUILD-OUT AREAS

LIVING SPACE : 2,155 SQ. FT.
GARAGE : 380 SQ. FT.
TOTAL BUILDING : 2,535 SQ. FT.

SHEET INDEX

SITE PLAN : A1
FLOOR PLANS : A2
EXTERIOR ELEVATIONS : A3

PA2011-049 for SA2011-001
1245 Bayside Drive
David Perrin

SITE PLAN



MICHAEL NEHALICK DESIGN
828 A MAIN STREET
MUNTINGTON BEACH, CA 92848
17161 374-2050
17161 374-2180 FAX

PROJECT TITLE : A REMODEL TO:
1245 BAYSIDE DRIVE

SHEET TITLE : SITE / ROOF PLAN
PLANNING DATA

DATE: 3/15/11

DRAWN BY:

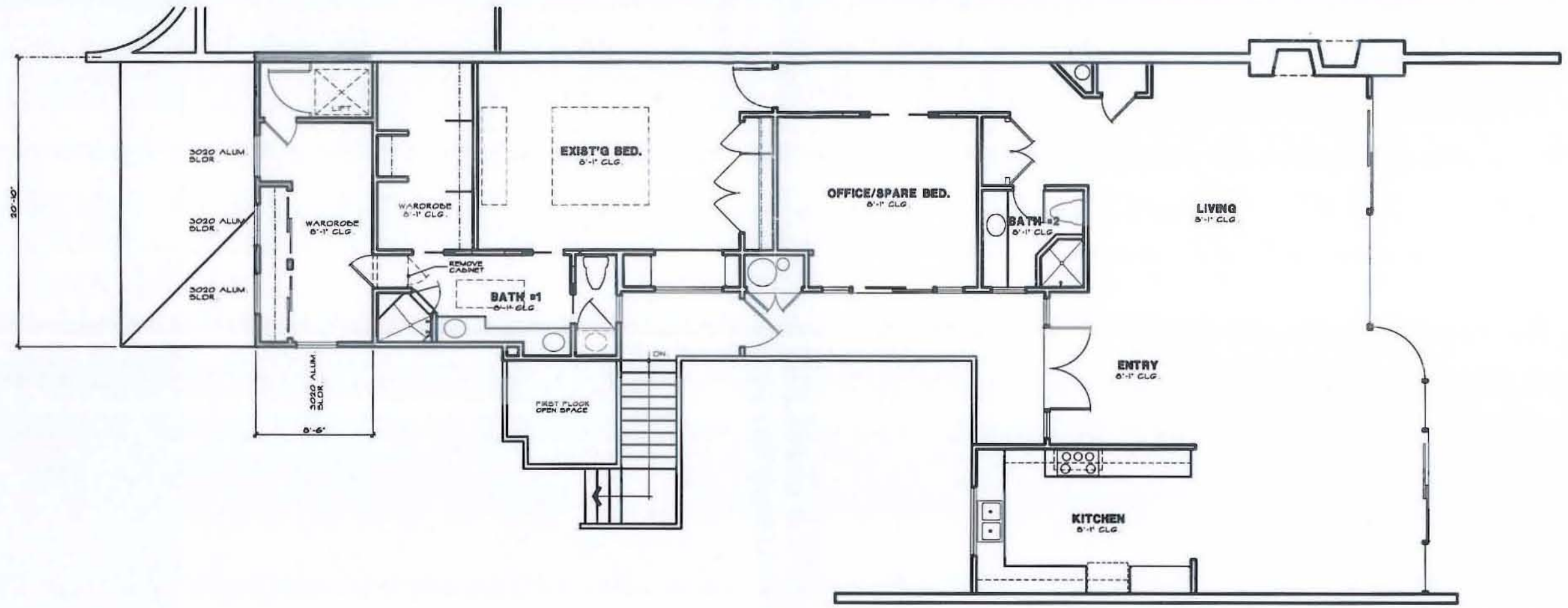
JOB NO. 211

REVISION
DATE

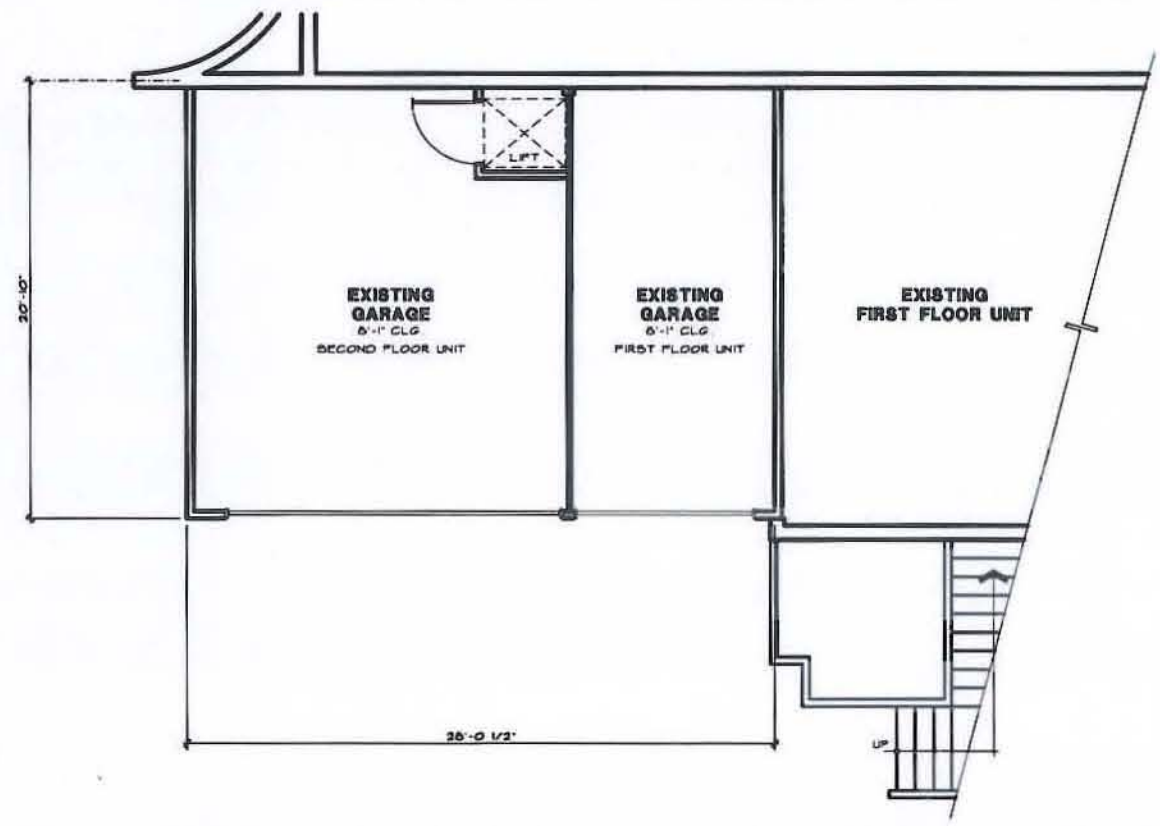
REVISION
DATE

REVISION
DATE

SHEET NO.
A1
OF 3 SHEETS



SECOND FLOOR PLAN



PARTIAL FIRST FLOOR PLAN

GENERAL PLAN NOTES

1. DIMENSIONS NOTED WERE FIELD MEASURED TO EXISTING WALL FINISHES. CONTRACTOR SHALL VERIFY DIMENSIONS OF THE BUILDING PRIOR TO START OF ANY WORK AND MAKE ADJUSTMENTS AS REQUIRED TO ALIGN NEW CONSTRUCTION WITH EXISTING AS INDICATED ON THE PLANS. REGARDLESS OF DIMENSION NOTED AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES. DIMENSIONS NOTED SHALL TAKE PRECEDENCE OVER SCALE.

WALL LEGEND

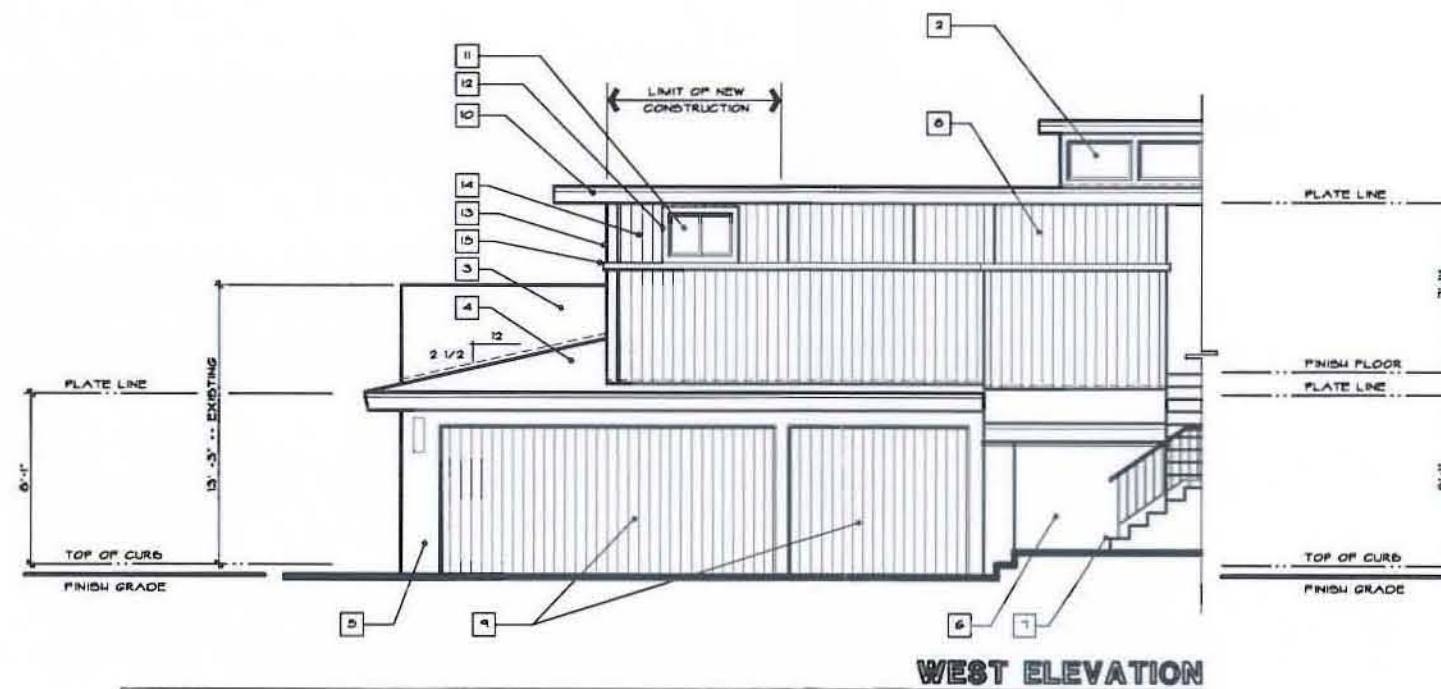
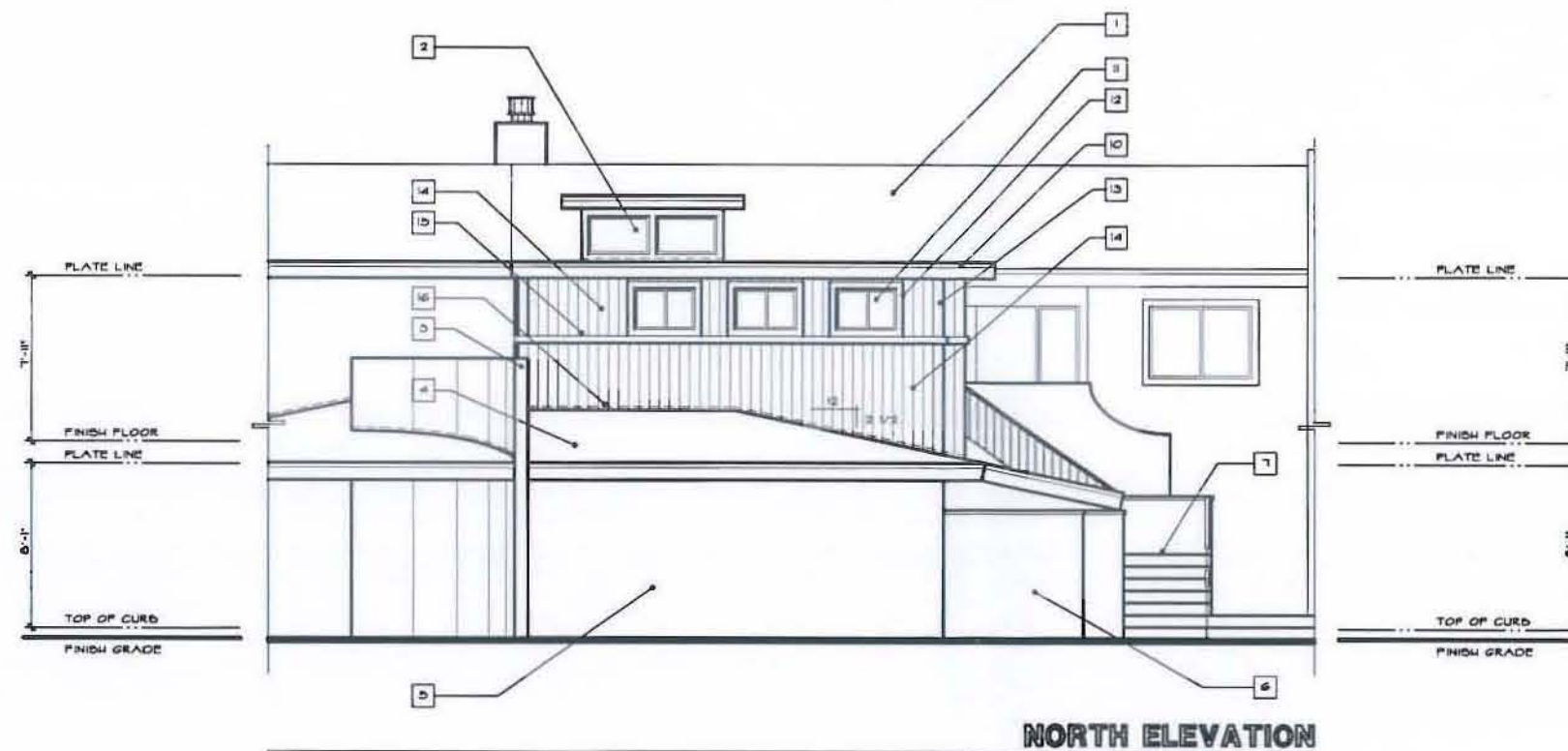
- EXISTING WALL TO REMAIN
- - - - - EXISTING WALL TO BE REMOVED
- NEW WALL (2X4 STUDS AT 16" O.C. TYPICAL) (2X6 STUDS AT 16" O.C. WHERE NOTED). COVER INTERIOR SIDE WITH 1/2" OR 5/8" GYP. BOARD PER INTERIOR FINISH SCHEDULE AND REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR FINISH AND NOTED.



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PROJECT TITLE: A REMODEL TO: 1245 BAYSIDE DRIVE
SHEET TITLE: FLOOR PLANS
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ELEVATION NOTES

- 1 EXISTING ROOF BEYOND.
- 2 EXISTING CLERESTORY TO REMAIN.
- 3 EXISTING BLIMP BLOCK PARTYWALL TO REMAIN.
- 4 EXISTING SHAKE ROOF TO REMAIN.
- 5 EXISTING STUCCO FINISH TO REMAIN.
- 6 EXISTING PATIO WALL TO REMAIN.
- 7 EXISTING STEPS TO REMAIN.
- 8 EXISTING PAINTED WOOD SIDING TO REMAIN.
- 9 EXISTING GARAGE DOORS TO REMAIN.
- 10 2X PASCIA AND/OR BARGE (VERIFY EXACT EXISTING DIMENSIONS AND MATCH). PROVIDE GUTTERS AND DOWN SPOUTS TO MATCH EXISTING.
- 11 NEW WINDOW PER PLAN MATCHING EXISTING.
- 12 WOOD TRIM SURROUNDS - MATCH EXISTING.
- 13 CORNER BOARDS - VERIFY AND MATCH EXISTING.
- 14 TEXTURE 1-11 5/8" EXTERIOR GRADE STRUCTURAL 1 PLYWOOD OVER (1) LATER 15# BUILDING PAPER - (MATCH SPACING OF GROOVES WITH THAT OF EXISTING).
- 15 WOOD TRIM WITH 2" FLASHING MATCHING EXISTING.
- 16 24 GA. MN. G.I. FLASHING AT ROOF TO WALL.

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A3

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EXTERIOR ELEVATIONS

SCALE 1/4"=1'-0"

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