CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION ACTION REPORT
Amended 08/11/2011

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

FROM: Kimberly Brandt, Community Development Director

SUBJECT: Report of actions taken by the Zoning Administrator and/or Planning Division staff for the week ending August 5, 2011.

ACTIONS TAKEN BY THE COMMUNITY DEVELOPMENT DIRECTOR OR PLANNING DIVISION STAFF

Item 1: Perlmutter Sign Program – Comprehensive Sign Program No. CS2011-003 (PA2011-060)
2540 & 2542 West Coast Highway and 106 & 110 Tustin Avenue

This item was approved on August 3, 2011 Council District 3

Item 2: Hoag Health Center Signs – Amendment No. 1 to CS2008-010 (PA2011-126)
500 Superior Avenue

This item was approved on August 5, 2011 Council District 2

Item 3: Substantial Conformance with Use Permit No. UP2004-003 - Staff Approval No. SA2011-017 (PA2011-140)
707 East Balboa Boulevard (Balboa Performing Arts Theater)

This item was approved on August 5, 2011 Council District 1

On behalf of Kimberly Brandt, Community Development Director

Patrick J. Alford, Planning Manager

APPEAL PERIOD: The applicant or any interested party may appeal the decision of the Community Development Director and division staff to the Planning Commission by submitting a written appeal application to the Community Development Director in accordance with the provisions of the Newport Beach Municipal Code. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.
contact the City Clerk at 949 644-3005.

ZONING ADMINISTRATOR ACTION LETTER

PLANNING DEPARTMENT
3300 NEWPORT BOULEVARD
NEWPORT BEACH, CA 92663
(949) 644-3200 FAX (949) 644-3229

Application No.	**Comprehensive Sign Program No. CS2011-003 (PA2011-060)**
Applicant	**Laghini of Southern California, LLC**
Site Address	**Perlmutter Sign Program** **2540 & 2542 West Coast Highway and 106 & 110 Tustin Avenue**
Legal Description	**Lot 16, Tract 01133**

On **August 3, 2011**, the Zoning Administrator approved the following: A Comprehensive Sign Program for the Perlmutter property that includes six wall signs (two existing), one canopy sign, a projecting sign, and entry door signs.

The property is located in the MU-MM Zoning District (Mixed-Use-Mariner's Mile). A Comprehensive Sign Program is required when three or more tenants are located on the same lot and is a mechanism to request, as in this case, an additional number of signs. The Zoning Administrator's approval is based on the following findings and subject to the following conditions:

FINDINGS

1. The Land Use Element of the General Plan designates the site for "Mixed Use Horizontal" (MU-H1) land use. The building contains commercial uses consistent with the MU-H1 land use designation and the signs are accessory to the primary use of the building.

2. This project has been reviewed, and it has been determined that it is categorically exempt from the requirements of the California Environmental Quality Act under Class 11 (Accessory Structures). This class exempts construction, or placement of minor structures accessory to (appurtenant to) existing commercial, industrial, or institutional facilities, including but not limited to on-premise signs.

3. The proposed sign program is consistent with the legislative intent of Title 20, Chapter 20.42 (Sign Standards) of the Newport Beach Municipal Code with regard to the sign regulations based on the following reasons:

- Chapter 20.42 of the Newport Beach Municipal Code requires comprehensive sign programs for multi-tenant sites to establish a comprehensive and cohesive set of sign parameters while allowing flexibility to achieve a higher quality design presentation while avoiding inappropriate signage that could impact the neighborhood or City.

- The sign program as presented and approved is consistent with the purpose and intent of Chapter 20.42 of the Newport Beach Municipal Code.

- The property contains a single-story, multi-tenant building with two frontages visible from Tustin Avenue and one from West Coast Highway. Due to the amount of visibility on multiple sides and the frontage on Coast Highway, additional tenant signs will provide enhanced convenience and visibility for visitors to the property.

- The projecting sign shared by the tenants will provide enhanced tenant identification as well as direction to the parking and entrances to vehicles and pedestrians on Coast Highway. The design of the building is such that the main tenant occupies the spaces adjacent Coast Highway giving the other tenants no room for identification without the projection sign. A monument or pylon sign would not be a favorable choice as there is minimal space along the sidewalk on Coast Highway.

- The maximum copy area of the shared projecting sign creates flexibility for the owner to allow the tenants to advertise using different sized signs with a total of 60 square feet of copy area to be shared by all tenants. Where Section 20.42.080.F. allows 20 square feet per primary frontage for a projection sign, this Sign Program allows the tenants to share each of their 20 square feet between them totaling 60 square feet maximum allowable copy area for all signage on the projection sign.

- The proposed sign program will not interfere with sight distance from any street, alley, or driveway as no signs are proposed in the public right-of-way. The projecting sign projects over the sidewalk but within the subject property and meets the minimum requirements of clearance above the sidewalk per Section 20.42.080. F. and Building Code requirements.

- The approved Comprehensive Sign Program will integrate all the project's signs into a single design theme that will create a unified architectural statement and limit the number, location and the overall size and area of signs on building wall facades and awnings. The architecture of the building coupled with the glass facade creates unique circumstances that require the location of signage to be on walls that are available and on a projection sign which offers identification for the tenants. There would be no room for a freestanding project identification sign along Coast Highway. A project identification sign is necessary for this multi-tenant building.

- There is a reasonable need for the number, location, type, and size of signs located on the indicated building frontages to provide adequate identification and to direct pedestrian and vehicular traffic to the property.

CONDITIONS

1. New signs are limited to the designated building facades and/or street frontages and shall comply with the limitations specified in the Perlmutter Sign Program Table Matrix.

2. The Perlmutter Sign Program (CS2011-003) replaces the existing Sign Program for 2450-2542 W. Coast Highway and 106 and 110 Tustin Avenue (CS2007-003). All of the conditions and the sign matrix of CS2007-003 shall become null and void.

3. The sign area shall be measured by two perpendicular sets of parallel lines that surround the proposed copy area of each sign.

4. Anything not specifically approved by this Comprehensive Sign Program is prohibited. Revisions to the program may be approved by the Planning Division if the intent of the original approval is not affected. Revisions that substantially deviate from the original approval must be addressed in a separate and subsequent amendment to this Comprehensive Sign Program.

5. Any future revisions or changes to the signs approved by this Comprehensive Sign Program due to a change in the use or tenants of the building shall be reviewed and approved by the Planning Division, so long as the sign size, copy configuration and number of signs authorized by this approval does not substantially change or increase. The mandatory reduction or elimination of nonconforming signs shall be exercised as necessary.

6. A building permit shall be obtained prior to commencement of installation of the signs. The roof sign for "Rolfs Wine" at 110 Tustin Avenue facing the parking lot, Frontage C, must be removed as a part of this building permit as roof signs are prohibited by Chapter 20.42 and this sign was installed without benefit of proper permits or approval. The Perlmutter Sign Program allows for a wall sign at 110 Tustin Avenue (Frontage C) to be placed on the wall and not to exceed 25.5 square feet per the approved Sign Matrix. In no circumstance shall any sign approved by the Perlmutter Sign Program be issued a building permit without the removal of the roof sign for "Rolfs Wine".

7. The Community Development Director or the Zoning Administrator may add to or modify conditions of this approval, or revoke this approval upon a determination that any sign that is authorized by this approval has been altered beyond the parameters of the authorization and therefore beyond the justification.

8. The projecting sign (Sign A1) is limited to the 26-foot-maximum height allowed for the building.

9. The Perlmutter Sign Program does not permit the signs to encroach into the public-rights-of-way. Such encroachments require separate review and would require approval by the Public Works Department.

10. This approval was based on the particulars of the individual case and does not, in and of itself or in combination with other approvals in the vicinity or Citywide, constitute a precedent for future approvals or decisions.

11. This approval shall expire unless exercised within 24 months from the date of approval as specified in Section 20.54.060.A (Time limits) of the Newport Beach Municipal Code, unless an extension is approved prior to the expiration date of this approval, in accordance with Section 20.54.060.B (Extensions of time) of the Newport Beach Municipal Code.

12. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the McLaren Sign Program, including, but not limited to, CS2011-003 (PA2011-060). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD

The applicant or any interested party may appeal the decision of the Zoning Administrator and department staff to the Planning Commission by a written request to the Community Development Director within 14 days of the action date. A $4,333.00 filing fee shall accompany any appeal filed. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

By: _____
Jaime Murillo, Zoning Administrator

JM/msw

Attachments:
- ZA 1 Vicinity Map
- ZA 2 Perlmutter Sign Program Table Matrix
- ZA 3 Site Plan and Sign Details

VICINITY MAP

Comprehensive Sign Program No. CS2011-003
PA2011-060

2540 &2542 West Coast Highway and 106 & 110 Tustin Avenue

Perlmutter Sign Program Table Matrix

Planning Department
3300 Newport Boulevard, Newport Beach, CA 92663
(949)644-3200 Telephone I (949)644-3229 Facsimile
www.newportbeachca.gov

1. Location: Perlmutter Sign Program for 2540 & 2542 West Coast Highway, 106 &110 Tustin Avenue

2. Frontages: A West Coast Highway
   B Tustin Avenue
   C Parking Lot

3. Types and limitations (refer to matrix below):

Address	Primary Frontage	Secondary Frontage
2540 & 2542 West Coast Highway	***Frontage A:*** Sign A1 – shared projecting sign Sign A2 – wall sign Sign A3 – wall sign ***Limitations:*** Sign A1 Maximum Sign Area: portion of the 60 sq. ft. max copy area shared by all tenants Maximum Dimensions: 18 ft. tall by 4 ft. wide, double-sided projecting sign, not to project above 26-foot-maximum height limit measured from top of sign to ground below. Sign A2 Maximum Sign Area: 37.5 sq. ft. Maximum Vertical Dimension, sign or logo: 36-inches Internally illuminated channel letters Sign A3 Maximum Sign Area: 12 sq.ft. Maximum Vertical Dimension, sign or logo: 36-inches	***Frontage B:*** Sign B1 - wall sign ***Limitations:*** Sign B1 Maximum Sign Area: 37.5 sq. ft. Maximum Vertical Dimension, letters or logo: 36-inches
106 Tustin Avenue	***Frontage A:*** Sign A1 - shared projecting sign ***Limitations:*** Sign A1 Maximum Sign Area: portion of the 60 sq. ft. max copy area shared by all tenants Maximum Dimensions: 18 ft. tall by 4 ft. wide, double-sided projecting sign, not to project above 26-foot-maximum height limit measured from top of sign to ground below.	***Frontage B:*** Sign B2 – wall sign **Frontage C:** Sign C1 – wall sign ***Limitations:*** Sign B2 Maximum Sign Area: 37.5 sq. ft. (existing sign is nonconforming and any new sign is limited to this size) Maximum Vertical Dimension, letters or logo: 36-inches Sign C1 Maximum Sign Area: 37.5 sq. ft. Maximum Vertical Dimension, letters or logo

		36-inches
110 Tustin Avenue	***Frontage A:*** Sign A1 - shared projecting sign ***Limitations:*** <u>Sign A1</u> Maximum Sign Area: portion of the 60 sq. ft. max copy area shared by all tenants Maximum Dimensions: 18 ft. tall by 4 ft. wide, double-sided projecting sign, not to project above 26-foot-maximum height limit measured from top of sign to ground below.	***Frontage C:*** Sign C2 – canopy sign Sign C3 – wall sign ***Limitations:*** <u>Sign C2</u> Maximum Sign Area: 12 sq. ft. Maximum Vertical Dimension, letters or logo: 36-inches <u>Sign C3</u> Maximum Sign Area: 25.5 sq. ft. Maximum Vertical Dimension, letters or logo: 36-inches
All tenants/addresses (Incidental)	***Frontage A, B, and C:*** Sign D1, D2, D3 window signs (entry door or window decals) ***Limitations:*** Maximum Sign Area: 2 Sq. Ft Not to cover more than 20% of each door or window area only.	None

<u>Compliance Required:</u>

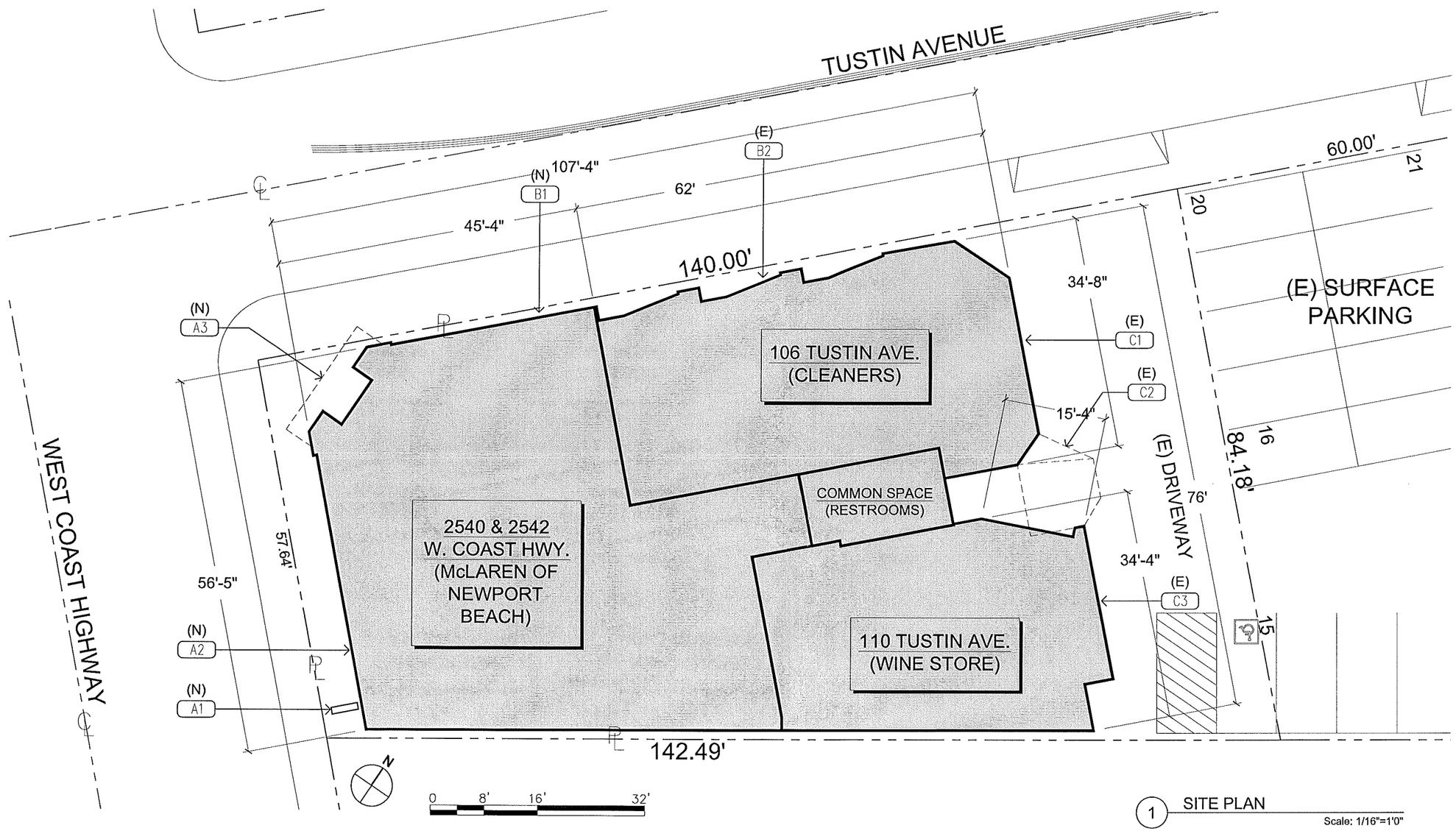
- Sign area is the area measured by two perpendicular sets of parallel lines that surround the proposed logo and sign copy. The maximum sign area represents the controlling limitations.
- Temporary Banner Signs shall comply with the Chapter 20.42 of the Zoning Code.
- Sign illumination shall conform to Section 20.42.060.H
- All signs shall substantially conform to the approved set of plans stamped and dated .
- Signs shall also comply with the provisions of Section 20.42.060, 20.42.070 and 20.42.080 of the Newport Beach Municipal Code, Standards for Specific Types of Permanent Signs, unless otherwise indicated by table matrix and/or in the finding and conditions in the associated resolution of approval.
- Pursuant to Section 20.42.120.F of the Zoning Code, the Planning Director may approve minor revisions to the Sign Program if the intent of the original approval is not affected.

COMPREHENSIVE SIGN PROGRAM

2540 - 2542 WEST COAST HIGHWAY & 106 - 110 TUSTING AVE.
NEWPORT BEACH, CA

SITE INFO:

LEGAL DESC.	TRACT # 1133, LOT # 16, M.M. 36-13,14
APN NO.	425-471-13, -14, -15
ZONEING:	SP-5 (MARINER'S MILE SPECIFIC PLAN)
LAND USE:	MU-H1 (MIXED USE HORIZONTAL)
COSTAL ZONE:	YES



1 SITE PLAN
Scale: 1/16"=1'0"

PREPARED BY

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7259 NORTH ATOLL AVE
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SITE PLAN

OWNER

DMP Propoerties
2540-2542 W. Coast Hwy,
Newport Beach, CA

PROJECT TITLE

SIGN PROGRAM
2540-2542 W. Coast Hwy.
Newport Beach, CA

PROJECT NO:	
CAD DWG FILE:	1.0 SITE PLAN.DWG
DRAWN BY:	AK
CHK'D BY:	AK
SCALE:	1/16" = 1'-0"
DATE:	7/14/2011

SHEET TITLE

SITE PLAN

SHEET NUMBER

1.0

SHEET 1 OF 5

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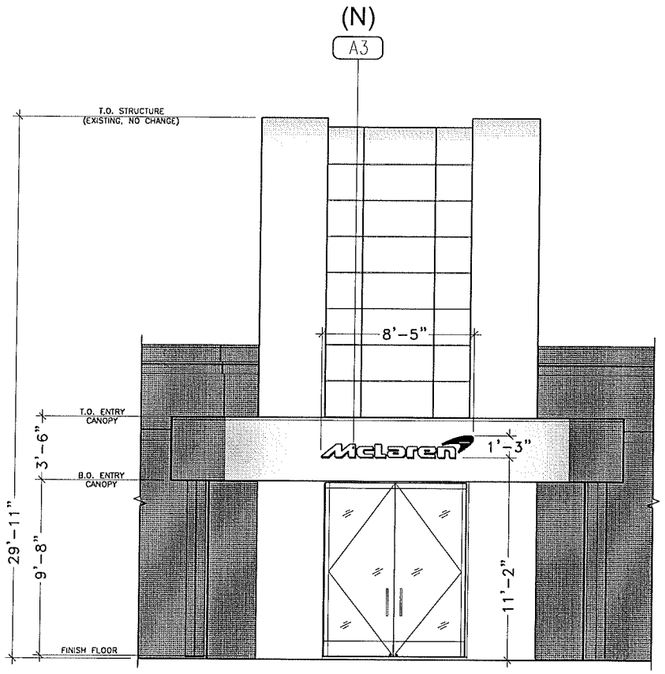
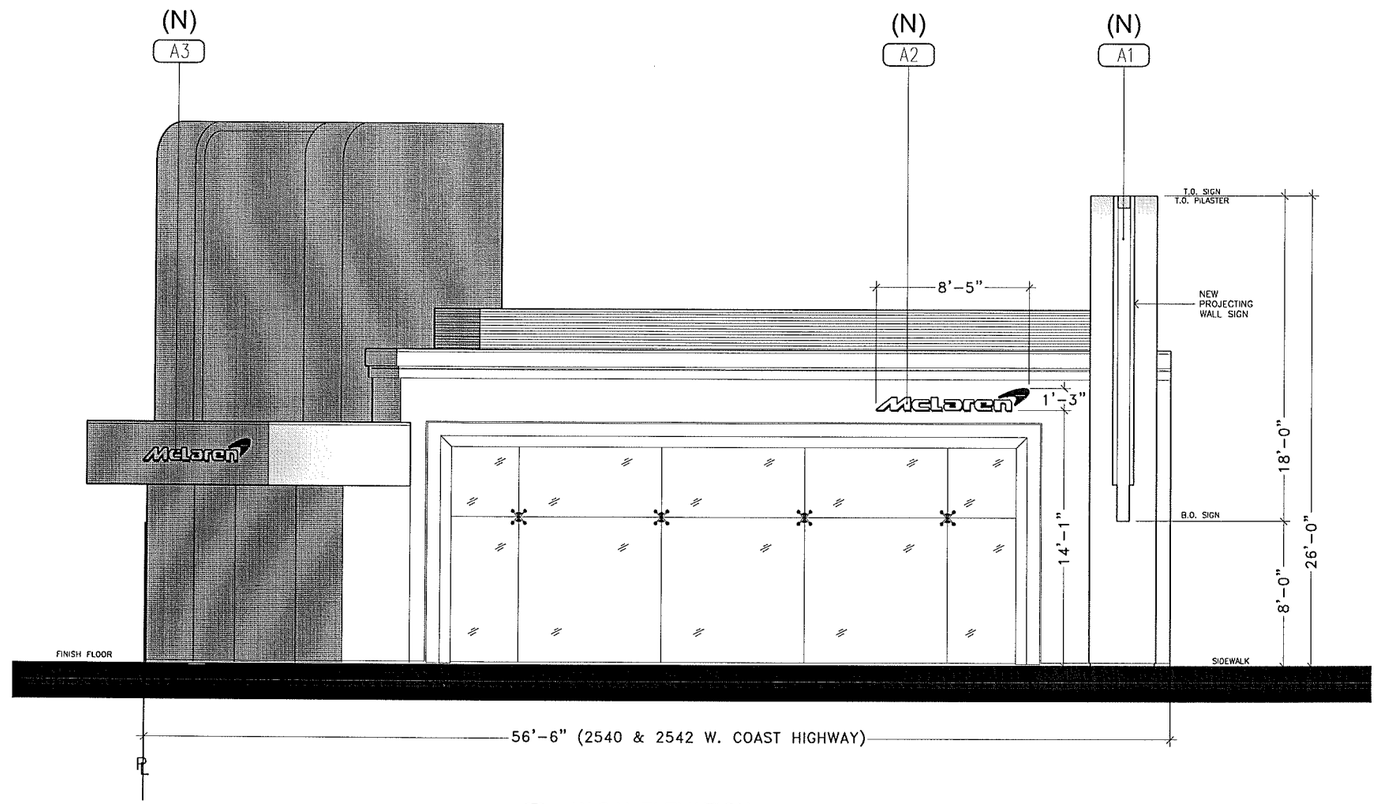
LEGEND:

SHADED AREA INDICATED OBLIQUE ELEVATION



2 CORNER ELEVATION

Scale: 1/8"=1'0"



1 W.C.H. ELEVATION

Scale: 1/8"=1'0"

NOTES:

A1

PROJECTING DOUBLE SIDED BLADE SIGN w/ INTERNALLY ILLUMINATED TENANT SIGNS, SEE 3.1 FOR DETAILS
(MAXIMUM 60 SQUARE FOOT OF TOTAL COPY AREA PER SIDE)

A2

15 IN. HIGH X 101 IN. WIDE FACE & HALO ILLUMINATED CHANNEL LETTERS & LOGO (10.6 SQUARE FEET)

A3

15 IN. HIGH X 101 IN. WIDE FACE & HALO ILLUMINATED CHANNEL LETTERS & LOGO (10.6 SQUARE FEET)

PREPARED BY

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ELEVATIONS

OWNER

DMP Propoerties
2540-2542 W. Coast Hwy.
Newport Beach, CA

PROJECT TITLE

SIGN PROGRAM
2540-2542 W. Coast Hwy.
Newport Beach, CA

PROJECT NO:	
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CHK'D BY:	AK
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DATE:	7/14/2011

SHEET TITLE

ELEVATIONS

SHEET NUMBER

2.1

SHEET 2 OF 5

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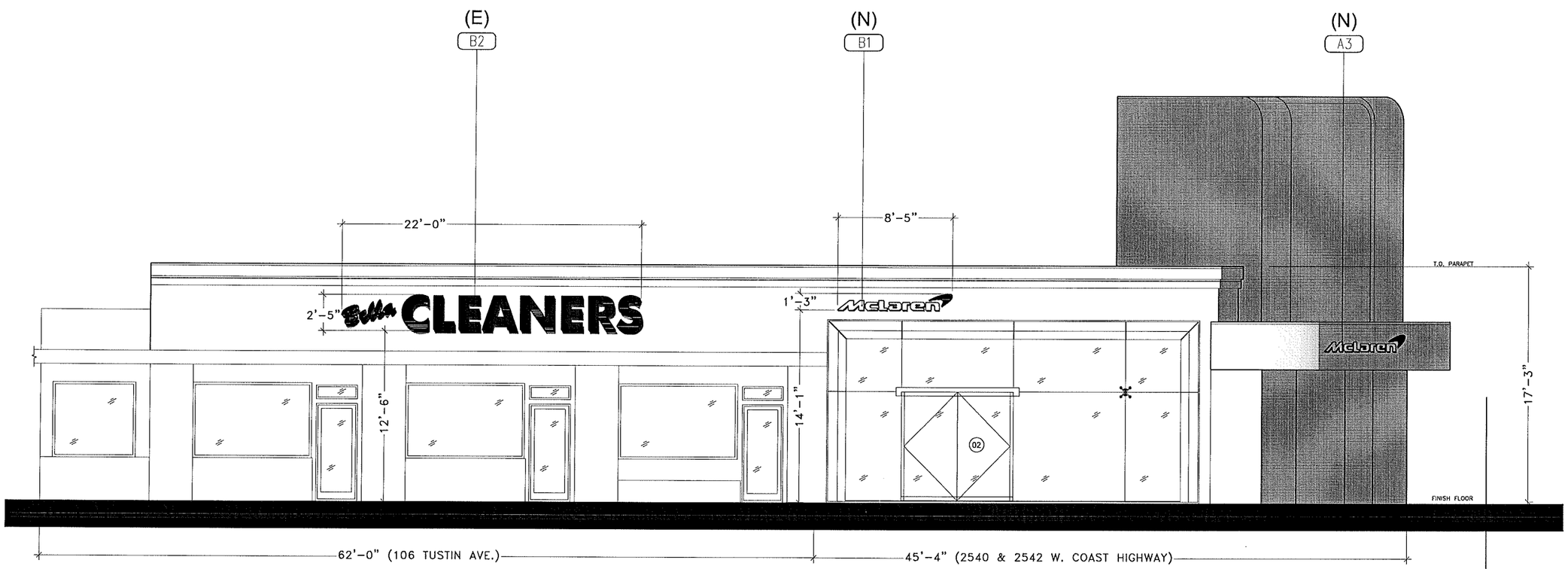
LEGEND:

SHADED AREA INDICATED OBLIQUE ELEVATION



2 TUSTIN AVE. ELEVATION

Scale: 1/8"=1'0"

NOTES:

A3

15 IN. HIGH X 101 IN. WIDE
FACE & HALO ILLUMINATED
CHANNEL LETTERS & LOGO
(10.6 SQUARE FEET)

B1

15 IN. HIGH X 101 IN. WIDE
FACE & HALO ILLUMINATED
CHANNEL LETTERS & LOGO
(10.6 SQUARE FEET)

B2

2 FT. 5 IN. HIGH X 22 FT. WIDE
INTERNALLY ILLUMINATED 4" DEEP
CHANNEL LETTERS.
EXISTING SIGN IS NON-CONFORMING,
ANY NEW SIGN SHALL BE LIMITED TO
37.5 SQ. FT.

PREPARED BY

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PROJECT TITLE

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Newport Beach, CA

PROJECT NO:	
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SCALE:	1/8" = 1'-0"
DATE:	7/14/2011

SHEET TITLE

ELEVATIONS

SHEET NUMBER

2.2

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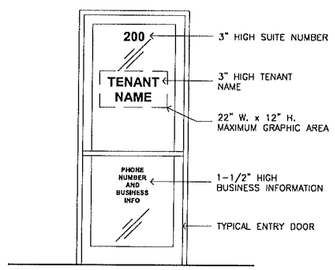
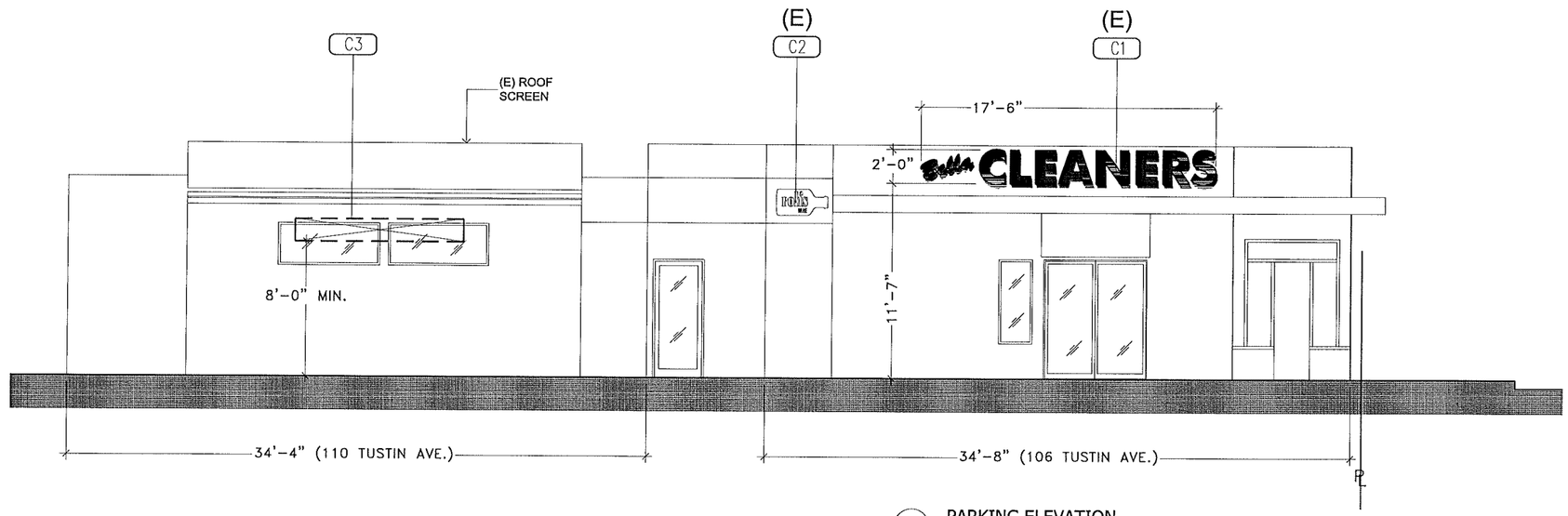


NOTE:
WHITE HIGH PERFORMANCE VINYL APPLIED TO 1ST SURFACE ON MAIN ENTRY DOOR GLASS
FONT: AVENIR 65

2 ENTRY DOOR LETTERING
Scale: 1/4"=1'0"



1 PARKING ELEVATION
Scale: 1/8"=1'0"

NOTES:

C1

2 FT. HIGH X 17 FT. 6 IN. WIDE INTERNALLY ILLUMINATED 4" DEEP CHANNEL LETTERS.
(35 SQUARE FEET)

C2

16 IN. HIGH X 66 IN WIDE x ½" THICK PAINTED PVC BACKING W/ VINYL GRAPHICS, EXTERNALY ILLUMINATED W/ GOOSNECK FIXTURES
(7.3 SQUARE FEET)

C3

ALLOWANCE FOR A MAXIMUM 25.5 SQ. FT. WALL SIGN WITH A MAXIMUM VERTICAL DIMENSION FOR LETTERS OR LOGO OF 36". WALL SIGN TO BE LOCATED BELOW THE ROOF LINE. CLOSING OF EXISTING WINDOW TO ALLOW FOR A WALL SIGN TO BE VERIFIED WITH BUILDING DEPARTMENT.

PREPARED BY

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ELEVATIONS

OWNER

DMP Propoerties
2540-2542 W. Coast Hwy.
Newport Beach, CA

PROJECT TITLE

SIGN PROGRAM
2540-2542 W. Coast Hwy.
Newport Beach, CA

PROJECT NO:	
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DATE:	7/14/2011

SHEET TITLE

ELEVATIONS

SHEET NUMBER

2.3

SHEET 4 OF 5

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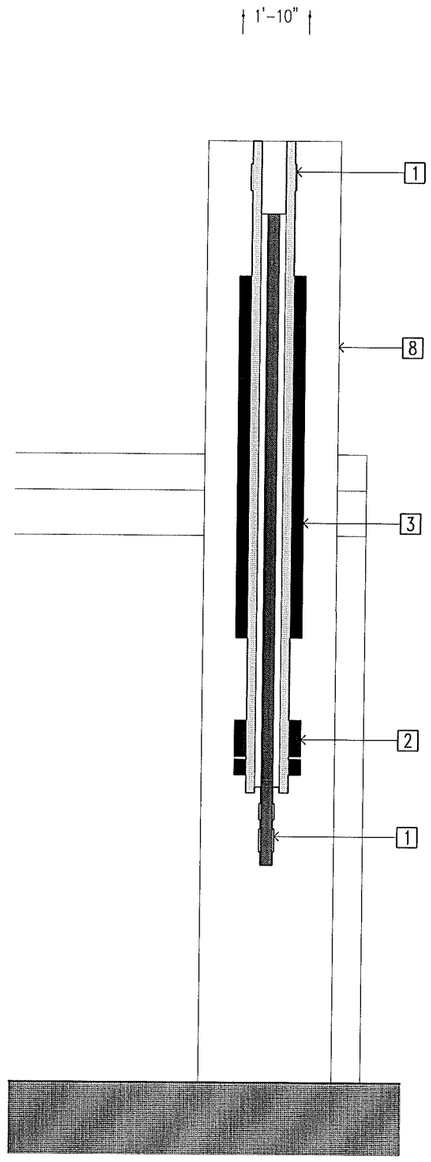
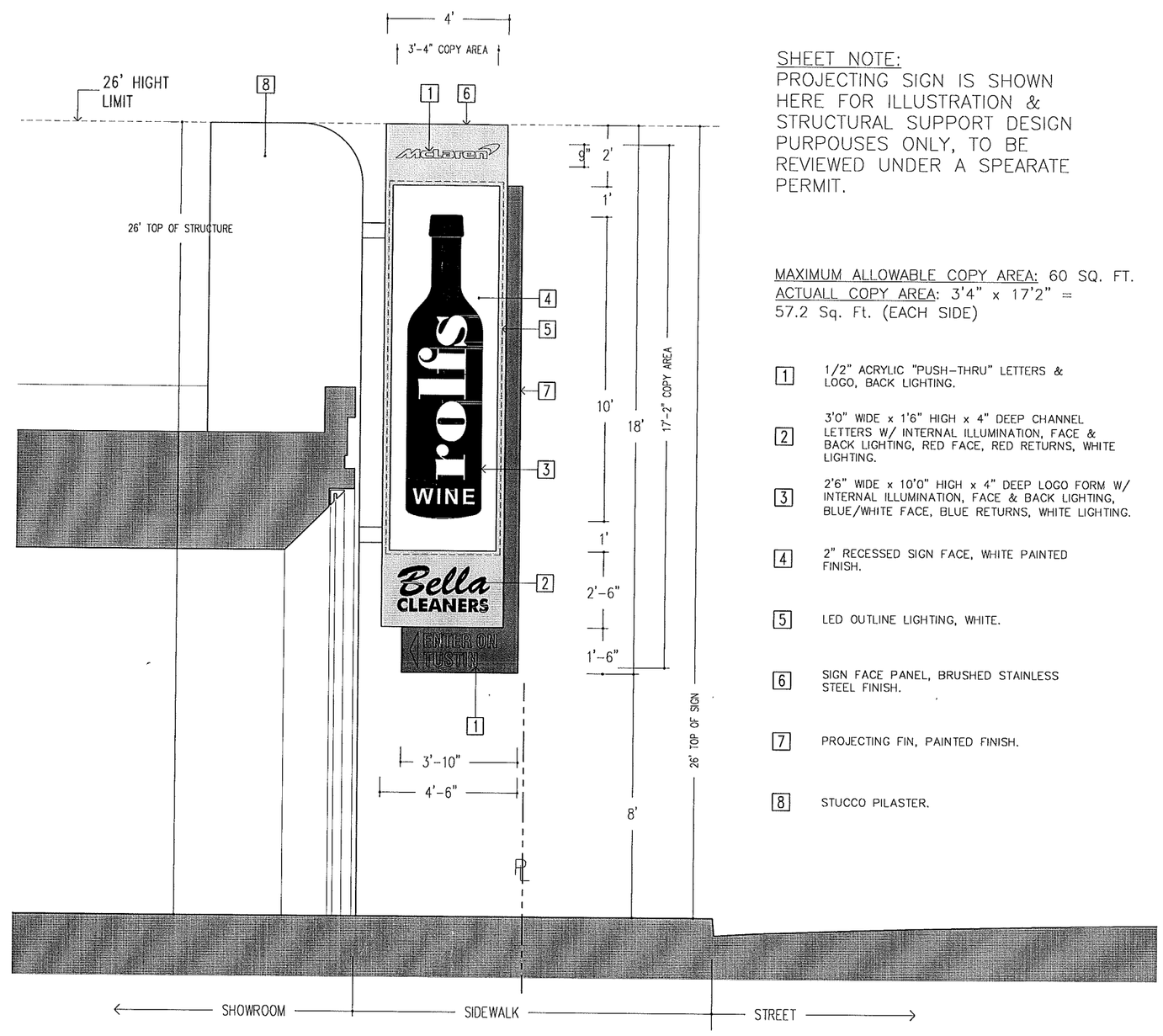


2 SIGN "A2" SIDE VIEW

Scale: 1/4"=1'0"



1 SIGN "A1" FRONT VIEW

Scale: 1/4"=1'0"

SHEET NOTE:
PROJECTING SIGN IS SHOWN HERE FOR ILLUSTRATION & STRUCTURAL SUPPORT DESIGN PURPOUSES ONLY, TO BE REVIEWED UNDER A SPEARATE PERMIT.

MAXIMUM ALLOWABLE COPY AREA: 60 SQ. FT.
ACTUALL COPY AREA: 3'4" x 17'2" = 57.2 Sq. Ft. (EACH SIDE)

1 1/2" ACRYLIC "PUSH-THRU" LETTERS & LOGO, BACK LIGHTING.

2 3'0" WIDE x 1'6" HIGH x 4" DEEP CHANNEL LETTERS W/ INTERNAL ILLUMINATION, FACE & BACK LIGHTING, RED FACE, RED RETURNS, WHITE LIGHTING.

3 2'6" WIDE x 10'0" HIGH x 4" DEEP LOGO FORM W/ INTERNAL ILLUMINATION, FACE & BACK LIGHTING, BLUE/WHITE FACE, BLUE RETURNS, WHITE LIGHTING.

4 2" RECESSED SIGN FACE, WHITE PAINTED FINISH.

5 LED OUTLINE LIGHTING, WHITE.

6 SIGN FACE PANEL, BRUSHED STAINLESS STEEL FINISH.

7 PROJECTING FIN, PAINTED FINISH.

8 STUCCO PILASTER.

PREPARED BY

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ELEVATIONS

OWNER

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Newport Beach, CA

PROJECT TITLE

SIGN PROGRAM
2540-2542 W. Coast Hwy.
Newport Beach, CA

PROJECT NO:	
CAD DWG FILE:	3.1 PROJECTING SIGN.DWG
DRAWN BY:	AK
CHK'D BY:	AK
SCALE:	1/8" = 1'-0"
DATE:	7/14/2011

SHEET TITLE

ELEVATIONS

SHEET NUMBER

3.1

SHEET 5 OF 5

File Location: K:\TI\2011\McLaren\Sign Program\Rev After Draft - 7_14_11\3.1 PROJECTING SIGN.dwg Last Saved: July 28, 2011, by Armen Plotted: Thursday, July 28, 2011 11:57:33 AM by Armen

COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
3300 Newport Boulevard, Building C, Newport Beach, CA 92663
(949) 644-3200 Fax: (949) 644-3229
www.newportbeachca.gov

NOTICE OF ZONING ADMINISTRATOR ACTION

August 5, 2011

Sign Specialists
111 West Dyer Road Unit F
Santa Ana CA 92707

Application No. **Amendment No. 1 to CS2008-010 (PA2011-126)**

Site Address **500 Superior Avenue**
Hoag Health Center Signs

On August 5, 2011, the above referenced application was approved based on the findings and conditions in the attached action letter.

On behalf Jaime Murillo, Zoning Administrator

By: _____
Fern Nueno, Assistant Planner

JM/fn

APPEAL PERIOD: Comprehensive Sign Program applications do not become effective until 14 days after the date of action, during which time an appeal may be filed with the Planning Commission Secretary in accordance with the provisions of the Newport Beach Municipal Code. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

cc:
property owner
Newport Healthcare Center LLC
500 Superior Avenue Suite 315
Newport Beach CA 92663

COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
3300 Newport Boulevard, Building C, Newport Beach, CA 92663
(949) 644-3200 Fax: (949) 644-3229
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ZONING ADMINISTRATOR ACTION LETTER

Application No.	**Amendment No. 1 to CS2008-010 (PA2011-126)**
Applicant	**Sign Specialists**
Site Address	**500 Superior Avenue** **Hoag Health Center Signs**
Legal Description	**Irvine Subdivision, Portion of Lot 169, Block 2**

On **August 5, 2011**, the Zoning Administrator approved the following: An application to amend the existing Comprehensive Sign Program (CS2008-010) to allow four (4) signs on the primary elevation facing Superior Avenue. The previous approval allowed for one (1) wall sign on the Superior Avenue elevation with a maximum area of 75 square feet. This approval allows four (4) signs totaling 309 square feet. Two (2) signs are allowed a maximum of 57 square feet and two (2) signs are allowed a maximum of 97.5 square feet. The property is located in the OM (Office Medical) District. The Zoning Administrator's approval is based on the following findings and subject to the following conditions.

FINDINGS

1. The Land Use Element of the General Plan designates the site for Medical Commercial Office (CO-M) land use. The building contains medical uses consistent with the CO-M land use designation. The signs are accessory to the primary use of the property.

2. The project qualifies for an exemption from environmental review pursuant to Section 15311 (Class 11 - Accessory Structures) of the Implementing Guidelines of the California Environmental Quality Act (CEQA), which exempts minor structures accessory to existing commercial, industrial, or institutional facilities, including signs.

3. The proposed sign program is consistent with the legislative intent of Chapter 20.42 (Sign Standards) of the Newport Beach Municipal Code based on the following:

   - Chapter 20.42 of the Newport Beach Municipal Code requires comprehensive sign programs for sites that meet certain criteria, including a structure with more than 300 linear feet of frontage on a public street. The comprehensive sign program establishes a comprehensive and cohesive set of sign parameters while allowing flexibility to achieve a

higher quality design presentation while avoiding inappropriate signage that could negatively impact the neighborhood or City.

- The amendment to the Comprehensive Sign Program will integrate all the project's signs into a single design theme that will create a unified architectural statement and limit the number, location, and the overall size and area of signs on building wall facades and awnings. Additional project identification wall signs are necessary for this multi-tenant health care campus.

- The property contains multi-story buildings and parking structures. The subject building has three stories and 319 lineal feet of frontage along Superior Avenue.

- The amendment to the Comprehensive Sign Program will allow four (4) wall signs on the Superior Avenue elevation, where the Zoning Code typically allows for one (1) sign per primary building or tenant frontage. The increased number of wall signs will provide increased visibility and enhanced building and tenant identification. The site has trees and other landscaping along the street frontage, and the building has some architectural recesses.

- The amendment to the Comprehensive Sign Program will allow a 30-percent increase in the maximum sign area for two (2) of signs on the primary frontage within the parameters outlined in Section 20.42.120 (C) of the Newport Beach Municipal Code. The increased sign area will improve the visibility of signage on the primary frontage to pedestrian and vehicular traffic on Superior Avenue. As a medical building, it is important for patrons to have easily visible signs from both directions of Superior Avenue.

- There is a reasonable need for the number, location, type, and size of signs located on the indicated building frontages to provide adequate identification and to direct pedestrian and vehicular traffic to the property.

- Message content is not being considered as part of the review and approval of this amendment to the Comprehensive Sign Program.

- This approval does not authorize the use of signs prohibited by Chapter 20.42 of the Newport Beach Municipal Code.

CONDITIONS

1. The development shall be in substantial conformance with the approved table matrix, site plan, elevations, and sign details, except as noted in the following conditions.

2. Signs are limited to the designated building facades and street frontages, and shall comply with the limitations specified in the Hoag Health Center Sign Program included in this approval and the provisions of Chapter 20.42 of the Newport Beach Municipal Code.

3. Anything not specifically approved by this Comprehensive Sign Program is prohibited. Revisions to the program may be approved by the Planning Division if the intent of the original approval is not affected. Revisions that substantially deviate from the original approval must be addressed in a separate and subsequent amendment to this Comprehensive Sign Program.

4. Any future revisions or changes to the signs approved by this Comprehensive Sign Program due to a change in the use or tenants of the building shall be reviewed and approved by the Planning Division, so long as the sign size, copy configuration and number of signs authorized by this approval does not substantially change or increase. The mandatory reduction or elimination of nonconforming signs shall be exercised as necessary.

5. A building permit shall be obtained prior to commencement of installation of the signs, when required.

6. The Community Development Director or the Zoning Administrator may add to or modify conditions of this approval, or revoke this approval upon a determination that any sign that is authorized by this approval has been altered beyond the parameters of the authorization and therefore beyond the justification.

7. This approval was based on the particulars of the individual case and does not, in and of itself or in combination with other approvals in the vicinity or Citywide, constitute a precedent for future approvals or decisions.

8. This approval shall expire unless exercised within 24 months from the date of approval as specified in Section 20.54.060.A (Time limits) of the Newport Beach Municipal Code, unless an extension is approved prior to the expiration date of this approval, in accordance with Section 20.54.060.B (Extensions of time) of the Newport Beach Municipal Code.

9. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Hoag Health Center Sign Program and amendment, including, but not limited to, CS2008-010 (PA2011-126). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys'

fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD

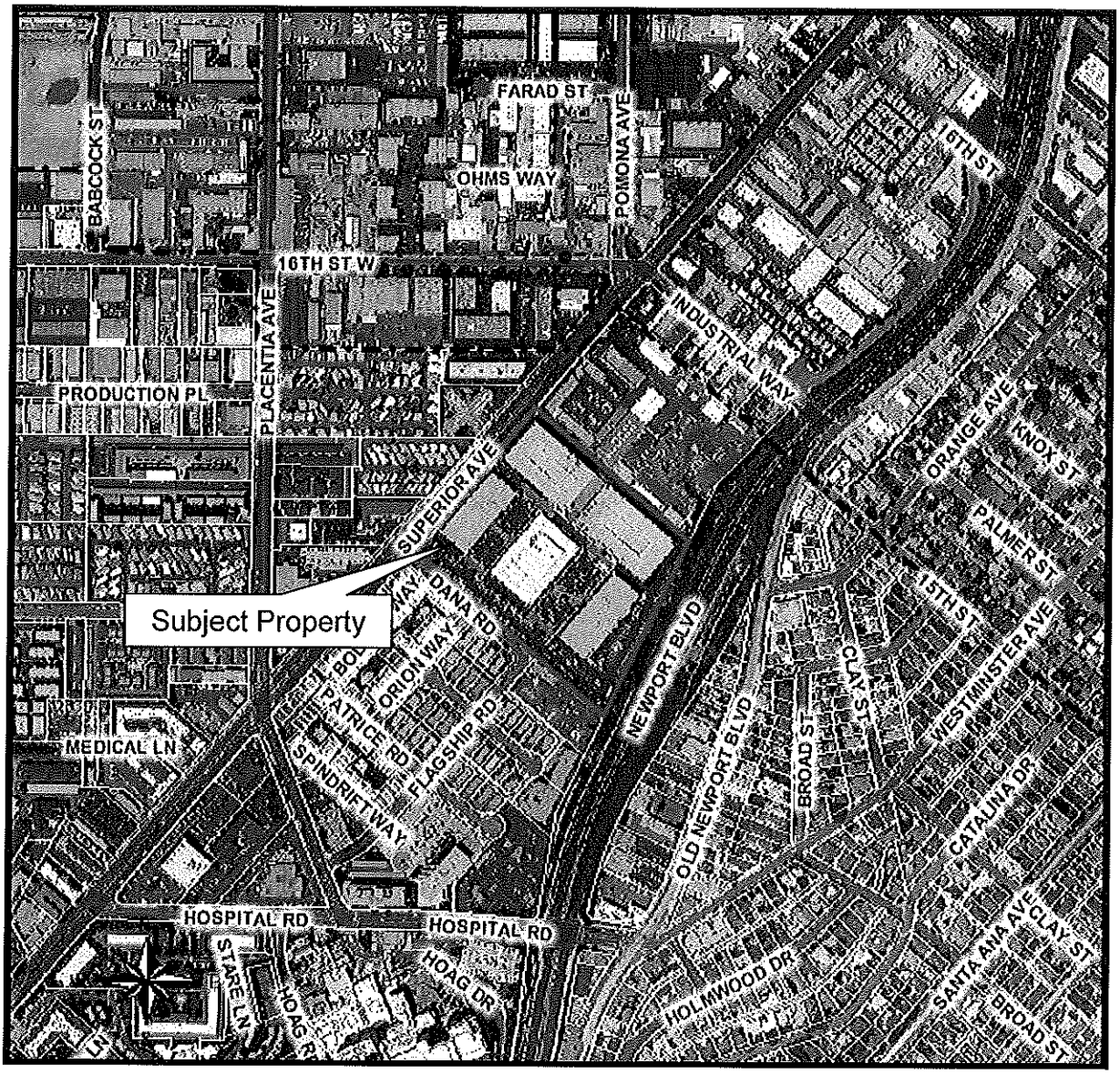
The applicant or any interested party may appeal the decision of the Community Development Director, Zoning Administrator and department staff to the Planning Commission by a written request to the Community Development Director within 14 days of the action date. A $4,333.00 filing fee shall accompany any appeal filed. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

By: _____
Jaime Murillo, Zoning Administrator

JM/fn

Attachments:
ZA 1 Vicinity Map
ZA 2 Sign Program Matrix
ZA 3 Project Plans
ZA 4 Original Plans from CS2008-010

VICINITY MAP



Amendment No. 1 to CS2008-010
PA2011-126

500 Superior Avenue

Attachment ZA 2

Sign Program Matrix

Table Matrix
Amendment No. 1 to CS2008-010 (PA2011-126)

Comprehensive Sign Program
Hoag Health Care Center
500 – 540 Superior Avenue

Fields highlighted indicate the changes being requested with this application. All other fields are from the existing sign program (CS2008-010).

500-540 Superior Blvd.	Primary Frontage Size limitations where applicable	Secondary Frontage Size limitations, where applicable
500 Building	Wall Signs (4) Location: Superior Blvd/West Elevation W1 (2) - Maximum Sign Area: 97.5 sq. ft. W2 (2) – Maximum Sign Area: 57 sq. ft..	Wall Sign Location: East Elevation Maximum Sign Area: 37.5 sq. ft.
510 Building	Wall Sign Location: West Elevation Maximum Sign Area: 75 sq. ft.	Wall Sign Location: East Elevation Maximum Sign Area: 37.5 sq. ft.
520 Building	Wall Sign Location: Newport Blvd./East Elevation Maximum Sign Area: 97.5 sq. ft.	Wall Sign Location: West Elevation Maximum Sign Area: 48.75 sq. ft.
Note: Wall signs shall be vertically equidistant from the top and bottom of the architectural feature it's placed upon		
Sign type	**Number and Location**	**Size**
A Large Freestanding Sign (L Shaped Structure)	Number: One Location: 540 Superior Blvd (SW Corner of Parking Structure)	Maximum Height: 24 ft. Maximum Width: 11 ft. Maximum Area: 97.5 sq. ft. (for each face)
B Site Directional Sign	Various locations throughout the project site 1-111, 2-104, 2-105, 2-106, 2-111, 2-112, 2-115, 2-116, 2-118, 2-122, 2-123, 2-125 1-105, 1-107, 1-109, 1-112, 1-103	Maximum Height: 4 ft. 8 in. Maximum Area: 3.9 sq. ft. Maximum Height: 6 ft. Maximum Area: 4.7 sq. ft. Maximum Height: 7 ft. Maximum Area: 6.5 sq. ft. Maximum Height: 9 ft. 4 in. Maximum Area: 9.3 sq. ft.
C Monument Sign - Address	Number: One Location: 500 Superior Avenue	Maximum Height: 24 in. Maximum Length: 8 ft. Minimum Letter Height: 12 in.
D Monument - Tenant Directory	Various locations throughout the project site not visible from adjacent properties	Maximum Height: 9ft. 4 in. Maximum Sign Area: 16 sq. ft.
E Projecting Sign - Parking Structure Identification	Number: One on each parking structure	Minimum Clearance: 8 ft.* Maximum Vertical Height: 10 ft. Maximum Horizontal Projection: 5 ft.
F Building Main Entrance Address/Identification	Various locations throughout the project site May be wall-mounted, mounted on architectural projections, or other mounting approved by the Planning Division.	Maximum Height: 18 in Minimum Clearance: 8 ft.*
G	Various locations throughout the project site	Maximum Height: 24 in.

Building Address Numbers		
H Informational Kiosk	Various locations throughout the project site not visible from adjacent properties	Maximum Height: 7 ft. 4 in. Maximum Area 15.8 sq. ft.
Other		
I Regulatory Signs	Various locations throughout the project site Subject to approval by the Community Development and Public Works Departments	
Temporary Signs	Various locations throughout the project site Shall comply with the limitations set for permanent signs, except temporary signs shall not be illuminated Allowed for a duration of one year from building permit approval or until the permanent signs are fabricated, whichever occurs first*	

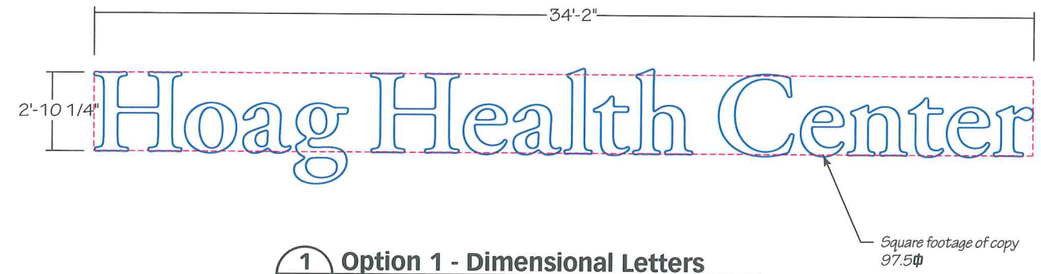
*Unless otherwise approved by the Planning and Building Divisions.

NOTE: Minor changes in sign type, location, and sizes specified in this matrix may be approved by the Community Development Director.

Attachment ZA 3

Project Plans

Text shown in drawing may be for illustration purposes only. Refer to Sign Message Schedule for correct text.



1 / 1.06 **Option 1 - Dimensional Letters**
Not To Scale

2 / 1.06 **Diametric View**
Not To Scale

L3.01i
W1 Sign Type
Parapet Level
Building Signage

SIGN TYPE: Fabricated, 6" thick face LED interior illuminated dimensional letters with painted returns and translucent white acrylic faces.

LOCATION: Refer to Message Schedule and Location Plan.

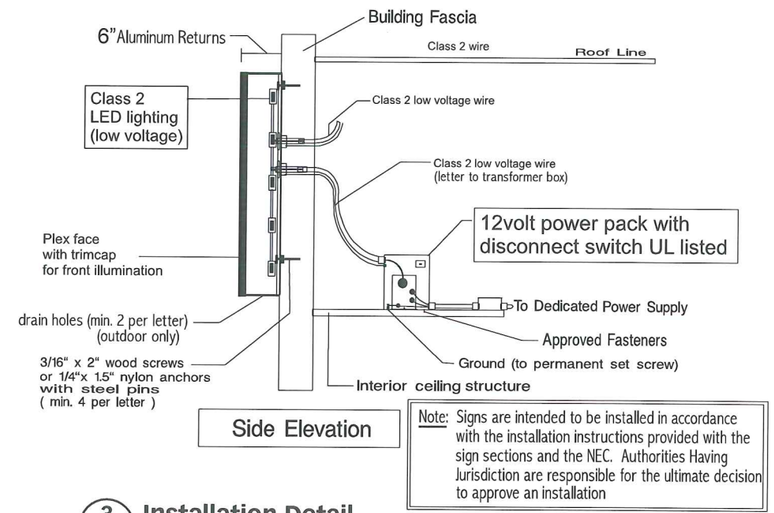
SIZE: 34 1/4" tall letters x 6" Deep

AREA: 97.5 square feet each

USE: Building Identification

TYPE: Dimensional letters

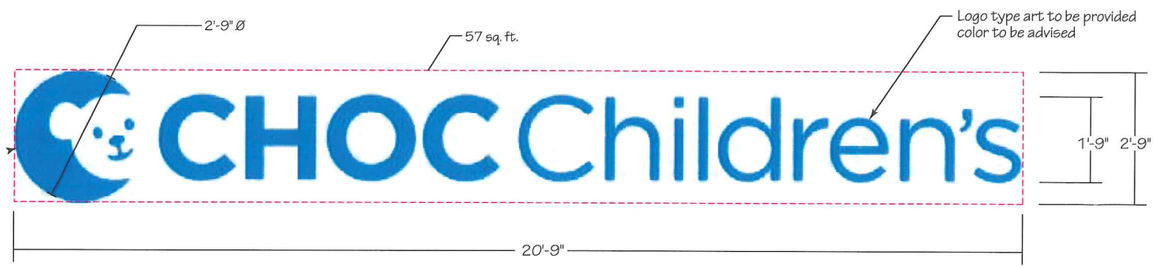
COLORS: White acrylic face with paint blue returnes



3 / 1.06 **Installation Detail**

Text shown in drawing may be for illustration purposes only. Refer to Sign Message Schedule for correct text.

3 / 1.7 **Structure Entrance ID**
Not To Scale



L5.01
W2 Sign Type
Eyebrow Level
Building Signage

SIGN TYPE: Fabricated, 6" thick face LED interior illuminated dimensional letters with painted returns and translucent white acrylic faces.

LOCATION: Refer to Message Schedule and Location Plan

SIZE: 33" tall letters x 6" Deep

AREA: 57 square feet each

USE: Building Identification

TYPE: Dimensional letters

COLORS: Any

PA2011-126 for MD2011-009
500 Superior Avenue
Sign Specialists

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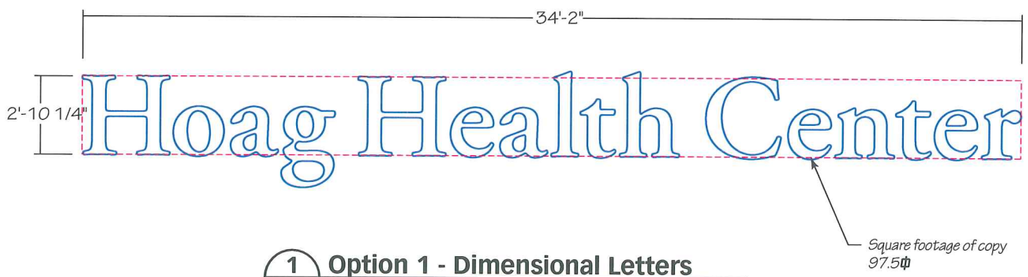
englund DESIGNWORKS Inc.

Hoag Health Center
Newport Beach, CA
Sign Type - CHOC Entry Identification

Dec. 17, 2008
Job #: RBB0802
SHEET 1.7

Text shown in drawing may be for illustration purposes only. Refer to Sign Message Schedule for correct text.



1 / 1.06 **Option 1 - Dimensional Letters**
Not To Scale

2 / 1.06 **Diametric View**
Not To Scale

L3.01i
W1 Sign Type
Parapet Level
Building Signage

SIGN TYPE: Fabricated, 6" thick face LED interior illuminated dimensional letters with painted returns and translucent white acrylic faces.

LOCATION: Refer to Message Schedule and Location Plan.

SIZE: 34 1/4" tall letters x 6" Deep

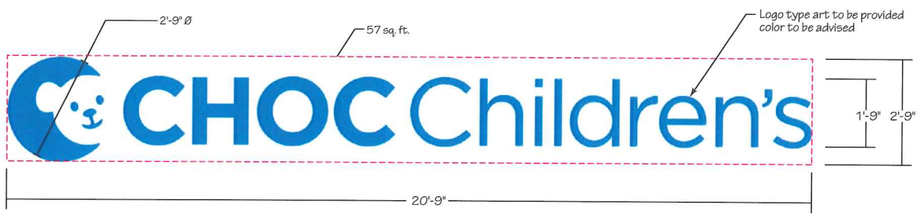
AREA: 97.5 square feet each

USE: Building Identification

TYPE: Dimensional letters

COLORS: White acrylic face with paint blue returnes

Text shown in drawing may be for illustration purposes only. Refer to Sign Message Schedule for correct text.



3 / 1.7 **Structure Entrance ID**
3/8" = 1'-0"

L5.01
W2 Sign Type
Eyebrow Level
Building Signage

SIGN TYPE: Fabricated, 6" thick face LED interior illuminated dimensional letters with painted returns and translucent white acrylic faces.

LOCATION: Refer to Message Schedule and Location Plan.

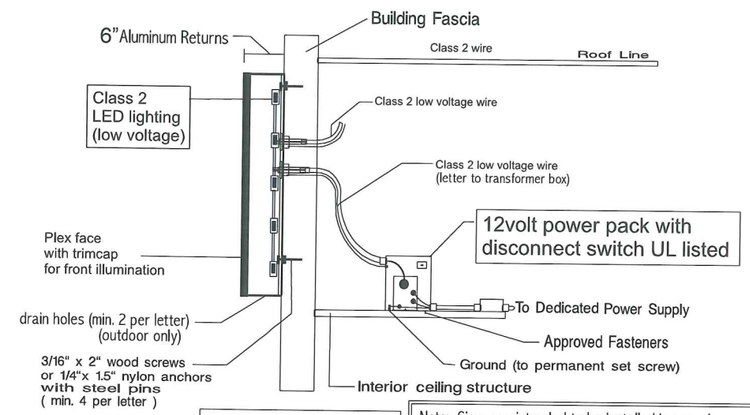
SIZE: 33" tall letters x 6" Deep

AREA: 57 square feet each

USE: Building Identification

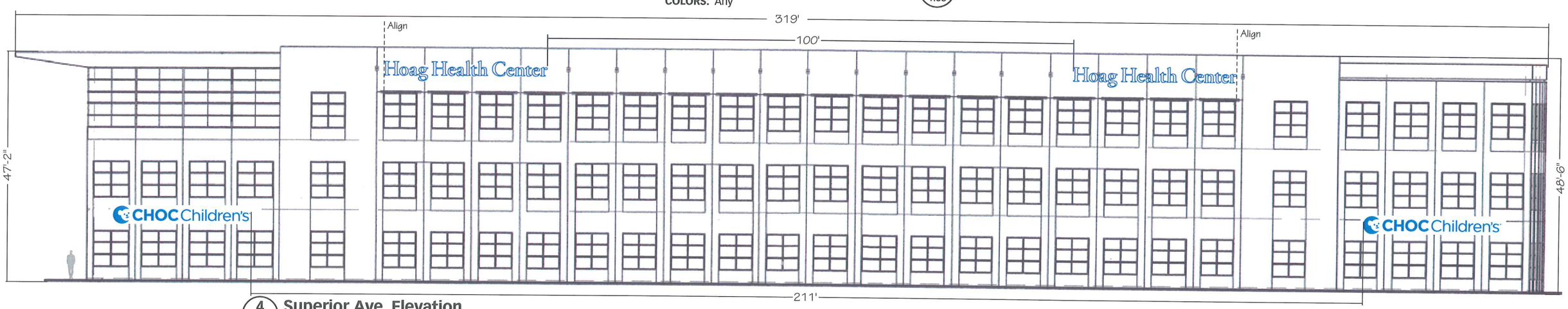
TYPE: Dimensional letters

COLORS: Any



Note: Signs are intended to be installed in accordance with the installation instructions provided with the sign sections and the NEC. Authorities Having Jurisdiction are responsible for the ultimate decision to approve an installation

4 / 1.06 **Installation Detail**



4 / 1.06 **Superior Ave. Elevation**
Not To Scale

***Total s.f. of all four (4) signs = 309 s.f.**

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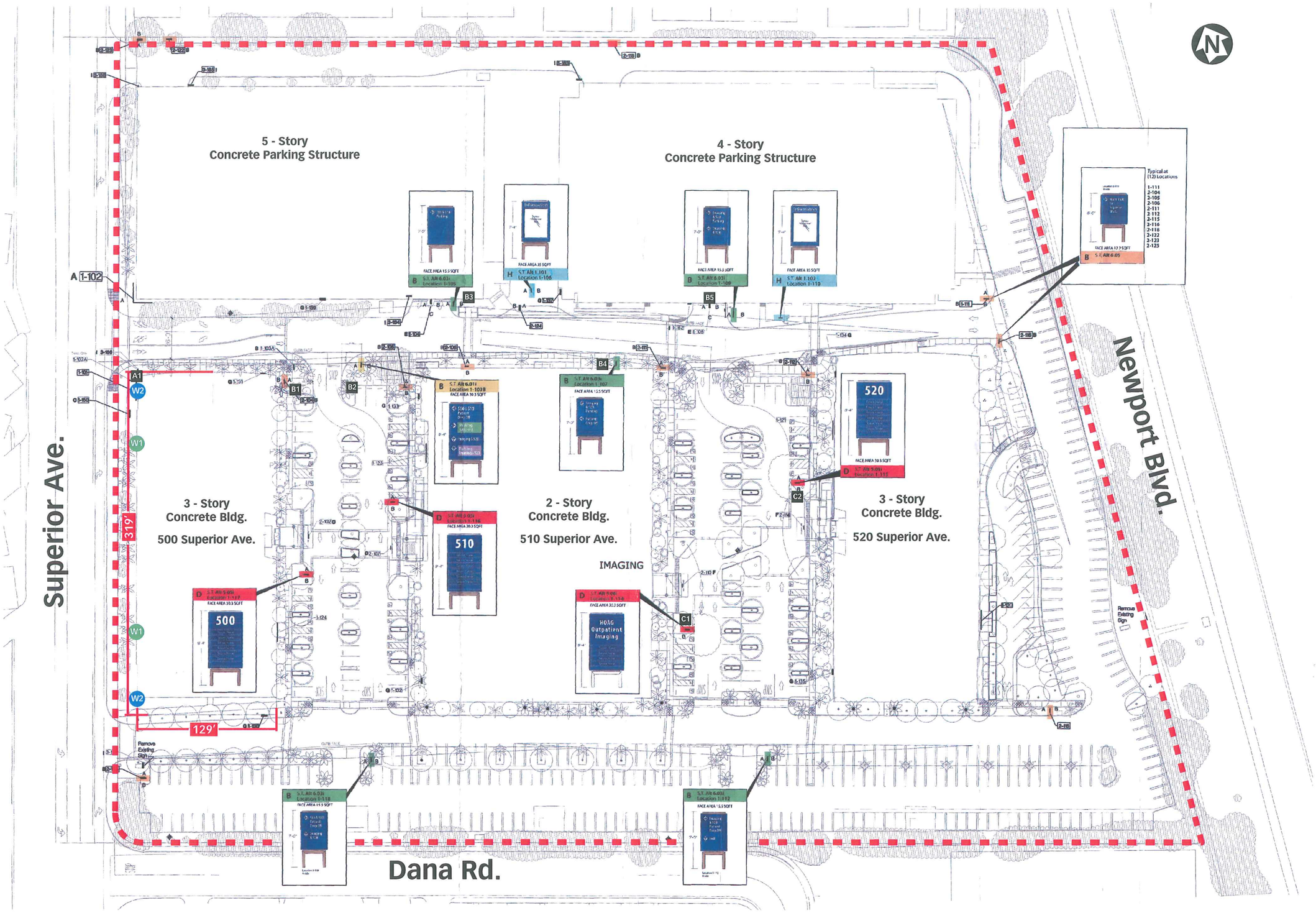
englund DESIGNWORKS Inc.

Hoag Health Center
Newport Beach, CA

Illuminated Dimensional Letters - Option 1

Dec. 17, 2008
Job #: RBB0802
SHEET 1.06

Property Line =



Attachment ZA 4

Original Plans from CS2008-010

RBB Architects

EXTERIOR SIGN MESSAGE SCHEDULE

CITY SUBMITTAL

HOAG HEALTH CENTER
NEWPORT BEACH

Date: 12/17/08
EDW Job Number: RBB0802

approved 1/20/09

Location	Sign Type	Sign Text	Sign Side	Illuminated	Code	Notes	Revised Date
1-101	L05.01	(logo) CHOC Children's				Dim letters logo type	
wall sign							
1-102	M1.01i	(Logo) Hoag Heath Center 500 510 520 'Urgent Care NO Emergency Services Available at this location" ---------- (Logo) Hoag Heath Center 500 510 520 "Urgent Care NO Emergency Services Available at this location"	A --- B	x		Large monument logo type Lower light box two sections	
[redacted] A							
1-102A		(Logo) Hoag Health Center → 500 510 520 ---------- (Logo) Hoag Health Center ← 500 510 520	A --- B			Temporary only required May be illuminated with ground floods Temp Type 3	
temp sign							

	Location	Sign Type	Sign Text	Sign Side	Illuminated	Code	Notes	Revised Date
B	1-103A	Gx6.03	500 & 510 ← Parking Imaging & 520 ↑ Parking ---------- ↑ Exit	A ---- B			Directional Temporary required Type T2	
B	1-103B	Gx6.03i	→ 500 & 510 Patient Drop off ↑ Imaging & 520 ---------- ← 500 & 510 Patient Drop off ↑ Exit	A ---- B	x		Directional non illuminated Temporary required Type T2	
E	1-104	H1.01i	500 & 510 ↙ Parking ---------- 500 & 510 ↘ Parking ---------- 500 & 510 Parking	A --- B -- C	x		Flag Building I. D.	
B	1-105	Gx6.03i	500 & 510 ← Parking ---------- ↑ Exit 500 & 510 → Parking	A ---- B	x		Directional non illuminated Temporary required Type T2	

Location	Sign Type	Sign Text	Sign Side	Illuminated	Code	Notes	Revised Date
1-106 H	K1.01i	Information Hoag Health Center ---------- Information Hoag Health Center	A -- B	x		End caps to have "?"	
B 1-107	Gx6.03i	Imaging & 520 ↑ Parking ---------- ↑ Exit 500 & 510	A ---- B	x		Directional non illuminated Temporary required Type T2	
1-108 E	H1.01i	Imaging & 520 Parking ↙ ---------- Imaging & 520 Parking ↘ ---------- Imaging & 520 P	A --- B -- C	x		Flag Building I.D.	
B 1-109	Gx6.03i	Imaging & 520 ← Parking Imaging → & 520 ---------- Imaging & 520 → Parking Imaging ← & 520	A ---- B	x		Directional non illuminated Temporary required Type T2	
1-110 H	K1.02i	Information Hoag Health Center ----- (blank)	A -- B	x		"?" symbol at ends single sided	

Location	Sign Type	Sign Text	Sign Side	Illuminated	Code	Notes	Revised Date
B 1-111	Gx6.03	→ Main Exit to Superior Blvd. ---------- ← Main Exit to Superior Blvd.	A ---- B			Directional	
B 1-112	Gx6.03i	← Imaging & 520 Patient Drop off ---------- → Imaging & 520 Patient Drop off ↑ Exit	A ---- B	x		Directional	
D 1-113	Gx5.01i	520 *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* ---------- 520 *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)*	A ---- B	x		Tenant Monument non illuminated Temporary required Type T1	

Location	Sign Type	Sign Text	Sign Side	Illuminated	Code	Notes	Revised Date
1-114 D	Gx5.02i	Hoag Outpatient Imaging *(blank strip)* *(blank strip)* *(blank strip)* ---------- Hoag Outpatient Imaging *(blank strip)* *(blank strip)* *(blank strip)*	A ---- B	x		Tenant Monument non illuminated Temporary required Type T1	
1-116 D	Gx5.01i	510 *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* ---------- 510 *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)*	A ---- B	x			

Location	Sign Type	Sign Text	Sign Side	Illuminated	Code	Notes	Revised Date
1-117	Gx5.01i	500 *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* ---------- 500 *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)* *(blank strip)*	A ---- B	x			
1-118	Gx6.03i	← 500 & 510 Patient Drop off ↑ Imaging & 520 ---------- → 500 & 510 Patient Drop off ↑ Exit	A ---- B	x		Directional	
1-120	L4.01i	Hoag Health Center		x		Skyline sign building letters	
1-121	L5.01i	(Future tenant name)		x		Skyline sign building letters 48.75 ft	
1-123	L5.02i	(Future tenant name)		x		Skyline sign building letters 97.5 ft	
1-124	L5.01i	(Future tenant name)		x		Skyline sign building letters 48.75 ft	
1-130	L02.01i	500		x		building address numbers	
1-131	L02.01i	500		x		building address numbers	

	Location	Sign Type	Sign Text	Sign Side	Illuminated	Code	Notes	Revised Date
G	1-132	L02.01i	510		x		building address numbers	
G	1-133	L02.01i	510		x		building address numbers	
G	1-134	L02.01i	520		x		building address numbers	
G	1-135	L02.01i	520		x		building address numbers	
G	1-137	L02.01i	530		x		building address numbers	
G	1-139	L02.01i	540		x		building address numbers	
C	1-150	L01.01	500--540				Dimensional letters on low landscape wall	
F	2-102	L03.01	500				Dim numbers under canopy	
	2-104	Gx6.03	← 500 ↑ 510 ------ *(blank)*	A --- B				
B	2-105	Gx6.03	↑ 510 → 500 ------ ↑ 500 & 510 Parking → Imaging & 520 Parking	A --- B				
B	2-106	Gx6.03	→ 500 & 510 ← Imaging & 520 ------ *blank*	A --- B				
F	2-107	L03.01	510				Dim numbers under canopy	

	Location	Sign Type	Sign Text	Sign Side	Illuminated	Code	Notes	Revised Date
F	2-110	L03.02	Imaging				Dim numbers under canopy	
B	2-111	Gx6.03	↑ Imaging ← 520 → 500 & 510 ------ ← 500 & 510 Parking ↑ Imaging & 520 Parking	A --- B				
B	2-112	Gx6.03	↑ 520 → 500 & 510 Imaging ------ Imaging & 520 ↑ Parking ← 500 & 510	A --- B				
F	2-114	L03.01	520				Dim numbers under canopy	
B	2-115	Gx6.03	← Parking Exit ------ ↑ Exit to Superior Ave.	A --- B				
B	2-116	Gx6.03	← Exit → Additional Parking Exit ---------- ↑ Exit	A -- B				
B	2-118	Gx6.03	← North Exit Only → Main Exit ------ *blank*	A --- B				

Location	Sign Type	Sign Text	Sign Side	Illuminated	Code	Notes	Revised Date
2-122	Gx6.03	← Exit ------ *blank*	A --- B				
2-123	Gx6.03	→ Employee Parking ------ *blank*	A --- B			Directional	
2-124	Rx1.01	Hoag Heath Center *"Bus Symbol"* Bus ------ Hoag Heath Center *"Bus Symbol"* Bus	A --- B			Pole sign	
2-125	Gx6.03	(logo) Hoag Health Center ----- *(logo)* Hoag Health Center	A --- B			Small Directional	
3-182	Rx7.02	UNAUTHORIZED VEHICLES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PHYSICALLY HANDICAPPED PERSONS WILL BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: NEWPORT BEACH POLICE STATION OR BY TELEPHONING: 949.644.3717 THIS APPLIES ONLY TO HANDICAPPED SPACES.				Wall Sign Confirm reclaim information and phone number Prop 65 in PG package	

Location	Sign Type	Sign Text	Sign Side	Illuminated	Code	Notes	Revised Date
3-183 I	Rx7.02	UNAUTHORIZED VEHICLES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PHYSICALLY HANDICAPPED PERSONS WILL BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: NEWPORT BEACH POLICE STATION OR BY TELEPHONING: 949.644.3717 THIS APPLIES ONLY TO HANDICAPPED SPACES.				Wall Sign Confirm reclaim information and phone number Prop 65 in Garage Package	
3-184 I	Rx7.02	NO Van Accessible Parking Available in West Garage UNAUTHORIZED VEHICLES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PHYSICALLY HANDICAPPED PERSONS WILL BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: NEWPORT BEACH POLICE STATION OR BY TELEPHONING: 949.644.3717 THIS APPLIES ONLY TO HANDICAPPED SPACES.				Wall Sign Confirm reclaim information and phone number Prop 65 in Garage Package	

Location	Sign Type	Sign Text	Sign Side	Illuminated	Code	Notes	Revised Date
3-185 I	Rx7.02	NO Van Accessible Parking Available in West Garage UNAUTHORIZED VEHICLES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PHYSICALLY HANDICAPPED PERSONS WILL BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: NEWPORT BEACH POLICE STATION OR BY TELEPHONING: 949.644.3717 THIS APPLIES ONLY TO HANDICAPPED SPACES.				Wall Sign Confirm reclaim information and phone number Prop 65 in garage package	
3-186 I	Rx7.01	NO PARKING IN RED ZONES FIRE LANE Violating Vehicles will be Cited or Towed M.C. 1240.190F C.V.C. 22500.1 N.B.P.D. 644-3717 *This is a Non Smoking Campus* *(symbol)* UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PHYSICALLY HANDICAPPED PERSONS WILL BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: NEWPORT BEACH POLICE STATION OR BY TELEPHONING: 949.644.3682 C.V.C. 22658A PRIVATE PARKING				Sign Cabinet Confirm reclaim information and phone number	

Location	Sign Type	Sign Text	Sign Side	Illuminated	Code	Notes	Revised Date
3-188 I	Rx7.01	NO PARKING IN RED ZONES FIRE LANE Violating Vehicles will be Cited or Towed M.C. 1240.190F C.V.C. 22500.1 N.B.P.D. 644-3717 *This is a Non Smoking Campus* *(symbol)* UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PHYSICALLY HANDICAPPED PERSONS WILL BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: NEWPORT BEACH POLICE STATION OR BY TELEPHONING: 949.644.3682 C.V.C. 22658A PRIVATE PARKING "				Sign cabinet Confirm reclaim information and phone number	

Location	Sign Type	Sign Text	Sign Side	Illuminated	Code	Notes	Revised Date
3-190	Rx7.01 I	NO PARKING IN RED ZONES FIRE LANE Violating Vehicles will be Cited or Towed M.C. 1240.190F C.V.C. 22500.1 N.B.P.D. 644-3717 *This is a Non Smoking Campus* *(symbol)* UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PHYSICALLY HANDICAPPED PERSONS WILL BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: NEWPORT BEACH POLICE STATION OR BY TELEPHONING: 949.644.3682 C.V.C. 22658A PRIVATE PARKING				Sign Cabinet Confirm reclaim information and phone number	

HOAG Health Center

Temporary Sings Permit Package

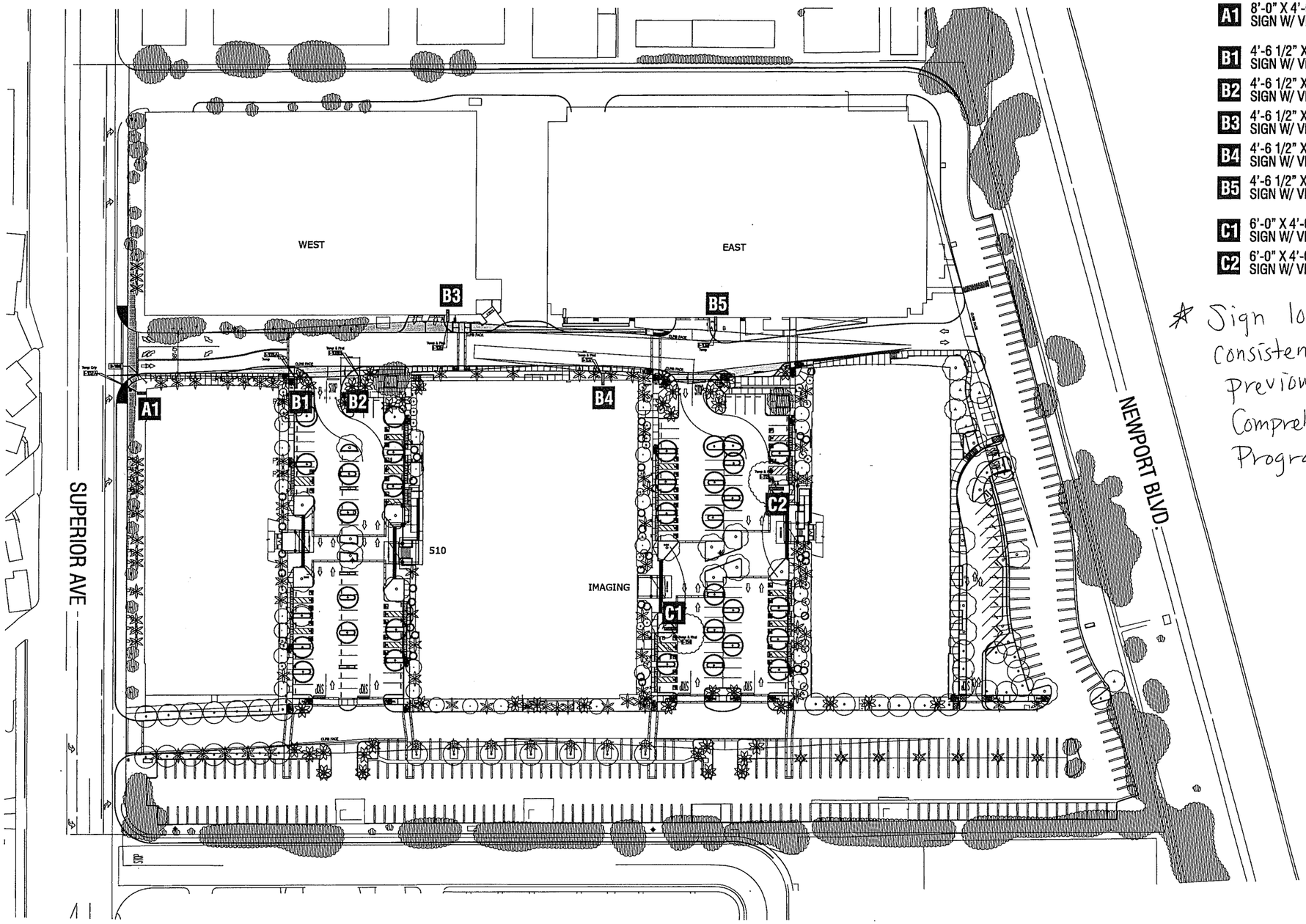
500 Superior Ave., Newport Beach, CA

01/27/09

SIGNS & GRAPHICS

4530 Mission Gorge Place
San Diego, CA 92120
Tel: 619.283.2191
Fax: 619.283.9503
Web: www.cnpsigns.com

Temporary Sign Permit - Approved 1/27/09 EMS 1687



A1 8'-0" X 4'-0" D/S POST AND PANEL SIGN W/ VINYL COPY (PAGE 2)

B1 4'-6 1/2" X 3'-4" D/S POST AND PANEL SIGN W/ VINYL COPY (PAGE 3-4)

B2 4'-6 1/2" X 3'-4" D/S POST AND PANEL SIGN W/ VINYL COPY (PAGE 3-4)

B3 4'-6 1/2" X 3'-4" D/S POST AND PANEL SIGN W/ VINYL COPY (PAGE 3-4)

B4 4'-6 1/2" X 3'-4" D/S POST AND PANEL SIGN W/ VINYL COPY (PAGE 3-4)

B5 4'-6 1/2" X 3'-4" D/S POST AND PANEL SIGN W/ VINYL COPY (PAGE 3-4)

C1 6'-0" X 4'-0" D/S POST AND PANEL SIGN W/ VINYL COPY (PAGE 5-6)

C2 6'-0" X 4'-0" D/S POST AND PANEL SIGN W/ VINYL COPY (PAGE 5-6)

* Sign locations are consistent with previously approved Comprehensive Sign Program. (Jan 20, 2009)

SITE PLANE *TEMPORARY SIGNS TO BE ON SITE FROM 2/15/09 - 3/07/09*

SCALE: NOT TO SCALE

CNP SIGNS & GRAPHICS
4530 Mission Gorge Place
San Diego, CA 92120
Tel: 619.283.2191
Fax: 619.283.9503
Web: www.cnpsigns.com

CLIENT
HOAG Health Center

PROJECT
HOAG HEALTH CENTER
NEWPORT BEACH, CA

LOCATION
1-102A, 1-103A, 1-103B, 1-105, 1-107, 1-109, 1-113 & 1-114

SHEET TITLE
SIGN LOCATION PLAN

ACCT. REP.
NICTE LOPEZ

DESIGNER
STEVE CREGAN

DATE 01/26/09 SCALE NOTED

CUSTOMER APPROVAL

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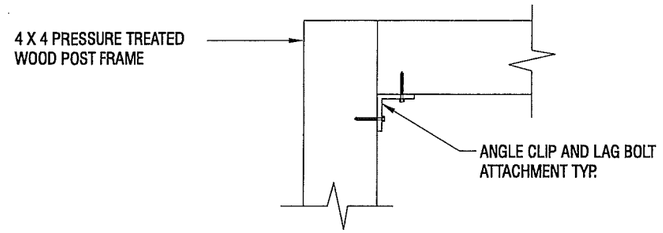
DWG#	PROJECT #
09-054	000000
REVISION NO.	WO# 000000

REVISIONS

1			7		
2			8		
3			9		
4			10		
5			11		
6			12		

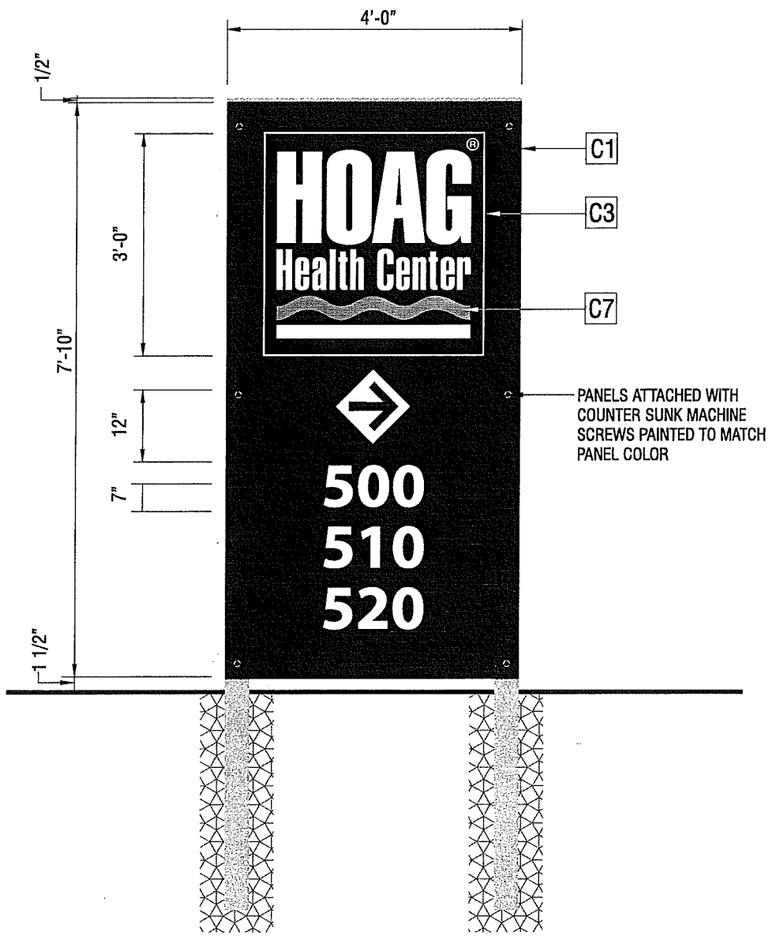
TOP VIEW



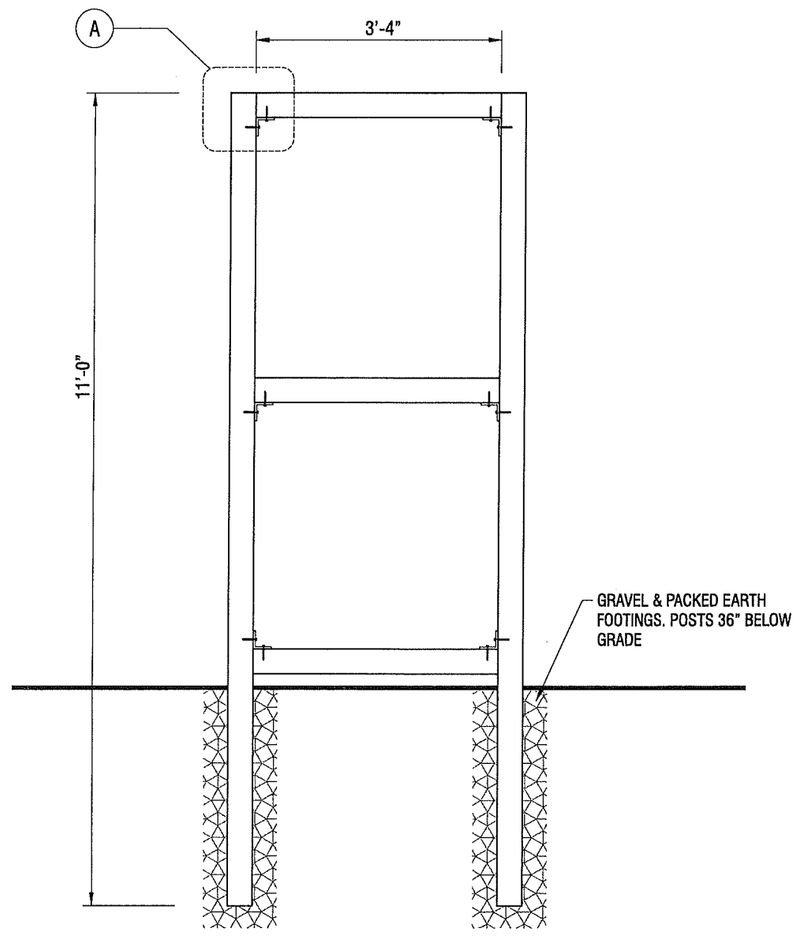
(A) ATTACHMENT DETAIL
SCALE: 1 1/2" = 1'-0"

COLOR SPECIFICATIONS

C1	PMS 288 - BLUE
C2	MATCH MATTHEWS SILVER ROSE METALLIC - 48102SP
C3	WHITE
C4	PMS 376 - GREEN
C5	PMS 521 - PURPLE
C6	PMS 485 - RED
C7	PMS 5425 - BLUE



ELEVATION



FRAME DETAIL

A1 SIGN TYPE T3 - QTY 1 *DOUBLE SIDED POST AND PANEL SIGN*
SCALE: 1/2" = 1'-0"

CNP SIGNS & GRAPHICS
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San Diego, CA 92120
Tel: 619.283.2191
Fax: 619.283.9503
Web: www.cnpsigns.com

CLIENT
HOAG Health Center

PROJECT
HOAG HEALTH CENTER
NEWPORT BEACH, CA

LOCATION
1-102A

SHEET TITLE
TEMPORARY SIGN T3 DETAILS

ACCT. REP.
NICTE LOPEZ

DESIGNER
STEVE CREGAN

DATE 01/26/09 SCALE NOTED

CUSTOMER APPROVAL

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DWG#	PROJECT #
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REVISION NO.	WO# 000000

REVISIONS

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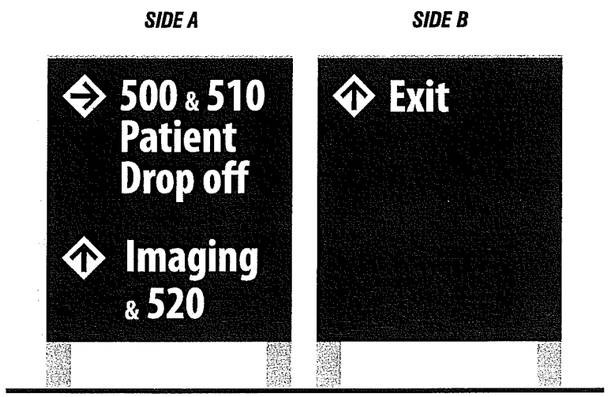
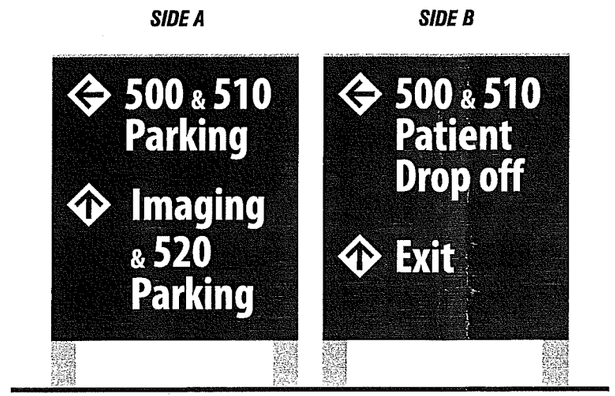
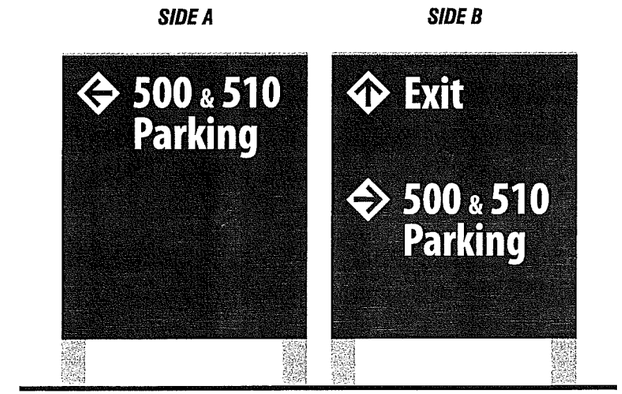


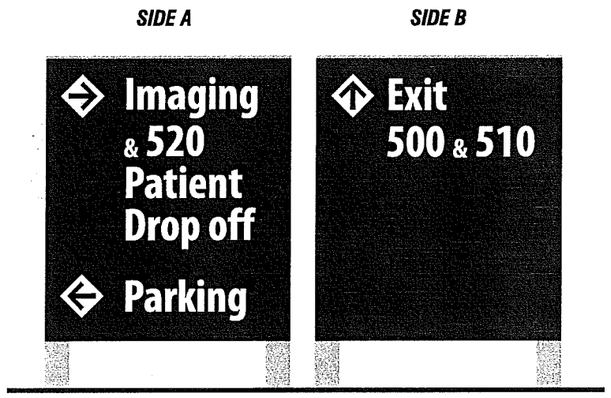
LOCATION 1-103A



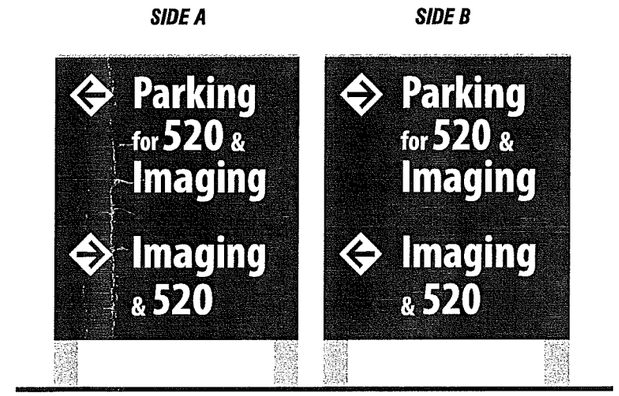
LOCATION 1-103B



LOCATION 1-105



LOCATION 1-107



LOCATION 1-109

B1 B2 B3 B4 B5

SIGN TYPE T2 - QTY 5 *Copy Layouts*

SCALE: 3/4" = 1'-0"

CNP SIGNS & GRAPHICS
4530 Mission Gorge Place
San Diego, CA 92120
Tel: 619.283.2191
Fax: 619.283.9503
Web: www.cnpsigns.com

CLIENT
HOAG Health Center

PROJECT
HOAG HEALTH CENTER
NEWPORT BEACH, CA

LOCATION
1-113 & 1-114

SHEET TITLE
TEMPORARY SIGN T2 COPY LAYOUTS

ACCT. REP.
NICTE LOPEZ

DESIGNER
STEVE CREGAN

DATE 01/26/09 SCALE NOTED

CUSTOMER APPROVAL

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DWG#	PROJECT #
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REVISION NO.	WO# 000000

REVISIONS

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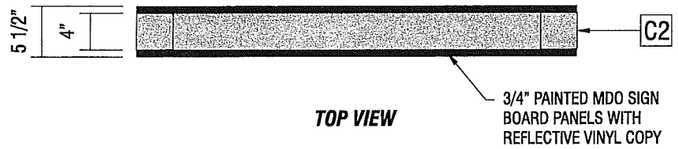
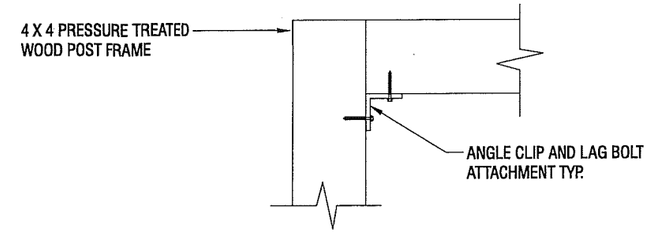
5			11		
6			12		



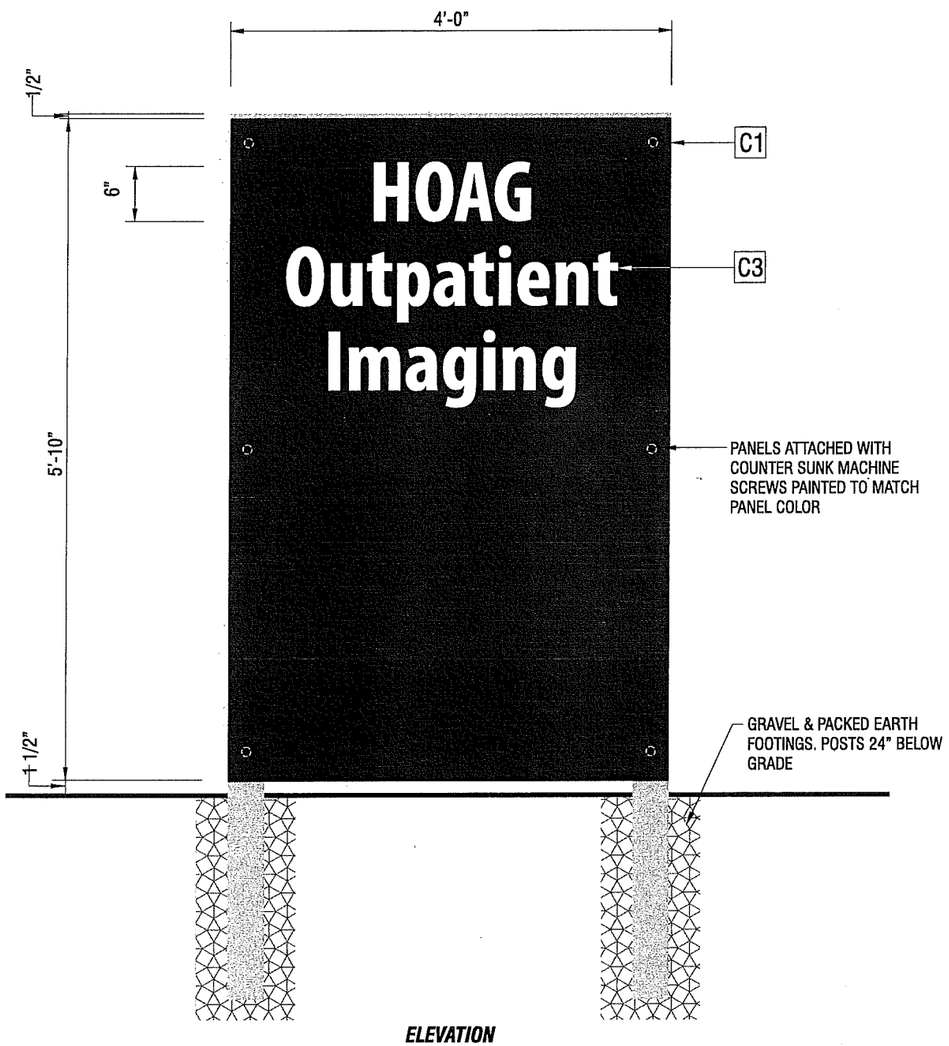
TOP VIEW



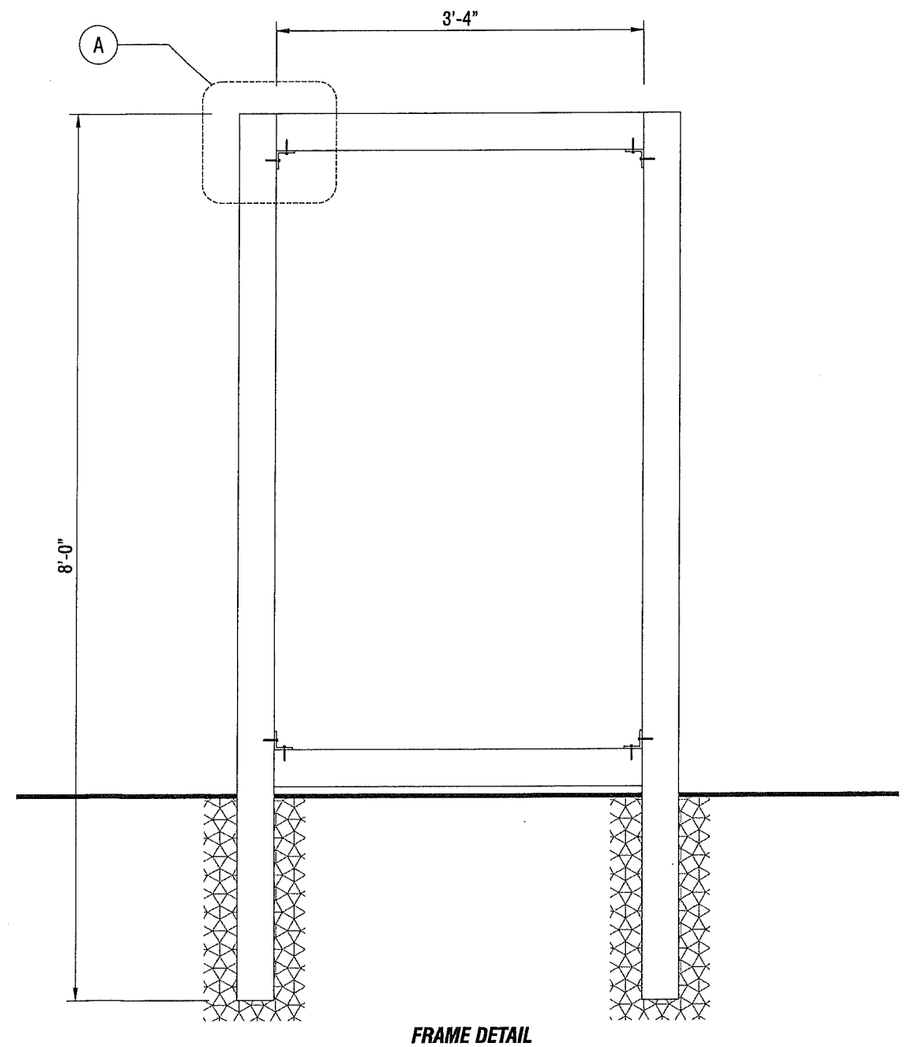
A ATTACHMENT DETAIL
SCALE: 1 1/2" = 1'-0"

COLOR SPECIFICATIONS

C1	PMS 288 - BLUE
C2	MATCH MATTHEWS SILVER ROSE METALLIC - 48102SP
C3	WHITE
C4	PMS 376 - GREEN
C5	PMS 521 - PURPLE
C6	PMS 485 - RED
C7	PMS 5425 - BLUE



ELEVATION



FRAME DETAIL

C1 C2 **SIGN TYPE T1 - QTY 2** *DOUBLE SIDED POST AND PANEL SIGN*
SCALE: 3/4" = 1'-0"

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4530 Mission Gorge Place
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Tel: 619.283.2191
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Web: www.cnpsigns.com

CLIENT
HOAG Health Center

PROJECT
HOAG HEALTH CENTER
NEWPORT BEACH, CA

LOCATION
1-113 & 1-114

SHEET TITLE
TEMPORARY SIGN T1 DETAILS

ACCT. REP.
NICTE LOPEZ

DESIGNER
STEVE CREGAN

DATE 01/26/09 SCALE NOTED

CUSTOMER APPROVAL

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DWG#	PROJECT #
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REVISIONS

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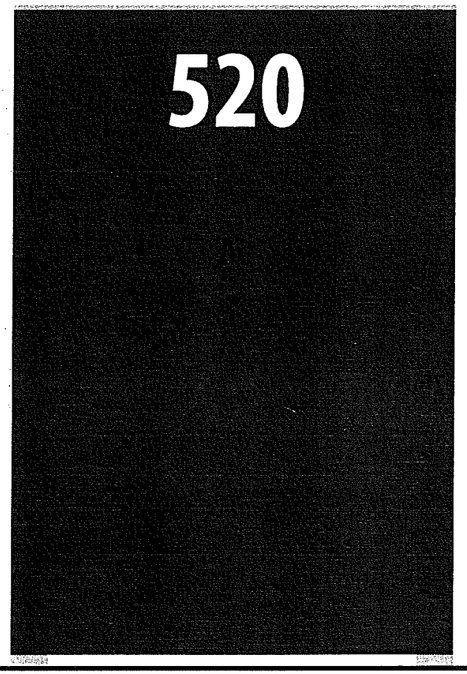
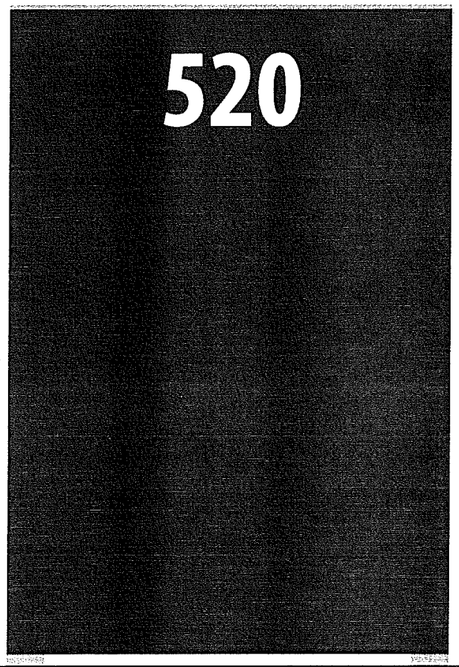
SIDE A

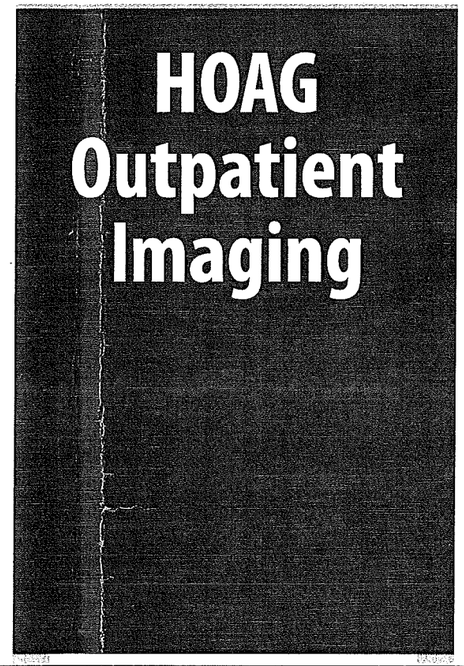


SIDE B

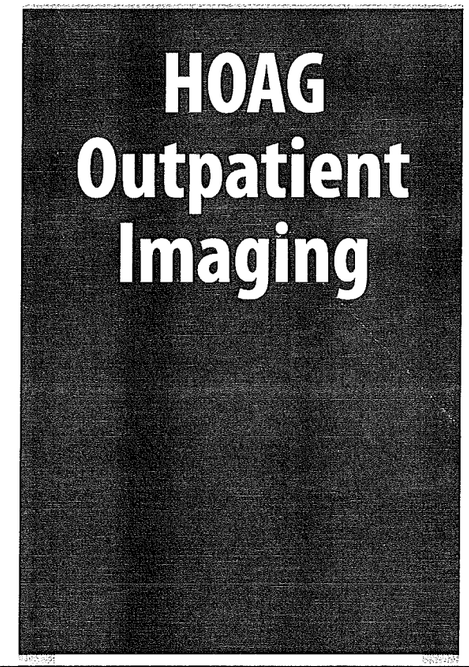


LOCATION 1-113

SIDE A



SIDE B



LOCATION 1-114

C1 C2 **SIGN TYPE T1 - QTY 2** *Copy Layouts*

SCALE: 3/4" = 1'-0"

CNP
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4530 Mission Gorge Place
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Fax: 619.283.9503
Web: www.cnpsigns.com

CLIENT

HOAG Health Center

PROJECT
HOAG HEALTH CENTER
NEWPORT BEACH, CA

LOCATION
1-113 & 1-114

SHEET TITLE
TEMPORARY SIGN T1
COPY LAYOUTS

ACCT. REP.
NICTE LOPEZ

DESIGNER
STEVE CREGAN

DATE 01/26/09 SCALE NOTED

CUSTOMER APPROVAL

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DWG#	PROJECT #
09-054	000000
REVISION NO.	WO# 000000

REVISIONS

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5			11		
6			12		

7 of 7

500 Building - Wall Sign

Text shown in drawing may be for illustration purposes only. Refer to Sign Message Schedule for correct text.

L5.01
Tenant Building Letters

SIGN TYPE: Dimensional can letters.

LOCATION: Refer to Message Schedule and Location Plan

SIZE: logo 29" dia. Dimensional letters 2" deep x 21" high approx. 18' long

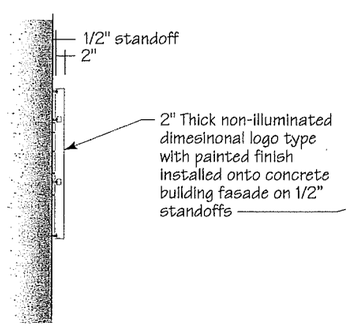
AREA: 57 square feet

USE: Identification of tenant

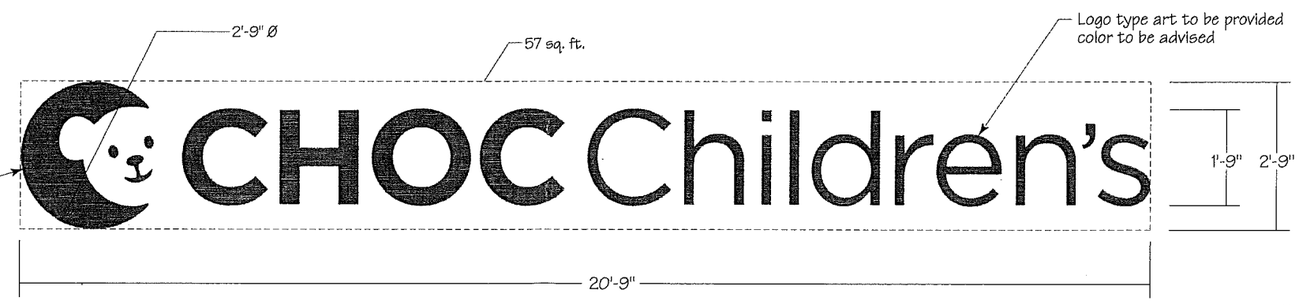
TYPE: Non Illuminated Dimensional Letters

COLORS: Match CHOC blue

3 / 1.7 **Install Detail**
Not To Scale



2 / 1.7 **Side View-Section**
3/8" = 1' - 0"



1 / 1.7 **Structure Entrance ID**
3/8" = 1' - 0"

Approved 1/20/09 EMS

PA2008-196 for CS2008-010
500-540 SUPERIOR AVENUE
William Cadieux

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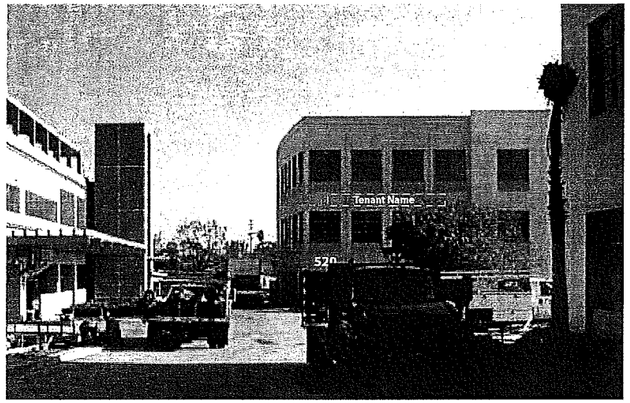
Hoag Health Center
Newport Beach, CA
Sign Type - CHOC Entry Identification

Dec. 17, 2008
Job #: RBB0802
SHEET 1.7

500, 510, + 520 Buildings

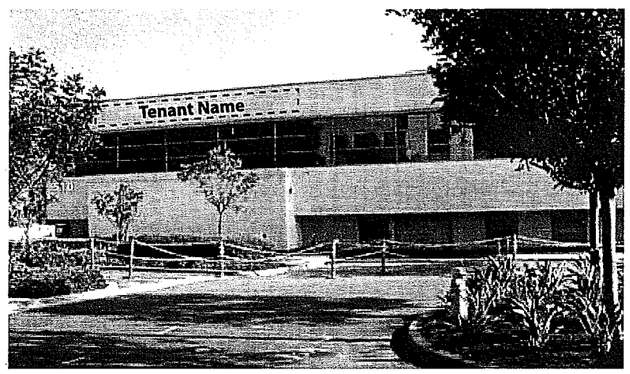
Wall Signs

Text shown in drawing may be for illustration purposes only. Refer to Sign Message Schedule for correct text



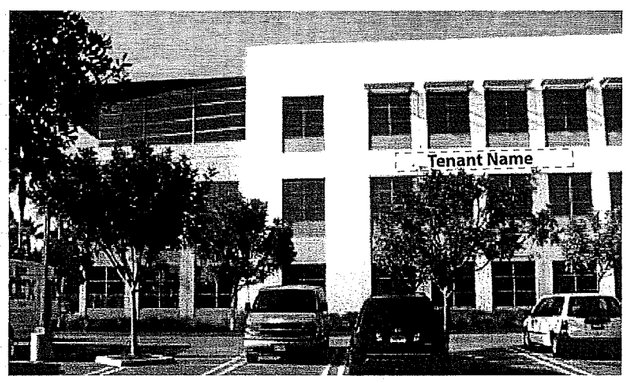
L5.01i
Location 1-121
Building 520
Tenant name 48.75 sq.ft. max.

West Elevation



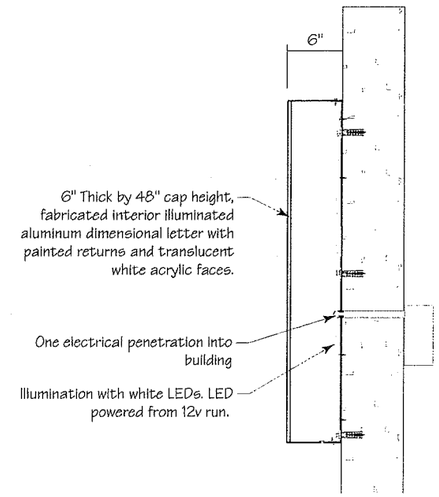
L5.02i
Location 1-123
Building 510 -
Tenant name ~~97.5 sq.ft. max.~~
75 sq. ft.

West Elevation

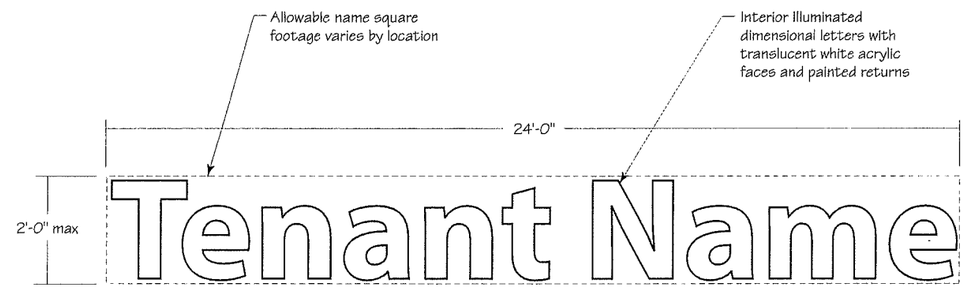


L5.01i
Location 1-124
Building 500 -
Tenant name ~~48.75 sq.ft. max.~~
37.5 sq. ft.

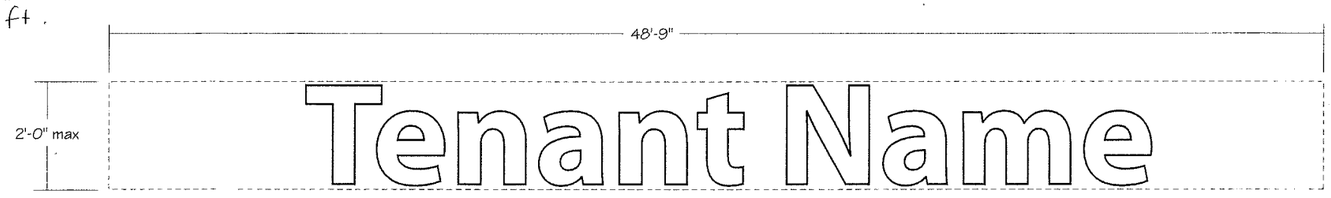
East Elevation



3 / 1.7A **Side View**
Not To Scale



2 / 1.7A **Dimensional Letters L5.01i**
Location 1-124 , 1-121



1 / 1.7A **Dimensional Letters L5.02i**
Location 1-123

approved 11/20/09 EMS

L5.01i - L05.02i Building Identification

SIGN TYPE: Fabricated, 6" thick face interior illuminated dimensional letters with painted returns and translucent white acrylic faces on fabricated aluminum cabinet mounted to building.

LOCATION: Refer to Message Schedule and Location Plan

SIZE: 24" tall letters x 6" Deep

AREA: Determined by location

USE: Building Identification

TYPE: Dimensional letters on raceway cabinet

COLORS: White acrylic face with paint blue sides

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Hoag Health Center
Newport Beach, CA

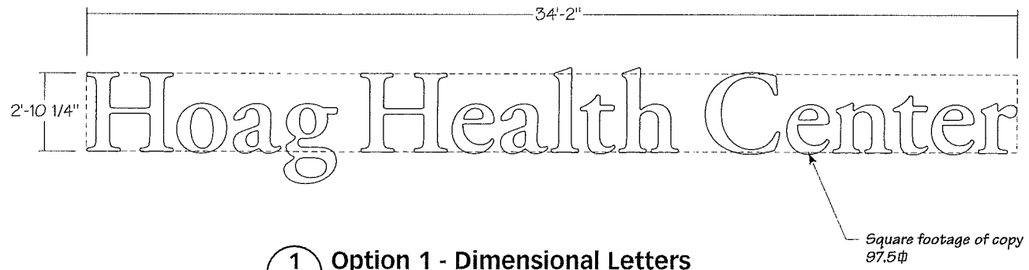
Illuminated Dimensional Letters

Dec 17, 2008
Job #: RBB0802

SHEET 1.7A

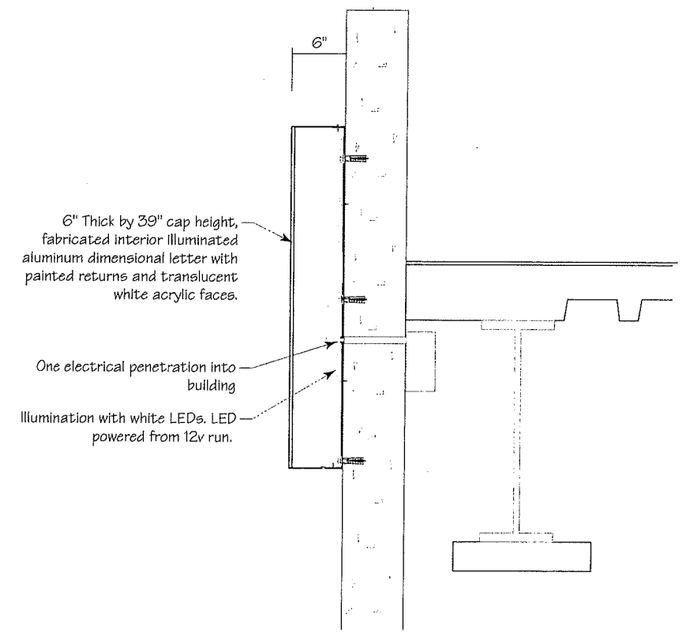
520 Building - Wall Sign

Text shown in drawing may be for illustration purposes only. Refer to Sign Message Schedule for correct text



1 / 1.06 **Option 1 - Dimensional Letters**
Not To Scale

2 / 1.06 **Diametric View**
Not To Scale



3 / 1.06 **Section**
3/4" = 1' - 0"

~~L3.01i~~ 4.01i Building Identification

SIGN TYPE: Fabricated, 6" thick face interior illuminated dimensional letters with painted returns and translucent white acrylic faces.

LOCATION: Refer to Message Schedule and Location Plan. 1-120

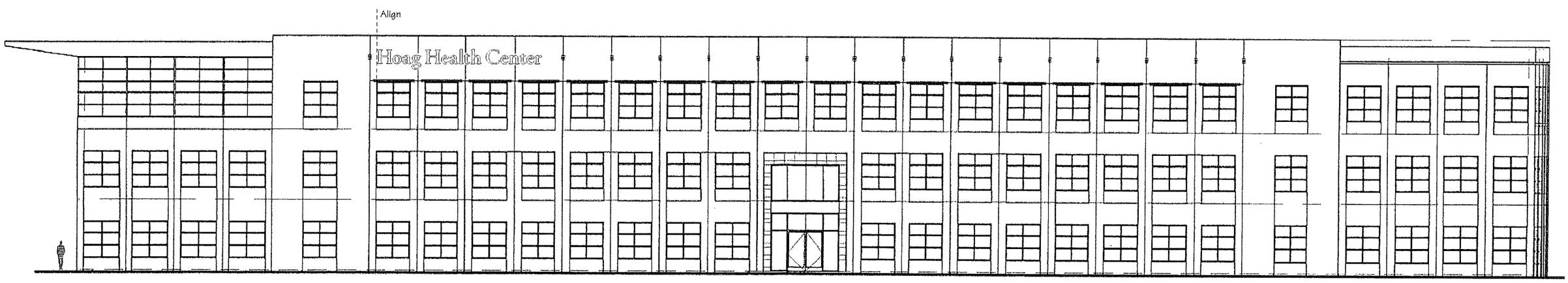
SIZE: 34 1/4" tall letters x 6" Deep

AREA: 97.5 square feet

USE: Building Identification

TYPE: Dimensional letters

COLORS: White acrylic face with paint blue returnes



4 / 1.06 **Newport Blvd. Elevation**
Not To Scale

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Hoag Health Center
Newport Beach, CA

Illuminated Dimensional Letters - Option 1

Dec. 17, 2008
Job #: RBB0802

SHEET 1.06

A

Text shown in drawing may be for illustration purposes only. Refer to Sign Message Schedule for correct text.

M1.01i
Large Monument Site Identification

SIGN TYPE: Large two sided frame with open grid positioned in front of existing building corner with illuminated sign cabinets and numbers.

LOCATIONS: Refer to Message Schedule and Location Plan 1-102

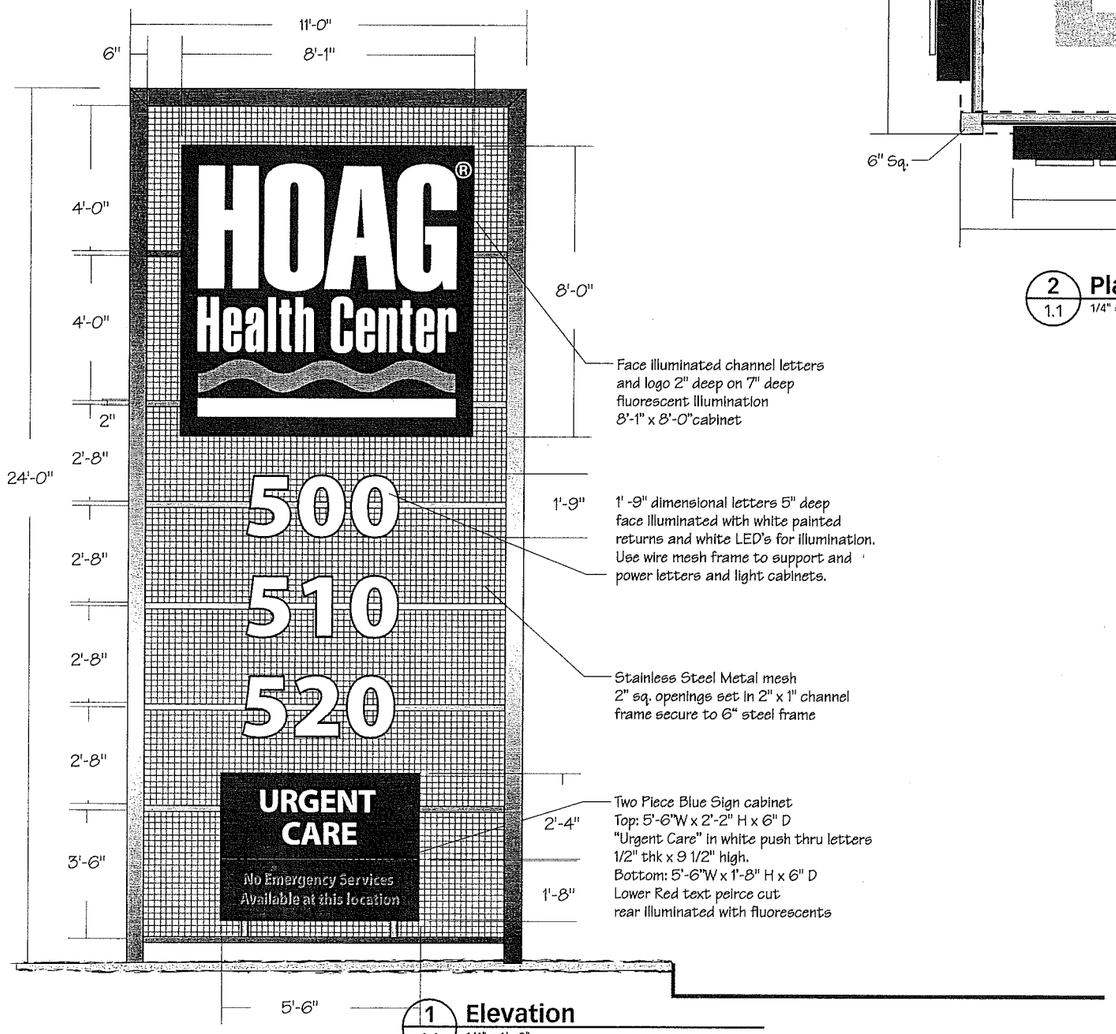
SIZE: 24' tall x 10'-11" wide x 12" deep cabinets, 6" sq. posts.

AREA: Cabinet Faces 88 square feet

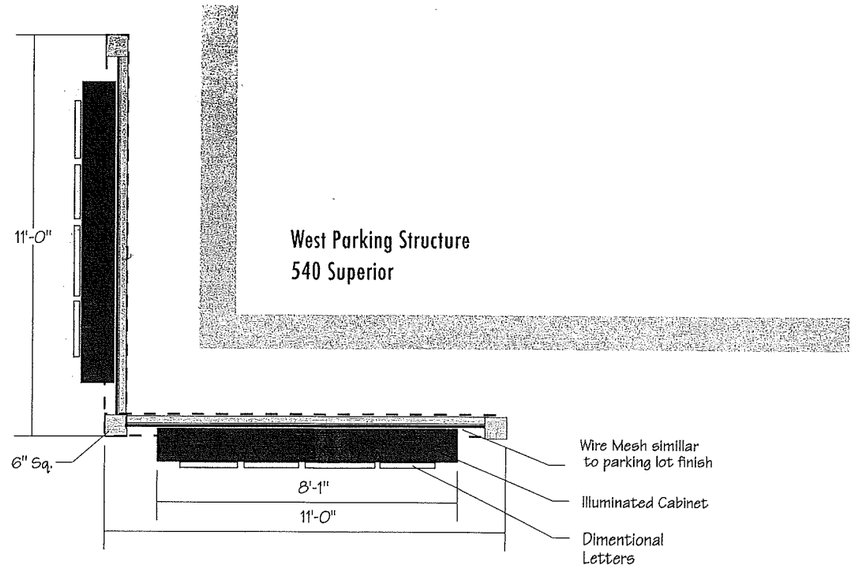
USE: Site, Service and address Idetification

TYPE: Metal Frame with metal grid mesh to match existing site material. Aluminum sign cabinets with push through illuminated name, Illuminated address dimentional numbers.

COLORS: Hoag Blue,Red, White and Silver



1 / 1.1 **Elevation**
1/4" = 1' - 0"



2 / 1.1 **Plan View**
1/4" = 1' - 0"

3 / 1.1 **Install Detail**
1/4" = 1' - 0"

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Hoag Health Center
New Port Beach, CA

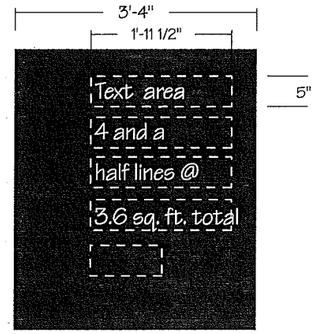
Sign Type - Large Entry Monument - Large

Dec. 12, 2008
Job #: RBB0802

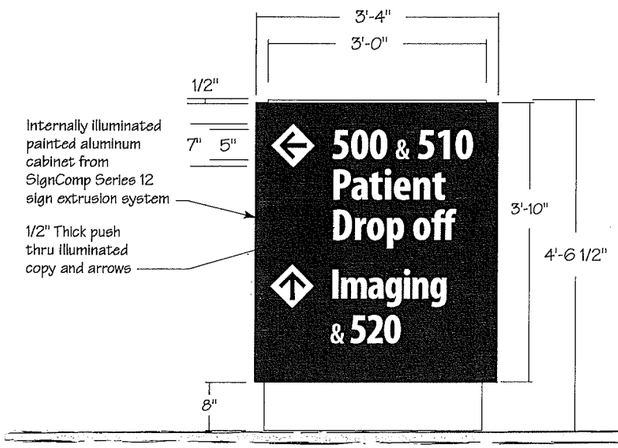
SHEET 1.1

B

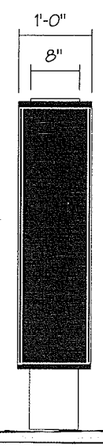
3 / 1.10 **Plan View**
1/2" = 1' - 0"



4 / 1.10 **Layout**
1/2" = 1' - 0"



1 / 1.10 **Illuminated Directional**
1/2" = 1' - 0"



2 / 1.10 **Side View**
1/2" = 1' - 0"

Gx6.03i
Directional-Illuminated

SIGN TYPE: Illuminated Sign cabinet with Aluminum faces and push through letters

LOCATIONS: Refer to Message Schedule and Location Plan 1-103B, 1-105, 1-107, 1-109, 1-112, 1-118

SIZE: 4'-8" tall x 3'-4" wide x 12" deep.

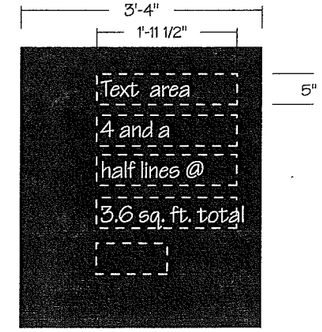
AREA: Face 12.6 square feet
Text area total 3.75 sq. ft.

USE: Directional information for vehicles and pedestrians

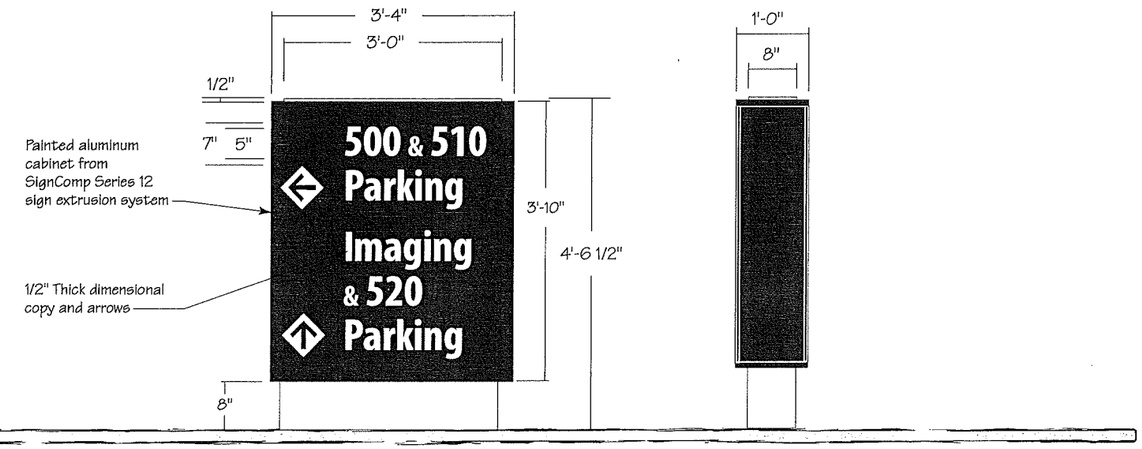
TYPE: Metal sign cabinet from Sign Comp Series 12 Extrusion System on base

COLORS: Hoag Blue, White and Silver

7 / 1.10 **Plan View**
1/2" = 1' - 0"



8 / 1.10 **Layout**
1/2" = 1' - 0"



5 / 1.10 **Non-illuminated Directional**
1/2" = 1' - 0"

6 / 1.10 **Side View**
1/2" = 1' - 0"

Gx6.03
Directional- Non Illuminated

SIGN TYPE: Illuminated Sign cabinet with Aluminum faces and push through letters

LOCATIONS: Refer to Message Schedule and Location Plan 1-103A, 1-111, 2-105, 2-106, 2-111, 2-112, 2-115, 2-116, 2-118, 2-123, 2-125,

SIZE: 4'-8" tall x 3'-4" wide x 12" deep.

AREA: Face 12.6 square feet
Text area total 3.75 sq. ft.

USE: Directional information for vehicles and pedestrians

TYPE: Metal sign cabinet from Sign Comp Series 12 Extrusion System on base

COLORS: Hoag Blue, White and Silver

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Hoag Health Center
Newport Beach, CA

Directionals with City revisions

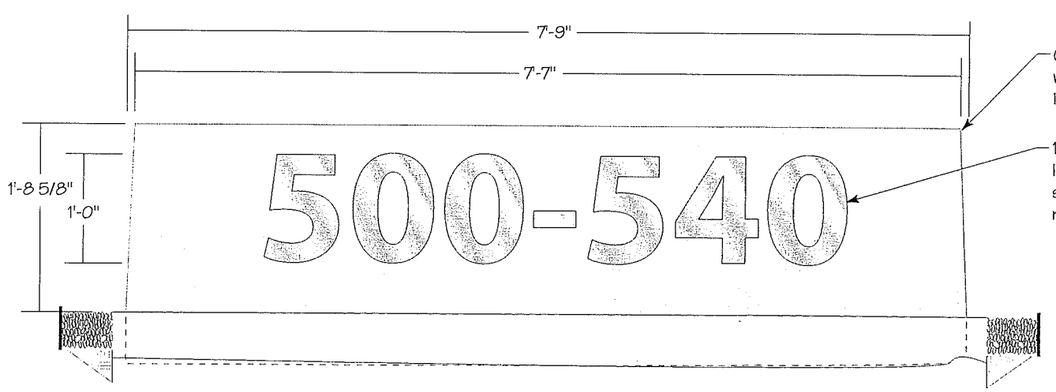
Dec. 17, 2008
Job #: RBB0802

SHEET 1.10

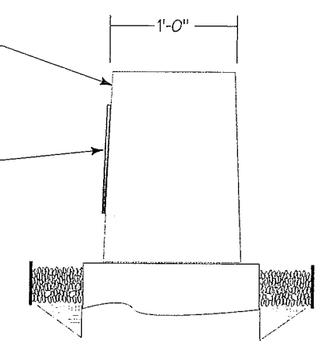
C

Text shown in drawing may be for illustration purposes only. Refer to Sign Message Schedule for correct text.

3 / 1.3 Install Detail
Not To Scale



1 / 1.3 Elevation
3/4" = 1' - 0"



2 / 1.3 Side View
3/4" = 1' - 0"

L1.01 Address Number Range

SIGN TYPE: cast in plase low wall.

LOCATION: Refer to Message Schedule and Location Plan 1-150

SIZE: Address number range on cast concrete wall

AREA: 12" letters

USE: Identification of address range.

TYPE: Plate cut letters with painted finish on cast concrete wall

COLORS: Concrete sign painted to match building accent color with silver copy

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Gx-5.01i
Small Monument Tenant Directory

SIGN TYPE: Aluminum Sign cabinet with push through illuminated address numbers and building entry I.D.

LOCATIONS: Refer to Message Schedule and Location Plan 1-113, 1-116, 1-117

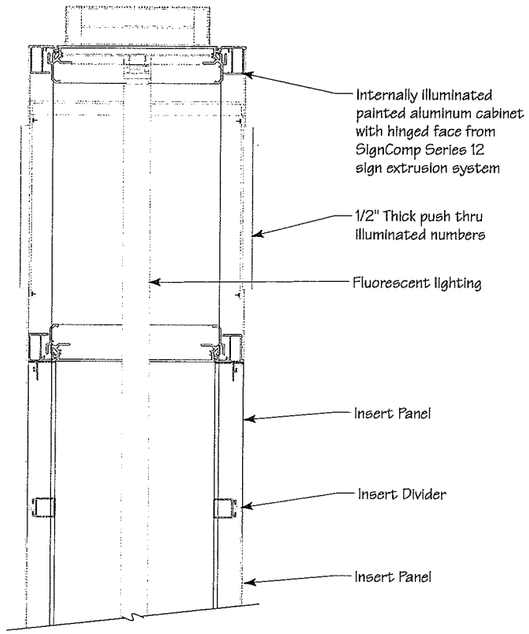
SIZE: 6'-0" tall x 4'-4" wide x 12" deep.

AREA: Tenant copy area 1.45 square feet per strip with 7 strips for a total of 10.15 square feet.

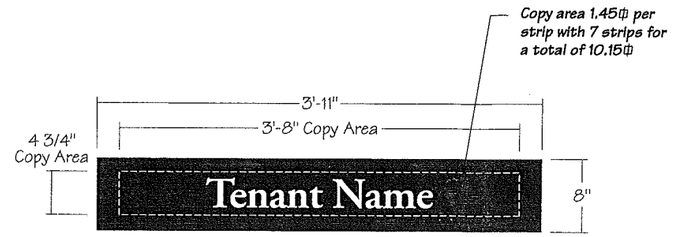
USE: Building entry identification and multi tenant listing in changeable strips.

TYPE: Metal sign cabinet from SignComp Series 12 Extrusion System on support legs set in cement footing

COLORS: Hoag Blue, Green White and Silver

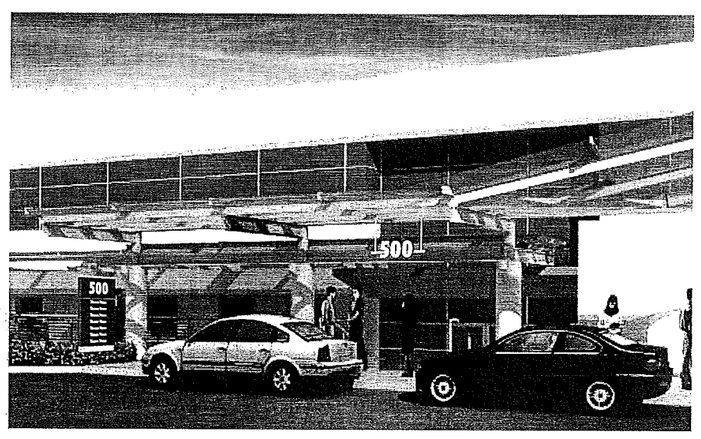


5 / 1.8 **Section**
1/2" = 1' - 0"

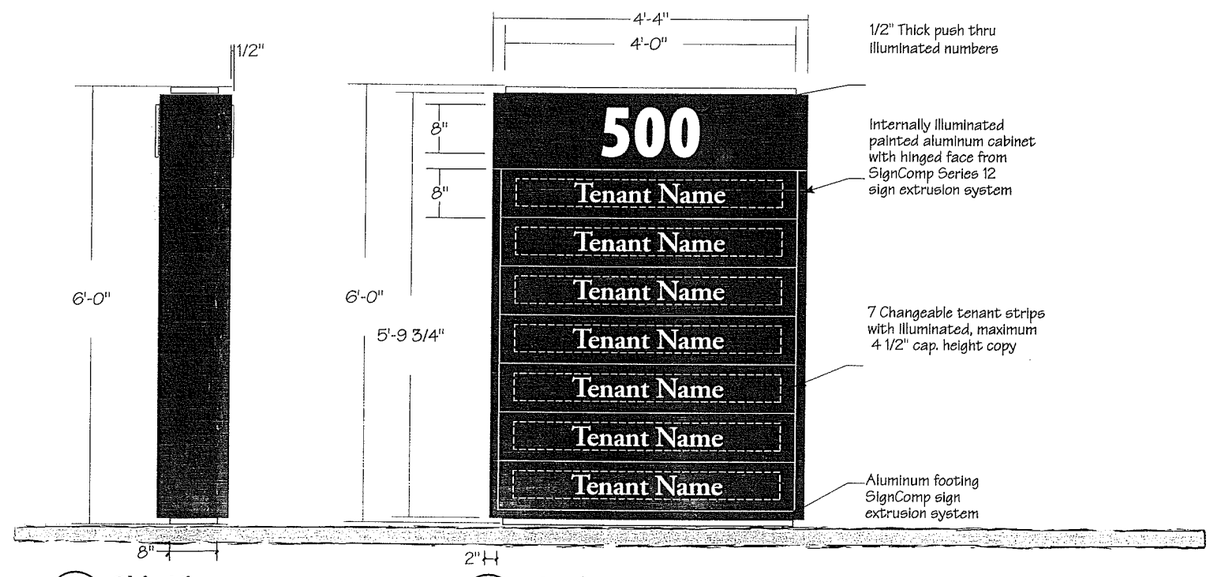


4 / 1.8 **Name Strip Detail**
1" = 1' - 0"

3 / 1.8 **Plan View**
1/2" = 1' - 0"



7 / 1.8 **Install Detail**
Not To Scale



2 / 1.8 **Side View**
1/2" = 1' - 0"

1 / 1.8 **Elevation**
1/2" = 1' - 0"

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Hoag Health Center
Newport Beach, CA

Tenant Directory

Dec. 17, 2008
Job #: RBB0802

SHEET 1.8

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D

Gx-5.02i Small Monument Tenant Directory

SIGN TYPE: Aluminum Sign cabinet with push through illuminated address numbers and building entry I.D.

LOCATION: Refer to Message Schedule and Location Plan 1-114

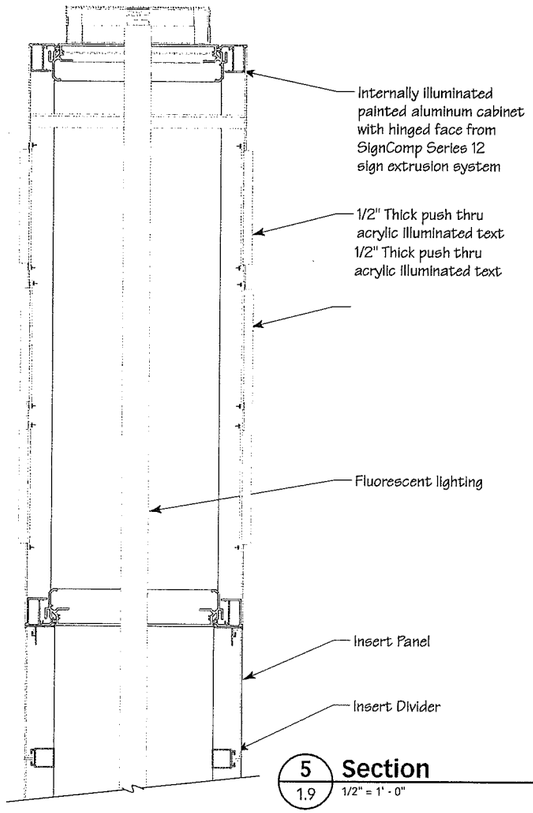
SIZE: 6'-0" tall x 4'-4" wide x 12" deep.

AREA: Tenant copy area 1.45 square feet per strip with 3 strips for a total of 4.35 square feet.

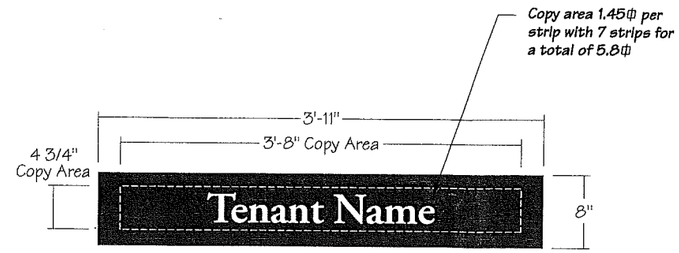
USE: Building entry identification and multi tenant listing in changeable strips.

TYPE: Metal sign cabinet from SignComp Series 12 Extrusion System on support legs set in cement footing

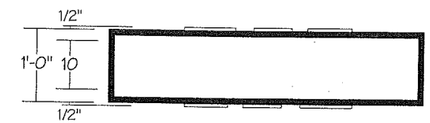
COLORS: Hoag Blue, Green White and Silver



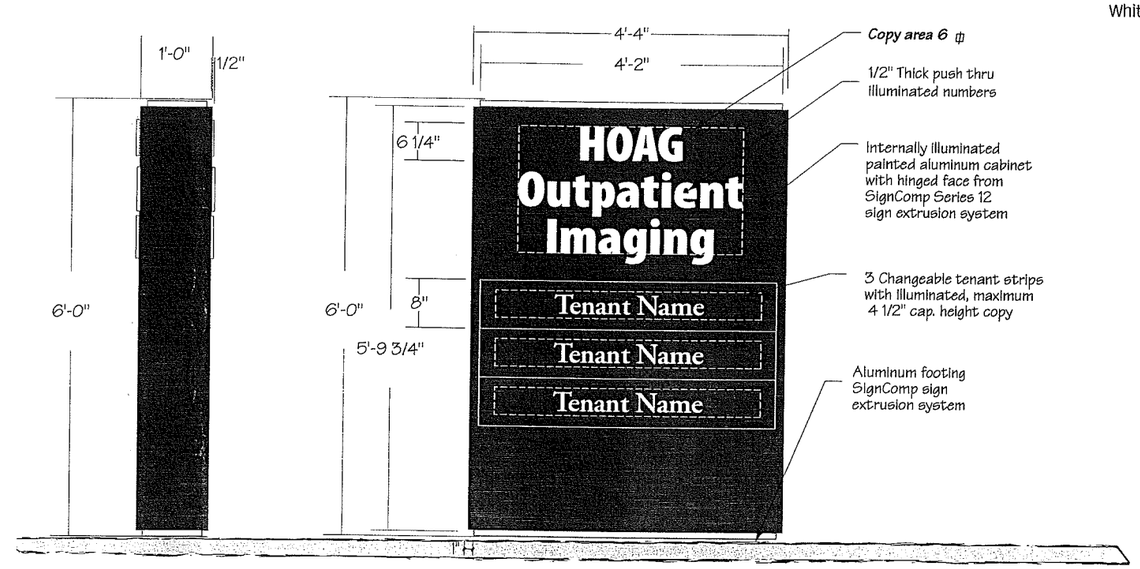
5 / 1.9 **Section**
1/2" = 1' - 0"



4 / 1.9 **Name Strip Detail**
1" = 1' - 0"

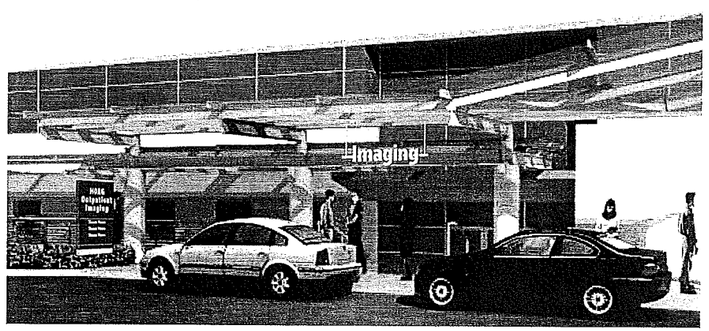


3 / 1.9 **Plan View**
1/2" = 1' - 0"



2 / 1.9 **Side View**
1/2" = 1' - 0"

1 / 1.9 **Elevation**
1/2" = 1' - 0"



7 / 1.9 **Install Detail**
Not To Scale

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Hoag Health Center
Newport Beach, CA

Tenant Directory

Dec. 17, 2008
Job #: RBB0802

SHEET 1.9

E

Text shown in drawing may be for illustration purposes only. Refer to Sign Message Schedule for correct text

H1.01i
Parking Structure I.D.

SIGN TYPE: illuminated Sign cabinets

LOCATIONS: Refer to Message Schedule and Location Plan 1-104 1-108

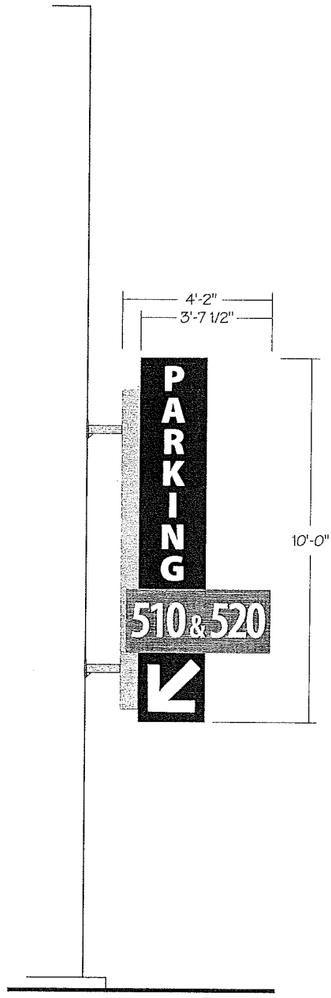
SIZE: 4'-2" wide x 10' high x 22" depth

AREA: 90.8 sq. ft. total for all 3 sides of sign

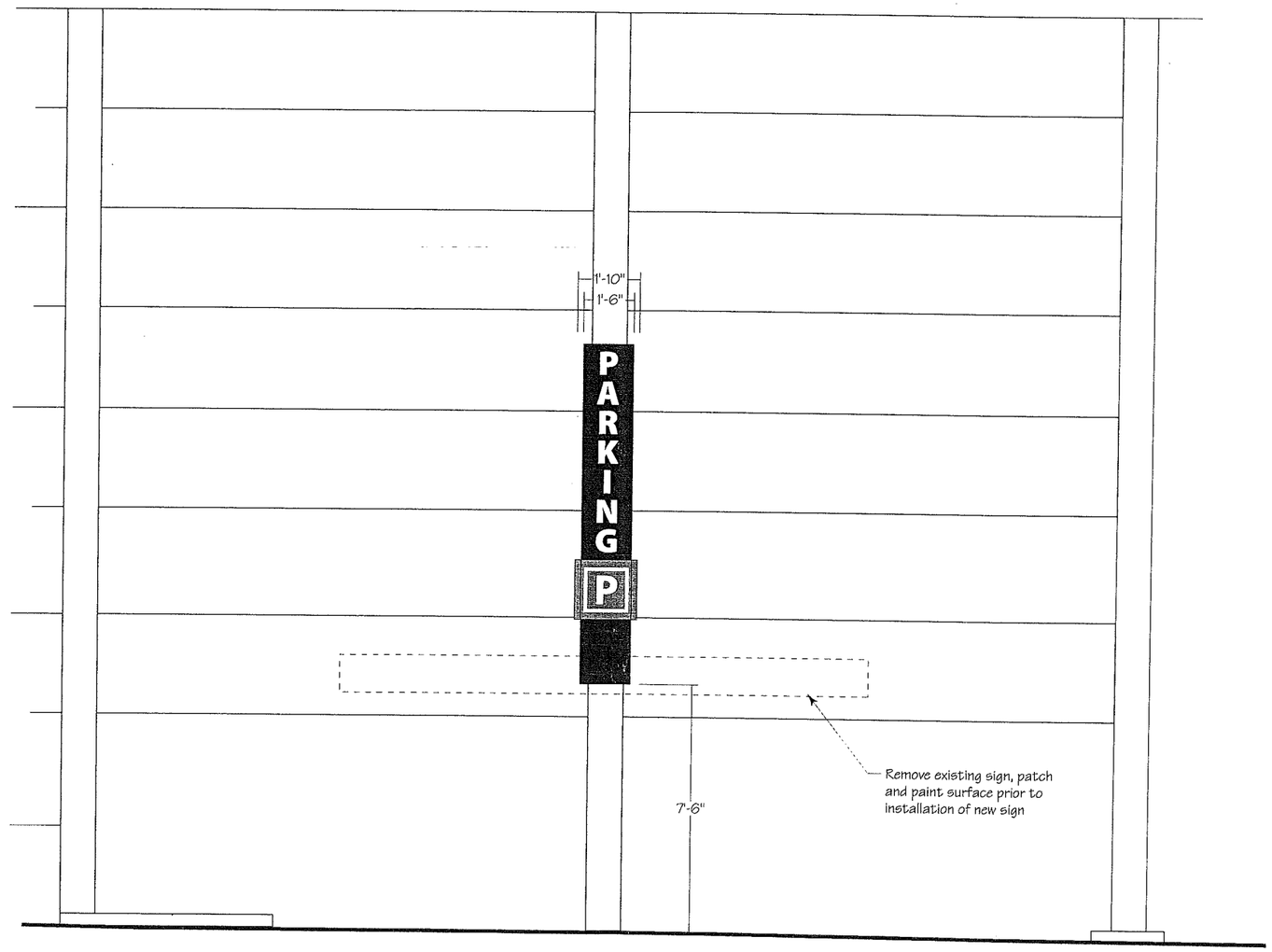
USE: Parking Structure Entry Identification

TYPE: Aluminum sign cabinet with aluminum faces and push through letters

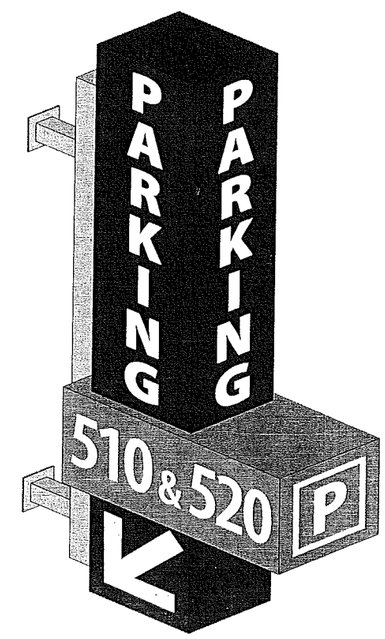
COLORS: Hoag Blue, Green, and Silver, with White copy



2 / 1.11 **Side View**
1/4" = 1' - 0"



1 / 1.11 **Structure Entrance ID**
1/4" = 1' - 0"



3 / 1.11 **Diametric View**
Not To Scale

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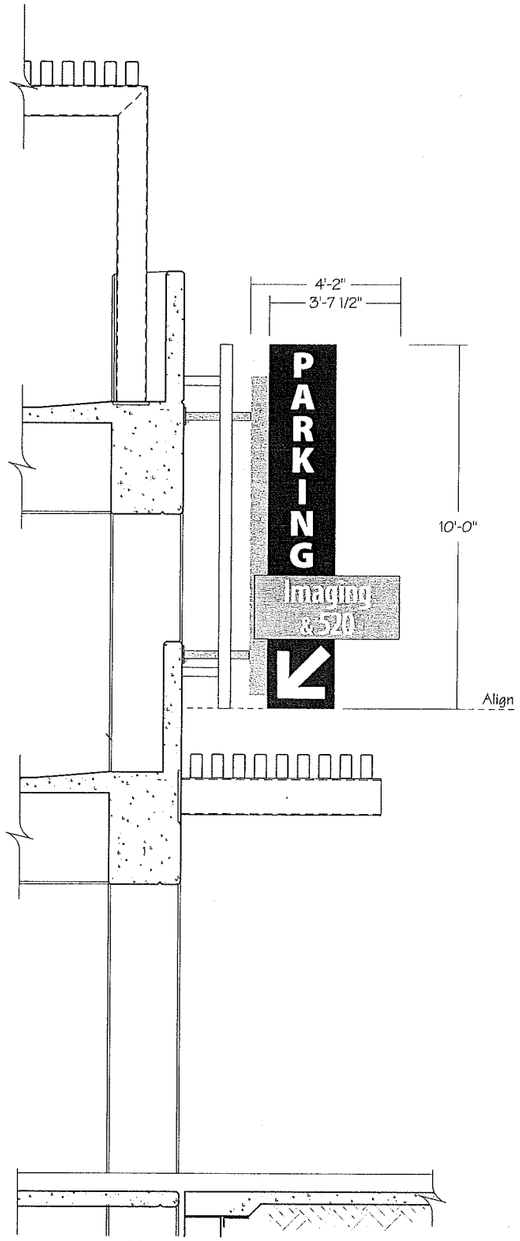
Hoag Health Center
Newport Beach, CA

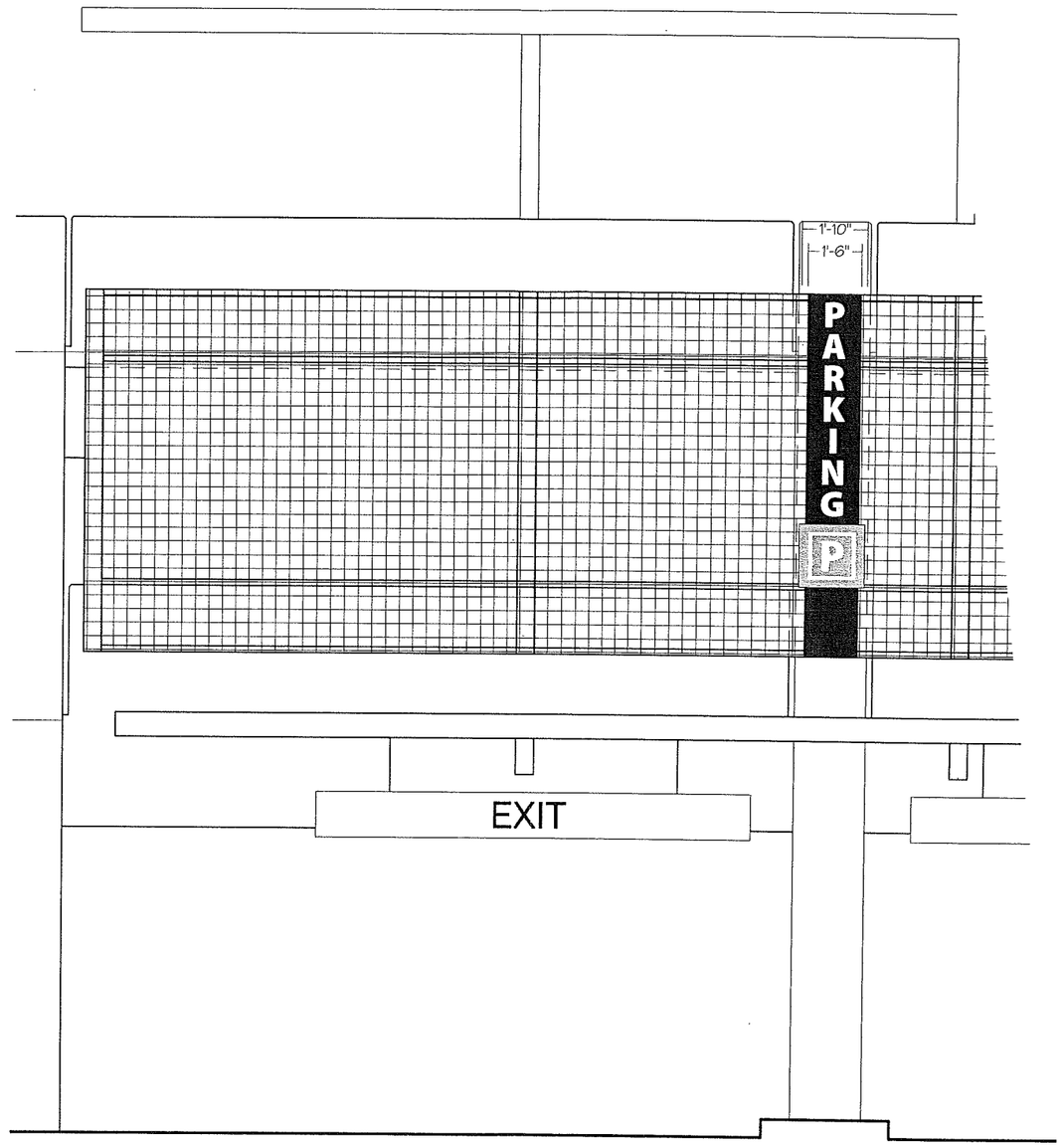
West Structure Entrance Id

Dec. 17, 2008
Job #: RBB0802
SHEET 1.11

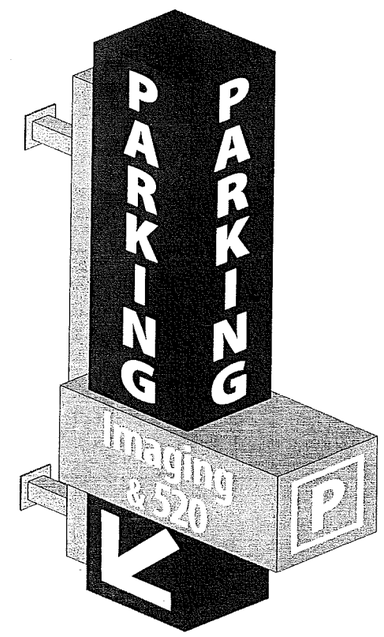
Text shown in drawing may be for illustration purposes only. Refer to Sign Message Schedule for correct text



2 1.12 **Side View**
1/4" = 1' - 0"



1 1.12 **Structure Entrance ID**
1/4" = 1' - 0"



3 1.12 **Diametric View**
Not To Scale

H1.01i
Parking Structure I.D.

SIGN TYPE: illuminated Sign cabinets

LOCATIONS: Refer to Message Schedule and Location Plan

SIZE: 4'-2" wide x 10' high x 22" deep

AREA: 90.8 sq. ft. total for all 3 sides of sign

USE: Parking Structure Entry Identification

TYPE: Aluminum sign cabinet with aluminum faces and push through letters

COLORS: Hoag Blue, purple and Silver, with White text

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Hoag Health Center
Newport Beach, CA

East Structure Entrance Id

Dec. 17, 2008
Job #: RBB0802
SHEET 1.12

Text shown in drawing may be for illustration purposes only Refer to Sign Message Schedule for correct text.

F

L3.01, L3.02 Building Entrance Address

SIGN TYPE: Non illuminated metal dimensional letters on rail pendant hung from canopy

LOCATIONS: Refer to Message Schedule and Location Plan 2-102, 2-107, 2-110, 2-114

SIZE: 15" tall letters x 4" Deep

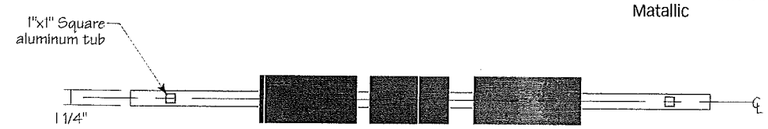
AREA: 2.9 sq. ft. & 6.2 Sq. Ft.

USE: Building entry Identification

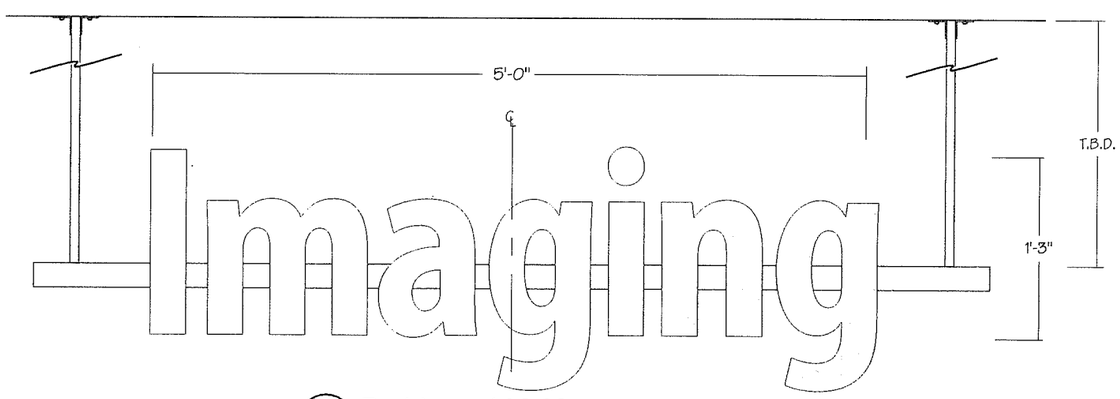
TYPE: Dimensional letters

COLORS: Letters-Mirror polished faces with Blue returns. Frame-Silver Rose Matallic

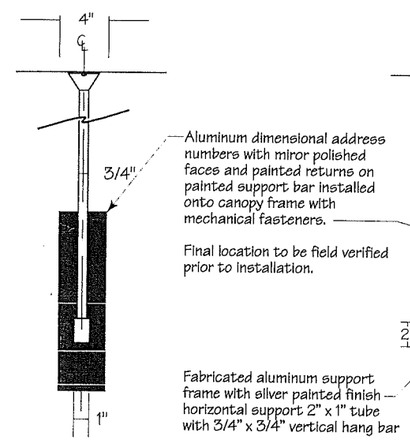
5 / 1.05 **Install Detail**
Not To Scale



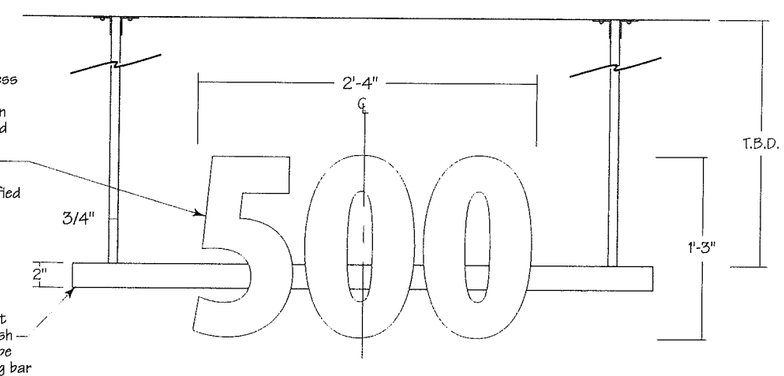
3 / 1.05 **Plan View**
1" = 1' - 0"



4 / 1.05 **Text Layout L3.02**
1" = 1' - 0"



2 / 1.05 **Side View**
1" = 1' - 0"



1 / 1.05 **Elevaton-Entrance Address L3.01**
1" = 1' - 0"

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Hoag Health Center
Newport Beach, CA

Building Entrance Address

Dec 17, 2008
Job #: RBB0802

SHEET 1.05

G

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4 / 1.04 **Locations-South Driveway**
Not To Scale

5 / 1.04 **Locations-Building 520**
Not To Scale

L2.01i
Building Address Numbers

SIGN TYPE: Illuminated Dimensional Numbers per Newport Beach Fire Marshall

LOCATIONS: Refer to Message Schedule and Location Plan

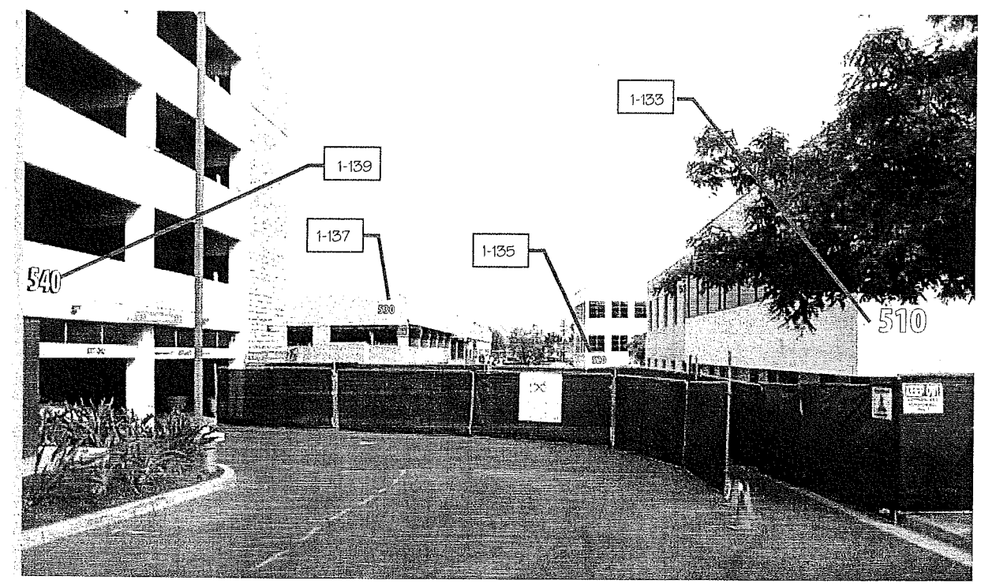
SIZE: 12" tall letters x 4" Deep

USE: Building Address Identification

TYPE: Dimensional numbers

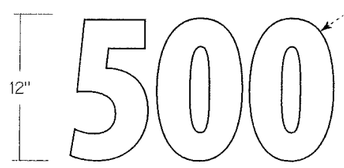
COLORS: Rear illuminated white face with blue sides

1-130
1-131
1-132
1-133
1-134
1-135
1-137
1-139



6 / 1.04 **Locations-Main Street**
Not To Scale

3 / 1.04 **Diametric View**
Not To Scale

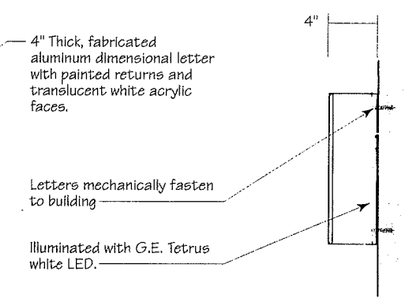


4" Thick, fabricated aluminum dimensional letter with painted returns and translucent white acrylic faces.

Letters mechanically fasten to building

Illuminated with G.E. Tetrus white LED.

1 / 1.04 **Elevation**
1" = 1' - 0"



2 / 1.04 **Side View**
1" = 1' - 0"

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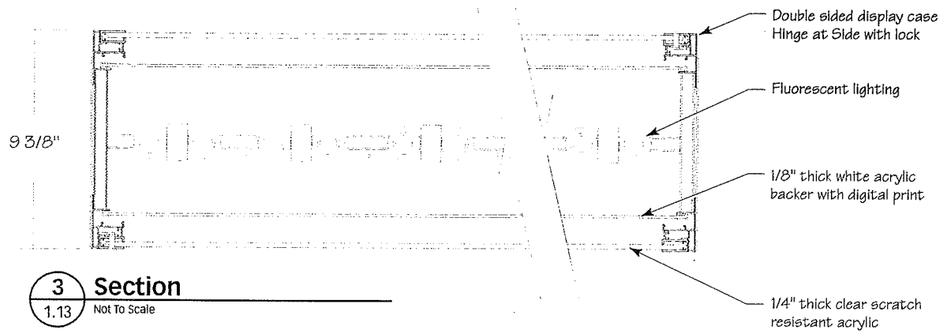
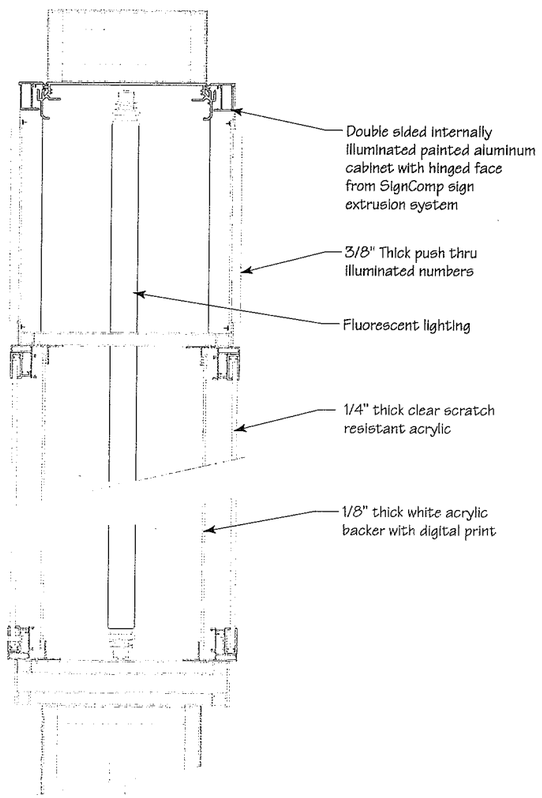
Hoag Health Center
Newport Beach, CA
Building Address Numbers

Dec. 17, 2008
Job #: RBB0801
SHEET 1.04

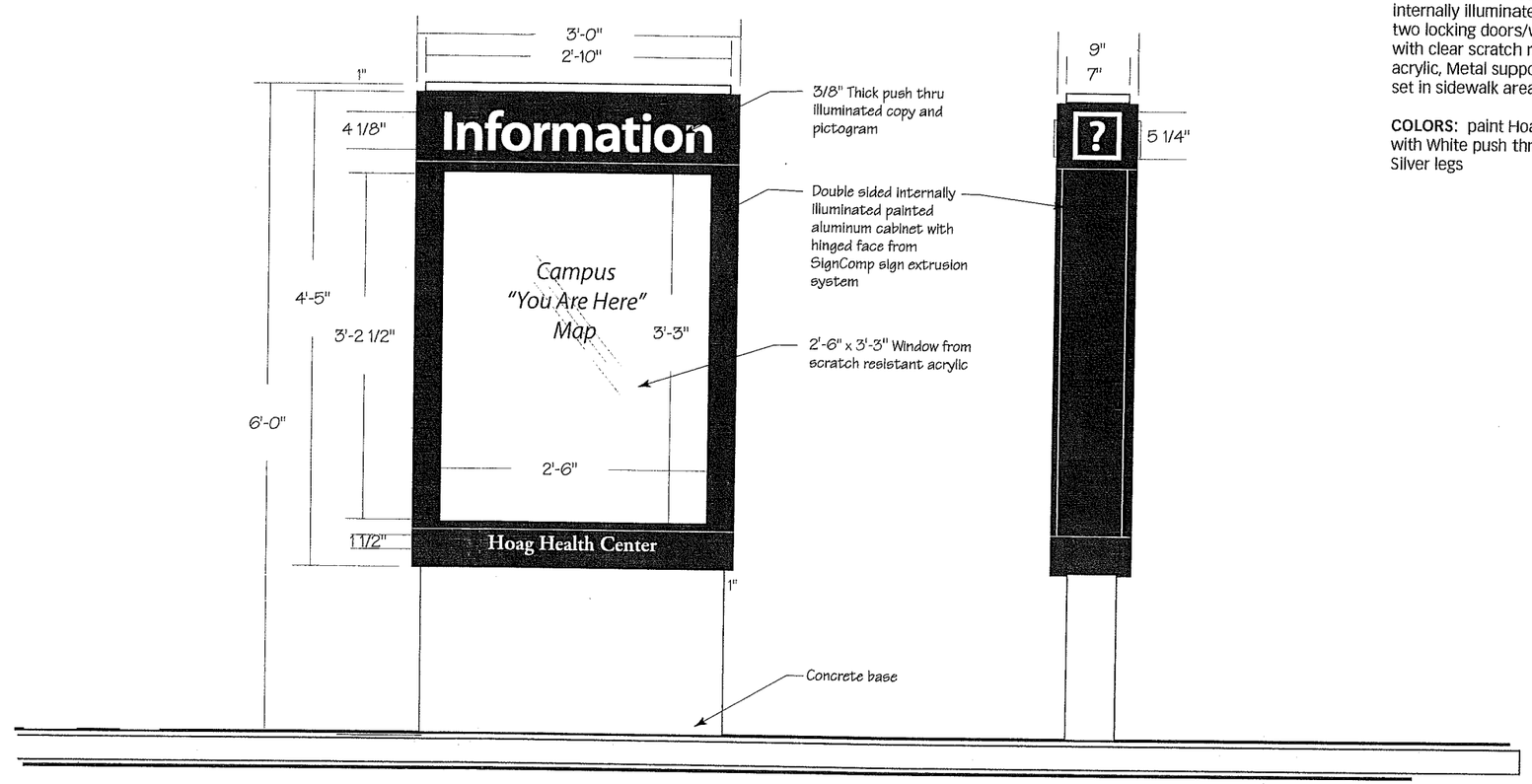
Text shown in drawing may be for illustration purposes only. Refer to Sign Message Schedule for correct text.



3 / 1.13 **Section**
Not To Scale



4 / 1.13 **Section**
Not To Scale



1 / 1.13 **Elevation**
3/4" = 1' - 0"

2 / 1.13 **Side View**
3/4" = 1' - 0"

K1.01i
Double Sided Pedestrian Kiosk

1-110

SIGN TYPE: illuminated cabinet with double sided case.

LOCATIONS: Refer to Message Schedule and Location Plan

SIZE: 3'-6" wide x 6'-0" high x 9" deep

AREA: 13.25 sq.ft.

USE: Display Site information

TYPE: Double sided cabinet internally illuminated with two locking doors/windows with clear scratch resistant acrylic, Metal supported legs set in sidewalk area.

COLORS: paint Hoag Blue with White push thru letters, Silver legs

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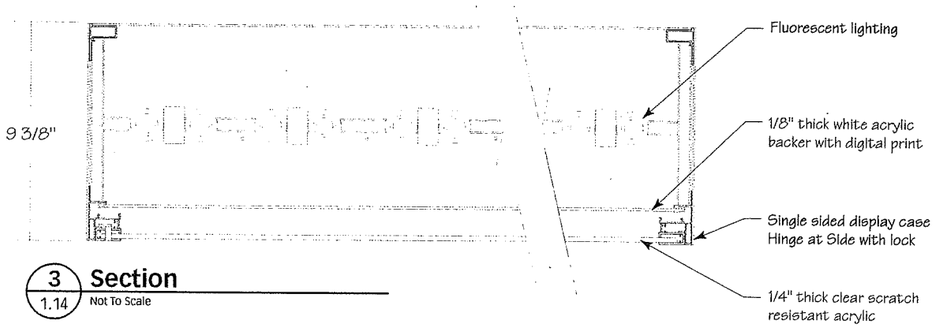
Hoag Health Center
Newport Beach, CA

Pedestrian Kiosk

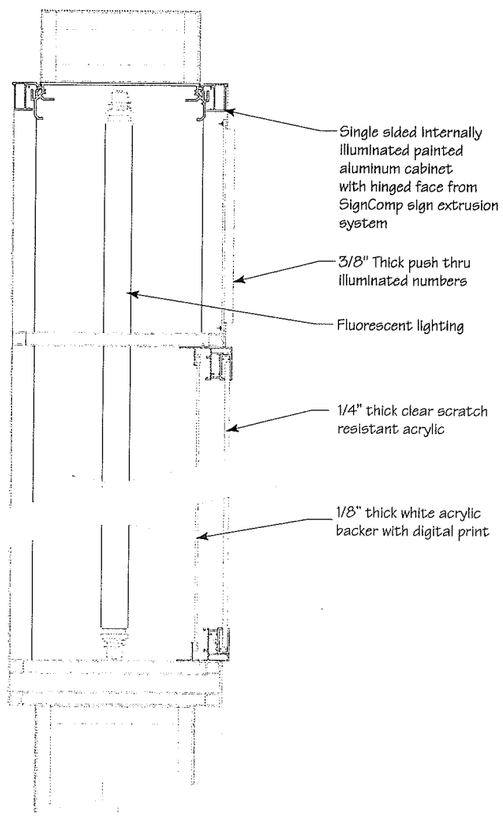
Dec. 17, 2008
Job #: RBB0802

SHEET 1.13

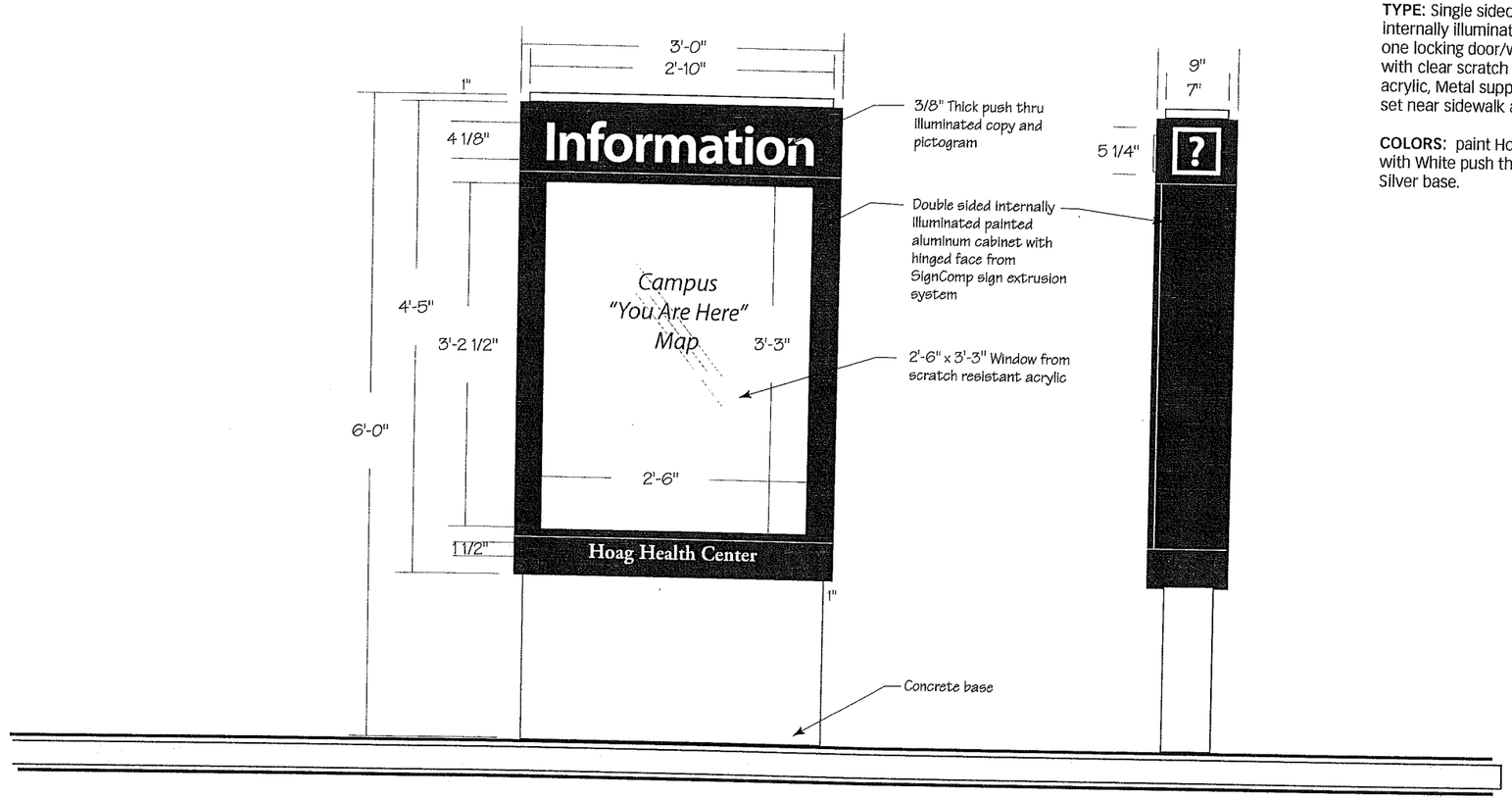
Text shown in drawing may be for illustration purposes only. Refer to Sign Message Schedule for correct text.



3 / 1.14 **Section**
Not To Scale



4 / 1.14 **Section**
Not To Scale



1 / 1.14 **Elevation**
3/4" = 1' - 0"

2 / 1.14 **Side View**
3/4" = 1' - 0"

K1.02i Single Sided Pedestrian Kiosk

1-106

SIGN TYPE: Illuminated cabinet with single sided case.

LOCATIONS: Refer to Message Schedule and Location Plan

SIZE: 3'-6" wide x 7'-2" high x 9" deep

AREA: 25 sq.ft.

USE: Display Site information

TYPE: Single sided cabinet internally illuminated with one locking door/windows with clear scratch resistant acrylic, Metal supported legs set near sidewalk area.

COLORS: paint Hoag Blue with White push thru letters, Silver base.

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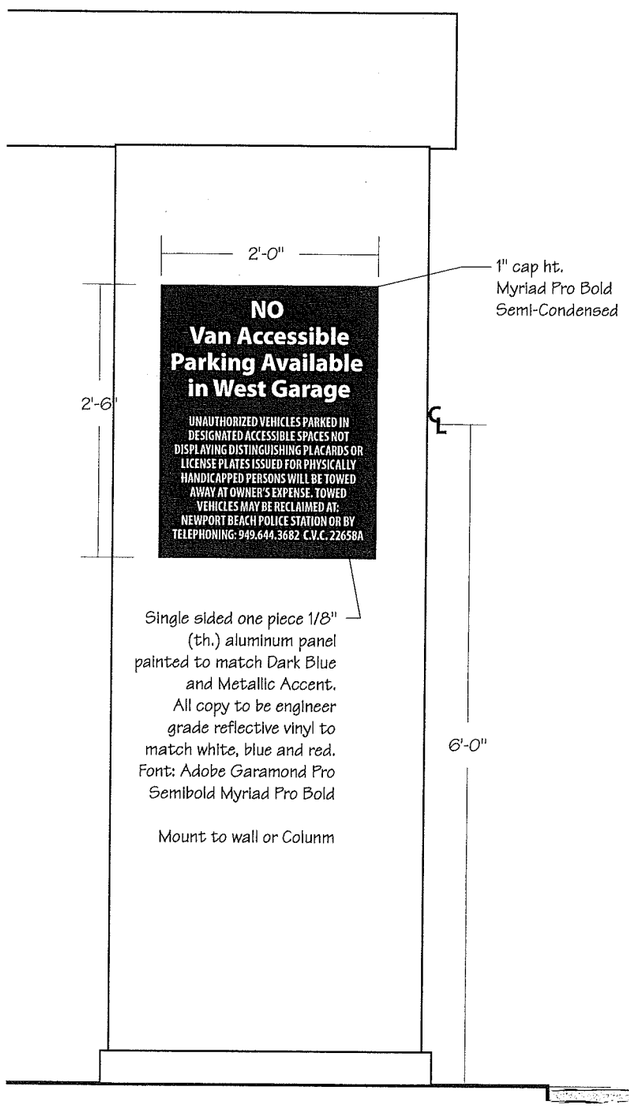
Hoag Health Center
Newport Beach, CA

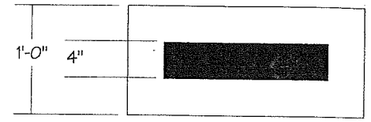
Single Sided Pedestrian Kiosk

Dec. 17, 2008
Job #: RBB0802
SHEET 1.14

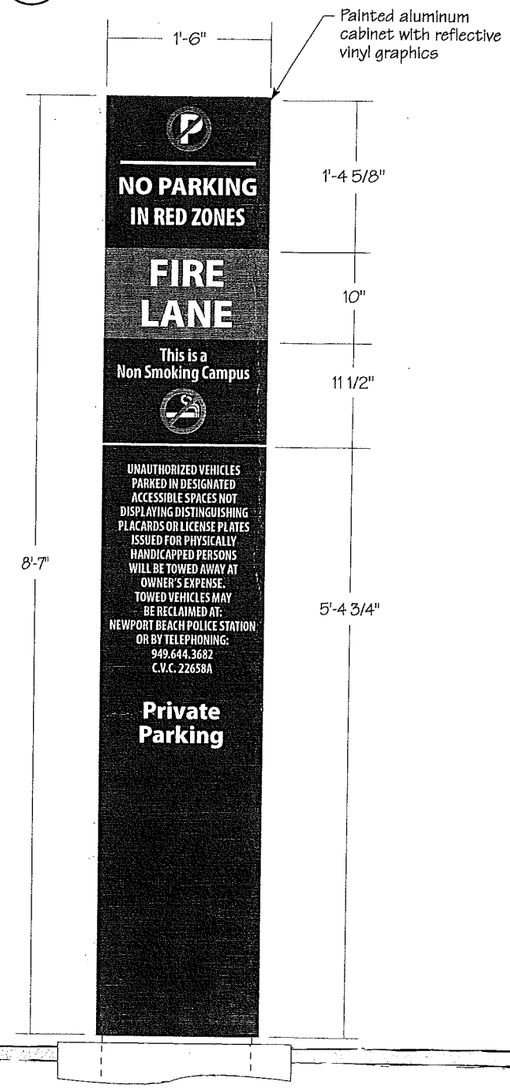
I



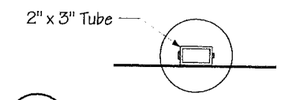
1 / 2.1 **Rx-7.02**
3/4" = 1' - 0"



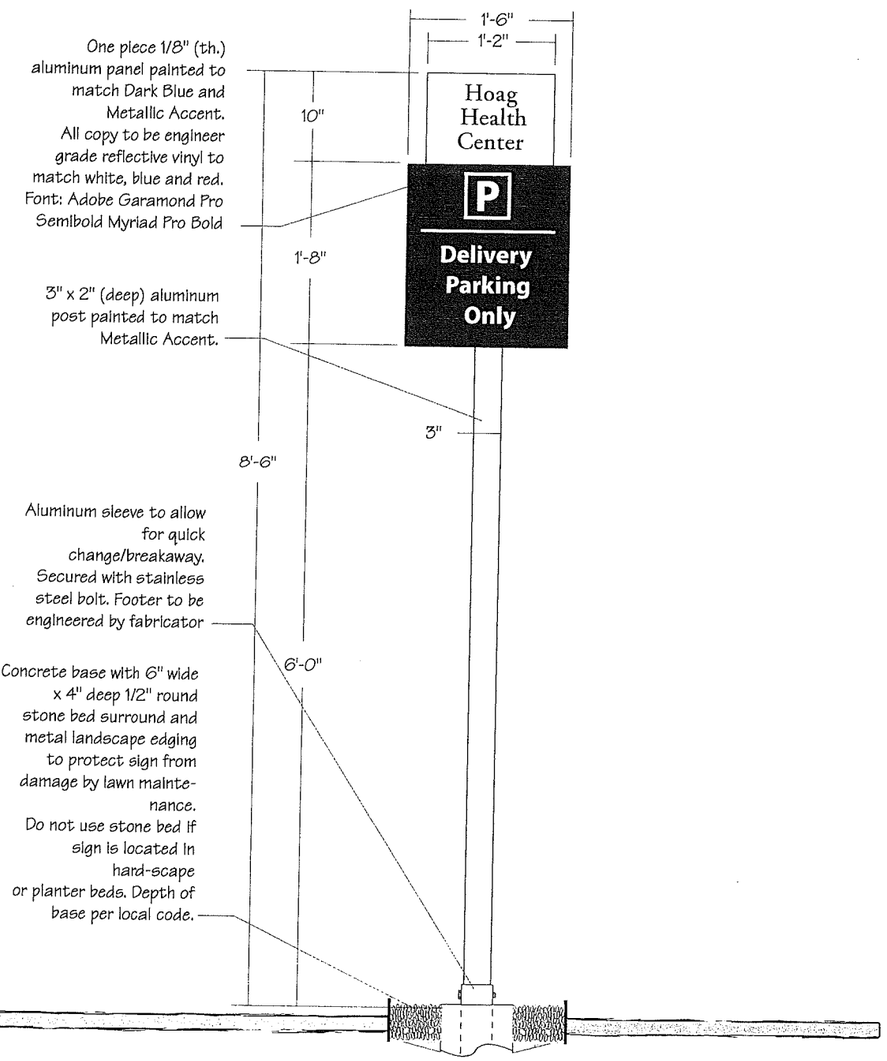
3 / 2.1 **Plan View**
3/4" = 1' - 0"



2 / 2.1 **Rx-7.01**
3/4" = 1' - 0"



5 / 2.1 **Plan View (typical)**
3/4" = 1' - 0"



4 / 2.1 **Rx-1.01**
3/4" = 1' - 0"

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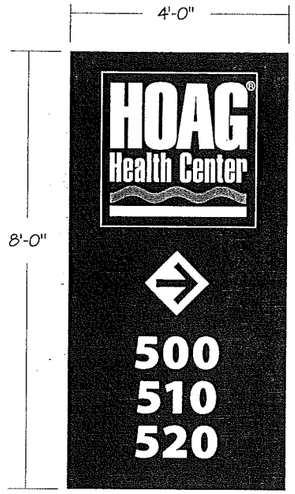
Hoag Health Center
Newport Beach, CA

Regulatory Signs Reg 7, & Reg 1

Dec. 17, 2008
Job #: RBB0802
SHEET 2.1

Temporary Sign



4 / 3.1 **T-3, Location**
1/2" = 1' - 0"

3 / 3.1 **Plan View**
1/2" = 1' - 0"

T-1
Monument & Tenant Directory Temporary Signs

SIGN TYPE: Temp sign

LOCATIONS: Refer to Message Schedule and Location Plan

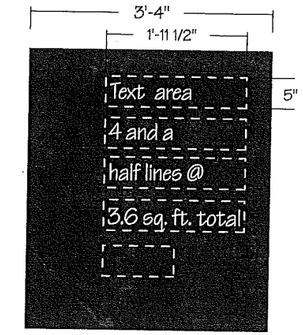
SIZE: 6'-0" tall x 4' wide x 4" deep.

AREA: Tenant copy area 1.45 square feet per strip with 7 strips for a total of 10.15 square feet.

USE: Temporary Building entry Identification and multi tenant listing In changeable strips.

TYPE: Temporary post and panel sign. Ready Edge (800-345-1712), NUDO VP500-D (800-826-4132), Omega Signboard (800-523-347) or equal material. Weather seal edges secure to 4 x 4 painted wood posts

COLORS: Paint Hoag Blue, White reflective vinyl text



8 / 3.1 **Layout**
1/2" = 1' - 0"

7 / 3.1 **Plan View**
1/2" = 1' - 0"

T-2
Directional Temporary Sign

SIGN TYPE: Temp sign

LOCATIONS: Refer to Message Schedule and Location Plan

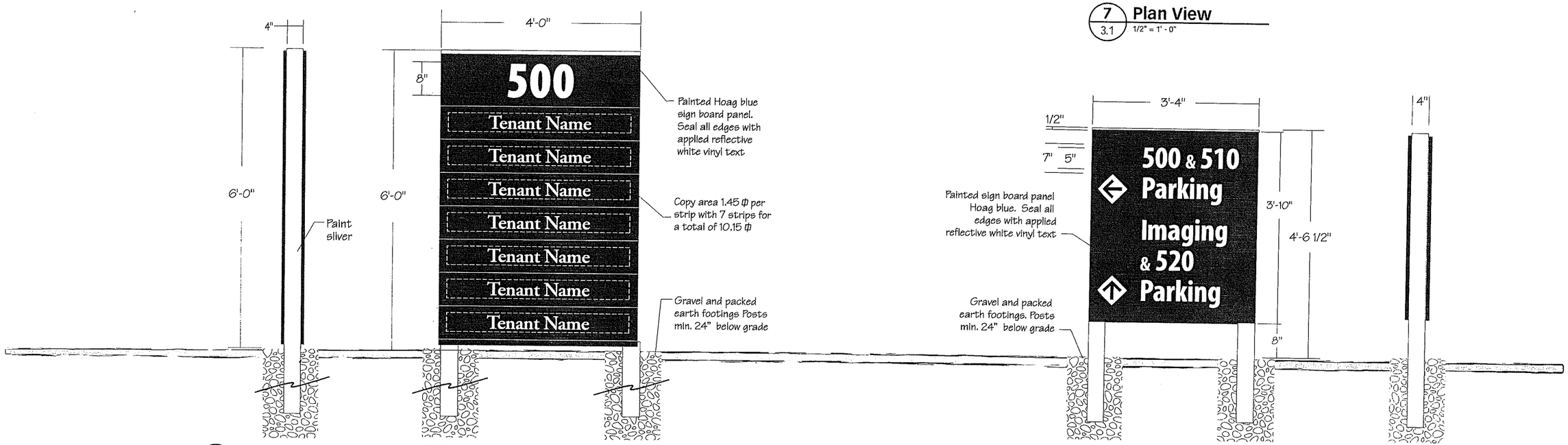
SIZE: 4'-6 1/2" tall x 3'-4" wide x 5" deep.

AREA: Face 12.6 square feet. Text area total 3.75 sq. ft.

USE: Temporary Directional information for vehicles and pedestrians

TYPE: Temporary post and panel sign. Ready Edge (800-345-1712), NUDO VP500-D (800-826-4132), Omega Signboard (800-523-347) or equal material. Weather seal edges secure to 4 x 4 painted wood posts

COLORS: Paint Hoag Blue, White reflective vinyl text



2 / 3.1 **Side View**
1/2" = 1' - 0"

1 / 3.1 **Temp Tenant Directory**
1/2" = 1' - 0"

5 / 3.1 **Directional Temp Sign**
1/2" = 1' - 0"

6 / 3.1 **Side View**
1/2" = 1' - 0"

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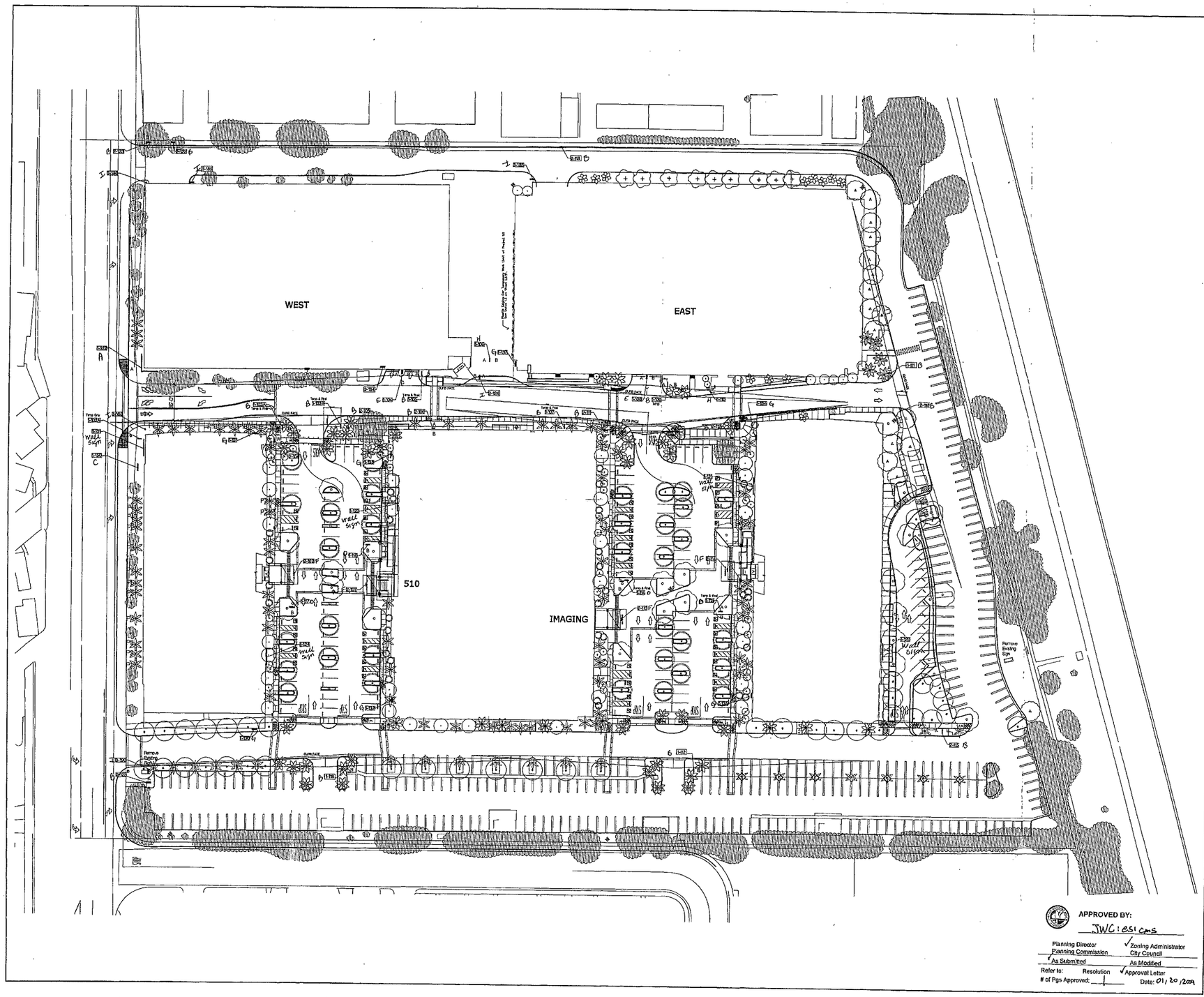
Hoag Health Center
Newport Beach, CA
Temporary Signs

Dec. 17, 2008
Job #: RBB0802
SHEET 3.1



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12-8-08	9	SB
12-2-08	8	SB
10-3-08	4	SB
10-2-08	3	SB
9-4-08	2	SB
8-8-08	1	SB

HOAG
HEALTH_CENTER
EXTERIOR SITE_SIGNAGE
NEWPORT_BEACH_CA

Your Initials	RBB0801
	12/17/08 City
RE	1'-0" = 1/32"

SITE
SIGNAGE

SITE

COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
3300 Newport Boulevard, Building C, Newport Beach, CA 92663
(949) 644-3200 Fax: (949) 644-3229
www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR ACTION

Application No.	**Staff Approval No. SA2011-017 (PA2011-140)**
Applicant	**Balboa Performing Arts Theater**
Site Address	**707 East Balboa Boulevard** **Substantial Conformance with Use Permit No. UP2004-003**
Legal Description	**Balboa Tract, Block 10, Lot 4 and Lot 5**

On **August 5, 2011**, the Community Development Director approved the following: a determination that the proposal of retractable seating within the auditorium level of the Balboa Theater is in substantial conformance with Use Permit Number UP2004-003. The Director's decision was based on the following information and analysis.

I. NATURE OF PROJECT

The applicant wishes to alter the floor plan approved by PA2004-032 (UP2004-003) for the Balboa Theater to include retractable seating within the auditorium level. The proposed retractable seating will provide greater flexibility with respect to the furniture plan for theater events and assembly use. No increased occupancy is proposed as a result of the retractable seats.

II. BACKGROUND

The Balboa Theater was constructed circa 1927 and operated continually since then through the 1990's. The theater contained approximately 450 seats and patrons utilized on-street and public parking lots. The interior of the theater has been gutted and a partial seismic upgrade has been completed.

In 2004, consistent with Section 20.62.065 (Landmark Buildings) of the Nonconforming Structures and Uses chapter of the expired Newport Beach Zoning Code, the applicant filed a use permit application to permit additions and alterations to the Balboa Theater that included increasing the height of the existing 32-foot, 10-inch building to 45 feet, 6 inches for the majority of the building, and 54 feet 10 inches for a tower/elevator shaft feature and to 51 feet for a roof-top mechanical equipment enclosure. The project proposal included a complete renovation of the theater, which, as proposed, included approximately 325 seats and the approved plans denoted a maximum number of 350 seats. The new theater proposed three interior floors: a lobby, stage and partial auditorium level; an auditorium level that

would hold the bulk of seating and projection, sound and lighting facilities; and a support level that included restrooms, dressing rooms, storage areas and equipment rooms. Additionally, a roof deck was proposed where theater-related pre and post performance functions and fundraising events would take place. The theater, as proposed, would be expanded from approximately 7,695 square feet to approximately 11,014 square feet on the 5,130 square foot lot. The front façade would be slightly altered to accommodate the addition. The application for Use Permit Number UP2004-003 (PA2004-032) was approved by the Planning Commission on September 23, 2004. An extension of time for use permit implementation was granted on August 5, 2010 which extended the use permit expiration to August 6, 2013.

III. ANALYSIS & PROPOSED PLAN

Two special provisions relating to Landmark Buildings were included within the recently expired Zoning Code. Section 20.62.065 (Landmark Buildings) of the Nonconforming Structures and Uses chapter was adopted in March 2003 to preserve historic structures, encourage their adaptive reuse, and revitalize the older commercial areas in which they are located by granting relief from restrictions on nonconforming uses and structures while maintaining the principal use and minimizing impacts on the surrounding area. These provisions allow for Landmark Buildings to be modified, maintained, altered, increased or intensified without obtaining a Use Permit subject to a specific list of development and operational conditions.

Pursuant to the justification and description provided (Attachment CD 2), the proposed retractable seating will not change or increase the overall occupancy of the landmark theater. This proposal will allow the use of dining tables and chairs when the seats are in a retracted position which will create greater flexibility for the theater operation.

The staff approval for substantial conformance as conditioned does not permit use of the theater space as a restaurant, bar, tavern, cocktail lounge, or nightclub and further limits the uses. In addition, all previous conditions of approval from Use Permit Number UP2004-003 will remain in full force and effect (Attachment CD 3).

The subject staff approval has been reviewed by Kimberly Brandt, Community Development Director, and the determination has been made that the proposed seating changes are in substantial conformance with the original use permit approval action. The proposed change is as follows:

- Install (300) retractable seats within the auditorium level to accommodate dining tables and chairs for catered theater events and shows when the seats are in retracted position.

The proposed change is in substantial with the Newport Beach Municipal Code and Use Permit Number UP2004-003 for this project.

IV. CONDITIONS

1. The development authorized by this staff approval shall be in substantial conformance with the approved project plans.

2. All previous conditions Use Permit Number UP2004-003 (PA2004-032) shall remain in full force and effect.

4. A maximum of 350 seats or 350 occupants shall be allowed in the audience chambers at anytime.

5. The proposed establishment shall remain a theater and shall operate consistent with Section 20.38.070.D (Landmark Structures – Conditions) of the Newport Beach Zoning Code.

6. Events at the theater shall be limited to performing arts shows, pre- and post-show gatherings, lectures, films, corporate or community meetings, and other public or private events.

7. The proposed establishment is not authorized as a restaurant, bar, tavern, cocktail lounge, or nightclub.

8. A building permit shall be obtained prior to commencement of the construction.

9. A copy of this approval letter shall be incorporated into both the Building Division and field sets of plans prior to issuance of the building permits.

10. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Substantial Conformance with Use Permit No. UP2004-003** including, but not limited to, the **Staff Approval No. SA2011-017 (PA2011-140)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD: The applicant or any interested party may appeal the decision of the Planning Division to the Planning Commission by a written request to the Director of

Community Development within 14 days of the action date. For additional information on filing an appeal, contact the Planning Division at (949) 644-3200.

On behalf of Kimberly Brandt, Community Development Director

By: _____
Benjamin M. Zdeba, Planning Technician

KB/bmz

Attachments: CD 1 Vicinity Map
CD 2 Retractable Seating Justification from Government Solutions, Inc.
CD 3 Exhibit "A" of Use Permit Number UP2004-003
CD 4 Plans

Attachment No. CD 1

Vicinity Map

VICINITY MAP

Staff Approval No. SA2011-017
PA2011-140

707 East Balboa Boulevard

Attachment No. CD 2

Retractable Seating Justification from Government Solutions, Inc.

Balboa Theater: Use of Retractable Seats – Justification

The Balboa Theater Use Permit was originally approved on September 23, 2004 with the adoption of Resolution 1640 by the Newport Beach Planning Commission and the Coastal Commission approved the CDP on September 5, 2007. But for the request to slightly increase the square footage and increase the height to add a roof top reception area, the theater would not have had to obtain a use permit due to the Landmark Building ordinance. As part of the use permit and CDP, it was clarified that while the original theater contained 450 seats, the new design only proposed "approximately 325 seats" and a condition of approval limited the theater to a maximum of 350 seats. There was no description of whether the seats were fixed or retractable.

On September 24, 2008, a design charette was held by the Balboa Performing Arts Theater Foundation. Community leaders, government officials, members of the Newport Beach Arts Commission, and executives from all the major Orange County performing arts organizations were participants. The architect, John S. Fisher, presented the conceptual design of the theater, along with several seating arrangements that would accommodate the 325 seats approved by the City of Newport Beach. It was the strong and unanimous opinion of the experts present at this meeting that to be successful, the Balboa Theater design needed to incorporate a high degree of flexibility due to the varied requirements imposed on theaters in today's market. Retractable seating was recommended as the means to satisfy the widest range of potential users, and to provide the City with a facility that would be useful not only for the performing arts, but for municipal and civic events as well. It was also concluded that the retractable seats did not increase the overall theater capacity.

The basic functions of the building remained unchanged, namely being lectures, films, dance, drama, musical performances, and corporate or community meetings. The roof deck was permitted for special events and pre-and post-event gatherings. Having the ability to retract the seats enables the theater to host indoor events in inclement weather that might have otherwise been held on the roof, and also provides flexibility to use alternate seating methods (round or long tables) more appropriate to the Theater's educational mission and more suitable for corporate meetings and other public gatherings.

The change to retractable seating reduced the number of seats still further, from the permitted maximum of 350 (already down from the original number of 450 seats) to a new capacity of 300 seats. The Foundation Board approved this change because it believed that the increased flexibility provided by the retractable seats improved the financial viability of the project.

Attachment No. CD 3

Exhibit "A" of Use Permit Number UP2004-003

EXHIBIT "A"

CONDITIONS OF APPROVAL
Use Permit No. 2004-003

1. Use Permit No. 2004-003 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.91.050 of the Newport Beach Municipal Code, unless an extension is otherwise granted.

2. The development shall be in substantial conformance with the approved site plan, floor plans, building elevations and sections dated August 3, 2004 (Except as modified by applicable conditions of approval).

3. The applicant is required to obtain all applicable permits from the City Building and Fire Departments. The construction plans must comply with the most recent, City-adopted version of the California Building Code.

4. All improvements shall be constructed as required by Ordinance and the Public Works Department.

5. An encroachment permit is required for work activities within the public right-of-way.

6. Any modification to the approved plans shall require an amendment to this Use Permit or the processing of a new Use Permit.

7. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.

8. This approval was based on the particulars of the individual case and does not in and of itself or in combination with other approvals in the vicinity or Citywide constitute a precedent for future approvals or decisions.

9. Should this business be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current owner or leasing company.

10. The Planning Commission may add to or modify conditions of approval to this Use Permit or recommend to the City Council the revocation of this Use Permit upon a determination that the operation, which is the subject of this Use Permit, causes injury, or is detrimental to the health, safety, peace, morals, comfort, or general welfare of the community.

11. All Development and operational characteristics shall conform to the provisions of Section 20.62.065 (Landmark Buildings) of the Municipal Code. The hours of operation of all accessory uses shall be limited to the hours between 8:00AM and 12:00AM.

12. This approval does not permit the premises to operate as a bar, tavern, cocktail lounge or nightclub as defined by the Municipal Code, unless the Planning Commission first approves a Use Permit.

13. The sale, delivery and consumption of alcoholic beverages is subject to the review and approval of the California Alcoholic Beverage Control Board.

14. The operator of the facility shall be responsible for the control of noise generated by the subject facility. Pre-recorded music and use of audio equipment shall be restricted to the interior only, provided further that the exterior noise levels outlined below are not exceeded. Use of paging sound equipment is prohibited on the exterior of the building. The noise generated by the proposed use shall comply with the provisions of Chapter 10.26 of the Newport Beach Municipal Code. The maximum noise shall be limited to no more than depicted below for the specified time periods unless the ambient noise level is higher:

	Between the hours of 7:00AM and 10:00PM		Between the hours of 10:00PM and 7:00AM	
Location	Interior	Exterior	Interior	Exterior
Residential Property	45dBA	55dBA	40dBA	50dBA
Residential Property located within 100 feet of a commercial property	45dBA	60dBA	45dBA	50dBA
Mixed Use Property	45dBA	60dBA	45dBA	50dBA
Commercial Property	N/A	65dBA	N/A	60dBA

15. Temporary signs shall be prohibited in the public right-of-way, unless otherwise approved by the Public Works Department in conjunction with the issuance of an encroachment permit or encroachment agreement.

16. The exterior of the establishment shall be maintained free of litter and graffiti at all times. The owner or operator shall provide for daily removal of trash, litter, debris and graffiti from the premises and on all abutting sidewalks within 20 feet of the premises.

17. Storage outside of the building shall be prohibited.

18. Prior to the issuance of building permits, the applicant shall execute a formal agreement with the General Services Department for the use of the City owned refuse dumpsters on Washington Street.

19. Prior to the issuance of building permits, the final exterior colors of the building shall be subject to the review and approval of the Planning Director.

20. Prior to the issuance of building permits, the applicant shall prepare photometric study in conjunction with a final lighting plan for approval by the Planning Department. The lighting plan shall be found consistent with the Balboa Village Design Guidelines. The

site shall not be excessively illuminated based on the luminance recommendations of the Illuminating Engineering Society of North America, or, if in the opinion of the Planning Director, the illumination creates an unacceptable negative impact on surrounding land uses or environmental resources. The Planning Director may order the dimming of light sources or other remediation upon finding that the site is excessively illuminated.

21. Lighting shall be in compliance with applicable standards of the Zoning Code and shall be implemented and maintained in a manner consistent with the Balboa Village Design Guidelines. Exterior on-site lighting shall be shielded and confined within site boundaries. No direct rays or glare are permitted to shine onto public streets or adjacent sites or create a public nuisance. "Walpak" type fixtures are not permitted.

22. Prior to the issuance of a grading or building permit, the applicant shall prepare a Water Quality Management Plan (WQMP) specifically identifying the Best Management Practices (BMP's) that will be used on site to control predictable pollutant runoff. The plan shall identify the types of structural and non-structural measures to be used. The plan shall comply with the Orange County Drainage Area Management Plan (DAMP). Particular attention should be addressed to the appendix section "Best Management Practices for New Development." The WQMP shall clearly show the locations of structural BMP's, and assignment of long term maintenance responsibilities (which shall also be included in the Maintenance Agreement). The plan shall be prepared to the format shown in "Attachment C" of the DAMP title "Water Quality Management Plan Outline" and be subject to the approval of the Planning, Public Works and Building Departments.

23. Prior to the issuance of a grading or building permit, the applicant shall submit a Storm Water Pollution Prevention Plan to the City for review and approval. The Storm Water Pollution Prevention Plan shall be maintained on-site throughout the construction phase and shall be made available to the public for review, upon request.

24. Curb drains are allowed for storm overflow discharges only. The bottom section of the proposed downspouts shall be designed to allow routine runoff to percolate into the ground.

25. All Lithocrete sidewalk damaged by the construction shall be replaced in-kind. Full sections of sawcut diamond-shaped Lithocrete sidewalk panels shall be replaced to match the existing adjoining sidewalk sections. No sectional replacements will be allowed. A preconstruction meeting between the Contractor and the Public Works Department Engineering Division shall be conducted prior to the start of said Lithocrete work.

26. A new water meter with traffic-grade box and cover shall be installed within the alley right-of-way.

27. A new sewer cleanout with traffic-grade frame and cover shall be installed within the alley public right-of-way.

28. All overhead utilities serving the development shall be undergrounded to the nearest appropriate pole in accordance with Section 19.24.140 of the Municipal Code. Upon undergrounding of services by the utility companies, the Applicant, at the earliest opportunity, shall promptly make all underground service connections.

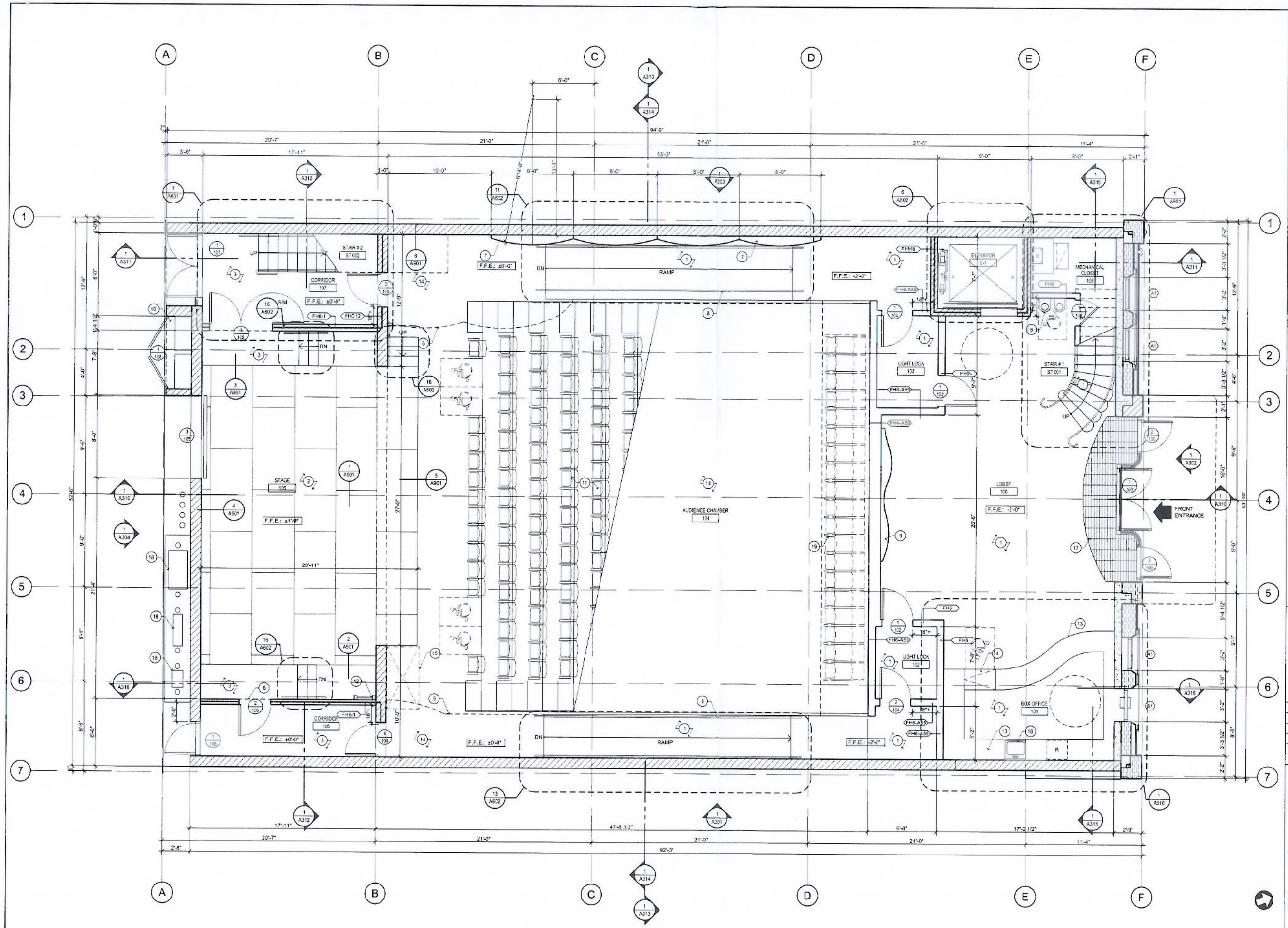
29. During construction, workers' vehicles shall not be parked within the public right-of-way.

30. No portion of the existing Balboa Boulevard sidewalk shall be obstructed by the construction activities from Memorial Day to Labor Day and from Thanksgiving Day to New Year Day.

31. No concurrent assembly occupancy of the rooftop deck and theater for separate events shall be permitted.

Attachment No. CD 4

Plans



FIRST LEVEL PLAN

1/4" = 1'-0"

Construction Notes

1. CARPET
2. 1/4" DOUBLE-TEMPERED HARDWOOD SPRUNG FLOOR OI SLEEPERS
3. CONCRETE
4. COUNTER LIFT-UP DOOR
5. DRINKING FOUNTAIN
6. FLOOR ABOVE
7. SOUND REFLECTION PANELS - TYP DIMS EACH ARC
8. GUARDRAIL
9. DECORATIVE WALL PANEL
10. ALCOVE W/ ELECTRICAL EQUIPMENT - SEE ELEC DWGS.
11. RETRACTABLE SEATING SEE TS SHEET
12. LADDER
13. COUNTER
14. SEALED POLISHED CONCRETE
15. PORTABLE WHEELCHAIR LIFT
16. COUNTER SINK
17. WALK OFF METAL GRATE, SEE 4/A908
18. PLUMBING EQUIPMENT, SEE PLUMBING DWGS.
19. TELESCOPING SEATING IN STACKED POSITION

General Notes

- EXISTING WALL TO REMAIN, SSD
- CONCRETE WALL, SSD
- NEW CMU WALL(S), SSD
- STUD FRAMING, SEE A906
- FHM8 — WALL TYPE, SEE A903
- 1/102 — DOOR TYPE, SEE A702
- B1 — WINDOW TYPE, SEE A703
- 60" CLEAR ACCESSIBLE CIRCLE
- ONE-HOUR CONSTRUCTION
- R — UNDER COUNTER REFRIGERATOR

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LICENSED ARCHITECT JOHN SERGIO FISHER NO. C-4487 REN 5-31-13 STATE OF CALIFORNIA

Revisions

NO.	DESCRIPTION	DATE

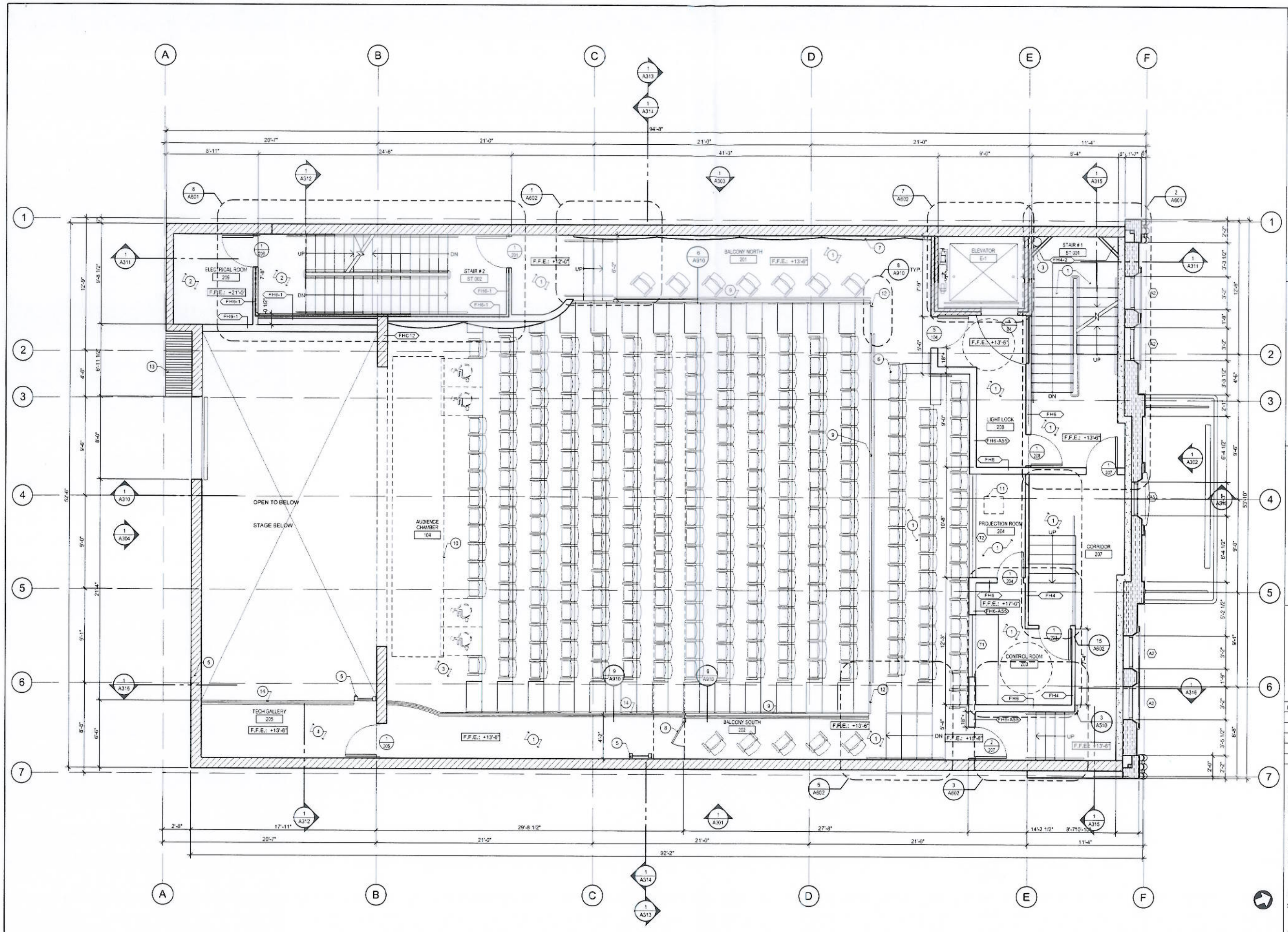
Client:
BALBOA PERFORMING ARTS THEATER FOUNDATION
P.O. BOX 752
NEWPORT BEACH, CA 92661

Job Title:
BALBOA THEATER
707 E. BALBOA BOULEVARD
NEWPORT BEACH, CA 92661

Drawing Title:
FIRST LEVEL PLAN

Project No.: 0827
Phase: CONSTRUCTION DOCUMENTS
Date: 05.2011
Drawing No. A101
Scale: 1/4"=1'-0"
Drawn By: XY MC

PA2011-140 for SA2011-017
707 & 709 East Balboa Boulevard
Balboa Performing Arts Theater



1 SECOND LEVEL PLAN
1/4" = 1'-0"

Drawing Set Notes:

1. CARPET
2. CONCRETE
3. MECH SHAFT
4. STEEL GRATING
5. LADDER
6. FIXED SEATING
7. SOUND REFLECTION PANELS
8. METAL GATE
9. OBSCURED GLASS GUARDRAIL WITH HANDRAIL
10. SOUND REFLECTOR
11. DIGITAL PROJECTOR
12. REMOVABLE GATE
13. METAL ROOFING, SEE 3/A603
14. METAL PIPE RAIL

General Notes:

- EXISTING WALL TO REMAIN, SSD
- CONCRETE WALL, SSD
- NEW CMU WALL(S), SSD
- STUD FRAMING, SEE A906
- FHM8 — WALL TYPE, SEE A903
- 1/102 — DOOR TYPE, SEE A702
- B1 — WINDOW TYPE, SEE A703
- 60" CLEAR ACCESSIBLE CIRCLE
- ONE-HOUR CONSTRUCTION

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LICENSED ARCHITECT
JOHN SERGIO FISHER
NO. C-4487
REN 12/31/13
STATE OF CALIFORNIA

Revisions

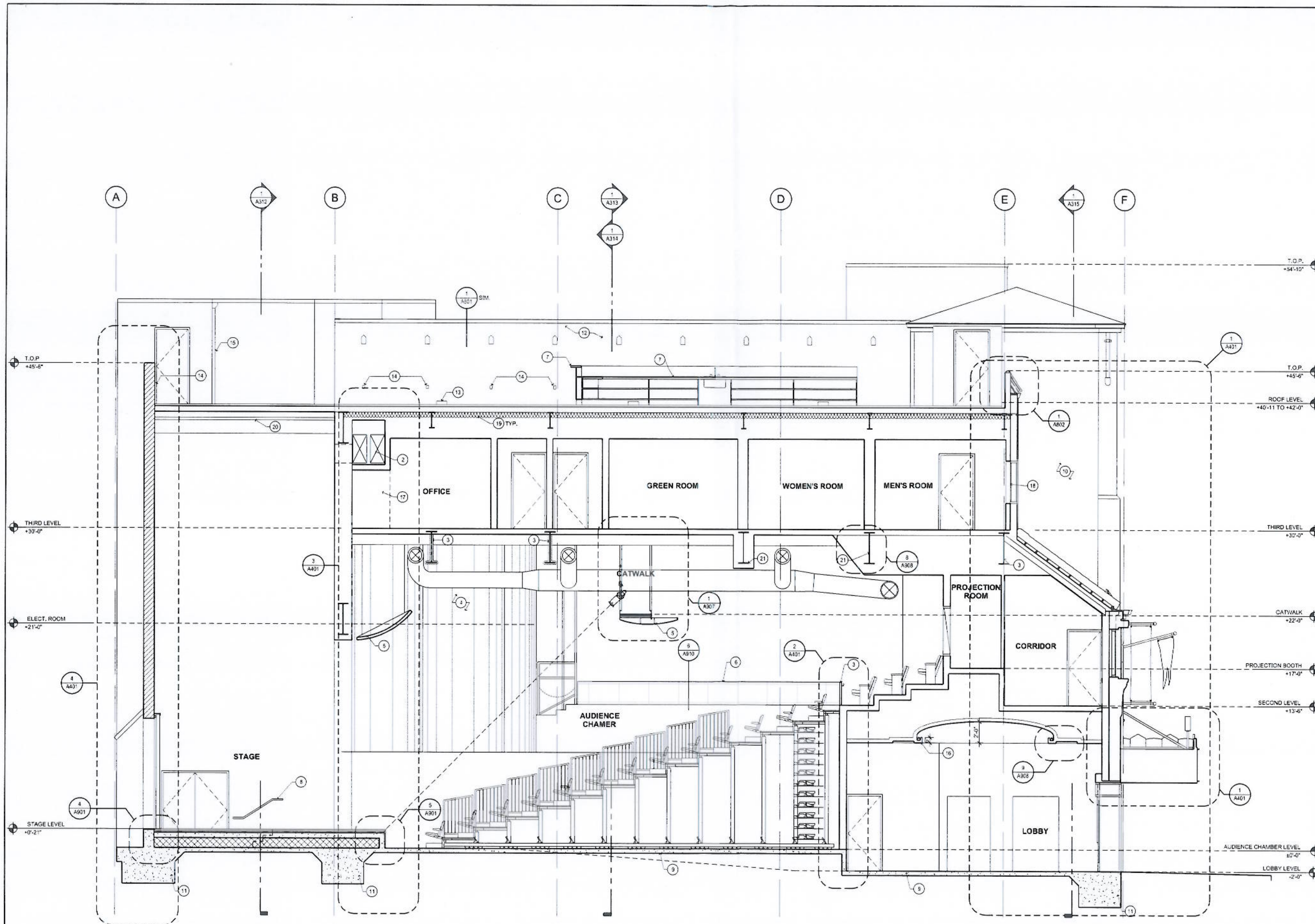
NO.	DESCRIPTION	DATE

Client:
BALBOA PERFORMING ARTS THEATER FOUNDATION
P.O. BOX 752
NEWPORT BEACH, CA 92661

Job Title:
BALBOA THEATER
707 E. BALBOA BOULEVARD,
NEWPORT BEACH, CA 92661

Drawing Title:
SECOND LEVEL PLAN

Project No.: 0827
Phase: CONSTRUCTION DOCUMENTS
Date: 05.2011
Scale: 1/4"=1'-0"
Drawn By: XY MC
Drawing No.: A102



1 LONGITUDINAL SECTION LOOKING WEST

1/4" = 1'-0"

Construction Notes:

1. MECHANICAL PADS
2. MECHANICAL DUCTS
3. STRUCTURAL MEMBERS - PROVIDE 1-HOUR FIRE PROTECTION WHERE EXPOSED W/ INTUMESCENT FIRE PREVENTIVE COATING
4. GWB PANELS
5. SOUND REFLECTOR-PLYWOOD
6. OBSCURED GLASS GUARDRAIL WITH HANDRAIL
7. BAR W/ COUNTER AND OPEN SHELVES
8. PIPE HARDRAIL
9. FOUNDATION PER STRUCTURAL
10. (N) STUCCO TEXTURE AND COLOR TO MATCH RESTORED AREAS
11. FOOTING PER STRUCTURAL - SET IN WATER-PROTECTION BENTONITE "LIQUID BOOT"
12. SCREEN WALL W/ SCONCE LIGHTS
13. DRAINAGE OPENINGS IN SCREEN WALL - TYP OF 3
14. WP OUTLETS FOR POWER AND AV
15. DOWNSPOUT AND SCUPPER
16. COVE LIGHTING IN RECESSED POCKET
17. RECESSED SPACE FOR BUILT-IN CASEWORK
18. ACCESS PANEL FOR LIGHT BOX
19. R30 BATT INSULTAION
20. FOIL-FACED RIGID INSULATION
21. SPRAY ON FIRE PROTECTION

Revised Notes:

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LICENSED ARCHITECT
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NO. C-4487
REN 5/31/13
STATE OF CALIFORNIA

Revisions

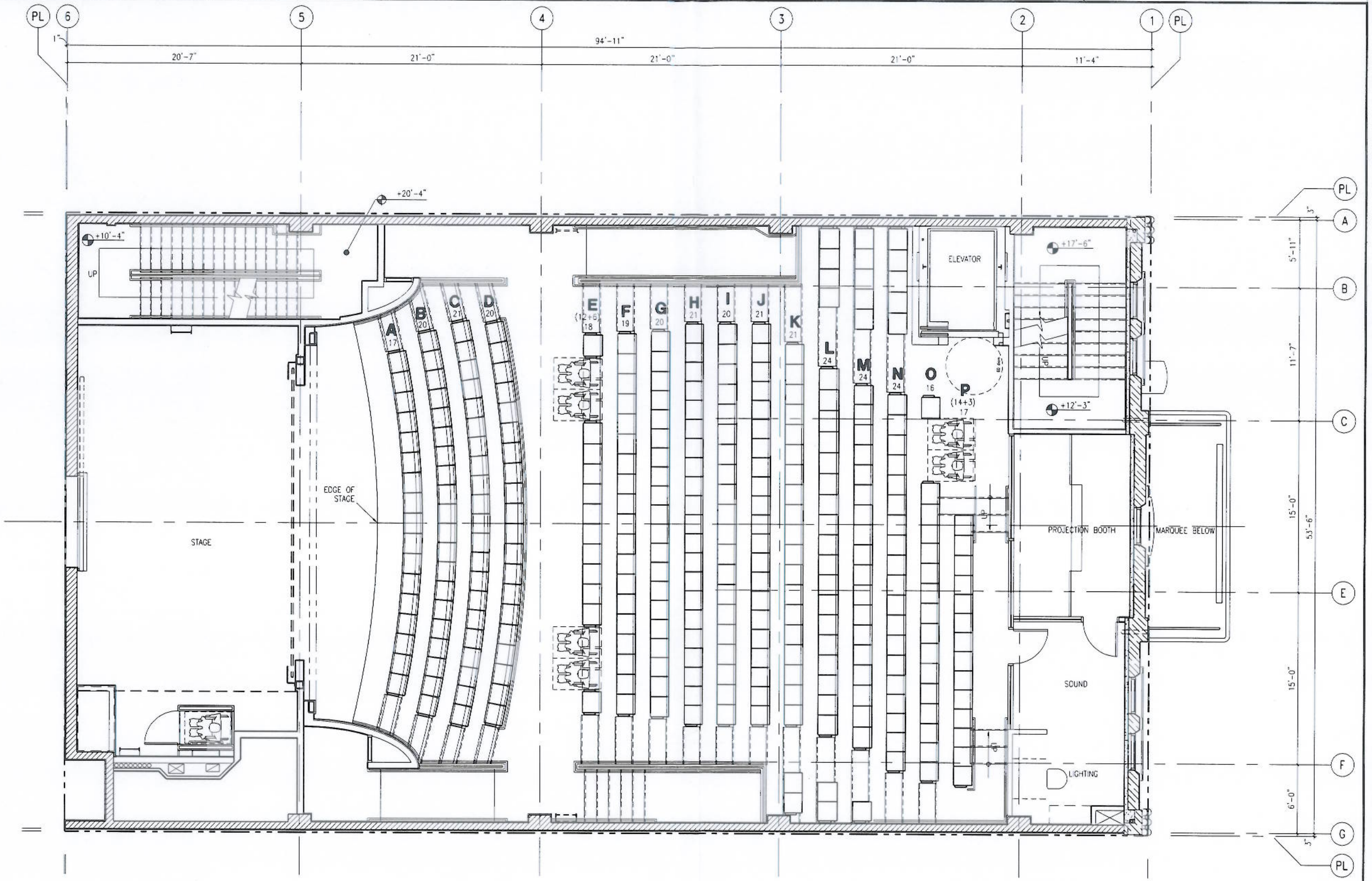
NO.	DESCRIPTION	DATE

Client:
BALBOA PERFORMING ARTS THEATER FOUNDATION
P.O. BOX 752
NEWPORT BEACH, CA 92661

Job Title:
BALBOA THEATER
707 E. BALBOA BOULEVARD.
NEWPORT BEACH, CA 92661

Drawing Title:
BUILDING SECTION

Project No.: 0827
Phase: CONSTRUCTION DOCUMENTS
Date: 05.2011
Scale: 1/4"=1'-0"
Drawn By:
Drawing No.: A310



AUDITORIUM SEATING PLAN

SCALE: 1/4" = 1'-0"
AUDITORIUM LEVEL: 4768 SF

SEATING ASSUMPTIONS

FIRST ROW SPACING:	46.5"
TYPICAL ROW SPACING:	35.5"
BACK PITCH	7°
LOWER CROSS AISLE:	62.5" (MIN)
SEAT WIDTH (TYP.)	20"
SIDE AISLE WIDTH (SEE SHEET A011):	MIN. 36"
UPPER AISLE WIDTH:	36"
FRONT TO BACK (SEAT UP):	19.5"

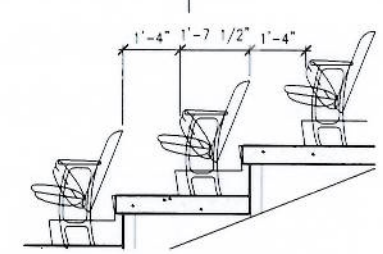
SEAT COUNT WITH WHEELCHAIR USE

STANDARD:	314
WHEELCHAIR:	6
TOTAL:	320

SEAT COUNT WITHOUT WHEELCHAIR USE

STANDARD:	314
REMOVABLE:	9
TOTAL:	323

PROVIDE WHEELCHAIR SPACES SHOWN, COMPLYING WITH CBC 1104B.3.4, 1104B.3.6 AND 1104B.3.7.



TYPICAL SEAT SPACING

PLAN NORTH

1/4" = 1'
2 0 2 4 6 8 10
SCALE FEET

DMJMH+N
VAN DYKE & CRAWFORD ROAD, ORANGE, CALIFORNIA 92868
T 714-567-2600 F 714-542-1855 www.dmjmh.com

THE BALBOA PERFORMING ARTS THEATER FOUNDATION

THE BALBOA THEATER RENOVATION AND REHABILITATION

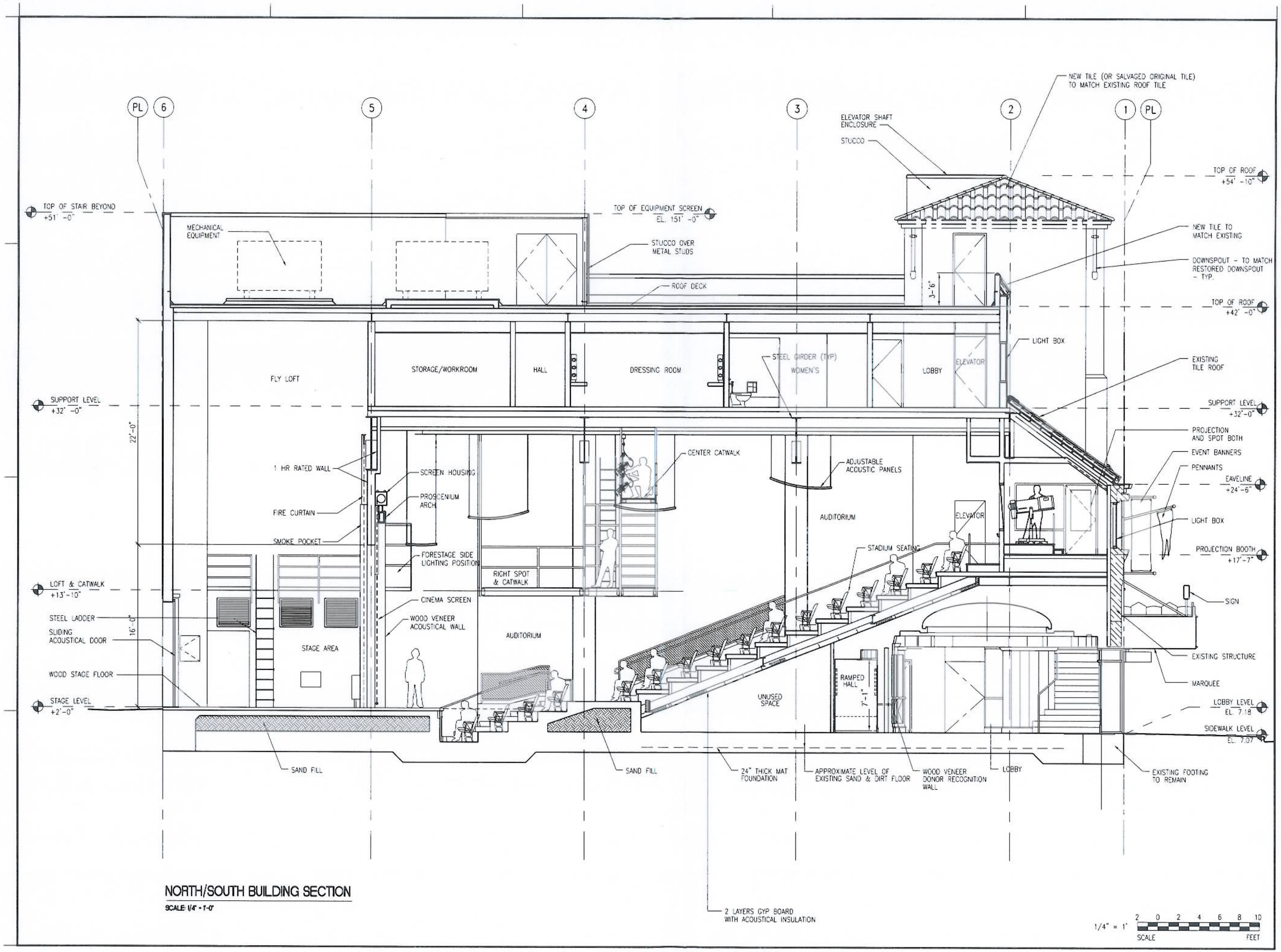
THE BALBOA THEATER
707 EAST BALBOA BOULEVARD
BALBOA, CALIFORNIA 92661

REVISIONS

NO.	DATE	DESCRIPTION
1	2/9/04	COP SUBMITTAL
2	4/16/07	CCC SUBMITTAL
3		
4		
5		

SHEET TITLE
AUDITORIUM LEVEL

JOB NO. 103403
DATE 04/18/07
SHEET A202



NORTH/SOUTH BUILDING SECTION

SCALE: 1/4" = 1'-0"

DMJMH+N

THE BALBOA PERFORMING ARTS THEATER FOUNDATION

THE BALBOA THEATER RENOVATION AND REHABILITATION

THE BALBOA THEATER
707 EAST BALBOA BOULEVARD
BALBOA, CALIFORNIA 92661

REVISIONS

NO.	DATE	DESCRIPTION
1	2/9/04	COP SUBMITTAL
2	4/16/07	CCC SUBMITTAL
3		
4		
5		

SHEET TITLE
NORTH/SOUTH BUILDING SECTION

JOB NO. 103403
DATE 04/10/07
SHEET A311