

**CITY OF NEWPORT BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION ACTION REPORT**

**TO:** CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION  
**FROM:** Kimberly Brandt, Community Development Director  
**SUBJECT:** Report of actions taken by the Zoning Administrator and/or Planning Division staff for the week ending September 16, 2011

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**ACTIONS TAKEN AT SEPTEMBER 14, 2011 ZONING ADMINISTRATOR HEARING**

- Item 1: 2808 and 2812 Ocean Boulevard Lot Merger - Permit No. LM2011-002 (PA2011-141)  
2808 and 2812 Ocean Boulevard  
  
This item was approved. Council District 6
- Item 2: Twist Residence – Modification Permit No. MD2011-013 (PA2011-144)  
209 Via Lido Soud  
  
This item was approved. Council District 1
- Item 3: Pizzeria Mozza – Minor Use Permit No. UP2011-023 (PA2011-139)  
800 W. Coast Highway  
  
This item was approved. Council District 3
- Item 4: Docken Horse Permit – Minor Use Permit No. UP2011-027 (PA2011-151)  
20281 Orchid Street  
  
This item was approved. Council District 4

**ACTIONS TAKEN BY THE COMMUNITY DEVELOPMENT DIRECTOR  
OR PLANNING DIVISION STAFF**

- Item 5: Bear Flag Crystal Cove – Staff Approval No. SA2011-020 (PA2011-160)  
7972 East Coast Highway  
  
This item was approved on September 15, 2011 Council District 6

On behalf of Kimberly Brandt, Community Development Director

  
\_\_\_\_\_  
Gregg Ramirez, Senior Planner

**APPEAL PERIOD:** The applicant or any interested party may appeal the decision of the Community Development Director and division staff to the Planning Commission by submitting a written appeal application to the Community Development Director in accordance with the provisions of the Newport Beach Municipal Code. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

**Email** Brian Haas, NBPD  
Sgt. Chuck Freeman, NBPD





## COMMUNITY DEVELOPMENT DEPARTMENT

### PLANNING DIVISION

3300 Newport Boulevard, Building C, Newport Beach, CA 92663

(949) 644-3200 Fax: (949) 644-3229

[www.newportbeachca.gov](http://www.newportbeachca.gov)

### **ZONING ADMINISTRATOR ACTION LETTER**

**Application No.** Lot Merger No. LM2011-002 (PA2011-141)  
**Applicant** The John Guida Trust and The Julie Guida Trust  
**Site Address** 2808 and 2812 Ocean Boulevard  
2808 and 2812 Ocean Boulevard Lot Merger  
**Legal Description** Portions of Lots 4, 5, and 6, Blk 34 of Corona del Mar

On **September 14, 2011**, the Zoning Administrator approved the following: a lot merger for the following property, under common ownership: portions of Lots 4, 5, and 6 of Block 34 located in Corona del Mar. Also included in the application is a request to waive the requirement to file a parcel map. The property is located in the R-1 (Single-Unit Residential) District. The Zoning Administrator's approval is based on the following findings and subject to the following conditions.

#### **Findings**

- A. **Finding:** *The proposed project is in conformance with the California Environmental Quality Act.*

#### **Facts in Support of the Finding:**

- A-1. The project qualifies for an exemption from environmental review pursuant to Section 15305 (Class 5 Minor Alterations in Land Use Limitations) of the Implementing Guidelines of the California Environmental Quality Act (CEQA), which consists of projects with minor alterations in land use limitations in areas with an average slope of less than 20 percent, which do not result in any changes in land use or density, including minor lot line adjustments not resulting in the creation of any new parcel. This project is consistent with these requirements.
- B. **Finding:** *Approval of the merger will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City, and further that the proposed lot merger is consistent with the legislative intent of Title 19.*



**Facts in Support of the Finding:**

- B-1. The future development on the proposed parcel will comply with the Zoning Code development standards.
- B-2. The proposed merger will not cause future development to impact public views of the ocean as no public view presently exists.
- B-3. The project site described in the proposal consists of legal building sites.
- B-4. The lot merger to combine the existing legal lots by removing the interior lot lines between them will not result in the creation of additional parcels.
- B-5. The project is in an area with an average slope less than 20 percent and no changes in use or density will occur as a result of the merger.
- C. **Finding:** *The lots to be merged are under common fee ownership at the time of the merger.*

**Facts in Support of the Finding:**

- C-1. The portions of lots 4,5, and 6 to be merged are under common ownership.
- D. **Finding:** *The lots as merged will be consistent or will be more closely compatible with the applicable zoning regulations and will be consistent with other regulations relating to the subject property including, but not limited to, the General Plan and any applicable Coastal Plan or Specific Plan.*

**Facts in Support of the Finding:**

- D-1. The previously existing single-unit dwellings located on the subject sites will be demolished, and the proposed lot would be redeveloped with a new single-unit dwelling. Section 20.18.030 of the Zoning Code establishes minimum lot area and width requirements. Each of the two existing lots meet the minimum lot area required, but do not meet the minimum lot width required (50 feet). The proposed merger of the lots would create one lot which would comply with the minimum lot width and lot area standards required by the Zoning Code.
- D-2. The Land Use Element of the General Plan designates the subject site as Single-Unit Residential Detached (RS-D), which is intended to provide primarily for single-family residential units on a single legal lot and does not include condominiums or cooperative housing. The Coastal Land Use Plan designates this site as Single Unit Residential Detached (RSD-B) which provides for density ranges from 6.0-9.9 DU/AC. The existing development and proposed development of a single-unit dwelling on the site are consistent with these designations.



- E. **Finding:** *Neither the lots as merged nor adjoining parcels will be deprived of legal access as a result of the merger.*

**Facts in Support of the Finding:**

- E-1. Vehicular access to and from the subject site and adjacent properties would remain the same via an alley and an ingress and egress easement at the rear of the site.
- F. **Finding:** *The lots as merged will be consistent with the surrounding pattern of development and will not create an excessively large lot that is not compatible with the surrounding development.*

**Facts in Support of the Finding:**

- F-1. Corona del Mar consists of lots of varying shapes and sizes. The subject lots, as merged, will result in a parcel with a width of 80 feet and area of 13,678 square feet. Other nearby lots on Ocean Boulevard have lot widths as wide as 73 feet and area as large as 13,325 square feet. The merger of the two lots it will not create an excessively large lot in comparison to many of the existing lots in the surrounding area.
- F-2. Development within the R-1 Zoning District can have a maximum floor area 1.5 times the buildable area of the lot. The proposed parcel will not be developed beyond this maximum square footage, and will be developed consistent with the surrounding development.

In accordance with Section 19.08.030 of the Municipal Code (Waiver of Concurrent Parcel Map), the Zoning administrator approved a waiver of the parcel map requirement since no more than three parcels are eliminated.

- G. **Finding:** *That the proposed division of land complies with requirements as to area, improvement and design, flood water drainage control, appropriate improved public roads and property access, sanitary disposal facilities, water supply availability, environmental protection, and other applicable requirements of this title, the Zoning Code, the General Plan, and any applicable Coastal Plan or Specific Plan.*

**Facts in Support of the Finding:**

- G-1. The existing lots currently comply with the design standards and improvements required by the Zoning Code, General Plan, and Coastal Land Use Plan.
- G-2. The proposed lot merger combines the lot portions into a single parcel of land and does not result in the elimination of more than three lot portions.
- G-3. Approval of the proposed lot merger would remove the existing interior lot lines, and allow the property to be redeveloped as a single site. The land use, density, and



intensity would remain the same. The proposed lot would comply with all design standards and improvements required for new subdivisions by Title 19, the Zoning Code, General Plan, and Coastal Land Use Plan.

**Conditions**

1. The design of the development shall not conflict with any easements acquired by the public at large for access through or use of property within the proposed development.
2. All improvements shall be constructed as required by Ordinance and the Public Works Department.
3. The existing broken and/or otherwise damaged concrete sidewalk panels along the Ocean Boulevard frontage shall be reconstructed. Limits of the reconstruction shall be determined by the City Public Works Inspector.
4. All existing drainage facilities in the public right-of-way, including the existing curb drains along Ocean Boulevard, shall be retrofitted to comply with the City's on-site, non-storm runoff retention requirements.
5. All on-site drainage shall comply with the latest City Water Quality requirements.
6. All existing private, non-standard improvements within the public right-of-way and/or extensions of private, non-standard improvements into the public right-of-way fronting the development site shall be removed.
7. New sod or low groundcovers, as approved by the City, shall be installed within the parkway fronting the development site along Ocean Boulevard.
8. An encroachment permit is required for all work activities within the public right-of-way.
9. All improvements shall comply with the City's sight distance requirement. See City Standard 110-L.
10. The existing ingress and egress and utilities easements shall be maintained.
11. The existing sewer lateral to be used for the future dwelling unit shall have a sewer cleanout installed within the utilities easement per STD-406-L. All other laterals to be abandoned shall be capped at the property line.
12. All unused water services to be abandoned shall be capped at the corporation stop.



13. In case of damage done to public improvements surrounding the development site by the private construction, additional reconstruction within the public right-of-way could be required at the discretion of the Public Works Inspector.
14. All applicable Public Works Department plan check fees shall be paid prior to review of the lot merger and grant deeds.
15. Prior to recordation of the lot merger, the development of the parcels combined shall conform to current zoning regulations pertaining to the number of dwelling units and the distance between detached structures. The proposed parcel shall have one dwelling unit. One structure shall be modified or demolished to achieve the required separation between structures and density.
16. Prior to recordation of the lot merger, grant deeds indicating the changes in titles of ownership should be submitted to the Public Works Department for review and approval.
17. The lot merger and grant deeds reviewed and approved by the Public Works Department should be filed concurrently with the County Recorder and County Assessor's Offices.
18. No building permits may be issued until the appeal period has expired, unless otherwise approved by the Planning Division.
19. Prior to issuance of the building permit for any new construction on the property, the Planning Division shall verify recordation of the document with the County Recorder.
20. This approval shall expire unless exercised within 24 months from the date of approval as specified in Section 20.93.050 of the Newport Beach Municipal Code.
21. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **2808 and 2812 Ocean Boulevard Lot Merger** including, but not limited to, **Lot Merger No. LM2011-002 (PA2011-141)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the



City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

**PUBLIC NOTICE**

Notice of this application was mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant and posted on the subject property at least 10 days prior to the decision date, consistent with the provisions of the Municipal Code.

**APPEAL PERIOD:** Lot Merger applications do not become effective until 10 days following the date of action. Prior to the effective date the applicant or any interested party may appeal the decision of the Zoning Administrator to the Planning Commission by submitting a written appeal application to the Community Development Director. For additional information on filing an appeal, contact the Planning Division at (949) 644-3200.

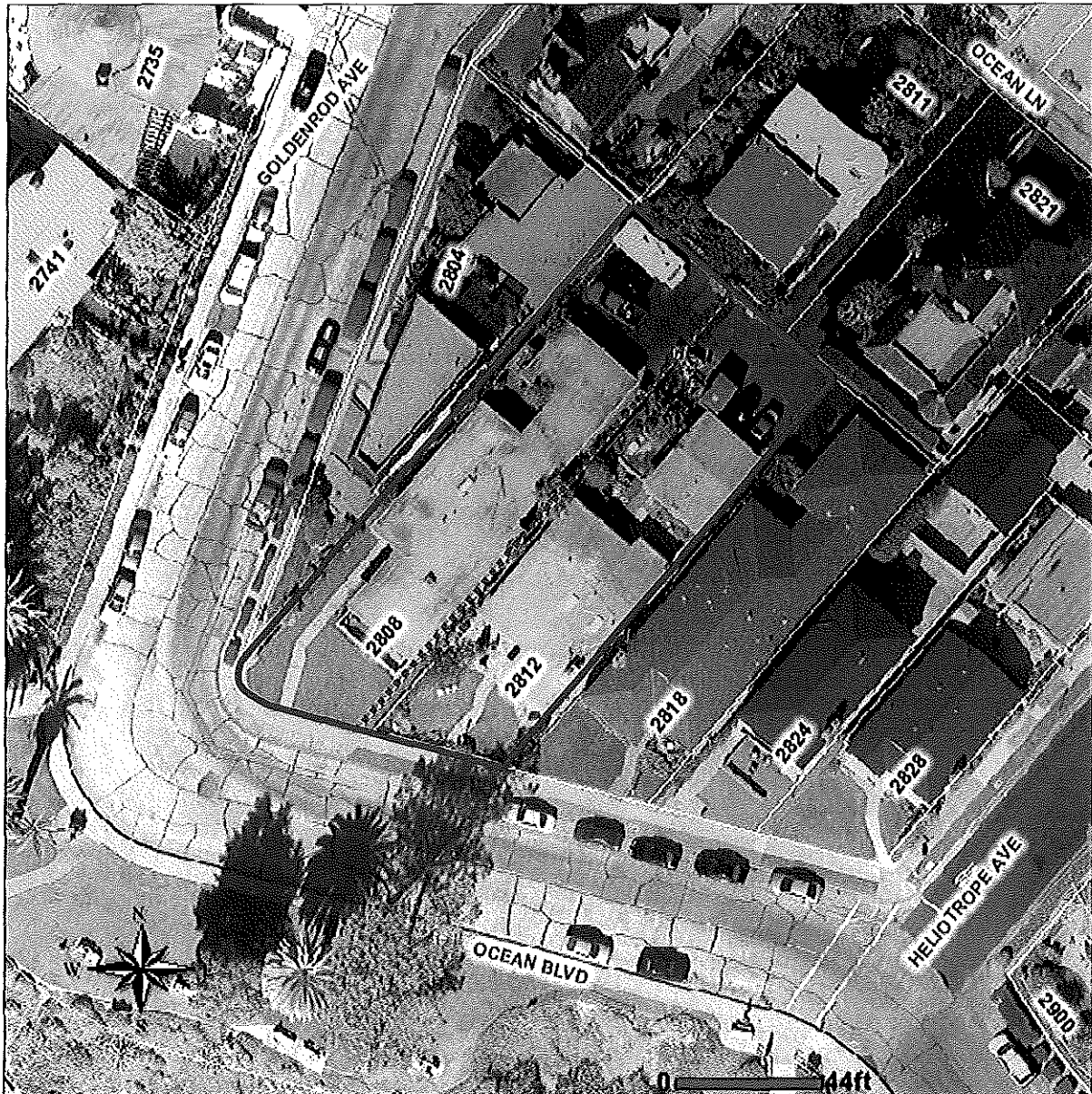
By:   
Jaime Murillo, Zoning Administrator

JM/ks

Attachments:      ZA 1 Vicinity Map  
                            ZA 2 Lot Merger Map



## VICINITY MAP



Lot Merger No. LM2011-002  
PA2011-141

**2808 and 2812 Ocean Boulevard**



**EXHIBIT 'A'**  
**CITY OF NEWPORT BEACH**  
**LOT MERGER No. LM 11 - \_\_\_\_\_**  
(Legal Description)

Owners	Existing Parcels AP Number	Proposed Parcels Reference Number
THE JOHN GUIDA TRUST, DATED 9/17/2010, AS TRUSTEE THE JULIE GUIDA TRUST, DATED 9/17/2010, AS TRUSTEE	052-061-26 052-061-25	PARCEL 1 0.314 AC (gross) 0.296 AC (net)

SHEET 1 OF 1

**PARCEL 1:**

In the City of Newport Beach, County of Orange, State of California being all of Lots 4 through 6 in Block 34 of the Re-Subdivision of Corona Del Mar, as per map recorded in Book 4, Page 67, of Miscellaneous Maps in the Office of the County Recorder of said Orange County.

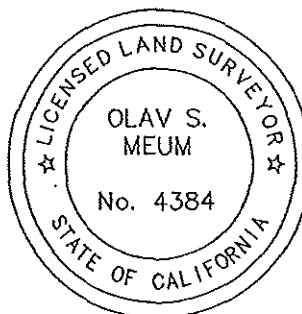
**EXCEPTING THEREFROM** the Northeasterly 96.00 feet thereof.

**ALSO EXCEPTING THEREFROM** the Southeasterly 10.00 feet of said Lot 4.

Containing 0.314 Acres (13,697 sq. ft.), more or less.

All as shown on Exhibit 'B' attached hereto and by this reference made a part hereof.

**SUBJECT TO EASEMENTS, COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, RIGHTS, RIGHTS OF WAY, AND OTHER MATTERS OF RECORD, IF ANY.**



PREPARED BY ME OR UNDER MY  
DIRECTION ON: APRIL 08, 2011.

*[Signature]*  
OLAV S. MEUM

6-14-11  
LS 4384



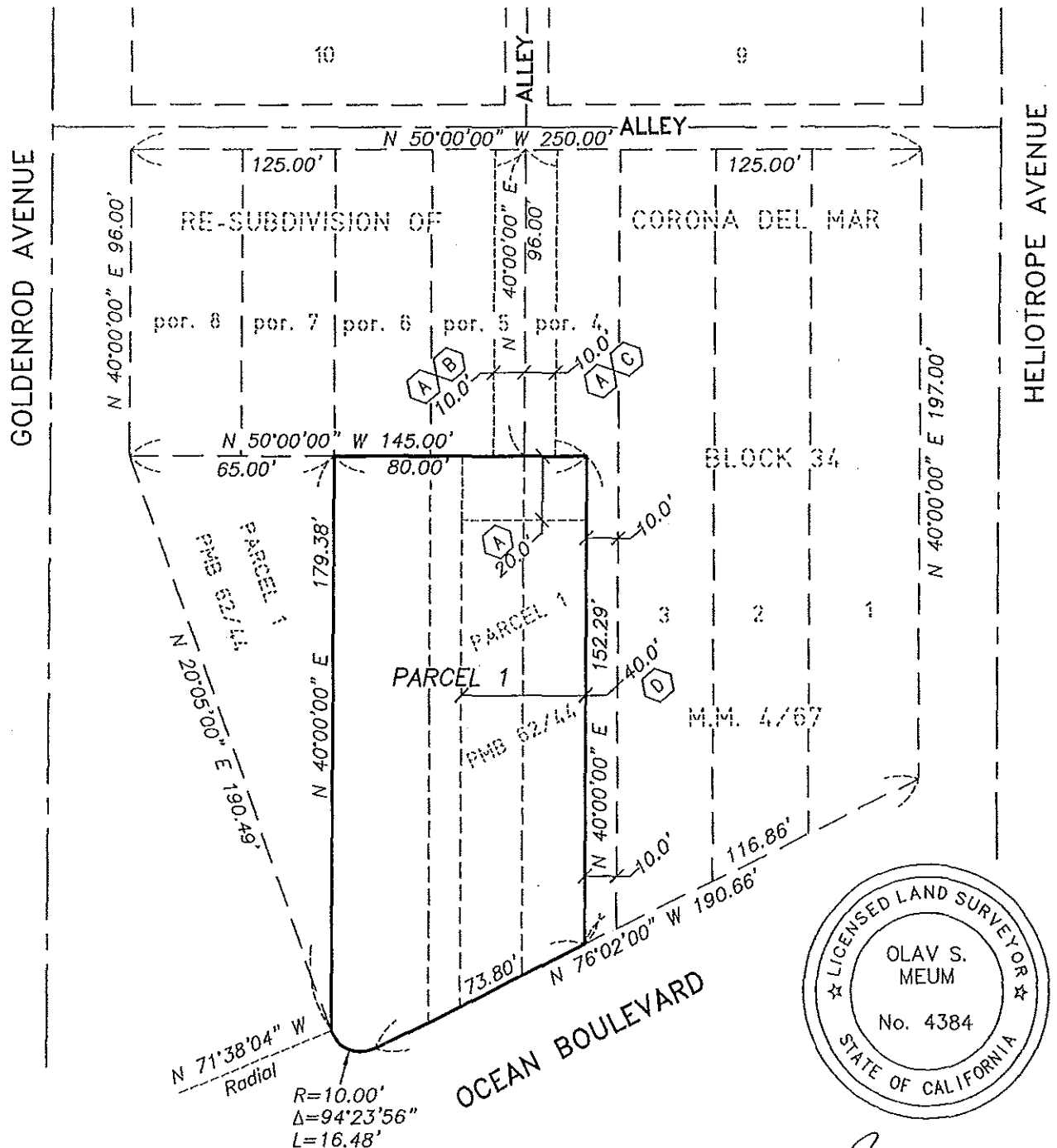
**EXHIBIT B**  
**CITY OF NEWPORT BEACH**  
**LOT MERGER No. LM 11 -**  
 (Map)

Owners	Existing Parcels AP Number	Proposed Parcels Reference Number
THE JOHN GUIDA TRUST, DATED 9/17/2010, AS TRUSTEE THE JULIE GUIDA TRUST, DATED 9/17/2010, AS TRUSTEE	052-061-26 052-061-25	PARCEL 1 0.314 AC (gross) 0.296 AC (net)

SCALE: 1"=50'

SEE PAGE 2 OF EXHIBIT 'B' FOR  
EASEMENT & SURVEYOR'S NOTE.

SHEET 1 OF 2



**LEGEND:**

- EXISTING LOT LINE TO REMAIN
- EXISTING LOT LINE TO BE REMOVED

PREPARED BY ME OR UNDER MY  
DIRECTION ON: APRIL 8, 2011

*[Signature]* 6-14-11  
 OLAV S. MEUM LS 4384






EXHIBIT 'B'  
CITY OF NEWPORT BEACH  
LOT MERGER No. LM\_11\_--\_\_\_\_  
(Map)


Owners	Existing Parcels AP Number	Proposed Parcels Reference Number
THE JOHN GUIDA TRUST, DATED 9/17/2010, AS TRUSTEE THE JULIE GUIDA TRUST, DATED 9/17/2010, AS TRUSTEE	052-061-26 052-061-25	PARCEL 1 0.314 AC (gross) 0.296 AC (net)

SHEET 2 OF 2

EASEMENT NOTE:

-  AN EASEMENT FOR INGRESS AND EGRESS, PIPE LINES, POLE LINES AND OTHER PUBLIC UTILITIES FOR THE BENEFIT OF AND TO BE USED IN COMMON BY THE OWNERS OF LAND IN LOTS 3, 4, 5 & 6 OF BLOCK 34 AS RECORDED ON MAY 11, 1951 IN BOOK 2187, PAGE 233 & BOOK 2187, PAGE 235, BOTH OF OFFICIAL RECORDS.
-  10' WIDE EASEMENT FOR SEWER PURPOSES RECORDED IN BOOK 2165, PAGE 614 OF OFFICIAL RECORDS, AS SHOWN ON PARCEL MAP RECORDED IN BOOK 65, PAGE 21 OF PARCEL MAPS.
-  10' WIDE EASEMENT FOR SEWER PURPOSES RECORDED IN BOOK 2165, PAGE 611 OF OFFICIAL RECORDS, AS SHOWN ON PARCEL MAP RECORDED IN BOOK 65, PAGE 21 OF PARCEL MAPS.

SURVEYOR'S NOTE:

-  A PORTION OF THE LAND INCLUDED WITHIN THIS LOT MERGER AS DESCRIBED IN PARCEL 2 OF THE LATEST GRANT DEED RECORDED ON DECEMBER 20, 2010 AS INSTRUMENT No. 2010000708142 O.R. AGREES WITH THE LAND SHOWN AS PARCEL 1 OF A PARCEL MAP RECORDED ON DECEMBER 5, 1974 IN BOOK 65, PAGE 21 OF PARCEL MAPS.

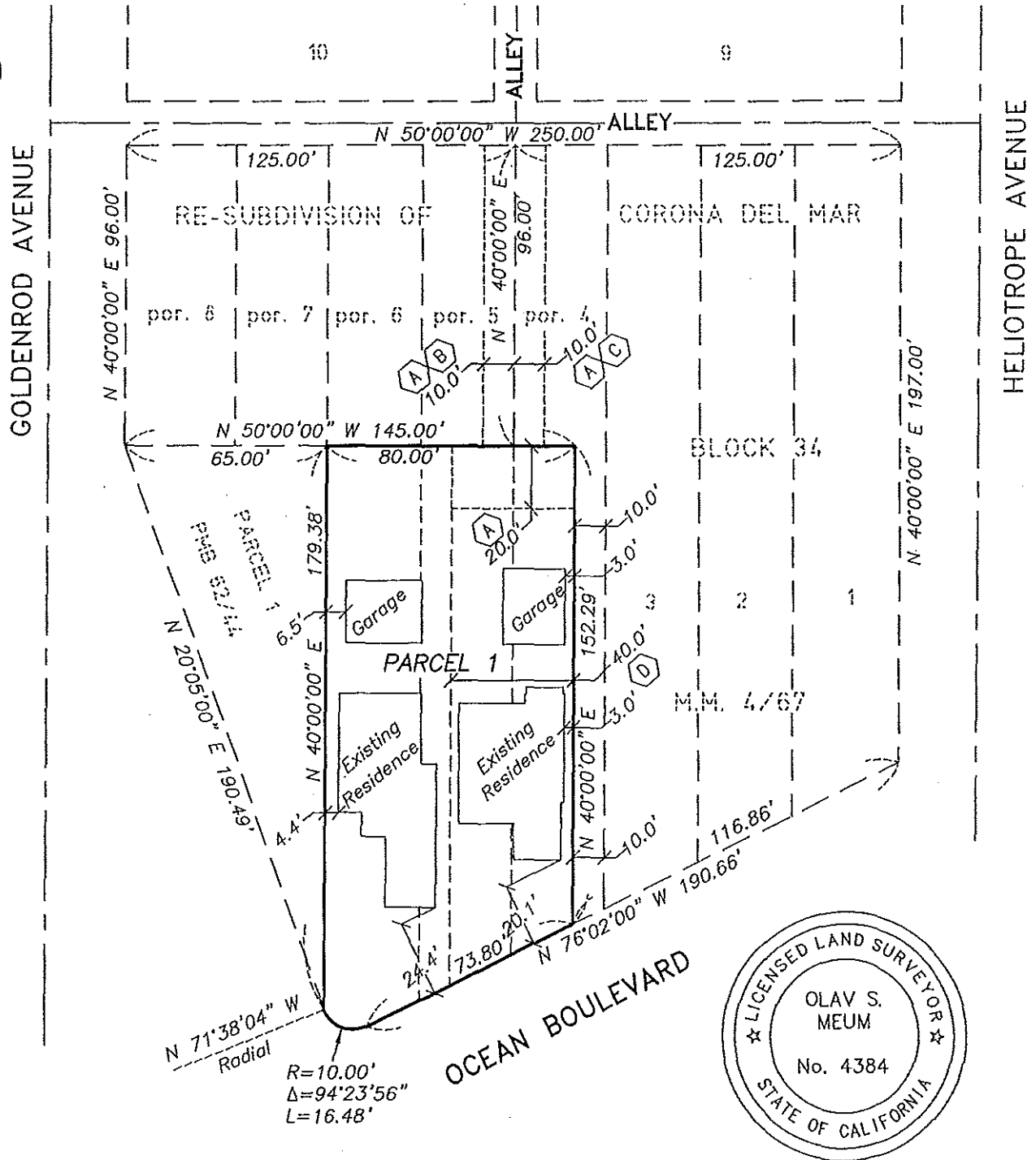


**EXHIBIT C**  
**CITY OF NEWPORT BEACH**  
**LOT MERGER No. LM 11 -**  
 (Site Map)

Owners	Existing Parcels AP Number	Proposed Parcels Reference Number
THE JOHN GUIDA TRUST, DATED 9/17/2010, AS TRUSTEE THE JULIE GUIDA TRUST, DATED 9/17/2010, AS TRUSTEE	052-061-26 052-061-25	PARCEL 1 0.314 AC (gross) 0.296 AC (net)

SCALE: 1"=50'

SHEET 1 OF 1



**LEGEND:**

- EXISTING LOT LINE TO REMAIN
- EXISTING LOT LINE TO BE REMOVED

PREPARED BY ME OR UNDER MY  
 DIRECTION ON: APRIL 8, 2011

*Olav S. Meum* 6-14-11  
**OLAV S. MEUM LS 4384**





COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION  
3300 Newport Boulevard, Building C, Newport Beach, CA 92663  
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**NOTICE OF ZONING ADMINISTRATOR ACTION**

September 14, 2011

Iverson Architects  
Attn: Leland Iverson  
20280 SW Acacia Street Suite 220  
Newport Beach, CA 92660

**Application No.**      **Modification Permit No. MD2011-013**  
                                 **(PA2011-144)**

**Site Address**        **209 Via Lido Soud**  
                                 **Twist Modification**

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On September 14, 2011, the above referenced application was approved based on the findings and conditions in the attached action letter.

On behalf of Jaime Murillo, Zoning Administrator

By:   
Erin M. Steffen, Planning Technician

JM/ems

**APPEAL PERIOD:** Modification Permit applications do not become effective until 14 days following the date of action. Prior to the effective date the applicant or any interested party may appeal the decision of the Zoning Administrator to the Planning Commission by submitting a written appeal application to the Community Development Director. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

**cc:**  
George & Lurline Twist  
209 Via Lido Soud  
Newport Beach, CA 92663





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PLANNING DIVISION

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**ZONING ADMINISTRATOR ACTION LETTER**

<b>Application No.</b>	<b>Modification Permit No. MD2011-013 (PA2011-144)</b>
<b>Applicant</b>	<b>Iverson Architects</b>
<b>Site Address</b>	<b>209 Via Lido Soud Twist Residence Modification</b>
<b>Legal Description</b>	<b>Lot 887 and the Northwesterly ½ of Lot 888 of Tract No. 907, in the City of Newport Beach, as shown on Map recorded in Book 28, pages 25 to 36 inclusive of Miscellaneous maps, in the Office of the County Recorder of Orange County, California</b>

On **September 14, 2011**, the Zoning Administrator approved the following: A Modification Permit to allow a 25-percent addition to an existing 2,927-square-foot, nonconforming single-unit dwelling. Zoning Code regulations limit the allowed addition to 10-percent of the existing floor area of the structure because the interior width of the existing two-car garage (18 feet, 6 inches) is less than the minimum required by Code (20 feet). The property is located in the R-1 (Single-Unit Residential) District. The Zoning Administrator's approval is based on the following findings and subject to the following conditions.

**FINDINGS**

Finding

*A. The proposed project is in conformance with the California Environmental Quality Act.*

Facts in Support of the Finding:

- A.1 The proposed modification request qualifies for an exemption from environmental review pursuant to Section 15301 (Class 1 – Existing Facilities) of the Implementing Guidelines of the California Environmental Quality Act (CEQA). Class 1 provides for additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet; and the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and the area in which the project is located is not environmentally sensitive.



In accordance with Section 20.52.050 E. (Required Findings, Modification Permits) of the Newport Beach Municipal Code (NBMC), the following findings and facts in support of the finding for a Modification Permit are set forth:

Finding

*B. The requested modification will be compatible with existing development in the neighborhood.*

Fact in Support of Finding

- B-1. The existing two-story single-unit dwelling is nonconforming as the garage encroaches one-foot into the required four-foot southerly side setback and the interior width dimension of the garage (18 feet, 6 inches) is less than the minimum required by the Zoning Code (20 feet).
- B-2. The deviation from the Zoning Code requested through this application is compatible with the characteristics of the surrounding properties. There are lots in the area with required 3-foot setbacks, and properties developed with similar nonconforming structures in regards to substandard parking space dimensions. Many of the dwelling units in this area were constructed at a time when the Zoning Code did not specify dimension requirements for garages or at a time when the required minimum dimensions of parking space were similar or the same as the subject garage.
- B-3. The applicant is proposing a 25-percent addition to the existing structure. The proposed addition will comply with all of the development standards, including floor area, height, and setbacks, and will not intensify or alter the existing nonconformities. The resulting structure will be 3,655 square feet and similar in character and size to developments located in the neighborhood.

Finding

*C. The granting of the modification is necessary due to practical difficulties associated with the property and that the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code.*

Fact in Support of Finding

- C-1. The granting of the modification is necessary due to the unique characteristics of the structure in that the substandard width dimension of the garage necessitates the approval of a modification permit pursuant to 20.38.050 A.2 (Nonconforming Parking) to allow an addition greater than 10 percent of the existing floor area of the structure.
- C-2. Zoning Code regulations allow additions up to 50-percent of the gross floor area of an existing structure within any 10 year period for structures with nonconforming setbacks. Therefore, if the one-foot setback encroachment were the only



nonconforming element of the existing structure, the proposed project would not require approval of a modification permit and would be allowed by right.

- C-3. Given the design of the existing structure, bringing the garage into conformance is infeasible without significantly expanding the scope of the project.
- C-4. The Zoning Code specifies minimum interior dimensions for parking space, which vary by lot width. Although, the existing garage is nonconforming in regards to the minimum width dimension required for lots greater than 40 feet wide, it is consistent with the width requirements for garages on lots less than 40 feet wide and still provides two useable garage spaces. Thereby, the existing nonconforming garage meets the intent of the Zoning Code by providing adequate parking but is deficient as to meeting the minimum width requirement. Approval of the Modification Permit to allow the 25-percent addition is reasonable given the use of the structure.

Finding

- D. The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.*

Fact in Support of Finding

- D-1. The existing two-car garage at the subject property was in compliance with the Zoning Code at the time of original construction. However, as a result of amendments to the Zoning Code, the garage is now substandard in size in regards to width, but does not preclude the use of two parking spaces.

Finding

- E. There are no alternatives to the Modification Permit that could provide similar benefits to the applicant with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.*

Fact in Support of Finding

- E-1. The alternatives would require that the applicant bring the garage into conformance by expanding the scope of the project or requesting a Variance for a setback encroachment.
- E-2. Approval of the Modification Permit allows the applicant to the continued use of a two-car garage even though the width of the garage does not meet Zoning Code requirements for lots greater than 40 feet wide.

Finding

- F. The granting of the modification would not be detrimental to public health, safety, or welfare to the occupants of the property, nearby properties, the neighborhood, or the*



*City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.*

Fact in Support of Finding

- F-1. Though the width of the two-car garage will be less the minimum required by the Zoning Code it will not be so deficient to preclude the use of two parking spaces.
- F-2. The project will not increase the nonconforming status once complete and will comply with all other provisions of the R-1 Zoning District.
- F-3. The existing nonconforming garage has not proven to be detrimental to the surrounding neighborhood.
- F-4. The proposed gross square footage of the structure is less than the maximum square footage allowed by the Zoning Code and is consistent with the surrounding neighborhood as well as similar land uses throughout the City.

**CONDITIONS**

- 1. The development shall be in substantial conformance with the approved plot plan, floor plans and elevations, except as noted in the following conditions.
- 2. If any of the existing public improvements surrounding the site are damaged by private work, new concrete sidewalk, curb and gutter, street pavement, and other public improvements will be required by the City at the time of private construction completion. Said determination and the extent of the repair work shall be made at the discretion of the Public Works inspector.
- 3. Prior to issuance of building permits, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Modification Permit file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11-inches by 17-inches. The plans shall accurately depict the elements approved by this Modification Permit and shall highlight the approved elements such that they are readily discernible from other elements of the plans.
- 4. A building permit shall be obtained prior to commencement of the construction.
- 5. A copy of this approval letter shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.
- 6. All work performed within the public right-of-way shall be reviewed and approved by the Public Works Department under an encroachment permit/agreement, if required.



7. The proposed addition and related work shall comply with the California Building Code and all adopted local amendments.
8. This approval shall expire unless exercised within 24 months from the approval date, as specified in Section 20.93.050 (A) of the Newport Beach Municipal Code. Prior to the expiration date of this approval, an extension may be approved in accordance with Section 20.93.050 (B) of the Newport Beach Municipal Code. Requests for an extension must be in writing.
9. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Twist Residence Modification including, but not limited to, Modification No. MD2011-013 (PA2011-144). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

### **PUBLIC NOTICE**

Notice of this application was mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant and posted on the subject property at least 10 days prior to the decision date, consistent with the provisions of the Municipal Code.

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By:   
Jaime Murillo, Zoning Administrator

JM/ems

Attachments:      ZA 1 Vicinity Map  
                            ZA 2 Applicant's Project Description  
                            ZA 3 Project Plans

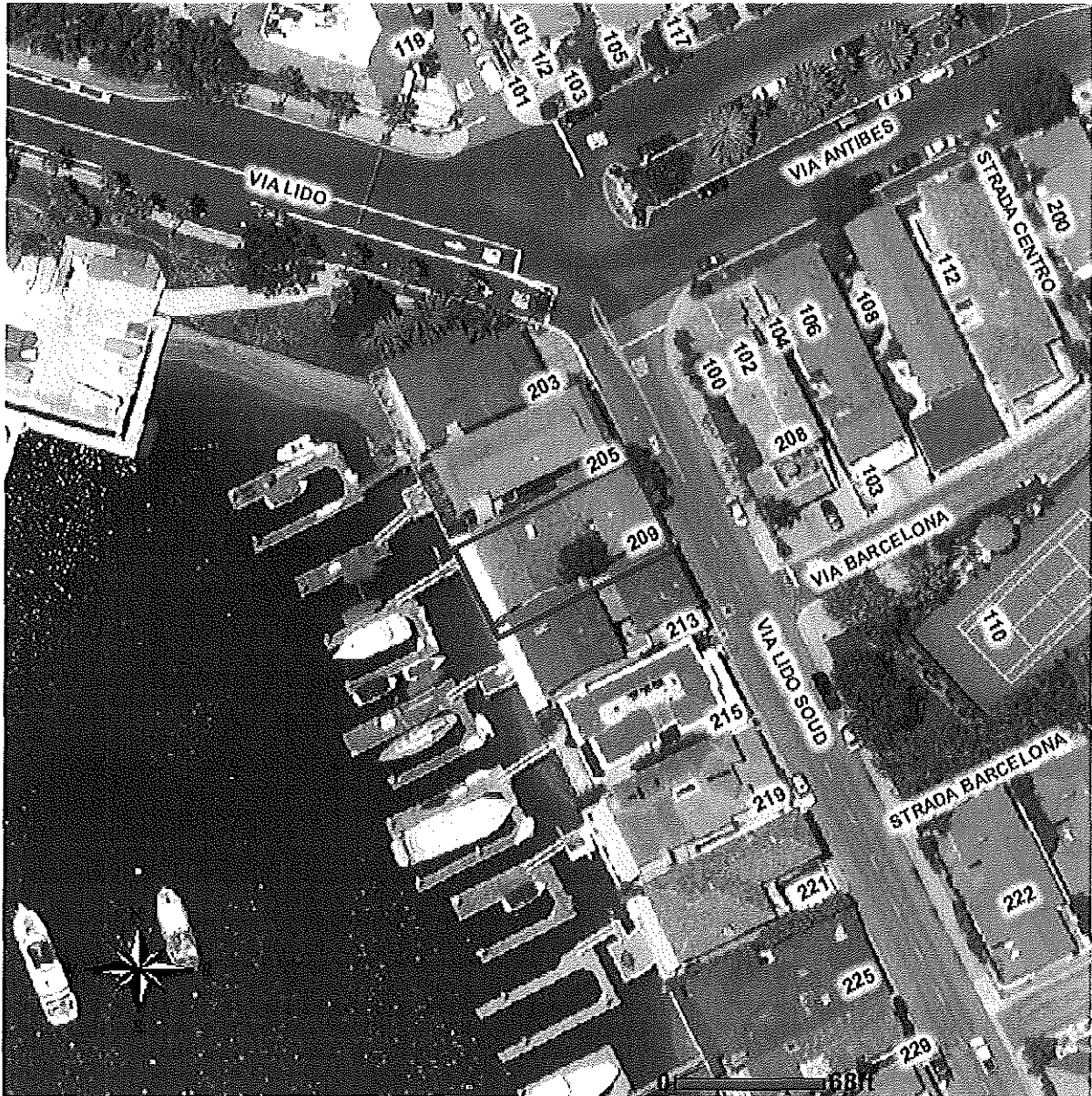


# **Attachment No. ZA 1**

Vicinity Map



## VICINITY MAP



Modification Permit No. MD2011-013  
PA2011-144

**209 Via Lido Soud**



## **Attachment No. ZA 2**

Applicant' Project Description





RESIDENTIAL REMODEL-209 VIA LIDO SOUD for GEORGE & LURLINE TWIST  
Project Description and Justification for Modification Permit Application- 7-25-11

Because the residence is considered to be non-conforming to today's Zoning Code we would like to ask for permission for the proposed addition which is approximately 25% of the existing building.

The project consist of adding a second floor master bedroom and elevator at the center of the existing single family Twist home located on Lido Isle. The existing structure is two stories at the street front side and one story in the middle and at the rear bay side. The second floor addition would connect to the existing two story element at the front but would leave the existing one story living room element at the rear. The footprint outline of the new roof will be the same as that of the existing structure and the height of the new roof has been reviewed and approved by the Lido Isle Association.

The structure was built in 1948 and was owned by the parents of Lurline Twist. At the time it was built, the left side of the home was placed at a 3 foot setback which is now required by the New Zoning Code to be 4 feet. There is a courtyard at this side of the home so the 3 foot setback occurs only at the short sides of the garage and kitchen/dining portion of the house. The existing long right side of the house is at the required 4 foot setback.

The other element that makes this property non-conforming to today's Zoning Code is the width of the existing two car garage. The existing 18'-6" dimension for the two car garage is approved for a 30 foot wide lot, but the New Zoning Code now requires a minimum of 20 feet for lots over 40 feet. The existing depth is over 21 feet.

The scale and massing of the proposed addition has been approved by the Lido Isle Association and is compatible with the existing development in the neighborhood. Garages with an 18'-6" width and 3 foot side yards are found in many of the older homes on Lido Isle. The front and rear of the existing home remain unchanged and it would be impossible to change the existing side yard or garage without demolishing a good portion of the home which is build of concrete blocks.

As our population ages, we will see more and more people living on Lido that will want to add elevators and remodel their homes to be able to stay were they desire to live. The Twist fall into this group and they do not want to tear down their home, just improve it.

IVERSON ARCHITECTS, INC.

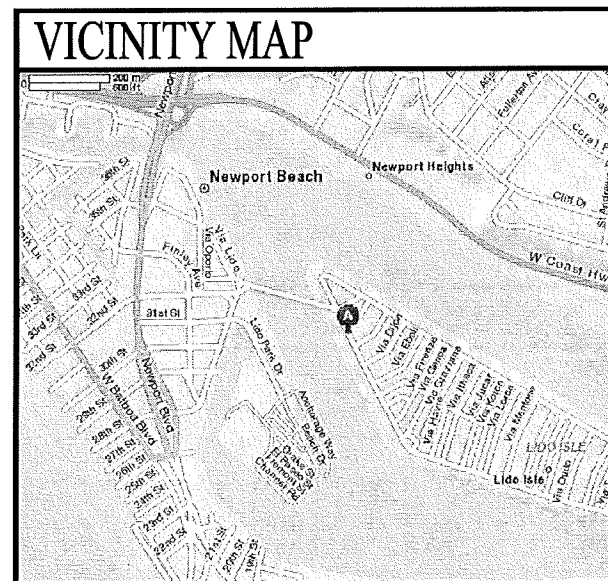
**LELAND D. IVERSON**


Leland D. Iverson, AIA

PA2011-144 for MD2011-013  
209 Via Lido Soud  
Iverson Architects

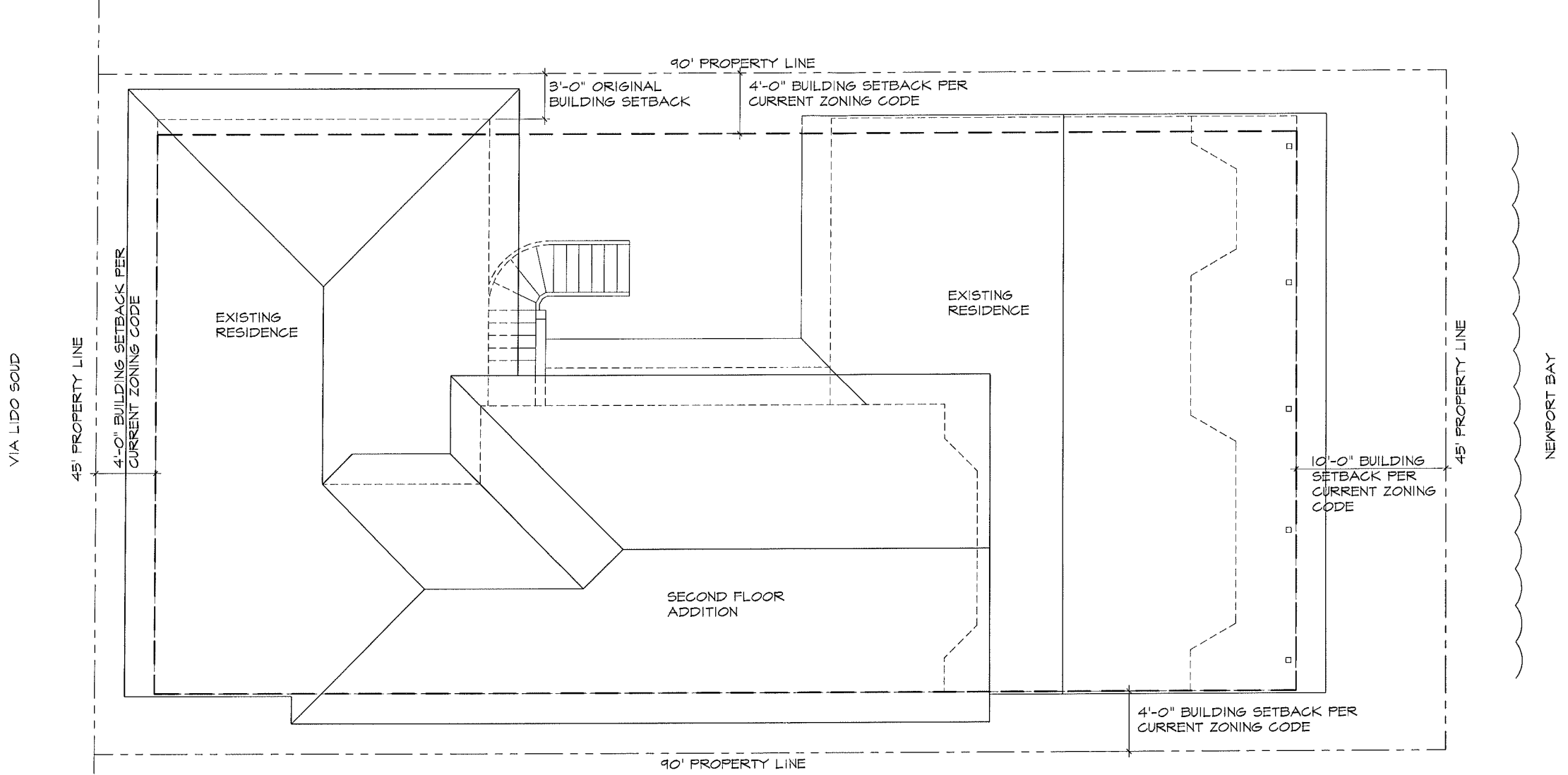


209 VIA LIDO SOUD  
NEWPORT BEACH, CA 92663



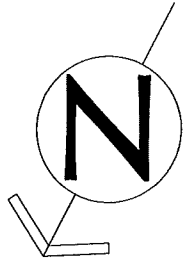
PROJECT INFORMATION		DRAWING INDEX		<div> IVERSON ARCHITECTS 20280 SW ACACIA STREET, SUITE 220 NEWPORT BEACH, CA 92660 949 475 . 9900</div>	
CLIENT:  GEORGE AND LURLINE TWIST 209 VIA LIDO SOUND NEWPORT BEACH, CA 92663 PHONE: (949) 675-3989		ARCHITECTURAL		<div><b>◆ TWIST RESIDENCE ◆</b> 209 VIA LIDO SOUND NEWPORT BEACH, CA 92663</div>	
ARCHITECT:  IVERSON ARCHITECTS 20280 SW ACACIA, SUITE 220 NEWPORT BEACH, CA 92660 (949) 475-9900 FAX: (949) 475-9901 CONTACT: LEE IVERSON E-MAIL - lee@iversonarchitects.com		AC COVER SHEET SP1 SITE PLAN A1 EXISTING 1ST FLOOR & PROPOSED DEMOLITION A1.1 EXISTING 2ND FLOOR & PROPOSED DEMOLITION A2 EXISTING ROOF & PROPOSED DEMOLITION A3 SLAB PLAN A3.1 FIRST FLOOR PLAN A3.2 SECOND FLOOR PLAN A4 ROOF PLAN A5 BUILDING SECTIONS & INTERIOR ELEVATIONS A5.1 EXTERIOR ELEVATIONS A6 EXTERIOR ELEVATIONS A6.1 FIRST FLOOR UTILITY PLAN D1 SECOND FLOOR UTILITY PLAN D2 ARCHITECTURAL DETAILS T24.1 ARCHITECTURAL DETAILS T24.2 TITLE 24			
STRUCTURAL ENGINEER:  R.C.E. INC. 3111 SECOND AVENUE, SUITE 5 CORONA DEL MAR, CA 92625 PHONE: (949) 612-8733 MOBILE: (949) 466-9394 CONTACT: ALI REZAEI E-MAIL: alirezae@rce-eng.com		STRUCTURAL			
BUILDER:  THE FULTS COMPANY 119 VIA NICE NEWPORT BEACH, CA 92663 PHONE: (949) 244-2589 MOBILE: (949) 673-2765 CONTACT: GREG FULTS		SI FOUNDATION PLAN S2 FRAMING PLANS SGN STRUCTURAL GENERAL NOTES DETAILS SD1 STRUCTURAL DETAILS SD2 STRUCTURAL DETAILS SD3 STRUCTURAL DETAILS		<div><b>COVER SHEET</b>  JOB NO.: 101A DATE: 07-01-2011 FILE:</div>	
COMMUNITY ASSOCIATION:  LIDO ISLE COMMUNITY ASSOCIATION 701 VIA LIDO SOUND NEWPORT BEACH, CA 92663 PHONE: (949) 673-6170 FAX: (949-) 673-6827 CONTACT: LINDSEY VAUGHAN E-MAIL: lindsey@roadrunner.com		AREA TABULATION			
GENERAL NOTES		BUILDABLE AREA CALCULATION:  LOT SIZE: 45' X 90' SETBACKS: 4' FRONT, 10' REAR, 4' SIDES BUILDABLE AREA: 45' - 8' = 37' 90' - 14' = 76' 37' X 76' = 2,812 SF  MAXIMUM ALLOWABLE FLOOR AREA: 1.5 X 2,812 SF = 4,218 SF  EXISTING FLOOR AREA: 2,506 SF CONDITIONED SPACE: 421 SF GARAGE: 488 SF COVERED PORCHES: 44 SF EXTERIOR STAIR: 3,459 SF TOTAL:  REMODEL ADDED: 207 SF - 1ST FLOOR - ARCADE NET FLOOR AREA: 521 SF - 2ND FLOOR - MASTER BR/BA 728 SF TOTAL NEW COND. SPACE  NEW FLOOR AREA: 1,796 SF FIRST FLOOR: 1,438 SF SECOND FLOOR: 3,234 SF TOTAL CONDITIONED SPACE: 421 SF GARAGE: 281 SF COVERED PORCHES: 60 SF EXTERIOR STAIR: 3,996 SF COVERAGE  TOTAL FLOOR AREA: 3,996 SF COVERAGE  PERMIT APPLICATION CALCULATION:  DEMO BLDG. S.F.: 322 SF - FIRST FLOOR 173 SF - SECOND FLOOR 495 SF TOTAL DEMO AREA  ADD/RECONSTRUCT BLDG S.F.: 516 SF - FIRST FLOOR 107 SF - SECOND FLOOR 1,223 SF TOTAL RECONSTRUCTED AREA			
1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO BEGINNING WORK. NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IMMEDIATELY IF ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN OR NOTED ON DRAWINGS.		REVISION INDEX		BUILDING DEPT. DATA	
2. REFER TO STRUCTURAL DRAWINGS FOR HOLDDOWNS, FOOTINGS, AND STRUCTURAL DETAILS.		DATE		BUILDING CODES: 2010 CRC, 2010 CMC, 2010 CPC, 2010 CEC (ELECTRICAL), 2010 CFC, 2008 CEC (ENERGY) 2010 CGBS (CAL GREEN)	
3. ALL DIMENSIONS ARE TO FACE OF STUD		REMARKS		OCCUPANCY: SINGLE FAMILY RESIDENTIAL	
4. LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED				TYPE OF CONSTRUCTION: TYPE VB	
5. PROVIDE BACK-DRAFT DAMPERS AT HOOD VENT AND EXHAUST FANS.				NUMBER OF STORIES: TWO	
6. PROVIDE VAPOR BARRIER AROUND ALL WALL PENETRATIONS INCLUDING DOORS, WINDOWS AND VENTS.				LEGAL DESCRIPTION: TRACT: 907 LOT: 887 & THE NORTHWESTERLY 1/2 OF LOT 888	
7. EXTERIOR STUCCO SHALL CONSIST OF EXTERIOR PLASTER 1/6" THICK THREE-COAT PORTLAND CEMENT WITH LIGHT SAND FINISH OVER LATH AND BUILDING PAPER (PROVIDE 2 LAYERS OF GRADE D PAPER AT SHEAR WALLS, AND WOOD SHEATHING)					
2506 + 421 ----- 2927					






**SITE PLAN**  
**SCALE: 1/4"=1'-0"**

**BUILDABLE AREA CALCULATION:**  
LOT SIZE: 45' X 90'  
SETBACKS: 4' FRONT, 10' REAR, 3' SIDES  
BUILDABLE AREA: 45' - 8' = 37'  
90' - 14' = 76'  
37' X 76' = 2,812 SF  
MAXIMUM ALLOWABLE FLOOR AREA: 1.5 X 2,812 SF = 4,218 SF





**IVERSON ARCHITECTS**  
20280 SW ACACIA STREET, SUITE 220  
NEWPORT BEACH, CA 92660  
949.475.9900

**◆ TWIST RESIDENCE ◆**  
209 VIA LIDO SOUD  
NEWPORT BEACH, CA 92663

COMMENTS	DATE
BUILDING / PLANNING DEPT. REVIEWING	07-26-11

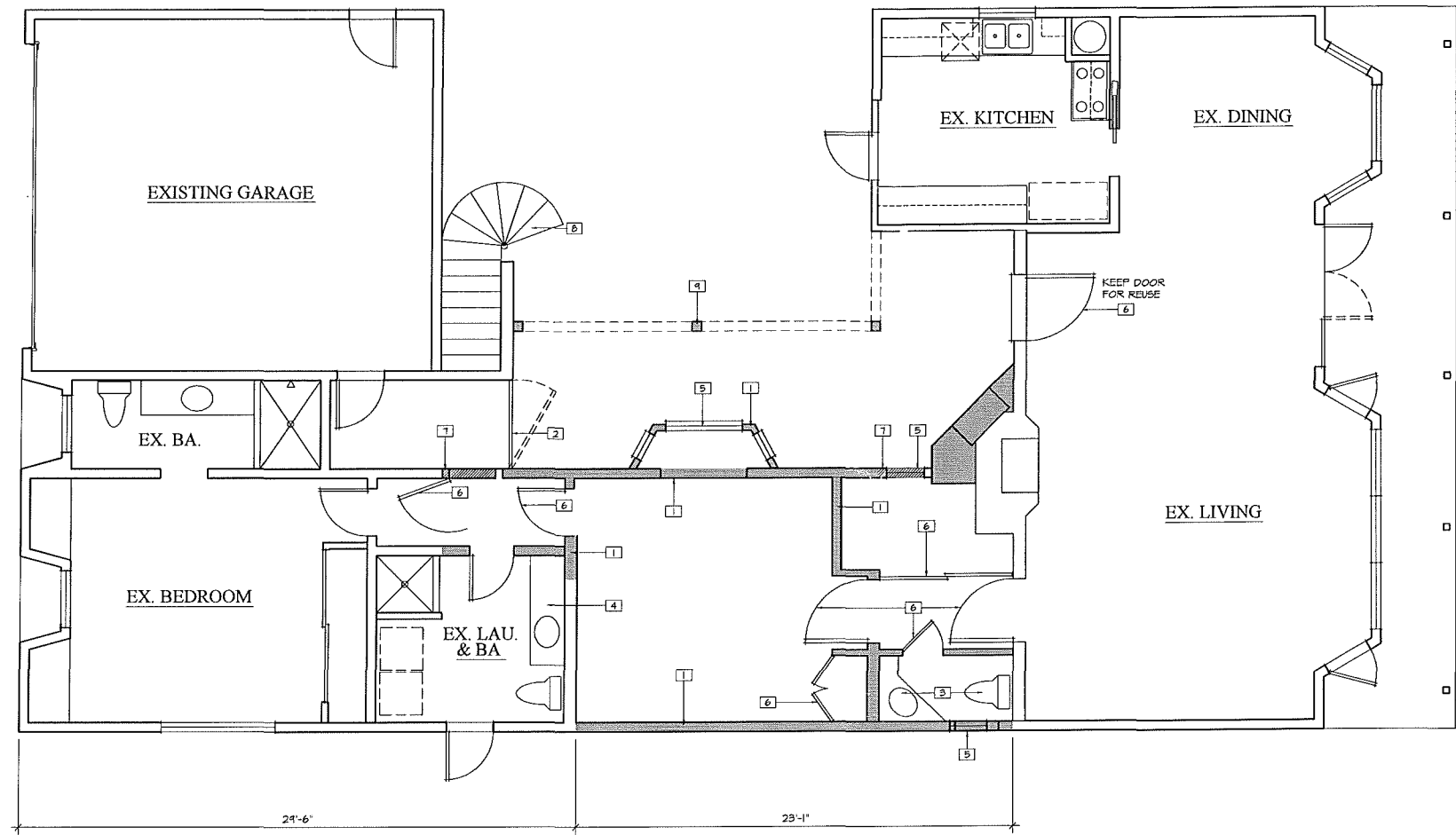
**SITE PLAN**

JOB NO: 101A  
DATE: 07-01-2011  
FILE :

**SP1**

THESE DRAWINGS ARE NOT AUTHORIZED FOR CONSTRUCTION UNLESS STAMPED WITH LELAND D. IVERSON STATE LICENSED ARCHITECT SEAL





- DEMOLITION PLAN LEGEND**
- 1. REMOVE EXISTING WALLS AS SHOWN
  - 2. REMOVE EXISTING GATE
  - 3. REMOVE EXISTING POWDER ROOM FIXTURES AND PLUMBING
  - 4. REMOVE EXISTING CABINET, SINK, COUNTERTOP, AND MIRROR IN EXISTING BATH
  - 5. REMOVE EXISTING WINDOWS
  - 6. REMOVE EXISTING DOOR AND FRAME
  - 7. ENLARGE EXISTING OPENING TO ACCOMMODATE NEW DOOR OR WINDOW
  - 8. REMOVE EXISTING METAL STAIRS
  - 9. REMOVE EXISTING COLUMNS AND FRAMING

- DEMOLITION PLAN NOTES**
- 1. CAP OFF ALL EXISTING PLUMBING & ELECTRICAL AS REQUIRED BY REMOVAL.

- DEMOLITION PLAN KEY**
- WALLS TO BE REMOVED
  - OPENINGS TO BE ENLARGED

**FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/4"=1'-0"

**IVERSON ARCHITECTS**  
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◆ **TWIST RESIDENCE**  
209 VIA LIDO SOUND  
NEWPORT BEACH, CA 92663

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<b>FIRST FLOOR DEMOLITION PLAN</b>	
JOB NO. 101A	<b>A1</b>
DATE: 07-07-2011	
FILE:	

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WALLS TO BE REMOVED

OPENING TO BE ENLARGED

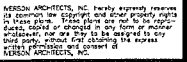
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## SECOND FLOOR DEMOLITION PLAN

FILE :

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### A1.1

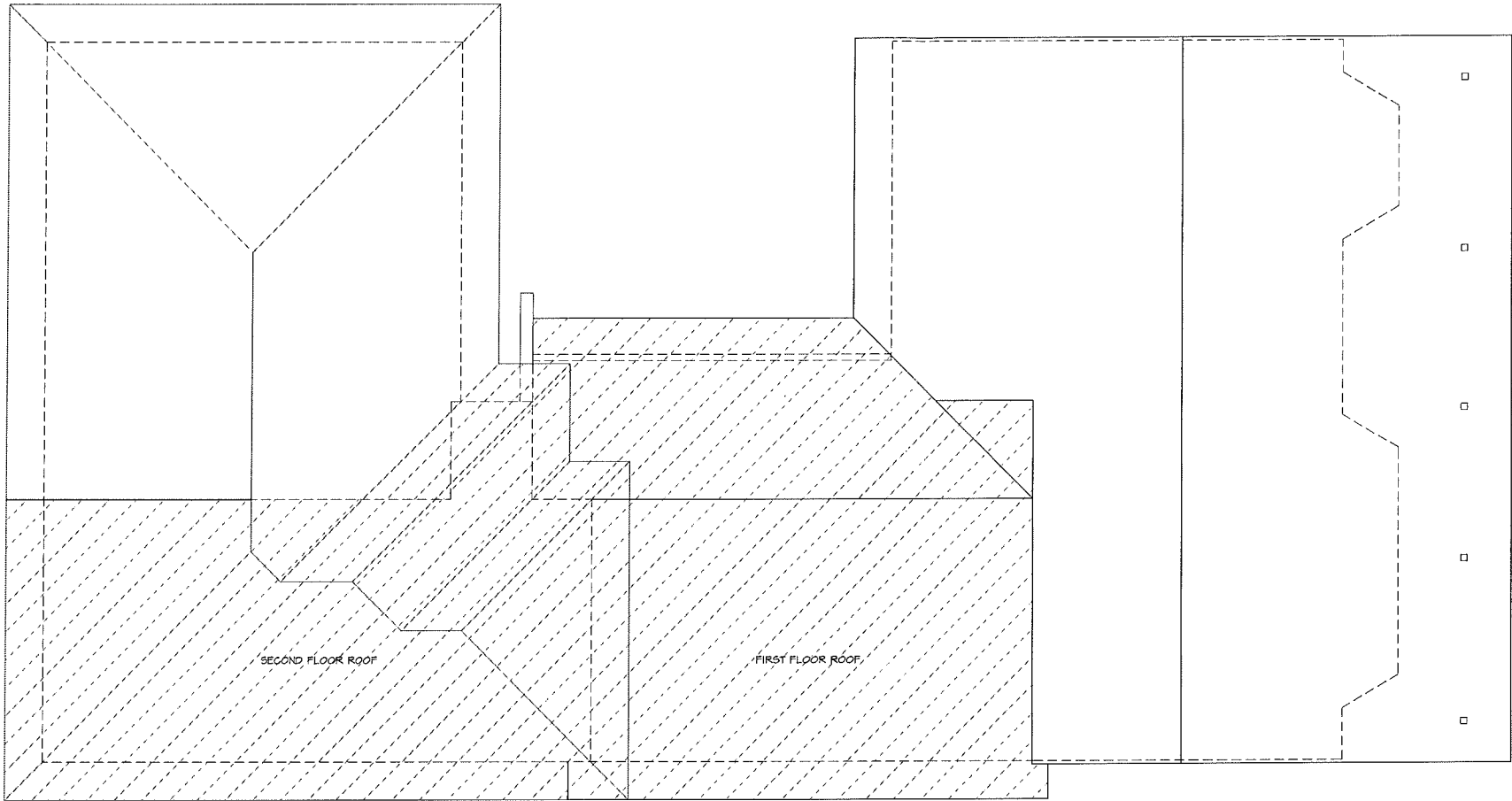


## ◆ TWIST RESIDENCE ◆

209 VIA LIDO SUD  
NEWPORT BEACH, CA 92663

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**ROOF DEMOLITION PLAN**  
**SCALE: 1/4"=1'-0"**

**DEMOLITION PLAN LEGEND**

- 1. REMOVE EXISTING WALLS AS SHOWN
- 2. REMOVE EXISTING GATE
- 3. REMOVE EXISTING POWDER ROOM FIXTURES AND PLUMBING
- 4. REMOVE EXISTING CABINET, SINK, COUNTERTOP, AND MIRROR IN EXISTING BATH
- 5. REMOVE EXISTING WINDOWS
- 6. REMOVE EXISTING DOOR AND FRAME
- 7. ENLARGE EXISTING OPENING TO ACCOMMODATE NEW DOOR OR WINDOW
- 8. REMOVE EXISTING METAL STAIRS
- 9. REMOVE EXISTING COLUMNS AND FRAMING

**DEMOLITION PLAN NOTES**

- 1. CAP OFF ALL EXISTING PLUMBING & ELECTRICAL AS REQUIRED BY REMOVAL.

**DEMOLITION PLAN KEY**

 ROOF AREA TO BE REMOVED



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IVERSON ARCHITECTS, INC. hereby certifies that the information contained herein was prepared by a duly licensed architect or engineer, and that the information is true and correct to the best of their knowledge and belief.

◆ **TWIST RESIDENCE**

209 VIA LIDO SOUND  
NEWPORT BEACH, CA 92663

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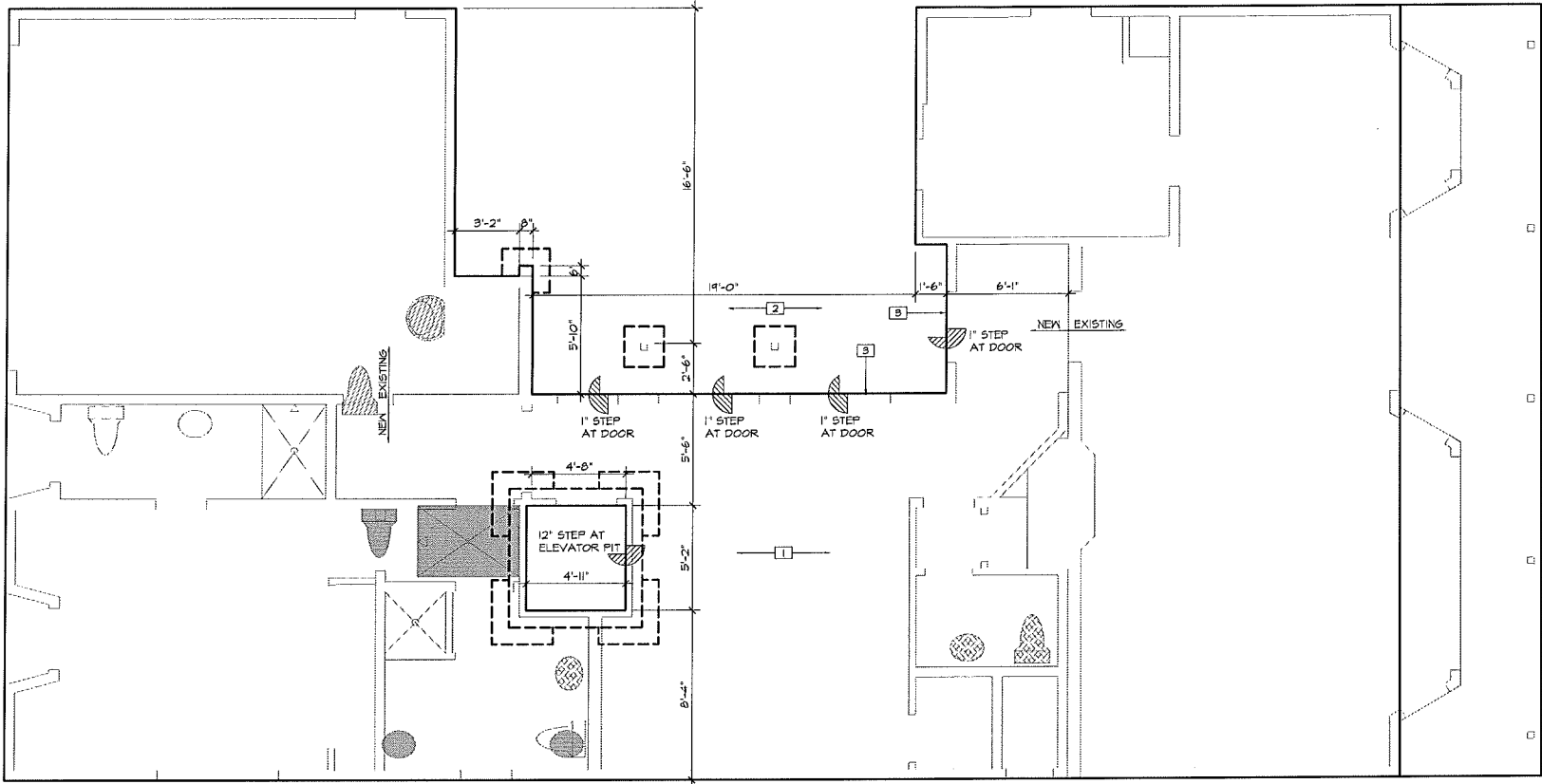
**ROOF DEMOLITION  
PLAN**

JOB NO. 110-A  
DATE: 07-07-2011  
FILE :

**A1.2**

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**SLAB EDGE PLAN**  
SCALE: 1/4"=1'-0"

**SLAB INTERFACE LEGEND**

- 1. CONCRETE SLAB
- 2. CONCRETE PORCH SLAB
- 3. MAXIMUM 1 1/2" STEP FROM FINISHED SURFACE TO FINISHED SURFACE OF THRESHOLD AT THE REQUIRED EGRESS DOOR. (ENTRY DOOR) PER CBC SECTION 2511.5.1.


**SLAB INTERFACE NOTES**

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO BEGINNING WORK. NOTIFY THE ENGINEER IMMEDIATELY IF ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN OR NOTED ON DRAWINGS.
2. REFER TO STRUCTURAL DRAWINGS FOR HOLLOWAYS, FOOTINGS, AND STRUCTURAL DETAILS.
3. RUN PLUMBING LINES THROUGH WALLS WHERE POSSIBLE AVOID RUNNING LINES THROUGH FOUNDATION.
4. PROVIDE A UFER GROUND, SIZED IN ACCORDANCE WITH CBC SECTION 250.50.

**PLUMBING SYMBOLS**

- LOWER FLOOR EXISTING TO REMAIN
- LOWER FLOOR NEW
- UPPER FLOORS EXISTING TO REMAIN
- UPPER FLOORS NEW

NOTE:  
THE PURPOSE OF THESE DRAWINGS IS TO PROVIDE DIMENSIONS AND TO IDENTIFY ARCHITECTURAL FEATURES ONLY.  
REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL INFORMATION.



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NEWPORT BEACH, CA 92660  
949.475.9900

**◆ TWIST RESIDENCE ◆**  
209 VIA LIDO SOUND  
NEWPORT BEACH, CA 92663

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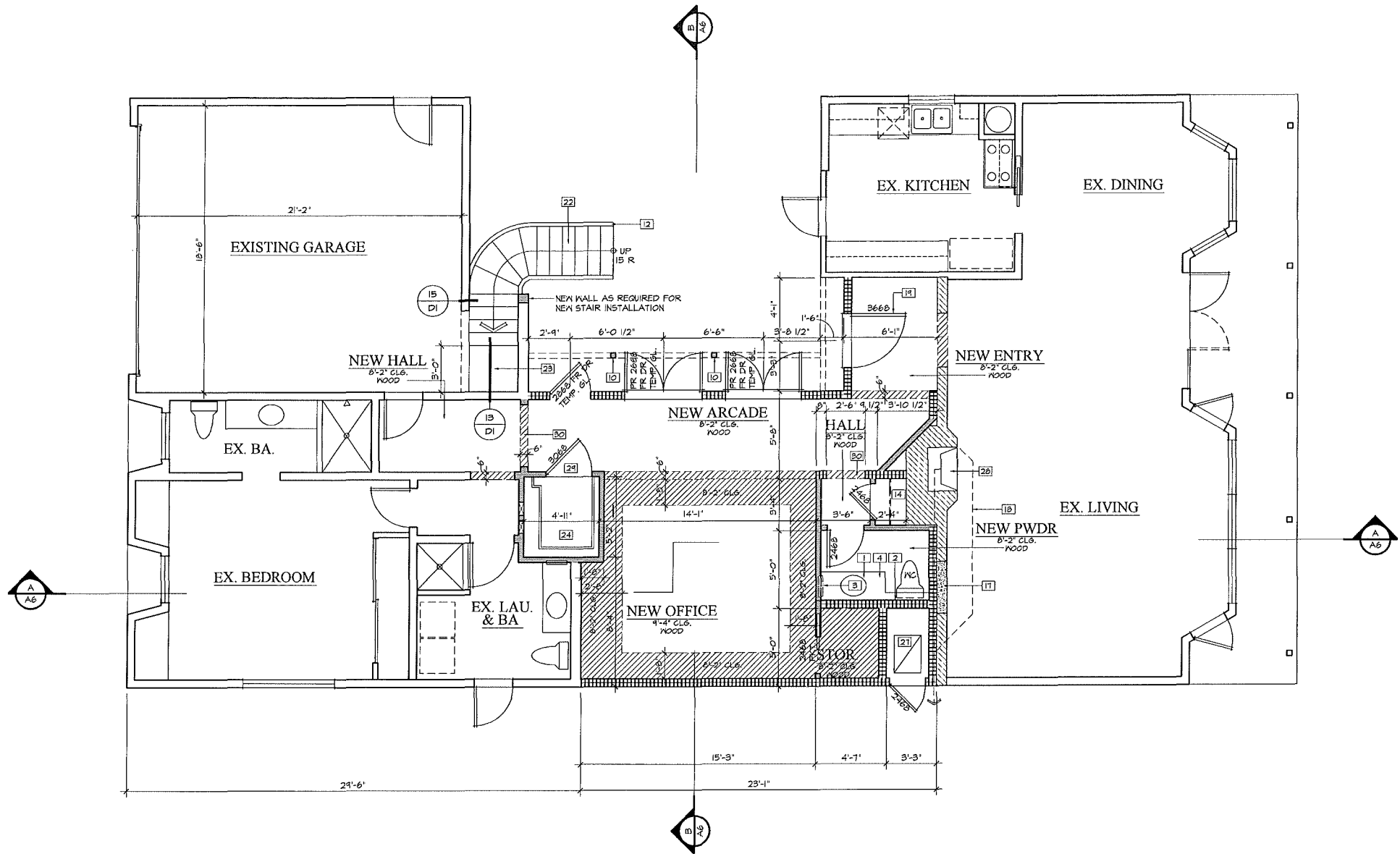
**SLAB PLAN**

JOB NO: 1101A  
DATE: 07-07-2011  
FILE :

**A2**

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**FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**FLOOR PLAN LEGEND**

IF NOT REFERENCED ON PLANS NOTE DOES NOT APPLY.

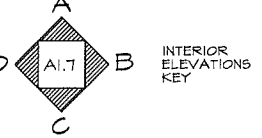
1. VANITY W/ SINK
2. FRAMED MIRROR
3. MEDICINE CABINET
4. COUNTERTOP W/ 4" BACKSPLASH
5. SHOWER, TILE FLOOR & WALLS TO CLO. HT.
6. PONY WALL AT 7'-0" A.F.F.
7. 15" HT. SEAT, TILE TOP AND FRONT
8. 2020 SKYLIGHT ABOVE
9. VANITY, SEE INTERIOR ELEVATION
10. NEW 4 X 4 POSTS
11. 42" HIGH SJARDORAIL
12. HANDRAIL MOUNTED 34" ABOVE NOSE OF TREAD
13. RETURN AIR GRILL ABOVE
14. SINGLE POLE W/ SINGLE SHELF
15. DOUBLE POLE W/ DOUBLE SHELF
16. LINEN CABINET W/ 5 SHELVES
17. FILL IN DOOR OPENING TO MATCH EXISTING WALL, TEXTURE AND PAINT TO MATCH EXISTING.
18. LINE OF FLOOR ABOVE
19. REUSE EXISTING ENTRY DOOR, INSTALL IN NEW WALL
20. WINDOW SEAT REFER TO INT. ELEVATIONS
21. SOFFIT ABOVE REFER TO INT. ELEVATIONS
22. PREFABRICATED METAL STAIRS & RAILINGS BY OTHERS, REFER TO SHOP DRAWINGS BY METAL FABRICATOR, PROVIDE MIN. 10" TREADS WITH MAX. 7-3/4" RISERS.
23. NEW LANDINGS & STAIRS
24. THYSSEN KRUPP LEVY RESIDENTIAL ELEVATOR, TYPE 1 40" X 54" RIGHT HAND CAR W/ STANDARD POCKET GATE AT RAIL SIDE, INSTALL PER MFR. SPECIFICATIONS & INSTALLATION REQUIREMENTS
25. NOT USED
26. TANKLESS HOT WATER HEATER (WALL MOUNTED & GAS), RINNAI CORP. MODEL R75-LSI (1ST HR. RATING 255 GPH) WITH 3/4" GAS LINE.
27. UPFLOW FAN IN CLOSET, HVAC CONTRACTOR TO VERIFY SIZE AND CLEARANCE REQUIRED
28. FIREPLACE INSERT, REGENCY P33-N54 ZERO CLEARANCE DIRECT VENT NATURAL GAS FIREPLACE, INSTALL PER MANUFACTURER SPECIFICATIONS AND INSTALLATION INSTRUCTIONS
29. VERIFY DOOR LOCATION WITH ELEVATOR SPECIFICATIONS
30. DRYWALL OPENING
31. SOUND INSULATED WALL

**FLOOR PLAN KEY**

- NEW 2 X 4 WALLS
- NEW 2 X 6 WALLS
- NEW 8" MASONRY WALL
- NEW 2 X 4 SOUND INSULATED WALL
- EXISTING WALLS
- EXISTING MASONRY WALL
- SOFFIT OR DROP CEILING

**FLOOR PLAN NOTES**

1. ALL WINDOWS TO BE VINYL LOW E' DUAL PANED WITH WHITE FINISH, MFG. PER BUILDER
2. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD
3. WINDOWS LOCATED IN FRAMED OPENINGS SHALL BE CENTERED ON OPENINGS, U.N.O.
4. PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM BASEMENT AND/OR SLEEPING ROOMS, NET CLEAR WINDOW OPENING AREA SHALL BE NOT LESS THAN 5.7 SQ. FT. (821 SQ. IN.), MIN. NET WINDOW OPENING HEIGHT DIMENSION, 24" CLEAR; MIN. NET OPENING WIDTH DIMENSION, 20" CLEAR, FINISHED SILL HEIGHT MAX. 44" ABOVE THE FLOOR, (PER C.R.C. SECT. R310.1)
5. AT SHOWER AND SHOWER/TUB COMBO ALL WALL COVERINGS SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 12" MIN. ABOVE DRAIN AT SHOWER OR TUB W/SHOWER, (PER C.R.C. SECT. R301.2)
6. PROVIDE BACK-DRAFT DAMPERS AT DRYER VENT, HOOD VENT AND EXHAUST FANS.
7. WATER CLOSETS TO BE MAXIMUM 1.6 GALLONS PER FLUSH
8. LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED
9. WALLS AND CEILINGS TO BE FINISHED WITH A SMOOTH TEXTURE (MATCH EXISTING) AND PRIMED (EXCEPT WINDOWS, SMOOTH 4 SIDES).
10. STANDARD BULL NOSE CORNER BEAD TO ALL OUTSIDE VERTICAL CORNERS (EXCEPT WINDOWS, CLOSETS AND GARAGES)
11. INTERIOR DOOR TO BE NOOD RAISED PANELED.
12. SHOWERS SHALL HAVE A PRESSURE BALANCE OR THERMOSTATIC TYPE VALVE.
13. GAS PIPE MATERIAL SHALL BE BLACK IRON.



**IVERSON ARCHITECTS**  
2020 SW ACACIA STREET, SUITE 220  
NEWPORT BEACH, CA 92660  
949.475.9900

**◆ TWIST RESIDENCE ◆**  
209 VIA LIDO SOUD  
NEWPORT BEACH, CA 92663

Δ	COMMENTS	DATE
Δ	BUILDING / PLANNING DEPT. REVISIONS	07-26-11
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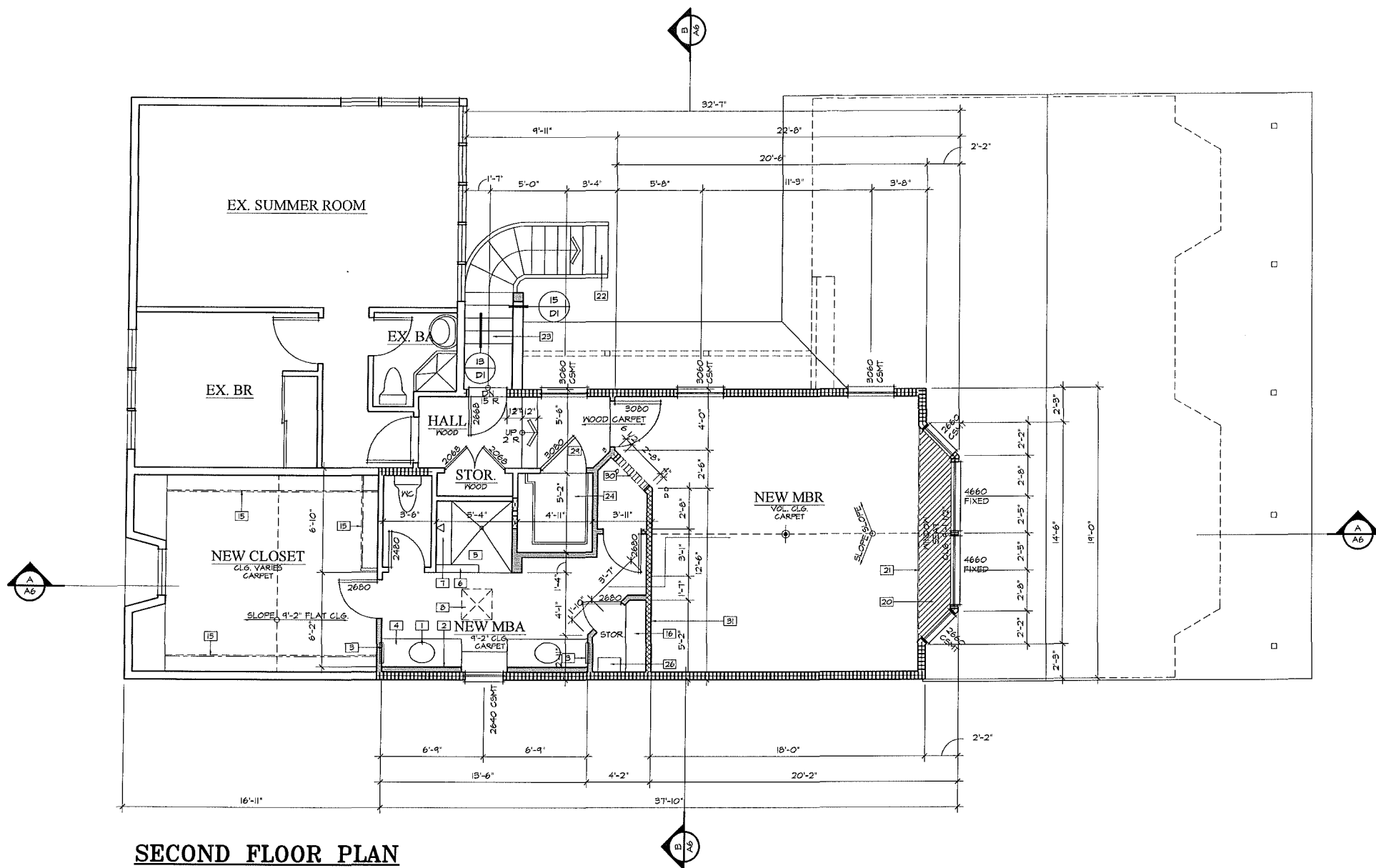
**FIRST FLOOR PLAN**

JOB NO: 1101A  
DATE: 07-07-2011  
FILE:

**A3**

THESE DRAWINGS ARE NOT AUTHORIZED FOR CONSTRUCTION UNLESS STAMPED WITH LELAND D. IVERSON STATE LICENSED ARCHITECT SEAL





SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"

FLOOR PLAN LEGEND

IF NOT REFERENCED ON PLANS NOTE DOES NOT APPLY.

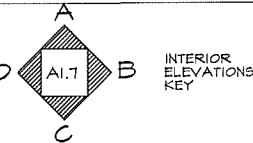
1. VANITY W/ SINK
2. FRAMED MIRROR
3. MEDICINE CABINET
4. COUNTERTOP W/ 4" BACKSPASH
5. SHOWER, TILE FLOOR & WALLS TO CLG. HT.
6. POINT WALL AT T-2" AFF.
7. 15" HT. SEAT, TILE TOP AND FRONT
8. 2020 SKYLIGHT ABOVE
9. VANITY, SEE INTERIOR ELEVATION
10. NEW 4 X 4 POSTS
11. 42" HIGH GUARDRAIL
12. HANDRAIL MOUNTED 34" ABOVE NOSE OF TREAD
13. RETURN AIR GRILL ABOVE
14. SINGLE POLE W/ SINGLE SHELF
15. DOUBLE POLE W/ DOUBLE SHELF
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18. LINE OF FLOOR ABOVE
19. REUSE EXISTING ENTRY DOOR, INSTALL IN NEW WALL
20. WINDOW SEAT REFER TO INT. ELEVATIONS
21. SOFFIT ABOVE REFER TO INT. ELEVATIONS
22. PREFABRICATED METAL STAIRS & RAILING BY OTHERS. REFER TO SHOP DRAWINGS BY METAL FABRICATOR. PROVIDE MIN. 10" TREADS WITH MAX. 1-3/4" RISERS.
23. NEW LANDING & STAIRS
24. THYSSSEN KRUPP LEV RESIDENTIAL ELEVATOR, TYPE 1 40" X 54" RIGHT HAND CAR W/ STANDARD POCKET GATE AT RAIL SIDE, INSTALL PER MFR. SPECIFICATIONS & INSTALLATION REQUIREMENTS
25. NOT USED
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27. UPFLOP FAN IN CLOSET, HVAC CONTRACTOR TO VERIFY SIZE AND CLEARANCE REQUIRED
28. FIREPLACE, INSURING ZERO CLEARANCE DIRECT VENT NATURAL GAS FIREPLACE, INSTALL PER MANUFACTURER SPECIFICATIONS AND INSTALLATION INSTRUCTIONS
29. VERIFY DOOR LOCATION WITH ELEVATOR SPECIFICATIONS
30. DRYWALL OPENING
31. SOUND INSULATED WALL

FLOOR PLAN KEY

- NEW 2 X 4 WALLS
- NEW 2 X 6 WALLS
- NEW 8" MASONRY WALL
- NEW 2 X 4 SOUND INSULATED WALL
- EXISTING WALLS
- EXISTING MASONRY WALL
- SOFFIT OR DROP CEILING

FLOOR PLAN NOTES

1. ALL WINDOWS TO BE VINYL LOW E' DUAL PANED WITH WHITE FINISH, MFG. PER BUILDER
2. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD
3. WINDOWS LOCATED IN FRAMED OPENINGS SHALL BE CENTERED ON OPENING, UNO
4. PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM BASEMENT AND/OR SLEEPING ROOMS. NET CLEAR WINDOW OPENING AREA SHALL BE NOT LESS THAN 5.7 SQ. FT. (21 SQ. IN.), MIN. NET WINDOW OPENING HEIGHT DIMENSION, 24" CLEAR; MIN. NET OPENING WIDTH DIMENSION, 20" CLEAR. FINISHED SILL HEIGHT MAX. 44" ABOVE THE FLOOR. (PER C.R.C. SECT. R301.1) AT SHOWER AND SHOWER/TUB COMBO ALL WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 12" MIN. ABOVE DRAIN AT SHOWER OR TUB W/SHOWER. (PER C.R.C. SECT. R301.2)
5. PROVIDE BACK-DRAFT DAMPERS AT DRYER VENT, HOOD VENT AND EXHAUST FANS.
6. WATER CLOSETS TO BE MAXIMUM 1.6 GALLONS PER FLUSH
7. LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED
8. WALLS AND CEILING TO BE FINISHED WITH A SMOOTH TEXTURE (MATCH EXISTING) AND PRIMED (EXCEPT WINDOWS, SMOOTH & SIDES).
9. STANDARD BULL NOSE CORNER BEAD TO ALL OUTSIDE VERTICAL CORNERS (EXCEPT WINDOWS, CLOSETS AND GARAGES)
10. INTERIOR DOOR TO BE WOOD RAISED PANELED.
11. SHOWERS SHALL HAVE A PRESSURE BALANCE OR THERMOSTATIC TYPE VALVE.
12. GAS PIPE MATERIAL SHALL BE BLACK IRON.



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DATE	COMMENTS

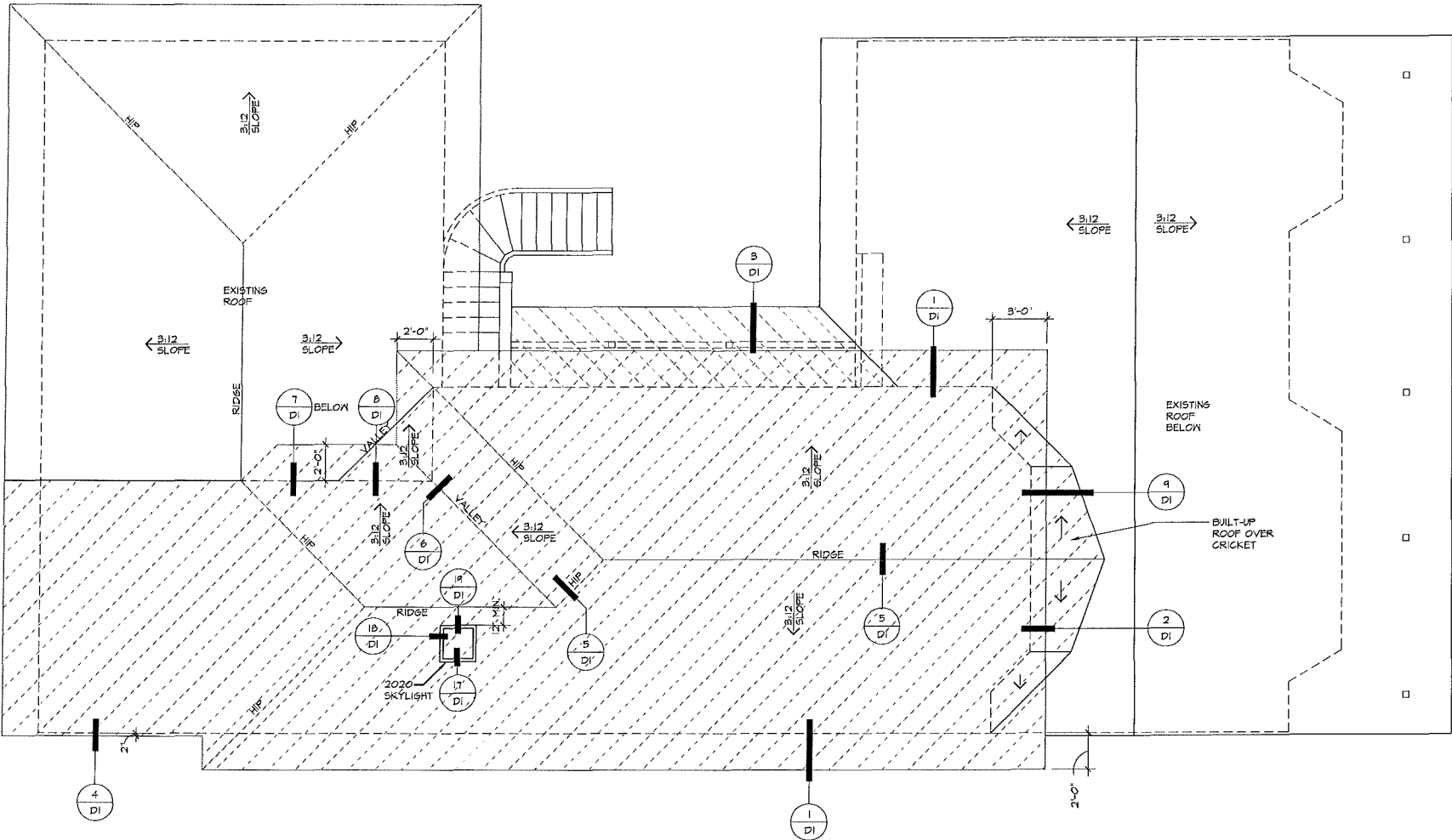
SECOND FLOOR PLAN

A3.1

JOB NO: 101A  
DATE: 01-07-2011  
FILE:

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**ROOF PLAN**  
SCALE: 1/4"=1'-0"

**ROOF PLAN NOTES**

1. GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED AGAINST THOSE NOTED BELOW. THE REQUIRED VENTILATION SHALL BE MAINTAINED, PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE CBC.
2. ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW AIR PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO C.B.C. REQUIREMENTS.
3. ROOFER SHALL PROVIDE AND INSTALL ALL METAL FLASHING PER PLAN OR PER LATEST INDUSTRY STANDARDS.
4. REFER TO STRUCTURAL ROOF PLANS FOR FRAMING SPECS.
5. USE CLAY "S" TILE TO MATCH EXISTING
6. INSTALL 1 LAYER OF #30 LB FELT.
7. INSTALL CLASS I OR II VAPOR BARRIER ON THE WARM-IN-WINTER SIDE OF THE CEILING PER CRC SECTION R806.2

**ATTIC VENTILATION REQUIREMENTS**

THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE TO BE VENTILATED. THE OPENING AREA MAY BE 1/300 OF THE AREA OF THE SPACE VENTILATED PROVIDED 50 PERCENT OF THE REQUIRED OPENING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST THREE FEET ABOVE EAVES OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVES OR CORNICE VENTS. AS AN ALTERNATIVE THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING. CRC SECTION R806.2.

WHERE EAVES OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. OF ONE INCH OF AIR SPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING CRC SECTION R806.3 (WHERE OVER-BUILT OR DOUBLE FRAMING OCCURS, PROVIDE HOLES IN THE LOWER ROOF SHEATHING TO ALLOW FOR PROPER CROSS VENTILATION OF ALL SUB ATTICS TO THE MAIN ATTIC)

**ATTIC VENTILATION USED**

THE FOLLOWING VENTS WERE USED IN THE CALCULATION OF REQUIRED VENTILATION. USING OTHER MANUFACTURERS OR INSTALLING IN OTHER THAN A MANUFACTURER'S APPROVED INSTALLATION METHOD WILL RESULT IN VARIATION TO THE CALCULATIONS.

CLOAKED VENTS BY O'HAGIN (CV)  
"S" TILE ROOF.

MODEL S-50046 = 0.68 SQ.FT./VENT

**ATTIC VENT CALCULATIONS AREA 1**

ROOF PLAN AREA:  
ATTIC VENTILATION REQUIRED:  
1,065 SQ.FT. (ATTIC AREA)/300 SQ.FT.= 3.55 SQ. FT.  
HIGH ATTIC VENTILATION:  
HIGH VENT REQUIRED = 1.715 SQ.FT.  
HIGH VENT PROVIDED = 2.03 SQ.FT.  
(8 - CLOAKED VENTS)  
LOW ATTIC VENTILATION:  
LOW VENT REQUIRED = 1.715 SQ.FT.  
LOW VENT PROVIDED = 2.03 SQ.FT.  
(8 - CLOAKED VENTS)

**ROOF PLAN KEY**



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**ROOF PLAN**

JOB NO: 110A

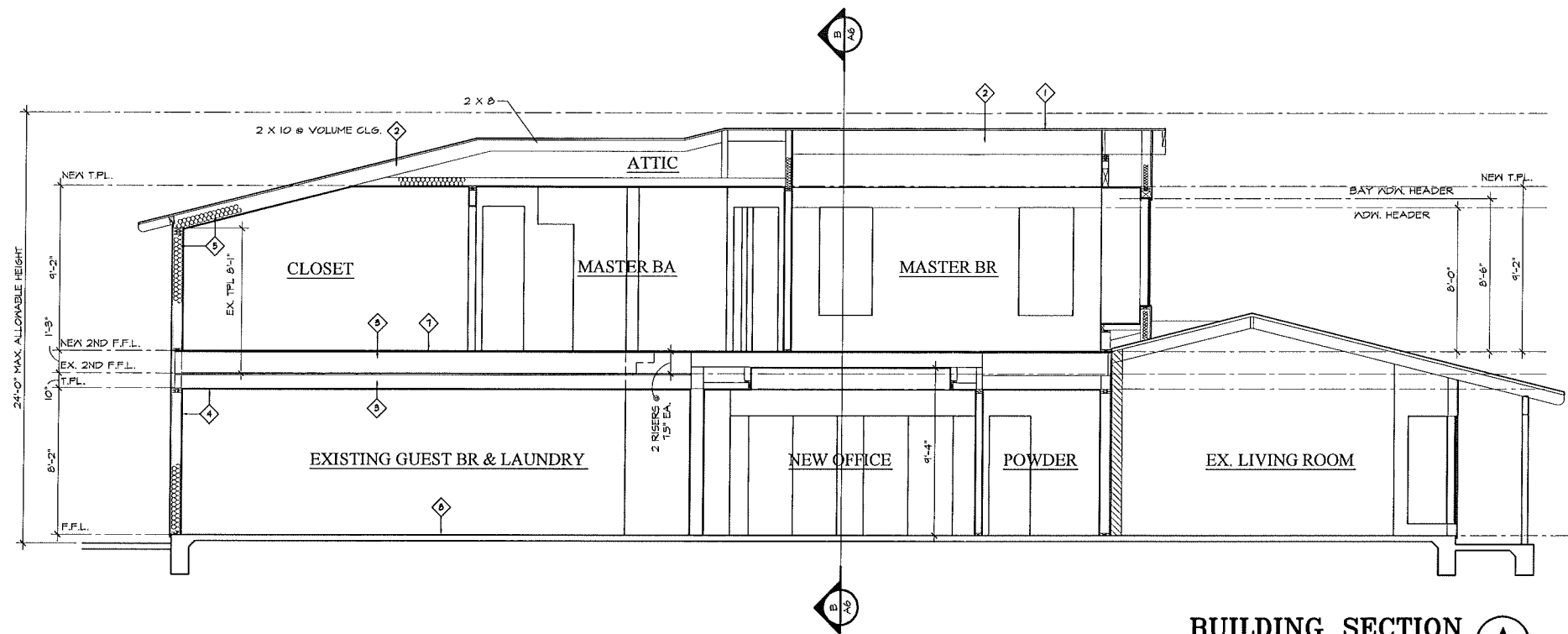
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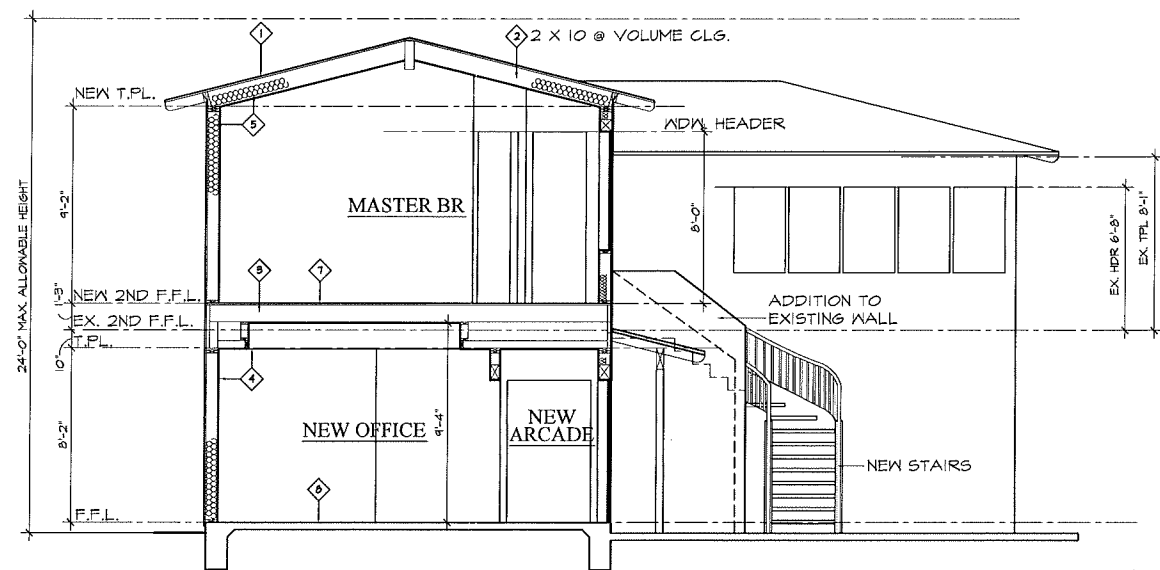
**A3.2**

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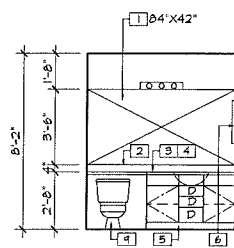




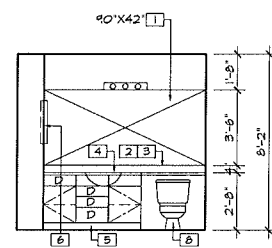
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SCALE: 1/4" = 1'-0"



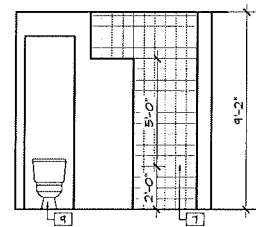
**BUILDING SECTION B**  
SCALE: 1/4" = 1'-0"



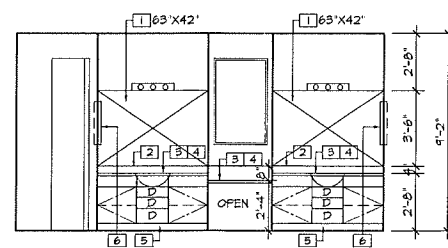
**C PWD**  
1/4" = 1'-0"



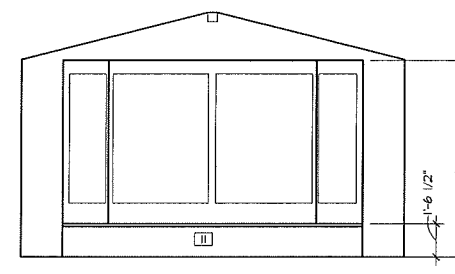
**B EX. BATH**  
1/4" = 1'-0"



**A MBA**  
1/4" = 1'-0"



**C MBA**  
1/4" = 1'-0"



**B MBR**  
1/4" = 1'-0"

## INTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

## SECTION LEGEND

1. CONCRETE TILE ROOFING, OVER ROOF UNDERLAYMENT, FIER ROOFING MFR. REFER TO DETAILS (EASLE ROOF TILE - ESR 1900 OR APPROVED EQUAL)
2. ROOF TRUSSES, SEE FRAMING PLANS
3. FLOOR FRAMING, SEE FRAMING PLANS
4. GYPSUM BOARD - TYPICAL
5. INSULATION - R-13 WALLS AND R-30 CEILINGS
6. 1/2" GYPSUM BOARD OVER 1/2" PLYWOOD, AT POT SHELF
7. FLOOR SHEATHING OVER FLOOR JOISTS. REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
8. CONCRETE SLAB, REFER TO SLAB DIMENSION PLAN (EXTERIOR SLAB SLOPE 1/4" PER FOOT).
9. 5/8" TYPE "X" GYPSUM BOARD.
10. ONE LAYER OF 1/2" GYP. BD. AT ALL GARAGE WALLS, ONE LAYER 5/8" TYPE "X" GYP. BD. AT ALL CEILINGS BETWEEN HABITABLE SPACE IN HOUSE & GARAGE.
11. 1/2" GYP. BD. AT ALL USABLE SPACE UNDER STAIRS (U.N.O.).

## SECTION NOTES

1. SEE FRAMING PLANS FOR ALL STRUCTURAL NOTES AND DETAILS
2. ROOF TRUSS DRAWINGS AND CALCULATIONS MUST BE REVIEWED BY THE STRUCTURAL ENGINEER AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO THE START OF CONSTRUCTION
3. LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED
4. REFER TO CIVIL DRAWINGS FOR RETAINING WALL LOCATIONS AND ELEVATION HEIGHTS. REFER TO STRUCTURAL DRAWINGS FOR RETAINING WALL CONSTRUCTION AND FOOTING INFORMATION
5. MINIMUM WALL INSULATION: R-13 MINIMUM CEILING/ROOF INSULATION: R-30
6. ALL LIGHTING FIXTURES RECESSED INTO CEILINGS SHALL BE APPROVED FOR ZERO CLEARANCE (I.C. RATED).

## INTERIOR ELEVATION LEGEND

1. FRAMED MIRROR
2. BACK SPLASH
3. COUNTERTOP
4. GRANITE TOP AND BACKSPLASH
5. VANITY WITH SINK
6. RECESSED MEDICINE CABINET
7. SHOWER, TILE ALL WALLS TO CLG., FLOOR, AND SEAT
8. EXISTING P.C. TO REMAIN
9. NEW W.C.
10. NOT USED
11. WINDOW SEAT



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**BUILDING SECTIONS  
INTERIOR ELEV.**

JOB NO. 100-A

DATE: 01-07-2011

FILE :

**A4**

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## ELEVATIONS

B NO. 101A

DATE: 07-07-2011

A5

**E.**

[illegible]

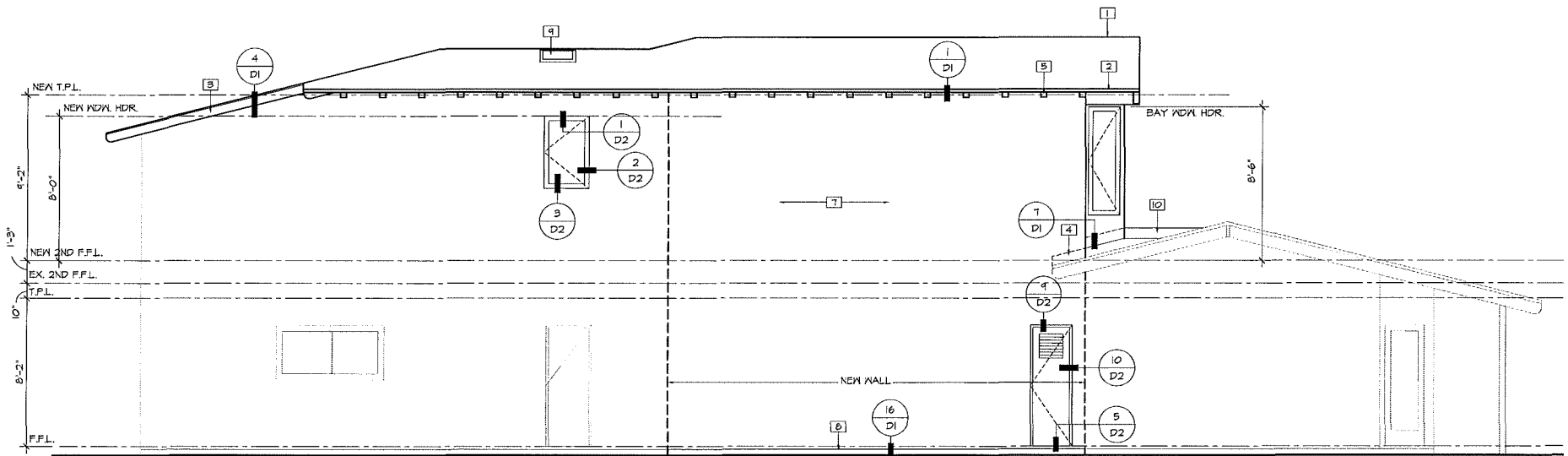
1. CLAY ROOFING, OVER ROOF UNDERLAYMENT, PER ROOFING MFR, REFER TO DETAILS
2. WOOD FASCIA REFER TO ROOFING DETAILS
3. WOOD RAKE BOARD-REFER TO ROOFING DETAILS
4. GSM FLASHING AT ALL ROOF TO WALL INTERSECTIONS INSTALL 60M EDDY BONDING TO ROOFING MFR SPECIFICATIONS
5. DECORATIVE FOAM RAFTER TAIL, REFER TO DETAIL FOR SIZE.
6. STUCCO WRAPPED FOAM TRIM. SEE ELEVATION OR DETAIL FOR SIZE
7. STUCCO FINISH
8. GSM STUCCO SCREED
9. 2020 SKYLIGHT
10. ROOF CRICKET
11. RETRACTABLE AWNING
12. PREFABRICATED METAL STAIRS & RAILING BY OTHERS. REFER TO SHOP DRAWINGS BY METAL FABRICATOR. PROVIDE MIN. 10" TREADS WITH MAX. 7-3/4" RISERS.
13. 1" SQUARE METAL PICKETS SPACED 4-1/2" O.C. REFER TO SHOP DRAWINGS BY METAL FABRICATOR.
14. METAL HANDRAIL AT MIN. 3/4" MAX. 38" ABOVE NOSE OF TREAD. REFER TO SHOP DRAWINGS BY METAL FABRICATOR.

ROOFING:	CLAY ROOF TILES - MATCH EXISTING
FASCIA & GARGE:	2x ROUGH SAWN WOOD TRIM, REFER TO DETAILS
VAPOR BARRIER:	PREPARE VAPOR BARRIER AROUND ALL WALL PENETRATIONS INCLUDING DOORS, WINDOWS AND VENTS PER DETAILS
EXTERIOR WALLS:	PAINTED 3-COAT EXTERIOR PLASTER 1/8" THICK THREE-COAT PORTLAND CEMENT WITH LIGHT SAND FINISH OVER LATH AND BUILDING PAPER (PROVIDE 2 LAYERS OF GRADE D PAPER AT SHEAR WALLS, AND MOOD SHEATHING)
DOORS/ WINDOWS:	1. SINKWAYS & DOORS: STUCCO WRAPPED FOAM TRIM, PER ELEVATION 2. RECESS WINDOWS/DOORS WITH NO TRIM, REFER TO DETAILS NOTED ON ELEVATIONS
EXTERIOR SOFFITS:	1. STUCCO OVER HIGH RIBBED METAL LATH OVER VAPOR BARRIER 2. 1/2" GROOVED T&G AT ALL EXPOSED EDGES
TRIM:	STUCCO WRAPPED FOAM TRIM, SEE ELEVATION FOR SIZE AND LOCATION. ALL DECORATIVE METAL TRIM SHALL BE GALVANIZED.



**FRONT ELEVATION**  
**SCALE: 1/4"=1'-0"**

## NEW CONSTRUCTION IN BOLD

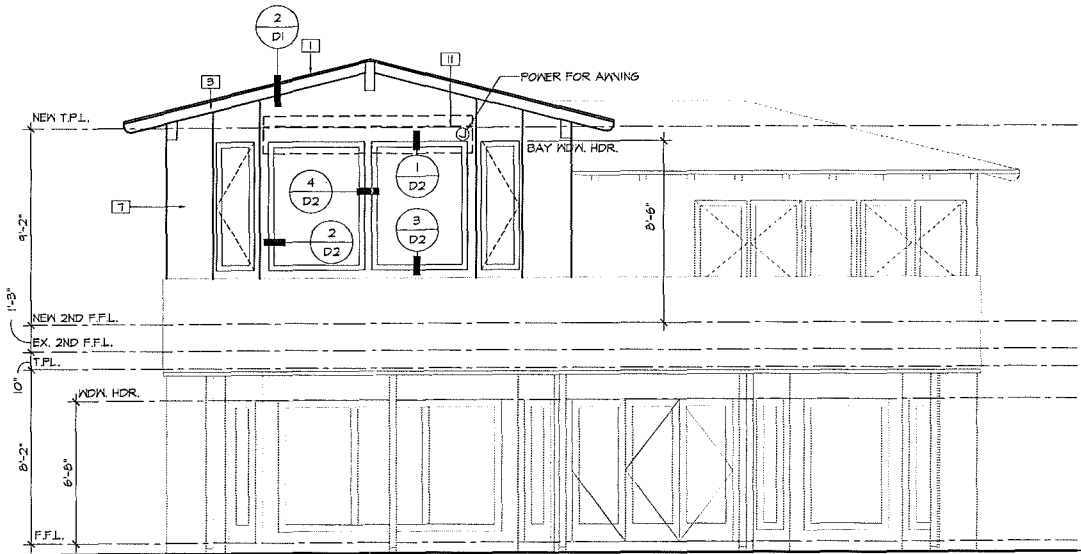


## RIGHT ELEVATION

SCALE: 1/4"=1'-0"

NEW CONSTRUCTION IN BOLD





**REAR ELEVATION**  
SCALE: 1/4"=1'-0"

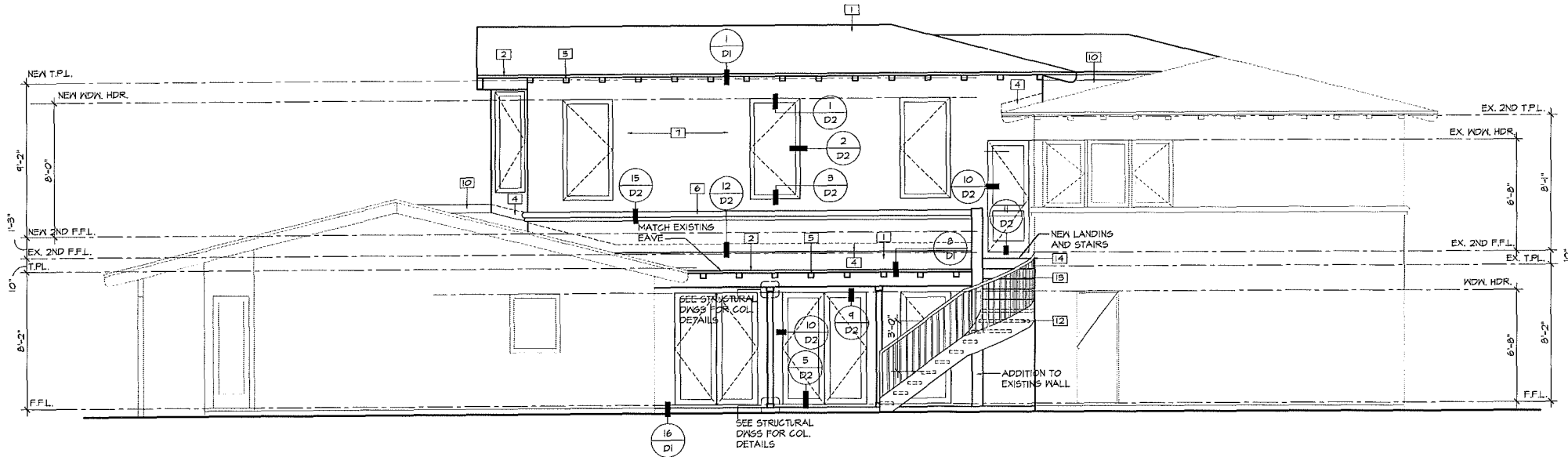
NEW CONSTRUCTION IN BOLD

**ELEVATION LEGEND**

1. CLAY ROOFING, OVER ROOF UNDERLAYMENT, PER ROOFING MFR, REFER TO DETAILS
2. WOOD FASCIA REFER TO ROOFING DETAILS
3. WOOD RAKE BOARD-REFER TO ROOFING DETAILS
4. 604 FLASHING AT ALL ROOF TO WALL INTERSECTIONS INSTALL OVER ROOFING PER ROOFING MFR SPECIFICATIONS
5. DECORATIVE FOAM RAFTER TAIL, REFER TO DETAIL FOR SIZE
6. STUCCO WRAPPED FOAM TRIM, SEE ELEVATION OR DETAIL FOR SIZE
7. STUCCO FINISH
8. 65M STUCCO SCREED
9. 2020 SKYLIGHT
10. ROOF CRICKET
11. RETRACTABLE AWNING
12. PREFABRICATED METAL STAIRS & RAILINGS BY OTHERS, REFER TO SHOP DRAWINGS BY METAL FABRICATOR, PROVIDE MIN. 10" TREADS WITH MAX. 7-3/4" RISERS.
13. 1" SQUARE METAL PICKETS SPACED 4-1/2" O.C., REFER TO SHOP DRAWINGS BY METAL FABRICATOR.
14. METAL HANDRAIL AT MIN. 34" MAX. 38" ABOVE NOSE OF TREAD, REFER TO SHOP DRAWINGS BY METAL FABRICATOR.

**ELEVATION NOTES**

- ROOFING: CLAY ROOF TILES - MATCH EXISTING
- FASCIA & BARGE: 2x ROUGH SAWN WOOD TRIM, REFER TO DETAILS
- VAPOR BARRIER: PROVIDE VAPOR BARRIER AROUND ALL WALL PENETRATIONS INCLUDING DOORS, WINDOWS AND VENTS PER DETAILS
- EXTERIOR WALLS: PAINTED 3-COAT EXTERIOR PLASTER 7/8" THICK THREE-COAT PORTLAND CEMENT WITH LIGHT SAND FINISH OVER LATH AND BUILDING PAPER (PROVIDE 2 LAYERS OF GRADE D PAPER AT SHEAR WALLS, AND WOOD SHEATHING)
- DOORS/ WINDOWS: 1. WINDOWS & DOORS: STUCCO WRAPPED FOAM TRIM, PER ELEVATION  
2. RECESS WINDOWS/DOORS WITH NO TRIM, REFER TO DETAILS NOTED ON ELEVATIONS
- EXTERIOR SOFFITS: 1. STUCCO OVER HIGH RIBBED METAL LATH OVER VAPOR BARRIER  
2. 1x6 "V" GROOVED T&G AT ALL EXPOSED EAVES
- TRIM: STUCCO WRAPPED FOAM TRIM, SEE ELEVATION FOR SIZE AND LOCATION. ALL DECORATIVE METAL TRIM SHALL BE GALVANIZED.



**LEFT ELEVATION**  
SCALE: 1/4"=1'-0"

NEW CONSTRUCTION IN BOLD



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◆ **TWIST RESIDENCE** ◆

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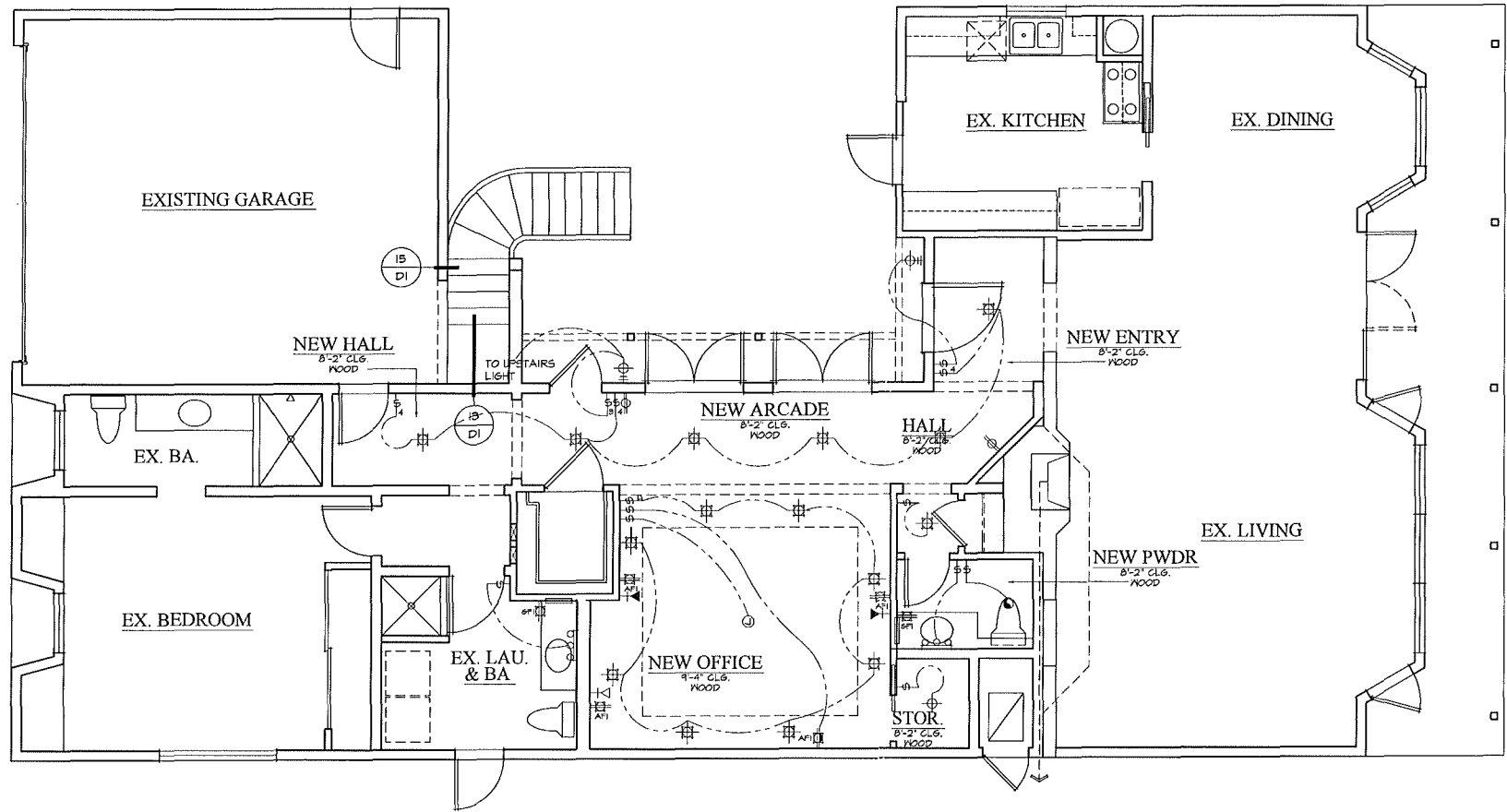
ELEVATIONS

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DATE: 07-07-2011  
FILE :

A5.1

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**FIRST FLOOR UTILITY PLAN**  
SCALE: 1/4"=1'-0"

**SYMBOLS LEGEND**

- LIGHTING/EXHAUST FANS**
- □ □ WALL MOUNT MULTI-LIGHT FIXTURE
  - □ □ HIGH EFFICACY WALL MOUNT MULTI-LIGHT FIXTURE
  - ⊕ WALL HUNG LIGHT FIXTURE
  - ⊕ HIGH EFFICACY WALL HUNG LIGHT FIXTURE
  - ⊕ WALL HUNG LIGHT FIXTURE WITH MOTION SENSOR AND PHOTOCELL
  - ⊕ SURFACE MOUNT CEILING LIGHT FIXTURE
  - ⊕ HANGING CEILING LIGHT FIXTURE
  - ⊕ RECESSED LIGHT FIXTURE
  - ⊕ RECESSED HIGH EFFICACY LIGHT FIXTURE
  - ⊕ FLUORESCENT LIGHT FIXTURE (TWO TUBE)
  - ⊕ FLUORESCENT LIGHT FIXTURE
  - ⊕ RECESSED WALL WASHER
  - ⊕ VAPOR PROOF RECESSED LIGHT FIXTURE - U.L. APPROVED
  - ⊕ EXHAUST FAN - 50 CFM MIN - VENTED TO OUTSIDE AIR
  - ⊕ EXHAUST FAN - 50 CFM MIN - VENTED TO OUTSIDE AIR AND HIGH EFFICACY LIGHT DRYER VENT
- SWITCHES**
- ⊕ SWITCH
  - ⊕ 3-WAY SWITCH
  - ⊕ 4-WAY SWITCH
  - ⊕ DIMMER SWITCH
  - ⊕ OCCUPANCY SENSOR W/ MANUAL ON
  - ⊕ A/C DISCONNECT PER UMC 309
  - ⊕ WHOLE HOUSE FAN SWITCH WITH SIGN.
- OUTLETS**
- ⊕ 110 V CONV DUPLEX OUTLET - HIDDEN
  - ⊕ 110 V CONV DUPLEX OUTLET
  - ⊕ 110 V CONV DUPLEX OUTLET - HALF HOT
  - ⊕ 220V OUTLET
  - ⊕ GROUND FAULT INTERRUPTED DUPLEX OUTLET
  - ⊕ ARC FAULT INTERRUPTED DUPLEX OUTLET
  - ⊕ WEATHERPROOF GROUND FAULT INTERRUPTED DUPLEX OUTLET
  - ⊕ FLOOR OUTLET
  - ⊕ JUNCTION BOX
- CLIMATE CONTROL**
- ⊕ RAS RETURN AIR GRILLE
  - ⊕ 220 V CIRCUIT BREAKER FOR A.C. COMPRESSOR
  - ⊕ THERMOSTAT
  - ⊕ WHOLE HOUSE FAN LOCATION. REFER TO ENERGY CALCULATIONS FOR MODEL NUMBER, DUCT SIZE, SONE RATINGS, CFM AND WATT DRAW.
- GENERAL ELECTRICAL**
- ⊕ CHIMES
  - ⊕ PUSHBUTTON
  - ⊕ SMOKE ALARM HARD WIRED INTO ELECTRICAL SYSTEM (WITH BATTERY BACK-UP). DETECTORS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS. INSTALL PER NFPA 72.
  - ⊕ CARBON MONOXIDE ALARM HARD WIRED INTO ELECTRICAL SYSTEM (WITH BATTERY BACK-UP). DETECTORS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS. INSTALL PER NFPA 720.
  - ⊕ TELEPHONE JACK
  - ⊕ TELEVISION CABLE
  - ⊕ ILLUMINATED ADDRESS W/ PHOTO CELL
  - ⊕ ELECTRICAL MAIN
  - ⊕ PC PHOTOCELL

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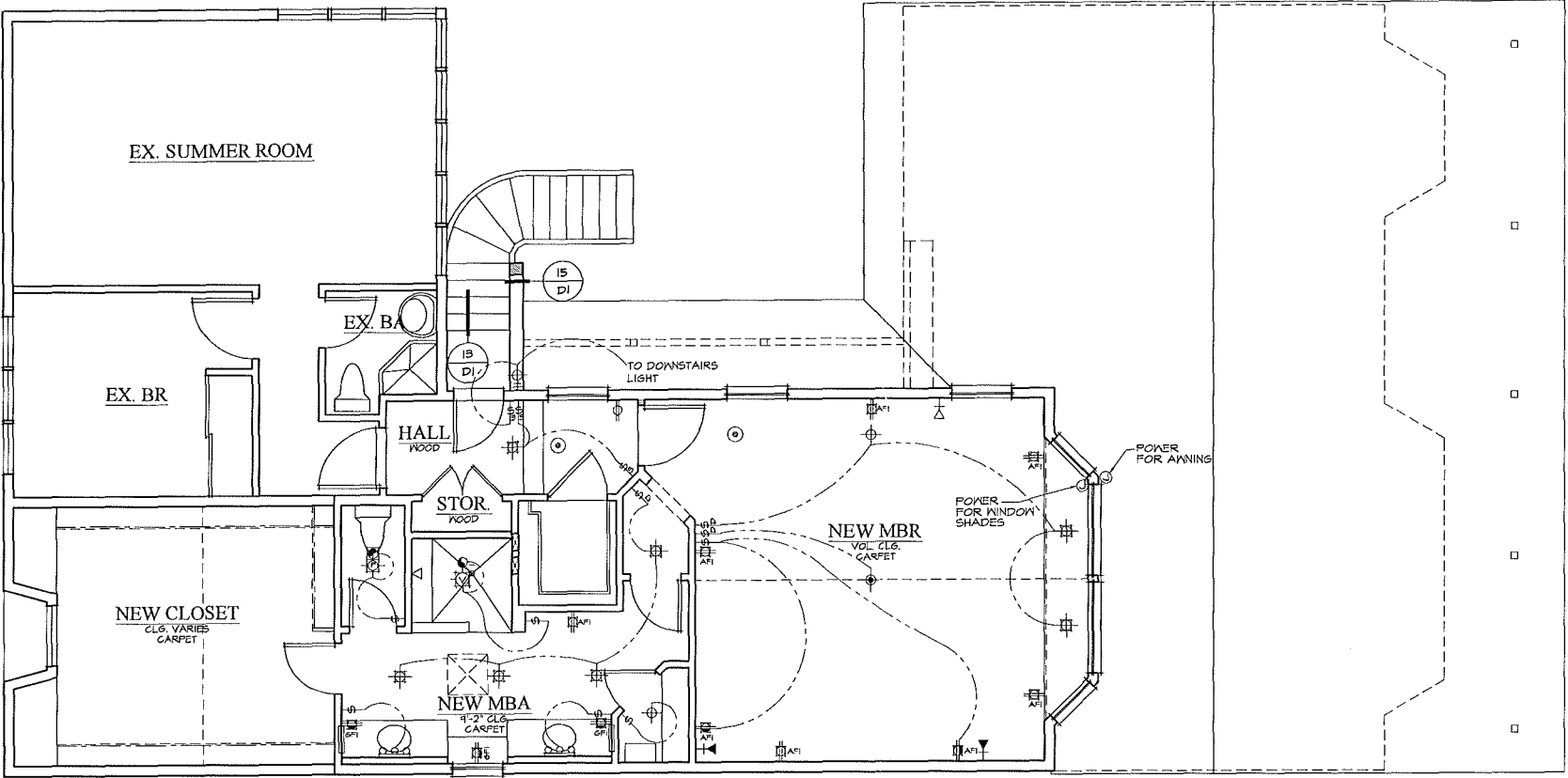
**FIRST FLOOR  
UTILITY PLAN**

JOB NO. 110A  
DATE: 01-01-2011  
FILE:

**A6**

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**SECOND FLOOR UTILITY PLAN**  
SCALE: 1/4"=1'-0"

**SYMBOLS LEGEND**

- LIGHTING/EXHAUST FANS**
- WALL MOUNT MULTI-LIGHT FIXTURE
  - HIGH EFFICACY WALL MOUNT MULTI-LIGHT FIXTURE
  - WALL HUNG LIGHT FIXTURE
  - HIGH EFFICACY WALL HUNG LIGHT FIXTURE
  - WALL HUNG LIGHT FIXTURE WITH MOTION SENSOR AND PHOTOCELL
  - SURFACE MOUNT CEILING LIGHT FIXTURE
  - HANGING CEILING LIGHT FIXTURE
  - RECESSED LIGHT FIXTURE
  - RECESSED HIGH EFFICACY LIGHT FIXTURE
  - FLUORESCENT LIGHT FIXTURE (TWO TUBE)
  - FLUORESCENT LIGHT FIXTURE
  - RECESSED WALL WASHER
  - VAPOR PROOF RECESSED LIGHT FIXTURE - U.L. APPROVED
  - EXHAUST FAN - 50 CFM MIN - VENTED TO OUTSIDE AIR
  - EXHAUST FAN - 50 CFM MIN - VENTED TO OUTSIDE AIR AND HIGH EFFICACY LIGHT DRYER VENT
- SWITCHES**
- SWITCH
  - 3-WAY SWITCH
  - 4-WAY SWITCH
  - DIMMER SWITCH
  - OCCUPANCY SENSOR W/ MANUAL ON
  - A/C DISCONNECT PER IMC 304
  - WHOLE HOUSE FAN SWITCH WITH SIGN.
- OUTLETS**
- 110 V CONV DUPLEX OUTLET - HIDDEN
  - 110 V CONV DUPLEX OUTLET
  - 110 V CONV DUPLEX OUTLET - HALF HOT
  - 220V OUTLET
  - GROUND FAULT INTERRUPTED DUPLEX OUTLET
  - ARC FAULT INTERRUPTED DUPLEX OUTLET
  - WEATHERPROOF GROUND FAULT INTERRUPTED DUPLEX OUTLET
  - FLOOR OUTLET
  - JUNCTION BOX
- CLIMATE CONTROL**
- RETURN AIR GRILLE
  - 220 V CIRCUIT BREAKER FOR A.C. COMPRESSOR
  - THERMOSTAT
  - WHOLE HOUSE FAN LOCATION. REFER TO ENERGY CALCULATIONS FOR MODEL NUMBER, DUCT SIZE, SONE RATINGS, CFM AND RATT DRAW.
- GENERAL ELECTRICAL**
- CHIMES
  - PUSHBUTTON
  - SMOKE ALARM HARD WIRED INTO ELECTRICAL SYSTEM (WITH BATTERY BACK-UP). DETECTORS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS. INSTALL PER NFPA 72.
  - CARBON MONOXIDE ALARM HARD WIRED INTO ELECTRICAL SYSTEM (WITH BATTERY BACK-UP). DETECTORS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS. INSTALL PER NFPA 720.
  - TELEPHONE JACK
  - TELEVISION CABLE
  - ILLUMINATED ADDRESS W/ PHOTO CELL
  - ELECTRICAL MAIN
  - PHOTOCELL



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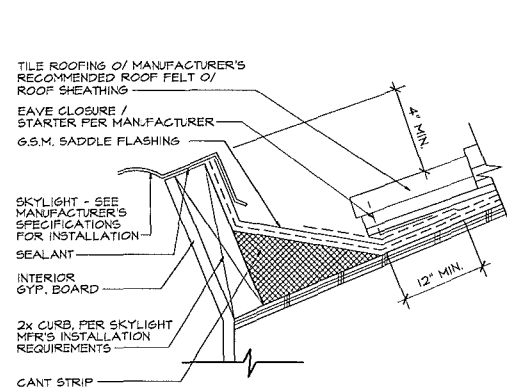
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UTILITY PLAN**

JOB NO. 1101A  
DATE: 07-07-2011  
FILE :

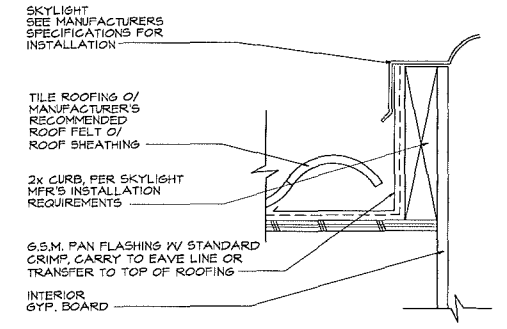
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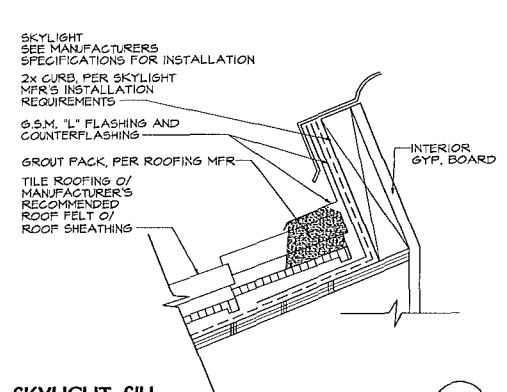




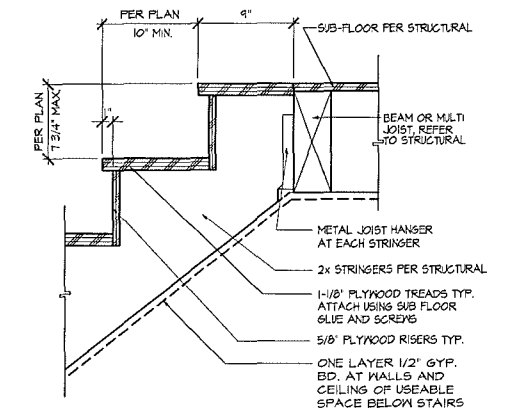
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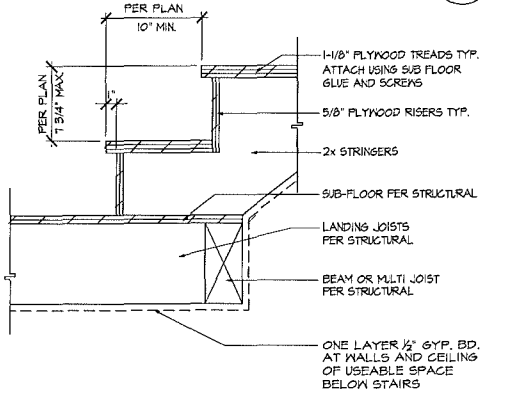
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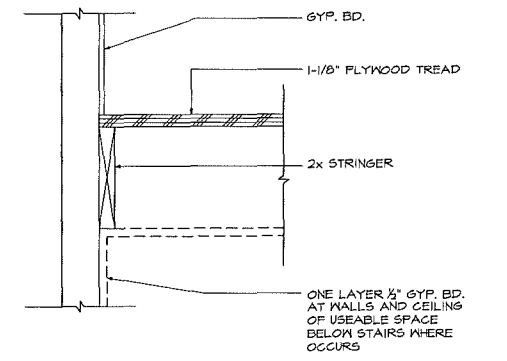
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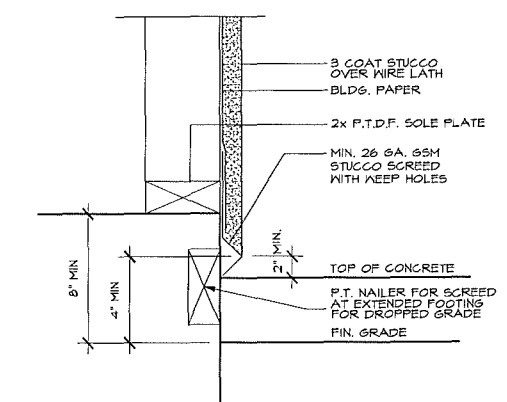
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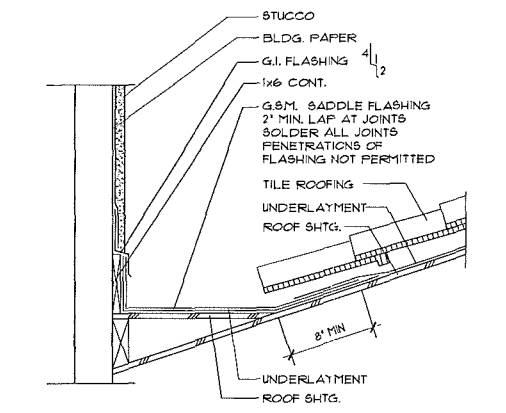
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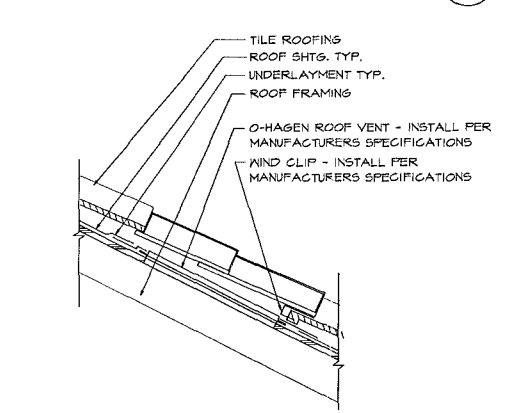
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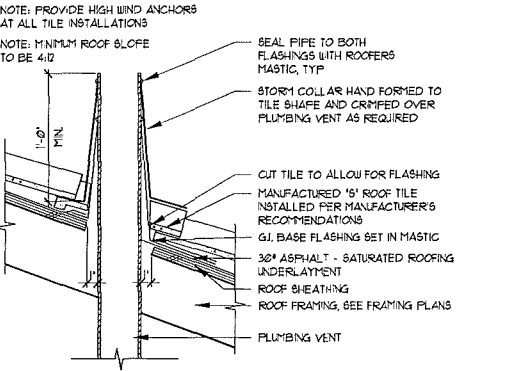
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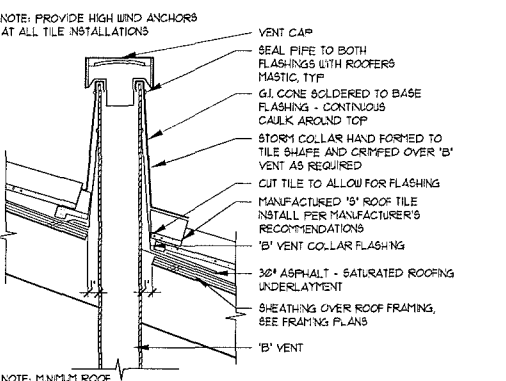
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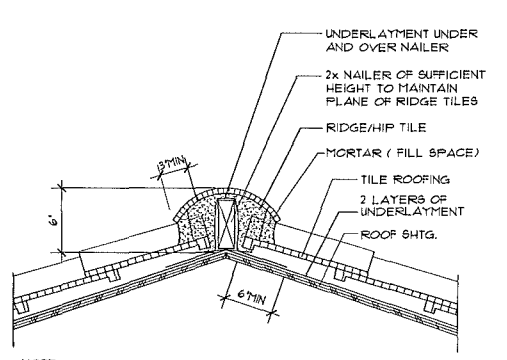
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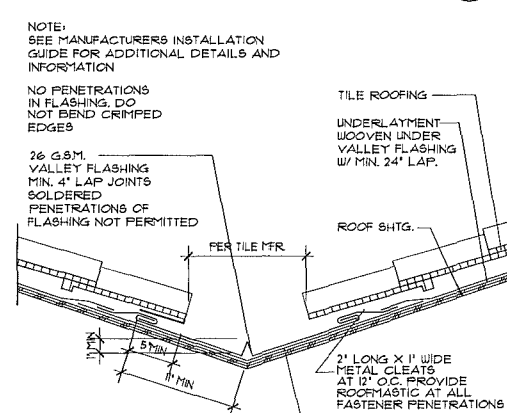
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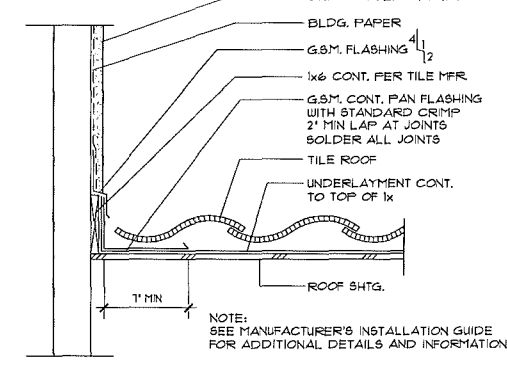
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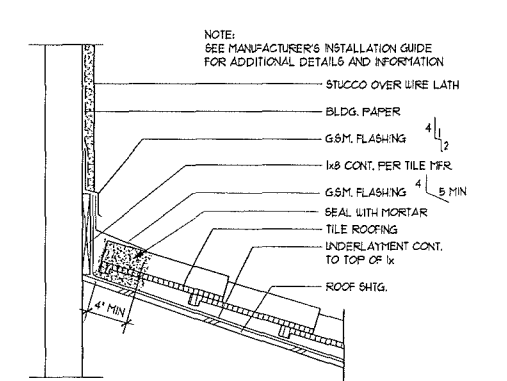
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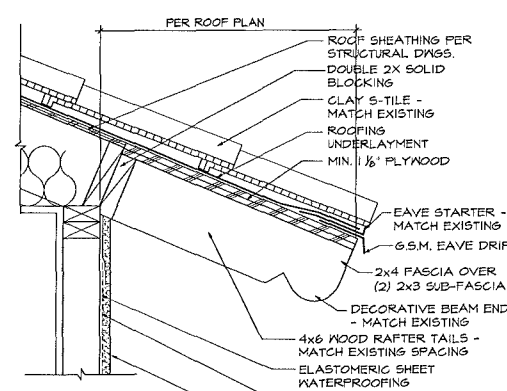
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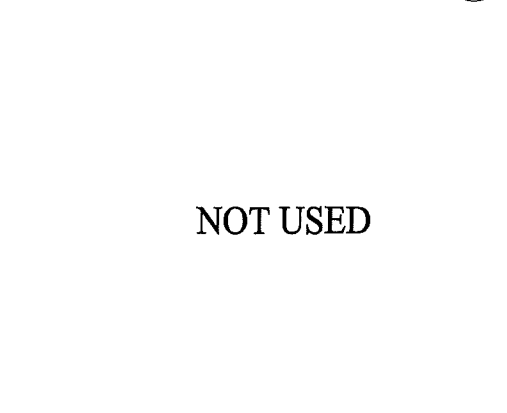
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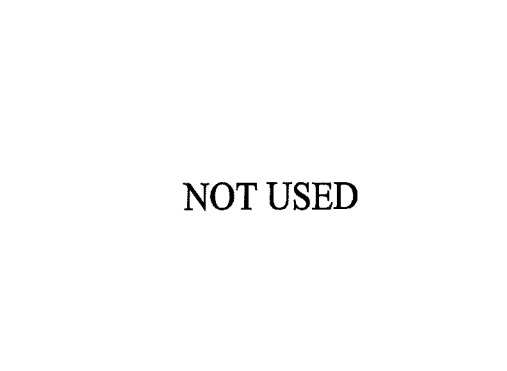
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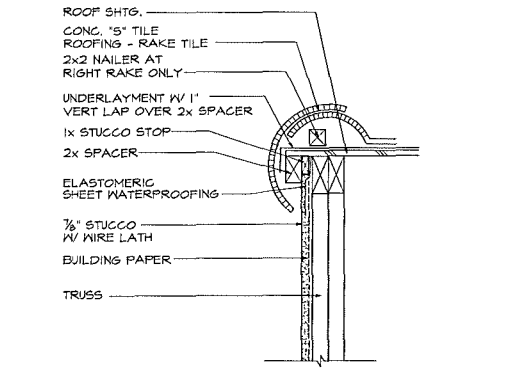
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1 1/2\"/>



**NOT USED**  
1 1/2\"/>



**RAKE**  
1 1/2\"/>



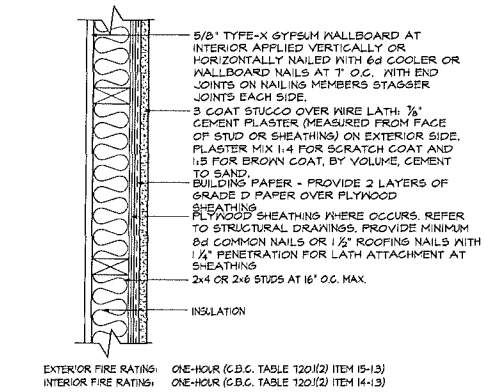
**IVERSON ARCHITECTS**  
20280 SW ACACIA STREET, SUITE 220  
NEWPORT BEACH, CA 92660  
949.475.9900

◆ **TWIST RESIDENCE** ◆  
209 VIA LIDO SOUND  
NEWPORT BEACH, CA 92663

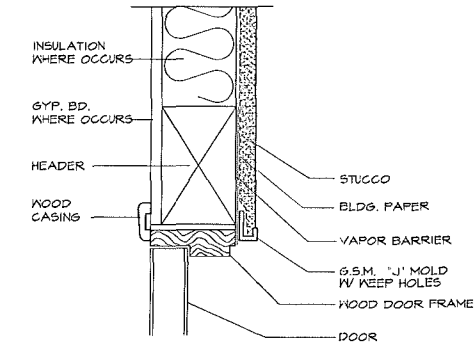
THESE DRAWINGS ARE NOT AUTHORIZED FOR CONSTRUCTION UNLESS STAMPED WITH LELAND D. IVERSON STATE LICENSED ARCHITECT SEAL

JOB NO. 1101A	DATE: 01-07-2011	FILE	ARCHITECTURAL DETAILS	D1																						
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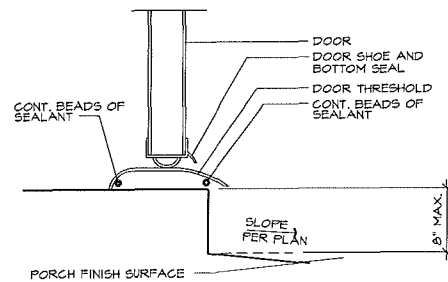




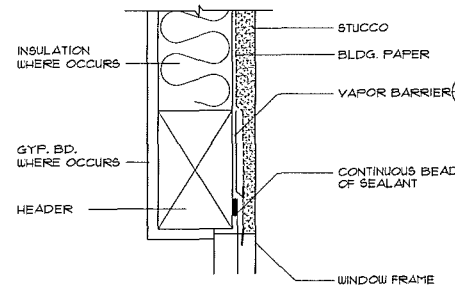
**1-HR EXTERIOR STUCCO WALL**  
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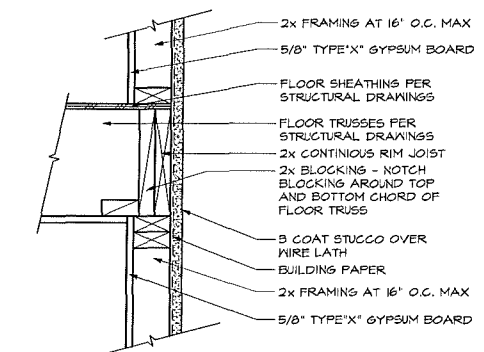
**DOOR HEAD**  
3" = 1' D11H 9



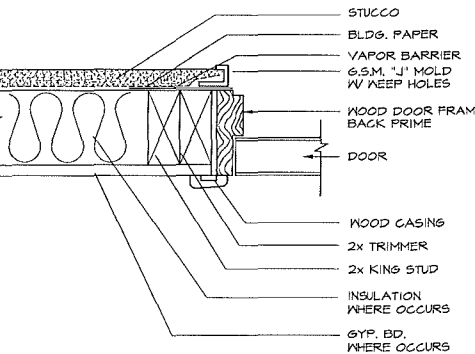
**THRESHOLD ON SLAB**  
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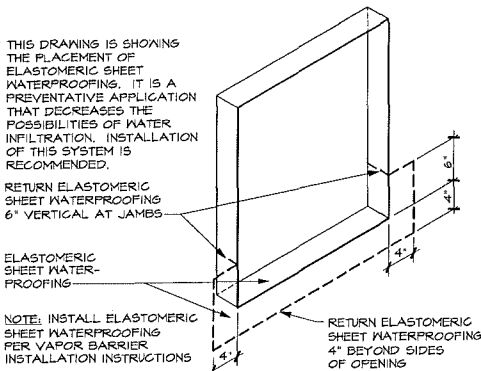
**WINDOW HEAD**  
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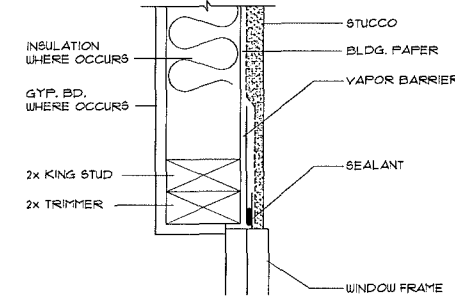
**FLOOR AT 1HR WALL**  
1 1/2" = 1' FLOOR AT 1HR WALL 14



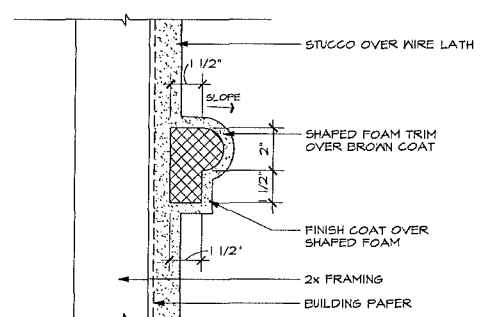
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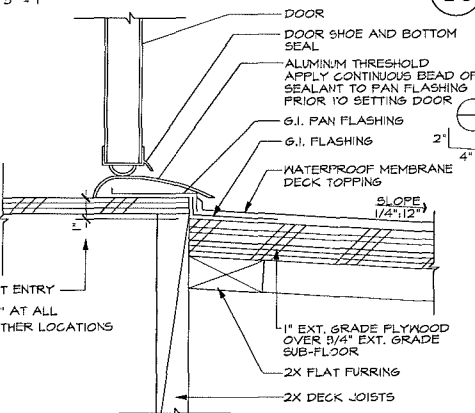
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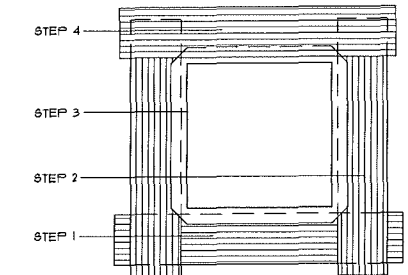
**WINDOW JAMB**  
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**EXTERIOR TRIM BAND**  
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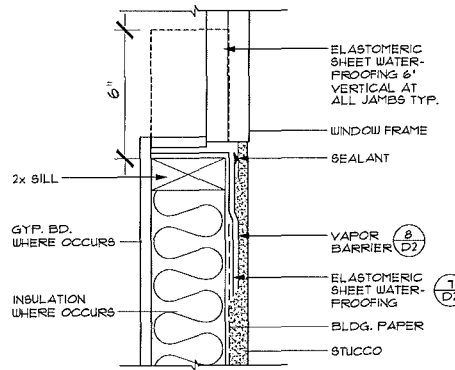


**THRESHOLD AT DECK**  
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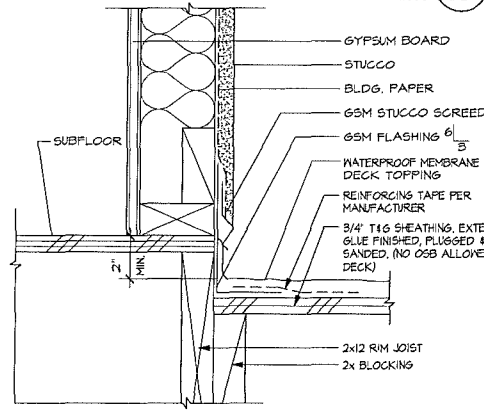


- NOTE: REFER TO DETAIL 20/D2 FOR ADDITIONAL INFORMATION  
STEP 1: INSTALL BOTTOM STRIP OF VAPOR BARRIER  
STEP 2: INSTALL SIDE STRIPS OF VAPOR BARRIER OVER BOTTOM STRIP  
STEP 3: INSTALL WINDOW FRAME OVER FULL BEAD OF SEALANT  
STEP 4: INSTALL TOP STRIP OF ELASTOMERIC SHEET WATERPROOFING OVER NAIL FLANGE OF WINDOW FRAME
1. CAULK BACK OF WINDOW FRAMES TO HEAD, JAMB & SILL CORNERS
  2. NO VERTICAL SPLICES IN BUILDING PAPER UNDER OR WITHIN 24 INCHES EACH SIDE OF WINDOW OPENING.
  3. KEEP ALL WINDOW FASTENERS AT LEAST 3 INCHES AWAY FROM ALL CORNERS AND FIN JOINTS
  4. FASTENERS TO BE DRIVEN FLUSH, NOT COUNTER SUNK OR BENT, OF WINDOW FRAME
  5. REPAIR TORN OR DAMAGED FLASHING WITH SEALANT OR FORTIFIER BEAM TAPE
  6. IF WINDOWS ARE VINYL, INSTALL FASTENERS AT MAX. 6 INCHES AROUND ENTIRE PERIMETER, INCLUDING HEAD.

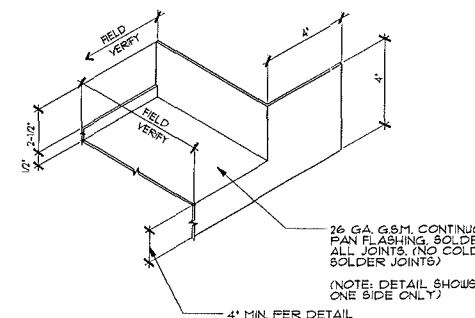
**VAPOR BARRIER INSTALLATION**  
1 1/2" = 1' W108A 8



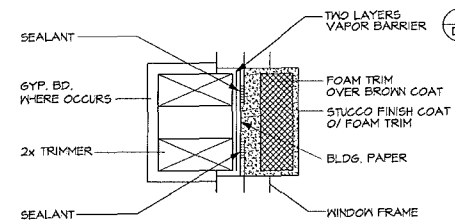
**WINDOW SILL**  
3" = 1' W108S 3



**DECK AT WALL**  
3" = 1' E344A 16



**PAN FLASHING**  
3" = 1' D106 12



**WINDOW MULLION**  
3" = 1' W10MT 4

CONTENTS	DATE





COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION

3300 Newport Boulevard, Building C, Newport Beach, CA 92663  
(949) 644-3200 Fax: (949) 644-3229  
[www.newportbeachca.gov](http://www.newportbeachca.gov)

**ZONING ADMINISTRATOR ACTION LETTER**

**Application No.**                      **Minor Use Permit No. UP2011-023  
(PA2011-139)**

**Applicant**                              **Occhio Rosso, LLC**

**Site Address**                        **800 W. Coast Hwy  
Pizzeria Mozza**

**Legal Description**                **Lots 24 and 25, Tract No. 1210**

On **September 14, 2011**, the Zoning Administrator approved the following: A minor use permit to amend existing Use Permit 3656 to upgrade the existing Type 41 On-Sale Beer and Wine ABC license to a Type 47 On-Sale General (Beer, Wine & Distilled Spirits) ABC License and to reduce the hours of operation for the interior of the restaurant to close at 11:00 p.m., daily instead of 12:00 midnight, daily. The property is located in the CG (Commercial General) District. The Zoning Administrator's approval is based on the following findings and subject to the following condition(s).

**REQUIRED FINDINGS**

**Finding**

- A. *The project has been reviewed, and it qualifies for a categorical exemption pursuant to Section 15301 of the California Environmental Quality Act under Class 1 (Existing Facilities) of the Implementing Guidelines of the California Environmental Quality Act.*

**Facts in Support of Finding**

- A-1. The Class 1 exemption includes the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use. The proposed project involves the change of the type alcohol beverage license and the change of hours of an existing restaurant with no construction proposed. Therefore, the existing restaurant use qualifies for a categorical exemption under Class 1.

In accordance with Section 20.48.030 (Alcohol Sales) of the Newport Beach Municipal Code, the following findings and facts in support of the findings for a use permit are set forth:



Finding

- B. *The use is consistent with the purpose and intent of Section 20.48.030 (Alcohol Sales of the Zoning Code).*

Facts in Support of Finding

- B-1. The project has been reviewed and conditioned to ensure that the purpose and intent of Section 20.48.030 (Alcohol Sales) of the Zoning Code is maintained and that a healthy environment for residents and businesses is preserved. The service of beer, wine and distilled spirits is intended for the convenience of customers dining at the restaurant. Operational conditions of approval recommended by the Police Department relative to the sale of alcoholic beverages will ensure compatibility with the surrounding uses and minimize alcohol related impacts.
- B-2. The hours of operation will minimize the potential effects of noise on neighboring businesses and residences to preserve the health and safety for visitors and other businesses in the neighborhood.

In accordance with Section 20.52.020.F of the Newport Beach Municipal Code, the following findings and facts in support of the findings for a use permit are set forth:

Finding

- C. *The use is consistent with the General Plan and any applicable specific plan;*

Facts in Support of Finding

- C-1. The General Plan land use designation for this site is GC (General Commercial). The GC provides provide for a wide variety of commercial activities oriented primarily to serve citywide or regional needs. The existing restaurant, including the proposed Type 47 ABC license and reduced hours of operation, is consistent with this land use category.
- C-2. Eating and drinking establishments are common in the vicinity and are frequented by the surrounding businesses, travelers that visit the City and residents of the City. The establishment is compatible with the land uses permitted within the surrounding neighborhood.
- C-3. The subject property is not part of a specific plan area.

Finding

- D. *The use is allowed within the applicable zoning district and complies with all other applicable provisions of this Zoning Code and the Municipal Code;*



Facts in Support of Finding

- D-1. The site is located in the Commercial General (CG) Zoning District. The restaurant, including the proposed Type 47 ABC license and reduced hours of operation, is allowed subject to the approval of a minor use permit in the CG Zoning District.
- D-2 The restaurant facility adds to the high aesthetic enhancement to the site benefiting the area and is consistent with the Mariner's Mile Strategic Vision and Design Framework.

Finding

- E. *The design, location, size, and operating characteristics of the use are compatible with the allowed uses in the vicinity;*

Facts in Support of Finding

- E-1. The operation of the interior of the restaurant was previously restricted to the closing hour of 12:00 midnight, daily by Condition No. 5 of Use Permit 3542. Reducing the closing hour to 11:00 p.m., daily will create greater compatibility with the surrounding uses as the hour is not considered late. The earlier closing hour is compatible with surrounding uses which are comprised of commercial businesses, restaurants, and residential.
- E-2. A restaurant has operated at this location since 1963 and Use Permit No. 3542 was approved in 1994 to grant a change in operational characteristics of the existing restaurant use with beer and wine service. The use has not proven detrimental to the area. This demonstrates the location's capability of operating as a compatible use with other land uses in the vicinity.
- E-3. The applicant is required to control trash and litter around the subject property.
- E-4. The operational conditions of approval recommended by the Police Department relative to the sale of alcoholic beverages will ensure compatibility with the surrounding uses and minimize alcohol related impacts. The project has been conditioned to ensure the welfare of the surrounding community so that the business remains a restaurant and does not become a bar or tavern. The project has been conditioned so that no dancing or live entertainment will be permitted on the premises.
- E-5. The applicant has installed a grease interceptor and obtained Health Department approval. The establishment will comply with the California Building Code and requirements of the Alcoholic Beverage Control Department to ensure the safety and welfare of customers and employees within the establishment.



Finding

- F. *The site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities; and*

Facts in Support of Finding

- F-1. The project site was issued a Staff Approval of substantial conformance with Use Permit No. 3542 to authorize changes in operational characteristics including interior and exterior remodel of the building, a kitchen and service area addition, elimination of an existing enclosed patio to accommodate for the future widening of West Coast Highway, a 9-foot retaining wall to provide additional area for improved on-site parking and vehicle circulation, construction of a covered trash and recycling storage area, and alteration of existing vehicular circulation and parking areas and the maintenance of full valet parking service. Therefore the building structure and site is designed and developed for an eating and drinking establishment. The design, size, location, and operating characteristics of the use are compatible with the surrounding neighborhood.
- F-2 The full valet parking service plan will be updated and required to be re-approved by the City Traffic Engineer and Community Development Director to update operational details to improve the use and circulation of the parking areas.
- F-2. Adequate public and emergency vehicle access, public services, and utilities are provided within the existing tenant space.

Finding

- G. *Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, a safety, or general welfare of persons residing or working in the neighborhood of the proposed use.*

Facts in Support of Finding

- G-1. The project has been reviewed and includes conditions of approval to ensure that potential conflicts with the surrounding land uses are minimized to the greatest extent possible. The operator is required to take reasonable steps to discourage and correct objectionable conditions that constitute a nuisance in parking areas, sidewalks and areas surrounding the subject property and adjacent properties during business hours, if directly related to the patrons of the establishment.
- G-2. The food service, eating and drinking establishment will continue to serve the surrounding commercial and residential community locally and regionally. The proposed establishment provides dining services as a public convenience to the surrounding neighborhood. The continued service of alcohol will provide an



economic opportunity for the property owner to maintain a successful business at this location in a way which best serves the quality of life for the surrounding community.

### **CONDITIONS OF APPROVAL**

The following conditions of approval shall supersede the conditions of approval granted for Use Permit No. 3542 on October 20, 1994, as reviewed and modified by the Planning Director on May 14, 2010 and the accessory outdoor dining permit OD2010-003.

1. The development shall be in substantial conformance with the approved site plan, floor plan(s) and building elevations per the plans dated February 23, 2011. (Except as modified by applicable conditions of approval.)
2. Any change in operational characteristics, hours of operation, expansion in area, or other modification to the approved plans, shall require an amendment to this Use Permit or the processing of a new Use Permit.
3. The applicant shall provide a minimum of one (1) on-site parking space for each three (3) seats within the restaurant dining and waiting areas or a total of 25 parking spaces.
4. The hours of operation for the interior of the restaurant facility shall be limited to the hours between 11:00 a.m. and 11:00 p.m., daily. The outdoor dining area shall be subject to the hours of operation of 11:00 a.m. to 10:00 p.m., daily. All activities within the outdoor dining area, including cleanup activities, shall cease at the specified closing hour of the outdoor dining area. Increases in the hours of operation for the outdoor dining area shall require approval of an amendment to this application.
5. The lighting in the parking area and restaurant facility shall be shielded in such a manner so as to eliminate light and glare spillage on surrounding uses and properties and West Coast Highway consistent with Section 20.30.070 of the NBMC.
6. All employees shall park their vehicles on-site, or at an off-site location approved by the Community Development Director.
7. Prior to exercising this Minor Use Permit, a revised valet parking and operations plan shall be submitted for review and approval by the Community Development Director. The valet and operations plan shall include a security component with provisions to address unlawful patron parking on adjacent properties. The circulation and parking layout on the revised valet parking plan shall be reviewed and approved by the City Traffic Engineer. Should problems arise in the future, the Community Development Director may require the preparation of a new valet parking and operations plan.



8. The valet drop off and pick up location shall be sufficiently set back from the public right of way to ensure that staging/queuing vehicles will not impact the public right-of-way.
9. The valet operation shall be sufficiently staffed to ensure that the valet operation does not impact the public right of way.
10. The valet operation shall comply with the most current California Vehicle Code (CVC).
11. The valet operation shall incorporate the "move one vehicle to get one vehicle" policy.
12. The valet parking service shall be utilized during all hours that the restaurant facility is open to the public.
13. All signs shall conform to the requirements of Chapter 20.67 of the Newport Beach Municipal Code.
14. No temporary "sandwich" signs, banners, balloons or similar temporary signs or attention attracting devices shall be permitted, either on-site or off-site, to advertise the food establishment, unless specifically permitted in accordance with the Sign Ordinance of the Newport Beach Municipal Code, Chapter 20.42.
15. Temporary signs shall be prohibited in the public right-of-way unless otherwise approved by the Public Works Department in conjunction with the issuance of an encroachment permit or encroachment agreement.
16. The landscape planter no less than 4 feet in width shall be maintained in accordance with the Mariner's Mile Strategic Plan and Design Framework and approved site plan.
17. Future changes to the exterior design of the building site shall require review by the Community Development Director for consistency with the Mariners Mile Strategic Vision Design Framework.
18. The applicant shall maintain the landscape and irrigation plan with drought tolerant plantings and water efficient irrigation practices, approved by the Planning Division and the Municipal Operators. All planting areas shall be maintained with a permanent underground automatic sprinkler irrigation system of a design suitable for the type and arrangement of the plant materials selected.
19. The irrigation system shall be adjustable based upon either a signal from a satellite or an on-site moisture-sensor. Planting areas adjacent to vehicular activity shall be protected by a continuous concrete curb or similar permanent barrier. Landscaping shall be located so as not to impede vehicular sight distance to the satisfaction of the Traffic Engineer. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing and trimming. All landscaped areas shall be kept free of



- weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
20. All improvements shall be constructed as required by Ordinance and the Public Works Department.
  21. The applicant is required to obtain all applicable permits from the City Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code. All construction plans must meet all applicable State Disabilities Access requirements. Approval from the Orange County Health Department is required.
  22. This Use Permit may be modified or revoked by the Zoning Administrator, Planning Commission or the City Council should they determine that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
  23. Deliveries and refuse collection for the facility shall be prohibited between the hours of 10:00 p.m. and 8:00 a.m., daily, unless otherwise approved by the Community Development Director, and may require an amendment to this use permit.
  24. Any event or activity staged by an outside promoter or entity, where the applicant, operator, owner or his employees or representatives share in any profits, or pay any percentage or commission to a promoter or any other person based upon money collected as a door charge, cover charge or any other form of admission charge, including minimum drink orders or sale of drinks is prohibited.
  25. All doors and windows of the entire facility shall remain closed at all times except for the ingress and egress of patrons and employees.
  26. All entrances and exits to the building shall remain free of obstructions and available for ingress and egress at all times.
  27. The operator shall not allow occupancy of the building to exceed the occupancy limits established by the Building Division or Fire Department. Strict adherence to maximum occupancy limits is required.
  28. The use of private (enclosed) "VIP" rooms or any other temporary or permanent enclosures separate from public areas are prohibited.
  29. The outdoor dining area shall be used in conjunction with the related eating and drinking establishment and shall be limited to 202 square feet in area (17 percent of the total net public area of 1,182 square feet). Seating within the existing eating and drinking establishment, including the outdoor dining area, shall be limited to a maximum of 75 seats, unless an amendment to this Minor Use Permit is approved.



30. At such a time that the City widens West Coast Highway in this area, the applicant shall reconfigure the main entry doorway to the eating and drinking establishment to eliminate the door swing within the future public right-of-way. Alterations shall be made at the sole cost and expense of the applicant.
31. The boundary of the outdoor dining area shall be marked to define the maximum 202 square foot area on the pavement or through the use of fences, walls, or similar barriers. Fences, walls or similar barriers shall serve only to define the outdoor dining area and not constitute a permanent all weather enclosure.
32. The installation of roof coverings shall not have the effect of creating a permanent enclosure. The use of umbrellas or a retractable canvas cover for shade purposes shall be permitted. The use of any other type of overhead covering, including solid ridged roof coverings, shall be subject to review and approval by the Community Development Director and may require an amendment to this permit.
33. The outdoor dining area shall be designed to meet exiting and fire protection requirements as specified by the California Building Code and shall be subject to review and approval by the Building Division and the Fire Department.
34. The project shall comply with the most recent, City-adopted version of the California Building Code and California Plumbing Code.
35. Approval is required by the Orange County Health Department prior to the final of building permits.
36. All doors and windows of the entire facility, including those doors and/or windows leading to the outdoor dining area, shall remain closed at all times except for the ingress and egress of patrons and employees.
37. No amplified music is permitted in the outdoor dining area.
38. The operator of the eating and drinking establishment shall be responsible for the control of noise generated by the patrons of the subject facility. The use of outside loudspeakers, paging system or sound system shall be prohibited in the outdoor dining area or outside of the building. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 of the Newport Beach Municipal Code. Chapter 10.26 provides, in part, that the noise should shall be limited to no more than depicted below for the specified time periods:

	Between the hours of 7:00 a.m. and 10:00 p.m.		Between the hours of 10:00 p.m. and 7:00 a.m.	
	<u>interior</u>	<u>exterior</u>	<u>interior</u>	<u>exterior</u>
Measured at the property line of commercially zoned property:	N/A	65 dBA	N/A	60 dBA
Measured at the property line of residentially zoned property:	N/A	60 dBA	N/A	50 dBA



Residential property:	45 dBA	55 dBA	40 dBA	50 dBA
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39. The applicant shall retain a qualified engineer specializing in noise/acoustics to monitor the sound generated by the outdoor dining activity to insure compliance with these conditions, if required by the Community Development Director.
40. Should problems arise with regarding noise associated with the outdoor dining area, the Planning Division shall require the removal of all or a portion of the outdoor dining area, and/or seating in the areas that contribute or cumulatively contribute to the noise problems or complaints. The Community Development Director may also curtail or reduce hours of operation and use of the outdoor dining area in response to noise complaints or loud and unreasonable noise generated by the outdoor dining use.
41. The use of area heaters shall remain consistent with the approval by the Public Works Department, Building Division and the Fire Department. The use of propane heaters and the storage of propane containers on the premises are prohibited, unless otherwise approved by the Fire Department
42. Should this business be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current owner or the leasing company.
43. The primary use of the proposed facility shall be the operation of a restaurant which shall provide a menu containing an assortment of food normally offered by such restaurant. Full meal service shall be provided during all hours of operation. The premises shall be furnished with tables and chairs at which food or beverages may be comfortably consumed, and the operator shall supply all necessary cutleries, condiments, and linens with which an eating establishment is customarily equipped.
44. All mechanical equipment and trash areas shall be screened from surrounding public streets and adjoining properties. All trash areas shall be screened from the adjoining properties and streets.
45. The area outside of the food establishment, including the public sidewalk, shall be maintained in a clean and orderly manner. The exterior of the business including the common seating areas of the shopping center shall be maintained free of litter and graffiti at all times. The owner or operator shall provide for daily removal of trash, litter debris and graffiti from the premises and on all abutting sidewalks within 20 feet of the premises. The operator of the food service use shall be responsible for the clean-up of all on-site and off-site trash, garbage and litter generated by the use.
46. Trash receptacles for patrons shall be conveniently located both inside and outside of the proposed facility, but not located on or within any public property or right-of-way, unless otherwise approved by the Public Works Department.



47. All trash shall be stored within the building or within dumpsters stored in the trash enclosure (three walls and a self-latching gate) or otherwise screened from view of neighboring properties, except when placed for pick-up by refuse collection agencies. The trash enclosure shall have a decorative solid roof for aesthetic and screening purposes. The trash dumpsters shall have a top, which shall remain closed at all times, except when being loaded or while being collected by the refuse collection agency.
48. The applicant shall ensure that the trash dumpsters and/or receptacles are maintained to control odors. This may include the provision of either fully self-contained dumpsters or periodic steam cleaning of the dumpsters, if deemed necessary by the Planning Division. Cleaning and maintenance of trash dumpsters shall be done in compliance with the provisions of Title 14, including all future amendments (including Water Quality related requirements).
49. Storage outside of the building in the front or at the rear of the property (except within a fully screened enclosure approved by the Planning Division) shall be prohibited, with the exception of the required trash container enclosure.
50. A covered wash-out area for refuse containers and kitchen equipment, with minimum useable area dimensions of 36-inches wide, 36-inches deep and 72-inches high, shall be maintained, and the area shall drain directly into the sewer system, unless otherwise approved by the Building Manager and Public Works Director in conjunction with the approval of an alternate drainage plan.
51. Grease interceptors shall be maintained for the restaurant facility in accordance with the provisions of the California Plumbing Code, unless otherwise approved by the Building Division.
52. Kitchen exhaust fans shall be maintained in accordance with the Uniform Mechanical Code. The issues with regard to the control of smoke and odor shall be directed to the South Coast Air Quality Management District.
53. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Pizzeria Mozza** including, but not limited to, the **Minor Use Permit No. UP2011-023**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to



the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Police Department Conditions

54. The type of alcoholic beverage license issued by the California Board of Alcoholic Beverage Control shall be a Type 47 in conjunction with the service of food as the principal use of the facility.
55. This approval does not permit the premises to operate as a bar, tavern, cocktail lounge, or nightclub as defined by the Newport Beach Municipal Code.
56. No alcoholic beverages shall be consumed on any property adjacent to the licensed premises under the control of the licensee.
57. There shall be no exterior advertising or signs of any type, including advertising directed to the exterior from within, promoting or indication the availability of alcoholic beverages or signs, which are clearly visible to the exterior, shall constitute a violation of this condition.
58. No "happy hour" type of reduced price alcoholic beverage promotion shall be allowed except when offered in conjunction with food ordered from the full service menu. There shall be no reduced price alcoholic beverage promotion after 9:00 p.m.
59. The petitioner shall not share any profits or pay any percentage or commission to a promoter or any other person based up on monies collected as a door charge, cover charge, or any other form of admission charge, including minimum drink orders or the sale of drinks.
60. The quarterly gross sales of alcoholic beverages shall not exceed the gross sales of food during the same period. The licensee shall at all times maintain records, which reflect separately the gross sales of food and the gross sales of alcoholic beverages of the licensed business. These records shall be kept no less frequently than on a quarterly basis and shall be made available to the Police Department on command.
61. There shall be no on-site radio television, video, film, or other electronic or media broadcasts, including recordings to be broadcasted at a later time, which include the service of alcoholic beverages, without first obtaining an approved special event permit issued by the City of Newport Beach.
62. Live entertainment and dancing shall be prohibited as a part of the regular operation of the establishment.
63. No games or contests requiring or involving the consumption of alcoholic beverages shall be permitted.



64. Food service from the regular menu must be available to patrons up to thirty (30) minutes before the scheduled closing time.
65. All owners, managers and employees selling alcoholic beverages shall undergo and successfully complete a certified training program in responsible methods and skills for selling alcoholic beverages. The certified program must meet the standards of the California Coordinating Council on Responsible Beverage Service or other certifying/licensing body, which the State may designate. The establishment shall comply with the requirements of this section within 180 days of the issuance of the certificate of occupancy. Records of each owner's, manager's and employee's successful completion of the required certified training program shall be maintained on the premises and shall be presented upon request by a representative of the City of Newport Beach.
66. A Special Events Permit is required for any event or promotional activity outside the normal operational characteristics of the approved use, as conditioned, or that would attract large crowds, involve the sale of alcoholic beverages, include any form of on-site media broadcast, or any other activities as specified in the Newport Beach Municipal Code to require such permits.

#### **PUBLIC NOTICE**

Notice of this application was mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant and posted on the subject property at least 10 days prior to the decision date, consistent with the provisions of the Municipal Code.

**APPEAL PERIOD:** Use Permit applications do not become effective until 14 days following the date of action. Prior to the effective date the applicant or any interested party may appeal the decision of the Zoning Administrator to the Planning Commission by submitting a written appeal application to the Community Development Director. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

By:   
Jaime Murillo, Zoning Administrator

JM/msw

Attachments:   ZA 1 Vicinity Map  
                  ZA 2 Plans



## VICINITY MAP



Minor Use Permit No. UP2011-023  
PA2011-139

**800 W. Coast Hwy**

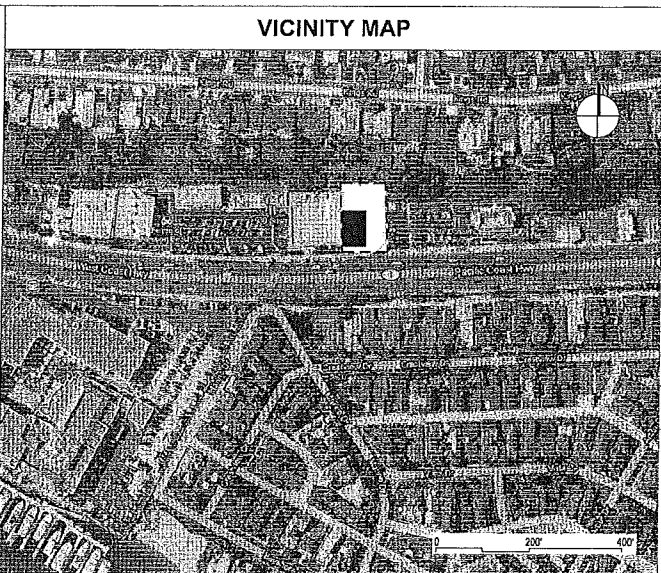




800 WEST COAST HIGHWAY  
NEWPORT BEACH, CA

CONSTRUCTION DOCUMENTS

FEBRUARY 23, 2011



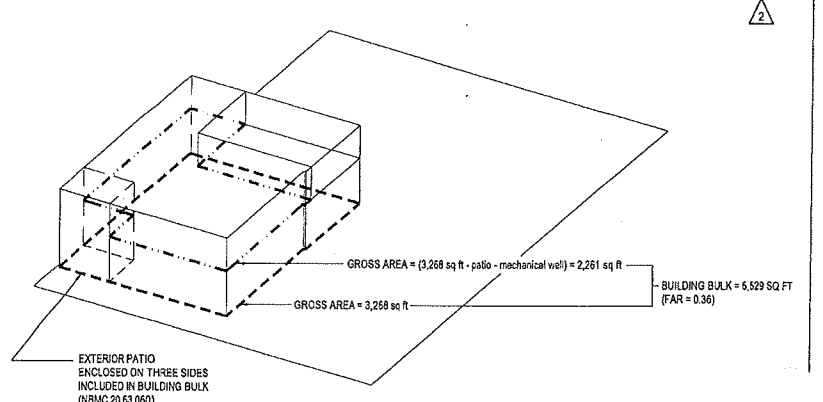
PROJECT INFORMATION	
ADDRESS:	800 WEST COAST HIGHWAY NEWPORT BEACH, CALIFORNIA 92663
BUSINESS OWNER:	OCCIO ROSSO, LLC
BUILDING OWNER:	800 PACIFIC COAST HIGHWAY, LLC SEAN MANAWI
BUILDING JURISDICTION:	CITY OF NEWPORT BEACH
BUILDING USE:	RESTAURANT WITH ON-SALE BEER AND WINE
LOT NO.:	24 & 25
PARCEL NO.:	35, 36
TRACT NO.:	1210
LEGAL DESCRIPTION:	REAL PROPERTY IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS: LOTS 24 AND 25 OF TRACT 1210, AS SHOWN ON A MAP RECORDED IN BOOK 40, PAGE 45 AND 46 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.  EXCEPTING THEREFROM, ALL OIL, OIL RIGHTS, MINERALS, MINERAL RIGHTS, NATURAL GAS, NATURAL GAS RIGHTS, AND OTHER HYDROCARBONS BY WHATEVER NAME KNOWN THAT MAY BE WITHIN OR UNDER THE LAND HEREIN ABOVE DESCRIBED, TOGETHER WITH THE PERPETUAL RIGHT OF DRILLING, MINING, EXPLORE AND OPERATING THEREFOR, AND STORING IN AND REMOVING THE SAME FROM SAID LAND OR ANY OTHER LAND, INCLUDING THE RIGHT TO WHIPSTOCK OR DIRECTIONALLY DRILL AND MINE FROM LANDS OTHER THAN THOSE HEREIN ABOVE DESCRIBED, OIL OR GAS WELLS, TUNNELS AND SHAFTS INTO, THROUGH OR ACROSS THE SUBSURFACE OF THE LAND HEREIN ABOVE DESCRIBED, AND TO BOTTOM SUCH WHIPSTOCKED OR DIRECTIONALLY DRILLED WELLS, TUNNELS AND SHAFTS UNDER AND BENEATH OR BEYOND THE EXTERIOR LIMITS THEREOF, AND TO REPAIR, RETURN, EQUIP, MAINTAIN, REPAIR, DEEPEN AND OPERATE ANY SUCH WELLS OR MINES, WITHOUT, HOWEVER, THE RIGHT TO DRILL, MINE, STONE, EXPLORE AND OPERATE THROUGH THE SURFACE OR THE UPPER 500 FEET OF THE SUBSURFACE OF THE LAND HEREIN ABOVE DESCRIBED, AS RESERVED IN THE DEED FROM THE IRVINE COMPANY, A CORPORATION, RECORDED JUNE 2, 1969 IN BOOK 8974, PAGE 265 OF OFFICIAL RECORDS. EXCEPTING THEREFROM ALL WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. APN: 049-280-35 AND 049-280-36
OCCUPANCY GROUP:	A-2, B, S-2 (non-separated)
ACCEPTABLE BUILDING CODE:	2007 CALIFORNIA BUILDING, PLUMBING, MECHANICAL, ELECTRICAL & ENERGY CODES
CONSTRUCTION TYPE:	Type V - B (fully sprinklered)
DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE:	MICHAEL SEDLACEK, ARCHITECT

DEFERRED PERMITS	
1) FIRE SPRINKLER SYSTEM	
2) EXTERIOR SIGNAGE	
3) RETAINING WALL	

SPECIAL INSPECTIONS	
FOR PROJECT SPECIFIC LISTING OF SPECIAL INSPECTIONS AND TESTING REQUIREMENTS, SEE S1_102	

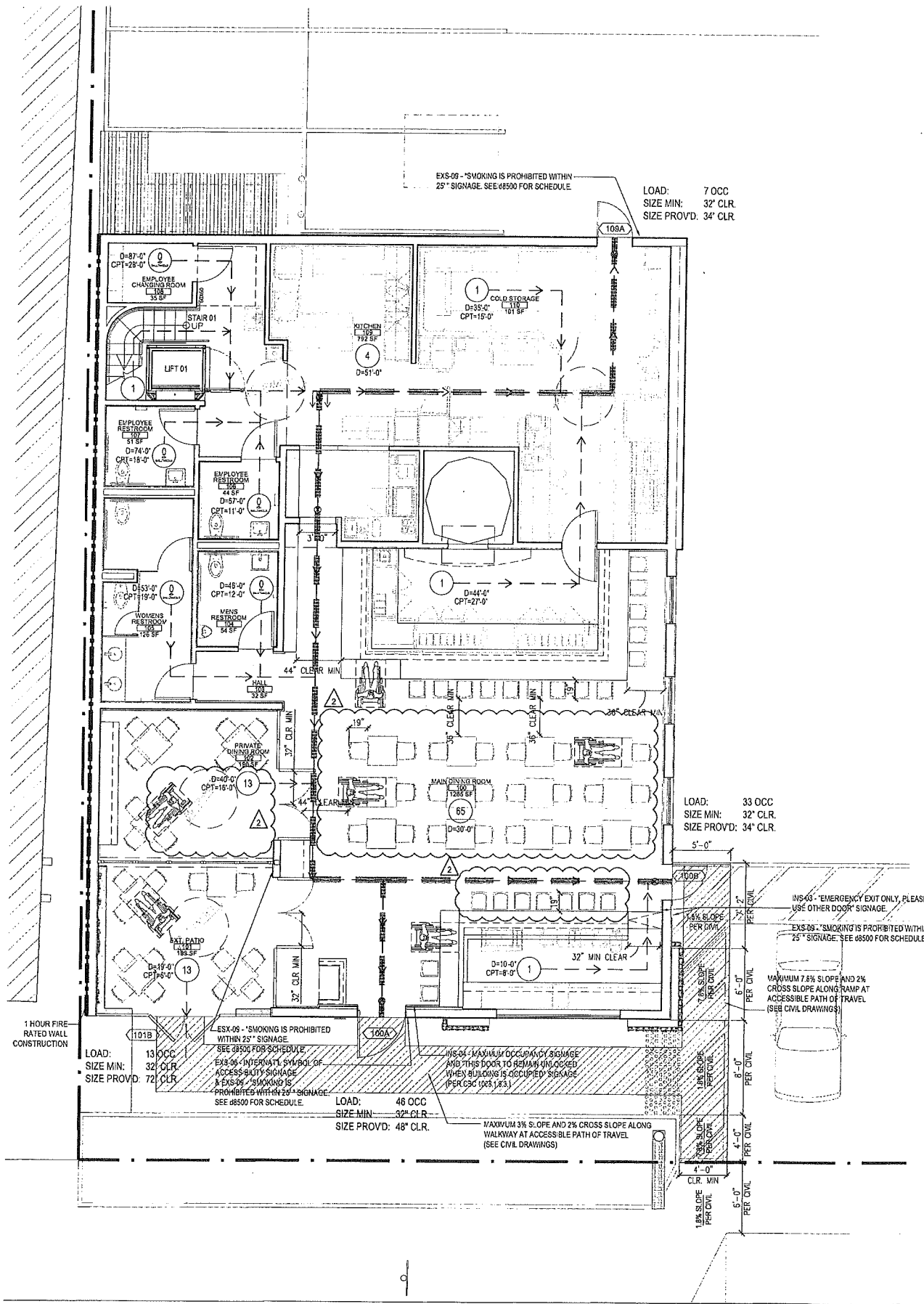
PROJECT DESCRIPTION	
The Project consists on the demolition of the existing restaurant building (3,145 sq.ft.) and the construction of a new commercial building also to be used as restaurant (3,395 sq.ft.). Work also includes the rework of the site (see civil drawings). The construction of a new retaining wall at the North side of the property is under a separate permit.	
The Project site is located on the North side of the West Coast Highway in Newport Beach at the number 800. The newly leased site used to be the location of Dolce Restaurant since 1994 and has been a restaurant location since 1950s. Planning Approval has been obtained (Permit # PA2010-058) based on the existing Use Permit. Planning approval for accessory outdoor dining permit (Permit # OD2010-003(PA2010-087)) has also been obtained.	

PLANNING AND ZONING	
USE PERMIT NO. 3542 OUTDOOR DINING PERMIT NO. OD2010-003 (PA2010-087)	
ZONING:	RSC-MM
PARCEL SIZE:	15,041 SF 15,232 PER GIS RECORDS
BUILDING HEIGHT:	24'-9" A.F.F. 26'-0" MAX. HEIGHT ALLOWABLE
FLOOR AREA RATIO (FAR):	EXISTING 0.2 PROPOSED 0.2 ALLOWED 0.3
BUILDING BULK:	5,529 (see diagram below)
NO. STORIES:	1 PLUS MEZZANINE
GROSS AREA:	4,569 (15,232 X 0.3) ALLOWED BY FAR
FIRST FLOOR:	3,184
MEZZANINE FLOOR:	201
TOTAL:	3,385 (3,145 + 250 = 3,395) 3,395 (allowed by Planning Department)
NET PUBLIC AREA:	1,058 1,182 (allowed by the use permit)
OUTDOOR DINING AREA:	180 202 (allowed by the use permit)
PARKING SPACES:	30 20 (based on 1 space for every 3 seats)
NO. SEATS:	90 74 60 (indoor) + 15 (allowed by accessory outdoor dining permit)



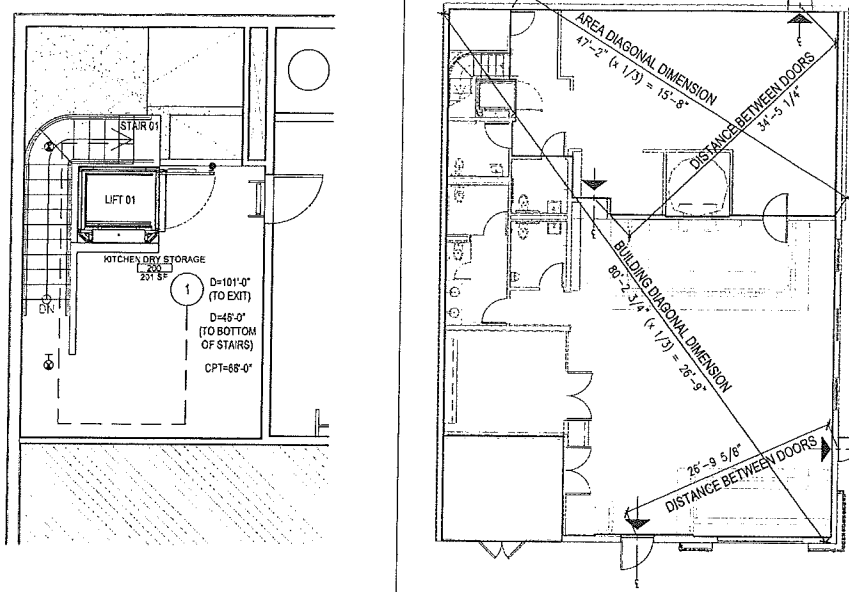
\* ALL AREA CALCULATIONS PER MEETING ON JANUARY 14, 2011 AND SUBSEQUENT CORRESPONDENCE AND MEETING MINUTES.





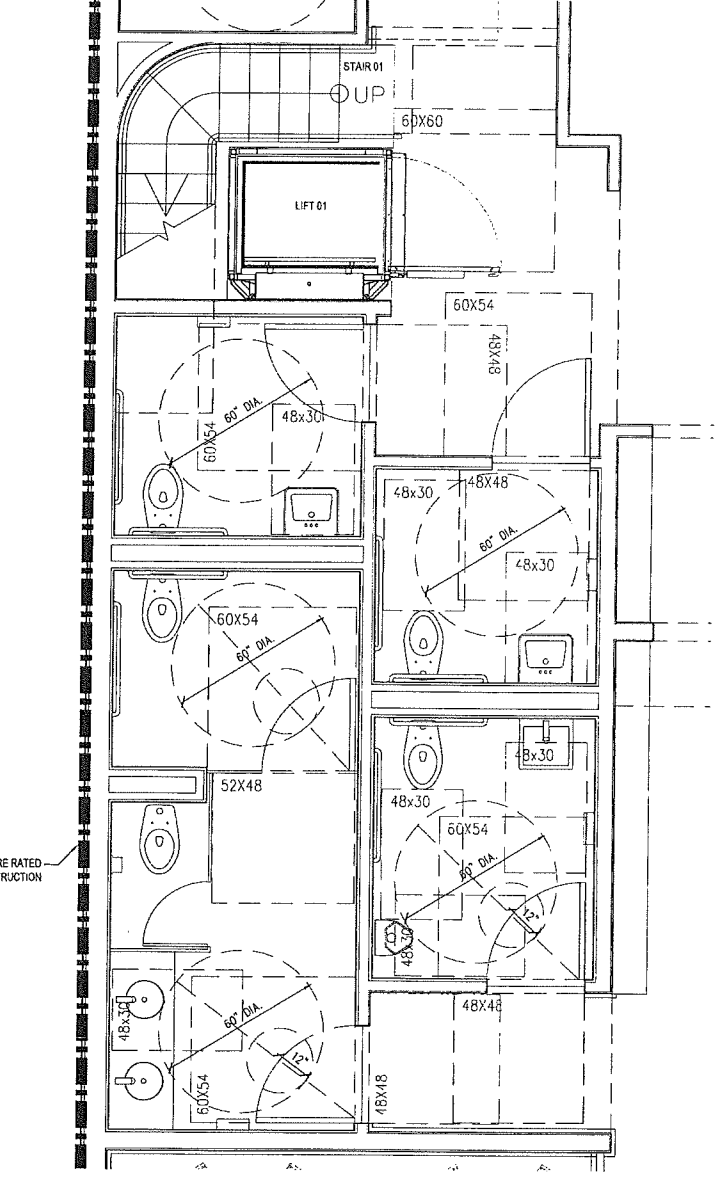
01 LIFE SAFETY PLAN

3/16" = 1'-0"



04 EGRESS DIAGRAM

3/32" = 1'-0"



03 RESTROOM ACCESSIBILITY DIAGRAMS

3/8" = 1'-0"

**LIFE SAFETY LEGEND**  
1-HR. RATED SEPARATION  
TRAVEL DISTANCE (D = MAX DISTANCE TO EXIT)  
(CPT = COMMON PATH OF TRAVEL)  
ACCESSIBLE PATH OF TRAVEL  
EXIT SIGN - CEILING MOUNTED  
EXIT SIGN - WALL MOUNTED  
EXIT

**OCCUPANCY CLASSIFICATION DIAGRAM**  
CONSTRUCTION TYPE I & II  
SEPARATED OCCUPANCY PER CBC SECTION 508.2.2  
A-2 (ASSEMBLY)  
B (BUSINESS)  
S-2 (STORAGE)

**OCCUPANT LOAD CALCULATION**  

RM#	NAME	SQFT.	GROUP	LOAD	
100	MAIN DINING ROOM	968	A-2	65	
101	PATIO	195	A-2	13	
102	PRIVATE DINING ROOM	195	A-2	13	
100	PIZZA BAR	182	A-2	1	
100	WINE BAR	120	A-2	1	
TOTAL AREA 1660					
OCCUPANT LOAD FACTOR 15 NET (ASSEMBLED SEATING WITH TABLES AND CHAIRS)					
TOTAL OCCUPANCY 93					
BUSINESS					
109	KITCHEN	735	B	4	
TOTAL AREA 735					
OCCUPANT LOAD FACTOR 200 GROSS (KITCHEN COMMERCIAL)					
TOTAL OCCUPANCY 4					
STORAGE					
110	COLD STORAGE	89	S-2	1	
200	DRY STORAGE	201	S-2	1	
TOTAL AREA 290					
OCCUPANT LOAD FACTOR 300 GROSS (ACCESSORY STORAGE AREAS)					
TOTAL OCCUPANCY 2					
BATHROOMS					
103	HALL	32	B	0	
104	RESTROOM	55	B	0	
105	RESTROOM	128	B	0	
106	EMPLOYEE RESTROOM	44	B	0	
107	EMPLOYEE RESTROOM	51	B	0	
108	EMPLOYEE CHANGING ROOM	36	B	0	
TOTAL AREA 344					
OCCUPANT LOAD FACTOR 0* (NOTE: RESTROOMS ARE NON-SHALL-BUILDING)					
TOTAL OCCUPANCY 0					
TOTAL AREA 3,889					
TOTAL OCCUPANCY 99					
<b>EGRESS WIDTH CALCULATION</b>					
REQUIRED WIDTH (TOTAL OCCUPANCY) X (REQ'D WIDTH FACTOR) 99 X 0.15' = 15' REQ. < 2(32' DOORS) = 64' REQUIRED (PER CBC 101.1)					
REQUIRED EXITS FROM SEATING = 2					
REQUIRED EXITS FROM KITCHEN = 2					
EGRESS DOORS PROVIDED 2(DOORS) @ 32' = 64' + 1(DOOR) @ 44' = 108' PROVIDED					
<b>BUILDING CODE ALLOWABLE AREA ANALYSIS</b>					
GROUP	AREAS (SQFT)	ALLOWABLE AREA (SQFT) (PER CBC 101.1)			
A-2	133	5500 x 2 = 11000			
B	107	9000 x 2 = 18000			
S-2	330	13500 x 2 = 27000			
<b>ALLOWABLE HEIGHT ANALYSIS</b>					
(PER CBC CHAPTER 5, TABLE 603, OCCUPANCY GROUP A-2)					
MAXIMUM HEIGHT = 47' MAXIMUM STORES = 1					
<b>MAX. EXIT TRAVEL DISTANCE</b>					
GROUP	DISTANCE (FEET)	MIN. # OF EXITS			
A-2	250	1-500			
B	300	2			
S-2	400	MINIMUM 2 EXITS (500-99)			
<b>CBC TABLE 101.1.1</b>					
<b>TABLE CBC 101.1.1</b>					
<b>PLUMBING FIXTURE CALCULATION</b>					
PUBLIC USE	W.C.	URINAL	LAV.	W.C.	LAV.
ASSEMBLY (A-2)	1	1	1	2	1
KITCHEN (B)	2	1	2	3	2
TOTAL	3	2	3	5	3
<b>FIRE SEPARATION DISTANCES</b>					
ELEVATION	FSD	% UNPROTECTED OPENINGS	REG'D	PROVIDED	
NORTH	78'-10"	UNLIMITED	2%	NONE	NONE
EAST	62'-2"	UNLIMITED	2%	NONE	NONE
SOUTH	62'-2"	UNLIMITED	14%	NONE	NONE
WEST	0'-6.55"	0%	0%	1-HR	1-HR
NOTES: 1) EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT (CBC 1008.1.8) 2) THE WEAS OF EGRESS TRAVEL SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT INTENSITY OF NOT LESS THAN 1 FOOT CANDLE AT THE WALKING SURFACE LEVEL (CBC 1008.2) 3) THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, THE EMERGENCY POWER SUPPLY FAILURE, THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR (CBC 1011.5.3) 4) PORTABLE FIRE EXTINGUISHER SHALL BE INSTALLED IN LOCATION AS REQUIRED BY FIRE CODE 096. 5) DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 15 CUBIC YARDS (45 cu. ft.) OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVES, UNLESS AREAS CONTAINING DUMPSTERS OR CONTAINERS ARE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM (FIRE CODE 304.13) 6) MATERIALS STORED IN S-2 TO COMPLY WITH SECTION 311.3 7) THE MINIMUM WIDTH OF EACH DOOR OPENING SHALL BE SUFFICIENT FOR THE OCCUPANT LOAD THEREOF AND SHALL BE CLEAR WIDTH OF NOT LESS THAN 32 INCHES. THE HEIGHT OF DOORS SHALL NOT BE LESS THAN 80 INCHES. (CBC 1008.1.1) 8) EXITS DOORS 100A & 100B SHALL NOT BE SUBJECT TO LOCKING DURING OPERATING HOURS (FIRE CODE 1014.0.5) 9) CONTRACTOR TO PROVIDE SIGNAGE WITH THE INTERNATIONAL ACCESSIBILITY SYMBOL AT EACH NONACCESSIBLE ENTRANCE OR PATH OF TRAVEL INDICATING DIRECTION TO ACCESSIBLE PATHS OF TRAVEL OR ENTRANCES (SEC 1117B.5.5.10 & 1117B.3.1.3.2) 10) MEZZANINE TO COMPLY WITH CBC SECTIONS 506, 1015.1 AND 1014.1 11) CODES REFER TO 2007 CALIFORNIA BUILDING CODE WITH AMENDMENTS BY THE CITY OF NEWPORT BEACH.					

Client:  
**B&B HOSPITALITY GROUP**  
45 East 20th Street, 3rd Floor  
New York, NY 10003  
646.672.8383

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310.450.8100

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Costa Mesa, CA 92626  
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Structural Engineer:  
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MEP Engineer:  
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Kitchen Consultant:  
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Santa Monica, CA 90405  
310.392.4540

LEED Consultant:  
**Brightworks**  
1133 6th Street, #6  
Santa Monica, CA 90403  
310.452.0500

**CONSTRUCTION DOCUMENT SET** 02/23/2011  
**BID SET - REV 1** 01/22/2011  
**BID SET** 09/22/2010  
**DD SET** 07/23/2010  
**SD SET** 06/18/2010

Rev. Issue  
Original by Date Draw Check App

**Key Plan**  
N

**Aedas**  
Aedas LA LLP  
1319 Abbot Kinney Blvd.  
Los Angeles, CA 90291  
E: la@aedas.com  
T: +1 310 314 5200  
F: +1 310 314 5223

**Project**  
**PIZZERIA MOZZA**  
800 WEST COAST HIGHWAY  
NEWPORT BEACH, CA 92663

**Drawing**  
**ENLARGED PLAN**  
**CODE COMPLIANCE DIAGRAM**

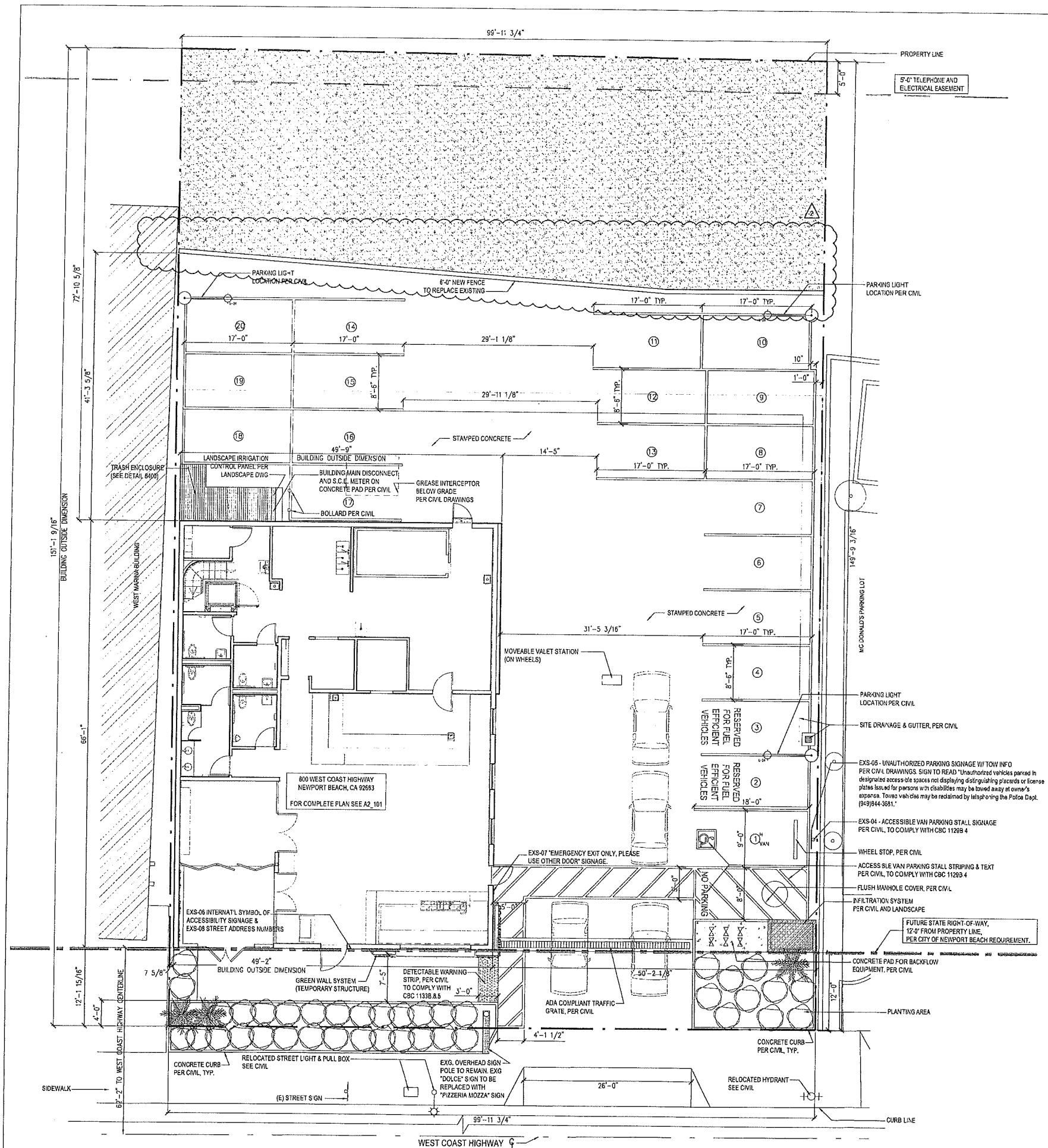
Computer file Date  
1002 02/23/2011

Project Number Scale  
1002 1/4" = 1'-0"

Drawing Number  
**LS1\_101**

This drawing is to be read in conjunction with all related drawings. Do not scale from this drawing. All dimensions must be checked and verified on a before commencing any work or construction. The original shall be retained by the architect. The drawing is copyright and remains the property of Aedas. © 2011





## SHEET NOTES

- 01) LANDSCAPING ALONG PACIFIC COAST HIGHWAY SHALL COMPLY WITH CITY SIGHT DISTANCE STANDARD 110L AND SHALL BE MAINTAINED AT 24" MAX. AT ALL TIMES. SEE CIVIL AND LANDSCAPE DRAWINGS FOR SIGHT DISTANCE STANDARD COMPLIANCE.
- 02) PARKING SURFACE SHALL BE COLORED STAMPED CONCRETE TO MATCH EXISTING (TO BE REMOVED) INCLUDING PARKING DEMARCATION.
- 03) FIRE WATER SUPPLY AND BUILDING FIRE SUPPRESSION SYSTEM TO BE DESIGN BUILD. SPRINKLER RISER FDC AND BACKFLOW PREVENTER LOCATIONS TO BE REVIEWED AND APPROVED BY ARCHITECT.
- 04) TRASH ENCLOSURE TO BE DESIGN BUILD PER ARCHITECT'S DESIGN INTENT.
- 05) GC TO PROVIDE A DETECTABLE WARNING PRODUCT SAMPLE TO THE BUILDING INSPECTOR FOR APPROVAL OF COLOR CONTRAST WITH FINISH SURFACE.
- 06) WHEN SIGNS IDENTIFY PERMANENT ROOMS AND SPACES OF A BUILDING OR SITE, THEY SHALL COMPLY WITH CBC 1117B.5.2; 1117B.5.3; & 1117B.5.5-7.
- 07) ELECTRICAL FEEDER FROM S.C.E. POLE TO REMAIN OVERHEAD. GC TO PROVIDE STUB UP FOR FUTURE UNDERGROUND FEEDER. STUB UP SHALL BE PROVIDED BELOW BUILDING MAIN DISCONNECT AND S.C.E. METER, THROUGH CONCRETE PAD, LOCATED AT THE BACK OF THE BUILDING IN PARKING AREA.

## SITE PLAN LEGEND

- PROPERTY LINE
- EXISTING PARKING DECLINATION BOUNDARY (DEMO SITE PLAN ONLY)
- NUMBER OF PARKING STALLS
- NUMBER OF HAND-CAP PARKING STALLS
- EXISTING CONSTRUCTION TO BE DEMOLISHED (DEMO SITE PLAN ONLY)
- EXISTING SITE (SEE CIVIL DRAWINGS) (DEMO SITE PLAN ONLY)
- HILL SIDE
- PUBLIC SIDEWALK (SEE CIVIL DRAWINGS) (DEMO SITE PLAN ONLY)
- MEXICAN FAN PALM
- PALM TREE TO BE REMOVED (DEMO SITE PLAN ONLY)
- EXISTING STREET LIGHTING
- VERTICAL ARM MOUNT LIGHTING FIXTURES

Drawing Type

Credentials

Client  
**B&B HOSPITALITY GROUP**45 East 20th Street, 3rd Floor  
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Architect

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MEP Engineer

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LEED Consultant

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Santa Monica, CA 90403  
310.452.6000

CONSTRUCTION DOCUMENT SET	02/23/2011	-
BID SET - REV 1	01/25/2011	-
BID SET	09/24/2010	-
DD SET	07/23/2010	-
SD SET	06/18/2010	-

Rev.	Issue	Date	Issue Date	Initial
Original by			Draw	Check
			App	

Key Plan

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Project

**PIZZERIA MOZZA**

800 WEST COAST HIGHWAY

NEWPORT BEACH, CA 92663

Drawing

SITE PLAN

Computer file	Date
	02/23/2011

Project Number	Scale
1002	1/8" = 1'-0"

Drawing Number	
A1_101	

This drawing is to be read in conjunction with all related drawings. Do not scale from this drawing. All dimensions must be checked and verified on site before commencing any work or construction and approved. This drawing shall be modified immediately at any discrepancy. This drawing is copyright and remains the property of Aedas. © 2011



In accordance with Section 20.52.020.F of the Newport Beach Municipal Code, the following findings and facts in support of the findings for a use permit are set forth:



Finding

*B. The use is consistent with the General Plan and any applicable specific plan;*

Facts in Support of Finding

- B-1. The General Plan land use designation for this site is RS-D (Single-Unit Residential Detached). The RS-D provides for a range of detached single-family residential dwelling units on a single legal lot. The existing single family dwelling, including the stables and corral, is consistent with this land use category.
- B-2. The subject property is within SP-7 Santa Ana Heights Specific Plan which allows for the noncommercial keeping of pets and animals including horses.

Finding

*C. The use is allowed within the applicable zoning district and complies with all other applicable provisions of this Zoning Code and the Municipal Code;*

Facts in Support of Finding

- C-1. The site is located in the SP-7 Zoning District with a Specific Plan land use of Residential Single Family (RSF). The RSF District allows for the noncommercial keeping of one or two horses on land immediately adjacent to the Residential Equestrian District (REQ) district within SP-7; provided, that no horse shall be permitted on a building site containing less than ten thousand (10,000) square feet of land area, and pens, cages, and other structures specifically for the keeping of horses shall be located at least fifty (50) feet from any residential window located on an adjoining building site. The RSF District provides relief from the aforementioned requirements through the approval of a minor use permit.

Finding

*D. The design, location, size, and operating characteristics of the use are compatible with the allowed uses in the vicinity;*

Facts in Support of Finding

- D-1. There are existing horse uses directly to the north and west (abutting) the property and these lots are specifically zoned to allow the noncommercial keeping of pets and animals, including horses. This area of SP-7 was annexed from the County in 2002 and the City adopted the zoning regulations developed by the County. These regulations were crafted to accommodate horses as accessory to the single family dwellings within this specific plan area.
- D-2. There are existing stables and a corral on the property and evidence (not a complete record) of allowance of a single horse by the County. There is no



record of the existing stables, corral and previous horse being detrimental to uses in the vicinity.

- D-3. The closest residential windows that are not provided the 50-foot separation is the neighbor to the northeast side where the existing 320-square-foot stable is 9-feet, 10 inches from the closest residential window. The corral, beyond this stable, is 19 feet from the residential window. Although, the 50 feet is not provided, the existing design of the stable is so that there are no openings within the stable wall adjacent the side property line and the residential windows. The solid stable wall deters noise and any other impacts to the neighbor as well as provides a visual buffer between the corral and the neighbor. Furthermore, there is no history of complaints from the neighbor.

#### Finding

- E. *The site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities; and*

#### Facts in Support of Finding

- E-1. The use permit would be conditioned to maintain guidelines for horse care including grooming, pasture management, grazing, collection and storage, and use and disposal to prevent water pollution and use management practices that minimize impacts to the environment and surrounding community.
- E-2. The subject property is 8,100 square feet which is 1,900-square-feet less than the minimum 10,000-square-foot lot area required for the keeping of one or two horses; however; historically this property has maintained horses with no record of complaints on the operating characteristics and the Minor Use Permit has been conditioned to allow only one horse.
- E-3. Adequate public and emergency vehicle access, public services, and utilities are provided on the existing property.

#### Finding

- F. *Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, a safety, or general welfare of persons residing or working in the neighborhood of the proposed use.*

#### Facts in Support of Finding

- F-1. The project has been reviewed and includes conditions of approval to ensure that any potential conflicts with the surrounding land uses are minimized to the greatest extent possible. However, the reinitiation of one horse onto the property is consistent with existing land uses within the area and the noncommercial keeping



of horses within SP-7 has not proven to be detrimental to the surrounding neighborhood.

- F-2. The existing stables and coral that do not maintain the 50-foot location requirement to the residential window have not been proven to be detrimental and as aforementioned, the closest stable maintains 9-feet, 10-inches to the residential window with no openings in the stable wall along the adjoining property line. The corral maintains 31 feet to the residential window behind the stable. The stable and corral would remain existing nonconforming and any reconstruction would require an amendment to this Use Permit to address the 50-foot location requirement. Additionally, there are existing stables on the surrounding properties that do not appear to maintain the required setbacks and have not proven to be detrimental to the surrounding neighborhood.

### **CONDITIONS OF APPROVAL**

1. The development shall be in substantial conformance with the approved site plan dated with this date of approval. (Except as modified by applicable conditions of approval.)
2. This Minor Use Permit may be modified or revoked by the Zoning Administrator upon a finding of failure to comply with the conditions set forth in Chapter 20.82 of the Municipal Code, other applicable conditions and regulations governing the food establishment, or should they determine that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
3. Any reconstruction of the stables or corral shall require an amendment to this Minor Use Permit to address the 50-foot location requirement from the residential window located at the adjoining building site.
4. This approval is only for the establishment of the noncommercial keeping of one horse and the location of accessory structures as defined by Title 20 of the Municipal Code, as accessory to the single family dwelling.
5. Use Permit No. UP2011-027 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.54.060 (Time Limits and Extensions) of the Newport Beach Zoning Code, unless an extension is otherwise granted.
6. Should this residence be sold or otherwise come under different ownership, any future owners or assignees shall be notified in writing of the conditions of this approval by property owner.
7. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.



8. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.
9. Prior to keeping a horse on the property and exercising the rights of this Minor Use Permit, the applicant shall submit an approval letter/agreement from Edison authorizing the applicant to keep the existing stables within the 5-foot easement along the rear property line.
10. When washing the horse, wash water shall seep into the ground or shall be routed to the sanitary sewer. Wash water shall not enter the storm drain or any bodies of water. Non-toxic products shall be used for grooming, all instructions on the products shall be followed, and all spills shall immediately be cleaned-up.
11. Horse waste or care products shall not enter the street or storm drain.
12. A program of continuous dust control of the entire premises shall be carried out.
13. There shall be adequate and effective control of insects and rodents and such control shall be vigorously maintained at all times.
14. Horse holding areas shall be swept or shoveled at least once a day and shall never be hosed down.
15. Paddocks shall be cleaned at least twice per week during the rainy season, and at least once per week the rest of the year.
16. Feeding practices shall keep manure under a roof and away from runoff during rainy season.
17. All dry grains and pellets shall be stored in rodent-proof containers.
18. All waste pits or trenches shall be lined with an impermeable layer.
19. Daily collection of manure from, in, and around corrals and exercise areas shall be performed daily. Animal waste shall be stored in a sturdy, seepage-free unit that is enclosed or under cover such that runoff does not come into contact with manure stockpiles. Manure shall not be stored on-site for more than one week.
20. Implement Equestrian-Related Best Management Practices (BMP's) shall be implemented to the maximum extent practicable during the rainy season.
21. For use and disposal always consider donating composite material to local greenhouses, nurseries, and botanical parks. Transport manure to topsoil companies or composting centers and see <http://compostingcouncil.org> for more information.



22. All trash areas shall be screened from the adjoining properties and streets.
23. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Santa Ana Heights Horse Permit** including, but not limited to, the **PA2011-151 for Use Permit No. UP2011-027**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

#### **PUBLIC NOTICE**

Notice of this application was mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant and posted on the subject property at least 10 days prior to the decision date, consistent with the provisions of the Municipal Code.

**APPEAL PERIOD:** Use Permit applications do not become effective until 14 days following the date of action. Prior to the effective date the applicant or any interested party may appeal the decision of the Zoning Administrator to the Planning Commission by submitting a written appeal application to the Community Development Director. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

By:   
Jaime Murillo, Zoning Administrator

JM/msw

Attachments:     ZA 1 Vicinity Map  
                      ZA 2 Plan



## VICINITY MAP



Minor Use Permit No. **UP2011-027**  
PA2011-151

20281 Orchid Street









## COMMUNITY DEVELOPMENT DEPARTMENT

### PLANNING DIVISION

3300 Newport Boulevard, Building C, Newport Beach, CA 92663

(949) 644-3200 Fax: (949) 644-3229

[www.newportbeachca.gov](http://www.newportbeachca.gov)

## **COMMUNITY DEVELOPMENT DIRECTOR** **ACTION LETTER**

**Application No.**           **Staff Approval No. SA2011-020 (PA2011-160)**  
**Applicant**               **Bear Flag Fish Company CC**  
**Site Address**           **7972 East Coast Hwy**  
                                  **Bear Flag Crystal Cove**  
**Legal Description**   **Parcel 1 of Lot Line Adjustment 2004-041**

On **September 15, 2011**, the Community Development Director approved the following: Zoning Clearance for a proposed eating and drinking establishment with alcohol sales. The suite was previously occupied with a food use. The property is located in the PC-52 (Newport Coast) Zoning District.

### **I.     Project Description**

The applicant proposes an eating and drinking establishment with a Beer and Wine (Type 41) ABC License. The site was formerly occupied by Red Mango Frozen Yogurt. The proposed hours of operation are 10:00 a.m. to 11:00 p.m. The operator anticipates a maximum of seven (7) employees on duty at any given time. A new use permit is not required because the suite previously contained a food use and the commercial center is approved for both retail and food uses.

### **II.    Background**

Crystal Cove Promenade Retail Center is located on the inland side of Pacific Coast Highway between Crystal Cove Point and Reef Point Drive. Planning Application Number 98-0101 was approved by the County of Orange Planning Commission on September 22, 1998, and included construction and operation of a retail business center at this location with 125,000 square feet of floor area on an 18-acre site in portions of Planning Areas 3B and 14 of the Newport Coast Planned Community (PC 56). In 2001, the City of Newport Beach (City) annexed 7,799 acres of property known as the Newport Coast, including Crystal Cove. The Cooperative Agreement between the City and the County, dated October 9, 2009, stated that because the annexed area was subject to the California Coastal Act, State law provided that the County would retain jurisdiction to issue coastal development permits for the Coastal Zone Area, and that the City would assume land use authority over any Planning Area within twelve (12) months after the



Planning Area is fully improved. The transfer of land use authority for this tract occurred on March 18, 2009.

Although the land use authority was transferred to the City of Newport Beach, the Newport Coast Planned Community is governed by Newport Coast Planned Community Text and the County of Orange Zoning Code. As such, pursuant to County of Orange Zoning Code Section 7-9-150 (Discretionary Permits and Procedures) a changed plan or substantial conformance analysis must be conducted for changes to a previously approved project. Pursuant to County of Orange Code Section 7-9-150.3.h (Processing Procedures), a changed plan is defined as Plans that are changed from that approved by the approving authority may be submitted to the Director. If the Director determines that the proposed changed plan is a minor amendment of no significant effect, and complies with the spirit and intent of the original approving action, he or she may approve the changed plan without further compliance with section 7-9-150.

### **III. Proposed Changes**

The subject Zoning Clearance has been reviewed and the determination has been made that the proposed restaurant and changes are in substantial conformance with the original approval action by the County of Orange Planning Commission. The proposed changes are in compliance with the Orange County Zoning Code, the Newport Coast Planned Community Development Plan, and the existing entitlement for this commercial center.

The proposed changes are as follows:

- Eating and drinking establishment with a Type 41 (Beer and Wine) ABC License. The gross floor area of the suite is 1,472 square feet and the net public area is 592 square feet. The hours of operation will not extend beyond 10:00 a.m. to 11:00 p.m.
- Interior remodel includes relocation of fixtures and equipment, with associated electrical, mechanical, and plumbing.

### **APPEAL PERIOD**

The applicant or any interested party may appeal the decision of the Community Development Director and division staff to the Planning Commission by submitting a written appeal application to the Community Development Director within 14 days of the action date. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.



On behalf of Kimberly Brandt, Community Development Director

By:   
Fern Nueno, Assistant Planner

JC/fn

Attachments: CD 1 Vicinity Map  
CD 2 Project Plans



## VICINITY MAP

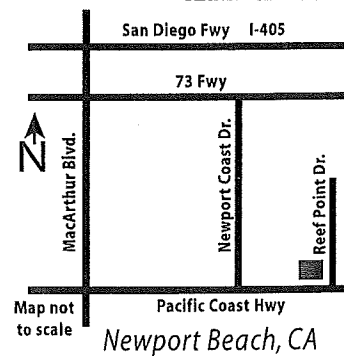
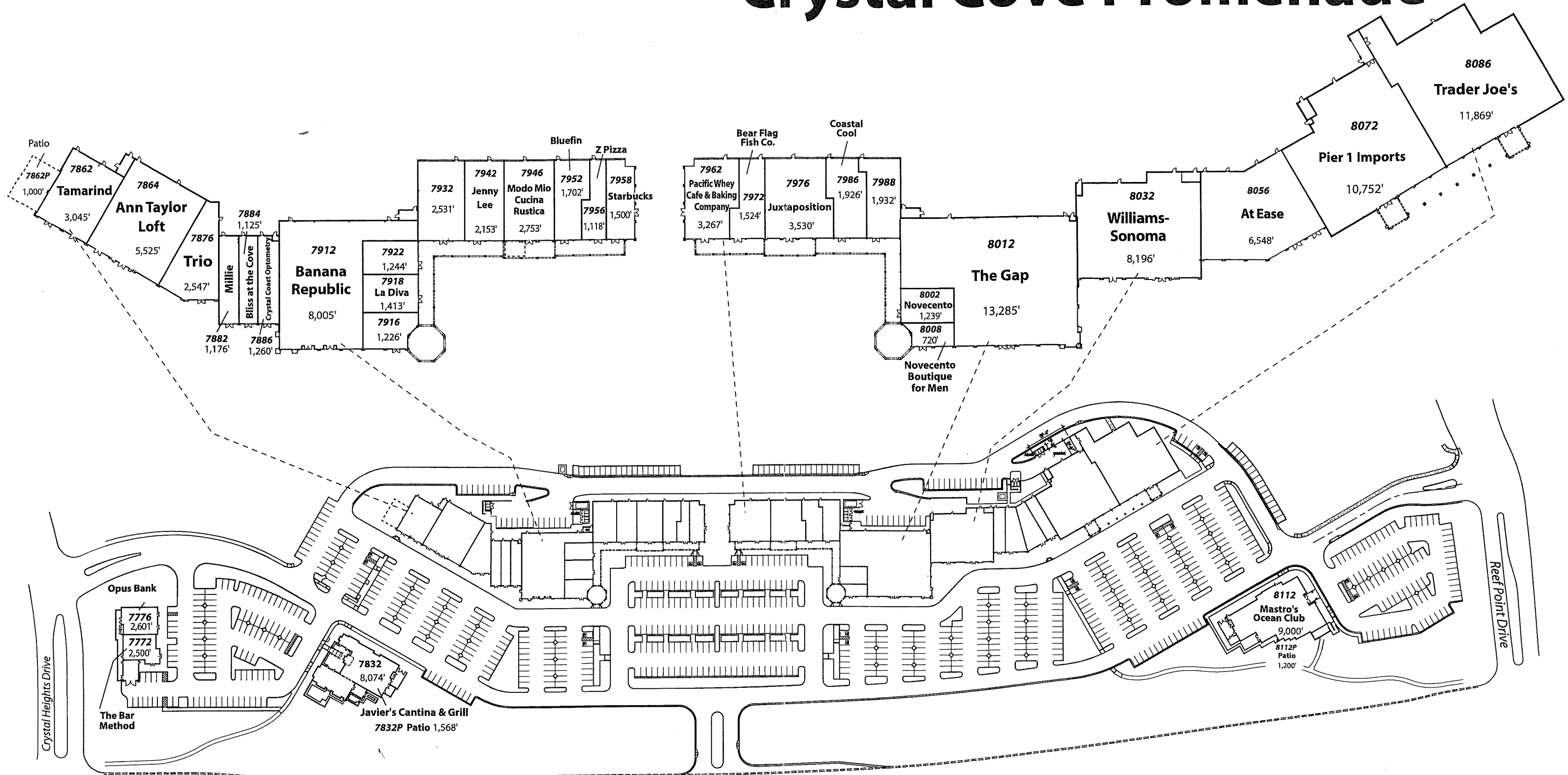


Staff Approval No. SA2011-020  
PA2011-160

**7972 East Coast Hwy**



# Crystal Cove Promenade



This is a schematic plan intended only to show the general layout of the Shopping Center and the approximate location of the Premises. Landlord, at any time, may change the shape, size, location, number and extent of the improvements shown hereon, as well as any additional improvements. Landlord may eliminate, add or relocate any improvements to any portion of the Shopping Center, including, without limitation, buildings, parking areas or structures, roadways, curb cuts, temporary or permanent kiosks, displays or stands, and may add land to and/or withdraw land from the Shopping Center. Plan not to scale. All properties offered for lease by Irvine Realty Company, a licensed real estate broker. Lic. 01521891

**IRVINE COMPANY** | **RETAIL PROPERTIES**  
Since 1864

PA2011-160 for SA2011-020  
7972 E. Coast Hwy  
Bear Flag Fish Company CC







C:\DataCAD X3Drawings\2011-13 Bear Flag - Thos Carson\Bear Flag04.aec

HEALTH DEPARTMENT NOTES	
1.	ALL EQUIPMENT SHALL MEET NSF STANDARDS (NATIONAL SANITATION FOUNDATION)
2.	WALL AS INSTALLED BY GENERAL CONTRACTOR SHALL BE NONABSORBENT EASILY WASH-ABLE SURFACE. LIGHT IN COLOR WITH A 70% LIGHT REFLECTIVE VALUE. SEE ARCHITECTURAL DRAWINGS FOR FINISH AND SPECIFICATIONS.
3.	CEILINGS AS INSTALLED BY GENERAL CONTRACTOR SHALL BE NONABSORBENT EASILY WASHABLE SURFACE. LIGHT IN COLOR WITH A 70% LIGHT REFLECTIVE VALUE. NON-PERFORATED VINYL ACOUSTICAL CEILING TILES WITH INTEGRAL WHITE POWDER COATED METAL CEILING GRID MAY BE USED AS APPROVED BY THE LOCAL ENVIRONMENTAL HEALTH DEPARTMENT OR GOVERNING AGENCY.
4.	FLOOR INSTALLED BY GENERAL CONTRACTOR SHALL BE NONABSORBENT EASILY WASHABLE WITH A 3/8" MINIMUM RADIUS COVE BASE AT THE FLOOR / WALL JUNCTURE AND EXTEND 4" TO 6" UP WALL. FLOORS SHALL SLOPE TO A FLOOR DRAIN ( 1:50 MINIMUM SLOPE ) PER LOCAL GOVERNMENT AGENCY HAVING JURISDICTION OVER PROJECT. SEE ARCHITECTURAL DRAWINGS FOR FINISH AND SPECIFICATIONS.
5.	POT SINKS SHALL BE FABRICATED OF QUALITY GRADE MINIMUM 14 GAUGE 300 SERIES TYPE STAINLESS STEEL, WITH THREE COVE SINK BOWLS LARGE ENOUGH TO ACCOMMODATE LARGEST KITCHEN UTENSIL, WITH DUAL DRAIN BOARDS AS LARGE AS THE LARGEST SINK COMPARTMENT.
6.	FOOD PREPARATION SINKS ARE REQUIRED SEPARATE FROM POT WASHING AND HAND SINKS. FOOD PREPARATION SINKS MUST HAVE AN INDIRECT WASTE TO A FLOOR SINK.
7.	ALL ICE MACHINES SHALL BE LOCATED WITHIN THE BUILDING IN AN EASILY CLEANABLE WELL VENTILATED AREA, AND SHALL HAVE AN INDIRECT WASTE TO A FLOOR SINK.
8.	ALL FOOD RELATED EQUIPMENT - FOOD SINKS, ICE MACHINE, REFRIGERATED EQUIPMENT, STEAM EQUIPMENT, COOKING EQUIPMENT, ETC. SHALL DRAIN TO A FLOOR SINK BY MEANS OF AN INDIRECT WASTE WITH A LEGAL AIR GAP. NOTE: SOME JURISDICTIONS THROUGHOUT THE STATE OF CALIFORNIA HAVE ADOPTED THE 2010 CALIFORNIA PLUMBING CODE, THESE JURISDICTIONS WILL REQUIRE THAT ALL UTENSIL AND POT WASHING SINKS SHALL BE CONNECTED DIRECTLY TO THE DRAINAGE SYSTEM.
9.	LIGHTING SHALL BE INSTALLED TO PROVIDE 50 FOOT CANDLES AT ALL FOOD PREPARATION AND WARE WASHING AREAS. 50 FOOT CANDLES OF LIGHT SHALL BE PROVIDED IN ALL WALK IN REFRIGERATION UNITS, DRY FOOD STORAGE AREAS, LAVATORY AND RESTROOMS, AND ALL FOOD SALES AREAS. ALL LIGHTING INSIDE EQUIPMENT SHALL BE OF SHATTERPROOF CONSTRUCTION OR SHALL BE PROTECTED WITH SHATTERPROOF SHIELDS AND SHALL BE EASILY CLEANABLE.
10.	PLUMBING CONTRACTOR SHALL SUPPLY AND INSTALL MIXING VALVES ON ALL KITCHEN BAR SINKS, HAND SINKS, AND ALL LAVATORIES FOR 110 DEGREE MAXIMUM HOT WATER SUPPLY. SEE ARCHITECTURAL AND PLUMBING DRAWINGS.
11.	APPROVED VENTILATION THROUGHOUT ALL KITCHEN, DISH WASHING, FOOD STORAGE ROOMS, RESTROOMS, AND CHANGING ROOMS SHALL BE PROVIDED REASONABLY FREE FROM EXCESSIVE HEAT, STEAM, CONDENSATION, SMOKE, VAPORS, ETC. AND A REASONABLE CONDITION OF COMFORT FOR ALL EMPLOYEES WORKING WITHIN THE FACILITY.
12.	ALL FOOD SERVICE EQUIPMENT, INCLUDING SHELVING, MUST BE SUPPORTED BY SIX (6) INCH HIGH, EASILY CLEANABLE LEGS, COMMERCIAL CASTORS, OR COMPLETELY SEALED IN POSITION WITH FOUR (4) INCH HIGH CONTINUOUSLY COVERED BASE OR CONCRETE CURB TO FACILITATE EASE OF CLEANING.

EQUIPMENT SCHEDULE													
EQUIPMENT				PLUMBING				ELECTRICAL					
ITEM NO.	QUANTITY	DESCRIPTION	MAKE & MODEL	COLD WATER	HOT WATER	WASTE	GAS - BTU	REMARKS	VOLTS	AMPS	PHASE	HORSE POWER	REMARKS
K01	1	STAINLESS STEEL THREE COMPARTMENT POT AND PAN SINK WITH TWO DRAIN BOARDS	EXISTING TO REMAIN REMOVE & RELOCATE	1/2"	1/2"	F.S.							
K02	1	36" WIDE x 18" DEEP THREE TIER SHELVING UNIT	"METRO" METROSEAL III 1636NK3										
K03	6	48" WIDE x 18" DEEP THREE TIER SHELVING UNIT	"METRO" METROSEAL III 1648NK3										
K04	1	60" WIDE x 18" DEEP THREE TIER SHELVING UNIT	"METRO" METROSEAL III 1660NK3										
K05	1	ICE CUBE MACHINE / ICE STORAGE BIN	"ICE-O-MATIC" MF6800 / 805						115 / 60	7.8	1	1-1/2	
K06	1	UNDERCOUNTER, SOLID DOOR FREEZER	"TRUE" TUC-60F						115 / 60	10.9	1	1/2	2 DOORS / 4 SHELVES
K07	1	EXISTING WALL MOUNTED HAND SINK WITH SOAP AND PAPER TOWEL DISPENSER	EXISTING TO REMAIN REMOVE & RELOCATE	1/2"	1/2"	1-1/2"		DIRECT WASTE					
K08	1	SOFT SERVE FREEZER	"TAYLOR" CT13									1-1/2	TWO DEDICATED ELECTRICAL CONNECTIONS ARE REQ'D
K09	1	72" W. X 30" D. STAINLESS STEEL WORK TABLE	"ADVANCE TABCO" MODEL #KSS-303										
K10	1	36" GAS RANGE, 6 BURNERS, 1 STANDARD OVEN	"WOLF" KFS-6J27										35,000 BTU / HR
K11	1	36" GAS CHARBROILER	"WOLF" AC838										108,000 BTU / HR
K12	1	STAINLESS STEEL THREE COMPARTMENT SINK WITH TWO DRAIN BOARDS											
K13	1	SERVICE STRAIGHT GLASS 72" FISH DISPLAY CASE	"KYSOR / WARREN" NS395J1						230 / 60	5.9			
K14	1	SERVICE STRAIGHT GLASS 66" FISH DISPLAY CASE	"KYSOR / WARREN" NS395J1						230 / 60	5.9			
K15	1	SELF-CONTAINED BACK BAR COOLER	"GLAS-TENDER" BB108						120 / 60	15			
K16	1	MULTI-DECK DRINK DISPLAY / COOLER	"KYSOR / WARREN" DN8LN						115 / 60	8.5	1		
K17	1	STAINLESS STEEL EXHAUST HOOD	"CAPTIVEAIRE" 4824ND-2-8 FT.										60,000 BTU / HR
K18	1	ELECTRICAL WATER HEATER	A.O. SMITH										
K19	1	36" WIDE AIR CURTAIN	BERNER INT. CORP.						115 / 60	7	1		
K20	1	STEEL LOCKERS WITH FIVE LOCKABLE DOORS	EXISTING TO REMAIN REMOVE & RELOCATE										
K21	1	FOOD PREP TABLE - SOLID DOOR SANDWICH UNIT	"TRUE" TSSU-72-16						115 / 60	10.5	1		
K22	1	CHEF BASE - DRAWERED REFRIGERATOR	"TRUE" TRCB-36						115 / 60	5.7	1		
K23	1	30" W. X 30" D. STAINLESS STEEL WORK TABLE	"ADVANCE TABCO" MODEL #KSS-										
K24	1	120" W. X 30" D. STAINLESS STEEL WORK TABLE	"ADVANCE TABCO" MODEL #KSS-					EXISTING DIRECT WASTE AND P-TRAP IN FLOOR TO REMAIN					
K25	1	STAINLESS STL. MOP SINK W/ HOSE BIBB & FAUCET	EXISTING TO REMAIN	1/2"	1/2"	2"							
K26	1	72" x 96" WALK-IN FREEZER	EXISTING TO REMAIN										
K27	1	NEW TRASH CAN	"RUBBERMAID" OR EQ.										
K28	2	POS UNITS (CASH REGISTER AND PRINTER)	BY OWNER						120 / 60	5	1		
K29	1	SALES COUNTER	CUSTOM MILLWORK AND DRAWINGS BY OTHERS						120 / 60	7	1		TWO CONVENIENCE OUTLETS AT 7.0 AMPS EACH
K30	1	OYSTER DISPLAY SINK	BY OWNER										
K31	1	GLASS SNEEZE GUARD	BY OWNER										
K32	1	LOBSTER TANK	BY OWNER										
K33													
K34													
K35													
K36													
K37													
K38													
K39													
K40													

FINISH SCHEDULE					
ROOM NAME	FLOOR	BASE	WALLS	CEILINGS	NOTES
FOOD PREP AREAS		QUARRY TILE CONTINUOUSLY COVERED UP THE WALLS AT LEAST SIX INCHES WITH A 3/8" INCH RADIUS COVE.	FIBERGLASS REINFORCED POLYESTER ( F.R.P. )	2' x 4' ACOUSTICAL TILES WITH A SMOOTH AND NONABSORBENT WITH AN EASILY CLEANABLE FINISH.	
FOOD SERVICE AREA (COUNTER)			FIBERGLASS REINFORCED POLYESTER ( F.R.P. )	ENAMEL PAINT OVER WATER-RESISTANT GYPSUM BOARD	
STORAGE AREA			FIBERGLASS REINFORCED POLYESTER ( F.R.P. )	2' x 4' ACOUSTICAL TILES WITH A SMOOTH AND NONABSORBENT WITH AN EASILY CLEANABLE FINISH.	
SCULLERY AREA			FIBERGLASS REINFORCED POLYESTER ( F.R.P. )	2' x 4' ACOUSTICAL TILES WITH A SMOOTH AND NONABSORBENT WITH AN EASILY CLEANABLE FINISH.	
RESTROOM(S)			TILE / GYPSUM BOARD	ENAMEL PAINT OVER WATER-RESISTANT GYPSUM BOARD	TILE TO 440" A.F.F.