



**CITY OF NEWPORT BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION ACTION REPORT**

**TO:** CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

**FROM:** Kimberly Brandt, Community Development Director  
Brenda Wisneski, Deputy Community Development Director

**SUBJECT:** Report of actions taken by the Zoning Administrator and/or Planning Division staff for the week ending December 6, 2013

---

**COMMUNITY DEVELOPMENT DIRECTOR  
OR PLANNING DIVISION STAFF ACTIONS**

Item 1: Rite Aid Comprehensive Sign Program – CS2013-014 (PA2013-216)  
3141 East Coast Highway

Action: Approved

Council District 6

**APPEAL PERIOD:** An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.



**COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION**

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915  
(949) 644-3200 Fax: (949) 644-3229

[www.newportbeachca.gov](http://www.newportbeachca.gov)

**ZONING ADMINISTRATOR ACTION LETTER**

**Application No.**            **Comprehensive Sign Program No. CS2013-014 (PA2013-216)**  
**Applicant**                **SignArt, Inc.**  
**Site Address**            **3141 East Coast Highway**  
**Legal Description**      **Parcel 1 of Lot Line Adjustment No. 97-07**

On **December 5, 2013**, the Zoning Administrator approved Comprehensive Sign Program No. CS2013-005, addressing signage for a single-story, single-tenant building. The intent of this program is to allow multiple signs for a single tenant and includes wall and freestanding signage.

A comprehensive sign program is required to allow the following deviations from the Zoning Code:

1. A wall sign on an additional secondary building frontage, where the Zoning Code allows two signs maximum for a building with single-tenant occupancy.
2. Installation of wall signs outside the middle 50 percent of a building frontage, where the Zoning Code requires walls signs to be located within the middle 50 percent of a building frontage.
3. An increase in allowed sign area to allow the additional secondary building frontage wall sign to be 45 square feet, where the Zoning Code allows a maximum sign area of 37.5 square feet.

The subject property is located within the Commercial Corridor (CC) Zoning District and the General Plan Land Use Element category is Corridor Commercial (CC). The property is located in the coastal zone and is designated as Corridor Commercial (0.0 – 0.75 FAR) (CC-B) by the Coastal Land Use Plan.

On site is an existing freestanding sign which is approximately 148 square feet in sign area where the Zoning Code permits a maximum of 75 square feet. Although the freestanding sign is recognized by the Comprehensive Sign Program, it is considered legal nonconforming and is subject to the requirements of Zoning Code Section 20.42.140 (Nonconforming Signs) including possible abatement.

This approval is based on the following findings and standards and subject to the following conditions.

## **FINDINGS AND STANDARDS FOR APPROVED SIGNS**

### Finding

- A. *The project is exempt from environmental review under the requirements of the California Environmental Quality Act pursuant to Section 15311, Class 11 (Accessory Structures).*

### Facts in Support of Finding

- A-1. Class 11 exempts minor structures accessory to existing commercial facilities, including signs. The proposed signs are incidental and accessory to the principal commercial use of the property and do not intensify or alter the use.

In accordance with Section 20.42.120 (Comprehensive Sign Program) of the Newport Beach Municipal Code, the following standards and facts in support of such standards are set forth:

### Standard

- B. *The proposed sign program shall comply with the purpose and intent of this Chapter [Chapter 20.42], any adopted sign design guidelines, and the overall purpose and intent of this Section [Section 20.42.120 – Comprehensive Sign Program].*

### Facts in Support of Standard

- B-1. The proposed Comprehensive Sign Program complies with the purpose and intent of Newport Beach Municipal Code Chapter 20.42 (Sign Standards) because it provides the single-tenant commercial building with adequate identification while guarding against an excessive proliferation of signage. It preserves and enhances community appearance by regulating the type, size, location, quantity, and illumination of signs. Through said regulations, the Comprehensive Sign Program will enhance the safety of motorists and pedestrians by minimizing the distraction of signs, as well as to protect the life, health, property, and general welfare of City residents and visitors.
- B-2. The purpose of a comprehensive sign program is to integrate all of a project's signs. A comprehensive sign program provides a means for the flexible application of sign regulations for projects that require multiple signs in order to provide incentive and latitude in the design and display of signs, and to achieve, not circumvent, the purpose of Chapter 20.42. This approval integrates all of the signs for the subject property while meeting the purpose and intent of Chapter 20.42.

- B-3. The Comprehensive Sign Program is consistent with the Citywide Sign Design Guidelines Manual because the proposed signs are designed to be compatible with the building design in terms of scale, size, and materials. As proposed, signs are designed to effectively communicate a commercial message without creating sign clutter through the use of legible text that contrasts with the background. The location and size of the signs do not dominate, but rather are consistent with the proportions of the façade on which they are located.
- B-4. The wall signs proposed will be located on walls where the architectural design of the building suggests placement of a sign. Proposed signs employ a consistent sign pattern in location and are designed to fit with the overall scale of the building and its relationship to East Coast Highway.

#### Finding

- C. *The proposed signs shall enhance the overall development, be in harmony with, and relate visually to other signs included in the Comprehensive Sign Program, to the structures and/or developments they identify, and to surrounding development when applicable.*

#### Facts in Support of Standard

- C-1. The site is developed with a single-story, single-tenant commercial building. Signs are designed to adequately identify the tenant. The number and location of signs will not contribute to an overabundance of signage that will have a detrimental effect on the neighborhood. The combination of wall signs placed on each primary building frontage will not exceed 75 square feet in area, the maximum allowed by the Zoning Code.
- C-2. All three wall signs integrate well with the character and architectural style of the building by maintaining consistency in location, sign height, and materials.
- C-3. Proposed signs will not obstruct public views from adjacent roadways because there are no public views through or across the subject property.
- C-4. The signs will not interfere with sight distance from any street, driveway, or parking area.

#### Finding

- D. *The sign program shall address all signs, including permanent, temporary, and exempt signs.*

#### Facts in Support of Standard

- D-1. The proposed Comprehensive Sign Program addresses all project signage. Temporary and exempt signs not specifically addressed in the sign program shall

be regulated by the provisions of Chapter 20.42 (Sign Standards) of the Zoning Code.

Finding

- E. *The sign program shall accommodate future revisions that may be required because of changes in use or tenants.*

Facts in Support of Standard

- E-1. The Comprehensive Sign Program establishes allowed type, number, location, and area of signage with flexibility to accommodate any future tenant(s).
- E-2. It is not anticipated that future revisions to the Comprehensive Sign Program will be necessary to accommodate changes in tenant(s) or use(s). However, the Community Development Director may approve minor revisions to the Comprehensive Sign Program if the intent of the original approval is not affected.
- E-3. The existing freestanding sign has a larger sign area than what is permitted by the Zoning Code and will remain legal nonconforming. Sign alterations and copy changes will be required to comply with the Zoning Code.

Finding

- F. *The program shall comply with the standards of this Chapter [Chapter 20.42], except that deviations are allowed with regard to sign area, total number, location, and/or height of signs to the extent that the Comprehensive Sign Program will enhance the overall development and will more fully accomplish the purposes and intent of this Chapter [Chapter 20.42].*

Facts in Support of Standard

- F-1. The Comprehensive Sign Program allows for deviations with regards to the number, location, and placement (outside of the middle 50 percent of the building frontage) of wall signs on a primary building frontage, and number and location of awning signs on a secondary building frontage. The approval conforms to all other standards of Zoning Code Chapter 20.42, and enhances the overall development by integrating all of the project's signs with the overall site and structure design into a unified architectural statement.
- F-2. Allowing deviation from the Zoning Code for an additional secondary frontage wall sign is appropriate, given the architectural design and orientation of the building. The building is situated on the corner of Larkspur Avenue and East Coast Highway. The proposed secondary wall sign location and related increase in sign area by 30 percent to 45 square feet allows for maximum visibility to pedestrians and passing motorists from East Coast Highway.

- F-3. Allowing deviation from the requirement that wall signs be located in the middle 50 percent of a building frontage is appropriate given the architectural design and modulation of the building frontage on which the signs are placed.
- F-4. Allowing deviation in the number of overall building signs enhances tenant identification by creating a uniform pattern of signs and does not result in a proliferation of signage.
- F-5. The number of signs is reasonable given the use of the structure, size, location, and orientation of the building.

Finding

- G. *The approval of a Comprehensive Sign Program shall not authorize the use of signs prohibited by this Chapter [Chapter 20.42].*

Facts in Support of Standard

- G-1. The Comprehensive Sign program does not authorize the use of prohibited signs.

Finding

- H. *Review and approval of a Comprehensive Sign Program shall not consider the signs' proposed message content.*

Facts in Support of Standard

- H-1. The Comprehensive Sign Program contains no regulations affecting sign message content.

**CONDITIONS**

1. All proposed signs shall be in substantial conformance with the approved plans, Comprehensive Sign Program Matrix Table, and provisions of Chapter 20.42 of the Newport Beach Municipal Code, unless otherwise indicated in the following conditions.
2. Anything not specifically approved by this Comprehensive Sign Program is prohibited.
3. A building permit shall be obtained prior to commencement of installation of the signs.
4. A copy of this letter shall be incorporated into the plan check sets of plans prior to issuance of building or sign permits.
5. Inclusion of the existing nonconforming freestanding sign in the Comprehensive Sign Program does not supersede Chapter 20.42 (Signs) of the Zoning Code.

Any alterations and/or maintenance to this sign shall comply with Section 20.42.140 (Nonconforming Signs) and is subject to abatement consistent with said section.

6. Illuminated signs shall be regulated in accordance with the provisions of Section 20.42.070 of the Newport Beach Municipal Code. If, in the opinion of the Community Development Director, existing illumination creates an unacceptable negative impact on surrounding land uses or sensitive habitat areas the Director may order the dimming of light sources or other remediation upon finding that the site is excessively illuminated.
7. The maximum height of any sign shall be 36 inches.
8. Signs shall be maintained in a clean and orderly condition.
9. The Community Development Director may approve revisions to the Comprehensive Sign Program if the intent of the original approval is not affected. Revisions that would substantially deviate from the original approval shall require approval of a new/revised comprehensive sign program by the Zoning Administrator.
10. Any future revisions or changes to the signs approved by this Comprehensive Sign Program due to a change in the use or tenants of the building shall be reviewed and approved by the Planning Division, so long as the sign size, copy configuration, and number of signs authorized by this approval does not substantially change or increase. The mandatory reduction or elimination of signs shall be exercised as necessary.
11. The Zoning Administrator may add to or modify conditions of this approval, or revoke this approval upon a determination that any sign that is authorized by this approval has been altered beyond the parameters of the authorization and therefore beyond the justification.
12. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.
13. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Rite Aid Comprehensive Sign Program including, but not limited to, Comprehensive Sign Program No. CS2013-014 (PA2013-216). This indemnification shall include, but not be limited to, damages awarded against the

City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

**APPEAL PERIOD:** An appeal may be filed with the Director of Community Development within 14 days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code. For additional information on filing an appeal, contact the Planning Division at (949) 644-3200.

On behalf of Brenda Wisneski, Zoning Administrator

By:

  
\_\_\_\_\_  
Benjamin M. Zdeba  
Assistant Planner

GR/bmz

Attachments:   ZA 1 Vicinity Map  
                      ZA 2 Sign Program Matrix  
                      ZA 3 Project Plans

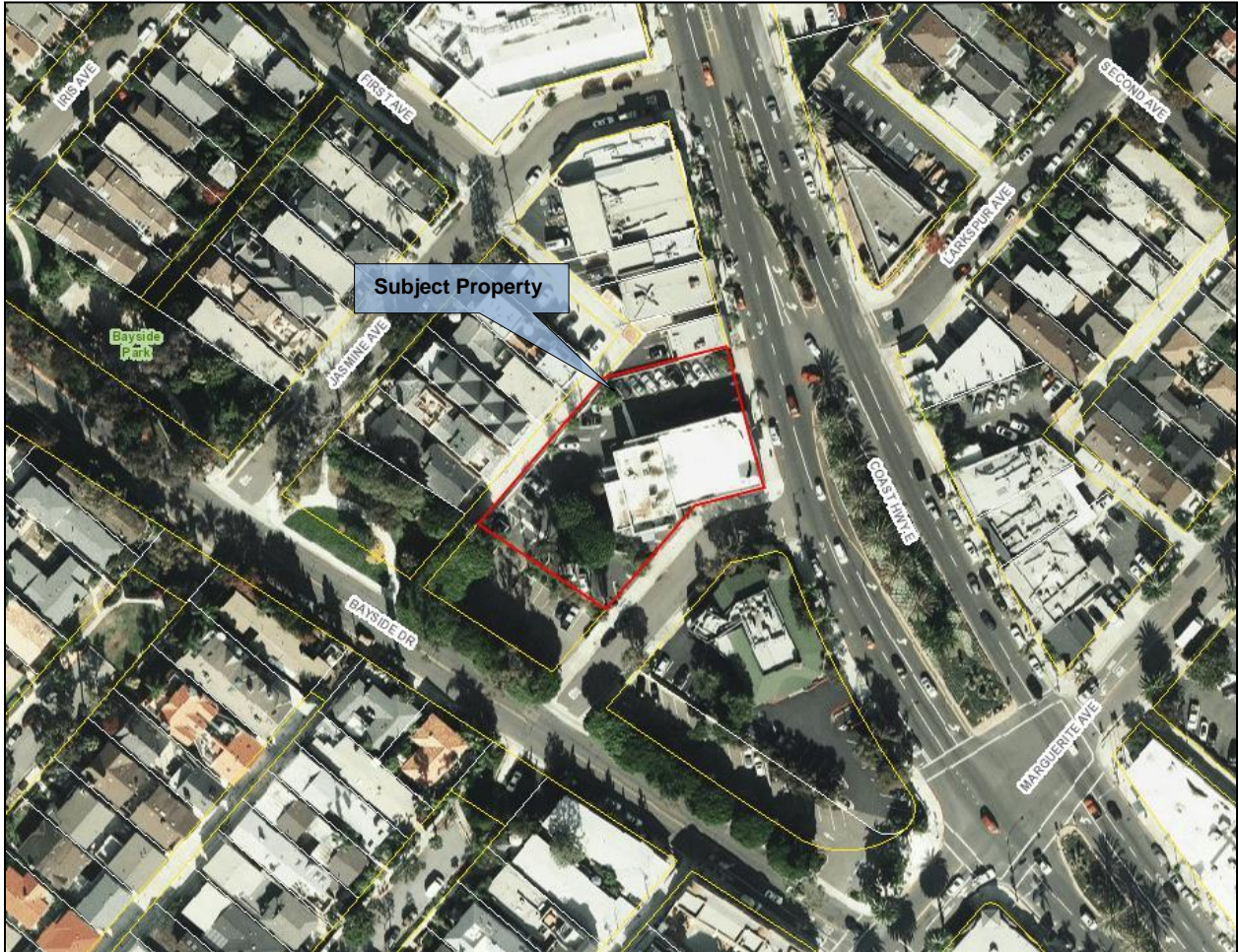


# **Attachment No. ZA 1**

Vicinity Map

# VICINITY MAP

Comprehensive Sign Program No. CS2013-016  
PA2013-216



**3141 East Coast Highway**

# **Attachment No. ZA 2**

Comprehensive Sign Program Matrix



## Rite Aid Comprehensive Sign Program Matrix Table

Community Development Department  
 Planning Division  
 100 Civic Center Drive, Newport Beach,  
 CA 92660  
 Telephone (949)644-3204 / Facsimile  
 (949)644-3229  
 www.newportbeachca.gov

Application No. Comprehensive Sign Program No. CS2013-014 (PA2013-216)

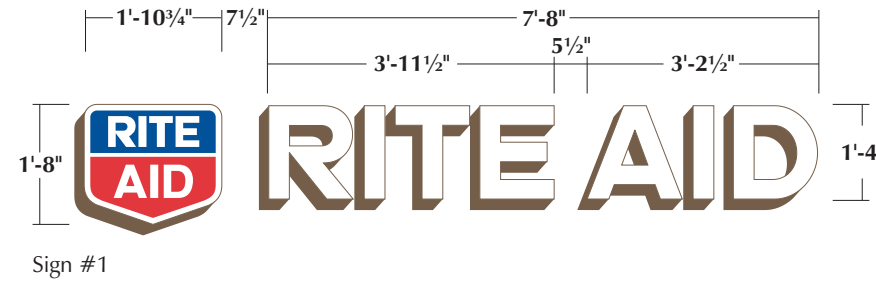
Site Address 3141 East Coast Highway  
 Rite Aid

Sign Type	PRIMARY FRONTAGE	SECONDARY FRONTAGE	SECONDARY FRONTAGE
	Building Elevation A (East Coast Highway)	Building Elevation B (Facing Parking/East Coast Highway)	Building Elevation C (Facing Parking/Opposite East Coast Highway)
<b>WALL</b>	Maximum number of signs: 1 (One) Maximum area: 75 square feet Maximum sign height: 36 inches Illumination: Yes	Maximum number of signs: 1 (One) Maximum area: 45 sq. ft. Maximum sign height: 36 inches Illumination: Yes	Maximum number of signs: 1 (One) Maximum area: 37.5 sq. ft. Maximum sign height: 36 inches Illumination: Yes
<b>FREESTANDING (EXISTING NONCONFORMING)</b>	Maximum number of signs: 1 (One) Maximum area: 147.86 square feet (existing) Maximum letter height: 36 inches Illumination: Yes		
<b>WINDOW</b>	Not Permitted		
<b>PROJECTING</b>	Not Permitted		
<b>TEMPORARY</b>	Shall be regulated by the provisions of Chapter 20.42.090 (Standards for Temporary Signs)		
<b>EXEMPT</b>	Shall be regulated by the provisions of Chapter 20.42.100 B (Exemptions to Sign Permit Requirement)		

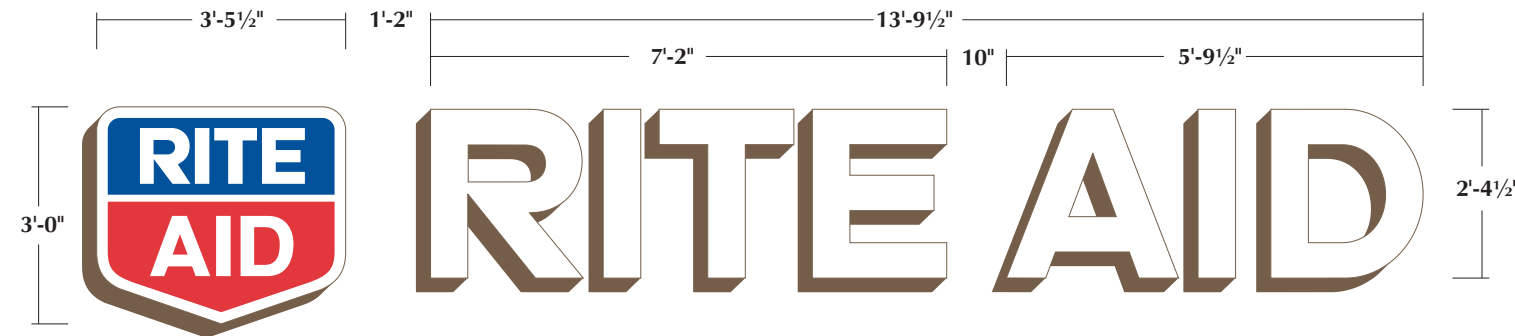
Notes: Wall signs are to be centered on walls on which they are located, consistent with plans approved as part of the Comprehensive Sign Program.

# **Attachment No. ZA 3**

Project Plans



1'-8" x 10'-2 1/4" = 16.98 Sq.Ft.



Sign #2

3'-1 1/2" x 19'-1 1/4" = 59.70 Sq.Ft.

**Signs (#1 & #2) — Illuminated Channel Letters**

**Scale: 3/8" = 1'-0"**

**Shield Logo** — Flat white polycarbonate face, U.L. labeled, aluminum logo can with 5" deep returns and 1" Jewelite trim painted GripGard semi-gloss to match SW 6083 Sable brown. Shield face to be overlaid with Calon #2283 red and #2870 blue pressure sensitive vinyl. 'Rite' and 'Aid' copy on shield to be weeded out to appear white. Shield to be illuminated using white LEDs powered by low voltage power supplies.

**'RITE AID' Letters** — Flat white polycarbonate faces, U.L. labeled, aluminum channel letters with 5" deep returns and 1" Jewelite trim painted GripGard semi-gloss to match SW 6083 Sable brown. Insides of letters to be painted with AKZO bright white reflective finish. Letters are illuminated using white LEDs powered by low voltage power supplies.

**Note:** Top of shield logo to be mounted in line with top of channel letters.



**Sign (#3) — Illuminated Channel Letters**

**Scale: 3/8" = 1'-0"**

2'-8" x 20'-10 1/2" = 42.14 Sq.Ft.

**Shield Logo** — Flat white polycarbonate face, U.L. labeled, aluminum logo can with 5" deep returns and 1" Jewelite trim painted GripGard semi-gloss to match SW 6083 Sable brown. Shield face to be overlaid with Calon #2283 red and #2870 blue pressure sensitive vinyl. 'Rite' and 'Aid' copy on shield to be weeded out to appear white. Shield to be illuminated using white LEDs powered by low voltage power supplies.

**'PHARMACY' Letters** — Flat white polycarbonate faces, U.L. labeled, aluminum channel letters with 5" deep returns and 1" Jewelite trim painted GripGard semi-gloss to match SW 6083 Sable brown. Insides of letters to be painted with AKZO bright white reflective finish. Letters are illuminated using white LEDs powered by low voltage power supplies.

**Note:** Top of shield logo to be mounted in line with top of channel letters.



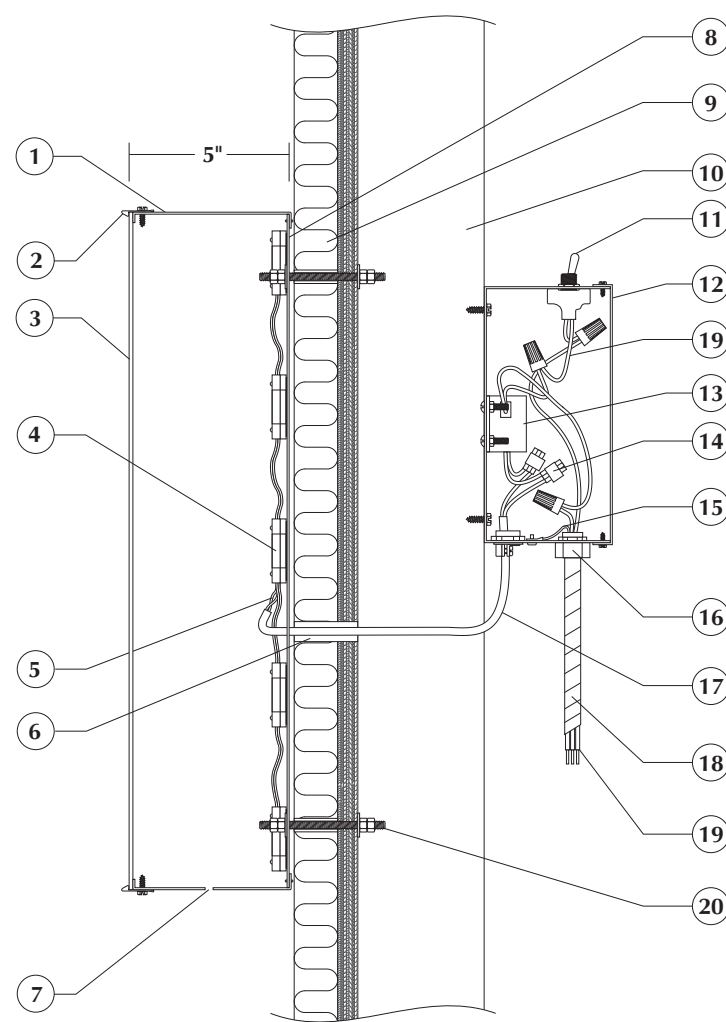
**Sign (#4) — Replacement Faces for Existing Illuminated Double Faced Pylon Sign**

**Scale: 3/8" = 1'-0"**

7'-1" x 20'-10 1/2" = 147.86 Sq.Ft.

New white FlexFaces overlaid with Calon #2870 blue pressure sensitive vinyl applied to first surface. White background is to be opaque allowing only copy to illuminate from internal sign cabinet florescent lighting system.

**Note:** Scuff, clean, prime and paint existing sign cabinet, retainer and support poles semi-gloss to match Benjamin Moore #996 Ashen Tan. Retainer size to be verified.



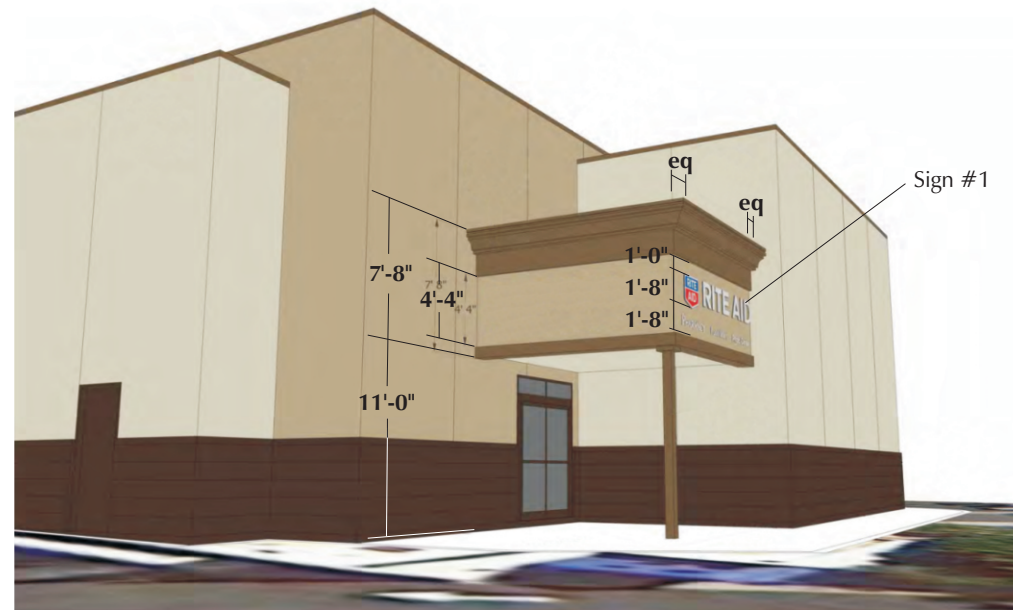
- ① .040 Aluminum letter sides painted GripGard semi-gloss to match SW 6083 Sable brown.
- ② 1" Jewelite trim cap painted to match SW 6083 Sable brown with #8 x 1/2" hex head screws as needed.
- ③ Flat white polycarbonate faces.
- ④ G.E. Tetra MAX LED system.
- ⑤ Low voltage wiring from power supply.
- ⑥ Pre-drilled low voltage electrical hole with 3/8" plastic grommet.
- ⑦ 1/4" Weep holes at low points of letters with internal light baffle.
- ⑧ .050 Aluminum letter back. Letter sides and backs stitched together and continuously siliconed.
- ⑨ Building facade; exact construction to be verified.
- ⑩ Vertical stud by others.
- ⑪ 20 Amp toggle disconnect (actual location to be on end of raceway, shown on top for drawing purposes only).
- ⑫ 4" x 8" x 18" JIC box.
- ⑬ Low voltage (12 volts) G.E. #GEPS12-60 LED power supplies (120 volt circuit required).
- ⑭ Secondary wiring low voltage connection to LED's with #054007-06128 Scotchlok connectors.
- ⑮ Ground wire permanently fixed to power supply box.
- ⑯ 1/2" Sealtite connector.
- ⑰ UL listed Belden #9409 1PR18 AWG wire.
- ⑱ 1/2" Sealtite conduit.
- ⑲ #12 THHN electrical primary wiring.  
White — Neutral  
Black — Feed  
Green — Ground
- ⑳ Letters mounted to facade with 3/8" stainless steel threaded rod, washers and nuts as needed. Exact fastener to vary with different facade/building construction.

Note: All penetrations to be sealed with 3M #1000 NS Fire Barrier, water tight, non-slump silicone sealant to meet NEC #300.21, ASTM #E814, UL #1479 & UL #2079 standards. Building dimensions and construction of facade to be verified by sign installer prior to installation of signs.

Illuminated Channel Letter Detail

Scale: 2" = 1'-0"





Elevation

Scale: 3/32" = 1'-0"

Note: Building dimensions to be verified prior to production.



Elevation

Scale: 3/32" = 1'-0"

Note: Building dimensions to be verified prior to production.

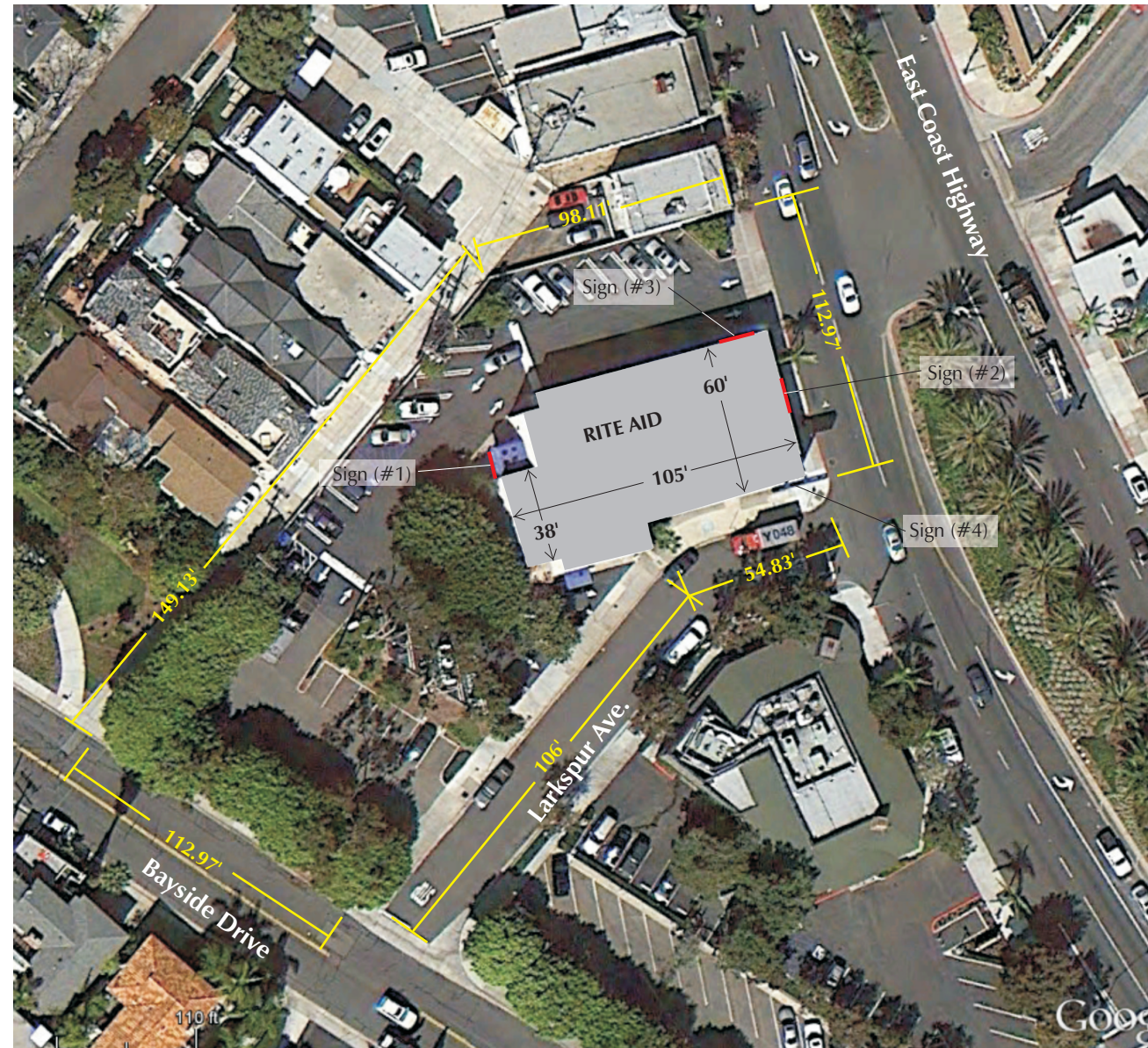
Rite Aid #6207 — 3141 East Coast Highway, Corona Del Mar, CA

This is an original unpublished drawing, submitted for your use in connection with a project being planned for you by SignArt. It is not to be reproduced, copied or exhibited in any fashion without written permission of SignArt.

©2013

CA,ra6207

Approved for: \_\_\_\_\_ By: \_\_\_\_\_ Date: \_\_\_\_\_



Site Plan

Scale: None



Rite Aid #6207 — 3141 East Coast Highway, Corona Del Mar, CA

This is an original unpublished drawing, submitted for your use in connection with a project being planned for you by SignArt. It is not to be reproduced, copied or exhibited in any fashion without written permission of SignArt.

©2013

CA,ra6207

Approved for: \_\_\_\_\_ By: \_\_\_\_\_ Date: \_\_\_\_\_