



**CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION
FROM: Kimberly Brandt, Community Development Director
Brenda Wisneski, Deputy Community Development Director
SUBJECT: Report of actions taken by the Zoning Administrator and/or Planning Division staff for the week ending December 20, 2013

**COMMUNITY DEVELOPMENT DIRECTOR
OR PLANNING DIVISION STAFF ACTIONS**

Item 1: Tally Residence Staff Approval No. SA2013-014 (PA2013-241)
127 25th Street

Action: Approved

Council District 1

APPEAL PERIOD: An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
(949) 644-3200 Fax: (949) 644-3229

www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER

APPLICATION: Staff Approval No. SA2013-014 (PA2013-241)

APPLICANT: Dave Tally

LOCATION: 127 25th Street

LEGAL DESCRIPTION Lot 22 of Block 25 of the Newport Beach Tract

On December 20, 2013, the Community Development Director approved Staff Approval No. SA2013-014, finding the alteration and enclosure of an existing carport space in substantial conformance with Use Permit No. UP2005-037 for a single-family residence that is legal nonconforming due to setback encroachments and substandard parking (size and number). This approval is based on the findings and subject to the following conditions.

ZONING DISTRICT/GENERAL PLAN

- **Zone:** R-1 (Single-Unit Residential)
- **General Plan:** RS-D (Single-Unit Residential Detached)

BACKGROUND

The existing single-family residence on the subject property was constructed in the early 1900s prior to the adoption of the City's Zoning Ordinance. Since the structure was built with side setbacks of less than three feet and no parking areas, it is considered legally nonconforming due to setback encroachments and substandard parking.

In August 2005, Planning Director's Use Permit No. UP2005-037 was issued to allow removal of first floor square footage to add square footage on the second floor over a new single-car garage and a single-car carport (two spaces total). This work was permitted and constructed under building permit B2005-3100.

PROPOSED CHANGES

The property owner proposes to alter the existing single-car garage by demolishing the westerly wall and relocating it further west towards the property line by approximately 7

feet, 8 inches. This change will create a two-car garage that is in conformance with not only the minimum interior dimensions (17 feet, 6 inches in width by 19 feet in depth) required by Zoning Code Section 20.40.090 (Parking Standards for Residential Uses), but also the number and type of parking spaces required by Section 20.40.040 (Off-Street Parking Spaces Required). The proposed construction will comply with all other Zoning Code required development standards.

FINDINGS

Pursuant to Section 20.54.070, the Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of the approved use, without a public hearing, and waive the requirement for a new use permit application. This staff approval is based on the following findings and facts in support of the findings. In this case, the Director determined the proposed changes:

Finding:

A. The project is in compliance with the California Environmental Quality Act.

Facts in Support of Finding:

1. The project has been determined to be categorically exempt under the Guidelines of the California Environmental Quality Act under Class 1 (Existing Facilities).
2. The Class 1 exemption allows minor additions to existing single-family residences. The proposed change will add approximately 150 square feet.

Finding:

B. Are consistent with all applicable provisions of this Zoning Code.

Facts in Support of Finding:

1. The proposed change will bring the property into conformance with the parking requirements prescribed by Chapter 20.40 (Off-Street Parking) of the Zoning Code by providing two enclosed garage parking spaces.
2. The proposed change will comply with all pertinent development standards of the Zoning Code.

Finding:

C. Do not involve a feature of the project that was a basis for or subject of findings or exemptions in a negative declaration or Environmental Impact Report for the project.

Facts in Support of Finding:

1. The proposed change does not alter the use of the property and brings the structure into conformance with the current Zoning Code standards for parking.
2. The project was exempt from the California Environmental Quality Act (CEQA) under Class 1 (Existing Facilities) of the CEQA Guidelines and did not require further environmental analysis. The proposed changes maintain the same exemption.

Finding:

D. Do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.

Facts in Support of Finding:

1. The conditions of approval require that two-car parking be maintained by way of the single-car garage and single-car carport. The proposed change will maintain two-car parking; however, it will be provided by way of a Zoning Code compliant two-car garage.
2. The proposed change is in substantial conformance with the original Planning Director's Use Permit approval.

Finding:

E. Do not result in an expansion or change in operational characteristics of the use.

Facts in Support of Finding:

1. The proposed change will not alter the use of the property as a single-family residence and will improve the off-street parking such that it complies with the Zoning Code.

DETERMINATION

This staff approval has been reviewed and determined that the proposed changes to the building interior and exterior facades are in substantial conformance with the current applicable approvals.

CONDITIONS OF APPROVAL

1. The development authorized by this staff approval shall be in substantial conformance with the approved project plans.
2. All new construction shall comply with the applicable Zoning Code standards.

3. A building permit shall be obtained prior to commencement of the construction. A copy of this approval letter shall be incorporated into both the Building Division and field sets of plans prior to issuance of the building permits.
4. A copy of the action letter shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.
5. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Tally Residence Staff Approval including, but not limited to, the Staff Approval No. SA2013-014 (PA2013-241). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD

An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

On behalf of Kimberly Brandt, AICP, Community Development Director



Benjamin M. Zdeba
Assistant Planner

GR/bmz

Attachments:

- CD 1 Vicinity Map
- CD 2 Planning Director's Use Permit No. UP2005-037
- CD 3 Project Plans

Attachment No. CD 1

Vicinity Map

VICINITY MAP



Staff Approval No. SA2013-014
PA2013-241

127 25th Street

Attachment No. CD 2

Planning Director's Use Permit No. UP2005-037



USE PERMIT NO. UP2005-037
(PA2005-159)

PLANNING DEPARTMENT
3300 NEWPORT BOULEVARD
NEWPORT BEACH, CA 92663
(949) 644-3200; FAX (949) 644-3229

Staff Person: Javier S. Garcia, 644-3206
Appeal Period: 14 days after approval date

August 5, 2005

David Mojadidi
18 Lake Pine
Irvine, CA 92620

**Application: Planning Director's Use Permit No. UP2005-037
(PA2005-159)**

Applicant: David Mojadidi

Site Address: 127 25th Street

Legal Description: Lot 22, Block 25, Newport Beach Tract

Request as Modified and Approved:

To allow an addition of up to 75% of the existing building square footage to an existing, non-conforming building. The existing single-family dwelling is non-conforming since it encroaches up to 2 feet into the 3-foot side yard setbacks. The new ground-floor and second-floor additions will maintain the Code-required 3-foot side yard setbacks. The project entails the removal of a portion of the existing building and the construction of a new two-car garage to serve the single-family dwelling. The property is located in the R-1 District.

Director's Action: Approved, August 5, 2005

The Planning Director, in approving this application, reviewed issues such as the extent of the structural elements to be demolished in relation to the total amount of structural elements of all structures on the site. In consideration of those aspects, the Planning Director determined, in this case, that the proposal would not be detrimental to persons, property or improvements in the neighborhood. The Use Permit, as approved, would be consistent with the legislative intent of Title 20 of the Newport Beach Municipal Code based on the following findings:

FINDINGS:

1. The Land Use Element of the General Plan and Local Coastal Program Land Use Plan designate the site for "Single-Family Residential" use. The existing single-family dwelling is a permitted use within this designation.
2. This project has been reviewed, and it has been determined that it is categorically exempt from the requirements of the California Environmental Quality Act under Class 1 (Existing Facilities).
3. In accordance with the provisions of the Municipal Code, the project as approved, complies with the required findings of Section 20.91.035 A for the following reasons:
 - The proposed location of the use is in accord with the objectives of this code and the purposes of the district -in which the site is located- since the single-family dwelling, a permitted use in the R-1 District, will remain on-site.
 - The proposed location described in this Use Permit and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan and the purpose of the district in which the site is located. In addition, it will not be detrimental to the public health, safety, peace, morals, comfort, or welfare of persons residing or working in or adjacent to the neighborhood of such use. Furthermore, it will not be detrimental to the properties or improvements in the vicinity or to the general welfare of the city. The new addition to the single-family dwelling will comply with the development standards of the R-1 District with the exception of the existing building side walls that will remain within 1-foot 6-inches of the side property lines. All new construction will comply with the development standards of the R-1 District.
 - The proposed use will comply with the provisions of this code, including any specific condition required for the proposed use in the district in which it would be located because the single-family use, a permitted use in the R-1 District, will remain and be provided the Code-required number of parking spaces. All new construction will comply with the development standards of the R-1 District.
4. In accordance with the provisions of the Municipal Code, the project as approved, complies with the required findings of Section 20.62.040 F for the following reasons:
 - The cost of the remodel and addition is minor in comparison to the value of the existing nonconforming condition because the area of nonconformity is part of the structural integrity of the existing dwelling, since it is the entire building.

August 5, 2005

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- The cost of correcting the nonconforming condition would exceed the cost of making the addition, since the entire building would have to be torn down and reconstructed.
 - Retention of the nonconforming condition is necessary to maintain reasonable use of the structure because the entire building would have to be demolished to comply with the side yard setback requirements.
 - The addition and remodel does not increase the structure's inconsistency with the regulations of the Zoning Code because the structure meets all other development standards for the R-1 Zoning District with the addition of the two-car parking, where no conforming parking exists.
5. The approval of Use Permit No. UP2005-037 will not, under the circumstances of this case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of the City for the following reasons:
- The addition and remodel will comply with all the provisions of the R-1 District regulations, with the exception of the above-approved modifications that are required due to the nonconforming status of the building related to side yard setbacks.
 - The addition and remodel will allow for a dwelling that is similar to other structures in the neighborhood and enhance the aesthetics of the neighborhood.
 - The remodel and addition provides a minimum of two parking spaces for the single-family dwelling to remain.
 - Construction of the new garage, open parking space and second-floor addition will maintain the required setbacks and comply with all development regulations of the Zoning Code.
 - The new addition will provide two parking spaces for the existing single-family dwelling where no covered parking spaces are currently provided.
 - The location of the new garage and open parking space adjacent to the alley will provide improved vehicular maneuverability within the alley because it is proposed to be setback a minimum of 5 feet from the rear property line.

CONDITIONS:

1. Development shall be in substantial conformance with the approved site plan, floor plan and elevations.
2. The proposed second-floor addition shall comply with the required 3-foot side yard setback requirements of the R-1 District. The remainder of the structure shall comply with the development standards of the R-1 District, including height, open space, etc.

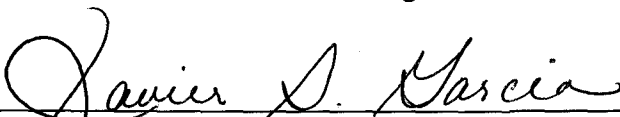
August 5, 2005

3. The enclosed on-site garage space and open carport space shall be provided and remain accessible for the parking of vehicles at all times. The clear interior dimensions of the garage parking space and the carport parking space shall comply with the Zoning Code requirements.
4. The single-car garage shall be used for the parking of vehicles only and not for storage purposes.
5. The overall addition to the existing single-family dwelling shall be limited to a maximum of 767 square feet (75% of the existing gross square footage of the existing structure located on-site). This square footage includes the gross floor area of the enclosed garage. The final determination of the overall structural square footage shall be verified by the Planning Department, during the review of construction drawings submitted for plan check to the Building Department.
6. Prior to issuance of building permits for the new construction or demolition, a detailed demolition plan shall be submitted with the construction drawings depicting the extent of the demolition. Any deviation from the approved demolition plan shall be subject to review and approval by the Planning Department. If portions of the existing structure are demolished and exceed the maximum allowed by the demolition plan, then this use permit approval shall become null and void, unless otherwise approved by the Planning Dept or the Planning Director.
7. This approval shall expire unless exercised within 24 months from the end of the appeal period.

APPEAL PERIOD

The decision of the Planning Director may be appealed by the applicant or any interested party to the Planning Commission within 14 days of the date of the decision. A filing fee of \$975.00 shall accompany any appeal filed. Please contact the Planning Department at the number above for fee information.

PATRICIA L. TEMPLE, Planning Director

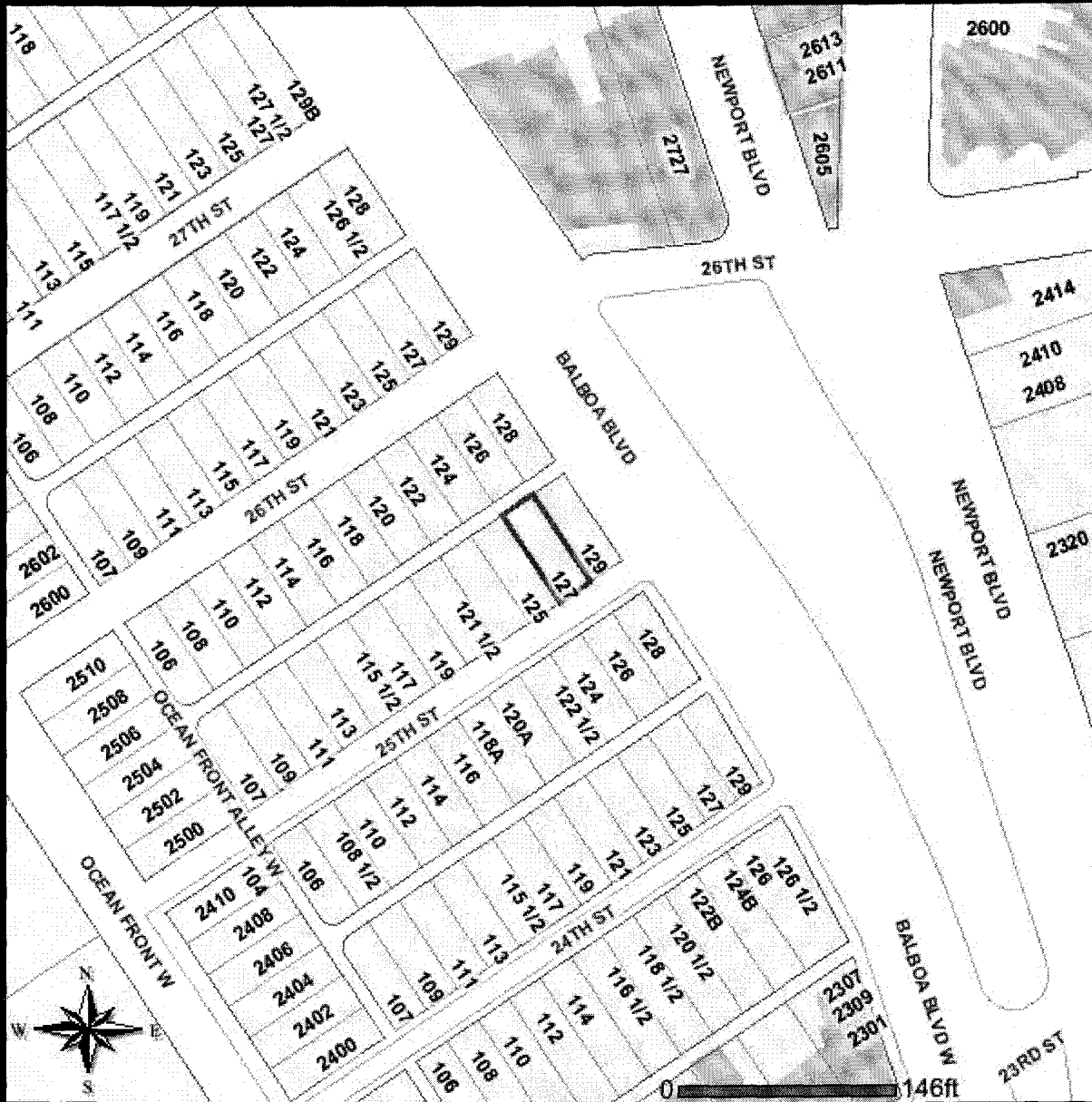
By 
Zoning Administrator Javier S. Garcia, AICP

Attachments: Appendix
Vicinity Map
Site Plan
Floor Plans

cc:
Code Enforcement Officer

August 5, 2005

VICINITY MAP



Planning Director's Use Permit No. UP2005-037
(PA2005-159)

127 25TH STREET

August 5, 2005

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APPENDIX

Background

The building is currently nonconforming with regard to setbacks and parking. The addition of a single-car garage and an open parking space will comply with the Zoning Code requirements for two-car parking.

The main dwelling located on the property was constructed with no on-site parking, since there was no parking requirement at that time. Although there is space behind the building for an uncovered parking space, the Zoning Code requires a minimum of two car parking; one covered parking space and the second required parking space can be covered or uncovered.

In reviewing the project, it was determined by staff, that the amount of work proposed would exceed the 50% alteration of the structural elements and requires the approval of a Use Permit by the Planning Director. Additionally, the proposed expansion of the building by 75% of the existing gross floor area is also subject to the Use Permit requirement.

Use Permit No. UP2005-037

20.91.035 A Required Findings

The Planning Commission or the Planning Director, as the case may be, shall approve or conditionally approve an application for a use permit or variance if, on the basis of the application, plans, materials, and testimony submitted, the Planning Commission or the Planning Director finds:

A. For Use Permits.

1. That the proposed location of the use is in accord with the objectives of this code and the purposes of the district in which the site is located.

Finding: The single family dwelling, a permitted use in the R-1 District, will remain on-site.

2. That the proposed location of the Use Permit and the proposed conditions -under which it would be operated or maintained- will be consistent with the General Plan and the purpose of the district in which the site is located; will not be detrimental to the public health, safety, peace, morals, comfort, or welfare of persons residing or working in or adjacent to the neighborhood of such use; and will not be detrimental to the properties or improvements in the vicinity or to the general welfare of the city.

Finding: The new addition to the single family dwelling will comply with the development standards of the R-1 District with the exception of the existing building side walls that will remain within 1-foot 6-inches of the side property lines. All new construction will comply with the development standards of the R-1 District.

3. That the proposed use will comply with the provisions of this code, including any specific condition required for the proposed use in the district in which it would be located.

Finding: The single family use, a permitted use in the R-1 District, will remain and be provided the Code required number of parking spaces. All new construction will comply with the development standards of the R-1 District.

20.62.040 F Required Findings

An increase of up to 75 percent of the gross floor area within any 12 month period may be permitted upon the approval of a use permit by the Planning Director, subject to the following findings and provisions contained in Section 20.62.040 (F).

The nonstructural alterations throughout the building are minor room changes and change of living area to garage area. Section 20.62.040 (F) states, "that a use permit required for the alteration of a nonconforming structure may be approved only if the following findings are made in addition to those findings specified in Chapter 20.91:

1. The cost of the improvements to be made is minor in comparison to the value of the existing nonconforming condition.

Finding: The cost of the remodel and addition is minor in comparison to the value of the existing nonconforming condition because the area of nonconformity is part of the structural integrity of the existing dwelling since it is the entire building.

August 5, 2005

2. The cost of correcting the nonconforming condition would exceed the cost of the other alterations proposed.

Finding: The cost of correcting the nonconforming condition would exceed the cost of making the addition since the entire building would have to be torn down and reconstructed.

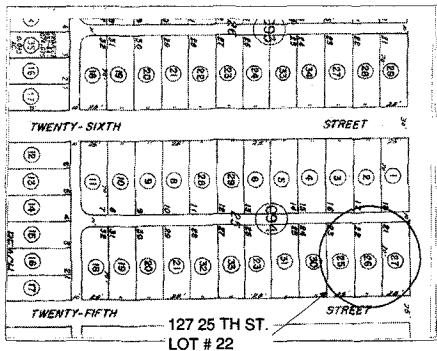
3. Retention of the nonconforming condition is necessary to maintain reasonable use of the structure.

Finding: Retention of the nonconforming condition is necessary to maintain reasonable use of the structure because the entire building would have to be demolished to comply with the side yard setback requirements.

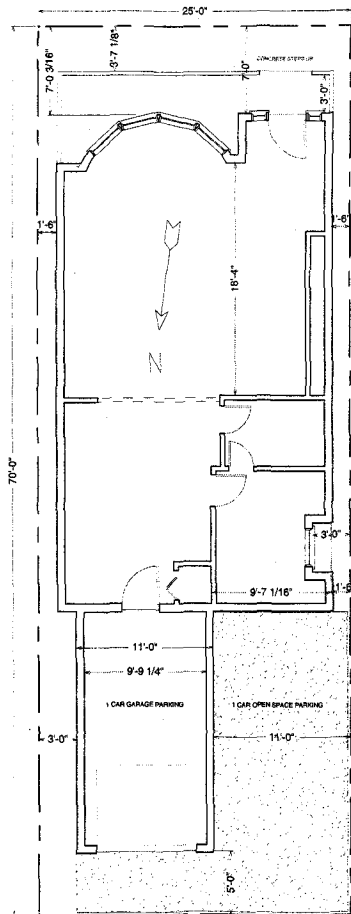
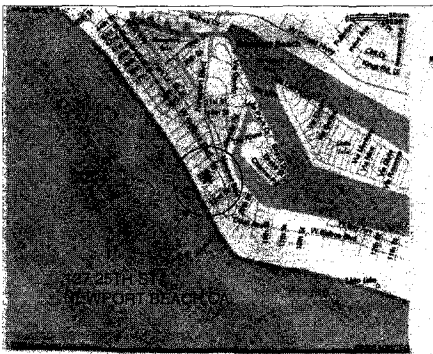
4. The alteration does not increase the structure's inconsistency with the regulations of the Zoning Code.

Finding: The addition and remodel does not increase the structure's inconsistency with the Zoning Code regulations because the structure meets all other development standards for the R-1 Zoning District with the addition of the two-car parking, where no conforming parking exists.

ASSESSORS MAP



VICINITY MAP



PLOT PLAN
SCALE: 1/4" = 1'-0"

PROJECT DATA

OWNER: LEILA MOJADIDI

LEGAL DESCRIPTION: PARCEL ID # 04709426
BOOK 3 PAGE 26
LOT 22 BLOCK 25
125 25TH ST, NEWPORT BEACH
CALIFORNIA 92663

PROJECT DESCRIPTION: EXISTING 1023 SQ FT. RESIDENCE.
REMOVE 205 SQ FT.
ADD 209 SQ FT. GARAGE.
SECOND STORY ADDITION OF 733 SQ FT.
ABOVE EXISTING RESIDENCE.

DESIGN TEAM:
CONSTRUCTION SERVICES
6612 WRENFIELD DRIVE
HUNTINGTON BEACH, CA. 92647
CONTACT: EARL KNOWLTON
TEL: 714 473 2015 FAX: 714 848 6406

STRUCTURAL ENGINEERING:
LEE LEAVITT AND ASSOCIATES
DOWNEY, CA.
TEL: 562 862 7291

ZONE: RESIDENTIAL 1

OCCUPANCY: 1

LOT SIZE: 1750 SQ FT.

TOTAL BUILDING AREA: 988.5 SQ FT.

BUILDING COVERAGE: 57%

SETBACK NOTE:

DISTANCE FROM PROPERTY LINE TO WALL FINISH TO BE ZONING SETBACK.

INDEX OF DRAWINGS

- A1 SITE PLAN
- A2 EXISTING PLOT PLAN
- A3 NEW FLOOR PLANS
- A4 ELEVATIONS/SECTIONS

FILE COPY

REVISED DATE

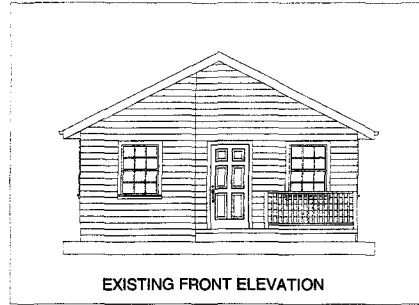
127 25 TH STREET
NEWPORT BEACH, CA.

OWNER: MOJADIDI
18 LAKE PINE
IRVINE, CA. 92620
DESIGNER: CONSTRUCTION SERVICES
6612 WRENFIELD DRIVE
HUNTINGTON BEACH, CA. 92647
714.473.2015



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SITE PLAN

PA2005-159 for UP2005-037
127 25TH STREET
DATE OF MEETING: -

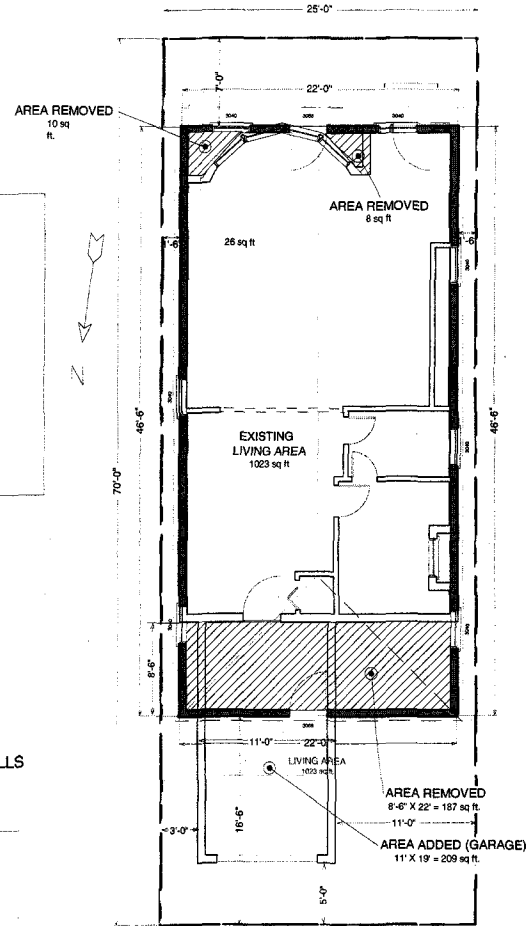


NEW CONSTRUCTION PROPERTY
SETBACK TO WALL FINISH.
NO NEW CONSTRUCTION SHALL
CONTINUE ANY NONCONFORMING
STRUCTURES.

-  - EXISTING WALLS
-  - PROPOSED NEW WALLS

SQUARE FOOTAGE LEGEND

EXISTING SQ. FT.	1023 sq ft.
LIVING AREA REMOVED	206 sq ft.
LIVING AREA ADDED	733 sq ft.
GARAGE ADDED	209 sq ft.
TOTAL LIVING AREA	1551 sq ft.
TOTAL AREA W/ GARAGE	1760 sq ft.

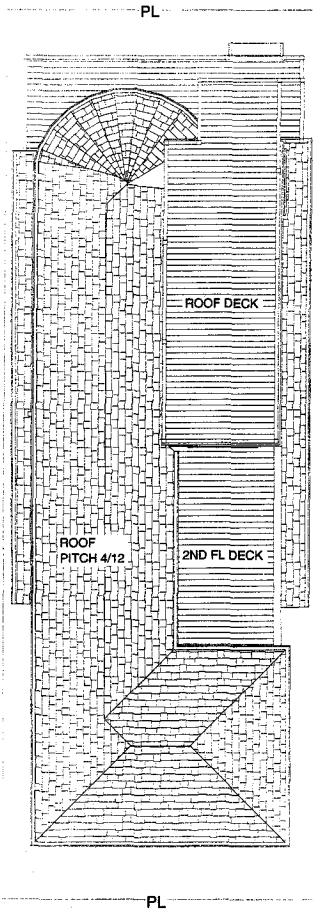


127 25 TH STREET
NEWPORT BEACH, CA.

OWNER: MOJIDI
18 LAKE PINE
IRVINE, CA. 92620
DESIGNER: CONSTRUCTION SERVICES
6812 WRENFIELD DRIVE
HUNTINGTON BEACH, CA. 92647
714.473.2015

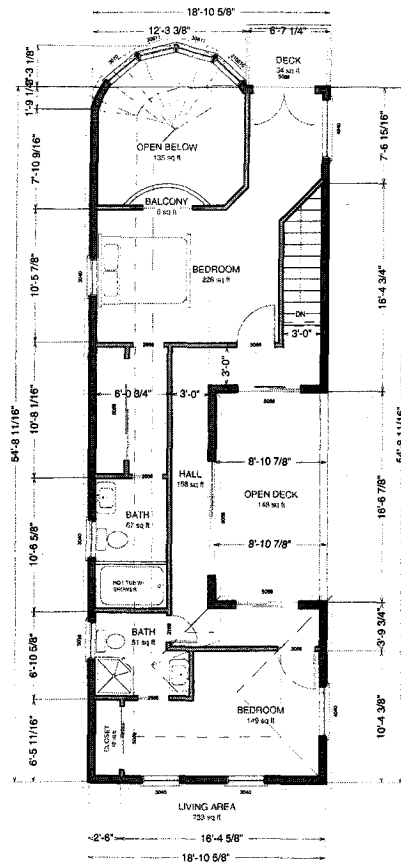
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EXISTING
PLOT PLAN
PROPOSED
CHANGES



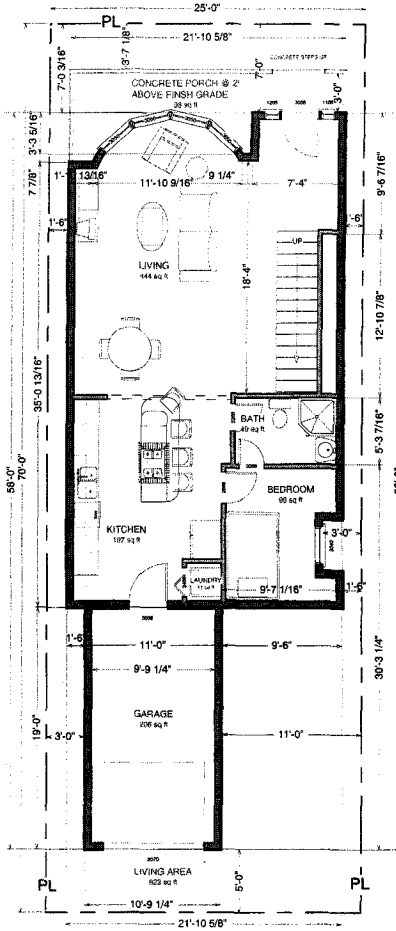
ROOF PLAN

1/4" = 1'-0"



SECOND FLOOR PLAN

1/4" = 1'-0"



FIRST FLOOR PLAN

1/4" = 1'-0"

REVISED DATE

127 25 TH STREET
NEWPORT BEACH, CA.

OWNER: MOJIDI
18 LAKE PINE
IRVINE, CA. 92620
DESIGNER: CONSTRUCTION SERVICES
8612 WRENFIELD DRIVE
HUNTINGTON BEACH, CA. 92647
714 473 2015

A3

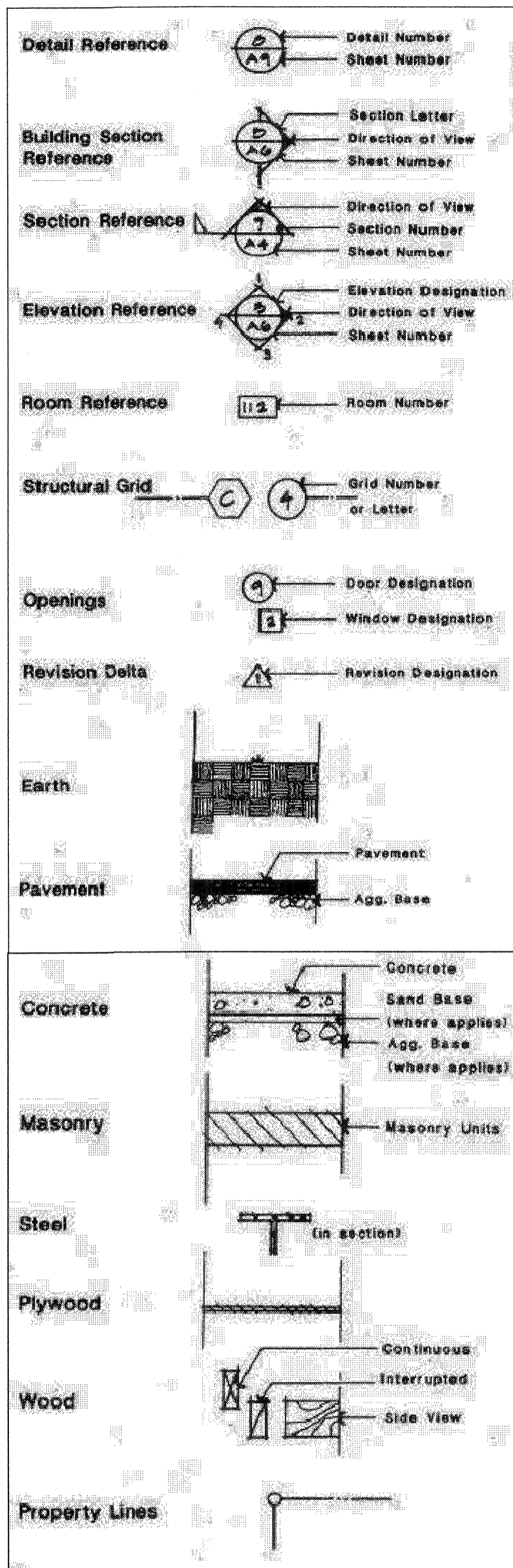
FLOOR PLANS

1/4" = 1'-0"

Attachment No. CD 3

Project Plans

ALUM.	Aluminum	DR.	Door	MR.	Manicapped	PLAS.LAM.	Plastic Laminate
A.C.	Asphaltic Concrete	DWG.	Drawing	HDCP.	Handicapped	PT.	Point
ACOUS.	Acoustic	D.S.	Downspout	I.D.	Inside Diameter	P.P.	Power Pole
ADJ.	Adjustable	DWR.	Dumbwaiter	IN.	Inch	P.O.C.	Point of Connection
A.P.	Access Panel	DWR.	Drawer	INCL.	Include or Inclusive	P.T.D.F.	Pressure Treated Douglas Fir
A.F.F.	Above Fin. Fir.	E.W.C.	Electric Water Cooler	INFO.	Information	QUAL.	Quality
APPD.	Approved	E.G.	Existing Grade	INS.	Insulate	R.W.	Radwood
APPROX.	Approximate	EA.	Each	INSTL.	Install	RAD.	Radius
ARCH.	Architecture or Architectural	E.D.F.	Electrical Drinking Fountain	INT.	Interior	R.	Riser
AVE.	Avenue	ELEC.	Electric	INTL.	Inset	RD.	Road
A.B.	Anchor Bolt	ELCV.	Elevation	JST.	Joint	R.D.	Roof Drain
ABV.	Above	ENGR.	Engineer	JNT.	Joint	RND.	Round
BLDG.	Building	ENGRG.	Engineering	LAM.	Laminate	REF.	Refrigerator
BLKG.	Blocking	ENTR.	Entrance	LAV.	Lavatory	REM.	Remove
BD.	Board	EQ.	Equal	LBR.	Lumber	REOD.	Required
BETW.	Between	EQUIP.	Equipment	LNDG.	Landing	REV.	Revised
BEV.	Bevel	EQUIV.	Equivalent	L.P.	Low Point	RF.	Roof
B.F.	Both Faces	EST.	Estimate	LNG.	Long	RFQ.	Roofing
BSMT.	Basement	E.P.	Electrical Panel	L.H.	Left Hand	RQH.	Rough
B.S.	Both Sides	EX.PL.	Exterior Plaster	LINO.	Linoleum	RM.	Room
BLK.	Block	EXC.	Excavate	LINTL.	Lintel	REF.	Reference
B.M.	Bench Mark	EXP.	Expansion	LGT.	Light	R.J.	Roof Joist
B.B.	Bottom of Beam	EXT.	Exterior	LGTG.	Lighting	RTD.	Rated
BTM.	Bottom	EXTR.	Exterior	L.W.C.	Light Weight Concrete	SHM.	Similar
B.O.S.	Bottom of Steel	F.O.S.	Face of Stud	LOT.FIXT.	Light Fixture	SCHED.	Schedule
BM.	Beam	F.D.	Floor Drain	MAS.	Masonry	SPL.BLK.	Splash Block
CAB.	Cabinet	FDN.	Foundation	MACH.	Machine	SCHM.	Schematic
CALC.	Calculation	F.DR.	Fire Door	MAINT.	Maintenance	SECT.	Section
CAP.	Capacity	F.E.	Fire Extinguisher	MATL.	Material	SERV.	Service
CAT.	Catalogue	F.S.	Finish Floor	MAX.	Maximum	SHT.	Sheet
C.B.D.	Chalk Board	F.G.	Finish Grade	M.C.	Medicine Cabinet	SHTG.	Sheathing
C.B.	Catch Basin	FIN.	Finish	MCH.	Mechanical	SNK.	Sink
C.C.C.	Center to Center	FLR.	Floor	MEZZ.	Mezzanine	SPEC.	Specification
CEM.	Cement	FLRG.	Flooring	MFR.	Manufacture	SO.	Square
CER.	Ceramic	FLUOR.	Fluorescent	MIN.	Minimum	S.S.	Stainless Steel
CHAM.	Chamfer	FRFF.	Fireproof	MISC.	Miscellaneous	SCRN.	Screen
CHAN.	Channel	F.L.	Flow Line	MIR.	Mirror	ST.	Street
C.L.	Chain Link	FLSHG.	Flashing	MTD.	Mounted	STD.	Standard
CHG.	Change	FT.	Foot	M.O.	Masonry Opening	STL.	Steel
C.I.	Cast Iron	FTG.	Footing	M.S.	Machinist	STRUC.	Structural
CIR.	Circle	FURN.	Furnish	MED.	Medium	SUSP.	Suspend
C.J.	Construction Joint	F.J.	Floor Joist	N.G.	Natural Grade	SYM.	Symmetrical
C.L.	Center Line	F.O.M.	Face of Masonry	N.	North	SW.	Switch
CLG.	Celling	F.O.W.	Face of Wall	No.	Number	S.C.	Saw Cut
CLG.	Caulking	F.F.	Finish Floor	NOM.	Nominal	T.F.	Top of Footing
CLR.	Clear	F.S.	Finish Surface	N.T.S.	Not to Scale	T.	Tread
CLO.	Closet	F.G.	Finish Grade	N.I.C.	Not in Contract	T.C.	Top of Concrete
CO.	Cleanout	G.A.	Gage or Gauge	OBS.	Obscure	TELE.	Telephone
CO.	Company	GALV.	Galvanize	O.C.	On Center	TEMP.	Tempered
COL.	Column	GENL.	General	OFF.	Office	T.G.	Top of Grate
C.O.	Concrete Opening	G.I.	Galvanized Iron	OPNG.	Opening	T&G.	Tongue and Groove
COMPO.	Composition	GLS.	Glass	OPP.	Opposite	THRU.	Through
CONC.	Concrete	GYP.BD.	Gypsum Board	ORIG.	Original	T.M.	Top of Masonry
CONC.BLK.	Concrete Block	GOVT.	Government	O.H.	Over Head	T.S.	Top of Sheathing
COND.	Condition	GRD.	Grade	O.	Over	TYP.	Typical
CONN.	Connect	GR.	Grille	P.A.	Public Address	T.B.	Top of Beam
CONST.	Construction	GRND.	Ground	PART.	Partition	T.L.	Top of Ledger
CONT.	Continuation or Continuous	GYP.	Gypsum	PERM.	Permanent	T.C.S.	Top of Steel
CONTR.	Contractor	G.L.M.	Gas Lam Beam	PL.	Plate	T.W.	Top of Wall
CORR.	Corrugate	H.B.	Hose Bib	PLAS.	Plaster	T&B.	Top and Bottom
CSK.	Countersink	HDW.	Hardware	PLMSG.	Plumbing	U.N.O.	Unless Noted
CTR.	Center	HGT.	Height	PORT.	Portable	VERT.	Vertical
C.J.	Ceiling Joist	H.M.	Hollow Metal	PR.	Pair	VEST.	Vestibule
C.R.	Crushed Rock	HORIZ.	Horizontal	PREFAB.	Prefabricated	W/F.	With
DM.	Dimension	H.P.	High Point	PRELIM.	Preliminary	WC.	Watercloset
D.O.	Ditto	HTS.	Hasting	PROJ.	Project	WD.	Wood
DI.	Diameter	HDWD.	Hard Wood	PLYWD.	Plywood	W.H.	Water Heater
DR.F.	Drinking Fountain					W/O.	Without



robert trivison, s.e. 2398
33398 cameo lane
wildomar, california 92595
(562) 619-1777

Project Summary

occupancy: R-3/U
construction type: V-B
zoning: SF (single family)

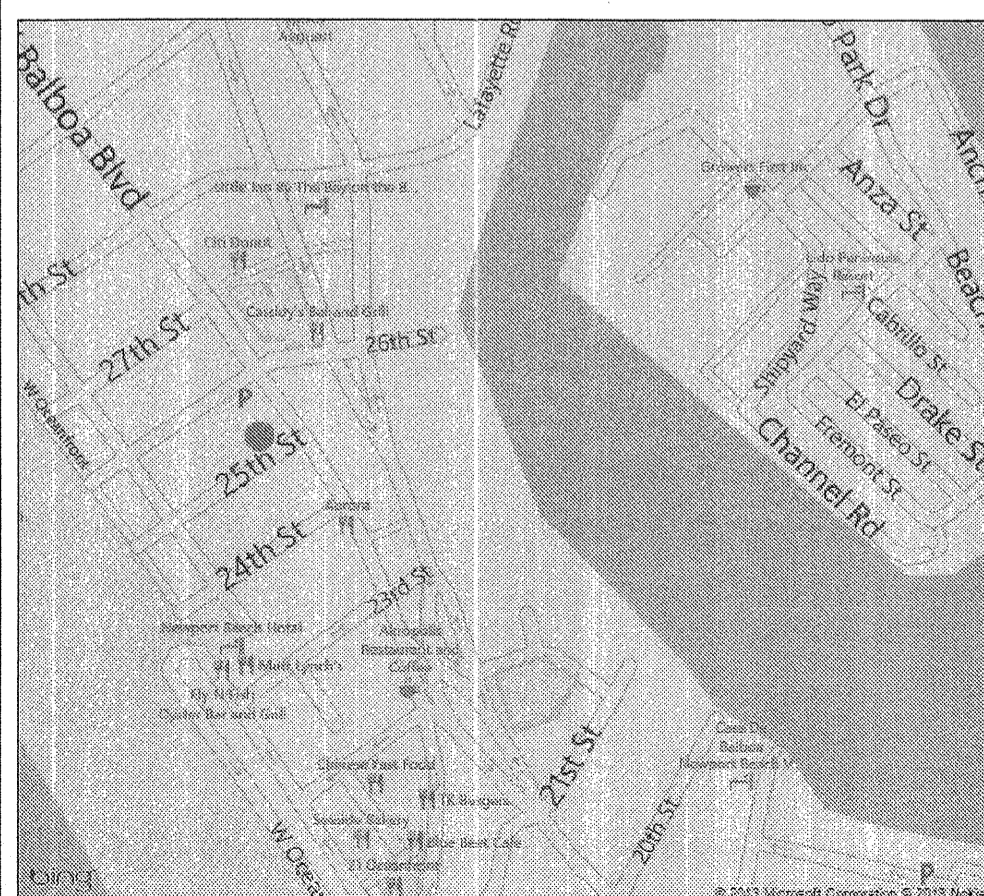
existing two-story single family residence
with attached garage

project: convert existing carport to
be part of existing garage

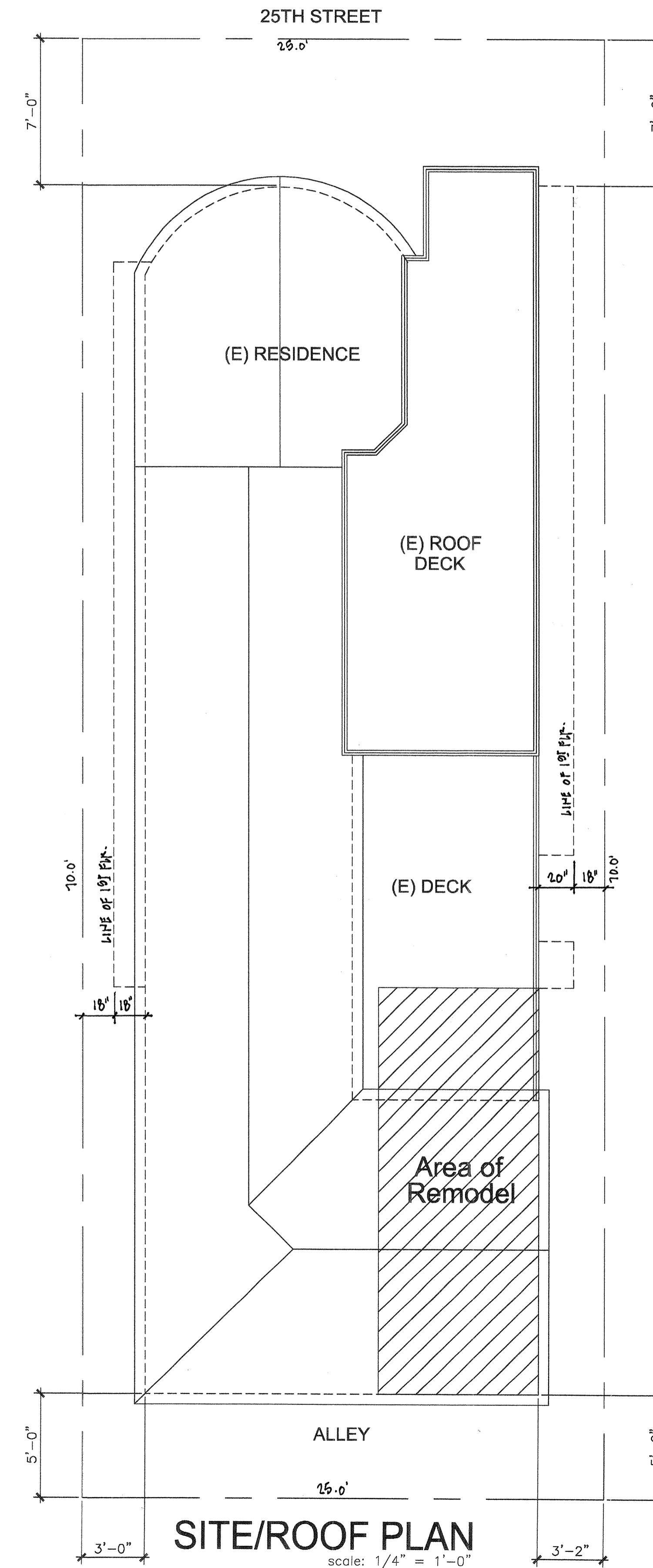
Area Calcs.

existing lower floor	791.00 sq. ft.
existing upper floor	873.30 sq. ft.
existing garage	217.62 sq. ft.
(e) carport enclosed as part of garage	149.37 sq. ft.
total	2031.29 sq. ft.
allowable area	2093.00 sq. ft.
required open space	171 sq. ft.
actual open space	148 sq. ft.
actual open space	25 sq. ft.
open space provided	173 sq. ft.

Vicinity Map



- C-1 sheet index, consultants, project summary, vicinity map, symbols & abbreviations, site/roof plan
- N-1 general notes
- A-1 existing floor plans
- A-2 foundation plan; framing plan; electrical pan; details
- A-3 elevations; section
- D-1 hardy frame details
- D-2 hardy frame details



Project Information

owner:
Dave Talley
ph. (714) 308-3228

legal description:
parcel ID# 04709426
book 3 page 26
lot 22 block 25
125 25th st. newport beach
california 92663

James Carr & Associates

TALLEY
Newport Beach California

127 25th Street

re s i d e n t i a l p o r n o

Project
date
scale
sheet

C-1

GENERAL NOTES & SPECIFICATIONS

DIVISION 1: GENERAL REQUIREMENTS:

1A -- GENERAL NOTES

ALL COMMUNICATIONS BETWEEN JAS. CARO & ASSOC. AND THE OWNER AS WELL AS THE BUILDING PERMIT SET SHALL BE KEPT IN A SAFE PLACE AT THE JOB SITE. VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO START OF ALL WORK OR PORTIONS OF THE WORK. JAS. CARO & ASSOC. ASSURES NO RESPONSIBILITY FOR BIDS COMPLETED PRIOR TO ISSUANCE OF THE BUILDING PERMIT. DISCREPANCIES, ERRORS, OMISSIONS, AMBIGUITIES, CONFLICTS AND THE LIKE, APPEARING IN THE DRAWINGS SHALL BE BROUGHT TO JAS. CARO & ASSOC.'S ATTENTION BY THE CONTRACTOR BEFORE FINAL BID SUBMISSION. WORKING DIMENSIONS SHALL NOT BE SCALED FROM DRAWINGS. LARGER SCALE DETAIL DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. ALL ASTM DESIGNATIONS SHALL BE AMENDED TO CURRENT DATE, STATE AND FEDERAL LAWS. THESE DOCUMENTS, AND THE JOINT AND SEVERAL PHASES OF CONSTRUCTION HEREBY CONTEMPLATED TO BE COVERED, AT ALL TIMES BY APPLICABLE PROVISIONS OF THE STATE, FEDERAL AND LOCAL LAWS. WHERE ANY CONFLICT OCCURS BETWEEN THE REQUIREMENTS OF FEDERAL, STATE AND LOCAL LAWS, CODES, ORDINANCES, RULES AND REGULATIONS, THE MOST STRINGENT SHALL GOVERN APPROVAL OF THE INSPECTOR DOES NOT ACKNOWLEDGE COMPLIANCE TO THE PLANS. QUESTIONS MUST BE REFERRED TO JAS. CARO & ASSOC. FOR INTERPRETATION AND CLARIFICATION. THE DESIGN, ACCURACY AND SAFETY OR ERECTION, BRACING, SHORRING, TEMPORARY SUPPORTS AND SCAFFOLDING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL CONSULT ALL REPRESENTATIVES OF CITY OR COUNTY WAS, WATER, POWER AND PHONE COMPANIES CONCERNING AVAILABLE FACILITIES BEFORE STARTING WORK OF CONNECTING UTILITIES. SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE WORK EACH SUB-CONTRACTOR IS RESPONSIBLE FOR HIS OWN WORK UNTIL SAME HAS BEEN COMPLETED AND ACCEPTED AND ALSO FOR HIS OWN MATERIALS. SUB-CONTRACTOR SHALL KEEP THE PREMISES CLEAN OF RUBBISH CAUSED BY HIS WORK. ALL MATERIALS SHALL BE OF THE BEST QUALITY UNLESS NOTED OTHERWISE. ALL INSTALLATIONS SHALL BE PERFORMED IN THE BEST POSSIBLE MANNER BY SKILLED LABOR. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED FINISH MATERIAL AND/OR STRUCTURAL MEMBERS AS REQUIRED AND AS CONFIRMED BY THE BUILDING INSPECTOR AND JAS. CARO & ASSOC. CHANGES REQUESTED BY A BUILDING INSPECTOR OR OTHER GOVERNMENTAL OFFICIAL TO THE PLANS OR THE BUILT CONDITIONS MUST HAVE JAS. CARO & ASSOC.'S APPROVAL PRIOR TO IMPLEMENTATIONS. JAS. CARO & ASSOC. WILL FILE PLANS. THE OWNER WILL PAY THE BUILDING DEPARTMENT FOR THE PLAN CHECK AND PERMIT FEES. POWER, WATER, SEWER, GAS AND OTHER CONSTRUCTION SERVICES SHALL BE PROVIDED, AND PAID FOR BY THE GENERAL CONTRACTOR. ALL OTHER FEES AND ASSESSMENTS SHALL BE PAID BY THE CONTRACTOR.

1B -- SITE PLAN

ALL CONSTRUCTION SHALL CONFORM TO 2010 CALIFORNIA RESIDENTIAL CODE, C.M.C. C.E.C., AND C.P.C. AS ADOPTED AND AMENDED TO THIS DATE FOR THE APPLICABLE GOVERNING JURISDICTION. CONSTRUCTION SHALL CONFORM TO CHAPTER OF THE PROTECTION OF PEDESTRIANS DURING CONSTRUCTION AND/OR DEMOLITION. THE BUILDING SHALL CONFORM TO THE TITLE 24 STATE ENERGY CODES. SEE ATTACHED CALCULATIONS. CONTRACTOR SHALL OBTAIN A SEPARATE PERMIT FOR THE GARDEN WALLS, RETAINING WALLS, FENCES, POOL AND OR SPAS, AND THEIR EQUIPMENT AS REQUIRED BY THE LOCAL CITY COUNTY AGENCIES. FIELD INSPECTORS SHALL REVIEW AND APPROVE FUTURE UNDERGROUND UTILITY REQUIREMENTS PRIOR TO CONCRETE PLACEMENT AS REQUIRED BY LOCAL CITY AND/OR COUNTY AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY FACILITIES ERECT AND MAINTAIN FOR THE DURATION OF CONSTRUCTION AND IN AS EXPEDITIOUS A METHOD AS POSSIBLE. WHERE DISCREPANCIES OCCUR BETWEEN THE DRAWING AND SPECIFICATIONS, THE DRAWINGS SHALL GOVERN ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER AND SHALL BE SAFE FOR ALL WORKMEN. REFER TO THE GRADING PLAN FOR ADDITIONAL INFORMATION. REFER TO STREET IMPROVEMENT PLAN(S) (BY OTHERS) FOR ADDITIONAL INFORMATION. CONTRACTOR SHALL REVIEW SOILS REPORT PRIOR TO BIDDING AND ABIDE BY ALL RECOMMENDATIONS GIVEN THEREIN. CONTACT JAS. CARO & ASSOC. FOR A COPY. ALL PAVING SHALL BE LAID OVER 3" MINIMUM CONCRETE. WIRE ALL J-BOXES IN PLANTER AREAS TO 24 HOUR, 7-DAY WEEK TIME CLOCK IN GARAGE OR MECHANICAL AREA. SEE ELECTRICAL PLANS FOR LOCATION. ALL EXPOSED CONCRETE SHALL HAVE A SMOOTH FINISH U.N.O. ALL PAVING SHALL BE 3-1/2" THICK CONCRETE, UNLESS SPECIFIED OTHERWISE. CITY GRADING ENGINEER SHALL BE CONTACTED AT LEAST 48 HOURS PRIOR TO START OF GRADING IN ORDER TO SCHEDULE A PRE-GRADING MEETING. ALL WATER SUPPLY LINES TO THE HOUSE SHALL BE 1-1/2" DIAMETER MINIMUM, UNLESS SPECIFIED OTHERWISE. CONTRACTOR AND PLUMBER SHALL VERIFY WITH CITY OR COUNTY REQUIREMENTS TO UPGRADE WATER METER SIZE. REVIEW WITH LOCAL JURISDICTION THE REQUIREMENTS FOR NEW SEWER LATER AND/OR NEW WATER METER, INCLUDE THESE CODES IN CONSTRUCTION BID. IT SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR DURING COURSE OF CONSTRUCTION TO VERIFY UNIFORM DISTRIBUTION OF BUILDING MATERIALS ABOVE FRAMED FLOORS AND/OR ROOFS TO PREVENT DEFLECTIONS OR FRAMING MEMBERS.

DIVISION 2: SITE WORK

2A -- GRADING AND EARTHWORK

ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN COMPLIANCE WITH LOCAL GRADING CODES AND ORDINANCES. SEE SOILS AND GEOLOGICAL REPORT FOR RECOMMENDED SOIL BEARING PRESSURE, FOUNDATION MATERIAL, SITE GRADING, AND GRADING PLAN FOR SPECIFIC GRADING AND EARTHWORK REQUIREMENTS. GRADING CONTRACTOR TO EXAMINE SITE PRIOR TO BIDDING IN ORDER TO CONFIRM THE ESTABLISHMENT OF FINISH GRADES AND DRAIN LINES AS SHOWN ON PLAN. ANY UNUSUAL OR CONFLICTING CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF JAS. CARO & ASSOC. AND FOUNDATION EXCAVATIONS SHALL BE INSPECTED BY AN APPROVED SOILS ENGINEER FIELD REPORT SHALL BE SUBMITTED TO THE CITY AND JAS. CARO & ASSOC. PRIOR TO CONCRETE POUR. SHOULD ANY LOOSE FILL, EXPANSIVE SOIL, GROUND WATER OR OTHER DANGEROUS CONDITIONS BE ENCOUNTERED DURING THE EXCAVATION FOR NEW FOUNDATIONS, ALL WORK SHALL CEASE IMMEDIATELY AND THE SOILS ENGINEER AND JAS. CARO & ASSOC. SHALL BE NOTIFIED. ALL BACKFILLING SHALL BE DONE ONLY WITH CLEAN MATERIAL AND SHALL BE COMPACTED PEA GRAVEL OR #30 SAND. ALL FILLING AND BACKFILLING SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM TEST DESIGNATION D1557-70. FLOODING NOT PERMITTED. ALL AREAS RECEIVING CONCRETE SLABS SHALL BE THOROUGHLY AND MECHANICALLY COMPACTED TO MINIMUM DENSITY OF 90% AND TESTED BY SOIL ENGINEER. CARE SHALL BE TAKEN NOT TO OVER EXCAVATED FOUNDATIONS AT LOWER ELEVATIONS, PREVENT DISTURBING SOILS AROUND FOOTING AT HIGHER ELEVATIONS. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PHASE SHORING AND EROSION CONTROL DEVICES SHALL BE INCLUDED IN CONTRACTOR'S FEE. THE SITE PREPARATION FOR THE CONSTRUCTION SHALL INCLUDE THE REMOVAL OF ALL RUBBISH, BROKEN CONCRETE, TREES AND TREE TRUNKS AND ANY OTHER DEBRIS THAT WOULD BE DETRIMENTAL TO THE FOUNDATION OF ANY STRUCTURE. ALL EXCAVATIONS IN EXCESS OF FIVE (5) FEET SHALL BE MADE AT A (2) HORIZONTAL TO (1) VERTICAL SLOPES OR PER THE RECOMMENDATIONS OF THE SOILS ENGINEER. AFTER GRADING AND PRIOR TO THE PLACING OF THE BASE COURSE, ALL AREAS BENEATH PAVING SHALL BE TREATED WITH WEED KILLER. 100 SQ. FT. OF SURFACE TO ENSURE PROTECTION AGAINST DAMAGE TO LIFE AND PROPERTY. TERMITE NOTE-AFTER CONSTRUCTION IS 99% COMPLETED PRIOR TO OWNERS MOVE-IN, CONTRACTOR SHALL TENT THE BUILDING FOR TERMITE PROTECTION. THIS SHALL BE PART OF THE INITIAL BID. EXCAVATIONS GREATER THAN FIVE (5) FEET DEEP CONTRACTOR SHALL CONTACT ADJACENT NEIGHBORS IN WRITING AND NOTIFY THEM 10 DAYS PRIOR TO EXCAVATION IN ACCORDANCE WITH C.B.C. 2010.

2B -- FOUNDATIONS

EXCAVATE TO REQUIRED DIMENSIONS AND DEPTHS INDICATED, CUT SAQURE AND SMOOTH WITH LEVEL, FIRM BOTTOMS, EXCAVATIONS CARRIED TO GREATER DEPTH THAN REQUIRED. THROUGH CONTRACTOR'S ERROR, SHALL BE CONCRETE AT CONTRACTOR'S EXPENSE. SEE FOUNDATION PLAN FOR SOIL BEARING VALUE AND SOILS REPORT REFERENCE. CARRY ALL FOUNDATIONS TO REQUIRED DEPTHS AND INTO COMPACTED OR UNDISTURBED SOIL. REFER TO FOUNDATION DETAILS AND SOILS REPORT. ALL EXCAVATING AND BACKFILLING SHALL COMPLY WITH CHAPTERS 18 AND 33 U.B.C. AND AS RECOMMENDED BY THE SOILS REPORT. RETAINING WALLS WHICH ARE SUPPORTING BUILDING BEARING WALL SHALL BE BACKFILLED PRIOR TO BUILDING CONSTRUCTION. BACKFILL BEHIND RETAINING WALLS SHALL NOT BE PLACED UNTIL THE CONCRETE OR MASONRY HAS ATTAINED ITS DESIGNATED STRENGTH, OR IS PROPERLY SHORED, SOIL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY IN EQUAL LIFTS. USE LIGHTWEIGHT TAMPERS TO COMPACT THE SOIL BEHIND WALLS UNLESS SOILS REPORT STATES OTHERWISE. ALL WATER SHALL BE REMOVED FROM FOUNDATION EXCAVATIONS PRIOR TO PLACING OF CONCRETE. CARE SHALL BE TAKEN SO AS NOT TO DRY OUT UNDERLYING NATURAL SOILS. FOUNDATION SHALL NOT BE POURED UNTIL EXCAVATIONS ARE INSPECTED AND APPROVED BY THE BUILDING OFFICIAL, JAS. CARO & ASSOC. AND SOILS ENGINEER. THEY SHALL BE NOTED 72 HOURS PRIOR TO CONCRETE POUR. SOILS INSPECTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND FEES FOR SUCH SHALL BE PAID BY THE CONTRACTOR. REFER TO SITE AND/OR GRADING PLANS AND/OR LANDSCAPING PLANS FOR ADDITIONAL CONCRETE WORK AT SIDEWALKS, STEPS, BLOCKWALLS AND PLANTERS, ETC. ROOF AND AREA RUN-OFF AND AREA DRAINAGE SHALL BE DIRECTED AWAY FROM THE BUILDING SITE/GRADING AND LANDSCAPE PLANS. PROVIDE ADEQUATE DRAINAGE BEHIND ALL RETAINING WALL.

DIVISION 3: CONCRETE

3A -- CONCRETE TYPE V CEMENT - 6 SACK MIX

THE MINIMUM ULTIMATE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE AS FOLLOWS, U.N.O.
SLAB ON GRADE.....F.S. 2500 PSI
FOUNDATIONS.....F.S. 2500 PSI
CONCRETE WORK SHALL COMPLY WITH CHAPTER 4 CEMENT SHALL COMPLY WITH ASTM C-150-72 AND C-596-72
FINE AND COURSE AGGREGATE SHALL COMPLY WITH ASTM C-53-57 AND C-332-55
PROVIDE CYLINDER TESTS FOR STRUCTURAL CONCRETE OVER 2500 PSI IN ACCORDANCE WITH ASTM C-172 CURRENT EDITION. CONTRACTORS SHALL MAINTAIN COPIES OF TEST REPORTS AT JOB SITE AVAILABLE TO REVIEW AND INSPECTION BY BUILDING OFFICIAL. COPIES OF THE REPORTS SHALL BE PROVIDED TO JAS. CARO & ASSOC. AND THE BUILDING DEPARTMENT.

DIVISION 3: CONCRETE (CONT.)

THE MAXIMUM PERMISSIBLE WATER CEMENT RATIOS FOR THE CONCRETE (WHEN STRENGTH DATA FROM TRIAL BATCHES OR FIELD EXPERIENCE FROM 30 OR MORE TEST RECORDS MADE DURING THE PAST YEAR ARE NOT AVAILABLE) SHALL BE THOSE VALUES SPECIFIED IN CONCRETE MIX DESIGNS AND TEST RESULTES FOR CONCRETES WITH STRENGTHS IN EXCESS OF 4000 PSI. PRESTRESSES CONCRETE, LIGHTWEIGHT CONCRETE AND CONCRETE WITH ADMIXTURED OTHER THAN THOSE USED EXCLUSIVELY FOR THE PURPOSE OF ENTRAINING AIR SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO PLACING ANY CONCRETE. UNLESS NOTER OTHERWISE, CONCRETE SHALL BE PROPORTIONED AND PRODUCED TO HAVE A SLUMP OF 4" OR LESS IF CONSOLIDATION IS TO BE BY THE TEST FOR SLUMP IF PORTLAND CEMENT CONCRETE (ASTEM C-143) 1" TOLERANCE OS ACCEPTABLE. CEMENT SHALL BE TESTED AND CONFORMANCE TO ASTM C-150 AGGREGATE SHALL CONFORM TO ASTM C-33 MAXIMUM SIZE SHALL BE 1" UNLESS NOTED OTHERWISE. USE 3/4" MAX. AGGREGATE FOR SLABS ON GRADE. SAND SHALL CONFORM TO ASTM C-144. CONCRETE FORM TOLERANCES SHALL BE WITHIN THE STANDARDS SET BY THE AMERICAN CONCRETE INSTITUTE. CONCRETE FLOOR SLABS SHALL NOT VARY MORE THAN 1/4" IN (10) FEET. NO ADMIXTURES (E.G. CALCIUM CHLORIDE) MAY NOT BE ADDED TO ANY CONCRETE WITHOUT THE PRIOR APPROVAL OF JAS. CARO & ASSOC. PRIOR TO PLACING CONCRETE, REINFORCING STEEL AND EMBEDDED ITEMS SHALL BE SECURED IN POSITION AS SHOWN ON THE DRAWINGS. NO PIPES OR SLEEVES SHALL BE PLACED IN CONCRETE UNLESS SPECIFICALLY DETAILED. ALL PIPES AND CONDUITS PASSING THROUGH CONCRETE FLOORS SHALL BE SLEEVED WITH STANDARD STEEL PIPES NOT TO EXCEED 6" IN DIAMETER NO PIPE SHALL BE PLACED THROUGH THE FLOOE EXCEPT AS DETAILED. MAINTAIN CONCRETE SLABS MINIMUM 6" ABOVE FINISH GRADE. 6" MINIMUM OF CONCRETE BETWEEN WOOD AND EARTH/FHIL. CONTROL JOINTS SHALL BE PROVIDED AT 20 FEET MAXIMUM EACH WAY (400 SQ. FT. MAX) WITH APPROVED EXPANSION JOINTNS AT (60) FT. MAX. WHEN REQUIRED (VERIFY). WHEN CONCRETE OVER 2500 PSI IS USED, CYLINDER TESTING AND SPECIAL INSPECTION BY DEPUTY INSPECTOR OS REQUIRED PER U.B.C. PROVIDE AN EXTRA (20) FT. LONG #4 BAR AND 3" FROM BOTTO. OF FOOTING TURNED UP THROUGH SILL PLATE FOR UNDER GROUND AT MAIN ELECTRICAL PANEL. ALL NEW CONCRETE STALS SHALL BE A MINIMUM OF 4" THICK #3 BARS @ 18" O.C. EACH WAY AT MID-SLAB O/ 2" SAND O/ 6 MIL VISQUEEN OVER 2" SAND U.N.O. (SEE FOUNDATION PLAN). CONSTRUCTION SHALL CONFORM TO CHAPTER AND CHAPTER OF THE C.B.C. FOR EXCAVATIONS, FOUNDATIONS, AND RETAINING WALLS. LOCATION OF HOLDDOWNS AND P.A.'S ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR'S SUPERINTENDENT, THE FRAMING CONTRACTOR AND CONCRETE CONTRACTOR TO LOCATE THESE ANCHORS IN THE EXACT LOCATION. ASSUMED SOIL BEARING PRESSURE=1000 P.S.F.

ALL FOOTINGS SHALL EXTEND A MINIMUM DEPTH (AS SHOWN ON PLANS) INTO COMPACTED OR UNDISTURBED SOIL (NATURAL GRADE U.N.O. REFER TO SOILS REPORT. WHENEVER SULFATE RESISTANCE IS REQUIRED PER SOILS REPORT, CONCRETE MIX SHOULD BE IN ACCORDANCE WITH C.P.C. CHAPTER 4.

3B -- CONCRETE AND MASONRY REINFORCEMENT:

ALL REINFORCING SHALL BE ASTM A-615-40 FOR #5 AND SMALLER A.S.T.M. A-615-60 FOR #6 BARS AND LARGER. WIRE MESH SHALL CONFORM TO ASTM A-185 AND BE LAPPED 1-1/2" SPACED (9" MIN.) WIRE SIZES INDICATED ARE IN ACCORDANCE WITH THE NEW METHOD OF DESIGNATING FABRIC MANUAL OF STANDARD PRACTICE BY THE WELDED WIRE FABRIC MANUAL OF STANDARD PRACTICE BY THE WIRE REINFORCEMENT INSTITUTE MANUAL NO. MP-100. USE LOW HYDROGEN WELDING RODS FOR ALL WELDING OF REINFORCING STEEL. ALL REINFORCING, ANCHOR BOLTS AND INSETS SHALL BE PLACED ACCURATELY AND SECURED ON PLACE PRIOR TO PLACING CONCRETE OR GROUTING MASONRY. FABRICATION, ERECTION AND PLACEMENT SHALL CONFORM TO CONCRETE REINFORCING STEEL INTITURE MANUAL OF STANDS PRACTICE. EXCEPT WHERE GREATER DIMENSIONS ARE INDICATED, PROVIDE THE FOLLOWING MINIMUM CONCRETE COVERING FOR REINFORCEMENT: STEEL: REFER TO C.R.C. 2010 CHAP. 4 FOR OTHER CATEGORIES
BELOW GRADE - UNFORMED.....3" CLEAR
BELOW GRADE - FORMED.....2" CLEAR
FOOTING BOTTOM.....3" CLEAR
WALL PANELS - EXPOSED DIRECTLY TO EARTH OR WEATHER.....3/4" CLEAR
E. WALL PANELS.....1-1/2" CLEAR
ALL BARS SHALL BE CLEAN OF RUST, GREASE, OR OTHER MATERIALS LIKELY TO IMPAIR BOND. ALL BENDS SHALL BE COLD. SPLICES OF REINFORCING STEEL IN CONCRETE SHALL BE AS FOLLOWS:

FOLLOWS:

A. #3 THRU #5 = 30 BAR DIAMETER
B. #6 THRU # 7 = 40 BAR DIAMETER
C. #8 THRU # 9 = 54 BAR DIAMETER
D. #10 THRU #11 = 70 BAR DIAMETER
FOR BENDING AND SPLICING OF REINFORCING STEEL, SEE REINFORCING BAR BENDS AND SPLICING DETAILS, REINFORCING BARS MARKED "CONT." SHALL BE SPLICED AS SHOWN ON THE DRAWINGS OR AS APPROVED IN WRITING BY JAS. CARO & ASSOC. WATERPROOF BEHIND ALL RETAINING WALLS AGAINST HABITABLE AREAS WITH "MIRADRRAIN" DRAINAGE MAT OVER "BITUTHENE" WATERPROOF MEMBRANE, INSTALL 4" DIA. FRENCH DRAIN. LOCATE TOP OF DRAIN A MINIMUM OF 2" BELOW FINISH SLAB. DRAINPIPE INSTALLED WITH HOLES UP.

DIVISION 4: MASONRY

4A -- MORTAR AND GROUT
GROUT SHALL CONFORM TO APPLICABLE REQUIREMENTS IN C.R.C. CHAP. 4. FOR CEMENTITUOUS MATERIALS. GROUT SHALL COMPLY TO ASTM C476 AND SHALL BE "FINE" OR "COARSE" AS DEFINED BELOW. NOTE PROPORTIONS ARE DONE BY VOLUME. GROUT TO REACH ULTIMATE COMPRESSIVE STRENGTH OF 2000 PSI IN 28 DAYS. FINE GROUT:
1 PART PORTLAND CEMENT
0 TO 1/10 PARTS HYDRATED LIME OR LIME PUTTY
2-1/2 TO 3 PARTS FINE AGGREGATE, MEASURE IN DAMP LOOSE CONDITION.
COURSE GROUT:
1 PART PORTLAND CEMENT
0 TO 1/10 PARTS HYDRATED LIME OR LIME PUTTY
2-1/2 TO 3 PARTS FINE AGGREGATE, MEASURE IN DAMP LOOSE CONDITION
MORTAR SHALL CONFORM TO APPLICABLE REQUIREMENTS IN U.B.C. SECTION FOR CEMENTITUOUS MATERIALS. MORTAR SHALL BE TYPE "S" AND SHALL COMPLY TO ASTM C-270 PROPORTION BY VOLUME AS FOLLOWS"
1 PART PORTLAND CEMENT
OVER 1/4" TO 1/2 PARTS HYDRATED LIME OR LIME PUTTY
3 TO 4 PARTS AGGREGATE, MEASURE IN A DAMP, LOOSE CONDITION.
ONE-HALF STRESS DESIGN USED UNLESS NOTED OTHERWISE. NO CONTINUOUS INSPECTION REQUIRED UNLESS NOTED OTHERWISE ON PLANS. CLEANOUTS ARE REQUIRED FOR ALL GROUT POURS OVER 4 FEET IN HEIGHT.

4B -- UNIT MASONRY

CONCRETE BLOCK (CMU): ALL UNITS GRADE N, TYPE II, ASTM C-90, Fm=1500 PSI
SOLID GROUTED WHERE RETAINING. STORE UNITS UNDER COVER AT JOB SITE. GROUT ALL CELLS WITH STEEL UNLESS NOTED OTHERWIS.
CLAY OR SHALE BRICK: ASTM C-62-58, C-216-66 AND C-652-70.

4C -- MASONRY REINFORCEMENT

REFER TO SECTION 3B
CLAY OR SHALE BRICK: ASTM C-62-58, C-216-66 AND C-652-70.

DIVISION 5 -- METALS:

5A -- STRUCTURAL STEEL

ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36 AND SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST EDITION AISI SPECIFICATION AND CODE OF STANDARD PRACTICE AS AMENDED ALL STRUCTURAL STEEL SHALL HAVE TWO SHOP COATS OF RUST INHIBITIVE. PROTECTIVE PRIMER BY THE STEEL FABRICATOR UNLESS OTHERWISE SPECIFIED. REPAIR FIELD OUTS. UNFINISHED BOLTS SHALL BE AMERICAN STANDARDS BOLTS, ASTM A307. PPROVIDE 3" MINIMUM CONCRETE COVER AROUND ALL STRUCTURAL STEEL BELOW GRADE. ALL STRUCTURAL STEEL SHOP DRAWINGS SHALL BE SUBMITTED TO JAS. CARO & ASSOC. AND ENGINEER FOR REVIEW PRIOR TO FABRICATION AND ERECTION. ALL STEEL PIPE SHALL COMPLY WITH ASTM A-53, GRADE B SULFUR CONTENT LESS THAN OR EQUAL TO 0.05%. ALL ENDS OF STEEL COLUMNS SHALL BE SQUARE CUT AND ILLED UNLESS OTHERWISE DETAILED. ROUND BAR STOCK FOR ANCHOR BOLTS SHALL BE ASTM A-308 GRADE 65. STRUCTURAL STEEL PLATED AND SHAPES SHALL CONFORM TO ASTM A-36. STRUCTURAL STEEL PIPE SHALL CONFORM TO ASTM A-53 GRADE "B". STRUCTURAL STEEL TUBE SHALL CONFORM TO ASTM A-500 GRADE "B".

5B-- WELDING:

ALL WELDING SHALL BE ELECTRIC ARC WELDING PROCESS PERFORMED BY OPERATORS CERTIFIED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN WELDING SOCIETY AND THE PREVAILING LOCAL BUILDING CODE FOR THE TYPE OF WELDING TO BE PERFORMED, AND AS APPROVED BY THE GOVERNING DEPARTMENT OF THE LOCAL OFFICE OF BUILDING AND SAFETY. CONTINUOUS INSPECTION OF ALL STRUCTURAL WELDING BY A REGISTERED DEPUTY BUILDING INSPECTOR OS REQUIRED OR PERFORMED IN A LICENSED FABRICATING SHOP BY CERTIFIED WORKERS. USE LOW HYDROGEN WELDING RODS FOR WELDING TO REINFORCING STEEL. ALL FIELD AND SHOP WELDS SHALL BE GROUND SMOOTH, PRIMED AND PAINTED (STRUCTURAL FIELD ELING SHALL HAVE CONTINUOUS INSPECTION BY A REGISTERED DEPUTY INSPECTOR).

5C -- SHEET METAL AND MISCELLANEOUS METALS.

ALL SHEET METAL TO BE 26 GA. IRON UNLESS OTHERWISE NOTED. INSTALL 26 GA GALV. FLASH AND COUNTERFLASH AT ALL ROOF TO VERTICAL SURFACE CONDITIONS, UNLESS OTHERWISE NOTED. INSTALL 24 GA IRON TIN SHINGLES ON VERTICAL WALL TO SLOPING ROOFS. COLOR TO MATCH ROOF, UNLESS OTHERWISE NOTED. TUB ACCESS TO BE 16 GA. GALV. x 12"x14" PAINTED TO MATCH ADJACENT FINISH, U.N.O. WOOD BEAMS, OUTLOOKERS, PROJECTIONS, ETC. FROM EXTERIOR WALLS OR ROOF SURFACES SHALL BE PROPERLY FLASHED WITH 24 GA. IRON FLASHING, BITUTHENE FLASHING AND CAULKED, U.N.O.

DIVISION 6: CARPENTRY

6A -- WOOD FRAMING AND ROUGH FRAMING

ALL STRUCTURAL LUMBER SHALL BE GRADED IN ACCORDANCE WITH THE GRADING AND DISTRESSING RULES NO 16 OF THE WEST COAST LUMBER INSPECTION BUREAU, LATEST REVISION OR WESTERN WOOD STATES PRODUCT STANDARD PSI-95. EACH PIECE SHALL BEAR STAMP PRODUCTS ASSOCIATION, LUMBER SHALL BEAR GRADE MARK PF AGENCY LISTED BY

DIVISION 6: CARPENTRY (CONT.)

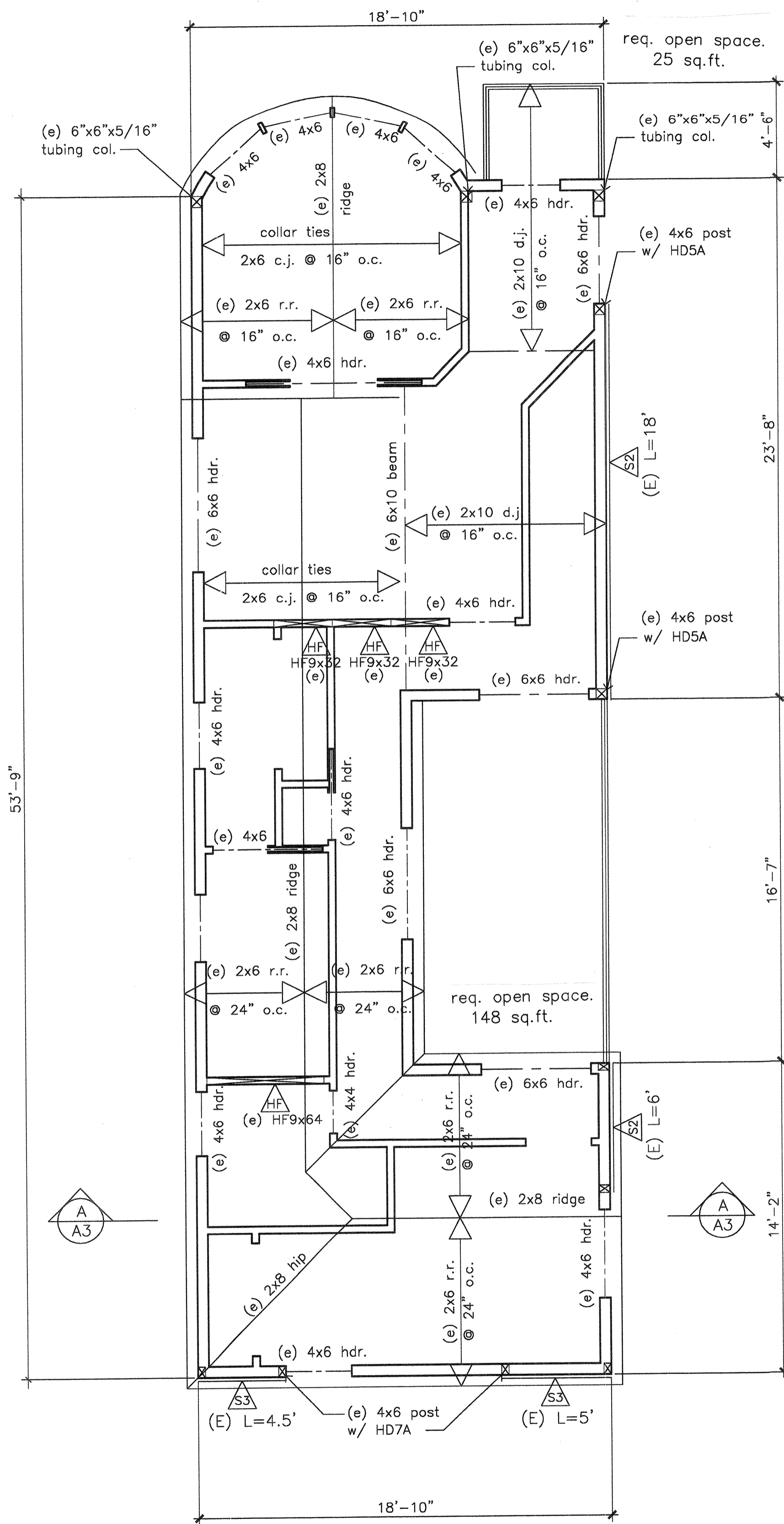
PLYWOOD SHALL BE GRADED IN ACCORDANCE WITH AMERICAN PLYWOOD ASSOCIATION AND GRADING RULES. STRUCTURAL LUMBER AND PLYWOOD SHALL BE NEW DOUGLAS FIR LARCH OF THE GRADES AND SIZES INDICATED ON THE FRAMING PLANS AND FRAMING DETAILS. PLYWOOD THICKNESS SHALL BE AS INDICATED OR NEXT GREATER 1/8 (INCREMENT WOOD BEARING ON OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED DOUGLAS FIR LARCH OR FOUNDATION GRADE REDWOOD. ALL STRUCTURAL LUMBER SHALL BE DOUGLAS LARCH OF THE FOLLOWING GRADE:
STUDDING AND PLATES 2x4.....NO. 2 WDCF
2x HORIZONTAL FRAMING MEMBERS (UNLESS NOTED OTHERWISE).....NO. 2 WDCF

HORIZONTAL BEAMS AND OTHER 4x OR LARGER MEMBERS.....NO. 1 WDCF
BLOCK ALL FLOOR JOISTS MINIMUM 8'-0" O.C. AND AT ALL BEARING POINTS. MAXIMUM LATERALLY UNSUPPORTED STUD HEIGHTS FOR 2x4'S SHALL BE 10'-0" MAXIMUM STUD HEIGHTS FOR 2x6'S SHALL BE 14'-0" STUDS HIGHER THAN 14'-0" SHALL BE ONLY AS NOTED ON FRAMING PLANS. WALL FRAMING SHALL BE 2x4 STUDS AT 16" O.C. (U.N.O.) PROVIDE DOUBLE 2x TOP PLATE WITH A MINIMUM 48" LAP SPLICE. UNLESS OTHERWISE NOTED. PROVIDE MULTI STUD BEARING (MSB) AT EACH END OF BEAMS, U.N.O. PROVIDE FIRE BLOCKING AT ALL FLOOR AND CEILING LEVELS AND STUD SPACES OVER (10) FEET AND AS OTHERWISE REQUIRED BY OF THE CHAPTER 5. PROVIDE ADEQUATE BLOCKING FOR ALL STAIRWAY HANDRAILS AND PROVIDE ANN NECESSARY BLOCKING, BACKING AND FRAMING REQUIRED FOR LIGHT FIXTURES, BATHROOM ACCESSORIES, ELECTRICAL AND MECHANICAL EQUIPMENT, ETC. PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL BEARING WALLS, CLAY OR SHALE BLOCKING UNDER ALL PERPENDICULAR BEARING WALLS. ALL PLYWOOD SHALL BE EXTERIOR GRADE. FLOOR SHEATHING SHALL BE 1-1/8" PLYWOOD T&G WITH T GYPCRETE (AT SECOND FLOOR ONLY) (U.N.O.) SCREW NAIL AND GLUE TO FLOOR JOISTS: EDGES AND BOUNDARIED.....10D OR 16D @ 6" O.C. FIELD.....10D OR 16D @ 6" O.C.

GLUED TO SUPPORTS WITH EXTERIOR GRADE GLUE
ALL FLOOR SHEETS SHALL BE STAGGERED AND 8'-0" DIMENSION SHALL RUN PERPENDICULAR TO JOISTS. ROOF SHEATHING (UNLESS NOTED OTHERWISE) SHALL BE 19/32" THICK PLYWOOD COX GROUP OR "PLY CLIPS" AT ALL EDGES, NAILING, EDGES AND BOUNDARIES.....10D @ 6" O.C. ALL ROOF SHEETS SHALL BE STAGGERED AND 8'-0" DIMENSION SHALL RUN PERPENDICULAR TO RAFTERS OR JOISTS. ROOF SHEATHING AND VERTICAL SHEAR PANELS TO BE APPROVED BY INSPECTOR PRIOR TO COVERING OR ROOFING. ALL MISCELLANEOUS METALS AND NAILS EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED UNLESS NOTED OTHERWISE. ALL BOLTS THROUGH WOOD SHALL BE MACHINE BOLTS. PROVIDE STANDARD WASHERS UNDER ALL NUTS. SEE STRUCTURAL DETAILS, NAILS FOR PLYWOOD SHALL BE STANDARD PLYWOOD NAILS NAILS BE THOSE MANUFACTURED SPECIFICALLY FOR THIS PURPOSE. HANGERS, CONNECTORS, ANCHORS AND OTHER FRAMING FASTENERS SHALL BE AS MANUFACTURED "SIMPSON", "HARLEM", OR APPROVED EQUAL OF THE SIZES AND TYPES INDICATED DOUBLE 2x FLOOR JOISTS SHALL BE NAILLE WITH 16D @ 12" O.C. TRIPLE JOISTS SHALL BE NAILED WITH 16D @ 12" O.C. EACH FACE. ALL WOOD FRAMING, INCLUDING NAILING SHALL COMPLY WITH CHAPTER 5, 6 C.R.C. EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE HEREIN INDICATED. FRAMING SHALL BE DONE IN A WORKMANLIKE MANNER BY SKILLED CRAFTSMAN. ALL NAILING SHALL CONFORM TO TABLE 22-11-B-1 UPDATED TO LATEST, APPROVED EDITION.

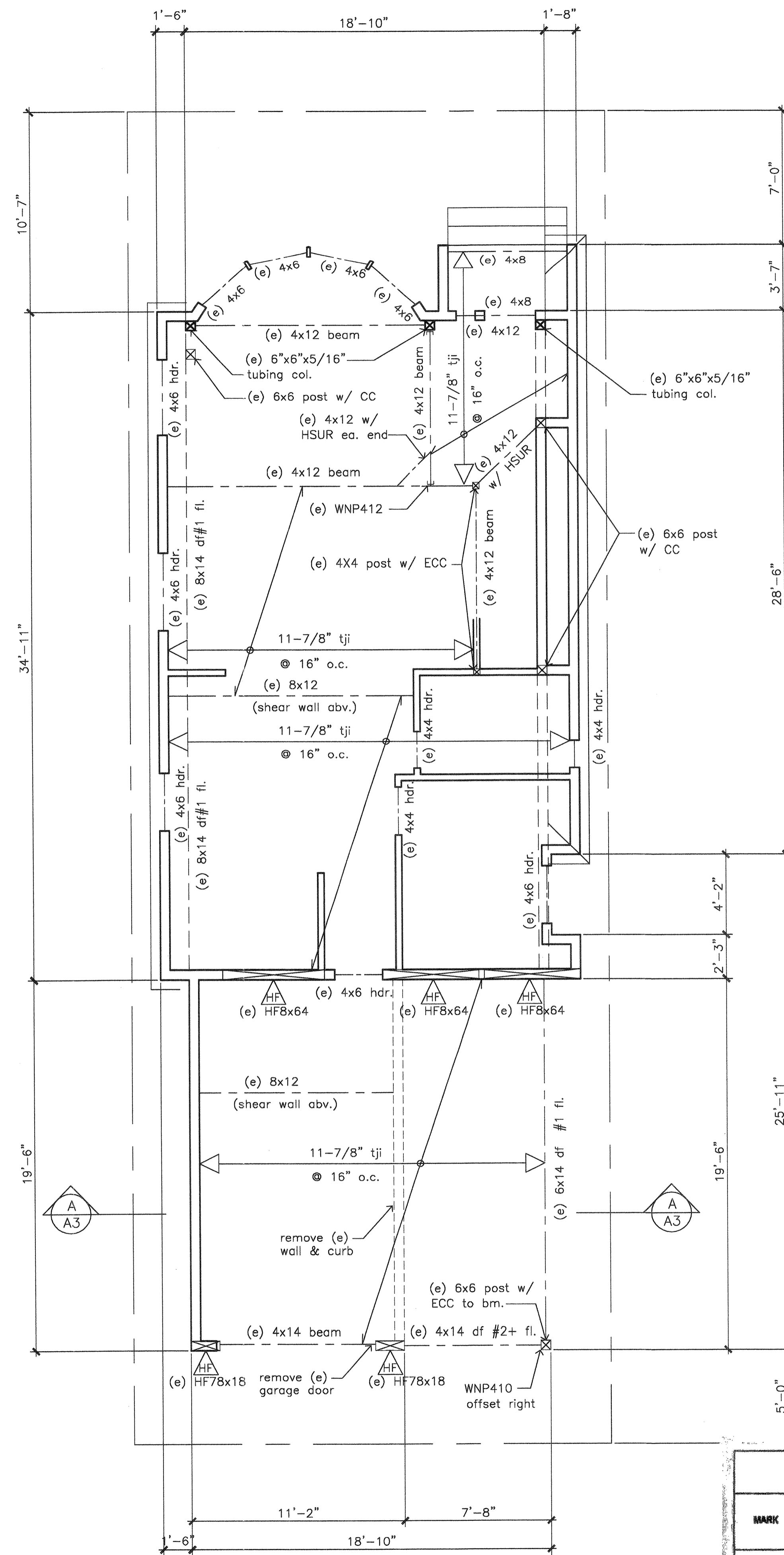
(X) INDICATES SHEAR WALL; REFER TO SHEAR WALL SCHEDULE SHEET FOR NAILING, BOLTING AND PLYWOOD INFORMATION. WHERE MULTI JOIST (2 OR MORE) OCCUR, SUPPORT EACH END WITH EQUIVALENT NUMBER OF 2x STUD, U.N.O. CONTRACTOR SHALL VERIFY ALL OPENINGS THROUGHOUT CONSTRUCTION WITH THE HEATING, PLUMBING AND ELECTRICAL SUB-CONTRACTORS FOR SIZE AND LOCATION. ANY CONFLICT SHALL BE BROUGHT TO THE ATTENTION ON ACCORDANCE WITH CHAP. 5/6 OF THE C.R.C. PROVIDE RAISED FOUNDATION VENTILATION PER CHAP. 5/6 OF THE C.R.C. ALL EXPOSED FRAMING SHALL HAVE AN ARCHITECTURAL GRACE APPEARANCE. TEXTURE SHALL BE VERIFIED WITH JAS. CARO & ASSOC.

ALL SHEAR WALL PLYWOOD SHALL EXTEND FROM BOTTOM OF SILL PLATE TO TOP PLATE OR ROOF PLATE LINE, WHICHEVER I GREATER. SOLID BLOCK AT ALL JOINTS. # SYMBOL INDICATED BEAM OR JOIST CALCULATION NUMBER IN STRUCTURAK CALCULATIONS. USE SIMPSON LUP HANGERS AT ALL SING FLUSH JOIST CONNECTIONS. USE SIMPSON HU HANGERS AT ALL MULTIPLE FLUSH JOIST CONNECTIONS. CONTRACTOR SHALL REVIEW TYPICAL DETAILS, AND SHALL CONSTRUCT SAID DETAILS AS SHOWN WHERE THEY AAPPY. HATCHED AREA INDICATE CALIFORNIA FRAMING (TWO LEVELS OF ROOF/CEILING FRAMING). CONTRACTOR SHALL NOTIFY JAS. CARO & ASSOC. 72 HOUR PRIOR TO FRAMING INSPECTION. ALL STAIRS SHALL RECEIVE A MINIMUM OF (3) 2x14 STRIGNERS BELOW 2x TRADS, U.N.O. BELOW 4x BEAMS PROVIDE (2) 2x STUDS MINIMUM AT EACH END AND BELOW 6x BEAMS PROVIDE (3) 2x STUDS MINIMUM, ETC. CONTRACTOR SHALL NOTIFY JAS. CARO & ASSOC. AND THE STRUCTURAL ENGINEER WHEN THE FRAMING IS APPROXIMATELY 50 % COMPLETED AND AGAIN PRIOR TO CALLING FOR FINAL FRAMING INSPECTION. ALL ROOF SHEATHING SHALL MATCH EXISTING WHEN APPLICABLE. SEE GENERAL NOTES. ALL SHEAR WALL DESIGNATIONS ARE FOR STRUCTURAL PURPOSES. IT SHALL BE THE FRAMER'S RESPONSIBILITY TO FURR OUT REMAINING WALL IN ORDER TO ASSURE A FLUSH FINISH. RECESS TILE OR STONE FLOOR AREAS MIN. 1-1/2" TO INSURE A FLUSH FLOOR FLUSH (U.N.O.) SILL BOLTING: UNLESS OTHERWISE NOTED, SEE FOUNDATION PLAN. INTERIOR NONBEARING WALLS: APPROVED SHOT PINS WITH CADMIUM WASHERS AT 32" O.C. MAXIMUM 1/4" DIAMETER x 3" LONG. INTERIOR BEARING: APPROVED SHOT PINES WITH CADMIUM WASHERS AT 2'-0" O.C. MAXIMUM 1/4" DIAMETER x 3" LONG. RAMSET 3350 UNLESS OTHERWISE NOTED. EXTERIOR WALLS* 5/8" DIAMETER x 12" LONG ANCHOR BOLTS EMBEDDED INTO CONCRETE 7" MINIMUM AT 4'-0" O.C. MAXIMUM AND 12" FROM CORNERS AND SPLICES.



UPPER FLOOR PLAN
Existing

scale: 1/4" = 1'-0"

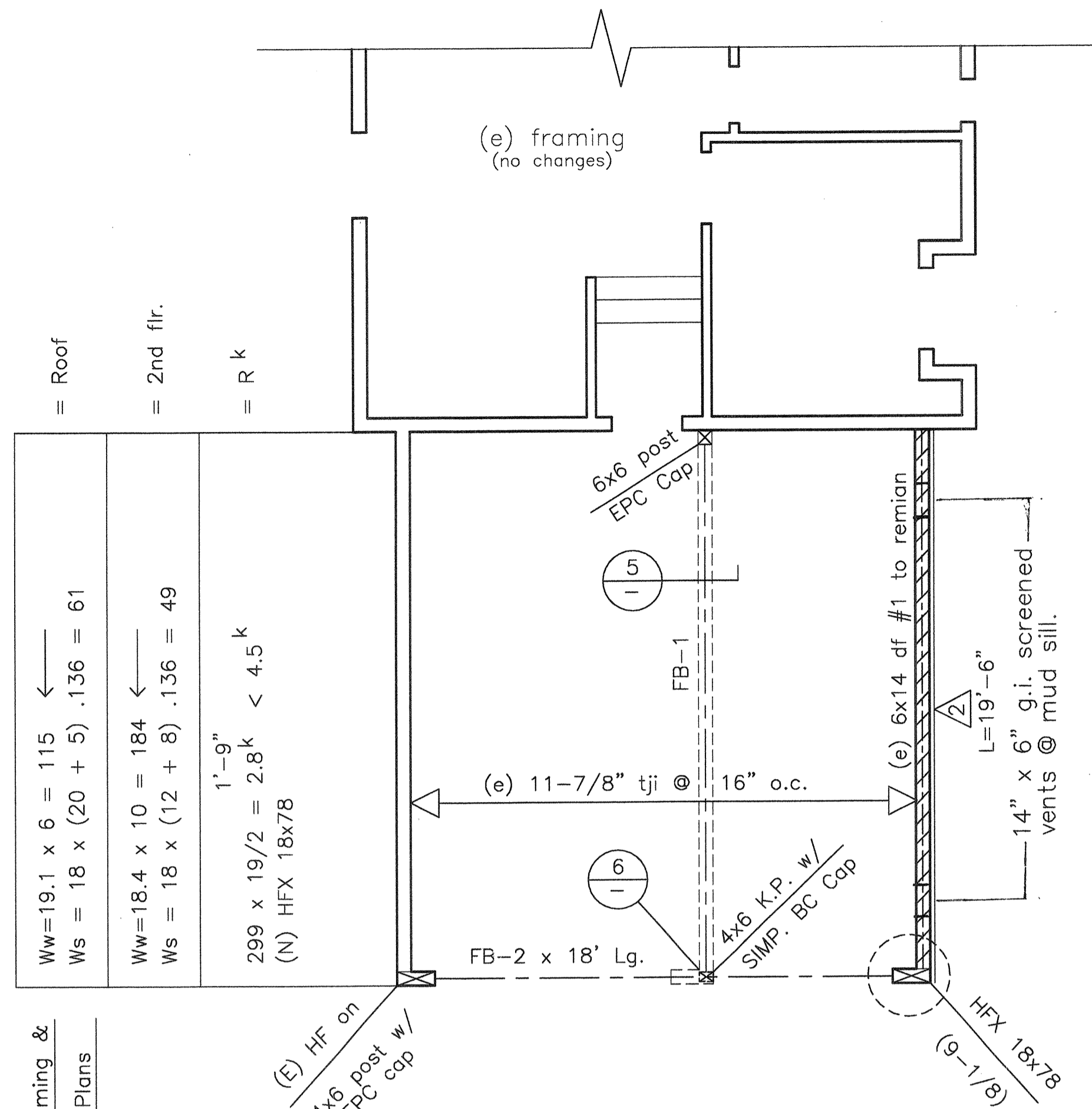


LOWER FLOOR PLAN
Existing

scale: 1/4" = 1'-0"

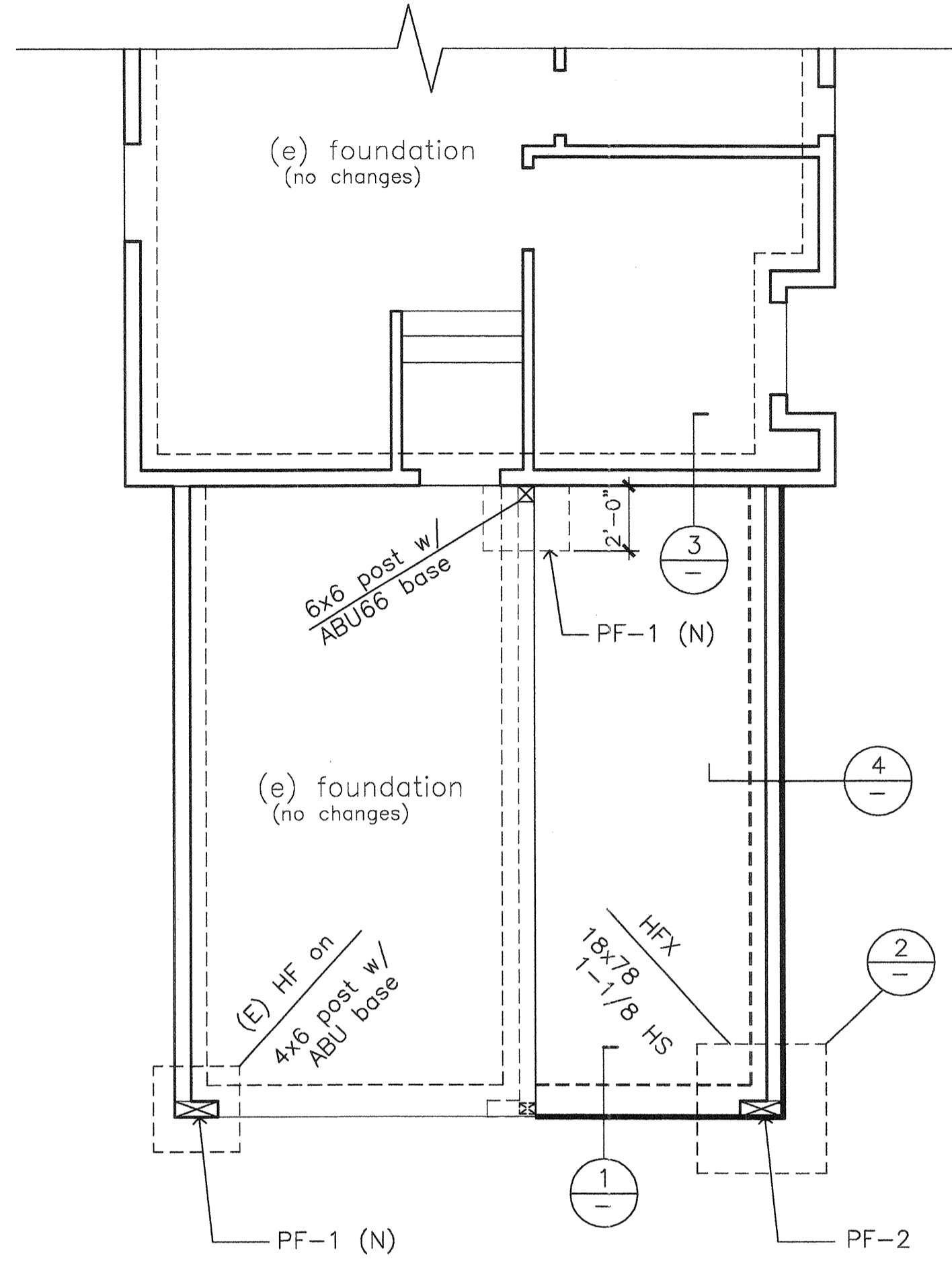
MARK	PLYWOOD	FLOOR ANCHORS @ FLOOR & ROOF	VERTICAL HOLDDOWNS @ FLOOR	HOLDDOWN @ CONC. LEVEL	CAPACITY	ANCHOR BOLTS @ CONC.	NAILING WITH ALL WALLS UND.
△ S1	1892 STR 1 8" O/C	104 @ 8" O/C A36 @ 12" O/C	NST 48	HD2A W 4 X 4 MNL.	304 LBS PER FT.	5/8" X 12" AS @ 48" O/C	64 @ 6" EDGE, PERIMETER 12" FIELD
△ S2	1892 STR 1 4" O/C	204 @ 4" O/C A36 @ 12" O/C	HD 2A	HD 2A W 4 X 4 MNL.	304 LBS PER FT.	5/8" X 12" AS @ 36" O/C	4" EDGE, PERIMETER 12" FIELD

NOTES:
 1. PROVIDE 3 X MEMBERS AT ALL PLYWOOD EDGES WHEN NAILING IS 3" O/C OR LESS, ALSO ON TWO SIDED SHEARWALLS.
 2. ALL PLYWOOD SHALL BE STRUCTURAL 1 W/ MIN. OF 6 PLY LAMINATION, EXCEPT FOR TYPE #1.
 3. HOLDDOWNS PER SCHEDULE ABOVE ONLY IF NEEDED ARE SHOWN ON PLANS.



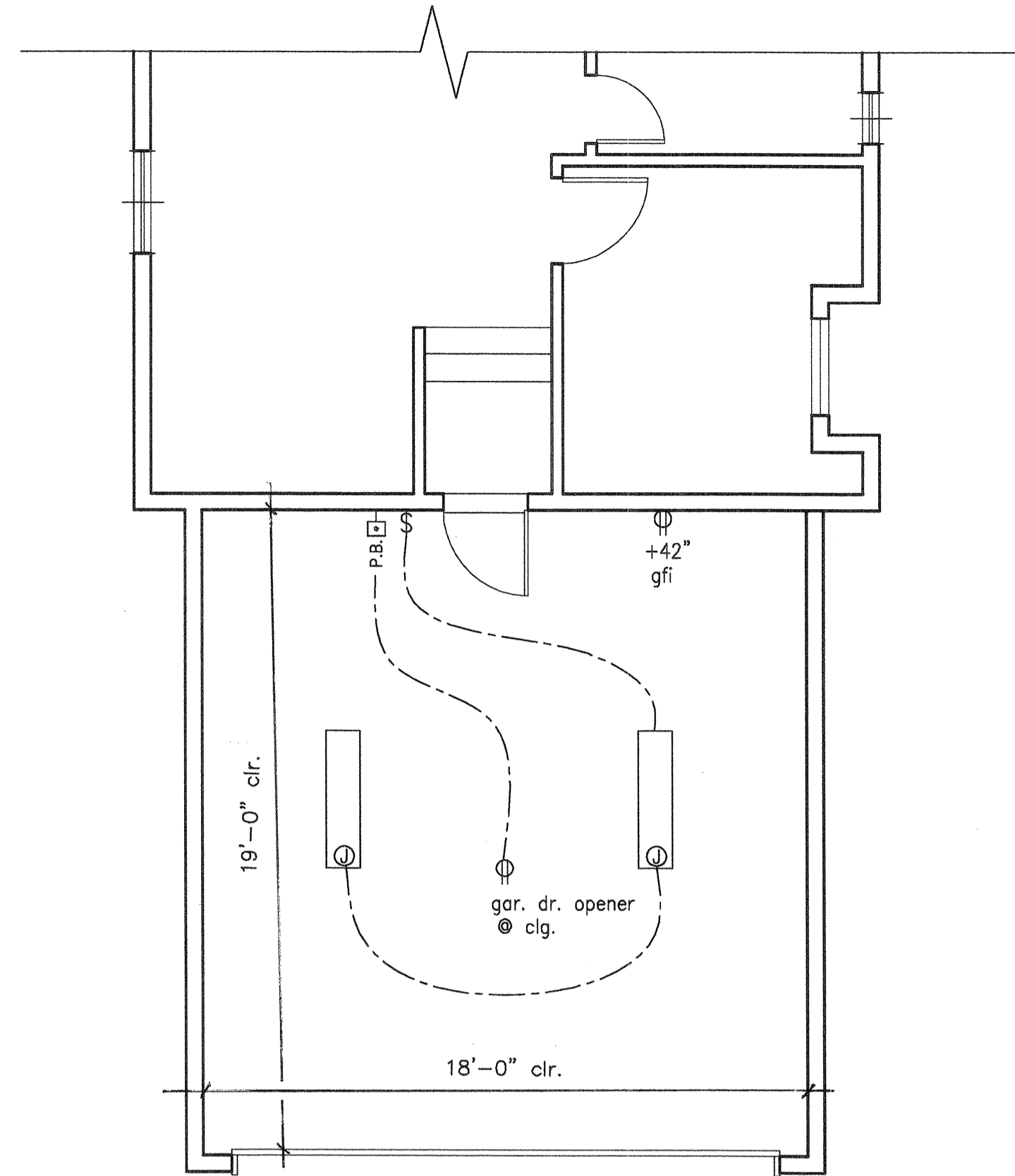
Framing Schedule:
 Fb-1 5 1/4 x 16" PSL (2.OE).
 Fb2 5 1/4 x 16" PSL (2.OE).

FRAMING PLAN
 scale: 1/4" = 1'-0"



Existing garage walls & ceiling:
 existing walls & ceiling exterior plaster finish. Patch where necessary, finish new walls with 5/8" type 'x' drywall.
 option: remove existing exterior plaster and replace with 5/8" type 'x' drywall at all walls & ceiling of addition.

FOUNDATION PLAN
 scale: 1/4" = 1'-0"

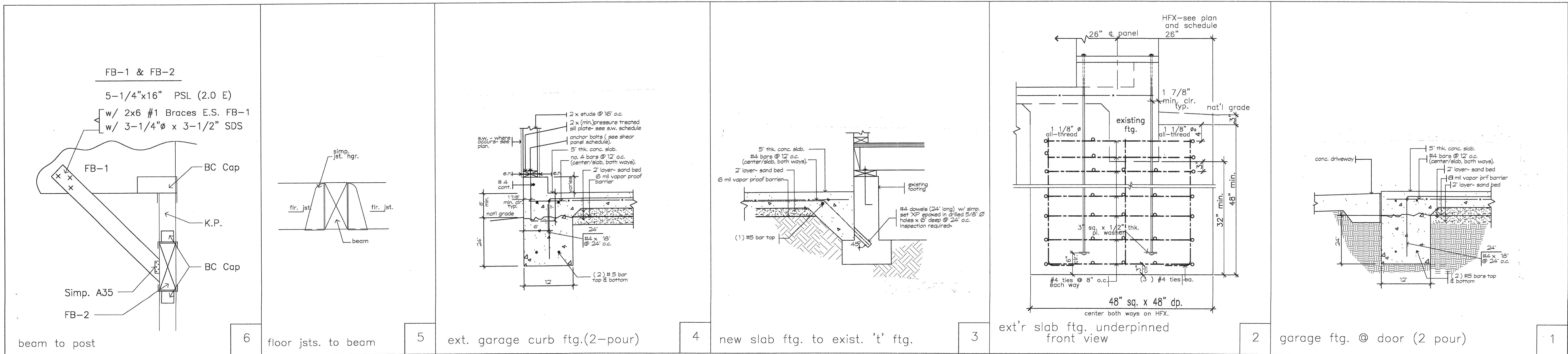


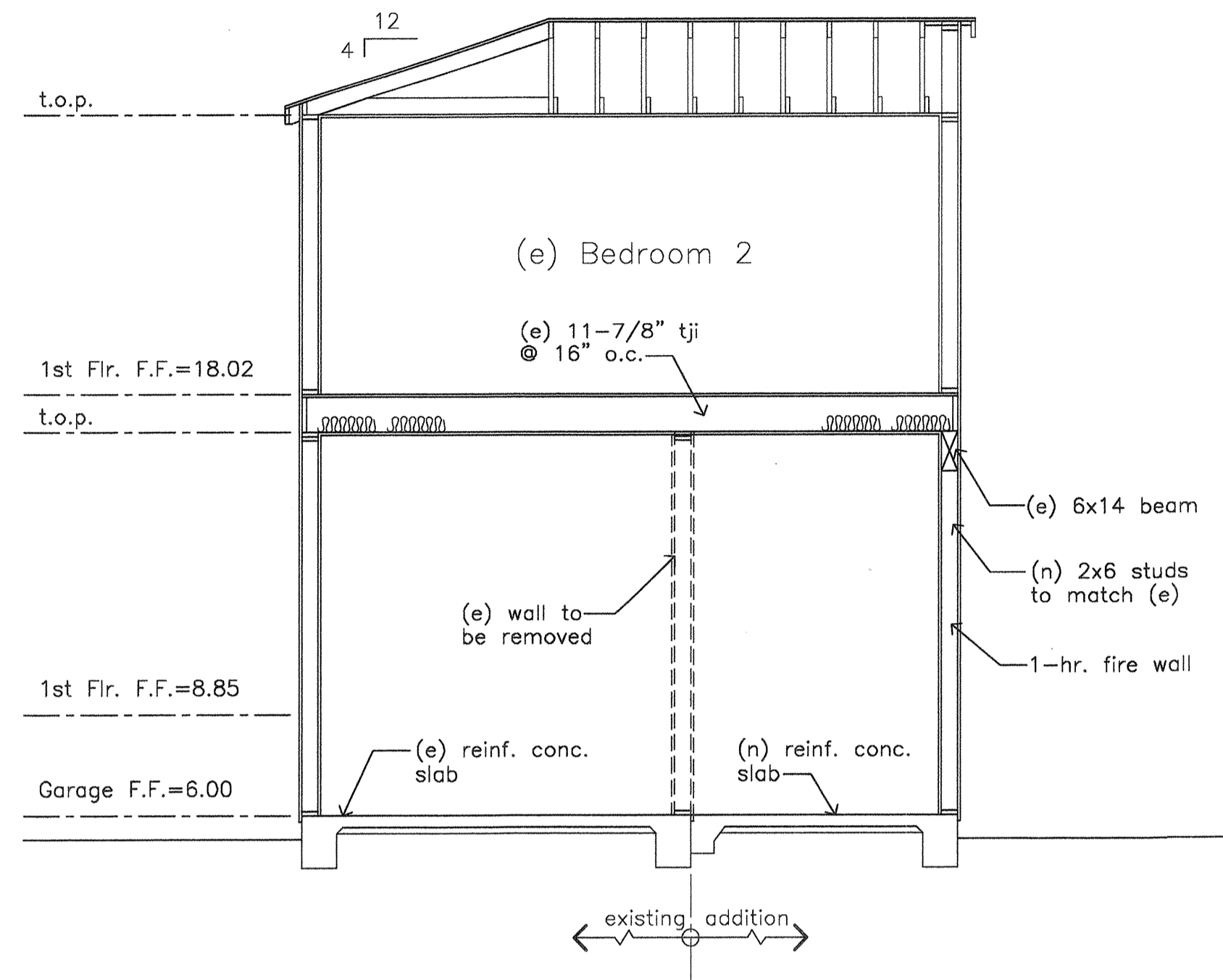
UTILITIES LEGEND
 -□ P.B. garage door opener button
 -⊕ electrical switch
 -⊙ carbon monoxide alarm
 -⊕ GFI duplex outlet ground fault interrupter
 -⊙ 4- (2) bulb fluorescent

ELECTRICAL PLAN
 scale: 1/4" = 1'-0"

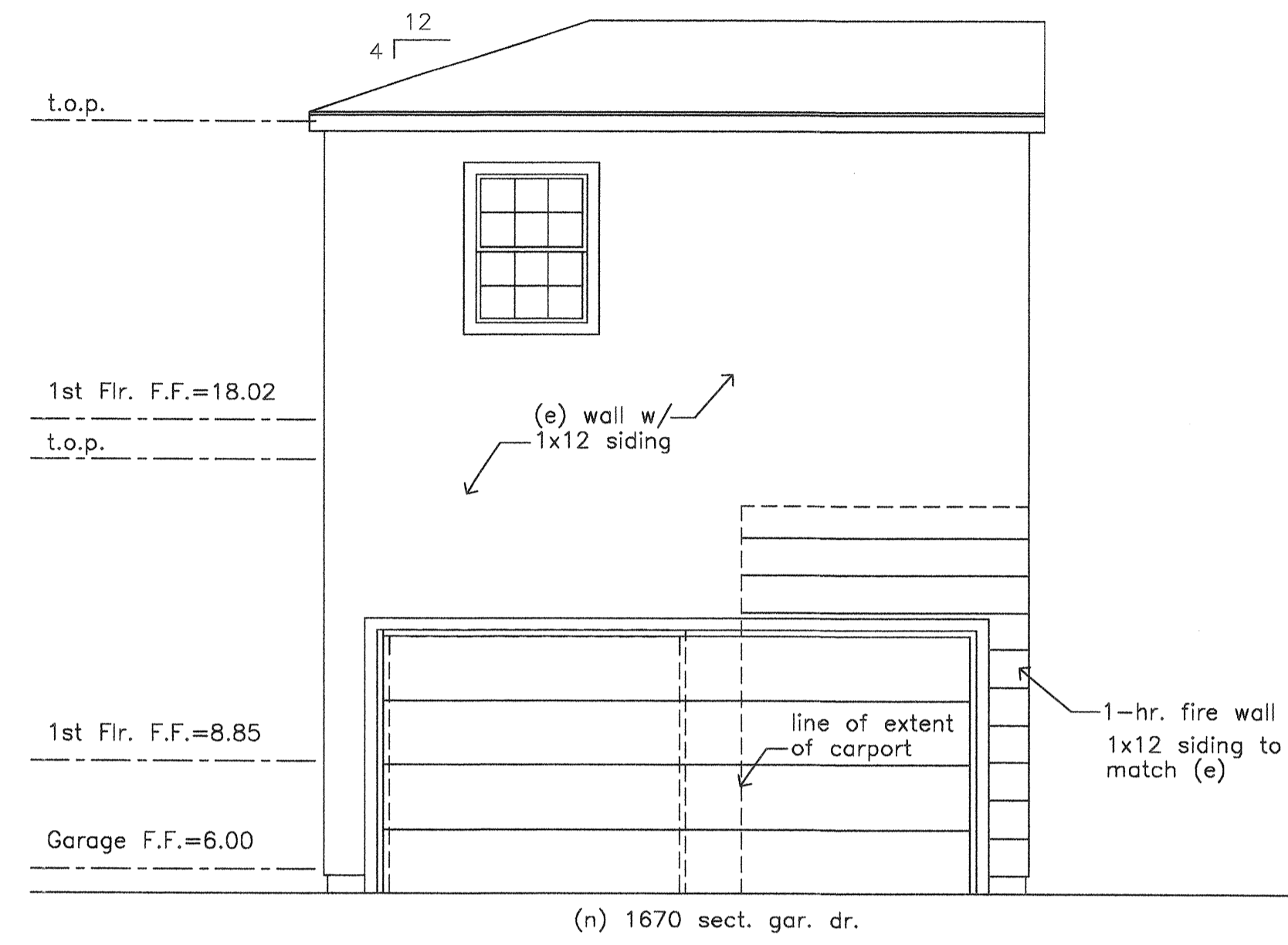


Foundation Schedule:
 CF-1 12" w. x 24" into grade w/ (2) #5 cont. top & bottom.
 PF-1 (e) 2'-8" x 12" into grade.
 PF-1 (n) 2'-8" x 24" x 24" into grade w/ #5 @ 12" e.w. @ bot.
 PF-2 (n) 4'-0" sq. x 4'-0" min. thk. w/ (3) #5 ea. face w/ #4 ties @ 8" o.c.

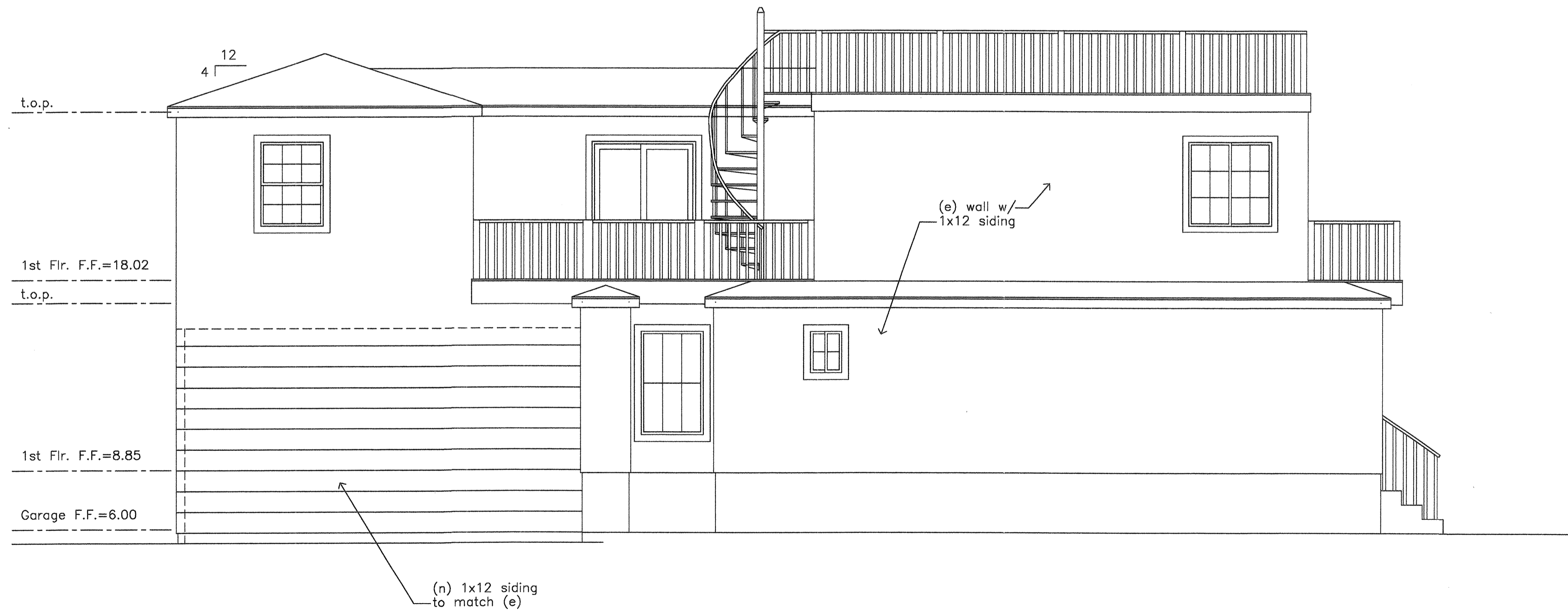




SECTION A
scale: 1/4" = 1'-0"



NORTH (FRONT) ELEVATION
scale: 1/4" = 1'-0"



WEST (RIGHT) ELEVATION
scale: 1/4" = 1'-0"

HFX-Series Panels-Typ Foundation Details

THIS DETAIL SHEET IS NOT PROPRIETARY AND IS NOT REQUIRED FOR PLAN SUBMITTAL WITH HARDY FRAME PRODUCTS

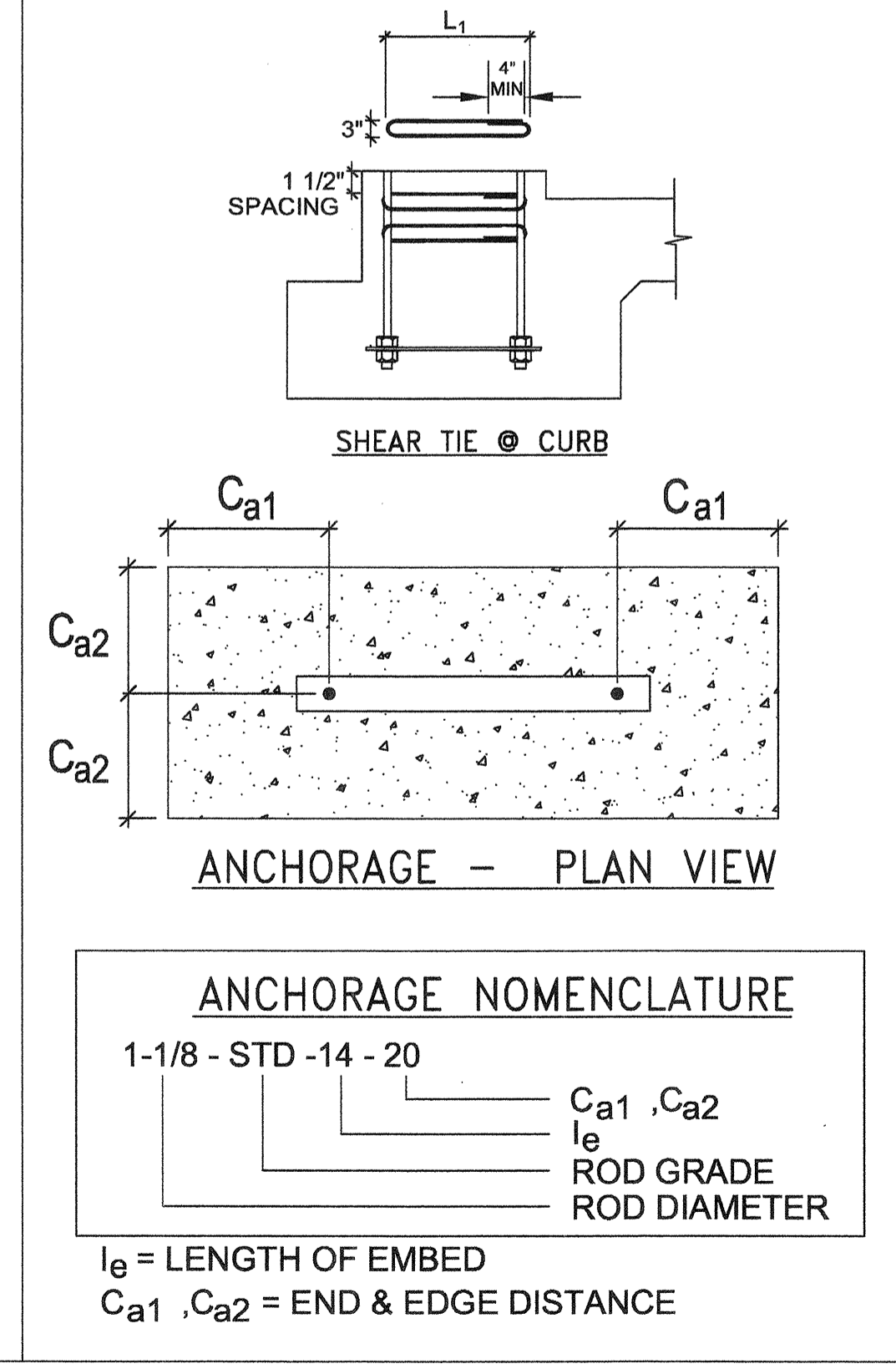
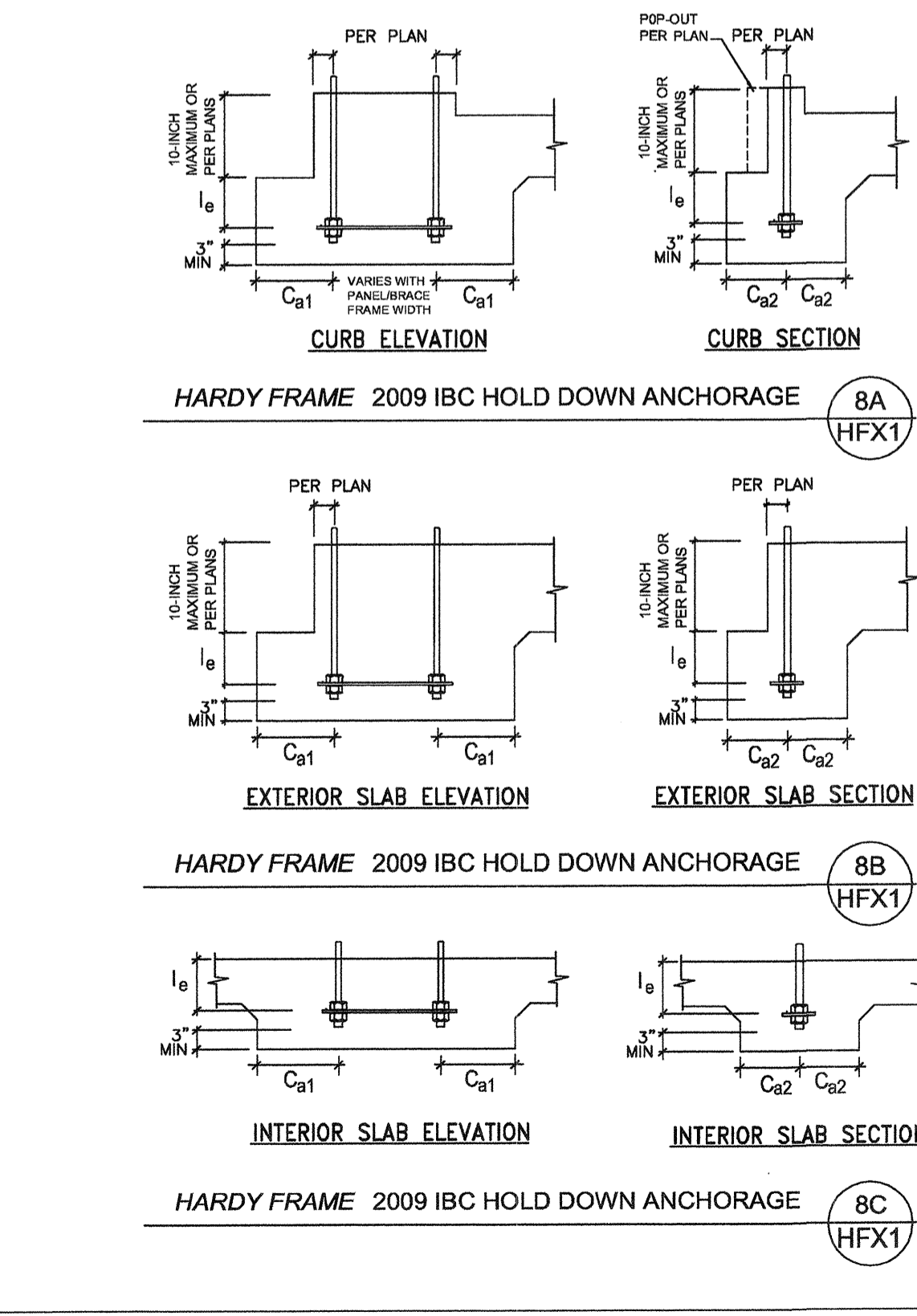
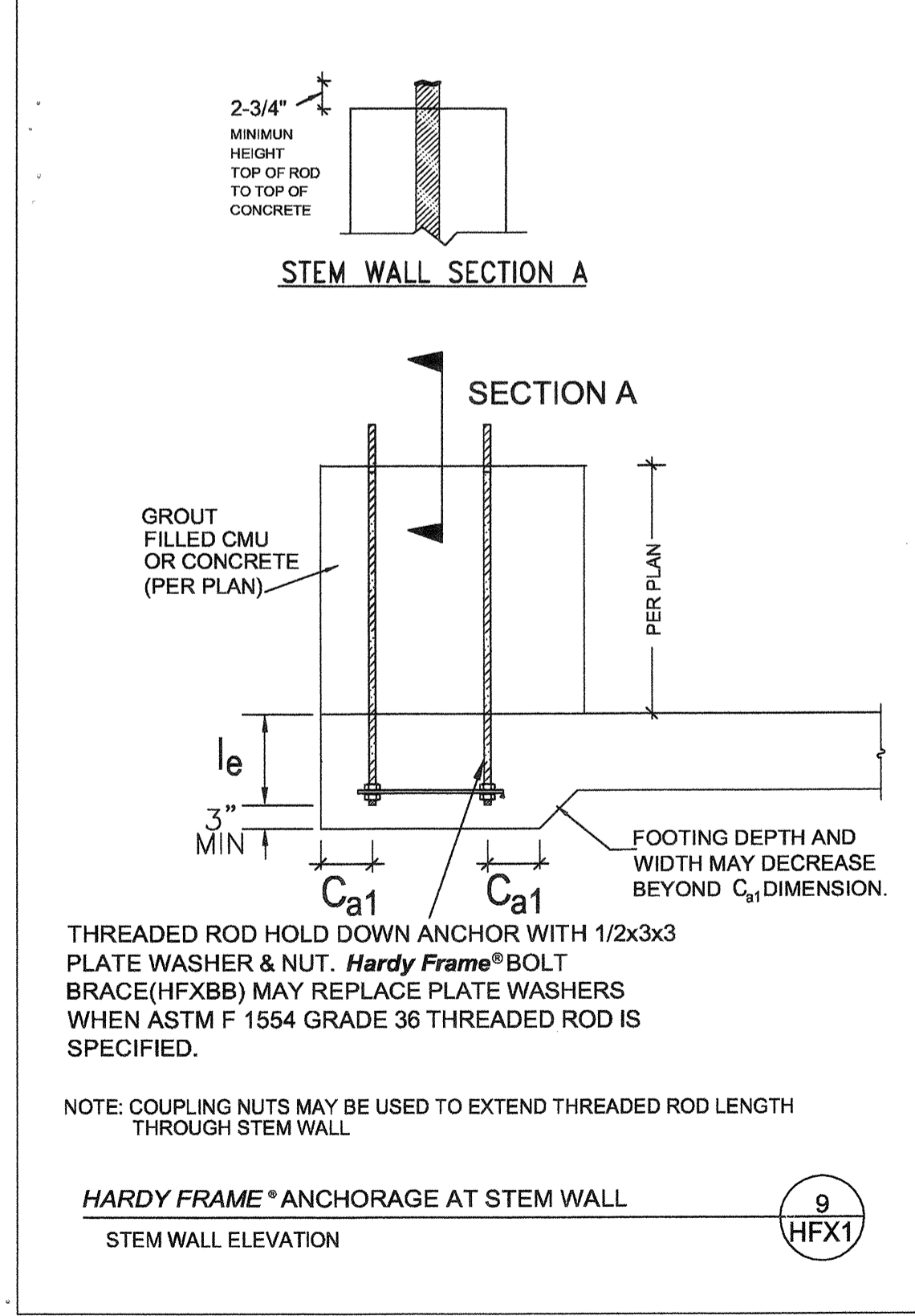
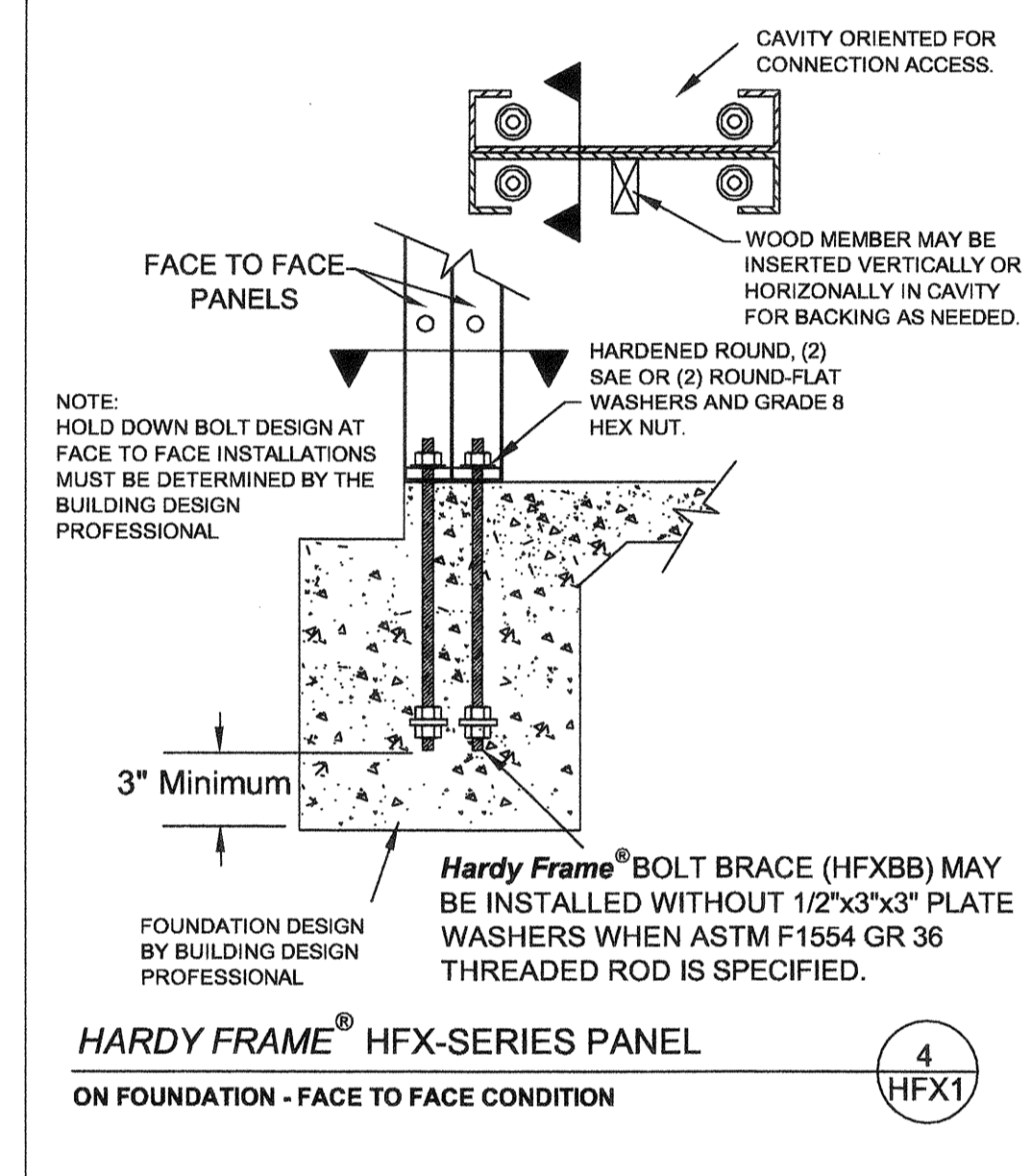
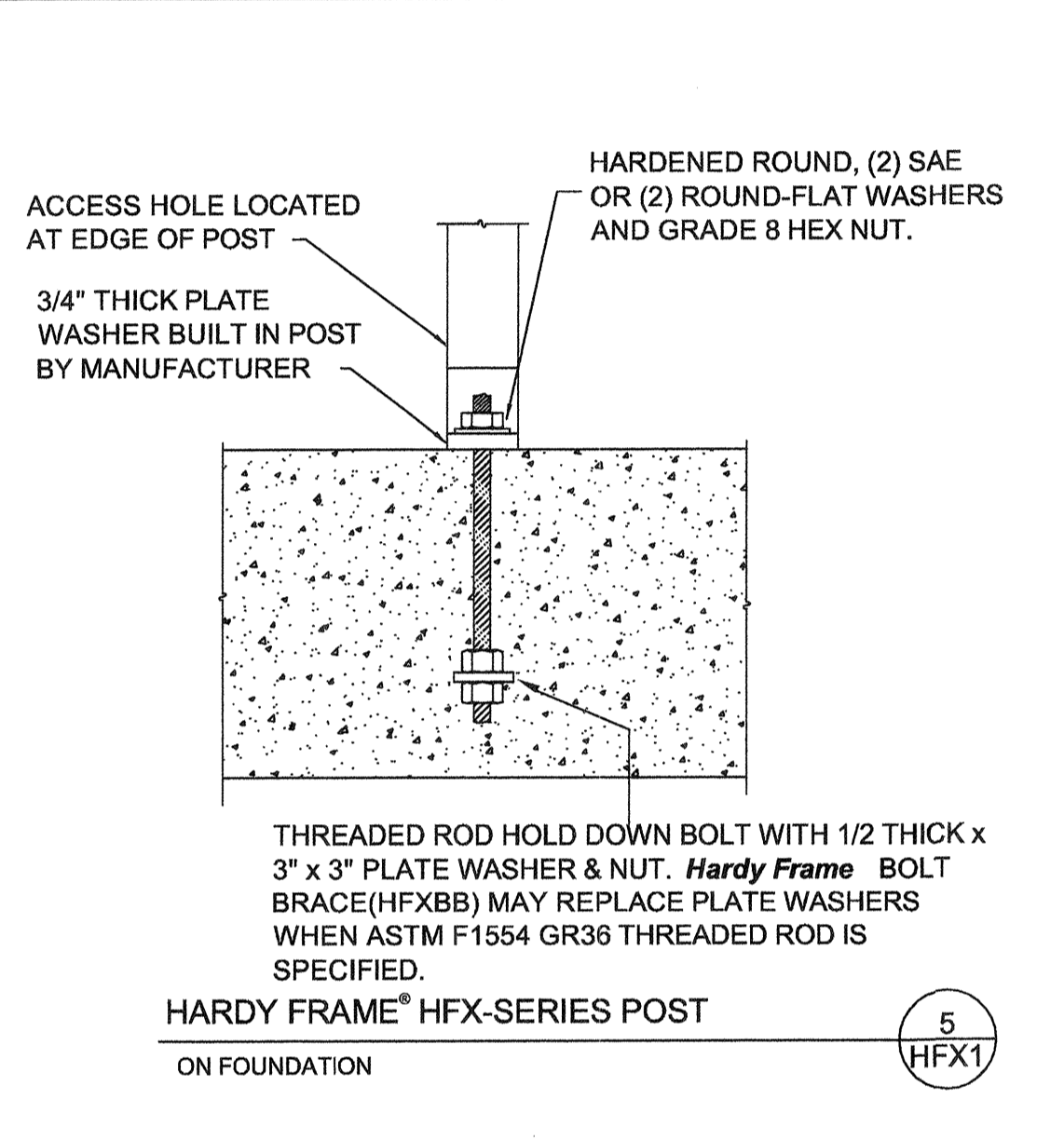
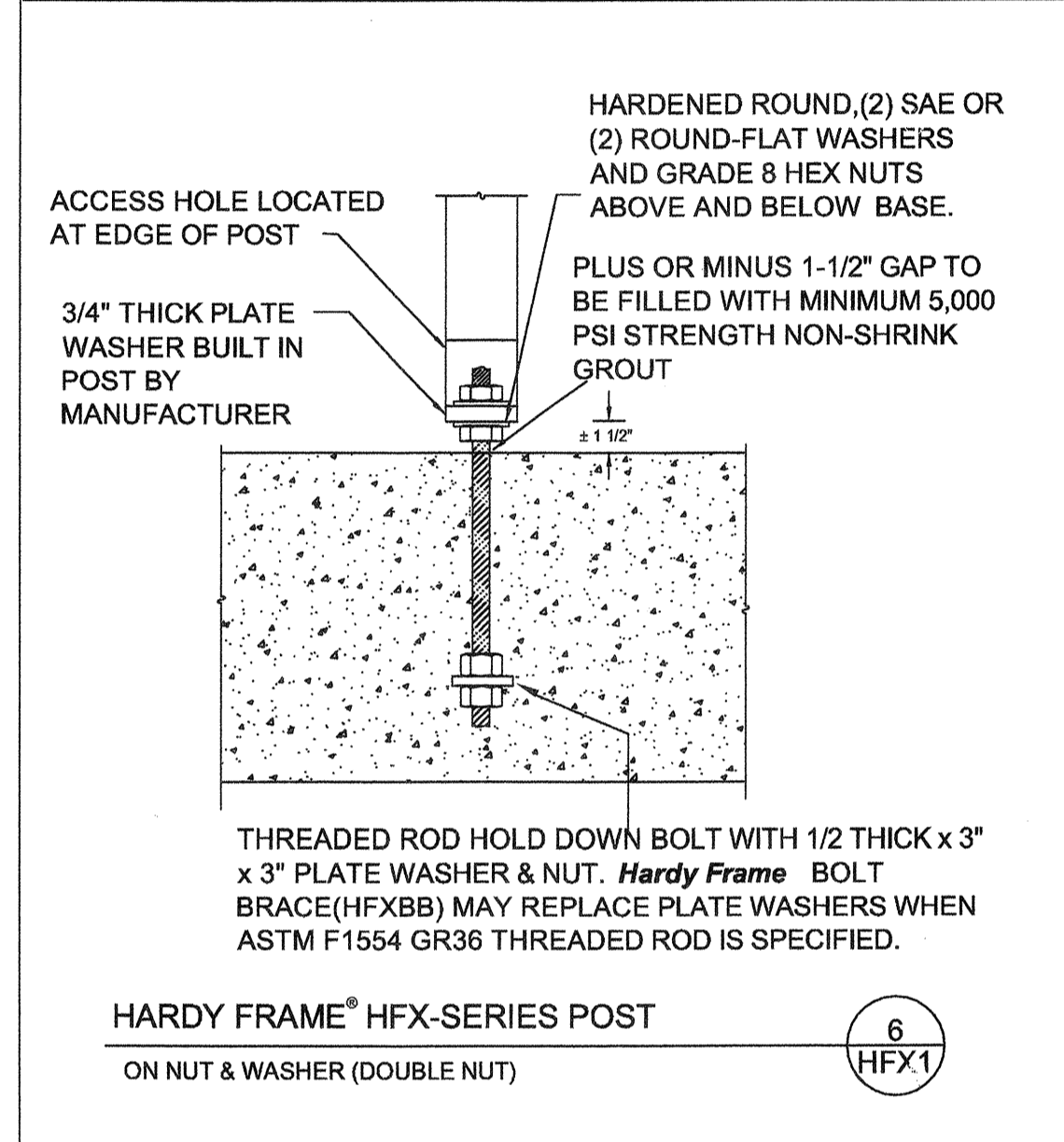
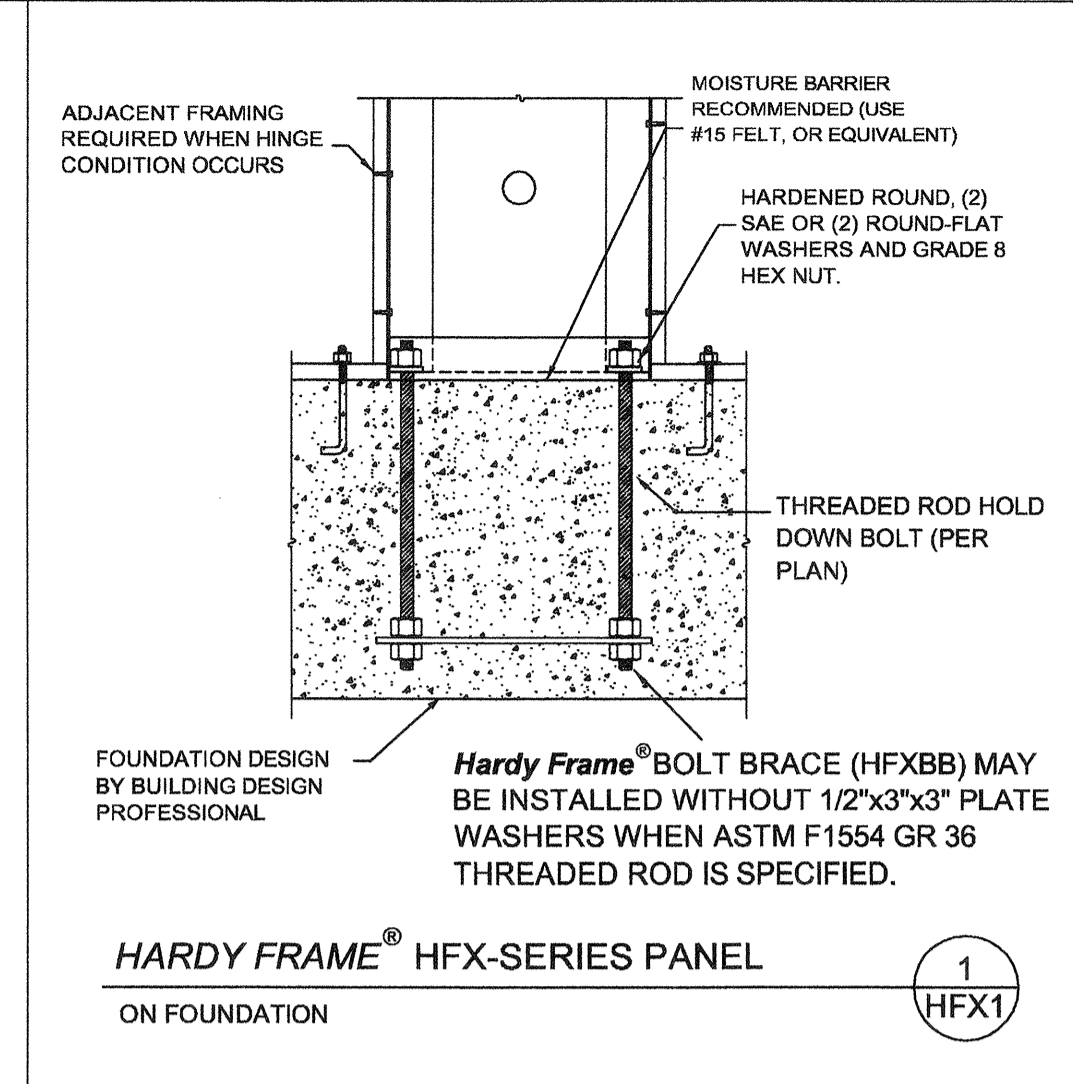
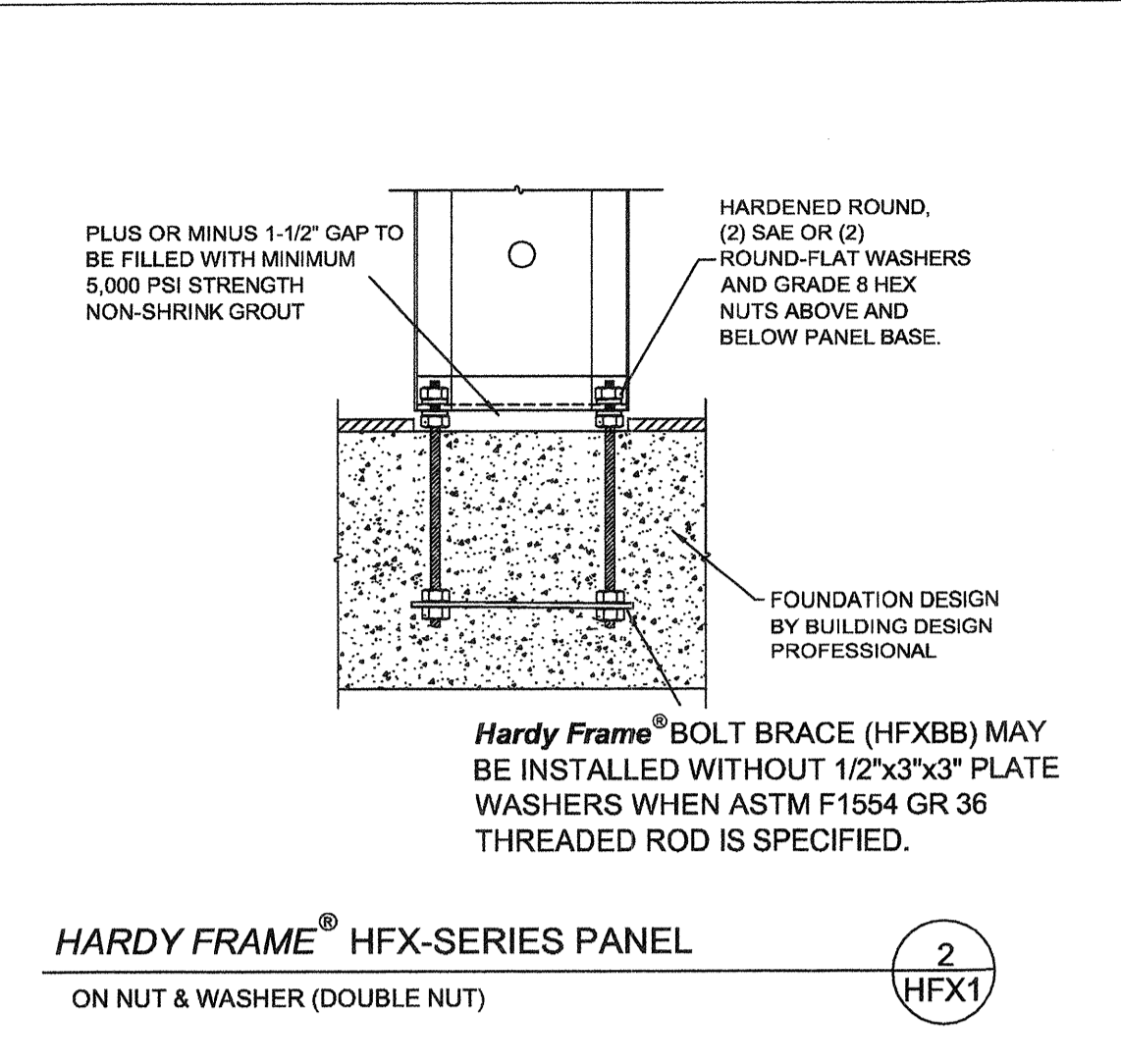
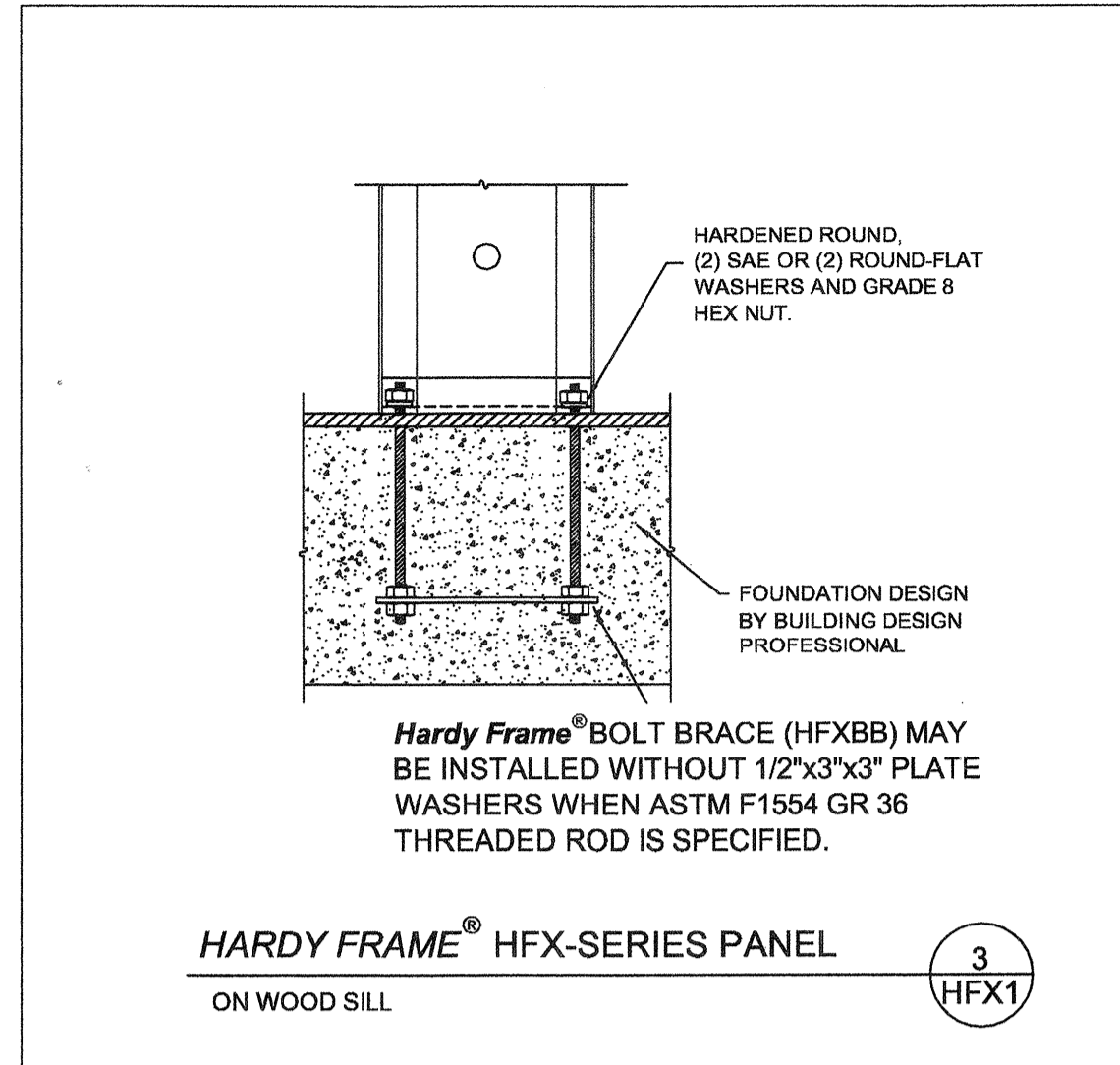
HARDY FRAMES
A Mittek Company
8789 S. VICTORIA AVE., SUITE 200, VENTURA, CA 93003
TELEPHONE: 800 754-3030 / www.hardyframe.com



DATE: 1-1-2011

HFX1 FDN

James Carr & Associates
14111 W. 4th St., Suite 100, Los Angeles, CA 90044
residential planning
TALLEY Newport Beach California
127 25th Street



Hardy Frame Installation

Step 1: Concrete Preparation

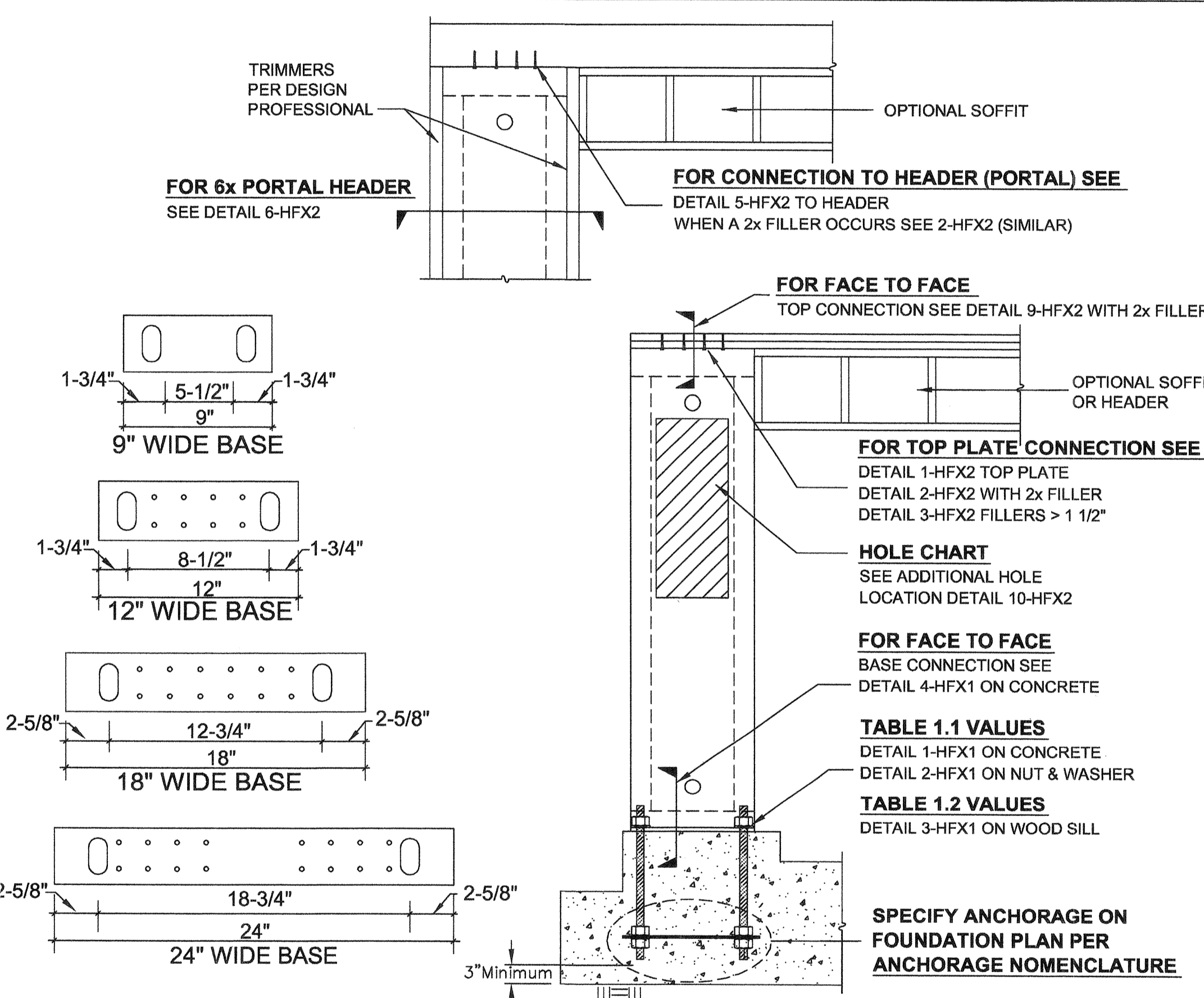
- Concrete contractor shall use **Hardy Frame** HFX-Series Templates to accurately place embed bolts and **Hardy Frame** Bolt Braces to prevent sway.
- Attach the HFX-Series Template to a formboard at location specified on plans. Bolt Braces connect at the embed end of the hold down bolts.
- At interior footings Templates may be secured in place using stakes.
- Footing design, embed depths and anchor edge/end distances are per the Building Design Professional.
- Determine if the **Hardy Frame** will be installed on concrete or a mudsill. For installation directly on concrete the recommended bolt height above finished concrete is 2 3/4" and for installation on a 2x mudsill it is 4 1/4".

Step 2: First Floor installation on concrete

- Installation of a moisture barrier such as Moistop or 15# felt is recommended under the Panel.
- Set the **Hardy Frame** over the embed bolts and install (1) Hardened Round, (2) Round-Flat, or (2) SAE washers and a Grade 8 hex nut.
- Tighten nuts until snug tight.
- After framing and plumb & line are complete, place a 2x filler above the Panel to make up the height difference created by eliminating the sill plate, and connect with 1/4" x 4 1/2" screws through the top of the Panel, through the filler and into the double top plates or header above. For fillers larger than 1 1/2" net, refer to detail 3/HFX2.

Step 2: First Floor installation on a Sill Plate

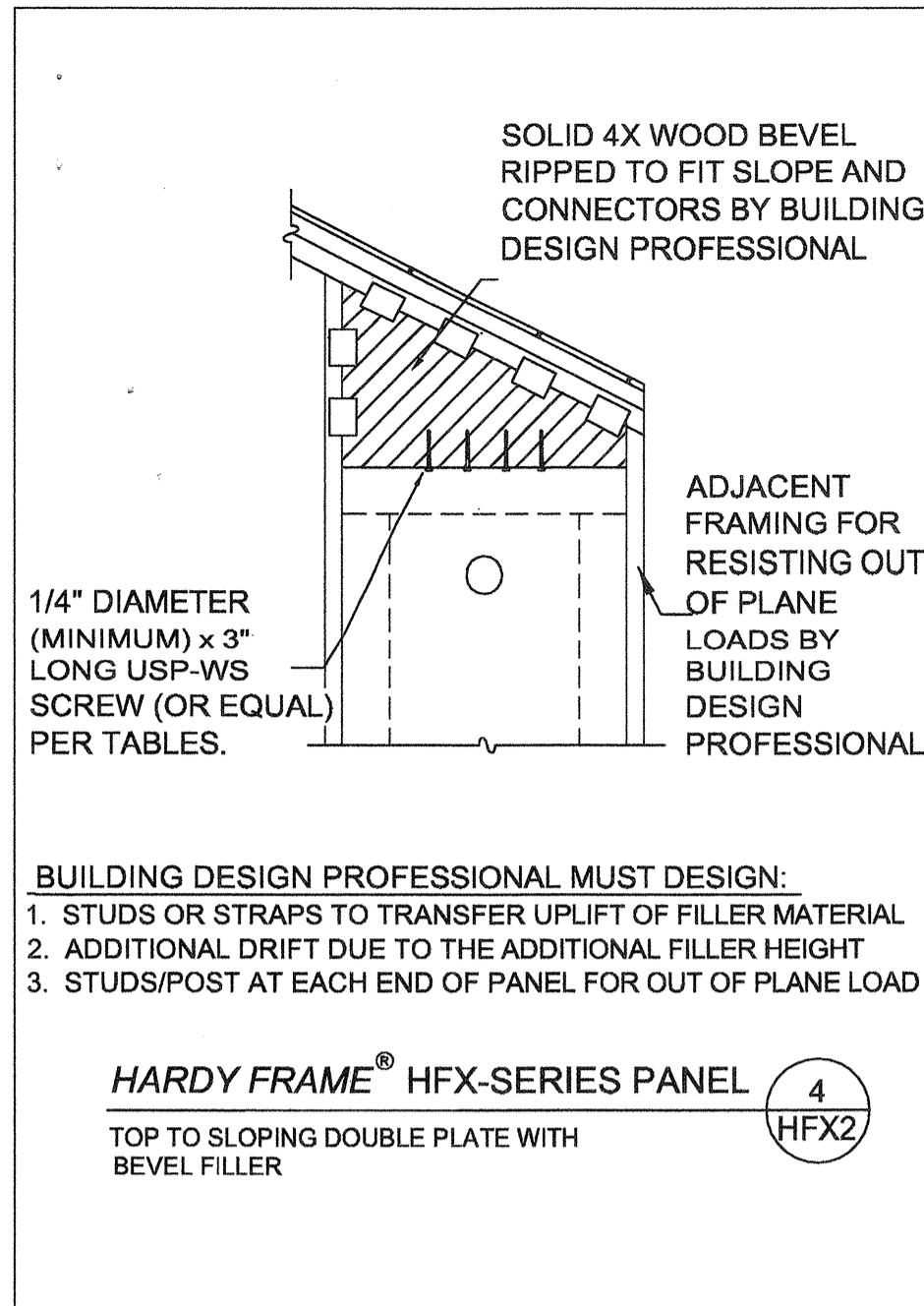
- If the **Hardy Frame** is to be installed on a mudsill, plot the bottom plate and cut the length to match the width of the Panel. If located next to a door opening, allow the plate to run into the opening.
- Set the **Hardy Frame** over the embed bolts and install (1) Hardened Round, (2) Round-Flat, or (2) SAE washers and a Grade 8 hex nut.
- Tighten nuts until snug tight.
- After framing and plumb & line are complete, install 1/4"x 3" screws through the top of the Panel into the double top plates or header above.



DETAIL SPECIFICATION GUIDE

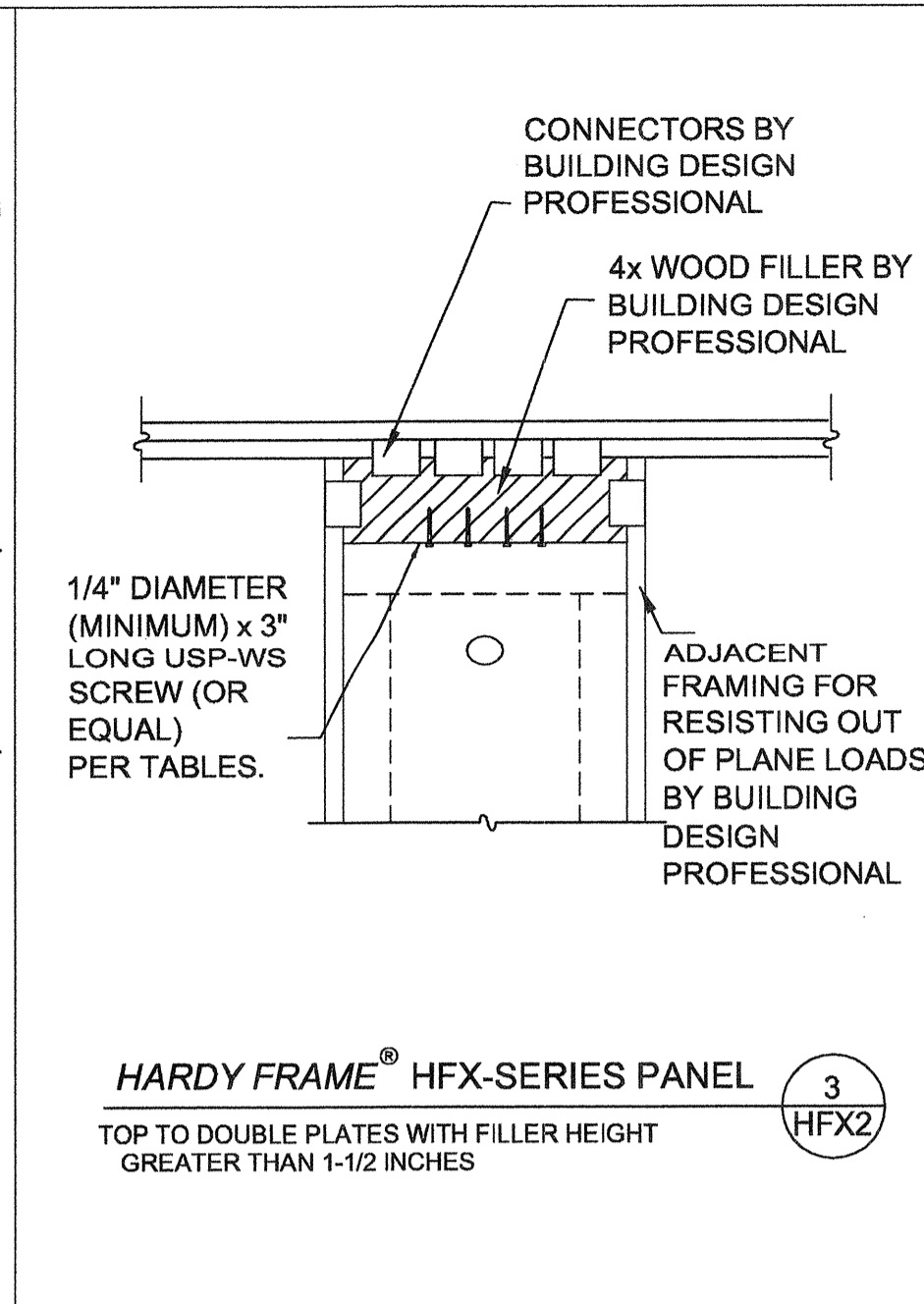
Product Width (in)	Max. Height (ft)	Anchorage (See Nomenclature for Description)		Shear Tie Quantity		Length L ₁ (in)
		STD	HS	STD	HS	
9	8	1-1/8 STD 12-17	NA	1	1	7-1/2
12	10	1-1/8 STD 14-20	1-1/8 HS 14-20			10-1/2
18	13	NA	1-1/8 HS 20-30			15
24	20	1-1/8 STD 14-20	1-1/8 HS 20-30	2	2	21
	20	NA	1-1/8 HS 18-27			

- Applies to 2500 psi compressive strength concrete, both seismic and wind loading.
- STD indicates rods complying with ASTM F1554 Grade 36 with a **Hardy Frame** Bolt Brace (HFXBB) double nutted on the embed end. HFXBB is recommended.
- HS indicates rods complying with ASTM A 193 Grade B7 (or equal) with a 1/2x3x3 plate washer double nutted on the embed end. HFXBB is recommended.
- Concrete edge distance must comply with ACI-318-08 D8.2.
- Installation on curbs or stemwalls must be 6 inch width minimum, and require supplemental shear reinforcement per ACI-318-08, fc=2500 psi.
- Shear Ties are #3 rebar, grade 60 (min.)
- Shear Ties are not required for installations away from Foundation Edge, for installation on wood framing or for Braced Wall Panel applications.
- Foundation Design is by others
- The Building Design Professional is permitted to modify these details to accommodate a specific condition.

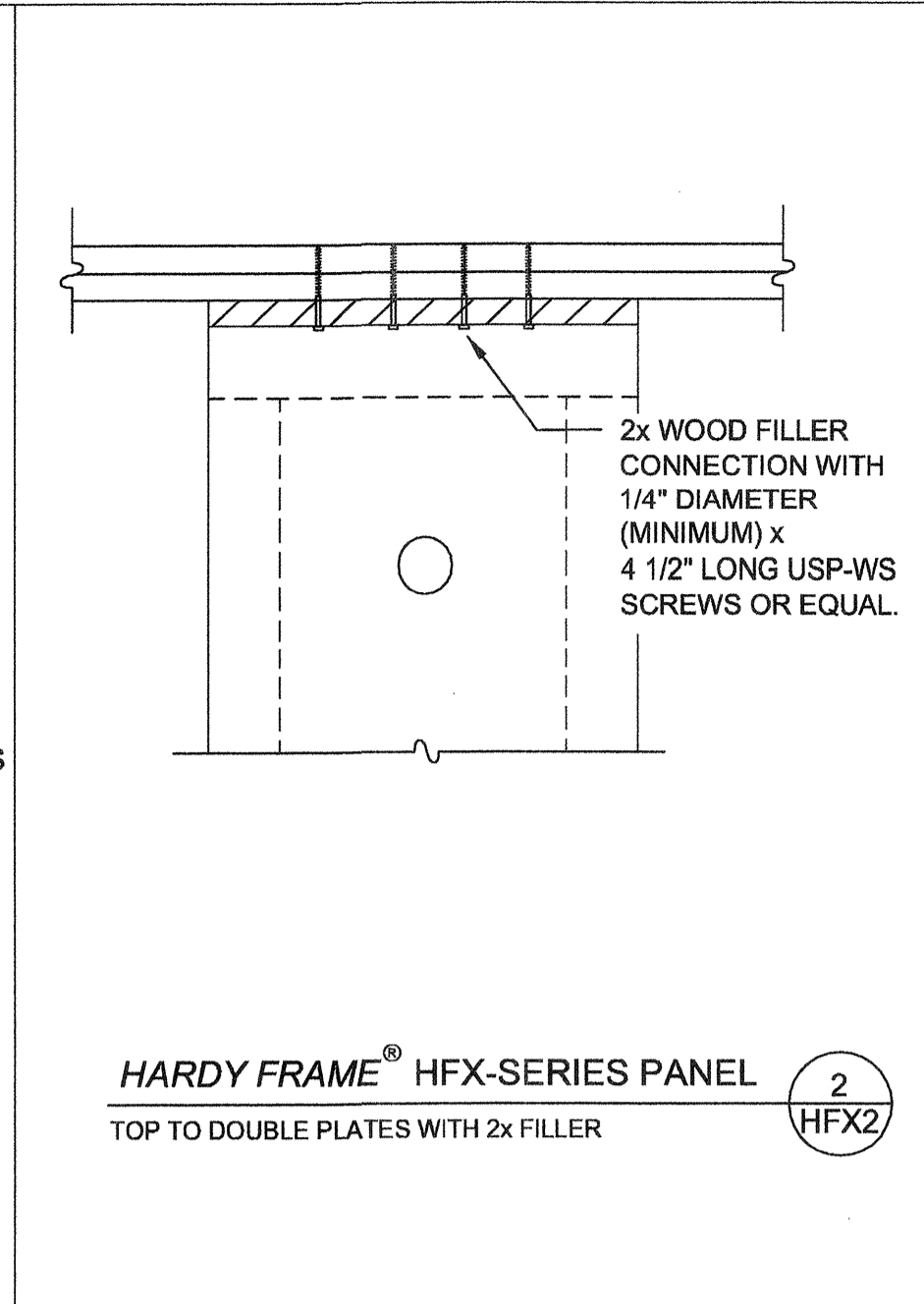


BUILDING DESIGN PROFESSIONAL MUST DESIGN:
 1. STUDS OR STRAPS TO TRANSFER UPLIFT OF FILLER MATERIAL
 2. ADDITIONAL DRIFT DUE TO THE ADDITIONAL FILLER HEIGHT
 3. STUDS/POST AT EACH END OF PANEL FOR OUT OF PLANE LOAD

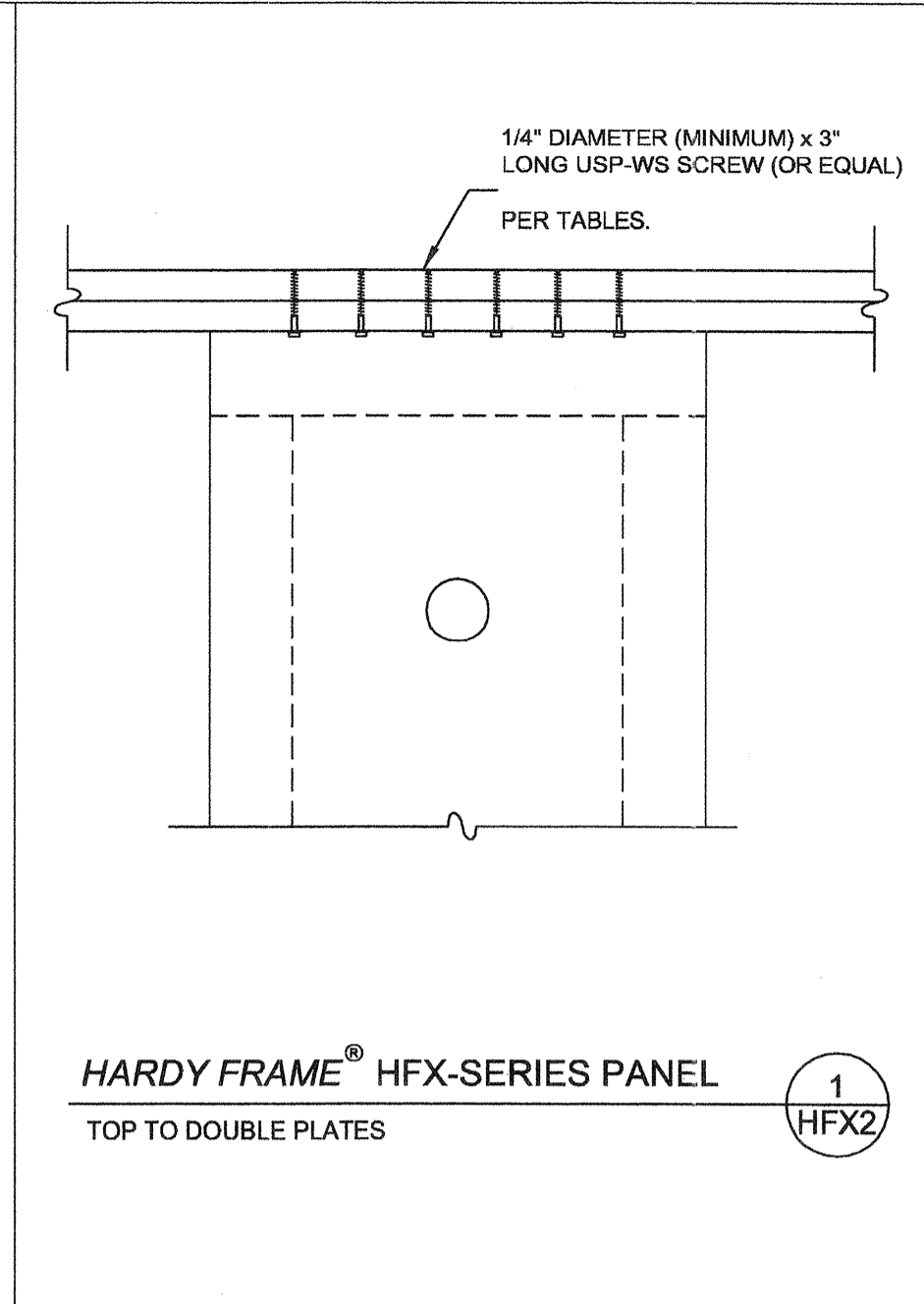
HARDY FRAME® HFX-SERIES PANEL (4) HFX2
 TOP TO SLOPING DOUBLE PLATE WITH BEVEL FILLER



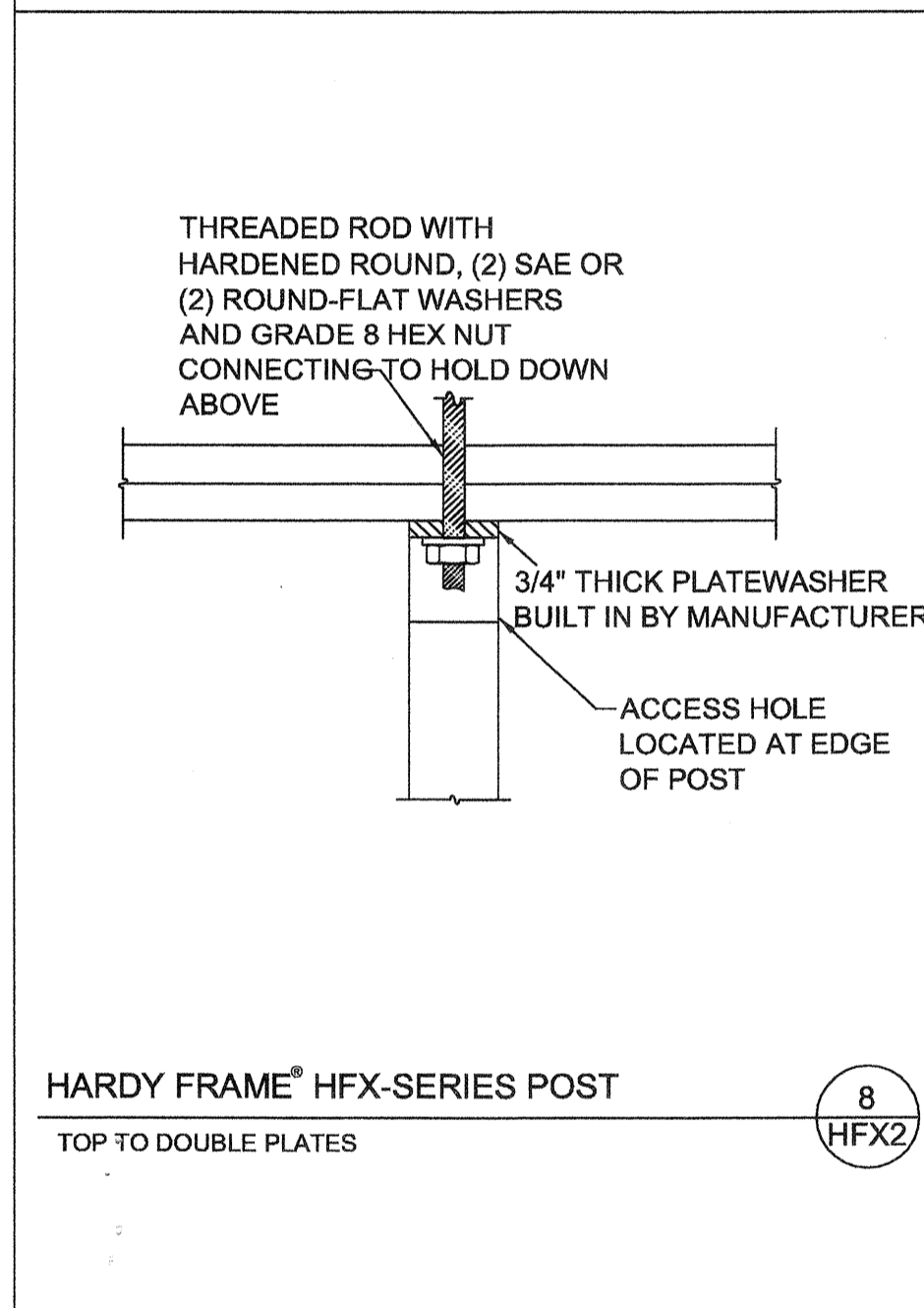
HARDY FRAME® HFX-SERIES PANEL (3) HFX2
 TOP TO DOUBLE PLATES WITH FILLER HEIGHT GREATER THAN 1-1/2 INCHES



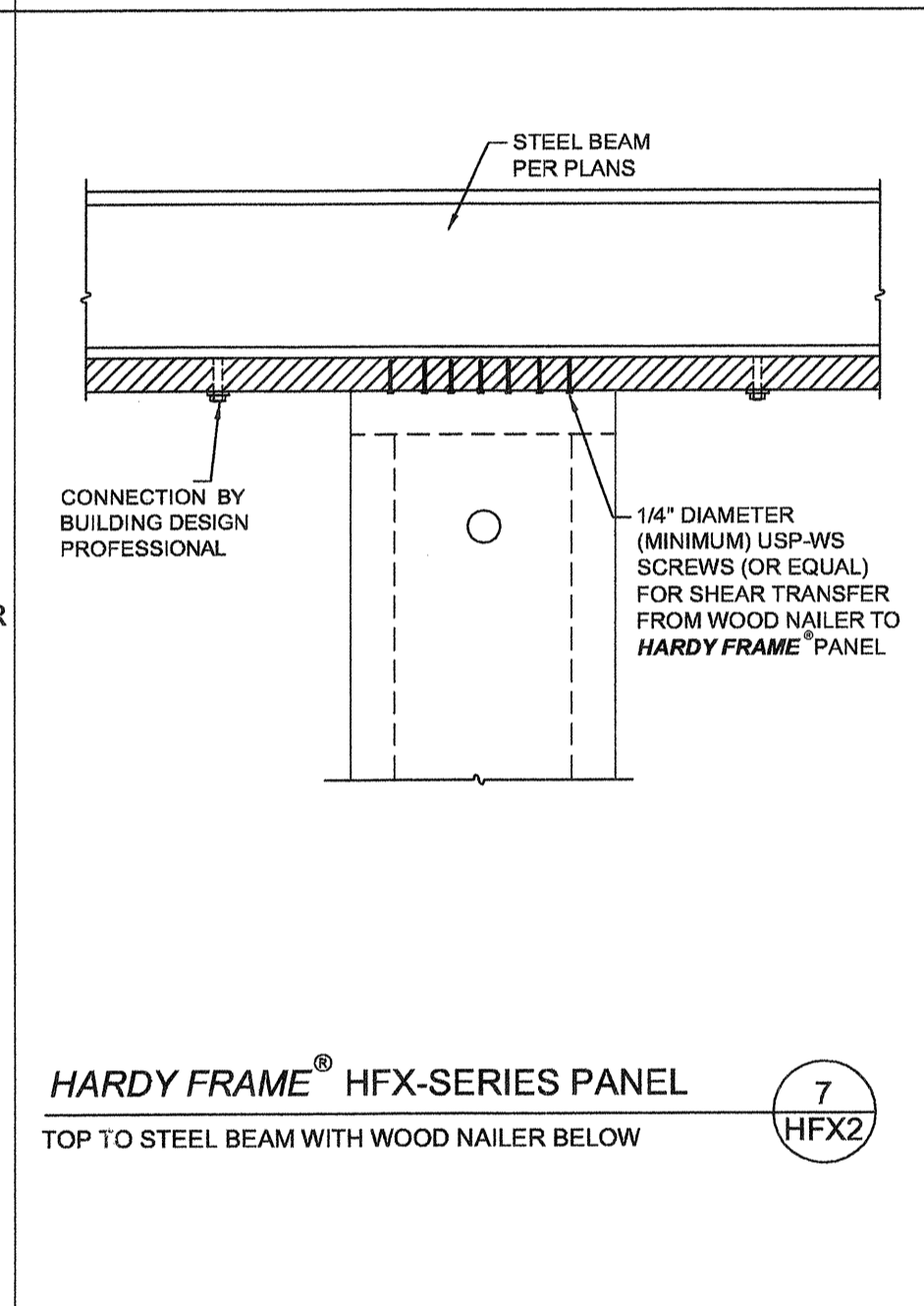
HARDY FRAME® HFX-SERIES PANEL (2) HFX2
 TOP TO DOUBLE PLATES WITH 2x FILLER



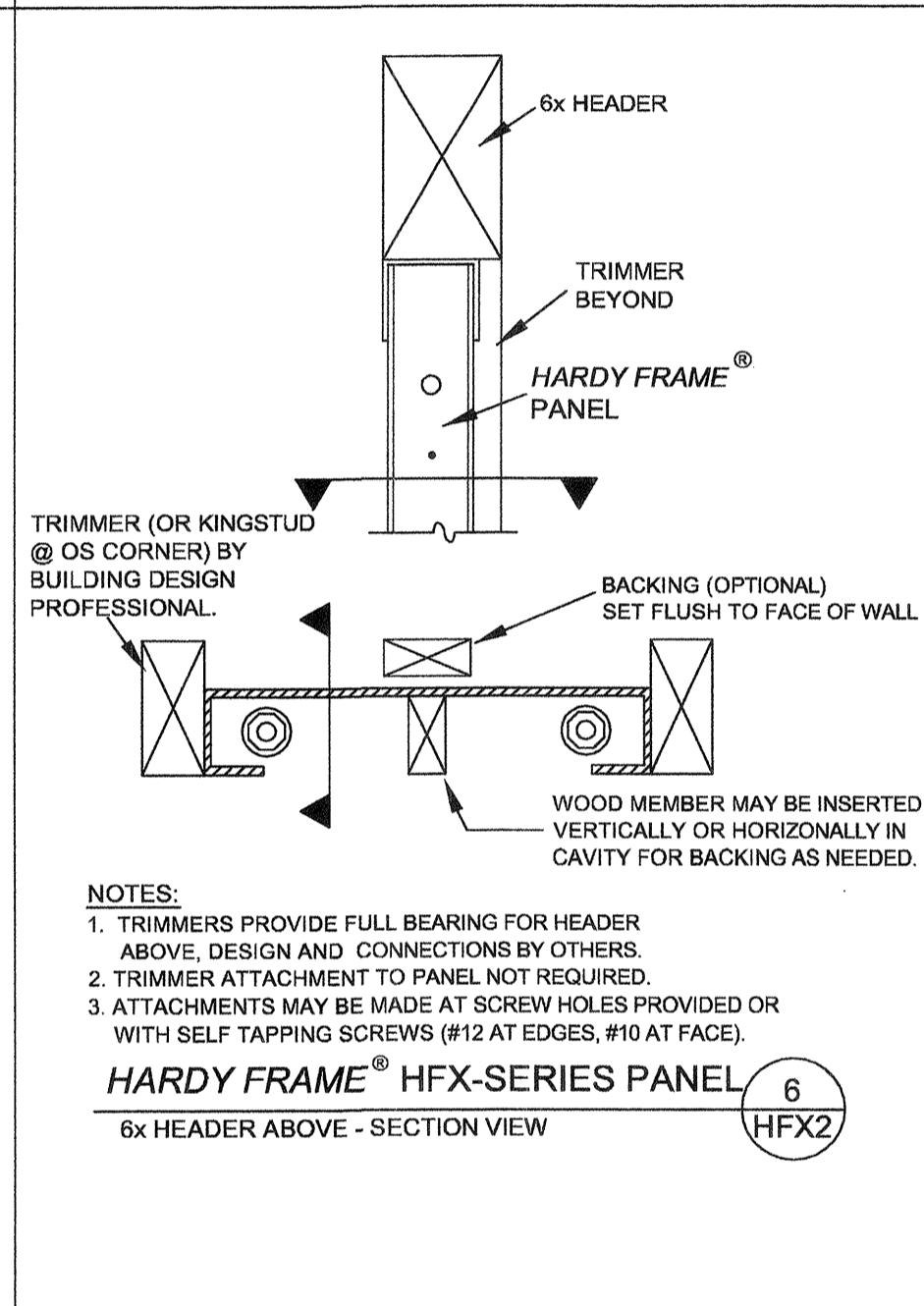
HARDY FRAME® HFX-SERIES PANEL (1) HFX2
 TOP TO DOUBLE PLATES



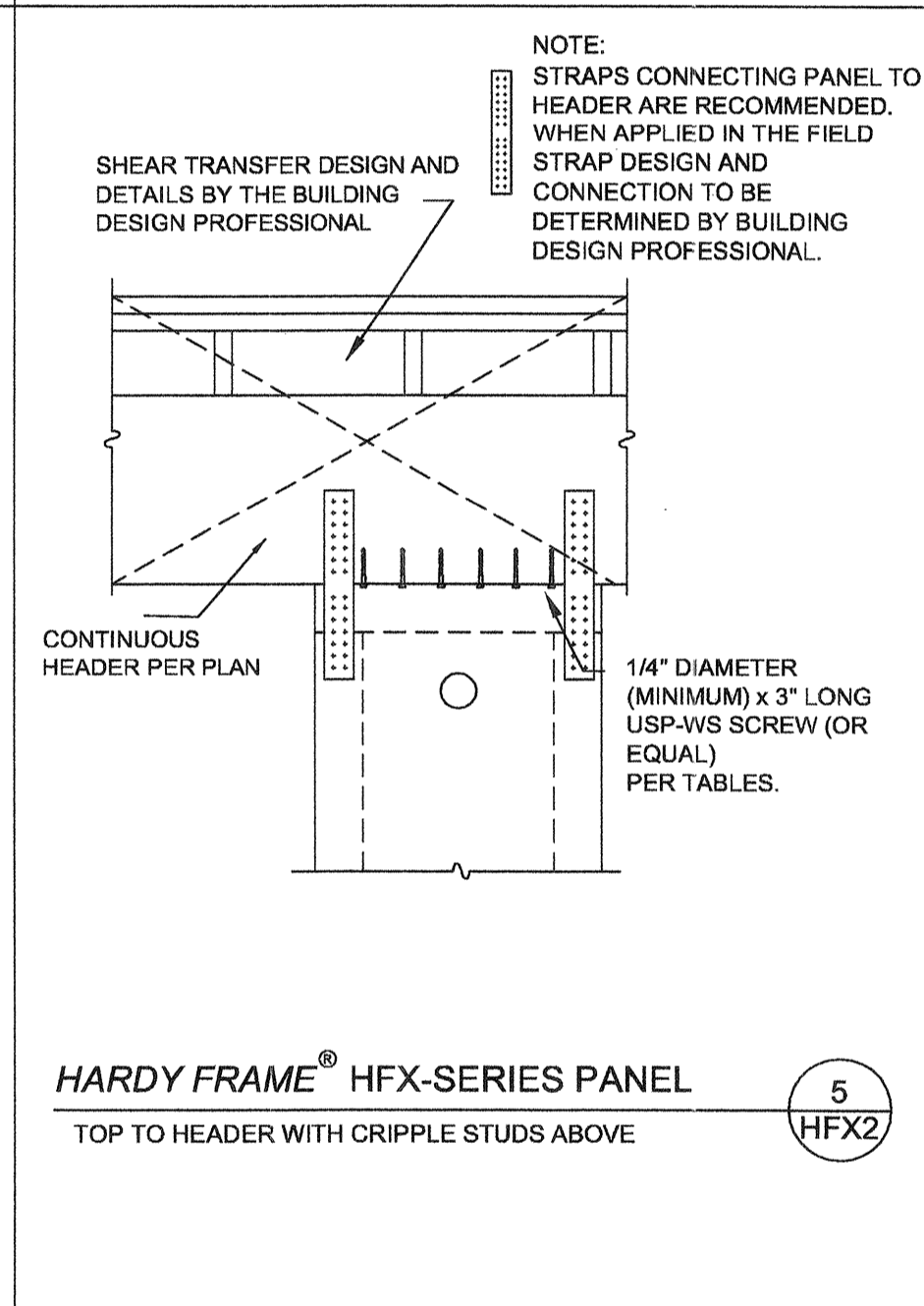
HARDY FRAME® HFX-SERIES POST (8) HFX2
 TOP TO DOUBLE PLATES



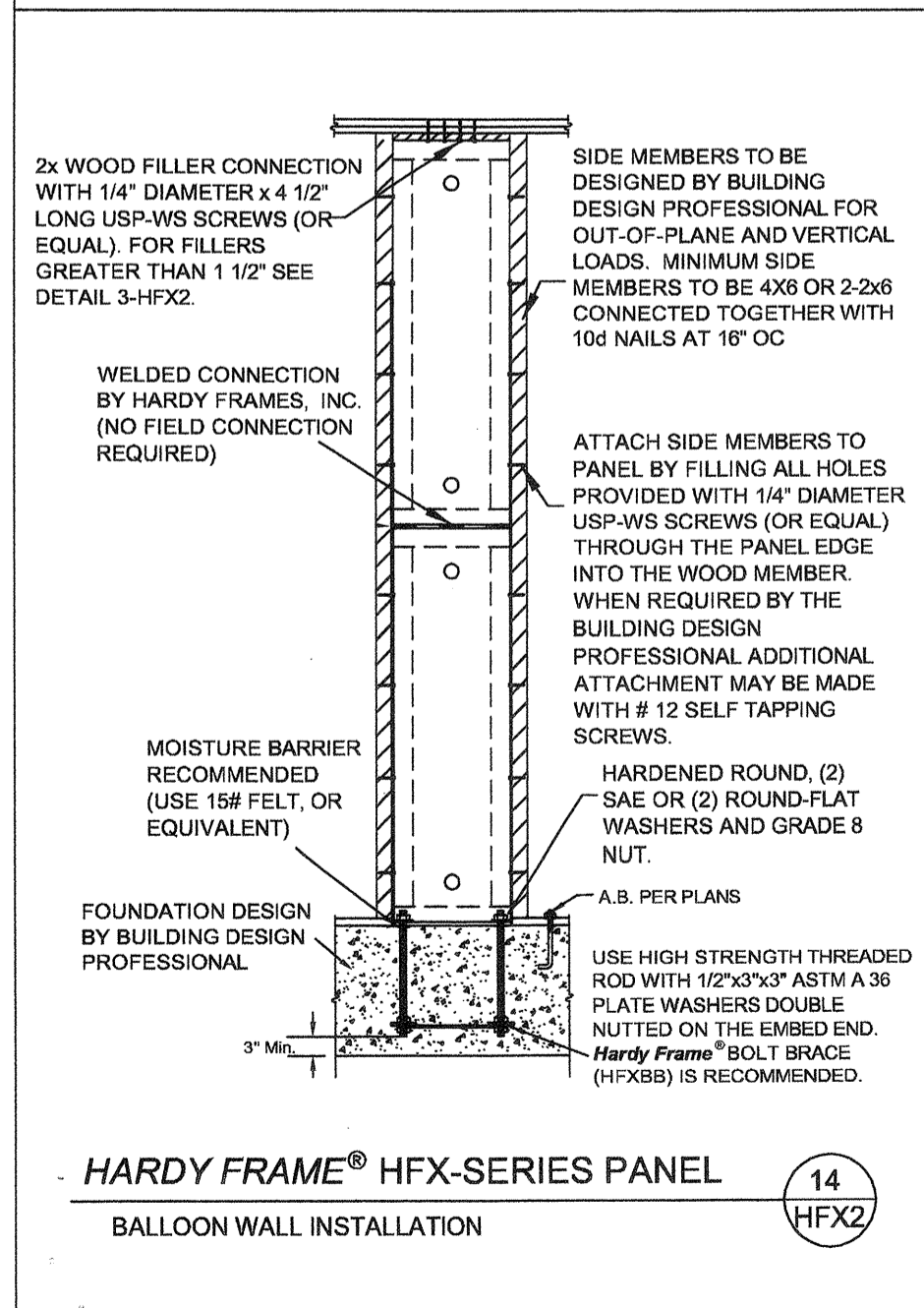
HARDY FRAME® HFX-SERIES PANEL (7) HFX2
 TOP TO STEEL BEAM WITH WOOD NAILER BELOW



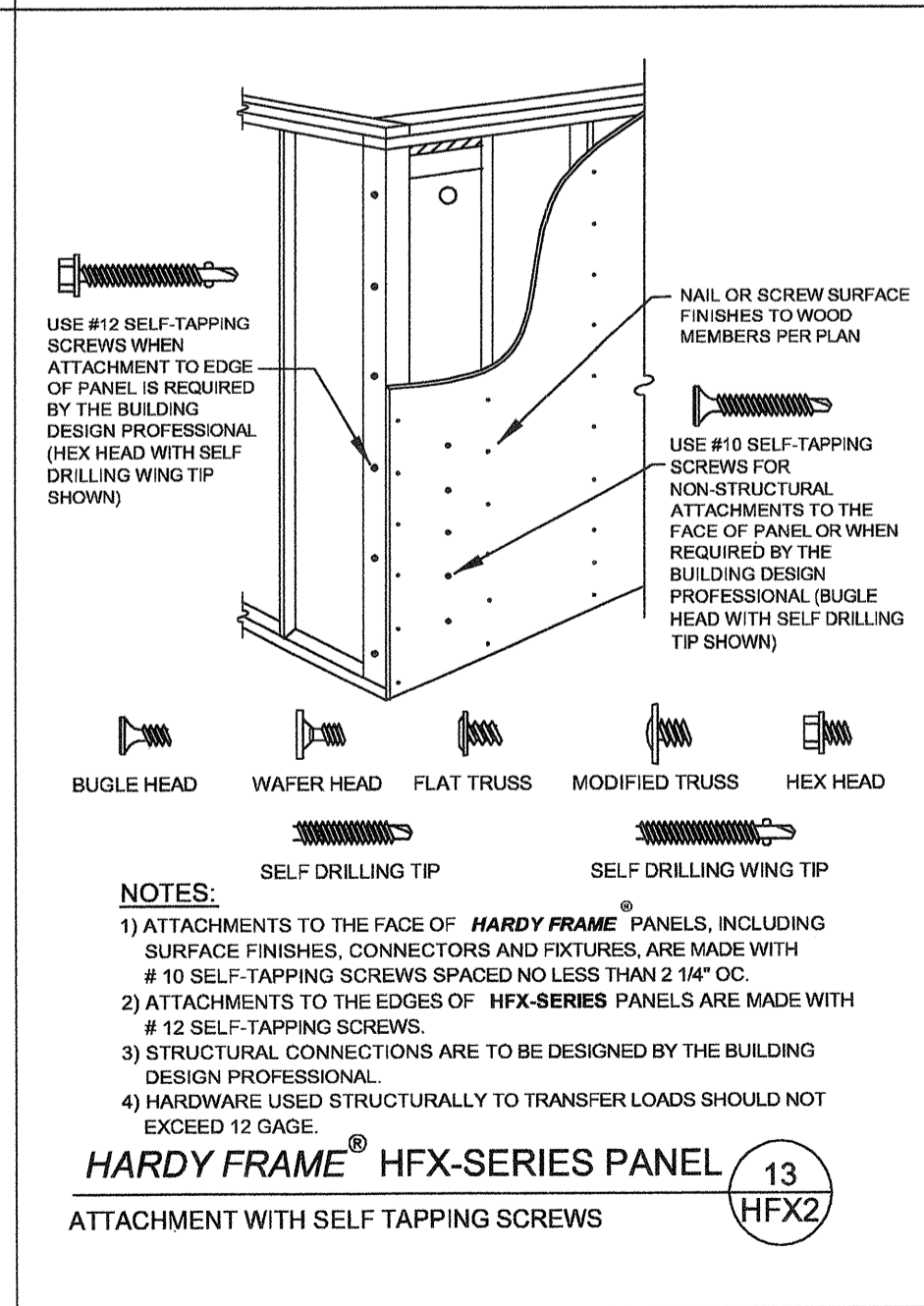
HARDY FRAME® HFX-SERIES PANEL (6) HFX2
 6x HEADER ABOVE - SECTION VIEW



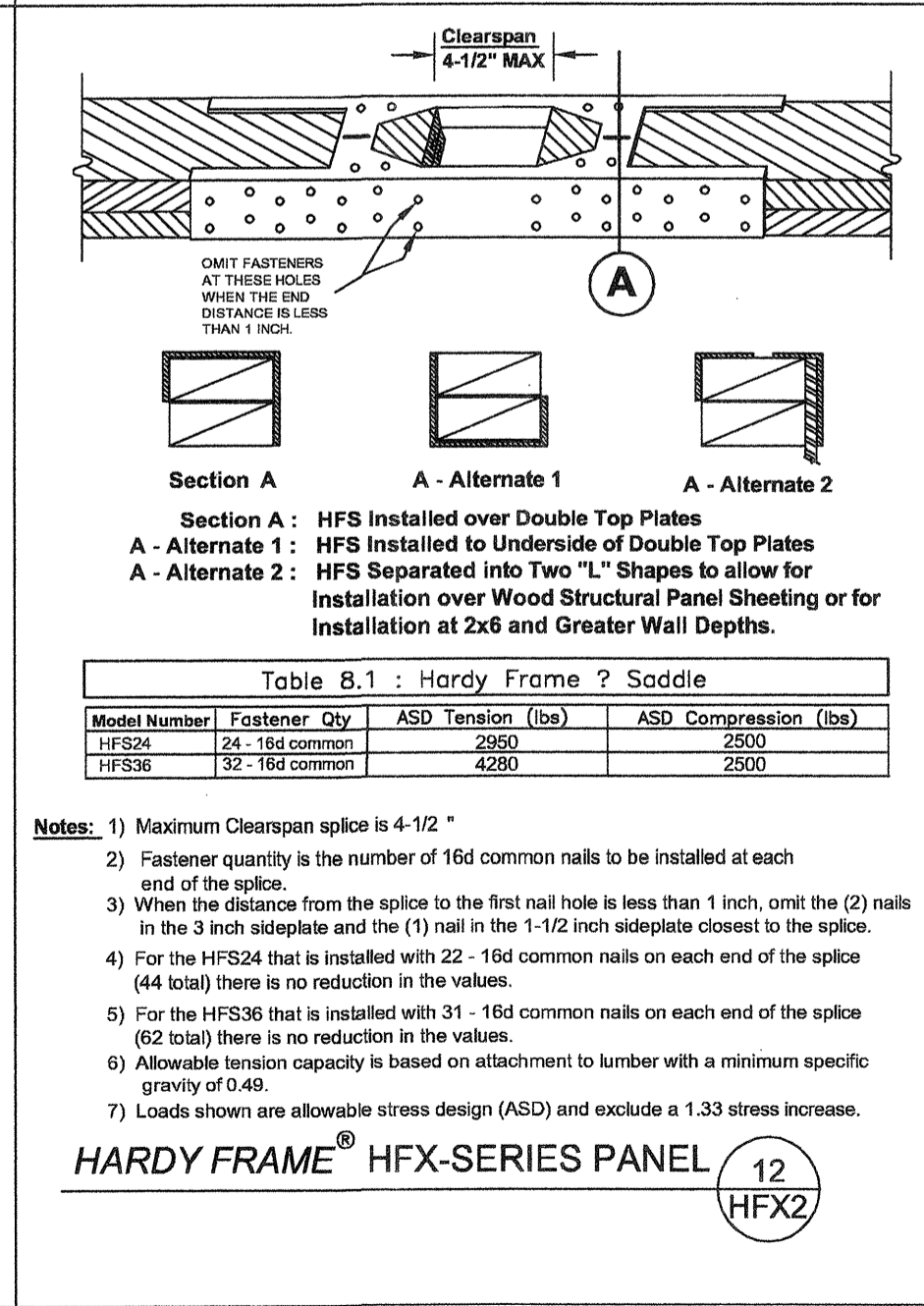
HARDY FRAME® HFX-SERIES PANEL (5) HFX2
 TOP TO HEADER WITH CRIPPLE STUDS ABOVE



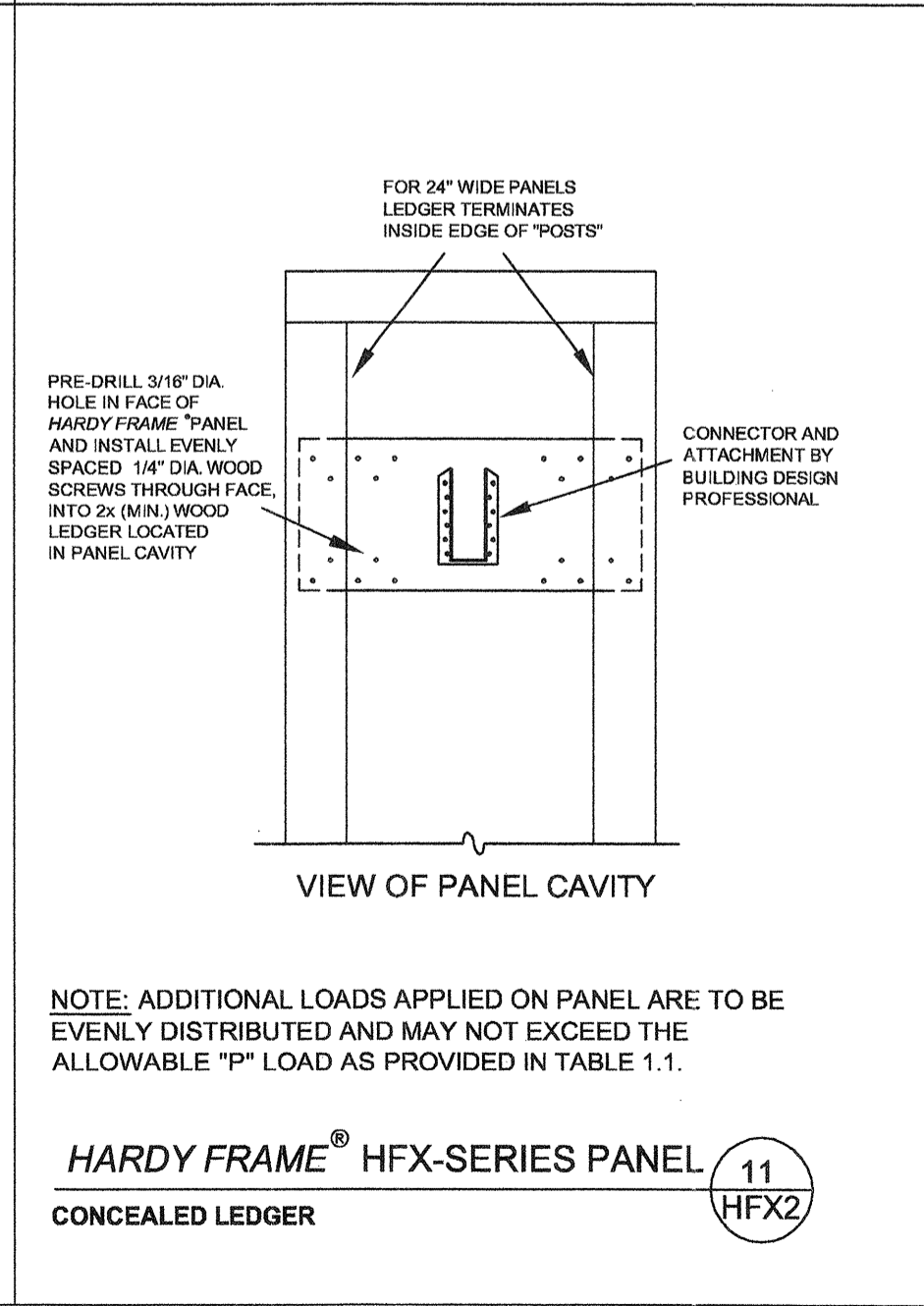
HARDY FRAME® HFX-SERIES PANEL (14) HFX2
 BALLOON WALL INSTALLATION



HARDY FRAME® HFX-SERIES PANEL (13) HFX2
 ATTACHMENT WITH SELF TAPPING SCREWS



HARDY FRAME® HFX-SERIES PANEL (12) HFX2

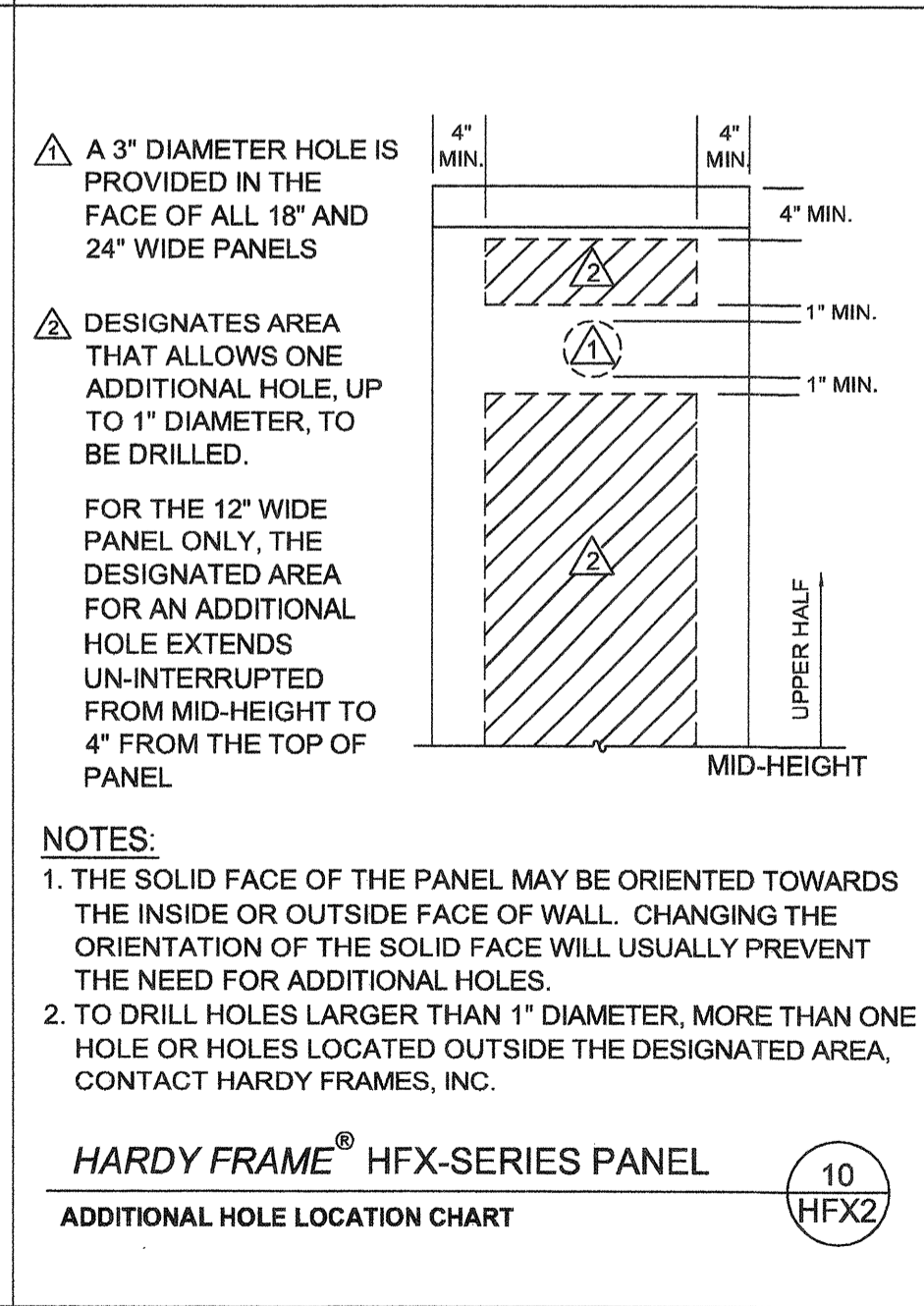
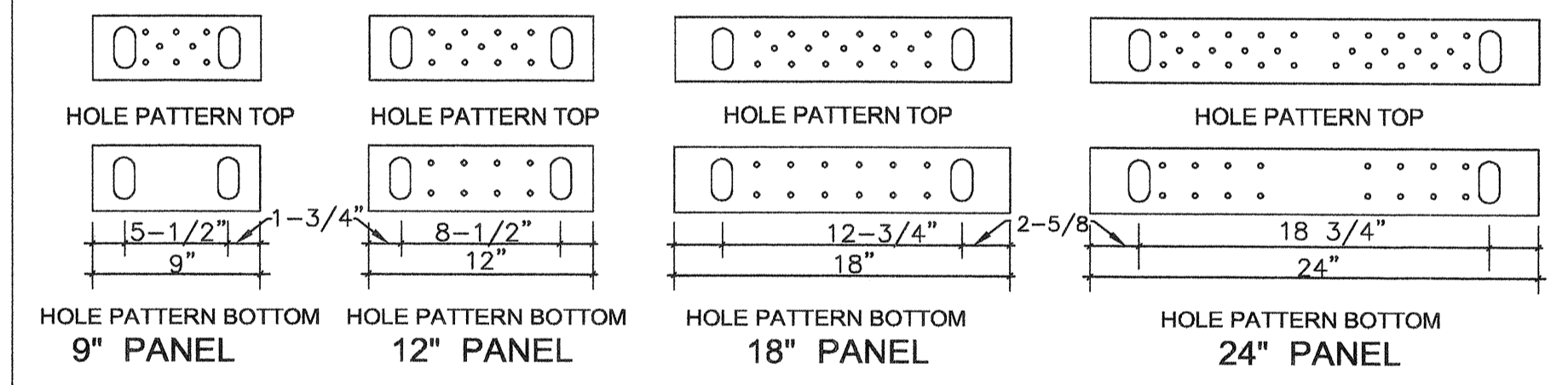


HARDY FRAME® HFX-SERIES PANEL (11) HFX2
 CONCEALED LEDGER

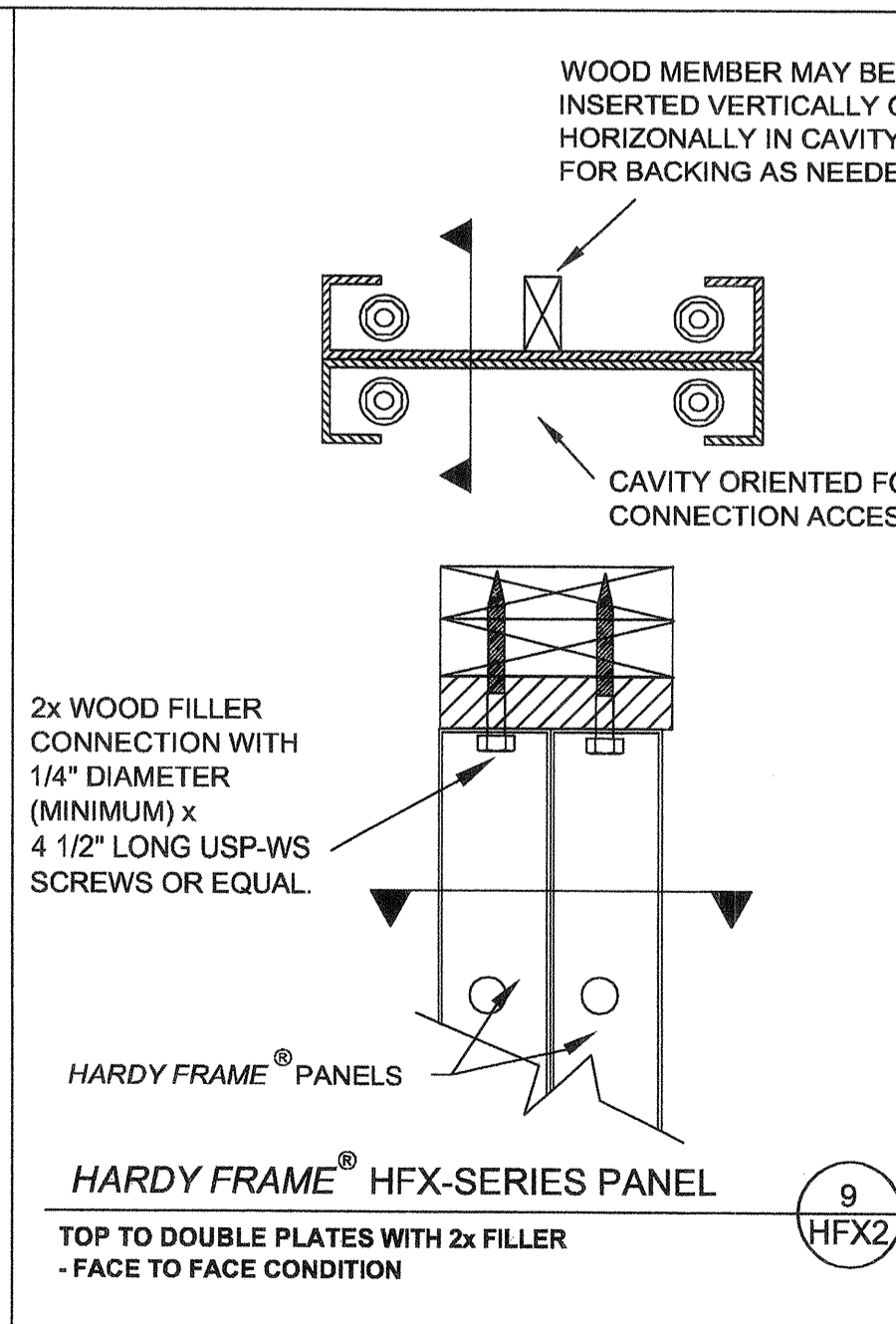
MODEL NUMBER	NET HEIGHT (in)	DEPTH (in)	Hold Down Diameter ¹ (in)	Top Screw ² Qty (ea)	Bottom Screw ³ Qty (ea)	Screw Qty Available at Edges (ea)
HFX-9x79.5	79-1/2	3-1/2	1-1/8	8	NA	4
HFX-9x8	92-1/4					
HFX-12x78	78	3-1/2	1-1/8	10	6	4
HFX-12x8	92-1/4					5
HFX-12x9	104-1/4					6
HFX-12x10	116-1/4					5
HFX-18x78	78	3-1/2	1-1/8	10	10	4
HFX-18x8	92-1/4					5
HFX-18x9	104-1/4					6
HFX-18x10	116-1/4					8
HFX-18x11	128-1/4					9
HFX-18x12	140-1/4					10
HFX-18x13	152-1/4					NA
HFX-18x14	164-1/4					
HFX-18x15	176-1/4					
HFX-18x16	188-1/4					
HFX-18x17	200-1/4					
HFX-18x18	212-1/4					
HFX-18x19	224-1/4					
HFX-18x20	236-1/4					
HFX-24x78	78	3-1/2	1-1/8	14	14	4
HFX-24x8	92-1/4					5
HFX-24x9	104-1/4					6
HFX-24x10	116-1/4					8
HFX-24x11	128-1/4					9
HFX-24x12	140-1/4					10
HFX-24x13	152-1/4					NA
HFX-24x14	164-1/4					
HFX-24x15	176-1/4					
HFX-24x16	188-1/4					
HFX-24x17	200-1/4					
HFX-24x18	212-1/4					
HFX-24x19	224-1/4					
HFX-24x20	236-1/4					

MODEL NUMBER	NET HEIGHT (in)	DEPTH (in)	Hold Down Diameter ¹ (in)	Top Screw ² Qty (ea)	Bottom Screw ³ Qty (ea)	Screw Qty Available at Edges (ea)
HFX-24x78	78	3-1/2	1-1/8	14	14	4
HFX-24x8	92-1/4					5
HFX-24x9	104-1/4					6
HFX-24x10	116-1/4					8
HFX-24x11	128-1/4					9
HFX-24x12	140-1/4					10
HFX-24x13	152-1/4					NA
HFX-24x14	164-1/4					
HFX-24x15	176-1/4					
HFX-24x16	188-1/4					
HFX-24x17	200-1/4					
HFX-24x18	212-1/4					
HFX-24x19	224-1/4					
HFX-24x20	236-1/4					

¹ Hold down bolts connect to the Panel base with one Hardened Round, two Round-Flat or two SAE Washers and a Grade 8 Hex Nut on each rod or as specified by the Building Design Professional.
² Screws at top are USP-WS Series (or equal). Use 1/4 x 3" (minimum) when attached directly to the collector, 1/4 x 4-1/2" (minimum) when installing a 2x filler above the Panel.
³ Screws at bottom are USP-WS Series (or equal). Use 1/4 x 4-1/2" (minimum) through base of Panel, 1/4 x 3" (minimum) at Hardy Frame® Bearing Plate (HFXBP).



HARDY FRAME® HFX-SERIES PANEL (10) HFX2
 ADDITIONAL HOLE LOCATION CHART



HARDY FRAME® HFX-SERIES PANEL (9) HFX2
 TOP TO DOUBLE PLATES WITH 2x FILLER - FACE TO FACE CONDITION

REVISIONS DATE

HFX-Series Panels Typical Framing Details

THIS DETAIL SHEET IS NOT PROPRIETARY AND IS NOT REQUIRED FOR PLAN SUBMITTAL WITH HARDY FRAME® PRODUCTS

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DATE: 1-1-2011

HFX2 FRMG

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