



**CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

FROM: Kimberly Brandt, Community Development Director
Brenda Wisneski, Deputy Community Development Director

SUBJECT: Report of actions taken by the Zoning Administrator, and/or Planning Division staff for the week ending March 7, 2014

**COMMUNITY DEVELOPMENT DIRECTOR
OR PLANNING DIVISION STAFF ACTIONS
(Non-Hearing Items)**

- Item 1: Newport Coast Shopping Center Sign Program Amendment
Comprehensive Sign Program No. CS2013-015 (PA2013-246)
21101 Newport Coast Drive
- Action: Approved Council District 6
- Item 2: Staff Approval No. SA2014-006 (PA2014-028)
409 Morning Star Lane
- Action: Approved Council District 3

APPEAL PERIOD: An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.



COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
(949) 644-3200 Fax: (949) 644-3229

www.newportbeachca.gov

ZONING ADMINISTRATOR ACTION LETTER

Application No.	Comprehensive Sign Program No. CS2013-015 (PA2013-246)
Applicant	Irvine Company
Site Address	21101 Newport Coast Drive Newport Coast Shopping Center Sign Program Amendment
Legal Description	Parcel 2 of Parcel Map No. 200-160, as recorded in Book 318, Pages 27 through 31, being a subdivision of Lots 11 and 12 of Tract No. 14509 per map filed in Book 688, Pages 1 through 16, inclusive, of Miscellaneous Maps and as corrected by Certificate of Corrections recorded June 26, 1992 as Instrument No. 92-431391 and July 8, 1992 as Instrument No. 92-457550 both of Official Records and Lot 19 of Tract No. 14487 per map filed in Book 692, Pages 1 through 8, inclusive, of Miscellaneous Maps, records of Orange County, California.

On **March 7, 2013**, the Zoning Administrator approved Comprehensive Sign Program No. CS2013-015. This approval is based on the following findings and subject to the following conditions.

PROJECT SUMMARY

An amendment of an existing comprehensive sign program (CS2010-004) to address signage for a multi-tenant building within the Newport Coast Shopping Center. The intent of this program is to allow signage for multiple tenants, as determined by the property owner, and includes monument and wall signs.

An amendment is requested to modify Sign Type N, Tenant Display Window Signs, to establish an alternative non-promotional illuminated, changeable mural inside the windows first along San Joaquin Hills Road then along Newport Coast Drive. Sign Type N is permitted along the Newport Coast Drive frontage and Sign Type N (Alternate) is permitted along San Joaquin Hills Drive and Newport Coast Drive. All window displays along each street frontage (Newport Coast Drive or San Joaquin Hills Road) will utilize the same sign type whether the original Sign Type N or Sign Type N (Alternate) is applied to maintain a consistent identity for the window displays.

A comprehensive sign program is required to allow the following deviations from the Zoning Code:

1. Whenever three or more separate tenant spaces are created or proposed on the same lot;
2. Whenever a structure has more than 300 linear feet of frontage on a public street;

The subject property is located within PC-53 (Newport Ridge Planned Community) Zoning District and the General Plan Land Use Element category is Neighborhood Commercial (CN). The property is not located in the Coastal Zone.

This approval is based on the following findings and standards and subject to the following conditions.

I. FINDINGS

Finding

- A. *The project is exempt from environmental review under the requirements of the California Environmental Quality Act pursuant to Section 15311, Class 11 (Accessory Structures).*

Facts in Support of Finding

- A-1. Class 11 exempts minor structures accessory to existing commercial facilities, including signs. The proposed signs are incidental and accessory to the principal commercial use of the property and do not intensify or alter the use.

In accordance with Section 20.42.120 (Comprehensive Sign Program) of the Newport Beach Municipal Code, the following standards and facts in support of such standards are set forth:

Standard

- B. *The proposed sign program shall comply with the purpose and intent of this Chapter [Chapter 20.42], any adopted sign design guidelines, and the overall purpose and intent of this Section [Section 20.42.120 – Comprehensive Sign Program].*

Facts in Support of Standard

- B-1. The proposed Comprehensive Sign Program complies with the purpose and intent of Newport Beach Municipal Code Chapter 20.42 (Sign Standards) and the PC-53 (Newport Ridge Planned Community) Zoning District development standards

because it provides the multi-tenant commercial building with adequate identification while guarding against an excessive proliferation of signage. It preserves and enhances community appearance by regulating the type, size, location, quantity, and illumination of signs. Through said regulations, the Comprehensive Sign Program will enhance the safety of motorists and pedestrians by minimizing the distraction of signs, as well as to protect the life, health, property, and general welfare of City residents and visitors.

- B-2. The purpose of a comprehensive sign program is to integrate all of a project's signs. A comprehensive sign program provides a means for the flexible application of sign regulations for projects that require multiple signs in order to provide incentive and latitude in the design and display of signs, and to achieve, not circumvent, the purpose of Chapter 20.42 and the sign standards of the PC-53 (Newport Ridge Planned Community) Zoning District. This approval integrates all of the signs for the subject property while meeting the purpose and intent of Chapter 20.42 and the sign standards of the PC-53 (Newport Ridge Planned Community) Zoning District.
- B-3. The Comprehensive Sign Program is consistent with the Citywide Sign Design Guidelines Manual because the proposed signs are designed to be compatible with the building design in terms of scale, size, and materials. As proposed, signs are designed to effectively communicate a commercial message without creating sign clutter through the use of legible text that contrasts with the background. The location and size of the signs do not dominate, but rather are consistent with the proportions of the façade on which they are located.
- B-4. The proposed Tenant Display Window Sign, Sign Type N (Alternate), will provide for tenant identifications located on elevations at the eyebrow level where the architectural design of the building suggests placement of a sign. Tenant signage as part of Sign Type N will be limited to a maximum of one sign per 7-foot by 15-foot window display. Proposed signs will employ a consistent sign pattern in location and are designed to fit with the overall scale of the building and its relationship to San Joaquin Hills Road and Newport Coast Drive. The original Sign Type N is provided for the tenant window display signs along Newport Coast Drive to maintain the existing window displays with tenant identification located inside of the window display area.

Finding

- C. *The proposed signs shall enhance the overall development, be in harmony with, and relate visually to other signs included in the Comprehensive Sign Program, to the structures and/or developments they identify, and to surrounding development when applicable.*

Facts in Support of Standard

- C-1. The site is developed with a multi-tenant commercial building. The number and location of signs will not contribute to an overabundance of signage that will have a detrimental effect on the neighborhood.
- C-2. Proposed signs will not obstruct public views from adjacent roadways because there are no public views through or across the subject property.
- C-3. Proposed signs will not interfere with sight distance from any street, driveway, or parking area.
- C-4. All proposed changes under Sign Type N will integrate well with the character and architectural style of the building by maintaining consistency in location, sign height, and materials across each street frontage. Wall signs placed on the architectural panels above the window displays in Sign Type N (Alternate) will be limited to 30 inches in height, one sign per window display area, and will be limited to 20 square feet in area.

Finding

- D. *The sign program shall address all signs, including permanent, temporary, and exempt signs.*

Facts in Support of Standard

- D-1 The proposed Comprehensive Sign Program addresses all project signage. Temporary and exempt signs not specifically addressed in the sign program shall be regulated by the provisions of Chapter 20.42 (Sign Standards) of the Zoning Code.

Finding

- E. *The sign program shall accommodate future revisions that may be required because of changes in use or tenants.*

Facts in Support of Standard

- E-1 The Comprehensive Sign Program has been designed to be effective for the commercial tenants that occupy the building by providing sign opportunities for all tenants.
- E-2 The Comprehensive Sign Program establishes allowed type, number, location, and area of signage with flexibility to accommodate any existing and future tenants.

- E-3 It is not anticipated that future revisions to the Comprehensive Sign Program will be necessary to accommodate changes in tenants or uses. However, the Community Development Director may approve minor revisions to the Comprehensive Sign Program if the intent of the original approval is not affected.
- E-4 The Comprehensive Sign Program includes the original Sign Type N along the Newport Coast frontage to maintain existing window display signage in the case that it is not economically feasible to replace both frontages at the same time. The tenant window displays will remain consistent along each street frontage whether the first or second alternative is selected.

Finding

- F. The program shall comply with the standards of this Chapter [Chapter 20.42], except that deviations are allowed with regard to sign area, total number, location, and/or height of signs to the extent that the Comprehensive Sign Program will enhance the overall development and will more fully accomplish the purposes and intent of this Chapter [Chapter 20.42].*

Facts in Support of Standard

- F-1. The Comprehensive Sign Program allows for deviations with regards to the number, location, and placement of wall signs throughout the multi-tenant center. The approval conforms to all other standards of Zoning Code Chapter 20.42 (Sign Standards), and enhances the overall development by integrating all of the project's signs with the overall site and structure design into a unified architectural statement.
- F-2. The number of signs is reasonable given the use of the structure, size, and location of the building. Total allowed sign area for each primary frontage and secondary frontage does not deviate from the maximum permitted by the Zoning Code.
- F-3. The Comprehensive Sign Program allows for the relocation of sign tenant text to be located on the architectural panel above the existing window display areas. The window display areas would instead be utilized as mural graphic areas where no text would be displayed.
- F-4. The change to the Tenant Display Window Signs, Sign Type N, will allow for appropriate visibility of tenant names along San Joaquin Hills Road and Newport Coast Drive while allowing for proper usage of the window display areas with murals and graphics. The original Sign Type N is provided to maintain existing window displays along Newport Coast Drive if both street frontages are not updated at the same time.

Finding

- G. *The approval of a Comprehensive Sign Program shall not authorize the use of signs prohibited by this Chapter [Chapter 20.42].*

Facts in Support of Standard

- G-1 The Comprehensive Sign program does not authorize the use of prohibited signs.

Finding

- H. *Review and approval of a Comprehensive Sign Program shall not consider the signs' proposed message content.*

Facts in Support of Standard

- H-1 The Comprehensive Sign Program contains no regulations affecting sign message content.

II. CONDITIONS

1. All proposed signs shall be in substantial conformance with the approved plans, Comprehensive Sign Program Matrix Table, and provisions of Chapter 20.42 (Sign Standards) of the Newport Beach Municipal Code, unless otherwise indicated in the following conditions.
2. Sign Type N is permitted along the Newport Coast Drive frontage and Sign Type N (Alternate) is permitted along San Joaquin Hills Drive and Newport Coast Drive.
3. All window displays along each street frontage (Newport Coast Drive or San Joaquin Hills Road) shall utilize the same sign type whether the original Sign Type N or Sign Type N (Alternate) is applied to maintain a consistent identity for the window displays.
4. Anything not specifically approved by this Comprehensive Sign Program is prohibited.
5. A building permit shall be obtained prior to commencement of installation of the signs.
6. A copy of this letter shall be incorporated into the plan check sets of plans prior to issuance of building or sign permits.
7. Signs shall be maintained in a clean and orderly condition.

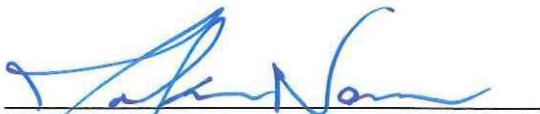
8. The sign area shall be measured by two perpendicular sets of parallel lines that surround the proposed sign copy area.
9. All illuminated wall signs on the exterior perimeter of the shopping center facing residential properties shall be shut off by 10 p.m. and not allowed to be turned back on until 6 a.m. the following day.
10. Illuminated signs shall be regulated in accordance with the provisions of Section 20.42.070 of the Newport Beach Municipal Code. If, in the opinion of the Community Development Director, existing illumination creates an unacceptable negative impact on surrounding land uses or sensitive habitat areas the Director may order the dimming of light sources or other remediation upon finding that the site is excessively illuminated.
11. All work performed within the public right-of-way shall be reviewed and approved by the Public Works Department under an encroachment permit/agreement if required.
12. Monument signs shall not impede visibility from the existing traffic signal cabinet to the intersection of San Joaquin Road and Newport Coast Drive. The location of the monument signs shall be approved by the Public Works Department.
13. Any future revisions or changes to the signs approved by this Comprehensive Sign Program due to a change in the use or tenants of the building shall be reviewed and approved by the Planning Division, so long as the sign size, copy configuration, and number of signs authorized by this approval does not substantially change or increase. The mandatory reduction or elimination of signs shall be exercised as necessary. Revisions that would substantially deviate from the original approval shall require approval of a new/revised comprehensive sign program by the Zoning Administrator.
14. The Zoning Administrator may add to or modify conditions of this approval, or revoke this approval upon a determination that any sign that is authorized by this approval has been altered beyond the parameters of the authorization and therefore beyond the justification.
15. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.
16. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines,

penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Newport Coast Shopping Center Sign Program Amendment including, but not limited to, Comprehensive Sign Program No. CS2013-015 (PA2013-246). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD: An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

On behalf of Kimberly Brandt, AICP, Community Development Director

By:



Makana Nova
Assistant Planner

GR/mkn

Attachments: CD 1 Vicinity Map
CD 2 Sign Program Matrix
CD 3 Project Plans

Attachment No. CD 1

Vicinity Map

VICINITY MAP



Comprehensive Sign Program No. CS2013-015
PA2013-246

21101 Newport Coast Drive

Attachment No. CD 2

Sign Program Matrix

NEWPORT COAST SHOPPING CENTER

Comprehensive Sign Program Matrix

21101 – 21185 Newport Coast Drive

Sign Type	Sign Regulations
Type A Project Monument Sign	<p>Intent – Identifies project</p> <p>Content – Project name</p> <p>Location – Corner of San Joaquin Hills Road and Newport Coast Drive</p> <p>Orientation – Diagonal to intersection</p> <p>Quantity – 1 max</p> <p>Height – 8 feet max</p> <p>Width – 90 feet max</p> <p>Area – 90 square feet max</p> <p>Letter/Symbol Height – 36 inches max</p> <p>Illumination – External (concealed floodlight) Internal (copy illumination only)</p>
Type B Tenant Monument Sign	<p>Intent – Identifies project, project address, and tenant names</p> <p>Content – Project name and up to 3 tenant names or up to 4 tenant names</p> <p>Location – 5 feet behind street r-o-w</p> <p>Quantity – 5 max</p> <p>Orientation – Diagonal to intersection (corner) Perpendicular to curb (Project entry)</p> <p>Height – 9 feet max</p> <p>Width – 9.5 feet max</p> <p>Letter/Symbol Height – 36 inches max</p> <p>Illumination – External (floodlight) Internal (copy only)</p>
Type C Building 300 – Primary Wall Sign	<p>Intent – Identifies primary business in Building 300</p> <p>Content – Name and/or logo of primary business</p> <p>Location – At lease space or towers in four of the five locations shown in plan</p> <p>Quantity – 4 max</p> <p>Orientation – Parallel to wall facing street or parking lot</p> <p>Height – 4 feet max</p> <p>Length – 19 feet max</p> <p>Area – 304 square feet max aggregate (388 square feet max aggregate sign area for Sign Type C and D)</p> <p>Illumination – Halo or internal</p>
Type D Building 300 – Secondary Wall Sign	<p>Intent – Identifies secondary businesses or departments in Building 300</p> <p>Content – Name of secondary business or department only</p> <p>Location – At lease space, under arches shown on plan</p> <p>Quantity – 1 max per secondary business or department, 3 max per building</p> <p>Orientation – Parallel to wall facing parking lot</p> <p>Height – 24 inches max</p> <p>Length – 14 feet max</p> <p>Area – 84 square feet max aggregate (388 square feet max aggregate sign area for Sign Type C and D)</p> <p>Letter Height – 18 inches max</p> <p>Illumination – Halo or internal</p>

NEWPORT COAST SHOPPING CENTER

Comprehensive Sign Program Matrix

21101 – 21185 Newport Coast Drive

Sign Type	Sign Regulations
<p>Type E Building 100/200 – Major Tenant Wall Sign</p>	<p>Intent – Identifies Major tenant at the ends of Buildings 100 and 200</p> <p>Content – Name and/or logo of business only</p> <p>Locations – At lease space, centered above storefronts, as shown on plan</p> <p>Quantity – 1 max (For tenants with 4,500 square feet or less) 2 max (For tenants with over 4,500 square feet, but not on the same elevation)</p> <p>Height – 18 inches max</p> <p>Length – 20 feet max (west end of Building 100) 16 feet max (east end of Building 100) 20 feet max (south end of Building 200) 16 feet max (north end of Building 200)</p> <p>Illumination – Halo or internal</p>
<p>Type F Building 100/200 –Tenant In-line Wall Sign</p>	<p>Intent – Identifies tenants not at the ends of Buildings 100 and 200</p> <p>Content – Name and/or logo of business only</p> <p>Locations – At lease space, centered above storefronts, as shown on plan</p> <p>Quantity – 1 max (For tenants with 4,500 square feet or less) 2 max (For tenants over 4,500 square feet , but not at the same elevation)</p> <p>Height – 18 inches max</p> <p>Length – 15 feet max, typical 16 feet max (If on tower on diagonal to parking lot) 20 feet (If on tower parallel to parking lot)</p> <p>Illumination – Halo, internal, or spot</p>
<p>Type G Tenant Window Sign – Entry Door</p>	<p>Intent – Provides information to pedestrians</p> <p>Content – Name of tenant and hours of operation</p> <p>Location – On glass at entry door</p> <p>Quantity – 1 max per tenant</p> <p>Height – 1 foot max</p> <p>Width – 1 foot max</p> <p>Area – 1 square foot</p> <p>Letter Height – 2 inches max (Tenant name) 1 inch max (hours of operation/phone number)</p>
<p>Type H Tenant Wall Sign – Service Door</p>	<p>Intent – Directs service personnel</p> <p>Content – Tenant’s name and space number/address</p> <p>Location – At service doors</p> <p>Quantity – 1 max per service door</p> <p>Height – 1 foot max</p> <p>Length – 1 foot max</p> <p>Area – 1 square foot</p> <p>Letter / Number Height – 3 inches max (Space number / address) 1 inch max (Tenant name)</p>

NEWPORT COAST SHOPPING CENTER

Comprehensive Sign Program Matrix

21101 – 21185 Newport Coast Drive

Sign Type	Sign Regulations
Type I Address Wall Sign	<p>Intent – Directs emergency personnel</p> <p>Content – Address number</p> <p>Location – 6 inches min from building corner 6 inches min from parapet</p> <p>Quantity – As required</p> <p>Orientation – Parallel to wall facing street or parking lot</p> <p>Height – 12 inches max</p> <p>Illumination – As required</p>
Type J Tenant Awning Sign	<p>Identity – Identifies business</p> <p>Content – Business name and/or logo</p> <p>Location – On canvas awning as prescribed by Landlord</p> <p>Quantity – 1 max per awning</p> <p>Letter Height – 6 inches max</p> <p>Logo Height – 12 inches max</p> <p>Area – 3 square feet max</p> <p>Illumination - None</p>
Type K Temporary Ground Sign	<p>Intent – Identifies future uses, spaces for lease, property for sale at the Center (Signs will be removed when C of O reaches 50%)</p> <p>Content – Name of future use and/or broker and related information</p> <p>Location – On site outside of site distance triangles</p> <p>Quantity – 1 max per street frontage for future use 1 max per street frontage for each site available for lease or sale</p> <p>Height – 12 feet max</p> <p>Width – 8 feet max</p>
Type L Project Wall Sign	<p>Intent – Identifies project</p> <p>Content – Project name only</p> <p>Quantity – 2 max</p> <p>Orientation – Parallel to diagonal wall facing street as shown on plan</p> <p>Height – 3.75 feet max</p> <p>Length – 24 feet max</p> <p>Area – 90 square feet max of sign copy</p> <p>Letter/Logo Height – 36 inches max</p> <p>Illumination – Internally</p>
Type M Tenant Blade Sign	<p>Intent – Identifies business to pedestrians</p> <p>Content – Name and/or logo of business only</p> <p>Location – At public entrance to store</p> <p>Quantity – 1 max per public entrance to store</p> <p>Height – 2 feet max</p> <p>Length – 3 feet max</p> <p>Illumination – None</p>

NEWPORT COAST SHOPPING CENTER

Comprehensive Sign Program Matrix

21101 – 21185 Newport Coast Drive

Sign Type	Sign Regulations
<p>Type N Tenant Display Window Sign Newport Coast Drive</p>	<p>Intent – Enliven existing display windows facing Newport Coast Drive</p> <p>Content – Name and/or Symbol of on-site business with background graphics</p> <p>Locations – 3 existing 7-foot by 15-foot display windows facing Newport Coast Drive as shown on plan</p> <p>Quantity – 1 per 7-foot x 15-foot display window</p> <p>Orientation – Parallel to glass</p> <p>Sign Size – 75 square feet max, in each 7-foot x 15-foot display window</p> <p>Letter Height – 36 inches max</p> <p>Illumination – Indirect lighting behind storefront glass</p>
<p>Type N (Alternate) Tenant Display Window Sign San Joaquin Hills Road Newport Coast Drive</p>	<p>Intent – Enliven existing display windows facing San Joaquin Hills Road</p> <p>Content – Tenant name/logo mounted on architectural panel above window</p> <p>Locations – Above 8 existing 7-foot by 15-foot display windows facing San Joaquin Hills Road as shown on plan</p> <p>Quantity – 1 sign above each 7-foot x 15-foot display window</p> <p>Orientation – Parallel to and above glass and centered horizontally and vertically in architectural panel</p> <p>Sign Area / Length – 20 square feet max area / 11'-6" max length</p> <p>Letter / Logo Height – 18 inches max letter height / 30" max registered logo height</p> <p>Material – .125" aluminum</p> <p>Illumination – Internal</p> <p>Color – Spanish Moss</p>

Attachment No. CD 3

Project Plans

Newport Coast Shopping Center

Sign Program

21101-21185 Newport Coast Drive
Newport Beach, CA 92657

formerly known as

Newport Ridge Retail Center Sign Program, dated 12/8/00
(with Pages 3 & 4 dated 1/25/01 and Page 5 dated 1/24/01)
approved by the County of Orange

First Amendment dated 11/3/10 and
Approved by Zoning Administrator on
11/24/10

2/26/14

Owned by:
Irvine Company, Retail Properties

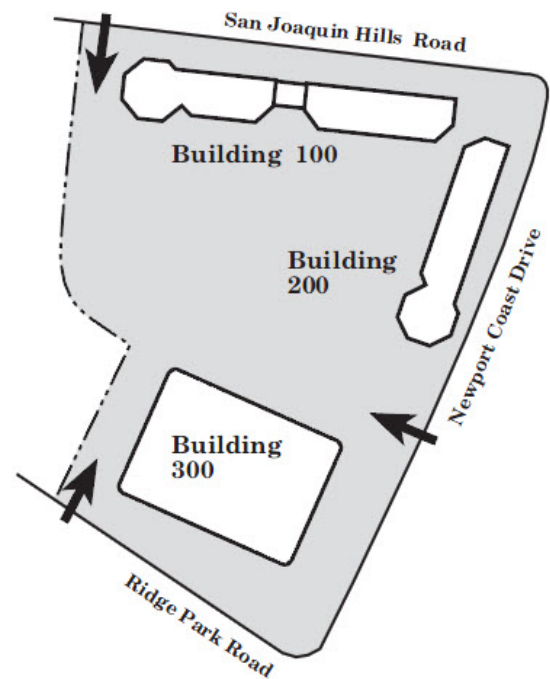


TABLE OF CONTENTS

Project Description		3
Intent of Sign Program		3
Organization of Sign Program		3
Sign Type A	Project Monument Sign	4
Sign Type B	Tenant Monument Sign	5
Sign Type C	Building 300 Primary Sign	6
Sign Type D	Building 300 Secondary Sign	7
Sign Type E	Building 100/200 Major Tenant Sign	8
Sign Type F	Building 100/200 In-line Tenant Sign	9
Sign Type G	Tenant Sign at Entry Door	10
Sign Type H	Tenant Sign at Service Door	11
Sign Type I	Address Sign	12
Sign Type J	Tenant Sign on Awning	13
Sign Type K	Temporary Ground Sign	14
Sign Type L	Project Wall Sign	15
Sign Type M	Tenant Blade Sign	16
Sign Type N	Tenant Display Window Sign – Newport Coast Drive	17
Sign Type N (Alternate)	Tenant Display Window Sign – San Joaquin Hills Road and Newport Coast Drive	18
Sign Type N (Alternate)	Sign Panel Details	19
Sign Type N (Alternate)	Window Mural Display Details (Reference)	20-21

PROJECT DESCRIPTION

The Newport Coast Shopping Center is planned to be an upscale neighborhood center of approximately 100,000 square feet of large and small retail tenants. It is planned to be developed in a manner that is compatible with the character of the Newport Coast community.

The goal for signs at the Newport Coast Shopping Center is to continue the high quality of existing retail centers by the same owner with harmonious signs that are visually-related to the buildings and that will not adversely affect surrounding land uses.

INTENT OF THE SIGN PROGRAM

The sign program's intent is to identify appropriate design criteria for permanent and temporary signs for the Newport Coast Shopping Center

The intent of the criteria is to establish guidelines for designing signs that reinforce the high quality conveyed by the architecture, landscape architecture, lighting, and interior design. No intent is made to modify applicable Federal or State codes and ordinances.

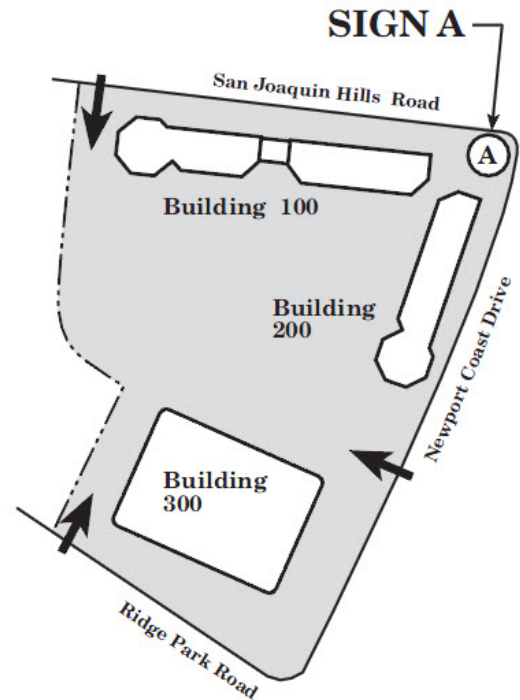
The owner reserves the right to permit reasonable deviations from the criteria in the sign program, provided that the criteria's intent is maintained, and the quality and character of the deviating sign(s) are consistent with the overall requirements of the sign program.

ORGANIZATION OF THE SIGN PROGRAM

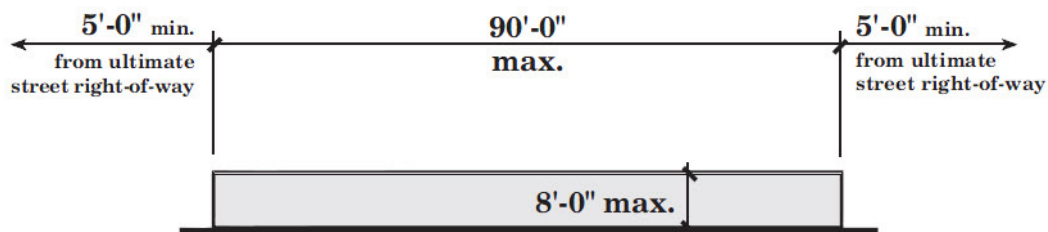
Standards for each of the sign types are stated on the following pages, one page for each sign type. Described for each sign type are the intent, content, location, maximum quantity, and maximum size of signs. General standards are stated for sign colors and materials.

Sign Type A

Project Monument Sign



Intent	An architectural feature integrated with the landscape to identify the project
Content	Project name
Location	Outside of sight distance triangles at corner of San Joaquin Hills Road and Newport Coast Drive
Quantity	One, maximum
Orientation	Diagonal to intersection
Sign Size	8 feet, max. sign height; 90 feet, max. sign width; 90 square feet, max. area of sign copy
Letter Size	36 inches, maximum letter / symbol height
Material	Compatible with architecture of retail center; individual letters, applied or routed
Illumination	Concealed, external, low-profile, floodlighting; or internally-illuminated in a manner that lights only the copy and not the sign background. Exposed neon is not permitted
Letterstyle	Designated project typeface and registered trademarks allowed
Color	Sign copy color should contrast with background color

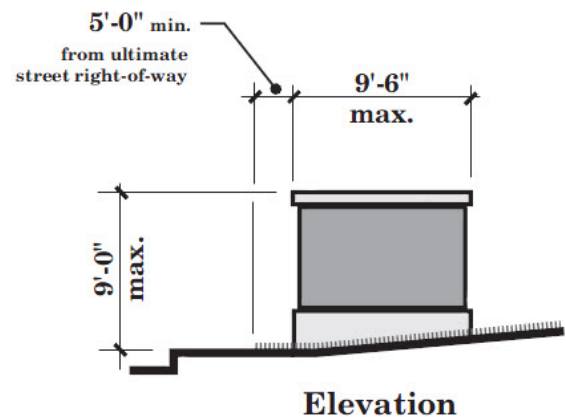
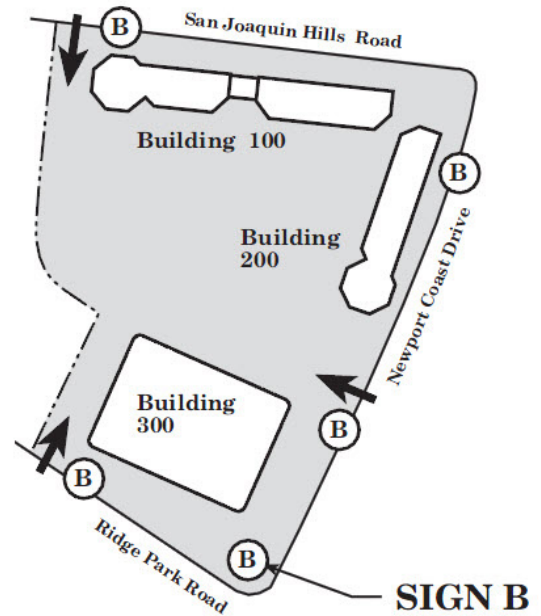


Elevation

Sign Type B

Tenant Monument Sign

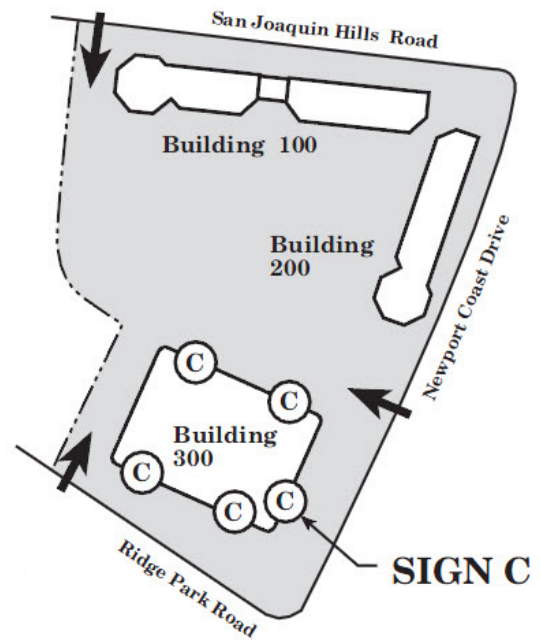
Intent	A monument sign to identify the project, project address, and tenant names
Content	Project name and up to three tenant names; or up to four tenant names
Location	Outside of sight distance triangles (minimum 5 feet from ultimate street right of way)
Quantity	Five, maximum
Orientation	Diagonal to intersection, if on corner; perpendicular to curb, if at project entry
Sign Size	9 feet maximum sign height; 9.5 feet maximum sign width
Letter Size	36 inches maximum letter / symbol height
Material	Compatible with architecture of retail center; individual letters, applied or routed
Illumination	Concealed, external, low-profile, floodlighting; or internally-illuminated in a manner that lights only the copy and not the sign background. Exposed neon is not permitted
Letterstyle	Designated project typeface and registered trademarks allowed
Color	Sign copy color should contrast with background color



Sign Type C

Building 300 Primary Sign

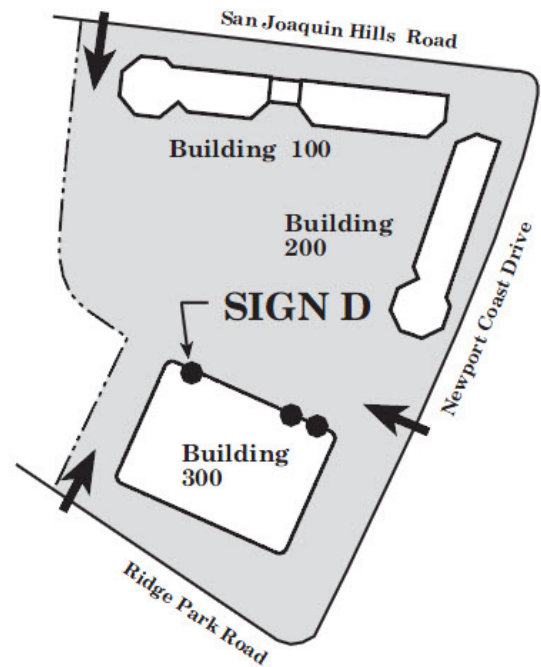
Intent	A wall sign to identify the primary business in Building 300
Content	Name and/or logo of primary business only, such as "Pavilions Food & Drug" Subtitles are not allowed
Locations	At lease space, on towers, in four of the five locations shown in plan
Quantity	Four, maximum
Orientation	Parallel to wall facing street or parking lot
Sign Size	4 feet maximum sign height; 19 feet maximum sign length 304 square feet, maximum aggregate sign area (388 square feet, maximum aggregate sign area for Sign Type C and D)
Material	Individual letters, applied. Cabinet signs are not permitted
Illumination	Halo illuminated or internally illuminated. Exposed neon is not permitted
Letterstyle	Designated project typeface and registered trademarks allowed
Color	Sign copy color should contrast with background color



Sign Type D

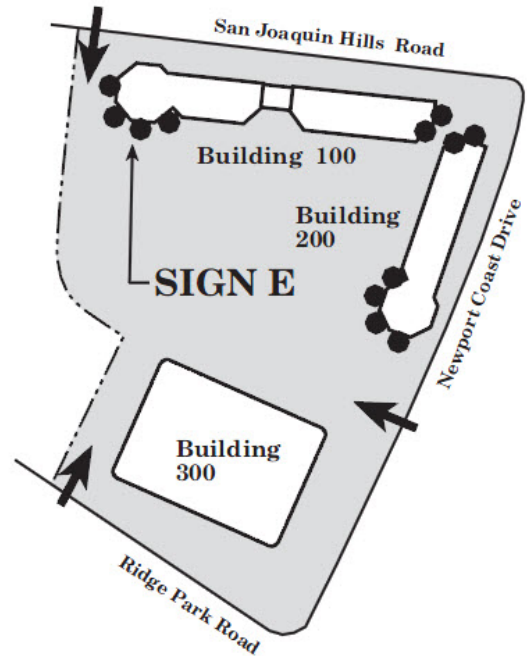
Building 300 Secondary Sign

Intent	A wall sign to identify the secondary businesses or departments in Building 300
Content	Name of secondary business or department only. Subtitles are not allowed
Locations	At lease space, under arches, in locations shown in plan
Quantity	One sign per secondary business or department, maximum Three signs per building, maximum
Orientation	Parallel to wall facing parking lot
Sign Size	24 inches, maximum sign height 14 feet, maximum sign length 84 square feet, maximum aggregate sign area (388 square feet, maximum aggregate sign area for Sign Type C and D) 18 inches, maximum letter height
Material	Individual letters, applied. Cabinet signs are not permitted
Illumination	Halo-illuminated or internally illuminated. Exposed neon is not permitted
Letterstyle	Designated project typeface and registered trademarks allowed
Color	Sign copy color should contrast with background color



Sign Type E

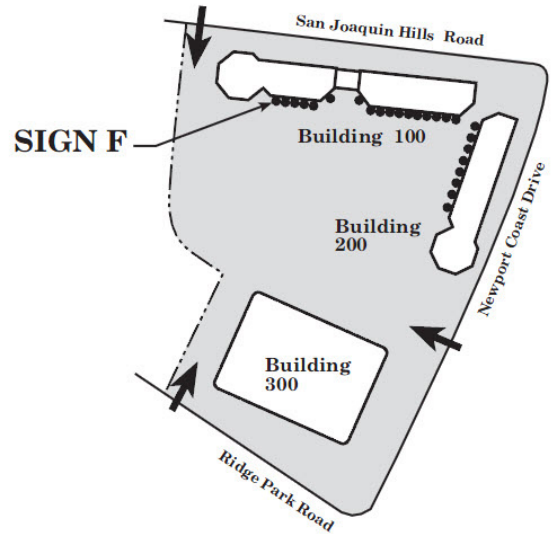
Building 100 / 200 Major Tenant Sign



- Intent** A wall sign to identify a tenant at the end of Building 100 and 200
- Content** Name and/or logo of business only. Subtitles are not allowed
- Locations** At lease space, centered above storefronts, as shown in plan
- Quantity** For tenants with 4500 square feet or less: One sign, maximum
For tenants with more than 4500 square feet: Two signs, maximum, but not on the same elevation
- Orientation** Parallel to wall facing parking lot
- Sign Size** 18 inches, maximum sign height
20 feet, maximum sign length for signs at west end of Building 100 16 feet, maximum sign length for signs at east end of Building 100
20 feet, maximum sign length for signs at south end of Building 200 16 feet, maximum sign length for signs at north end of Building 200
- Material** Individual letters, applied. Cabinet signs are not permitted
- Illumination** Halo illuminated or internally illuminated. Exposed neon is not permitted
- Letterstyle** Designated project typeface and registered trademarks allowed
- Color** Sign copy color should contrast with background color

Sign Type F

Building 100 / 200 In-line Tenant Sign



- Intent** A wall sign to identify a tenant not at the end of Building 100 and 200

- Content** Name and/or logo of business only. Subtitles are not allowed

- Locations** At lease space, centered above storefronts, as shown in plan

- Quantity** For tenants with 4500 square feet or less:
One sign, maximum

For tenants with more than 4500 square feet:
Two signs, maximum, but not on the same elevation

- Orientation** Parallel to wall facing parking lot

- Sign Size** 18 inches, maximum sign height

15 feet, maximum sign length, typical
15 feet, maximum sign length, if on tower on diagonal to parking lot
20 feet, maximum sign length, if on tower parallel to parking lot

- Material** Individual letters, applied. Cabinet signs are not permitted

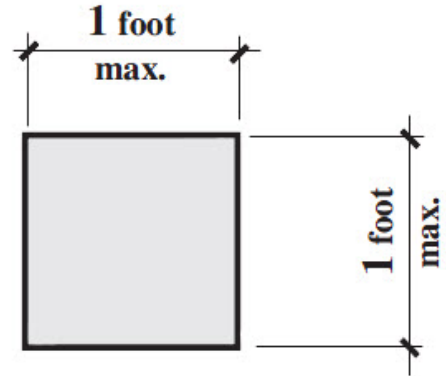
- Illumination** Halo-illuminated, internally-illuminated, or spot-illuminated. Exposed neon is not permitted

- Letterstyle** Designated project typeface and registered trademarks allowed

- Color** Sign copy color should contrast with background color

Sign Type G

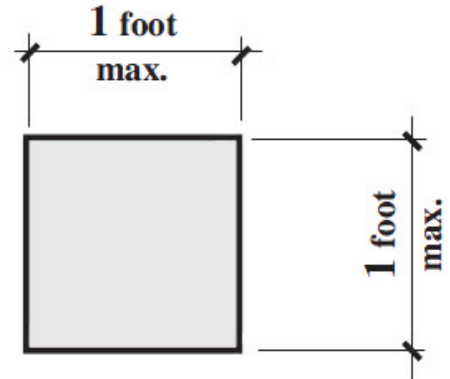
Tenant Sign at Entry Door



Intent	A window sign to provide information to pedestrians
Content	Name of tenant and hours of operation
Location	On glass at entry door
Quantity	Maximum of one window sign per tenant
Sign Size	2 square feet, max. sign area 1 foot, max. sign height 1 foot, max. sign width
	Tenant name: 2 inches, max. letter height
	Store hours / phone numbers: 1 inch, max. letter / number height
Design	Simple white letters affixed to glass for hours of operation
	No other signs mounted on the window or visible through the window are permitted
	Neon “open” signs installed inside the lease space and visible from the street or parking lot are prohibited

Sign Type H

Tenant Sign at Service Door

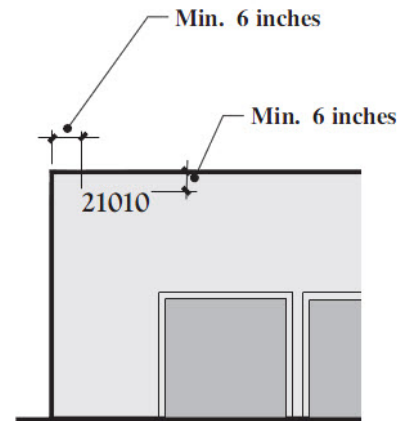


Intent	Wall sign to direct service personnel	
Content	Tenant's name and space number / address	
Location	At service doors	
Quantity	Maximum of one sign per service door	
Sign Size	2 square feet, max. sign area 1 foot, max. sign height 1 foot, max. sign width	
	Space number / address:	3 inches, max. letter / number height
	Tenant name:	1 inch, max. letter height
Design	Square panel with white copy on a solid, single-color background	

Sign Type I

Address Sign

Intent	Wall sign to direct emergency personnel
Content	Address number
Location	6 inches min. from building corner 6 inches min. from parapet
Quantity	As required
Orientation	Parallel to wall facing street or parking lot
Sign Size	Maximum sign height is 12 inches
Material	Individual numbers, applied. Cabinet signs are not permitted
Illumination	As required. Exposed neon is not permitted
Letterstyle	Designated project typeface
Color	Sign copy color should contrast with background color



Typical Elevation

Sign Type J

Tenant Sign on Awning

Intent	An awning sign to identify a business
Content	Name and/or logo of business only. Subtitles are not allowed
Locations	On canvas awning where awnings occur, as prescribed by Landlord
Quantity	One sign, maximum, per awning within tenant's storefront elevation(s)
Orientation	On canvas awning facing parking lot
Sign Size	6 inches, maximum letter height 12 inches, maximum logo height 3 square feet, maximum sign area
Material	Silkscreen
Illumination	None
Letterstyle	Designated project typeface and registered trademarks allowed
Color	Sign copy color should contrast with awning color

Sign Type K

Temporary Ground Sign

Intent

- A temporary ground sign to identify future uses at the center
- A temporary ground sign to identify space for lease and property for sale
- Temporary ground signs will be removed from the premises when tenants have been issued certificates of use and occupancy for 50% of the project

Content

- Name of future use and related information
- Name of broker and related information

Location

- On site, outside of sight distance triangles (minimum 5 feet from ultimate street right of way)

Quantity

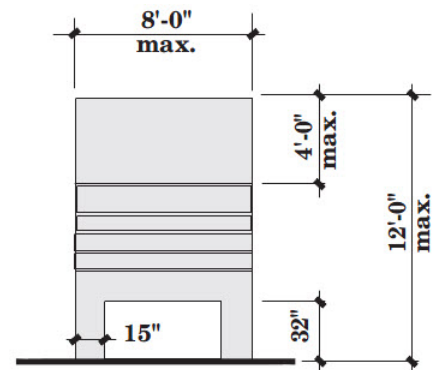
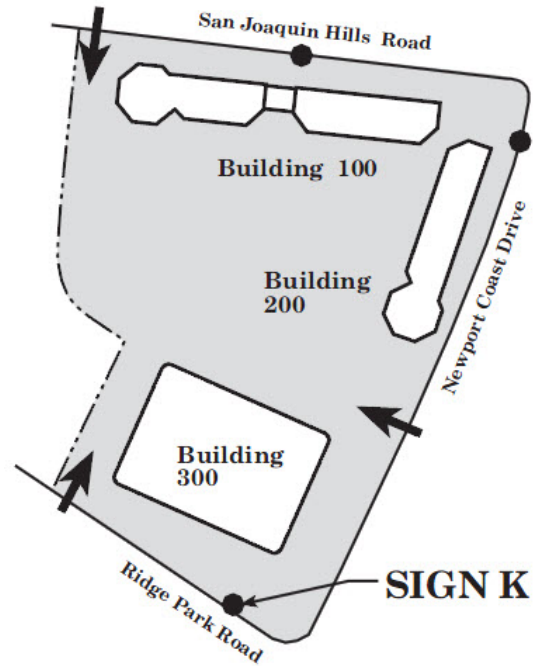
- Maximum of one sign per future use per street frontage
- Maximum of one sign per site available for lease or sale per street frontage

Size

- 12 feet high, maximum

Design

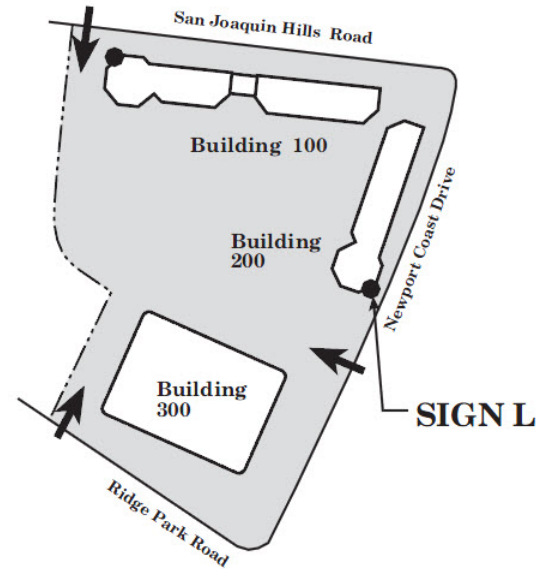
- All signs to have identical colors.
- A rectangular form is not required.
- Dimensions are given for reference.
- The large panel at the top is generally used to identify the name of the project, the type of land use, or the fact that the property is available for sale or for lease



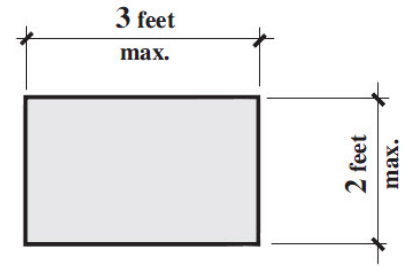
Sign Type L

Project Wall Sign

Intent	A wall sign to identify the project
Content	Project name only
Locations	On the building elevations indicated on the plan to the right
Quantity	Two, maximum
Orientation	Parallel to diagonal wall facing street as shown above
Sign Size	3.75 feet, maximum sign height 24 feet, maximum sign length 90 square feet, maximum area of sign copy
Letter Size	36 inches, maximum letter / symbol height
Material	Individual letters, applied. Cabinet signs are not permitted
Illumination	Internally-illuminated. Exposed neon is not permitted
Letterstyle	Designated project typeface
Color	Sign copy color should contrast with background color



Sign Type M



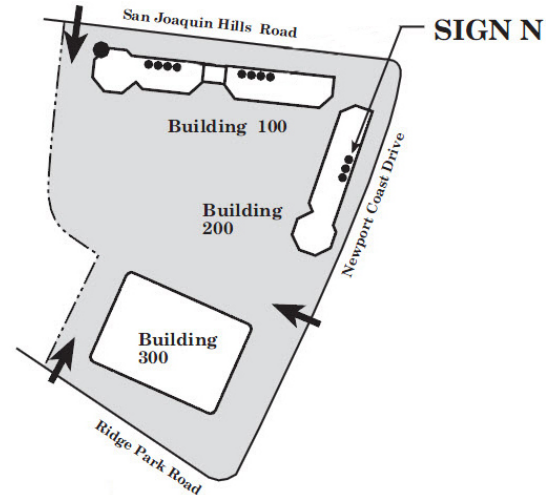
Tenant Blade Sign

Intent	A projecting sign to identify a business to pedestrians
Content	Name and/or logo of business only. Subtitles are not allowed
Locations	At public entrance to store
Quantity	One sign, maximum, per public entrance to store
Orientation	Suspended from bracket or awning support Perpendicular to the tenant frontage
Sign Size	2 feet, maximum sign height 3 feet, maximum sign length
Material	Panel
Illumination	None
Letterstyle	Designated project typeface and registered trademarks allowed
Color	Sign copy color should contrast with panel color

Sign Type N

Newport Coast Drive

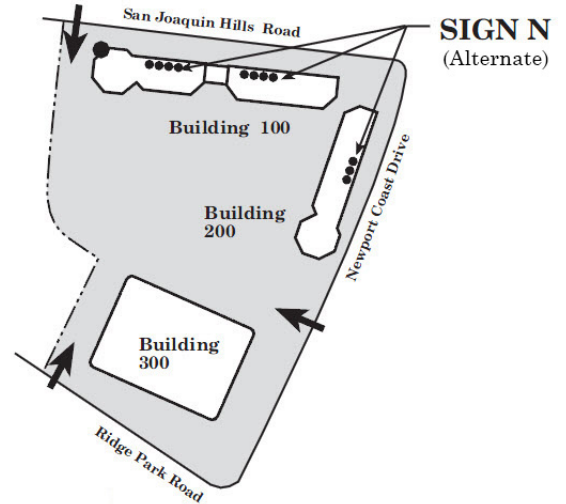
Tenant Display Window Sign



Intent	A sign to enliven existing display windows facing Newport Coast Drive
Content	Name and/or symbol of on-site business with background graphics
Locations	In (3) existing 7-foot by 15-foot display windows facing Newport Coast Drive
Quantity	One sign per 7-foot by 15-foot display window
Orientation	Parallel to glass
Sign Size	75 square feet, maximum, in each 7-foot by 15-foot display window
Letter Height	36 inches, maximum
Material	Individual letters applied to acrylic bar located behind storefront glass with digital print behind. Cabinet signs are not permitted
Illumination	Indirect lighting behind storefront glass. Exposed neon is not permitted
Letterstyle	Designated project typeface and registered trademarks allowed
Color	Dark sign copy with multi-colored background

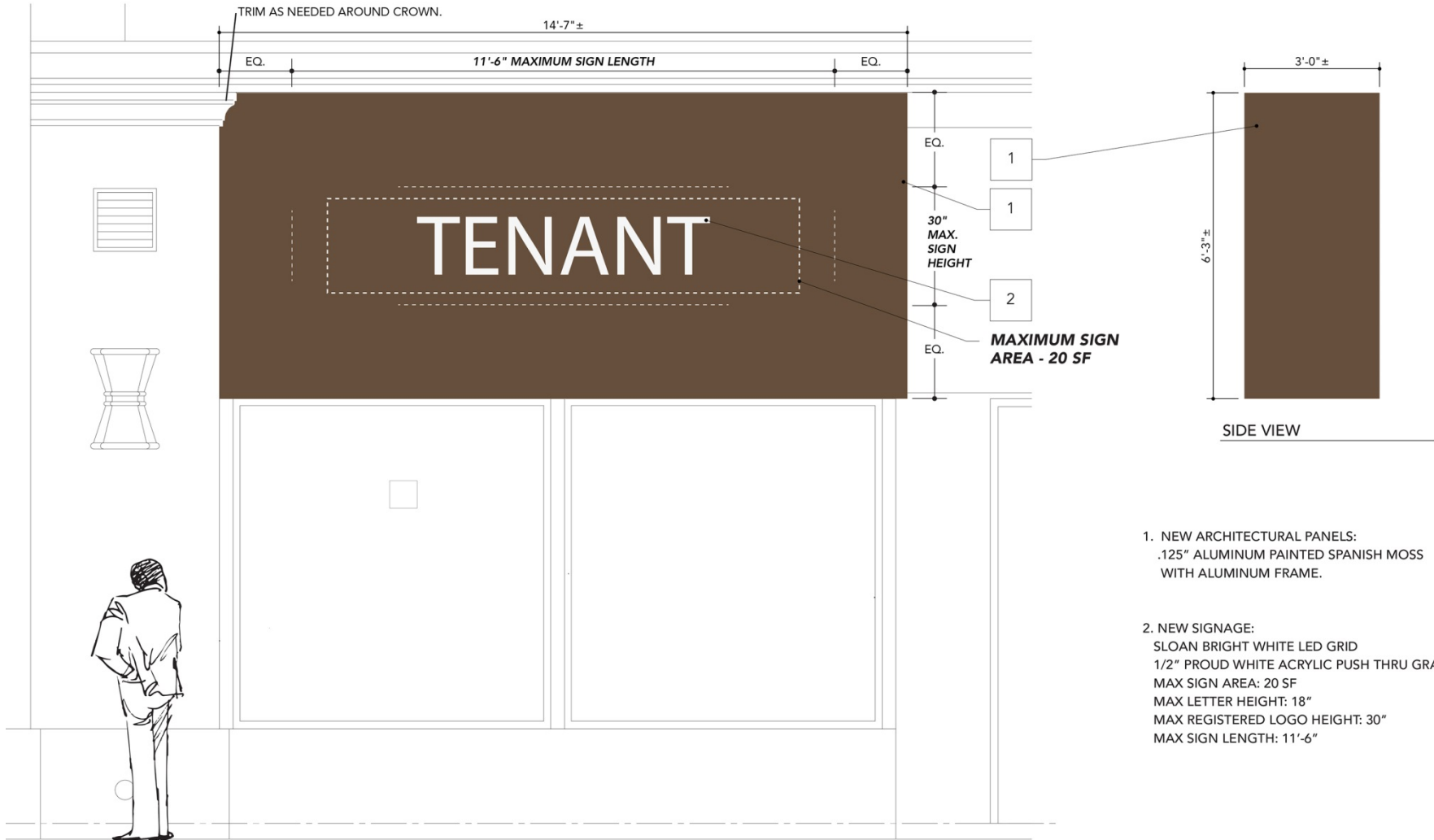
Sign Type N Alternate

San Joaquin Hills Road and Newport Coast Drive



Tenant Display Window Sign

Intent	A sign to enliven existing display windows facing San Joaquin Hills Road and Newport Center Drive
Content	Tenant name/logo mounted on architectural panel above window
Locations	Above (8) existing 7-foot by 15-foot display windows facing San Joaquin Hills Road, as shown in plan
Quantity	One sign above each 7-foot by 15-foot display window
Orientation	Parallel to and above glass, and centered horizontally and vertically in architectural panel
Sign Area/Length	20 square feet maximum area 11'-6" maximum length
Letter/Logo Height	18" maximum letter height 30" maximum registered logo height
Material	.125 aluminum
Illumination	Internal
Letterstyle	Designated project typeface and registered trademarks allowed
Color	Spanish moss



1. NEW ARCHITECTURAL PANELS:
 .125" ALUMINUM PAINTED SPANISH MOSS
 WITH ALUMINUM FRAME.

2. NEW SIGNAGE:
 SLOAN BRIGHT WHITE LED GRID
 1/2" PROUD WHITE ACRYLIC PUSH THRU GRAPHICS
 MAX SIGN AREA: 20 SF
 MAX LETTER HEIGHT: 18"
 MAX REGISTERED LOGO HEIGHT: 30"
 MAX SIGN LENGTH: 11'-6"

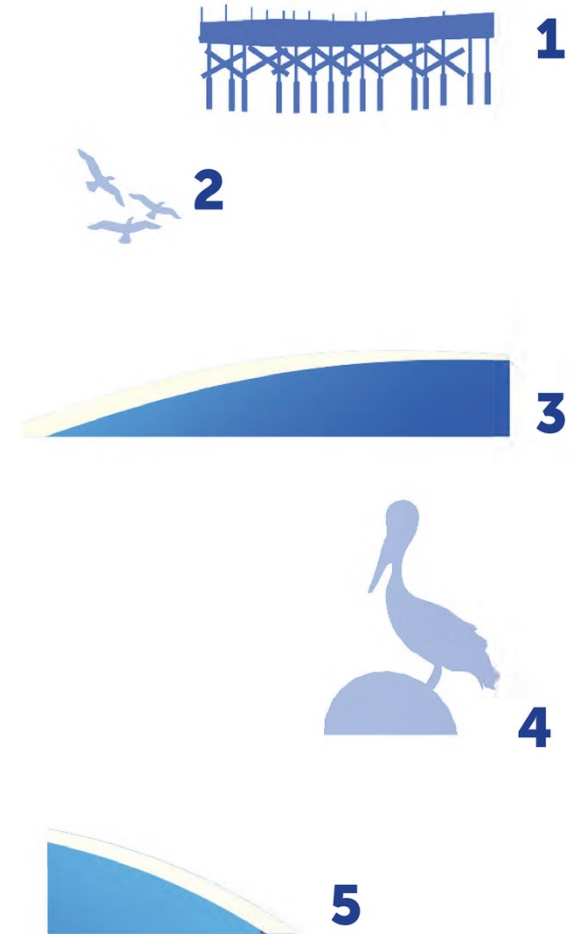
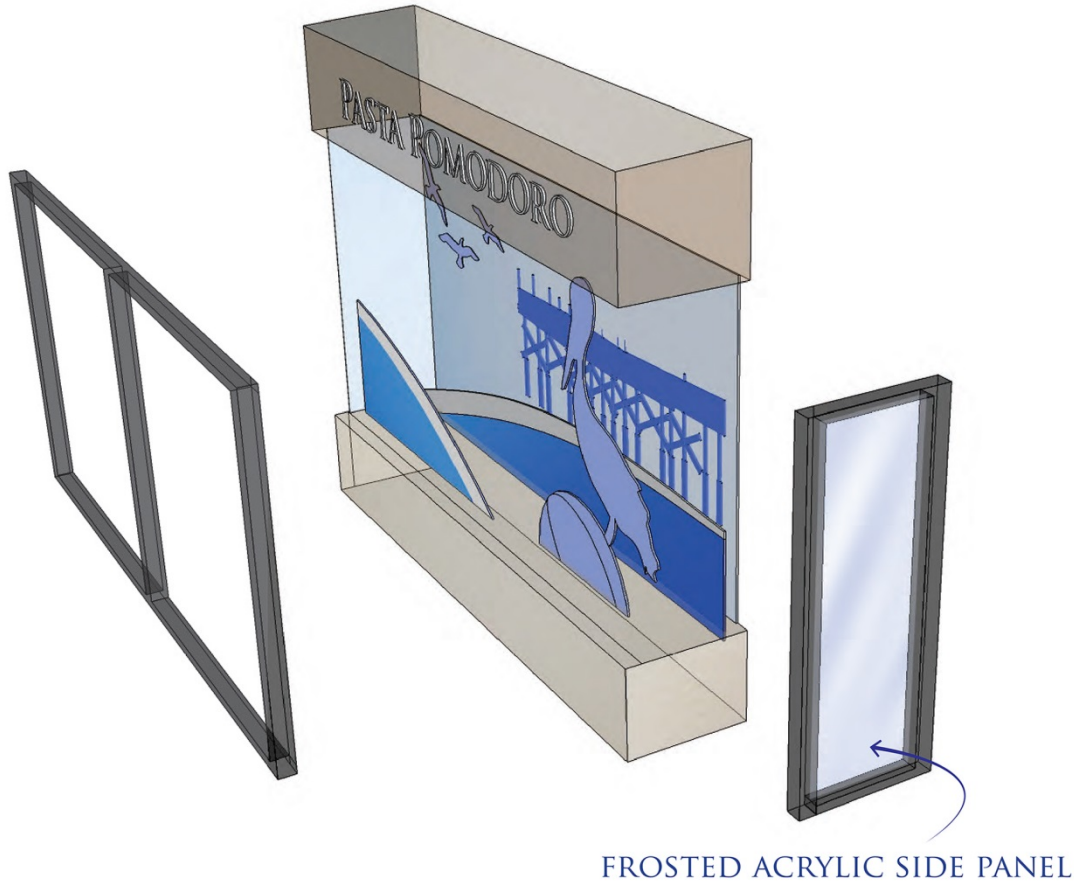
ELEVATION
 SCALE: 1/2" = 1'-0"

**SIGN TO BE CENTERED VERTICALLY & HORIZONTALLY
 IN AVAILABLE SPACE**



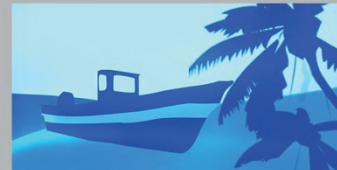
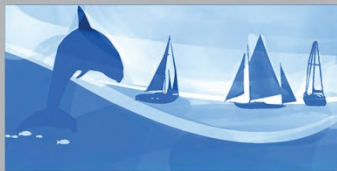
EXPLODED VIEW
ILLUSTRATING COMPONENT PARTS

PARTS



Reference Only
Sign Type N (Alternate)
Window Mural Display

CONCEPT ILLUSTRATIONS



Beach Concept



Holiday Concept

Reference Only
Sign Type N (Alternate)
Window Mural Display



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
(949) 644-3200 Fax: (949) 644-3229

www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER

APPLICATION: 409 Morning Star Lane
Staff Approval No. SA2014-006
(PA2014-028)

APPLICANT: OMMID LLC

LOCATION: 409 Morning Star Lane

LEGAL DESCRIPTION N-TRACT: 4224 BLOCK: LOT: 175

On **March 6, 2014**, the Community Development Director approved Staff Approval SA2014-006. This approval is based on the findings and subject to the following conditions.

PROJECT SUMMARY

Staff Approval to verify the project is in substantial conformance with zoning clearance conducted by the Planning Division in 2006 and Modification Permit 2005-062.

ZONING DISTRICT/GENERAL PLAN

- **Zone:** R-1-6000; Single-Unit Residential
- **General Plan:** Single-Unit Residential Detached

I. BACKGROUND

Modification Permit 2005-062 was approved on August 8, 2005 to allow an addition to a nonconforming, single family structure to: 1) replacement of an existing patio cover that encroaches 6-feet into the required 10-foot front yard setback adjacent to the Bay; and 2) architectural facades at the street side that encroach 14 inches into the 6-foot front yard. Zoning clearance was approved for the project and building permits were issued in May 2006 (B2006-1221). To date, the structure has not been completed and building permits have expired. The exterior of the structure has been generally completed and it at the brown-coat stage and the rear patio cover has been constructed. Project plans have been resubmitted for new building permits to complete the project. The project will be required to comply with the current building code.

II. PROPOSED CHANGES

Minimal changes have been made to the project approved per Modification Permit 2005-062 and permitted in May 2006. The structure, prior to the current addition, was nonconforming due to a side yard setback encroachment. The addition continued the existing the setback, as authorized by the Zoning Code in affect at that time. A comprehensive update of the Zoning Code was approved in 2010 which to eliminated the ability to continue nonconforming setbacks by right. Instead, now encroachments require approval of a Modification Permit or Variance.

The current project is in substantial conformance with Modification Permit 2005-062 and the zoning clearance conducted in prior to issuance of a building permit in 2006. The exterior of the structure is generally complete and complies with the site plan and setbacks authorized in 2005 and 2006. Therefore, not further zoning review or entitlements are required.

III. FINDINGS

Pursuant to Section 20.54.070, the Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of the approved use, without a public hearing, and waive the requirement for a new use permit application. This staff approval is based on the following findings and facts in support of the findings.

Finding:

A. Are consistent with all applicable provisions of this Zoning Code.

Facts in Support of Finding:

1. The project has not been significantly modified from the project which received zoning clearance in 2006. The exterior of the structure is generally complete and has been constructed in accordance with the 2006 approvals. Therefore, no further zoning review is required.

Finding:

B. Do not involve a feature of the project that was a basis for or subject of findings or exemptions in a negative declaration or Environmental Impact Report for the project.

Facts in Support of Finding:

1. The changes are negligible and would not require change to the environmental determination of the original project. Neither a Negative Declaration or an Environmental Impact Report were required for the original project.

Finding:

- C. Do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.*

Facts in Support of Finding:

1. The exterior of the structure is generally complete and has been constructed in accordance with the 2006 approvals and conditions of approval specified in Modification permit 2005-062.

Finding:

- D. Do not result in an expansion or change in operational characteristics of the use.*

Facts in Support of Finding:

1. There is no change to the structure's exterior, therefore there is no expansion of the structure.

IV. DETERMINATION

The proposed project is in substantial conformance with Modification Permit 2005-062 and Building Permit 2006-1221 in that the exterior of the structure is generally complete and has been constructed in compliance with the 2006 approvals. Therefore, no further zoning clearance is required.

V. CONDITIONS OF APPROVAL

1. Conditions specified in Modification Permit 2005-062 shall remain in full effect.
2. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the 409 Morning Star Lane including, but not limited to, the Staff Approval SA2014-006. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the

indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD: An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

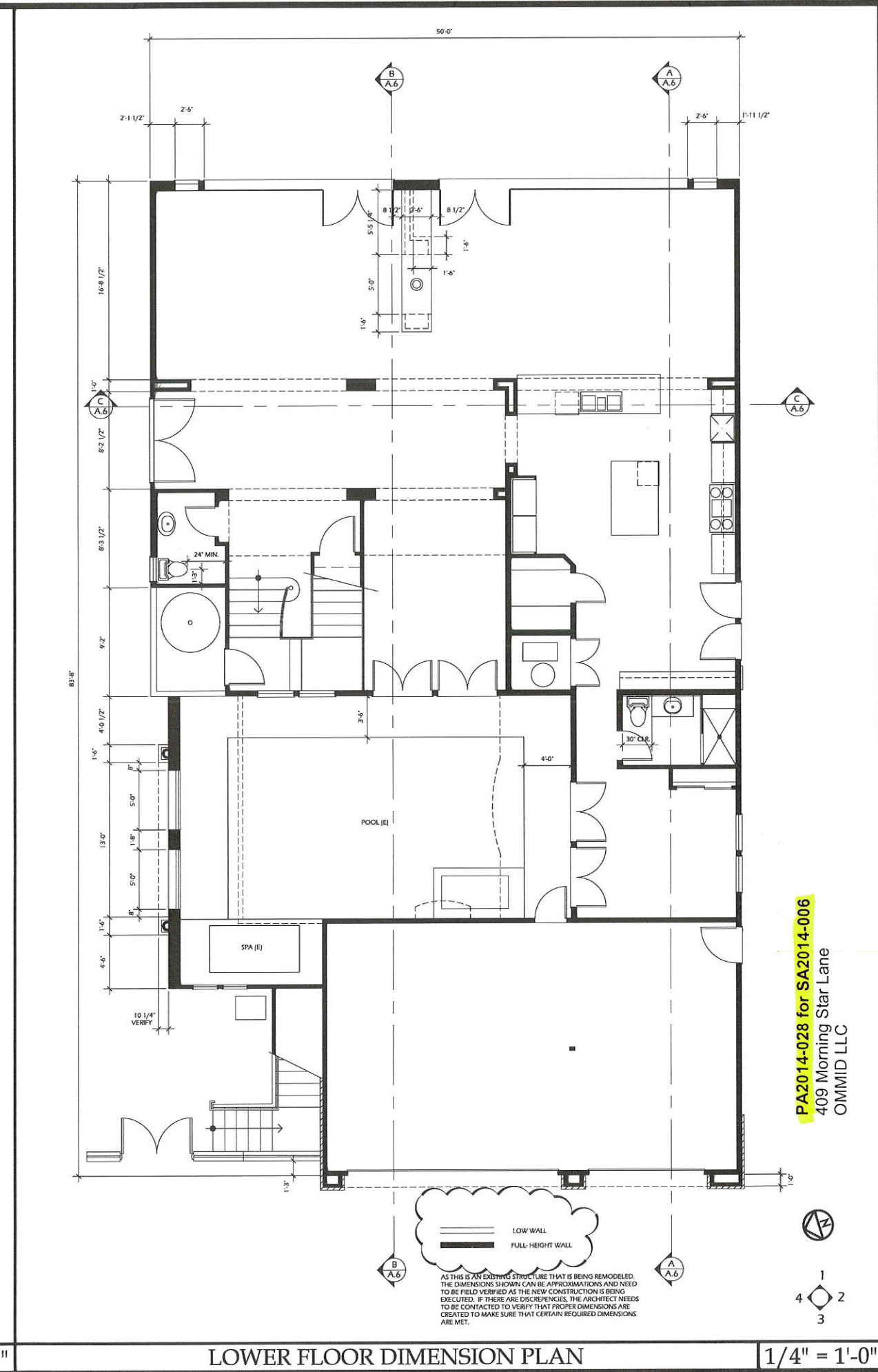
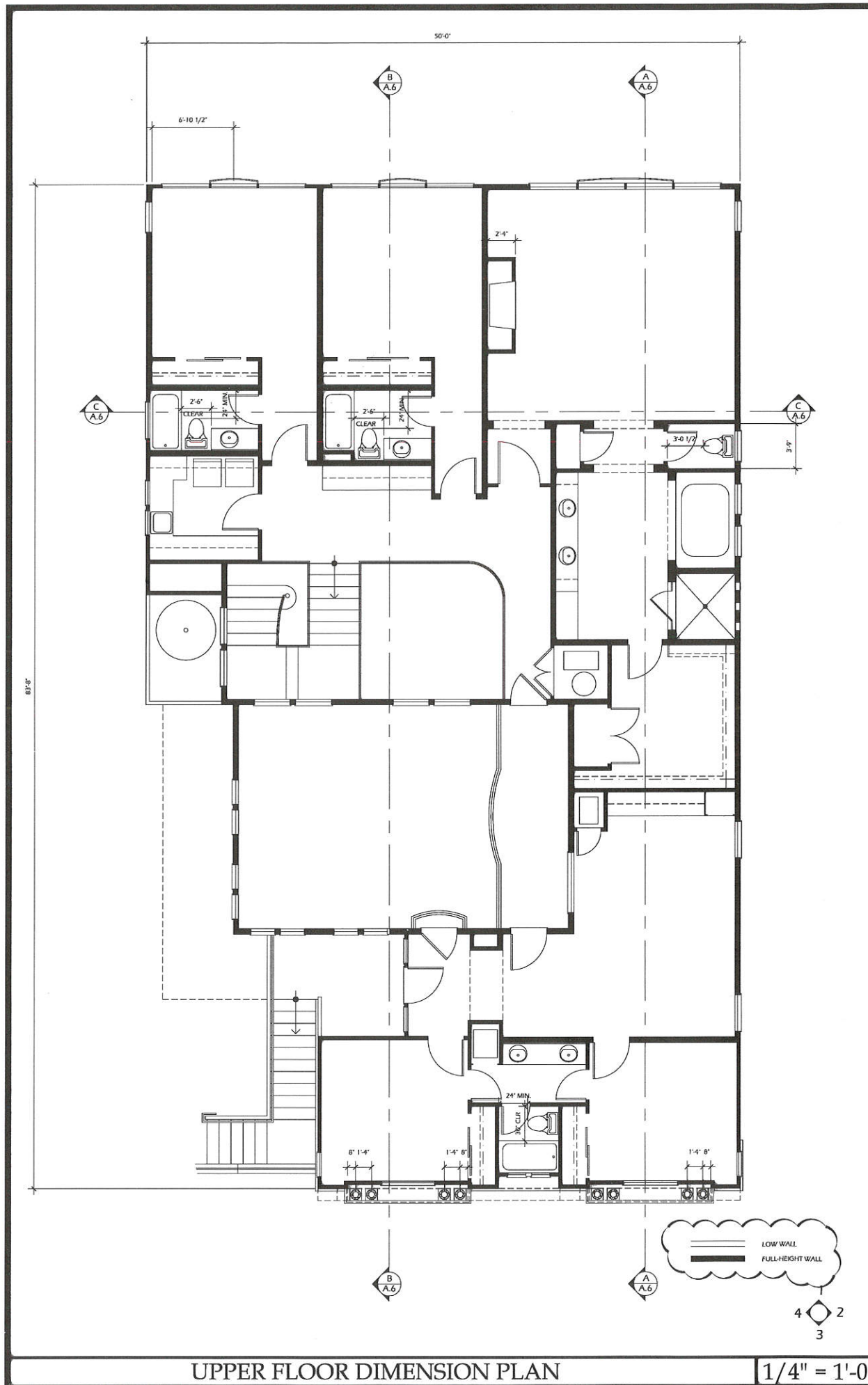
On behalf of Kimberly Brandt, AICP, Community Development Director



Brenda Wisneski, AICP, Deputy Director

By:

Attachments: CD 1 Project Plans



PA2014-028 for SA2014-006
 409 Morning Star Lane
 OMMID LLC



A REMODEL AND ADDITION PROJECT FOR
OMMID, LLC
 SINGLE FAMILY
 409 MORNING STAR, NEWPORT BEACH, CA

MICHAEL MCHALE
 ARCHITECT
 14851 JEFFREY ROAD, #303, IRVINE, CA 92618
 (949) 364-4951

DATE	11/18/13
PROJECT NO.	04-010
SCALE	

12/26/13	BLDG/PLAN 1ST P.C.

MORNING STAR

LOWER & UPPER
 FLOOR DIMENSION
 PLANS

A.1



A REMODEL AND ADDITION PROJECT FOR
OMMID, LLC
SINGLE FAMILY
 409 MORNING STAR, NEWPORT BEACH, CA

MICHAEL MCHALE
 ARCHITECT
 14851 JEFFERSON ROAD, REDDING, CALIFORNIA 96001
 (916) 226-9557



DATE	1/18/13
PROJECT NO.	04010
SCALE	

1/21/13	BUDG./PLAN 1ST P.C.
2/25/14	BUDG./PLAN 2ND P.C.

MORNING STAR

LOWER FLOOR PLAN

A.2

- ### NOTES
- 1. REPLACE EXISTING
 - 2. NEW
 - 3. FIELD MEASURE AND REPLACE
 - 4. EXISTING TO REMAIN
- ### LEGEND
- 1 TRIPLE SINK WITH GARBAGE DISPOSAL
 - 2 DISHWASHER - PROVIDE SURFACE MTD AIR GAP IF REQ'D
 - 3 OVEN W/ MICRO ABOVE
 - 4 BREAD WARMER
 - 5 REFR. SPACE - PROVIDE RECESSED COLD WATER SUPPLY
 - 6 FREEZER SPACE - PROVIDE RECESSED COLD WATER SUPPLY
 - 7 SLIDE IN RANGE WITH HOOD VENTED TO OUTSIDE AIR THRU CABINET SCOFF
 - 8 PANTRY WITH SHELVES
 - 9 LAUNDRY TRAY
 - 10 WASHER SPACE
 - 11 DRYER SPACE
 - 12 RELOCATED WATER HEATER - SET ON 18" HIGH PLATFORM. PROVIDE SEISMIC STRAPS HIGH & LOW. PROVIDE RECIRCULATING PUMP ON TIMER. VENT TO OUTSIDE
 - 13 RELOCATED FAU
 - 14 NEW FAU
 - 15 HOT-MAPPED & CERAMIC TILE SHOWER PAN WITH CERAMIC TILE WAINSCOT TO 84" - PROVIDE SHOWER ENCLOSURE
 - 16 HOT-MAPPED & CERAMIC TILE WHIRLPOOL TUB WITH CERAMIC TILE LEDGE, SKIRT & 6" WAINSCOT
 - 17 36" X 60" CAST IRON TUB/SHOWER WITH CERAMIC TILE TO 18". PROVIDE SHOWER ENCLOSURE
 - 18 MIRROR - REFER TO INTERIOR ELEVATIONS
 - 19 PREFAB. MTL. FIREPLACE - TOWN & COUNTRY MODEL TCS 565-THU DIRECT VENT.
 - 20 2" FLUSH HEARTH
 - 21 FLAT SCOFF/BULKHEAD
 - 22 WOOD SHELVES - REFER TO INTERIOR ELEVATIONS
 - 23 SHELF & POLE
 - 24 SHELF & DOUBLE POLE
 - 25 CANTILEVERED SHELF - REFER TO EXTERIOR ELEVATIONS
 - 26 2X5 PLUMBING WALL
 - 27 2X6 STUD WALL - BALLOON FRAME
 - 28 30" HIGH DESK
 - 29 1 LAYER 5/8" TYPE "X" GYPSUM BOARD AT ALL WALLS AND CEILING IN GARAGE
 - 30 LINEN CABINET - REFER TO INTERIOR ELEVATIONS
 - 31 NEW ELECTRICAL PANEL
 - 32 FLOOR LINE ABOVE
 - 33 FLOOR LINE BELOW
 - 34 WAINSCOT
 - 35 SIMULATED STONE VENEER
 - 36 BUILDING OUTLINE ABOVE
 - 37 7'-4" HIGH WOOD FRAME/EXTERIOR PLASTER WALL - SEE EXTERIOR ELEVATIONS
 - 38 WOOD FRAME GUARDRAIL - SEE EXTERIOR ELEVATIONS
 - 39 35" HIGH HANDRAIL - SEE STAIR PLANS AND ELEVATIONS
 - 40 POOL EQUIPMENT ON GRADE
 - 41 GATES BY OTHERS
 - 42 EXISTING MASONRY WALL
 - 43 FURF. EXTERIOR PLASTER/WOOD FRAME OVER EXISTING MASONRY WALL TO ALIGN WITH THE NEW ENTRY DOOR WALL
 - 44 EXISTING ATRIUM WALL ABOVE
 - 45 EXISTING LOW ROOF STRUCTURE - SEE EXTERIOR ELEVATIONS FOR MODIFICATIONS
 - 46 CEILING HEIGHT CHANGE (EXISTING)
 - 47 VANITY - SEE INTERIOR ELEVATIONS
 - 48 18" DEEP BREAKFRONT CABINET
 - 49 PREFABRICATED SPIRAL METAL STAIR
 - 50 BUILDING OUTLINE BELOW
 - 51 WOOD COLUMN
 - 52 GRANITE TOP OVER LOW WALL - VERIFY HEIGHT
 - 53 WOOD COLUMN WITH 5/8" TYPE "X" GY. BR.
 - 54 FLOOR DRAIN & SEPARATE OVERFLOW DRAIN THRU WALL - SLOPE FLOOR TO DRAIN
 - 55 5/8" X 10" DIA. WOOD FLUTED COLUMN W/ 1/2" WIDE COLUMN BASE ON 18" WIDE FRAMED BASE W/ 1/4" THICK SOL. STONE CAP
 - 56 STEAM SHOWER
 - 57 1 1/4" DIA. X 9' HIGH 5/8" ROUND FLUTED COLUMN

SHOWERS SHALL HAVE 70" HIGH MINIMUM TILE WALLS AND SHATTER-RESISTANT SHOWER ENCLOSURE. GREEN BOARD IS NOT ALLOWED BEHIND TILE WALLS. ANY WINDOWS WITHIN 5 FEET OF SHOWER OR TUB FLOOR SHALL BE TEMPERED.

PROVIDE 2x6 BACKING BEHIND ALL TOWEL BARS AND TISSUE PAPER ROLL HOLDERS EXCEPT AT CABINETS

PREFAB FIREPLACES: PROVIDE 2" CLEARANCE TO FRAMING AROUND FIREBOX AND CHIMNEY OR THE NEAREST FROM LINKING TO COMBUSTIBLES TO BE 12".

EXTERIOR COMBUSTION AIR DUCTS SHALL BE LISTED COMPONENTS OF THE FIREPLACE, AND INSTALLED ACCORDING TO THE FIREPLACE MANUFACTURER'S INSTRUCTIONS.

PROVIDE CLEARANCE TO COMBUSTIBLES AT FIREPLACE OPENING PER CBC211.1.1 EX 4

FACTORY-BUILT FIREPLACES, CHIMNEYS, AND ALL OTHER COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURER'S INSTRUCTIONS.

SPIRAL STAIRS: 60" DIA. WITH 3" DIA. CENTER PIPE; 9.5" RISE AND 15.5" MAX TREAD; WEIGHT: 750#

NOTES

1ST FLOOR VENTILATION CALCULATION:

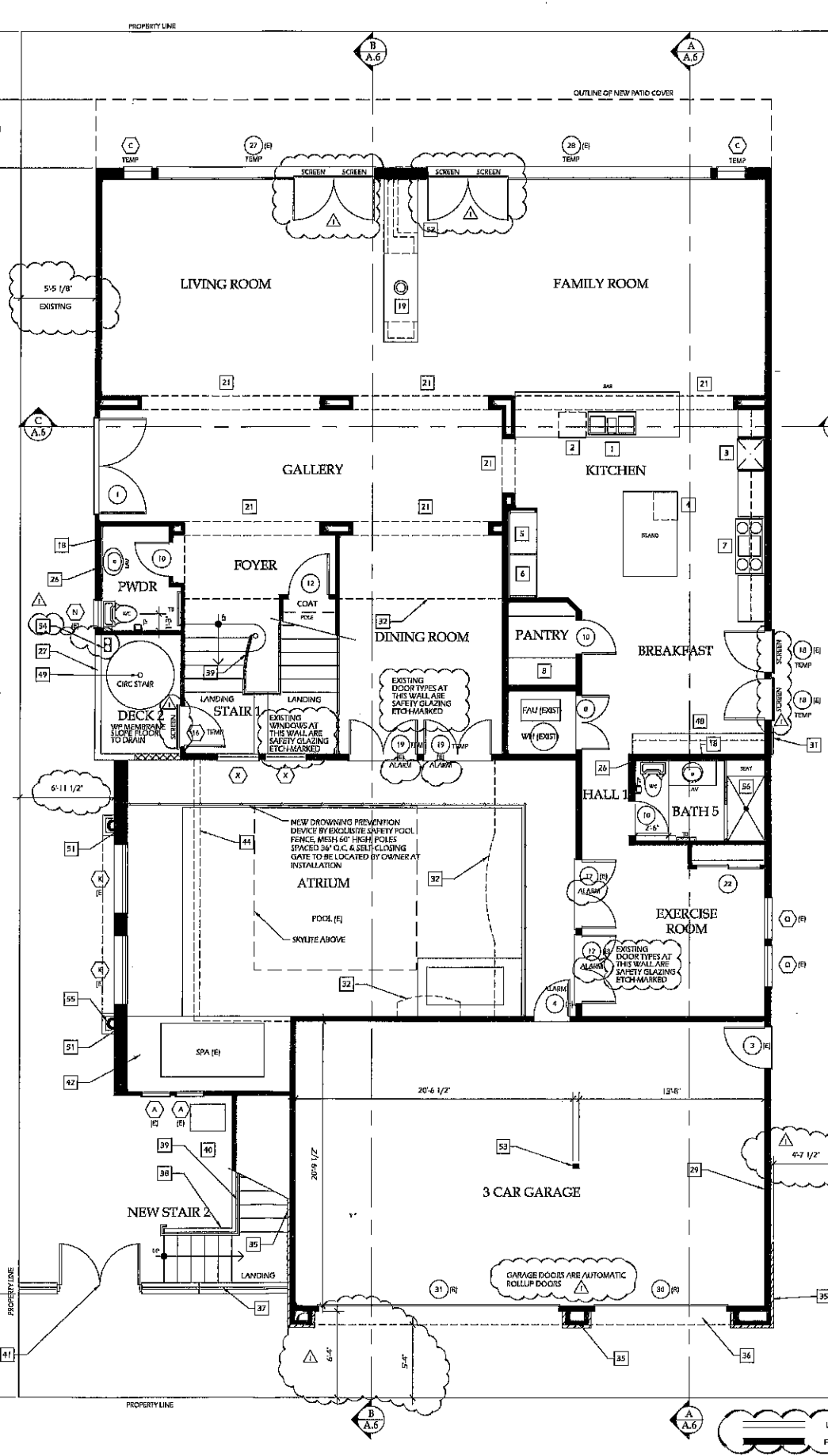
1ST FLOOR CONTIGUOUS AREA INCLUDING ALL SPACES WHERE THE OPENING FROM SPACE TO SPACE IS GREATER THAN 50%:

- LIGHT RECD. (10% OF 1888 SF) 188.8 SF
- VENTILATION RECD (5% OF 1888) 94.4 SF
- LIGHT PROVIDED: 3 3076 SCREENED FRENCH DOORS: 63 SF
- + 3 2086 SCREENED DOORS IN HANNAH WALL: 80 SF

1ST FLOOR VENTILATION CALCULATION:

1ST FLOOR CONTIGUOUS AREA INCLUDING ALL SPACES WHERE THE OPENING FROM SPACE TO SPACE IS GREATER THAN 50%:

- LIGHT RECD. (10% OF 1888 SF) 188.8 SF
- VENTILATION RECD (5% OF 1888) 94.4 SF
- LIGHT PROVIDED: 3 3076 SCREENED FRENCH DOORS: 63 SF
- + 3 2086 SCREENED DOORS IN HANNAH WALL: 80 SF



WINDOW SCHEDULE

SYM	SIZE	TYPE	FRAME	BREAK-UP TOTAL/HOR	TEMP.	COMMENTS
A	2036	FIXED	WD/MTL FACING	6/2	TEMP.	
B	2090	CSMT	WD/MTL FACING	8/2	TEMP.	
C	2090	FIXED	WD/MTL FACING	8/2	TEMP.	
D	3036	FIXED	WD/MTL FACING	9/3		
E						
F						
G	2610	SLIDER	WD/MTL FACING			
H	4646	SLIDER	WD/MTL FACING	16/4		
J	5990	SLIDER	WD/MTL FACING	16/4		
K	5996	SLIDER	WD/MTL FACING	15/4		
L						
M						
N	2050	S/HUNG	WD/MTL FACING	8/2		
O	2650	S/HUNG	WD/MTL FACING		TEMP.	
P	2650	S/HUNG	WD/MTL FACING			
Q	3090	S/HUNG	WD/MTL FACING			
R						
S	1414	CASSETMENT	WD/MTL FACING	4/2		
U	2936	CASSETMENT	WD/MTL FACING	8/2		
V	2946	CASSETMENT	WD/MTL FACING	9/2		
W	2646	CASSETMENT	WD/MTL FACING			
X	3036	CASSETMENT	WD/MTL FACING	9/3	TEMP.	
Y						
Z	8" SD.	GL. BLOCK	NONE			

1. ALL WINDOW GLAZING SHALL BE DUAL PANE
 2. SAFETY GLAZING SHALL BE ETCH-MARKED PER CODE
 3. GLASS WINDOWS SHALL HAVE A CLEAR NET WIDTH OF 20" NET CLEAR HEIGHT OF 23" AND 3/4" SIDE CLEARANCE
 4. PENETRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS

CIRCULAR STAIR NOTES:

CIRCULAR STAIR SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 TREAD: 7.5" AT 12" FROM NARROW EDGE
 RISE: 5" MAXIMUM WIDTH: 24" MINIMUM

DOOR SCHEDULE

SYM	SIZE	CORE	THICKNESS	TYPE/STYLE	FACING MATERIAL	FRAME	COMMENTS
1	(2) 3660	SC	1 3/4"	BY OWNER	RAISED PANEL WOOD	RABBETED	
2	3070	SC	1 3/4"	BY OWNER	RAISED PANEL WOOD	RABBETED	
3	3068	SC	1 3/4"	BY OWNER	RAISED PANEL WOOD	RABBETED	
4	2868	SC	1 3/4"	BY OWNER	RAISED PANEL WOOD	RABBETED	SELF-CLOSER
5							
6	2070	SC	1 3/8"	BY OWNER	RAISED PANEL WOOD	PRE-HUNG	
7	2050	SC	1 3/8"	BY OWNER	RAISED PANEL WOOD	PRE-HUNG	CUSTOM
8	(2) 2090	SC	1 3/8"	BY OWNER	RAISED PANEL WOOD	PRE-HUNG	CUSTOM
9	2170	SC	1 3/8"	BY OWNER	RAISED PANEL WOOD	PRE-HUNG	
10	2670	SC	1 3/8"	BY OWNER	RAISED PANEL WOOD	PRE-HUNG	
11	21070	SC	1 3/8"	BY OWNER	RAISED PANEL WOOD	PRE-HUNG	
12	3070	SC	1 3/8"	BY OWNER	RAISED PANEL WOOD	PRE-HUNG	
13	3670	SC	1 3/8"	BY OWNER	RAISED PANEL WOOD	PRE-HUNG	
14							
15							
16	3070	SC	1 3/4"	FRENCH	WOOD	RABBET	SCREENED, TEMP. 10/LITE
17	(2) 2670	SC	1 3/4"	FRENCH	WOOD	RABBET	TEMP GLAZING; 10/LITE
18	3060	SC	1 3/4"	FRENCH	WOOD	RABBET	SCREENED, TEMP. 10/LITE
19	(2) 2680	SC	1 3/4"	FRENCH	WOOD	RABBET	TEMP GLAZING; 10/LITE
20							
21							
22	(2) 2470	SC	1 3/8"	BY OWNER	RAISED PANEL WOOD	MTL TRACK	WARDROBE SLIDERS
23	(2) 2870	SC	1 3/8"	BY OWNER	RAISED PANEL WOOD	MTL TRACK	WARDROBE SLIDERS
24	(2) 3070	SC	1 3/8"	BY OWNER	RAISED PANEL WOOD	MTL TRACK	WARDROBE SLIDERS
25							
26	1790	-	-	BY OWNER	WOOD	MTL TRACK	CUSTOM TEMP GLAZING
27	21080	-	-	BY OWNER	WOOD	MTL TRACK	CUSTOM TEMP GLAZING
28							
29							
30	8070	-	-	BY OWNER	WOOD	MTL TRACK	AUTOMATIC ROLL UP
31	16070	-	-	BY OWNER	WOOD	MTL TRACK	AUTOMATIC ROLL UP
32							
33	18070	-	-	BY OWNER	WOOD	MTL TRACK	JOK TEMP GLAZING
34	16080	-	-	BY OWNER	WOOD	MTL TRACK	JOK TEMP GLAZING
35							

1. ALL DOOR GLAZING SHALL BE DUAL PANE WITH U = 0.65 AND SHGC = 116-B
 SAFETY GLAZING SHALL BE ETCH-MARKED PER CODE
 2. FIELD VERIFY ALL OPENING SIZES FOR EXISTING DOORS TO BE REPLACED

FLOOR PLAN

1/4" = 1'-0"

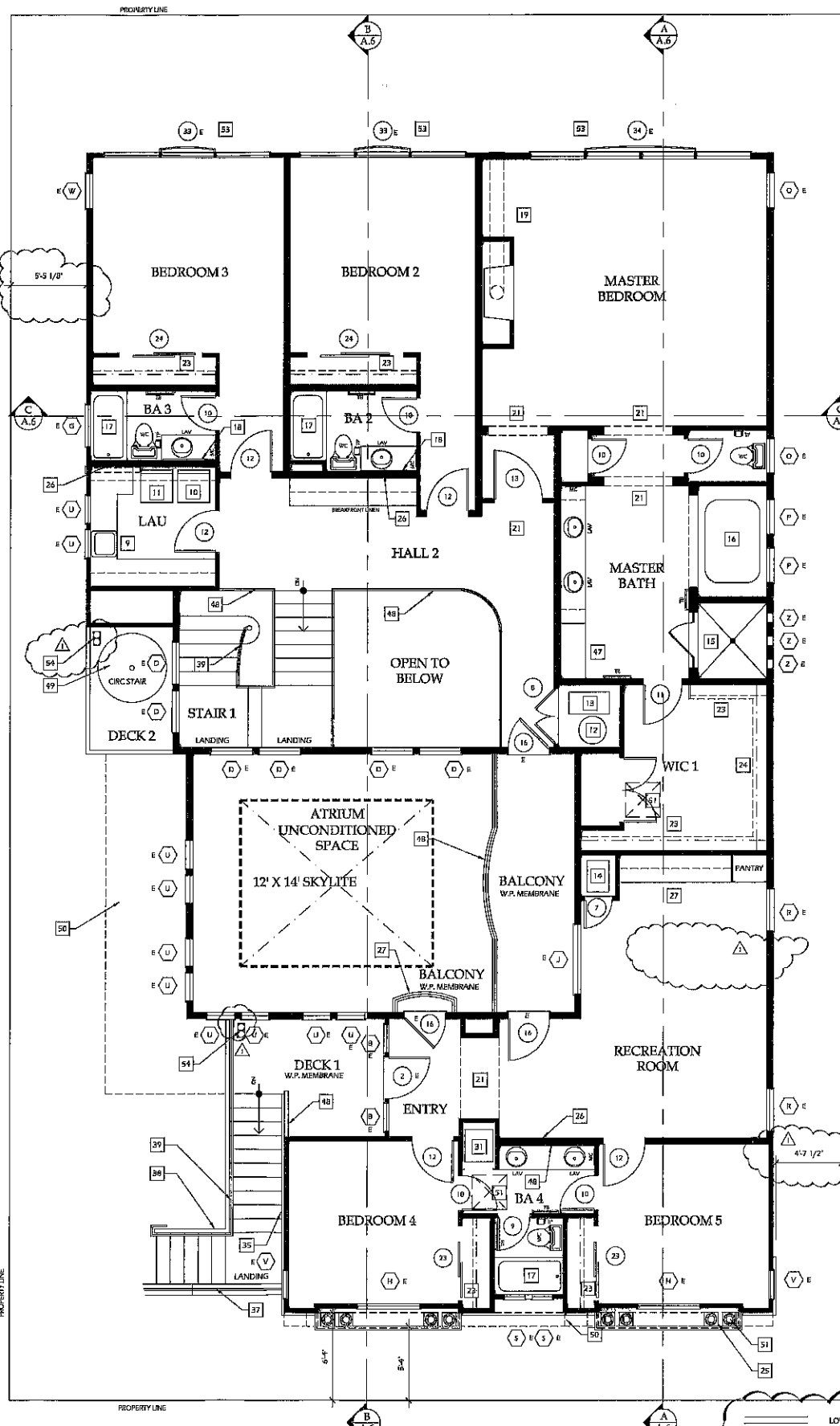
KEYNOTES

WINDOW SCHEDULE						
SYM	SIZE	TYPE	FRAME	BREAK-UP TOTAL/HOR	TEMP	COMMENTS
A	2034	FIXED	WD/MTL FACING	4/2		
B	2050	CSMT	WD/MTL FACING	4/2	TEMP.	
C	2080	FIXED	WD/MTL FACING	4/2	TEMP.	
D	3036	FIXED	WD/MTL FACING	9/3		
E						
F						
G	2610	SLIDER	WD/MTL FACING			
H	4844	SLIDER	WD/MTL FACING	16/4		
J	5050	SLIDER	WD/MTL FACING	16/4		
K	5056	SLIDER	WD/MTL FACING	16/4		
L						
M						
N	2050	SHUNG	WD/MTL FACING	8/2		
O	2650	SHUNG	WD/MTL FACING			
P	2560	SHUNG	WD/MTL FACING		TEMP.	
Q	5250	SHUNG	WD/MTL FACING			
R	3050	SHUNG	WD/MTL FACING			
S	1616	CASEMENT	WD/MTL FACING	4/2		
U	2084	CASEMENT	WD/MTL FACING	6/2		
V	2084	CASEMENT	WD/MTL FACING	6/2		
W	2646	CASEMENT	WD/MTL FACING	8/2		
X	3036	CASEMENT	WD/MTL FACING	9/3	TEMP.	
Y						
Z	8" SQ.	GL. BLOCK	NONE			

1. ALL WINDOW GLAZING SHALL BE DUAL PANE
2. SAFETY GLAZING SHALL BE ETCH-MARKED PER CODE
3. EXISTING WINDOWS SHALL HAVE A CLEARANCE WIDTH OF 2" AND A CLEAR HEIGHT OF 2" AND 5/8" OF OPENING
4. PENETRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS

DOOR SCHEDULE							
SYM	SIZE	CORE	THICKNESS	TYPE/STYLE	FACING MATERIAL	FRAME	COMMENTS
1	(2) 3680	SC	1 3/4"	BY OWNER	RAISED PANEL WOOD	RABBETED	
2	3076	SC	1 3/4"	BY OWNER	RAISED PANEL WOOD	RABBETED	
3	3058	SC	1 3/4"	BY OWNER	RAISED PANEL WOOD	RABBETED	
4	2848	SC	1 3/4"	BY OWNER	RAISED PANEL WOOD	RABBETED	SELF-CLOSER
5							
6							
7	2050	SC	1 3/4"	BY OWNER	RAISED PANEL WOOD	PRE-HUNG	CUSTOM
8	(2) 2050	SC	1 3/4"	BY OWNER	RAISED PANEL WOOD	PRE-HUNG	CUSTOM
9	2470	SC	1 3/4"	BY OWNER	RAISED PANEL WOOD	PRE-HUNG	
10	2670	SC	1 3/4"	BY OWNER	RAISED PANEL WOOD	PRE-HUNG	
11	21070	SC	1 3/4"	BY OWNER	RAISED PANEL WOOD	PRE-HUNG	
12	3070	SC	1 3/4"	BY OWNER	RAISED PANEL WOOD	PRE-HUNG	
13	3670	SC	1 3/4"	BY OWNER	RAISED PANEL WOOD	PRE-HUNG	
14							
15							
16	3076	SC	1 3/4"	FRENCH	WOOD	RABBET	TEMP GLAZING, 10-LITE
17	(2) 2670	SC	1 3/4"	FRENCH	WOOD	RABBET	TEMP GLAZING, 10-LITE
18	3080	SC	1 3/4"	FRENCH	WOOD	RABBET	TEMP GLAZING, 14-LITE
19	(2) 2680	SC	1 3/4"	FRENCH	WOOD	RABBET	TEMP GLAZING, 10-LITE
20							
21							
22							
23	(2) 2670	SC	1 3/4"	BY OWNER	RAISED PANEL WOOD	MTL TRACK	WARDROBE SLIDERS
24	(2) 3070	SC	1 3/4"	BY OWNER	RAISED PANEL WOOD	MTL TRACK	WARDROBE SLIDERS
25							
26							
27	17080	-	-	BY OWNER	WOOD	MTL TRACK	CUSTOM TEMP GLAZING
28	21080	-	-	BY OWNER	WOOD	MTL TRACK	CUSTOM TEMP GLAZING
29							
30	8070	-	-	BY OWNER	WOOD	MTL TRACK	
31	16070	-	-	BY OWNER	WOOD	MTL TRACK	
32							
33	12070	-	-	BY OWNER	WOOD	MTL TRACK	XOXX TEMP GLAZING
34	16080	-	-	BY OWNER	WOOD	MTL TRACK	XOXX TEMP GLAZING
35							

ALL DOOR GLAZING SHALL BE DUAL PANE WITH U - 0.65 AND SHGC - 116-B
SAFETY GLAZING SHALL BE ETCH-MARKED PER CODE
FIELD VERIFY ALL OPENING SIZES FOR EXISTING DOORS TO BE REPLACED



SHOWERS SHALL HAVE 70" HIGH MINIMUM TILE WALLS AND SHATTER-RESISTANT SHOWER ENCLOSURE. GREEN BOARD IS NOT ALLOWED BEHIND TILE WALLS. ANY WINDOWS WITHIN 5 FEET OF SHOWER OR TUB FLOOR SHALL BE TEMPERED.

PROVIDE 2x6 BACKING BEHIND ALL TOWEL BARS AND TISSUE PAPER ROLL HOLDERS EXCEPT AT CABINETS

PREFAB FIREPLACES: PROVIDE 2" CLEARANCE TO FRAMING AROUND FIREBOX AND CHIMNEY OR THICKNESS FROM LINING TO COMBUSTIBLES TO BE 12".

EXTERIOR COMBUSTION AIR DUCTS SHALL BE LISTED COMPONENTS OF THE FIREPLACE, AND INSTALLED ACCORDING TO THE FIREPLACE MANUFACTURER'S INSTRUCTIONS.

PROVIDE CLEARANCE TO COMBUSTIBLES AT FIREPLACE OPENING PER COC211.1.1 EX 4

FACTORY-BUILT FIREPLACES, CHIMNEYS, AND ALL OTHER COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURER INSTRUCTIONS.

NOTES

- LEGEND**
- 1 TRIPLE SINK WITH GARBAGE DISPOSAL
 - 2 DISHWASHER - PROVIDE SURFACE MTD AIR GAP IF REOD
 - 3 DOUBLE OVEN
 - 4 MICROWAVE
 - 5 REFR SPACE - PROVIDE RECESSED COLD WATER SUPPLY
 - 6 FREEZER SPACE - PROVIDE RECESSED COLD WATER SUPPLY
 - 7 SLIDE-IN RANGE WITH HOOD VENTED TO OUTSIDE AIR THRU CABINET SOFFIT
 - 8 PANTRY WITH SHELVES
 - 9 LAUNDRY TRAY
 - 10 WASHER SPACE
 - 11 DRYER SPACE
 - 12 RELOCATED WATER HEATER - SET ON 18" HIGH PLATFORM. PROVIDE SEISMIC STRAPS HIGH & LOW. PROVIDE RECIRCULATING PUMP ON TIME. VENT TO OUTSIDE
 - 13 RELOCATED FAU
 - 14 NEW FAU
 - 15 HOT-MAPPED & CERAMIC TILE SHOWER PAN WITH CERAMIC TILE WAINSCOT TO 84" - PROVIDE SHOWER ENCLOSURE
 - 16 HOT-MAPPED & CERAMIC TILE W/ WOOD TUB WITH CERAMIC TILE LEDGE, SKIRT & WAINSCOT
 - 17 24" X 60" CAST IRON TUB SHOWER WITH CERAMIC TILE TO 84" - PROVIDE SHOWER ENCLOSURE
 - 18 MIRROR - REFER TO INTERIOR ELEVATIONS
 - 19 PREFABRICATED METAL FIREPLACE - TOWN & COUNTRY MODEL TCS6 DIRECT VENT
 - 20 24" FLUSH HEARTH
 - 21 FLAT SOFFIT/AJULG HEAD
 - 22 WOOD SHELVES - REFER TO INTERIOR ELEVATIONS
 - 23 SHELF & POLE
 - 24 SHELF & DOUBLE POLE
 - 25 CANTILEVERED SHELF - REFER TO EXTERIOR ELEVATIONS
 - 26 2x6 PLUMBING WALL
 - 27 2x6 STUD WALL - BALLOON FRAME
 - 28 30" HIGH DESK
 - 29 1 LAYER 5/8" TYPE 'X' GYPSUM BOARD AT ALL WALLS AND CEILING IN GARAGE
 - 30 LIVEN CABINET - REFER TO INTERIOR ELEVATIONS
 - 31 STACKED WASHER/DRYER
 - 32 FLOOR LINE ABOVE
 - 33 FLOOR LINE BELOW
 - 34 WAINSCOT
 - 35 SIMULATED STONE VENEER
 - 36 BUILDING OUTLINE ABOVE
 - 37 7'-6" HIGH WOOD FRAME/EXTERIOR PLASTER WALL - SEE EXTERIOR ELEVATIONS
 - 38 WOOD FRAME GLAZING - SEE EXTERIOR ELEVATIONS
 - 39 35" HIGH HANDRAIL - SEE STAIR PLANS AND ELEVATIONS
 - 40 POOL EQUIPMENT IN BELOW-GRADE VAULT BY OTHERS
 - 41 GATES BY OTHERS
 - 42 EXISTING MASONRY WALL
 - 43 FLUR EXTERIOR PLASTER/WOOD FRAME OVER EXISTING MASONRY WALL TO ALIGN WITH THE NEW ENTRY DOOR WALL
 - 44 EXISTING ATRIUM WALL ABOVE
 - 45 EXISTING LOW ROOF STRUCTURE - SEE EXTERIOR ELEVATIONS FOR MODIFICATIONS
 - 46 CEILING HEIGHT CHANGE (EXISTING)
 - 47 VANITY
 - 48 42" HIGH GUARDRAIL - SEE SHIT. A.16, NOTES
 - 49 PREFABRICATED SMALL METAL GRAM
 - 50 BUILDING OUTLINE BELOW
 - 51 WOOD COLUMN
 - 52 30" SQ. ATTIC ACCESS WITH 30" CLR HEADROOM
 - 53 42" HIGH SPIN ALUMINUM GUARDRAIL
 - 54 SEPARATE DECK DRAIN & OVERFLOW - SLOPE FLOOR TO DRAIN

KEYNOTES

FLOOR PLAN

1/4" = 1'-0"



A REMODEL AND ADDITION PROJECT FOR
OMMID, LLC
SINGLE FAMILY
409 MORNING STAR, NEWPORT BEACH, CA

MICHAEL McHALE
ARCHITECT
14851 JEFFREY ROAD, #203 IRVINE, CA 92618
(949) 566-4951

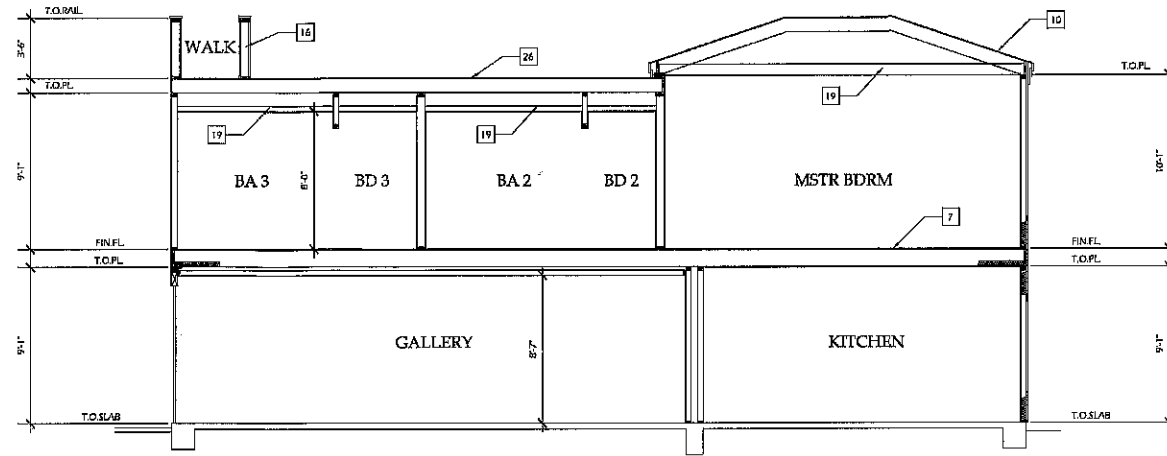
DATE	11/18/13
PROJECT NO.	04-010
SCALE	

12/26/13	WDC/PLAN 1ST P.C.

MORNING STAR

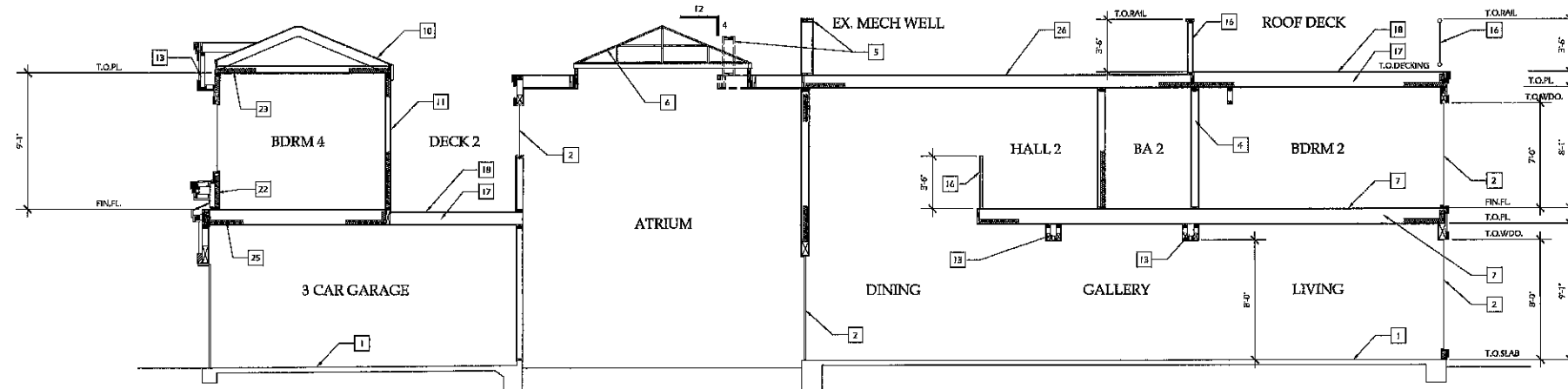
UPPER FLOOR PLAN

A.3



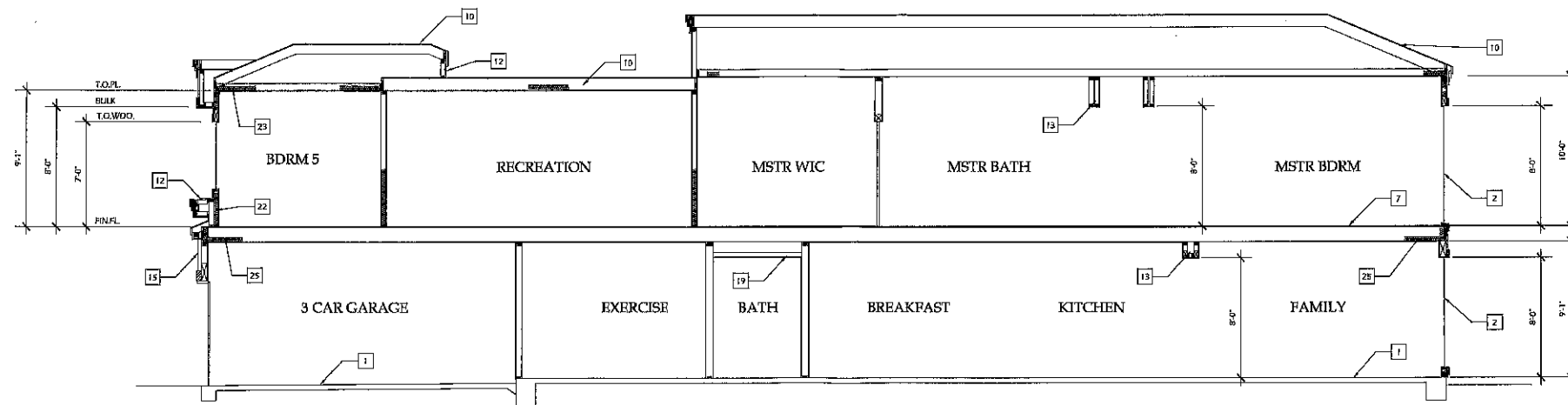
BUILDING SECTION CC

1/4" = 1'-0"



BUILDING SECTION BB

1/4" = 1'-0"



BUILDING SECTION AA

1/4" = 1'-0"

REFER TO STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION INCLUDING DETAILING

NOTES

- 1 EXISTING CONCRETE SLAB - REFER TO STRUCTURAL DRAWINGS FOUNDATION PLAN FOR ANY NEW FOOTING LOCATIONS.
- 2 NEW WINDOWS OR DOORS - SEE TITLE 24 NO. OF PANELS, THICKNESS, ETC.
- 3 EXISTING 2x6 BALLOON FRAME WALL
- 4 2x6 PLUMBING WALL
- 5 EXISTING LOW WALL TO BE RELOCATED
- 6 NEW SKYLITE
- 7 EXISTING FLOOR FRAMING
- 8 EXISTING ROOF
- 9 NEW ROOF
- 10 NEW ROOF FRAMING - SEE STRUCTURAL ENGINEERING DOCUMENTS FOR FURTHER INFO
- 11 EXTERIOR PLASTER - SMOOTH FINISH
- 12 2X STUD FRAMING AT FURRED WALL & FOR POPOUT
- 13 2X FRAMING AT BURR HEAD
- 14 2X ROOF RAFTERS - REFER TO STRUCTURAL PLANS FOR SIZE
- 15 SIMULATED STONE VENEER
- 16 NEW 42" HIGH GUARDRAIL
- 17 NEW FLOOR FRAMING - SEE STRUCTURAL ENGINEERING DOCUMENTS FOR FURTHER INFO
- 18 WATERPROOF MEMBRANE DOCKING
- 19 CEILING JOISTS - SEE STRUCTURAL ENGINEERING DOCUMENTS
- 20 LATH AND PLASTER TO MATCH EXISTING AT ALL WALLS AND CEILINGS UNLESS NOTED OTHERWISE
- 21 VENEY EXISTING 5/8" TYPE 'X' GYPSUM BOARD AT GARAGE SIDE OF ALL WALLS AND CEILINGS THAT SEPARATE THE GARAGE FROM THE LIVING SPACE
- 22 R-13 BATT INSULATION AT ALL EXTERIOR WALLS - R-19 BATT INSULATION @ 2x6 WALLS
- 23 R-30 BATT INSULATION AT ALL ATTIC/CEILINGS
- 24 R-30 BATT INSULATION AT ALL FLOORS OVER UNCONDITIONED SPACES
- 25 ADD R-30 BATT INSULATION AT ALL OPEN FLOORS BETWEEN CONDITIONED SPACES WHEN AVAILABLE
- 26 CLASS A 3-PLY HOT MOP ROOF ASSEMBLY

KEYNOTES



A REMODEL AND ADDITION PROJECT FOR
OMMID, LLC
 SINGLE FAMILY
 409 MORNING STAR, NEWPORT BEACH, CA

MICHAEL MCHALE
 ARCHITECT
 14851 JEFFREY ROAD, JERES, IRVINE, CA 92618
 (714) 566-7521



DATE	11/18/13
PROJECT NO.	04-010
SCALE	

12/26/13	31XG/PLAN BK CK

MORNING STAR

BUILDING SECTIONS

A.6



A REMODEL AND ADDITION PROJECT FOR
OMMID, LLC
 SINGLE FAMILY
 409 MORNING STAR, NEWPORT BEACH, CA

MICHAEL McHALE
 ARCHITECT
 14851 JEFFREY ROAD, #303, IRVINE, CA 92618
 (949) 564-4951



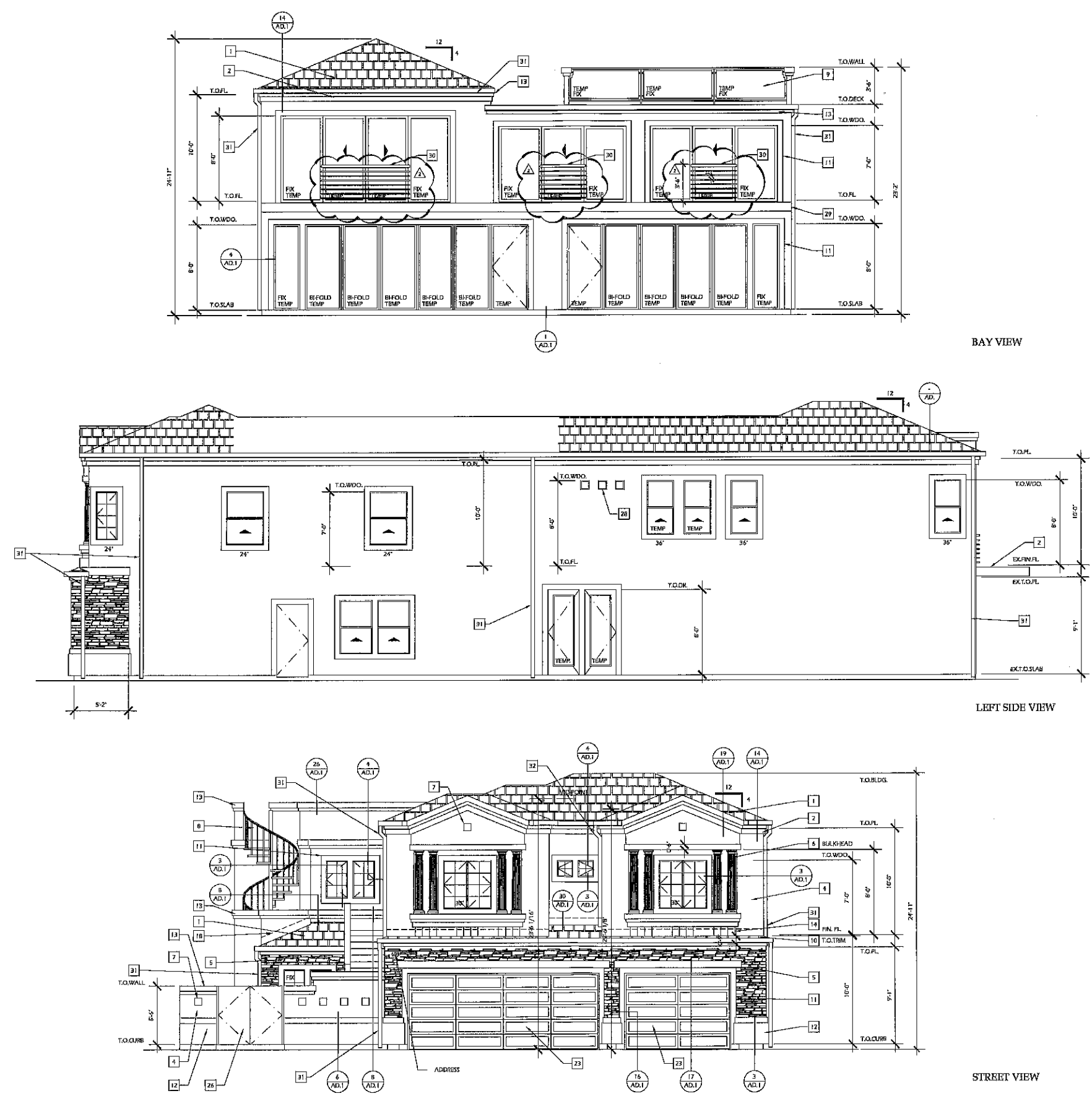
DATE	1/18/13
PROJECT NO.	04-010
SCALE	

	BLDG/PLAN BK CK 1
	BLDG/PLAN BK CK 2

MORNING STAR

EXTERIOR ELEVATIONS

A.7

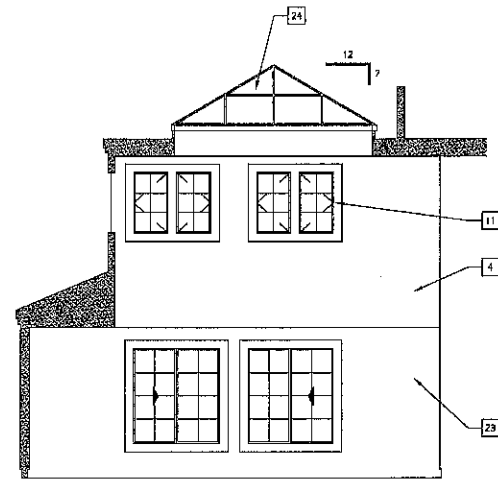


- 1 NEW FLAT CONCRETE ROOFING MATERIAL - REFER TO ADD'G PLAN FOR ADDITIONAL INFORMATION
- 2 SEL. STR. RESAWN WOOD FASCIA - SEE ARCHITECTURAL DETAIL
- 3 SEL. STR. RESAWN WOOD BARGE BOARD - SEE ARCHITECTURAL DETAIL
- 4 EXTERIOR CEMENT PLASTER WITH GALVANIZED IRON WEEP SCREED - TYPICAL AT ALL SLAB EDGE CONDITIONS
- 5 SIMULATED STONE VENEER OVER BROWN COAT - SEE DETAIL 19/D.2
- 6 WOOD COLUMN
- 7 12" x 12" REVEAL - SEE ARCHITECTURAL DETAIL
- 8 PREFABRICATED METAL CIRCULAR STAIRS
- 9 42" HIGH SAFETY GLASS IN METAL FRAME GUARDRAIL - SEE MANUFACTURER'S SPECIFICATIONS FOR INFORMATION
- 10 SHAPED FOAM PLASTIC TRIM AS SHOWN - SEE ARCH DETAILS
- 11 SHAPED FOAM PLASTIC TRIM AT DOORS & WINDOWS AS SHOWN - SEE ARCH DETAILS
- 12 SHAPED FOAM PLASTIC TRIM WAINSCOT AS SHOWN - SEE ARCH DETAILS
- 13 PREFABRICATED SHAPED FOAM PLASTIC FRIEZE/PARAPET/CAP AS SHOWN IN ARCH. DETAILS
- 14 PREFABRICATED SHAPED FOAM CORBELS AS SHOWN IN ARCH. DETAILS
- 15 36" HIGH METAL GUARDRAIL - SEE ARCH DETAILS
- 16 REMOVE EXISTING BRICK AND REPLACE WITH STUCCO
- 17 NEW WALKWAY
- 18 GALVANIZED IRON FLASHING & COUNTERFLASHING AT ROOF TO WALL
- 19 BUILT-UP PLYWOOD CRICKET WITH GALVANIZED IRON FLASHING & COUNTERFLASHING AT ROOF TO WALL INTERSECTION
- 20 NEW ROLL-UP GARAGE DOOR
- 21 CONCRETE STOOP - SEE FOUNDATION PLAN
- 22 24" x 12" HIGH GALVANIZED IRON METAL ATTIC DOWNSPOUT WITH BIRD SCREEN. PAINT VENT TO MATCH ADJACENT ROOF MATERIAL COLOR.
- 23 COVER EXISTING BRCK WITH EXTERIOR PLASTER - SEE ARCHITECTURAL DETAILS
- 24 REPLACE EXISTING SKYLIGHTS
- 25 MATCH EXISTING STUCCO
- 26 GATE - BY OWNER
- 27 NEW DOUBLE DOORS - BY OWNER
- 28 8" SQ. GLASS BLOCK
- 29 PATIO COVER
- 30 SPLN ALUMINUM RAILING
- 31 COPPER GUTTER AND DOWNSPOUT INTO GROUND DRAIN TO CURB
- 32 COPPER GUTTER AND DOWNSPOUT TO LOWER ROOF

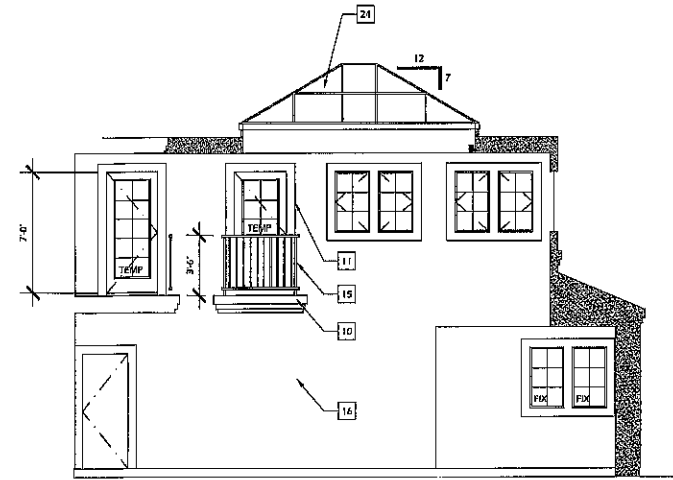
EXTERIOR ELEVATIONS

1/4" = 1'-0"

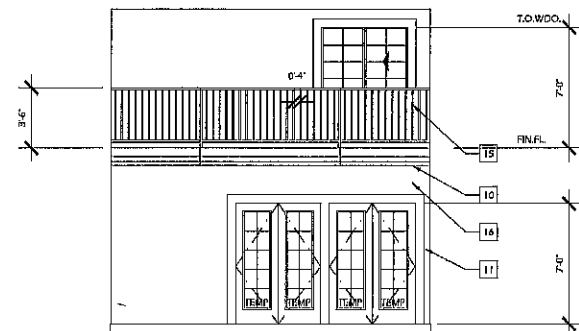
KEYNOTES



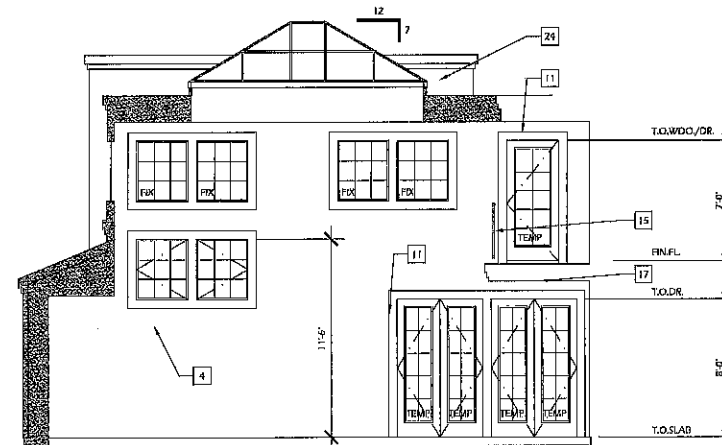
ATRIUM
LEFT SIDE VIEW



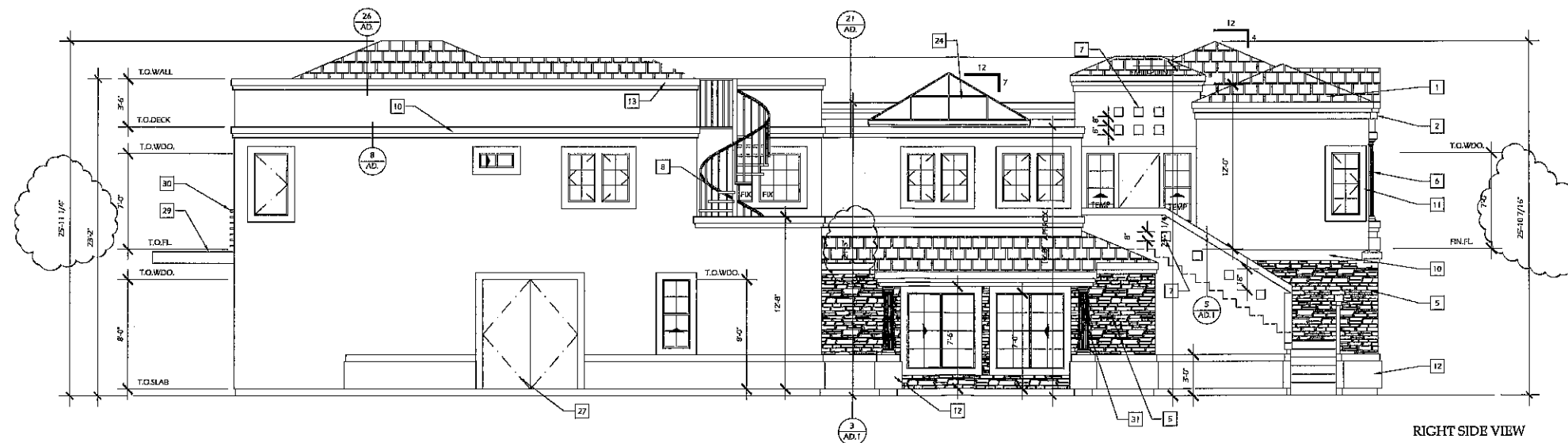
ATRIUM
STREET SIDE VIEW



ATRIUM
RIGHT SIDE VIEW



ATRIUM
BAY SIDE VIEW



RIGHT SIDE VIEW

EXTERIOR ELEVATIONS

1/4" = 1'-0"

KEYNOTES

- 1 NEW FLAT CONCRETE ROOFING MATERIAL - REFER TO ROOF PLAN FOR ADDITIONAL INFORMATION
- 2 SEL. STR. RESAWN WOOD FASCIA - SEE ARCHITECTURAL DETAIL - GUTTER NOT SHOWN
- 3 SEL. STR. RESAWN WOOD BARGE BOARD - SEE ARCHITECTURAL DETAIL
- 4 EXTERIOR CEMENT PLASTER WITH GALVANIZED IRON WEEP SCREED - TYPICAL AT ALL SLAB EDGE CONDITIONS
- 5 SIMULATED STONE VENEER OVER BROWN COAT
- 6 WOOD COLUMN
- 7 12" X 12" REVEAL - SEE ARCHITECTURAL DETAIL
- 8 PREFABRICATED METAL SPIRAL STAIRS
- 9 42" HIGH SAFETY GLASS IN METAL FRAME GUARDRAIL - SEE MANUFACTURER'S SPECIFICATIONS FOR INFORMATION
- 10 SHAPED FOAM PLASTIC TRIM AS SHOWN - SEE ARCH DETAILS
- 11 SHAPED FOAM PLASTIC TRIM AT DOORS & WINDOWS AS SHOWN - SEE ARCH DETAILS
- 12 SHAPED FOAM PLASTIC TRIM WAINCOT AS SHOWN - SEE ARCH DETAILS
- 13 PREFABRICATED SHAPED FOAM PLASTIC FREEZE/PAN/PET/CAIP AS SHOWN IN ARCH. DETAILS
- 14 PREFABRICATED SHAPED FOAM CORNICES AS SHOWN IN ARCH. DETAILS
- 15 42" HIGH WROUGHT IRON GUARDRAIL - SEE ARCH DETAILS
- 16 REMOVE EXISTING BRICK AND REPLACE WITH STUCCO
- 17 NEW WALKWAY
- 18 GALVANIZED IRON FLASHINGS & COUNTERFLASHING AT ROOF TO WALL
- 19 BUILT-UP PLYWOOD CRACKER WITH GALVANIZED IRON FLASHING & COUNTERFLASHING AT ROOF TO WALL INTERSECTION
- 20 NEW ROLL-UP GARAGE DOOR
- 21 CONCRETE STOOP - SEE FOUNDATION PLAN
- 22 24" X 12" HIGH GALVANIZED IRON METALLIC DOWNSPOUT WITH BRID SCREEN. PAINT VENT TO MATCH ADJACENT ROOF MATERIAL COLOR.
- 23 COVER EXISTING BRICK WITH EXTERIOR PLASTER - SEE ARCHITECTURAL DETAILS
- 24 NEW CUSTOM-MADE 12" X 12" HIPPED 4-SIDES BRISTOLITE SKYLITE - SHOP DWGS TO BE PROVIDED BY BRISTOLITE - ICC 2497
- 25 MATCH EXISTING STUCCO
- 26 GATE - BY OWNER
- 27 NEW DOUBLE DOORS - BY OWNER
- 28 8" SQ. GLASS BLOCK
- 29 EXISTING OVER-HANG
- 30 SPUN ALUMINUM RAILINGS
- 31 10" DIA. 5/8" ROUND X 9' HIGH WOOD COLUMN
- 32 14" DIA. 5/8" ROUND X 9' HIGH WOOD COLUMN



A REMODEL AND ADDITION PROJECT FOR
OMMID, LLC
 SINGLE FAMILY
 409 MORNING STAR, NEWPORT BEACH, CA

MICHAEL MCHALE
 ARCHITECT
 14851 JEFFREY ROAD, #303, IRVINE, CA 92618
 (949) 565-9551



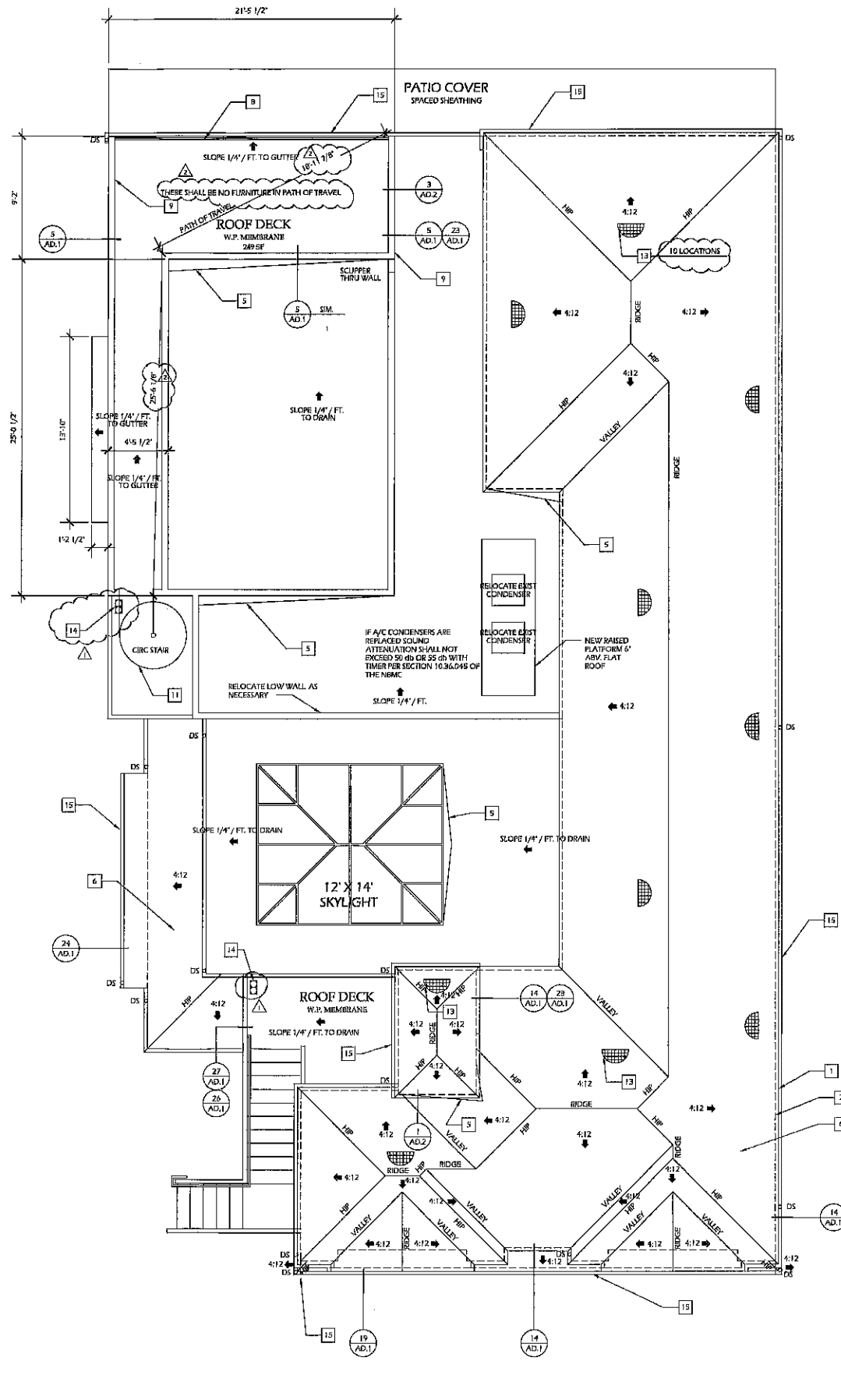
DATE	11/18/13
PROJECT NO.	04-010
SCALE	

12/26/13	BUILD/PLAN 1ST P.C.

MORNING STAR

EXTERIOR ELEVATIONS

A.8



HIGH SLOPED ROOF ATTIC (COVER ENTRY):
 VENTING REQUIRED:
 64 SF/150 = 0.426 SF
 VENTING PROVIDED:
 LOW:
 2 SOFFIT VENTS @ 0.43 SF = 0.86 SF
 HIGH SLOPED ROOF ATTIC (AT FRONT):
 VENTING REQUIRED:
 518 SF/300 = 1.726 SF
 VENTING PROVIDED:
 LOW:
 1 DORMER VENT @ 0.94 SF = 0.94 SF
 HIGH:
 1 DORMER VENT @ 0.94 SF = 0.94 SF
 TOTAL:
 0.94 SF + 0.94 SF = 1.88 SF
 HIGH SLOPED ROOF ATTIC (COVER MASTER BDRM):
 VENTING REQUIRED:
 762 SF/300 = 2.54 SF
 VENTING PROVIDED:
 LOW:
 2 DORMER VENTS @ 0.94 SF = 1.88 SF
 HIGH:
 2 DORMER VENTS @ 0.94 SF = 1.88 SF
 TOTAL:
 1.88 SF + 1.88 SF = 3.76 SF

VENT CALCS

- A ROOF PITCH SHALL BE 4:12
- B OVERHANGS: EAVES - SEE ARCHITECTURAL DETAILS. GARGOLES - SEE ARCHITECTURAL DETAILS.
- C ROOFING MATERIAL SHALL BE CLASS A FLAT CONCRETE ROOFING TILES WITH UNIVERSAL HP, RIDGE & RAKE TILES.
- D PROVIDE 1 LAYER 30 LBS ASPHALT-SATURATED BUILDING FELT UNDERLAYMENT.
- E FLAT ROOF SHALL BE CLASS A 3 PLY HOT MOP BUR.
- F ALL EAVES SHALL HAVE GUTTERS WITH DOWNSPOUTS TO CONCRETE SPLASH-BLOCKS. FINAL DESIGN SHALL BE PROVIDED BY THE GUTTER INSTALLATION CONTRACTOR AND APPROVED BY THE OWNER & PROJECT SOILS ENGINEER BEFORE INSTALLATION.
- G ROOF DRAINAGE AT FLAT ROOF: EACH DRAIN AREA SHALL BE PROVIDED WITH A DRAIN AND OVERFLOW DRAIN EACH RIMMED SEPARATELY.

NOTES

- 1 ROOF OUTLINE.
- 2 BUILDING OUTLINE BELOW.
- 3 EXISTING FLAT ROOF SLOPED TO DRAIN.
- 4 NEW 3-PLY CLASS A BUILT-UP ROOF SLOPED 1/4"/12".
- 5 BUILT-UP PLYWOOD GROCKET WITH GALVANIZED IRON FLASHING & COUNTERFLASHING AT ROOF TO WALL INTERSECTION.
- 6 SLOPED CONCRETE TILE ROOF.
- 7 SKYLIGHTS - REFER TO MANUFACTURER FOR SPECIFICATIONS.
- 8 42" HIGH HANDRAIL - SEE ARCHITECTURAL DETAILS.
- 9 SOLID WALL - SEE ELEVATIONS FOR HEIGHT.
- 10 EXISTING MECHANICAL EQUIPMENT SCREEN WALL.
- 11 PREFABRICATED METAL SPIRAL STAIR.
- 12 6" x 14" G.I. SOFFIT VENT - PROVIDE FREEZE BLOCKING HOLES AS DETAIL (3 PER BLOCK) TO MATCH REQUIREMENTS OF SOFFIT VENT SF. 6" x 14" G.I. SCREEN FACTOR = 0.4375 SF/VENT - SEE ATTIC VENTILATION CALCULATIONS ON THIS SHEET FOR QUANTITY REQUIRED. DO NOT LOCATE OVER SHEAR WALLS UNLESS APPROVED BY PROJECT STRUCTURAL ENGINEER.
- 13 24" x 12" HIGH GALVANIZED IRON METAL ATTIC DORMER VENT WITH BIRD SCREEN. 0.94 SF SF VENTING PROVIDED PER VENT. VERIFY WITH MANUFACTURER. PAINT VENT TO MATCH ADJACENT ROOF MATERIAL COLOR.
- 14 SEPARATE ROOF DRAIN & OVERFLOW COVER GUTTER & DOWNSPOUT.

ROOF / ROOF DECK PLAN

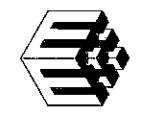
1/4" = 1'-0"

KEYNOTES



A REMODEL AND ADDITION PROJECT FOR
OMMID, LLC
SINGLE FAMILY
 409 MORNING STAR, NEWPORT BEACH, CA

MICHAEL McHALE
ARCHITECT
 14851 JEFFREY ROAD, #303, IRVINE, CA 92618
 (949) 564-4951



DATE	11/18/13
PROJECT NO.	04010
SCALE	

12/26/13	BLDG/PLAN 1ST P.C.
2/25/14	BLDG/PLAN 2ND P.C.

MORNING STAR

ROOF PLAN
ATTIC VENT
CALCULATIONS

A.9