



**CITY OF NEWPORT BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION ACTION REPORT**

**TO:** CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

**FROM:** Kimberly Brandt, Community Development Director  
Brenda Wisneski, Deputy Community Development Director

**SUBJECT:** Report of actions taken by the Zoning Administrator, and/or Planning Division staff for the week ending April 4, 2014

---

**COMMUNITY DEVELOPMENT DIRECTOR  
OR PLANNING DIVISION STAFF ACTIONS  
(Non-Hearing Items)**

- Item 1: Bay Shores Peninsula Hotel Telecommunications Permit No. TP2013-004  
(PA2013-039)  
1800 W. Balboa Boulevard (Bay Shores Peninsula Hotel)
- Action: Approved Council District 1
- Item 2: Jack's Surfboard/Jack's Girls Outdoor Sales Extension of Limited Term Permit  
No. XP2013-001 (PA2013-052)  
2727 Newport Boulevard
- Action: Approved Council District 1

**APPEAL PERIOD:** An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

Lt. Dennis Birch, NBPD (*Telecom Permit*)



## COMMUNITY DEVELOPMENT DEPARTMENT

### PLANNING DIVISION

100 Civic Center Drive, Newport Beach, CA 92660

(949) 644-3200 Fax: (949) 644-3229

[www.newportbeachca.gov](http://www.newportbeachca.gov)

### **COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER**

**APPLICATION:** Telecommunications Permit No. TP2013-004 (PA2013-039)  
**APPLICANT:** Tim Miller, Trillium Consulting  
**CARRIER:** AT&T Mobility  
**LOCATION:** 1800 W. Balboa Boulevard (Bay Shores Peninsula Hotel)  
**LEGAL DESCRIPTION** Lots 1 , 2, and 3, Block 118, Section B, Newport Beach Tract

On **April 4, 2014**, the Community Development Director approved Telecommunications Permit No. TP2013-004. This approval is based on the findings and subject to the following conditions attached to this report (Attachment No. CD 1).

In approving this application, the Community Development Director analyzed issues regarding compliance with Chapter 15.70 of the Newport Beach Municipal Code and determined in this case that the proposed wireless telecommunications facility (telecom facility) meets the provisions of Chapter 15.70.

Although the City Council adopted Ordinance No. 2014-1 on January 28, 2014, repealing Chapter 15.70 (Wireless Telecommunication Facilities) of the Municipal Code and establishing Chapter 20.49 (Wireless Telecommunication Facilities), the Ordinance allows pending applications to continue being processed under the previous provisions. In this case, the application was submitted February 15, 2013, and review continued under the provisions of Chapter 15.70.

### **PROJECT SUMMARY**

Trillium Consulting has submitted an application on behalf of AT&T Mobility requesting a Telecommunications Facility Permit (Telecom Permit) for the purpose of upgrading and modifying an existing wireless facility that was previously granted a Telecommunications Permit on September 25, 2006 (TP2006-001). The existing telecom facility is located on the roof of the Bay Shores Peninsula Hotel. The project consists of the following upgrades:

- Replacement of six existing antennas with 11 new antennas.
- Replacement of three existing equipment cabinets with two new equipment cabinets within the existing rooftop equipment enclosure.
- Installation of 24 new remote radio units (RRU's).

- Installation of three DC surge suppressors.
- Installation of one new global positioning system (GPS) antenna within the rooftop equipment enclosure.
- Installation of new screening that will complement the building façade for five RRU's and one DC surge suppressor.

The subject property consists of a three-story hotel and an onsite parking lot. The building exterior is composed of a stucco finish with various balcony and awning projections along the Balboa Boulevard and 18<sup>th</sup> Street frontages. An existing equipment enclosure is located on the roof at the westerly side of the building. Towards the southeast corner of the building are two existing vertical projections, a penthouse, and a smaller rectangular screening element. AT&T currently utilizes all three areas as part of their telecom facility.

The proposed equipment upgrades will predominantly occur behind existing screening and will not involve noticeable changes to the building architecture or façade. The proposed upgrades to each area of the telecom facility are as follows:

Penthouse – four existing antennas mounted behind existing screening will be replaced with eight new antennas. A total of nine RRU's and two DC surge suppressors will also be mounted on the penthouse behind existing and new screening. New screening proposed at the southwesterly side of the penthouse will be architecturally compatible and painted to match the existing building façade.

Rectangular Screening Element – two existing antennas mounted within the screening element will be replaced with three new antennas. Three RRU's and one DC surge suppressor will also be mounted within the screening element.

Equipment Enclosure – three existing equipment cabinets within the equipment enclosure will be replaced with two new equipment cabinets. One existing GPS antenna will be relocated within the enclosure and an additional GPS antenna will be added. A total of 12 RRU's are also proposed to be mounted on the interior of the enclosure. No expansion to the existing enclosure is proposed.

All new antennas and equipment comply with the definition for a stealth facility (NBMC 15.70.030) as they will be mounted to the building and concealed behind screening. Photographic visual simulations depicting the existing and proposed conditions at the site have been prepared by the applicant and are included as Attachment No. CD 3. The project plans are included as Attachment No. CD 4.

## **GENERAL PLAN / ZONING DISTRICT**

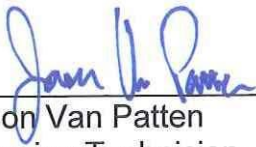
**General Plan:** CV (Visitor Serving Commercial)  
**Zone:** CV (Commercial Visitor-Serving)

**APPEAL PERIOD**

Telecommunications Facility applications do not become effective until 14 days after the date of action, during which time the applicant or any interested party may appeal the decision of the Community Development Director and division staff to the City Council by submitting a written appeal application to the City Clerk. For additional information on filing an appeal, contact the City Clerk at (949) 644-3005.

On behalf of Kimberly Brandt, Community Development Director

By:



---

Jason Van Patten  
Planning Technician

JM/jvp

- Attachments:    CD 1 Findings and Conditions of Approval  
                      CD 2 Vicinity Map  
                      CD 3 Photographic Simulations  
                      CD 4 Project Plans

# **Attachment No. CD 1**

Findings and Conditions of Approval

**FINDINGS AND CONDITIONS OF APPROVAL  
TELECOMMUNICATIONS PERMIT NO. TP2013-004  
(PA2013-039)**

**FINDINGS**

1. The telecommunications facility as proposed meets the intent of Chapter 15.70 of the Newport Beach Municipal Code (NBMC), while ensuring public safety, reducing the visual effects of telecom equipment on public streetscapes, protecting scenic ocean and coastal views, and otherwise mitigating the impacts of such facilities for the following reasons:
  - The proposed telecom facility will not be detrimental to public health or safety because it is required to comply with the applicable rules, regulations and standards of the Federal Communications Commission (FCC) and the California Public Utilities Commission (CPUC).
  - The telecom facility is located on an existing hotel building, and any future facility proposed to be located within 1,000 feet of the existing facility shall be required, if feasible, to co-locate on the same site to limit the adverse visual effects of a proliferation of facilities in the City.
  - The design of the facility mitigates visual impacts due to the placement of antennas behind existing and new screening. Equipment placed behind new screening at the southwesterly side of the penthouse will be located at a level and location that has no impact on public views.
  - The telecom facility is not located adjacent to a Coastal View Road or Coastal View Point.
  
2. The telecommunications facility as proposed conforms to the technology, height, location and design standards for the following reasons:
  - The telecom facility approved under this Telecom Permit utilizes the most efficient and diminutive available technology in order to minimize the number of facilities and reduce visual impact.
  - The subject property is zoned Commercial Visitor Serving (CV) and is located within the 26/35 Shoreline Height Limit Zone per the Zoning Code. The telecom facility and modifications as proposed and approved by this Telecom Permit comply with Section 15.70.050 (Height and Location) of Chapter 15.70 because they do not exceed the upper maximum building height allowed in the Zoning District as specified in the Zoning Code.

- All antennas for the telecom facility approved by this Telecom Permit will be wall mounted and located behind existing screening which are painted to match the color and texture of the wall on which the antennas are mounted.
  - All equipment for the telecom facility approved by this Telecom Permit will be roof-mounted within an existing equipment enclosure and located behind screening. All roof mounted equipment complies with the 26/35 Shoreline Height Limitation Zone applicable to the building in the CV Zoning District.
  - The equipment enclosure is not proposed to be expanded as part of the telecom facility approved by this Telecom Permit.
3. The project has been reviewed, and it has been determined that it qualifies for a Class 2 (Replacement or Reconstruction) categorical exemption pursuant to Title 14 of the California Code of Regulations (Section 15315, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act). The Class 2 exemption consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. The proposed project is intended as an upgrade to the existing telecom facility equipment. The new telecom facility will have substantially the same purpose as the previous facility.

## **CONDITIONS**

1. The development shall be in substantial conformance with the approved plot plan, antenna and equipment plans, elevations, and photographic visual simulations, except as noted in the following conditions.
2. Anything not specifically approved by this Telecom Permit is not permitted and must be addressed in a separate and subsequent Telecom Permit review.
3. This approval supersedes Telecom Permit No. TP2006-001 (PA2006-003) which upon vesting of the rights authorized by this application, shall become null and void following the issuance of building permits for the proposed project.
4. The telecom facility approved by this Telecom Permit shall comply with all applicable rules, regulations and standards of the Federal Communications Commission (FCC) and the California Public Utilities Commission (CPUC).
5. The applicant is required to obtain all applicable permits from the City Building Division and Fire Department. Prior to the issuance of any building, mechanical, and/or electrical permits, architectural drawings and structural design plans shall be submitted to the City of Newport Beach for review and approval by the applicable departments. A copy of this approval letter shall be incorporated into the drawings approved for the issuance of permits.

6. The telecom facility shall comply with all regulations and requirements of the California Building Code (CBC), California Fire Code, California Mechanical Code, and California Electrical Code. All required permits shall be obtained prior to commencement of the construction.
7. Any future facilities proposed by other carriers to be located within 1,000 feet from the subject property shall be approved to co-locate at the same site by the property owner or authorized agent, unless otherwise approved by the Planning Division.
8. The telecom facility approved by this Telecom Permit shall comply with any easements, covenants, conditions or restrictions on the underlying real property upon which the facility is located.
9. If any of the existing public improvements surround the site are damaged by the private work, new concrete sidewalk, curb and gutter, alley/street pavement, and other public improvements will be required by the city at the time of private construction completion. Said determination and the extent of the repair work shall be made at the time discretion of the Public Works Inspector.
10. The storage of all project related equipment during construction shall be on-site and outside of the public right-of-way.
11. An approved Encroachment Permit is required for all work activities within the public right-of-way.
12. All work in the public right-of-way shall follow the City's Municipal Code Chapter 13.20.
13. A total of 11 new antennas shall be installed in a manner and location consistent with the plans approved by this Telecom Permit. All antennas are to be screened from view behind the existing screen wall.
14. A total of two new equipment cabinets shall be installed within the existing rooftop equipment enclosure in a manner and location consistent with the plans approved by this Telecom Permit.
15. Expansion to the existing equipment enclosure is prohibited without first amending this Telecom Permit or applying for a new telecom permit.
16. Structural analysis of the existing structure(s), including review of the existing lateral and vertical load resisting systems shall be made available if requested for review with the submitted plans due to the relocated weight of the rooftop equipment within the enclosure.



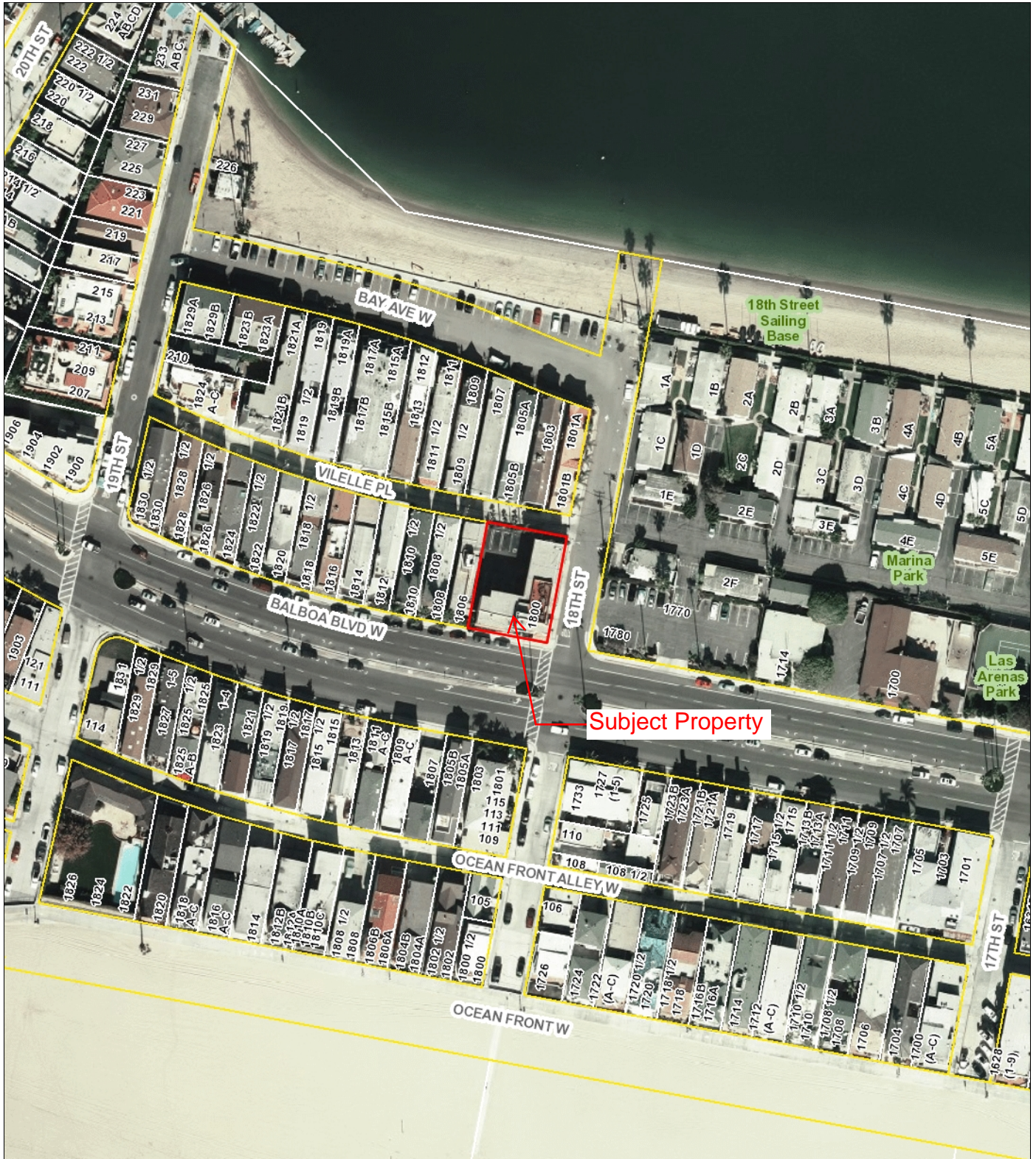
17. Applicant shall provide number of batteries per cabinet and electrolyte capacity per battery for review and approval with the submitted plans. Cabinets with batteries which exceed 50 gallons of electrolyte will be required to meet CFC Section 608.1.
18. The applicant shall not prevent the City of Newport Beach from having adequate spectrum capacity on the City's 800 MHz radio frequencies at any time.
19. The facility shall transmit at the approved frequency ranges established by the FCC. The applicant shall inform the City in writing of any proposed changes to the frequency range in order to prevent interference with the City's Public Safety radio equipment.
20. The applicant recognizes that the frequencies used by the cellular facility located at 1800 W. Balboa Boulevard are extremely close to the frequencies used by the City of Newport Beach for public safety. This proximity will require extraordinary "comprehensive advanced planning and frequency coordination" engineering measures to prevent interference, especially in the choice of frequencies and radio ancillary hardware. This is encouraged in the "Best Practices Guide" published by the Association of Public-safety Communications Officials-International, Inc. (APCO), and as endorsed by the Federal Communications Commission (FCC).
21. Should interference with the City's Public Safety radio equipment occur, use of the telecom facility authorized by this Telecom Permit shall be suspended until the radio frequency interference is corrected and verification of the compliance is reported.
22. Prior to the final inspection of building permits, a radio frequency (RF) compliance and radiation report prepared by a qualified RF engineer acceptable to the City shall be submitted in order to demonstrate that the facility is operating at the approved frequency and complies with FCC standards for radiation. If the report shows that the facility does not so comply, the use of the facility shall be suspended until the facility is modified to comply and a new report has been submitted confirming such compliance.
23. Prior to final inspection of building permits, the Planning Division shall conduct an on-site inspection to ensure materials and colors match existing architecture as approved and to the satisfaction of the Planning Division.
24. The applicant shall provide a "single point of contact" in its Engineering and Maintenance Departments that is monitored 24 hours per day to insure continuity on all interference issues, and to which interference problems may be reported. The name, telephone number, fax number and e-mail address of that person shall be provided to the Planning Division and Newport Beach Police Department's Support Services Commander prior to activation of the facility.

25. Appropriate information warning signs or plates shall be posted at the access locations and each transmitting antenna. In addition, contact information (e.g. a telephone number) shall be provided on the warning signs or plates to arrange for access to the roof top area. The location of the information warning signs or plates shall be depicted on the plans submitted for construction permits.
26. No advertising signage or identifying logos shall be displayed on the telecom facility except for small identification, address, warning and similar information plates. A detail of the information plates depicting the language on the plate shall be included in the plans submitted for issuance of building permits.
27. The telecom facility shall not be lighted except as deemed necessary by the Newport Beach Police Department for security lighting. The night lighting shall be at the lowest intensity necessary for that purpose and such lighting shall be shielded so that direct rays do not shine on nearby properties. Prior to the final of building permits, the applicant shall schedule an evening inspection by the Code Enforcement Division to confirm compliance with this condition.
28. The operator of the telecom facility shall maintain the facility in a manner consistent with the original approval of the facility.
29. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the applicant, current property owner or leasing agent.
30. The applicant shall ensure that lessee or other user(s) shall comply with the terms and conditions of this Telecom Permit, and shall be responsible for the failure of any lessee or other users under the control of the applicant to comply.
31. Any operator who intends to abandon or discontinue use of a telecom facility must notify the Planning Division by certified mail no less than 30 days prior to such action. The operator or property owner shall have 90 days from the date of abandonment or discontinuance to reactivate use of the facility, transfer the rights to use the facility to another operator, or remove the telecom facility and restore the site.
32. The City reserves the right and jurisdiction to review and modify any telecom permit approved pursuant to Chapter 20.49 of the Newport Beach Municipal Code, including the conditions of approval, based on changed circumstances. The operator shall notify the Planning Division of any proposal to change the height or size of the facility; increase the size, shape or number of antennas; change the facility's color or materials or location on the site; or increase the signal output above the maximum permissible exposure (MPE) limits imposed by the radio frequency emissions guidelines of the FCC. Any changed circumstance shall require the operator to apply for a modification of the original telecom permit and obtain the modified telecom permit prior to implementing any change.

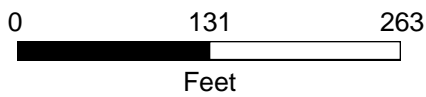
33. This Telecom Permit may be modified or revoked by the Community Development Director should they determine that the facility or operator has violated any law regulating the telecom facility or has failed to comply with the requirements of Chapter 15.70 of the NBMC, or this Telecom Permit.
34. This approval shall expire unless exercised within 24 months from the date of approval.
35. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Bay Shores Peninsula Hotel Telecom Facility including, but not limited to, the TP2013-004 (PA2013-039). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

# **Attachment No. CD 2**

Vicinity Map



Newport  
Beach  
GIS



Disclaimer: Every reasonable effort has been made to assure the accuracy of the data provided, however, The City of Newport Beach and its employees and agents disclaim any and all responsibility from or relating to any results obtained in its use.

Imagery: 2009-2012 photos provided by Eagle Imaging [www.eagleaerial.com](http://www.eagleaerial.com)

# **Attachment No. CD 3**

Photographic Simulations

# MAP



# VIEW 1a





# VIEW 1b - No visible change



VIEW 2a



# VIEW 2b

PROPOSED  
REPLACEMENT  
ANTENNA LOCATION

PROPOSED  
REPLACEMENT  
ANTENNA LOCATION



# VIEW a



# VIEW 3b

PROPOSED  
REPLACEMENT  
ANTENNA LOCATION

PROPOSED  
REPLACEMENT  
ANTENNA LOCATION



# VIEW 4a



# VIEW 4b

PROPOSED  
REPLACEMENT  
ANTENNA LOCATION

PROPOSED  
REPLACEMENT  
ANTENNA LOCATION



# VIEW 5





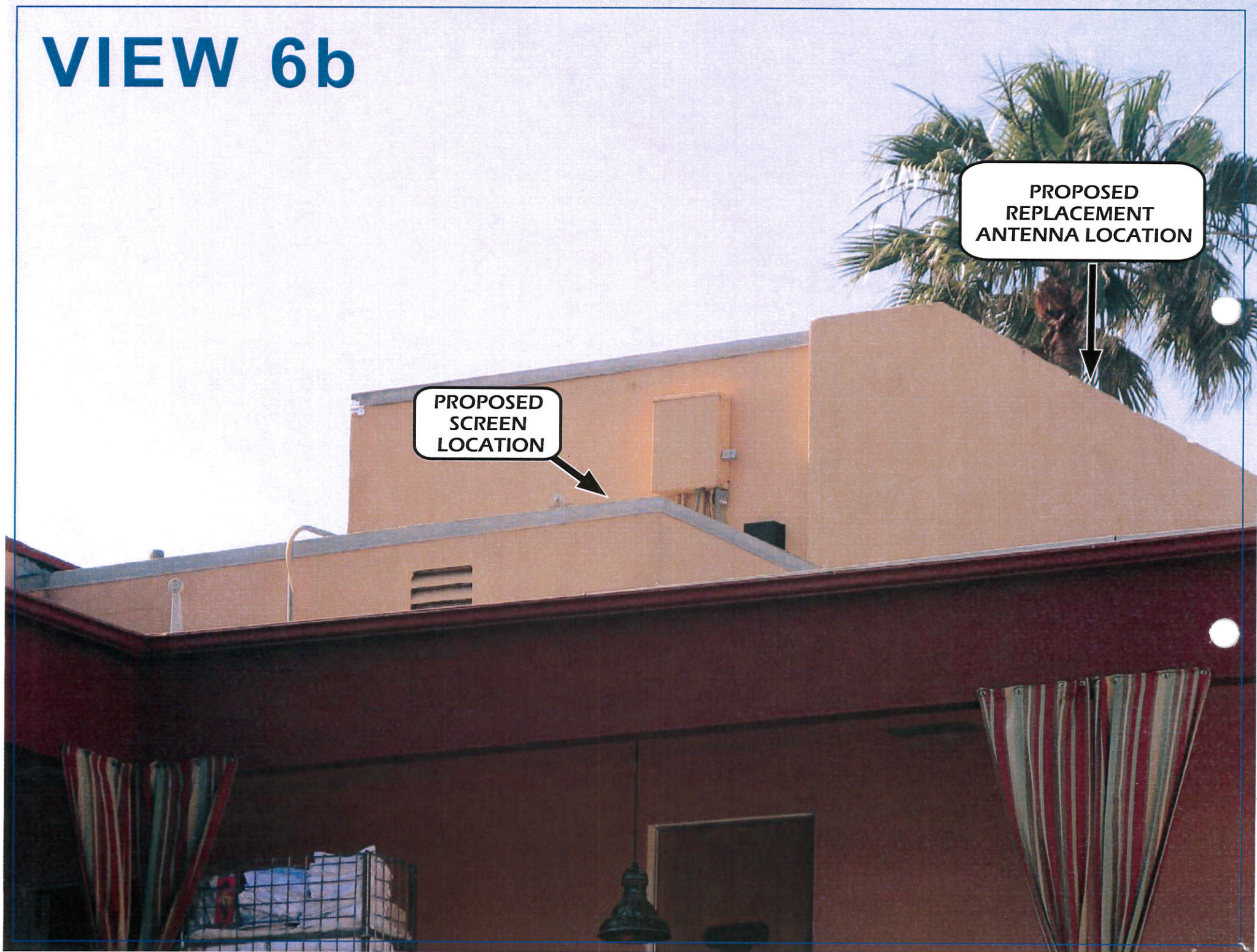
# VIEW 5b - no visible change



# VIEW 6a



# VIEW 6b



PROPOSED  
SCREEN  
LOCATION

PROPOSED  
REPLACEMENT  
ANTENNA  
LOCATION

# **Attachment No. CD 4**

Project Plans

© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rome and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.



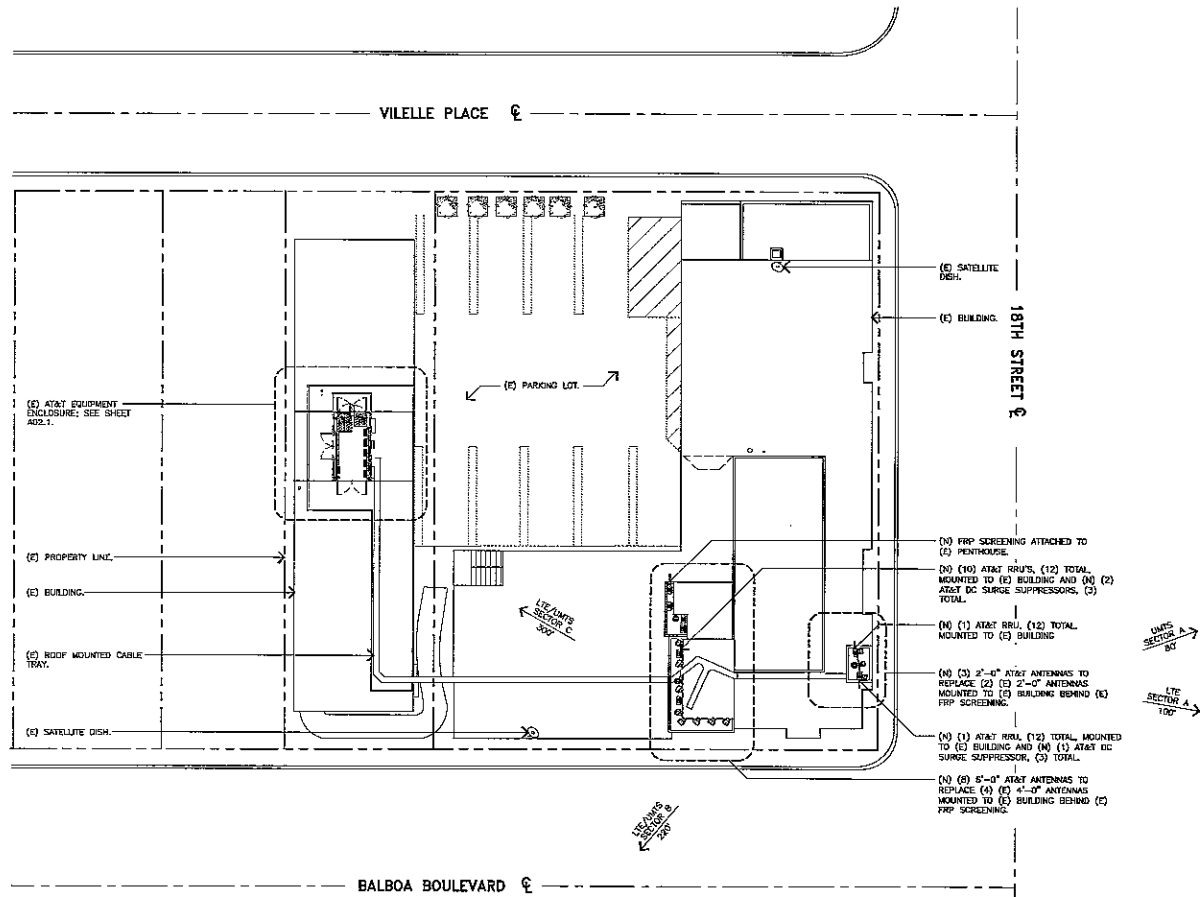
**LTE PROJECT**  
**SITE NUMBER: LA3090**  
**SITE NAME: BEST WESTERN BAYSHORES INN**

A/E DOCUMENT REVIEW STATUS	
Status Code	
1	Accepted -With minor or no comments, construction may proceed
2	Not Accepted -Please resolve comments and resubmit
Acceptance does not constitute approval of design details, calculations, analysis, test methods or materials developed or selected by the subcontractor and does not relieve subcontractor from full compliance obligations.	
Reviewed	ENG CONST
Status By	Date

DRAWING INDEX	REV	DIRECTIONS	PROJECT INFORMATION
LA-LA3090-T01	1	<b>DRIVING DIRECTIONS FROM AT&amp;T WIRELESS, CERRITOS</b>  FROM THE CERRITOS OFFICE, TAKE THE CA-81 EAST TO THE I-5 SOUTH TOWARD SANTA ANA, MERGE ONTO MERGE ONTO CA-55 SOUTH TOWARD NEWPORT BEACH. CA-55 BECOMES NEWPORT BOULEVARD, TURN SLIGHT LEFT ONTO WEST BALBOA BOULEVARD.	<b>SCOPE OF WORK:</b> AT&T WIRELESS PROPOSES TO MODIFY AN EXISTING UNMANNED TELECOMMUNICATIONS FACILITY. THE SCOPE WILL CONSIST OF THE FOLLOWING: • INSTALL (2) (N) AT&T EQUIPMENT CABINETS WITHIN (E) LEASE AREA. • REMOVE (6) (E) ANTENNAS. • REPLACE WITH (11) (N) ANTENNAS. • REMOVE (1) (E) 3106 UNITS CABINET. • INSTALL (12) (N) UNITS RRU'S WITHIN (E) LEASE AREA. • INSTALL (1) (N) GPS ANTENNA. • INSTALL (12) (N) LTE RRU'S LOCATED NEAR (N) ANTENNAS. • INSTALL (3) (N) DC SURGE SUPPRESSORS. • INSTALL (N) FIBER RUNS. • INSTALL (N) DC RUNS.
LA-LA3090-A01	1		
LA-LA3090-A02	1		<b>SITE ADDRESS:</b> 1800 WEST BALBOA BOULEVARD NEWPORT BEACH, CALIFORNIA 92660
LA-LA3090-A02.1	1		<b>PROPERTY OWNER:</b> FREDERIC J. PRATT
LA-LA3090-A03	1		<b>AGENT:</b> BECHTEL TELECOMMUNICATIONS 6131 ORANGETHORPE AVENUE, 5TH FLOOR BUENA PARK, CALIFORNIA 90620
LA-LA3090-A04	1		<b>APPLICANT:</b> AT&T WIRELESS 12900 PARK PLAZA DRIVE CERRITOS, CALIFORNIA 90703
LA-LA3090-A04.1	1		<b>LATITUDE:</b> 33° 36' 28.20" N <b>LONGITUDE:</b> 117° 55' 30.06" W <b>LAT/LONG TYPE:</b> NAD 83 <b>ELEVATION:</b> 7.64' AMSL <b>JURISDICTION:</b> CITY OF NEWPORT BEACH <b>A.P.N.:</b> 047-102-14 <b>CURRENT ZONING:</b> COMMERCIAL VISITOR-SERVING (CV) <b>PROPOSED USE:</b> TELECOMMUNICATION FACILITY
LA-LA3090-A05	1		<b>SITE ACQUISITION:</b> TRILLIUM 5812 BOLSA AVENUE, SUITE 202 HUNTINGTON BEACH, CALIFORNIA 92649
LA-LA3090-A06	1		
LA-LA3090-A06.1	1		
LA-LA3090-A06.2	1		
LA-LA3090-A07	1		
LA-LA3090-A07.1	1		
LA-LA3090-A07.2	1		
LA-LA3090-A08	1		
LA-LA3090-S01	1		
LA-LA3090-S02	1		
LA-LA3090-S03	1		
LA-LA3090-E01	1		
LA-LA3090-E02	1		
LA-LA3090-E03	1		
LA-LA3090-E04	1		
LA-LA3090-E05	1		

 12900 PARK PLAZA DRIVE CERRITOS, CALIFORNIA 90703	 <b>Jeffrey Rome</b>   ASSOCIATES architecture   telecommunications 131 Innovation Drive, Suite 100 Irvine, California 92617 tel 949.760.3929   fax 949.760.3921	<b>BEST WESTERN BAYSHORES INN</b> SITE NO. LA3090 USID: 24430 1800 WEST BALBOA BOULEVARD NEWPORT BEACH, CALIFORNIA 92660	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: 8px;">NO.</td> <td style="font-size: 8px;">DATE</td> <td style="font-size: 8px;">REVISIONS</td> <td style="font-size: 8px;">BY</td> <td style="font-size: 8px;">CHK</td> <td style="font-size: 8px;">PFC</td> </tr> <tr> <td style="font-size: 8px;">1</td> <td style="font-size: 8px;">03/21/14</td> <td style="font-size: 8px;">REVISED PER CITY COMMENTS</td> <td style="font-size: 8px;">MB</td> <td style="font-size: 8px;">RN</td> <td style="font-size: 8px;">JR</td> </tr> <tr> <td style="font-size: 8px;">0</td> <td style="font-size: 8px;">03/06/14</td> <td style="font-size: 8px;">ISSUED FOR DRN REVIEW</td> <td style="font-size: 8px;">MB</td> <td style="font-size: 8px;">RN</td> <td style="font-size: 8px;">JR</td> </tr> <tr> <td style="font-size: 8px;">B</td> <td style="font-size: 8px;">02/10/14</td> <td style="font-size: 8px;">ISSUED FOR DRN REVIEW</td> <td style="font-size: 8px;">MB</td> <td style="font-size: 8px;">RN</td> <td style="font-size: 8px;">JR</td> </tr> <tr> <td style="font-size: 8px;">A</td> <td style="font-size: 8px;">06/20/13</td> <td style="font-size: 8px;">ISSUED FOR DRN REVIEW</td> <td style="font-size: 8px;">MB</td> <td style="font-size: 8px;">RN</td> <td style="font-size: 8px;">JR</td> </tr> </table>	NO.	DATE	REVISIONS	BY	CHK	PFC	1	03/21/14	REVISED PER CITY COMMENTS	MB	RN	JR	0	03/06/14	ISSUED FOR DRN REVIEW	MB	RN	JR	B	02/10/14	ISSUED FOR DRN REVIEW	MB	RN	JR	A	06/20/13	ISSUED FOR DRN REVIEW	MB	RN	JR
NO.	DATE	REVISIONS	BY	CHK	PFC																												
1	03/21/14	REVISED PER CITY COMMENTS	MB	RN	JR																												
0	03/06/14	ISSUED FOR DRN REVIEW	MB	RN	JR																												
B	02/10/14	ISSUED FOR DRN REVIEW	MB	RN	JR																												
A	06/20/13	ISSUED FOR DRN REVIEW	MB	RN	JR																												
 <b>LTE PROJECT (OPTIMUM)</b> <b>TITLE SHEET</b>			25471-610-TE <b>LA-LA3090-T01</b>																														

© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rome and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.



**(N) ANTENNA AND EQUIPMENT ROOFTOP COVERAGE**

1. (E) ROOF AREA = 5587 S.F.
2. TOTAL (E) AND (N) ANTENNA AREA (SECTORS A, B, & C) = 109 S.F.
3. (E) EQUIPMENT AREA = 98 S.F.
4. AT&T EQUIPMENT AREA ROOF COVERAGE = 3.8%

**SITE PLAN**



12900 PARK PLAZA DRIVE  
CERRITOS, CALIFORNIA 90703



**Jeffrey Rome | ASSOCIATES**  
architecture | telecommunications  
131 Innovation Drive, Suite 100  
Irvine, California 92617  
tel 949.766.3929 | fax 949.766.3931

**BEST WESTERN BAYSHORES INN**  
SITE NO. LA3090  
USID: 24430  
1800 WEST BALBOA BOULEVARD  
NEWPORT BEACH, CALIFORNIA 92660

NO.	DATE	REVISIONS	DESIGNED	DRAWN
1	03/21/14	REVISED PER CITY COMMENTS	MH	RN
0	03/06/14	ISSUED FOR DRM REVIEW	MH	RN
B	02/10/14	ISSUED FOR DRM REVIEW	MH	RN
A	05/20/13	ISSUED FOR DRM REVIEW	MH	RN

SCALE: AS SHOWN



SCALE: 1"=10'

0 5' 10' 1

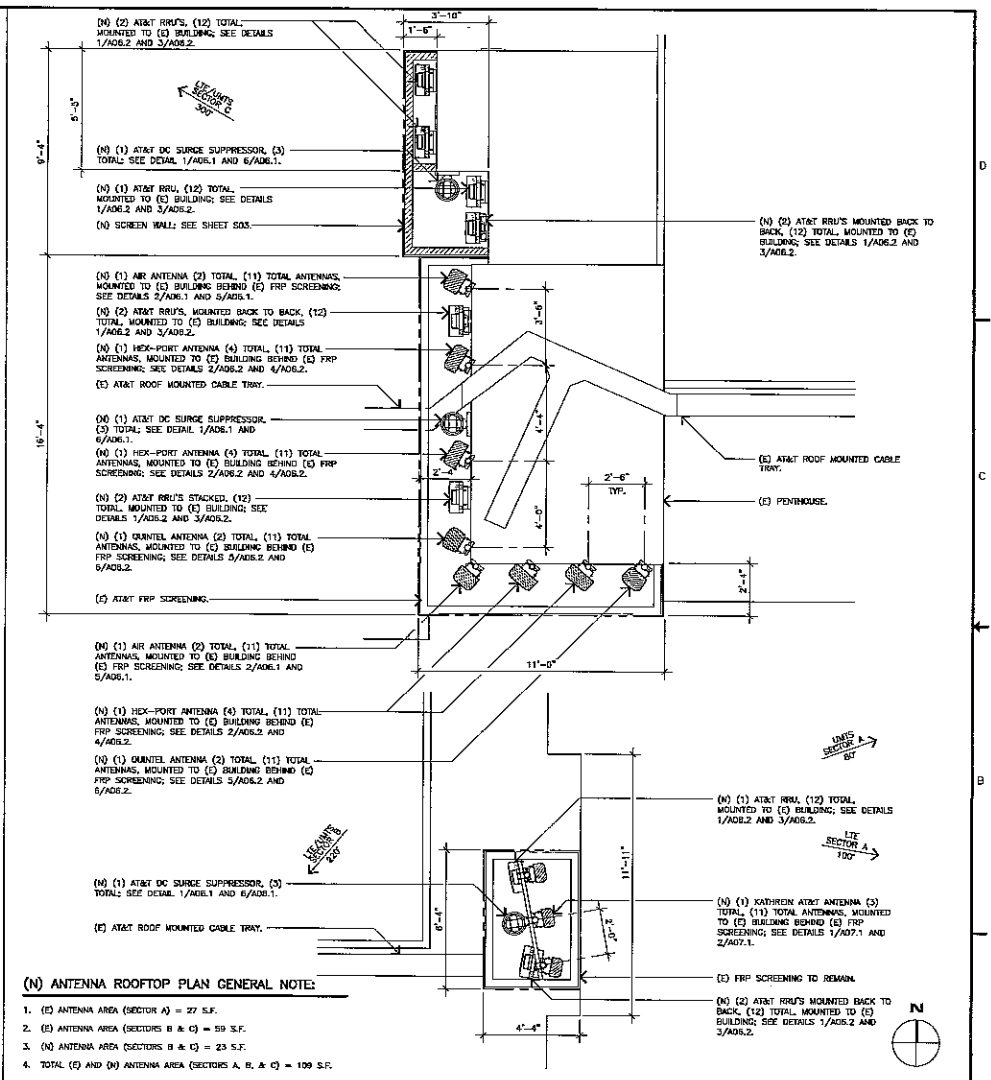
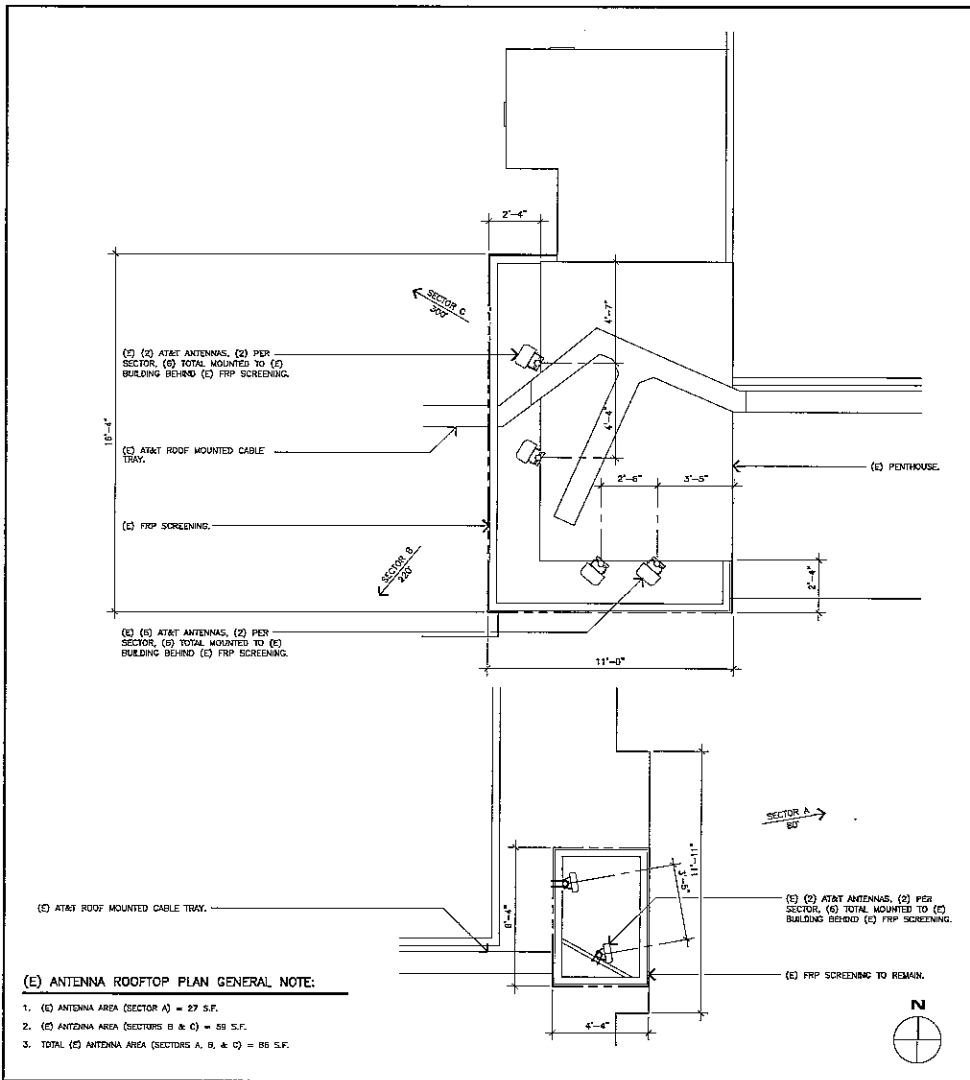
at&t  
Mobility

**LTE PROJECT (OPTIMUM)  
SITE PLAN**

DRAWING NUMBER: 25471-010-TE  
LA-LA3090-A01



© 2007 AT&T Mobility, Inc. This document and associated files, under an agreement with AT&T, No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.

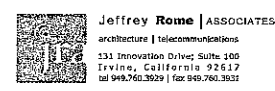


**(E) ANTENNA LAYOUT PLAN**

SCALE: 3/8"=1'-0"  
0 1' 2' 3'

**(N) ANTENNA LAYOUT PLAN**

SCALE: 1"=10'  
0 5' 10'



BEST WESTERN BAYSHORES INN  
SITE NO. LA3090  
USID: 24430  
1800 WEST BALBOA BOULEVARD  
NEWPORT BEACH, CALIFORNIA 92660

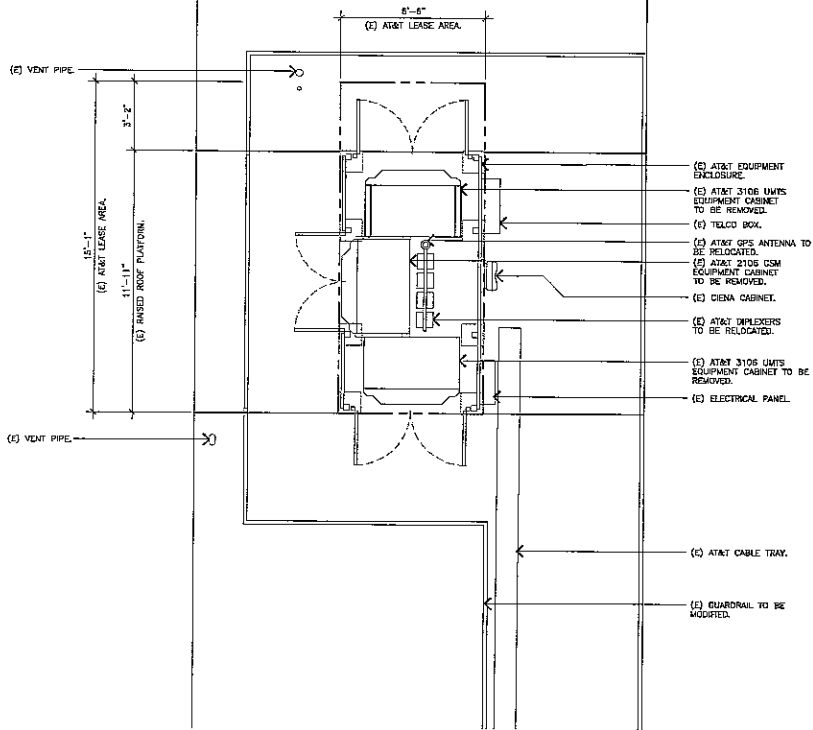
1	03/21/14	REVISED PER CITY COMMENTS	MB	FR	JR
0	03/08/14	ISSUED FOR DRAM REVIEW	MB	FR	JR
B	02/10/14	ISSUED FOR DRAM REVIEW	MB	FR	JR
A	03/20/13	ISSUED FOR DRAM REVIEW	MB	FR	JR
NO.	DATE	REVISIONS	BY	CHK	APP
SCALE: AS SHOWN			DESIGNED:	DRAWN:	



at&t  
LTE PROJECT (OPTIMUM)  
ANTENNA LAYOUT PLANS

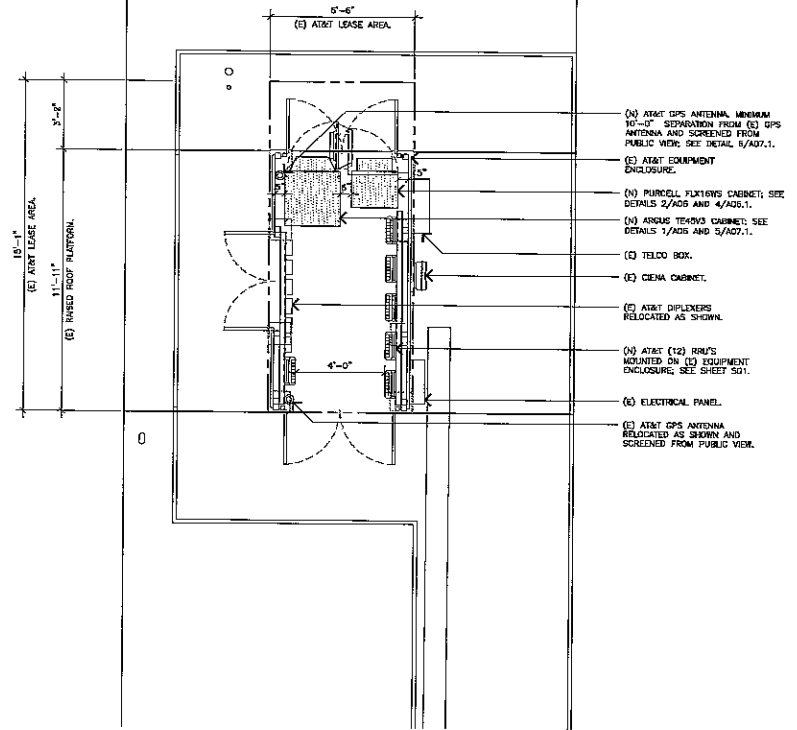
DRAWING NUMBER: LA-LA3090-A02  
REV: 1

© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rome and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.



**(E) EQUIPMENT ROOFTOP PLAN GENERAL NOTE:**

- (E) EQUIPMENT AREA = 98 S.F.
- (E) ANTENNA AREA = 79 S.F.
- TOTAL (E) ANTENNA AND EQUIPMENT LEASE AREA = 177 S.F.



**(N) EQUIPMENT ROOFTOP PLAN GENERAL NOTE:**

- (E) EQUIPMENT AREA = 98 S.F.
- (E) AND (N) ANTENNA AREA = 109 S.F.
- TOTAL (E) AND (N) ANTENNA AND EQUIPMENT LEASE AREA = 207 S.F.



**(E) EQUIPMENT ROOFTOP LAYOUT PLAN**

SCALE: 3/8"=1'-0"

0 1' 2' 3'

**2**

**(N) EQUIPMENT ROOFTOP LAYOUT PLAN**

SCALE: 3/8"=1'-0"

0 1' 2' 3'

**1**



12900 PARK PLAZA DRIVE  
CERRITOS, CALIFORNIA 90703

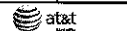
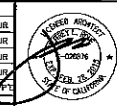


**Jeffrey Rome | ASSOCIATES**  
architecture | telecommunications  
131 Innovation Drive, Suite 100  
Irvine, California 92617  
tel 949.760.3929 | fax 949.760.3931

**BEST WESTERN BAYSHORES INN**  
SITE NO. LA3090  
USID: 24430  
1800 WEST BALBOA BOULEVARD  
NEWPORT BEACH, CALIFORNIA 92660

NO.	DATE	REVISIONS	BY	CHK	
1	03/21/14	REVISED PER CITY COMMENTS	MB	RN	JRL
0	03/06/14	ISSUED FOR DRM REVIEW	ME	RN	JRL
B	02/16/14	ISSUED FOR DRM REVIEW	ME	RN	JRL
A	05/20/13	ISSUED FOR DRM REVIEW	ME	RN	JRL

SCALE: AS SHOWN    DESIGNED:    DRAWN:

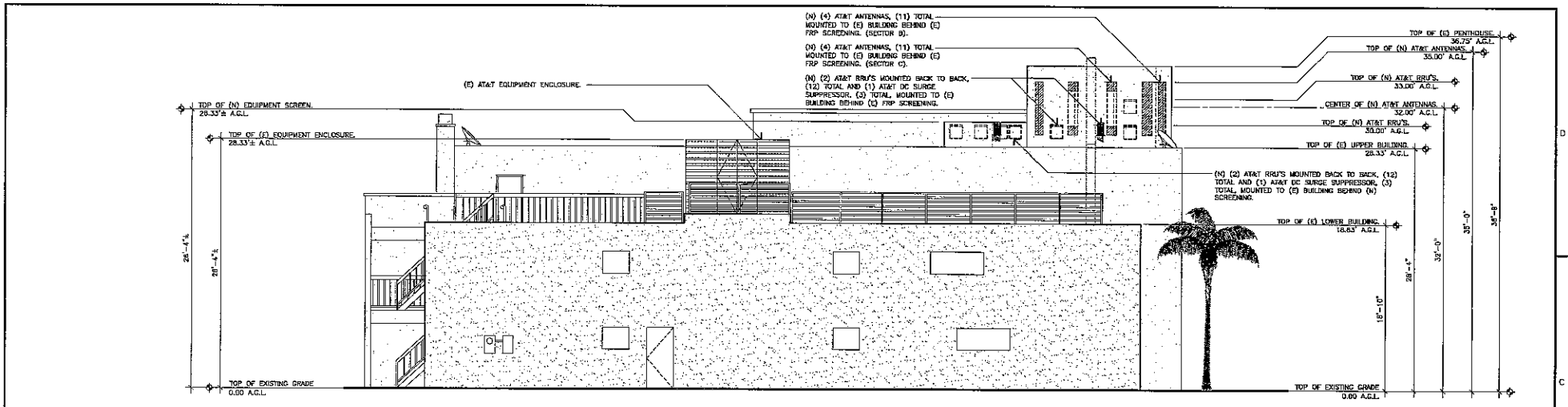


**LTE PROJECT (OPTIMUM)**  
**EQUIPMENT LAYOUT PLANS**

25471-610-TE    DRAWING NUMBER    LA-LA3090-A02.1

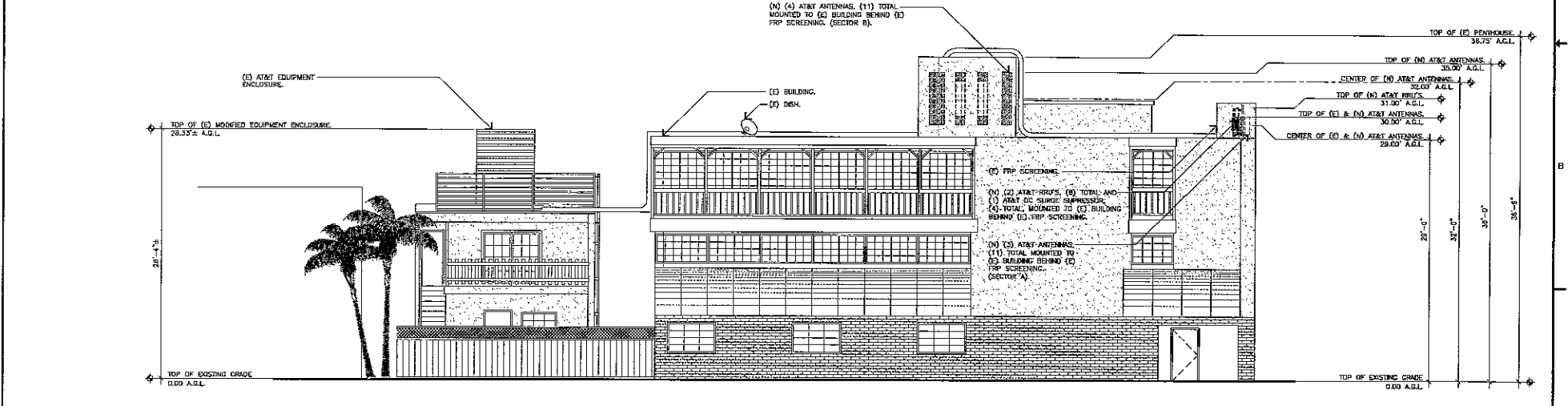


© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rome and Associates, Inc. under an agreement with AT&T. Its part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.



(N) WEST ELEVATION

SCALE: 3/16"=1'-0" 0 3' 6'



(N) SOUTH ELEVATION

SCALE: 3/16"=1'-0" 0 3' 6'



12900 PARK PLAZA DRIVE  
CERRITOS, CALIFORNIA 90703



Jeffrey Rome | ASSOCIATES  
architecture | telecommunications  
131 Innovation Drive, Suite 100  
Irving, California 92617  
tel 949.765.2029 | fax 949.765.2931

BEST WESTERN BAYSHORES INN  
SITE NO. LA3080  
USID: 24430  
1800 WEST BALBOA BOULEVARD  
NEWPORT BEACH, CALIFORNIA 92660

1	03/21/14	REVISED PER CITY COMMENTS	MB	RN	JR
D	03/06/14	ISSUED FOR DRN REVIEW	MB	RN	JR
B	02/19/14	ISSUED FOR DRN REVIEW	MB	RN	JR
A	05/20/13	ISSUED FOR DRN REVIEW	MB	RN	JR
NO	DATE	REVISIONS	BY	CHK	APP

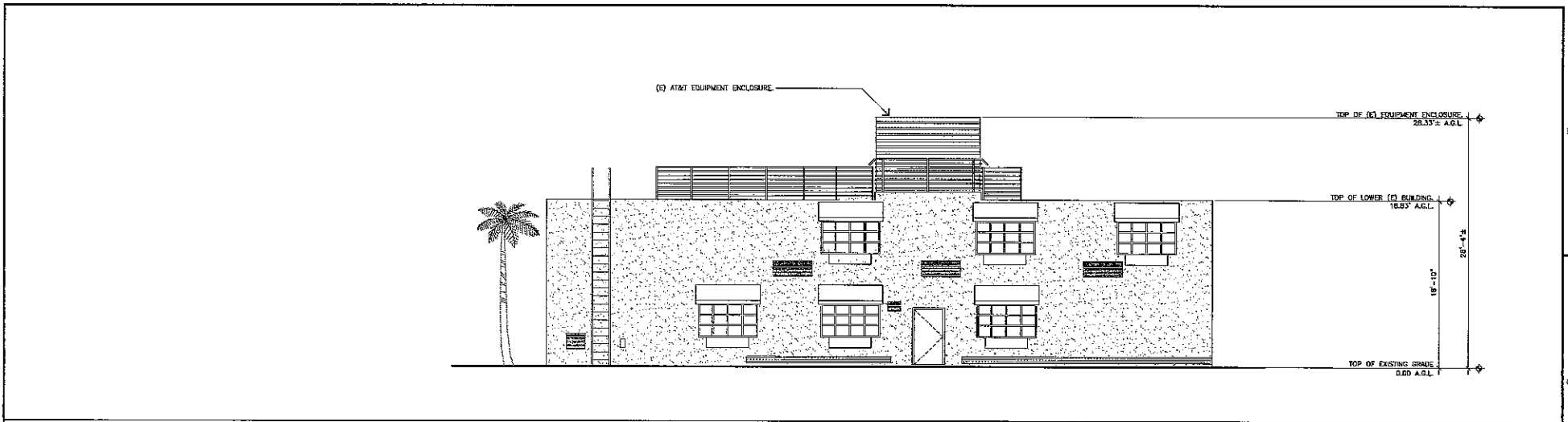


LTE PROJECT (OPTIMUM)  
(N) SOUTH AND (N) WEST ELEVATIONS

DRAWING NUMBER: 25471-610-TE  
PROJECT NUMBER: LA-LA3080-AD3

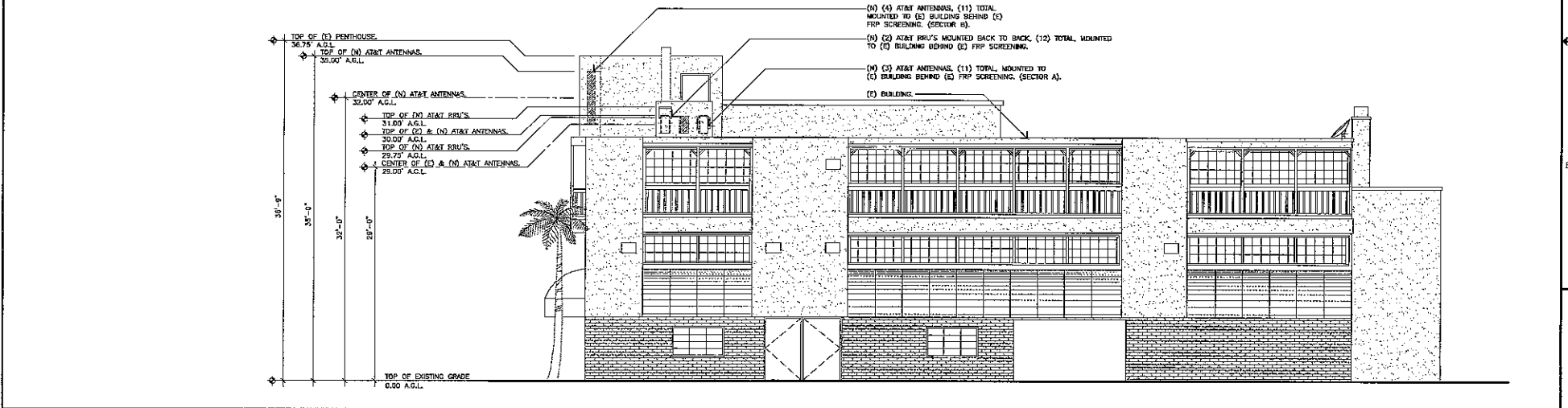
SCALE: AS SHOWN | DESIGNED: | DRAWN: | REV: 1

© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rome and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.



**(N) EAST ELEVATION (ALONG COURTYARD)**

SCALE: 3/16"=1'-0"  
 2



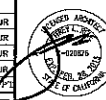
**(N) EAST ELEVATION**

SCALE: 3/16"=1'-0"  
 1



BEST WESTERN BAYSHORES INN  
 SITE NO. LA3090  
 USID: 24430  
 1800 WEST BALBOA BOULEVARD  
 NEWPORT BEACH, CALIFORNIA 92660

NO.	DATE	REVISIONS	BY	CHK	APP
1	03/21/14	REVISED PER CITY COMMENTS	MB	RN	JR
D	03/05/14	ISSUED FOR DRM REVIEW	MB	RN	JR
B	02/18/14	ISSUED FOR DRM REVIEW	MB	RN	JR
A	05/20/13	ISSUED FOR DRM REVIEW	MB	RN	JR



25471-010-TE DRAWING NUMBER  
 LA-LA3090-A04

6

5

4

3

2

1

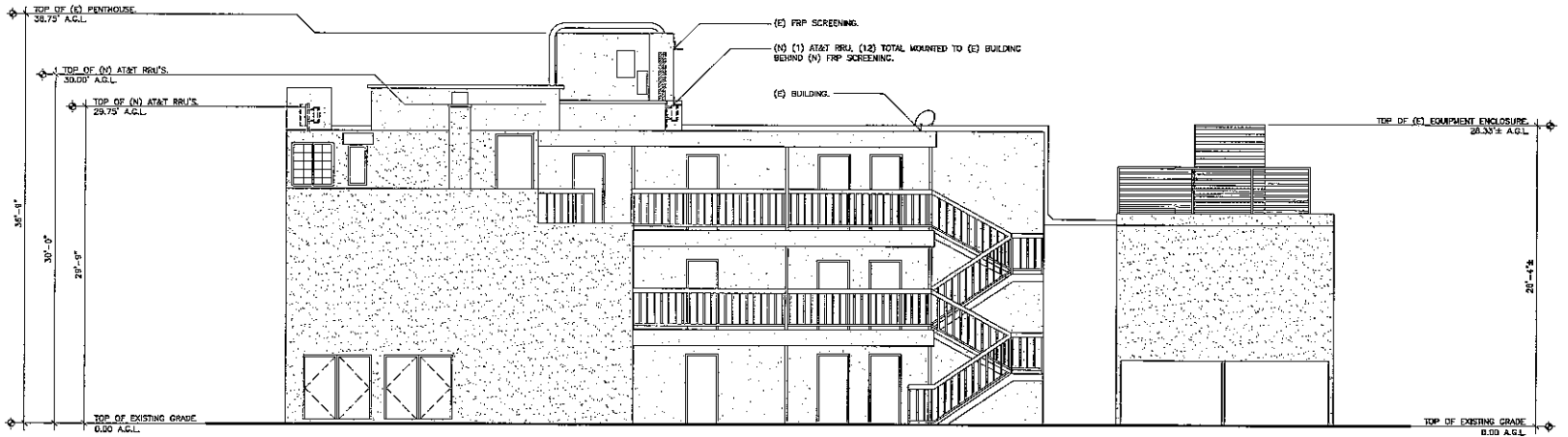
REV

1

© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rome and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.

NOT USED

SCALE: NONE 2



(N) NORTH ELEVATION

SCALE: 3/16"=1'-0" 1



12900 PARK PLAZA DRIVE  
CERRITOS, CALIFORNIA 90703

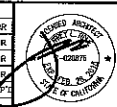


**Jeffrey Rome** | ASSOCIATES  
architecture | telecommunications  
131 Innovation Drive, Suite 100  
Irvine, California 92617  
tel 949.760.2929 | fax 949.760.3921

**BEST WESTERN BAYSHORES INN**  
SITE NO. LA3090  
USID: 24430  
1800 WEST BALBOA BOULEVARD  
NEWPORT BEACH, CALIFORNIA 92650

NO.	DATE	REVISIONS	BY	CHK
1	03/21/14	REVISED PER CITY COMMENTS	MB	RN
D	03/08/14	ISSUED FOR DRM REVIEW	MB	RN
B	02/10/14	ISSUED FOR DRM REVIEW	MB	RN
A	09/20/13	ISSUED FOR DRM REVIEW	MB	RN

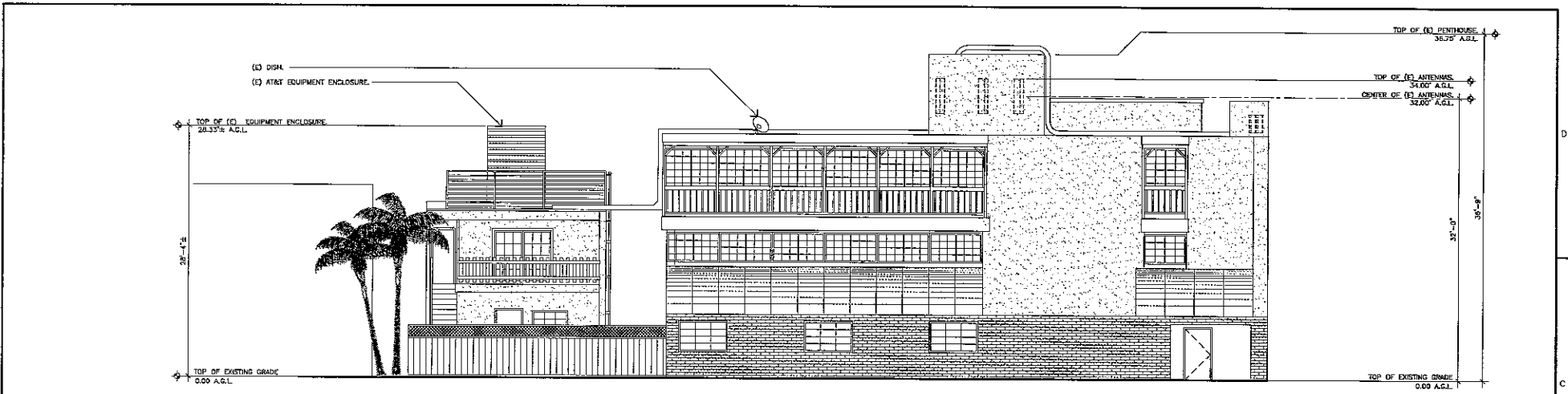
MB	RN	JR
MB	RN	JR
MB	RN	JR
MB	RN	JR
BY	CHK	APP



**LTE PROJECT (OPTIMUM)**  
**(N) NORTH ELEVATION**

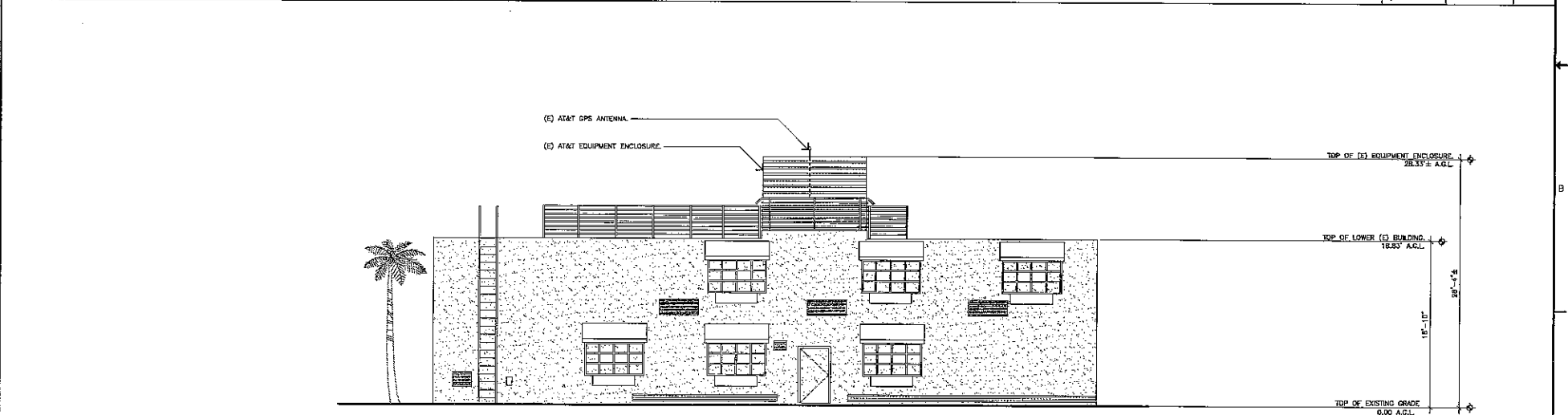
25471-610-TE LA-LA3090-A04.1 1

© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rome and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.



(E) SOUTH ELEVATION

SCALE: 3/16"=1'-0" 0 3' 6" 1



(E) EAST ELEVATION (ALONG COURTYARD)

SCALE: 3/16"=1'-0" 0 3' 6" 1



**BEST WESTERN BAYSHORES INN**  
 SITE NO. LA3090  
 USID: 24430  
 1800 WEST BALBOA BOULEVARD  
 NEWPORT BEACH, CALIFORNIA 92660

NO.	DATE	REVISIONS	BY	CHK
1	03/21/14	REVISED PER CITY COMMENTS	MB	JR
0	03/06/14	ISSUED FOR DRM REVIEW	MB	JR
8	02/19/14	ISSUED FOR DRM REVIEW	MB	JR
A	05/20/13	ISSUED FOR DRM REVIEW	MB	JR

SCALE: AS SHOWN    DESIGNED:    DRAWN:



at&t  
 LTE PROJECT (OPTIMUM)  
 (E) EAST ELEVATION AND (E) SOUTH ELEVATION  
 DRAWING NUMBER: LA-LA3090-AD5  
 25471-610-TE

6

5

4

↑

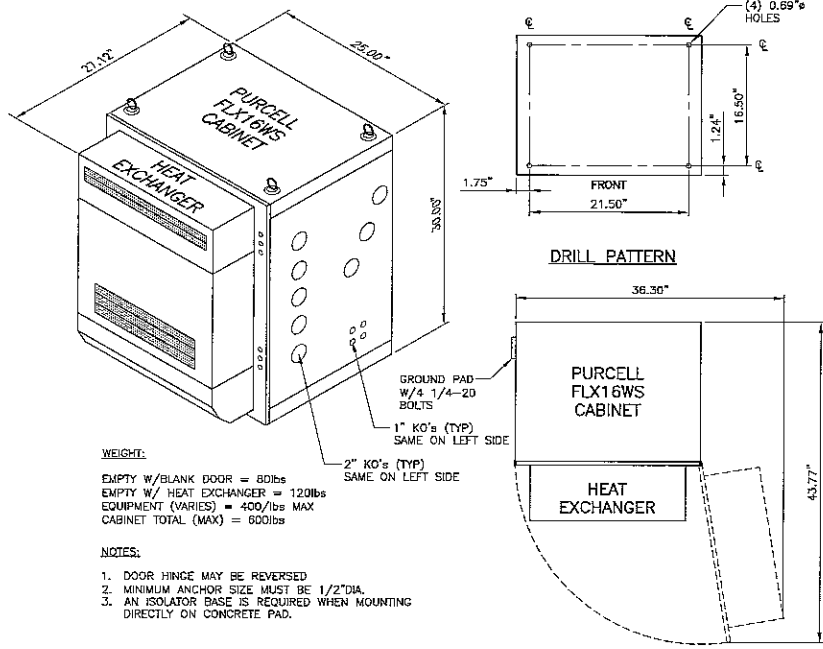
3

2

1

1

© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rome and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.



**WEIGHT:**  
 EMPTY W/BLANK DOOR = 80lbs  
 EMPTY W/ HEAT EXCHANGER = 120lbs  
 EQUIPMENT (VARIES) = 400/lbs MAX  
 CABINET TOTAL (MAX) = 600lbs

- NOTES:**
1. DOOR HINGE MAY BE REVERSED
  2. MINIMUM ANCHOR SIZE MUST BE 1/2\"/>

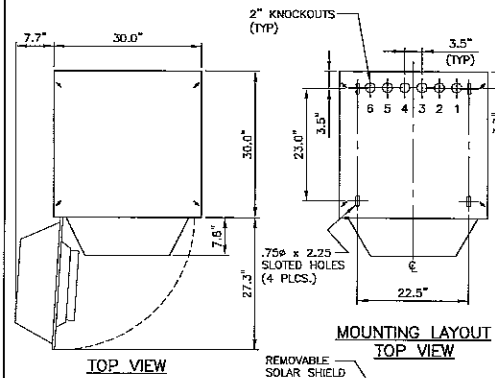
PURCELL FLX16WS CABINET

DETAIL 1117  
 NTS

CLEARANCES	
1. FRONT	36"
2. REAR	36"
3. LEFT	0"
4. RIGHT	0"

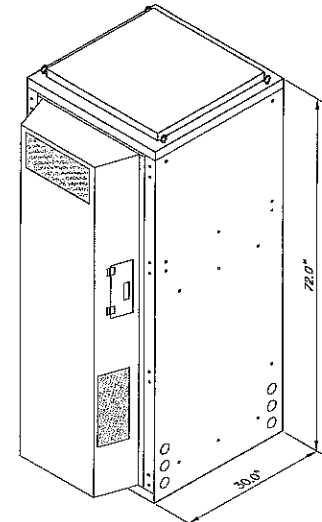
CONDUIT KNOCKOUTS	
1. AC POWER	4. DC POWER
2. DC POWER	5. DC POWER
3. DC POWER	6. ALARM

CABINET WEIGHT = 690lbs (WITHOUT BATTERIES AND RECTIFIERS)  
 2300lbs (WITH ULTRA BATTERIES AND RECTIFIERS)  
 1800lbs (WITH Ni-Cod BATTERIES AND RECTIFIERS)

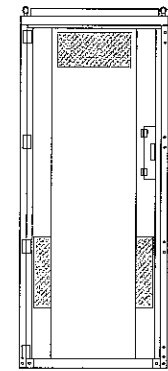


TOP VIEW

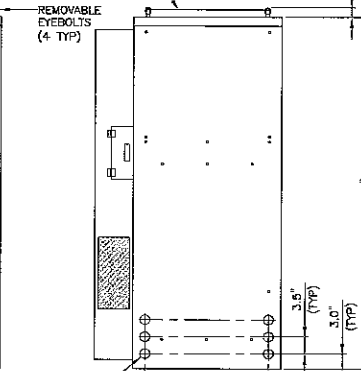
MOUNTING LAYOUT  
 TOP VIEW



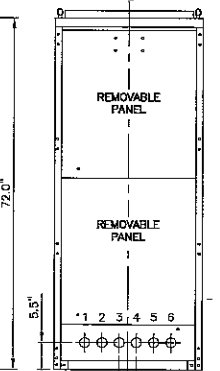
ISOMETRIC VIEW



FRONT VIEW



RIGHT SIDE VIEW



REAR VIEW

ALPHA Te45V3 DC POWER ENCLOSURE

DETAIL 1125A  
 NTS

- NOTE:**
1. SEE DETAIL 4/A57.1 FOR MORE INFORMATION.

PURCELL FLX16WS CABINET (1117)

SCALE: NONE 2

ARGUS TE45V3 CABINET (1125A)

SCALE: NONE 1



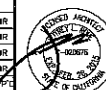
12900 PARK PLAZA DRIVE  
 CERRITOS, CALIFORNIA 90703



Jeffrey Rome | ASSOCIATES  
 Architecture | Telecommunications  
 131 Innovation Drive, Suite 100  
 Irvine, California 92617  
 tel 949.765.3929 | fax 949.760.3931

BEST WESTERN BAYSHORES INN  
 SITE NO. LA3080  
 USID: 24430  
 1800 WEST BALBOA BOULEVARD  
 NEWPORT BEACH, CALIFORNIA 92660

NO.	DATE	REVISIONS	BY	CHK	APP
1	03/21/14	REVISED PER CITY COMMENTS	MB	RN	JRS
2	03/06/14	ISSUED FOR DRN REVIEW	MB	RN	JRS
3	02/19/14	ISSUED FOR DRN REVIEW	MB	RN	JRS
4	05/20/13	ISSUED FOR DRN REVIEW	MB	RN	JRS



LTE PROJECT (OPTIMUM)  
 EQUIPMENT DETAILS

DRAWING NUMBER

25471-810-TE LA-EL0091-A06

SCALE: AS SHOWN DESIGNED: DRAWN: 2

6

5

4

↑

3

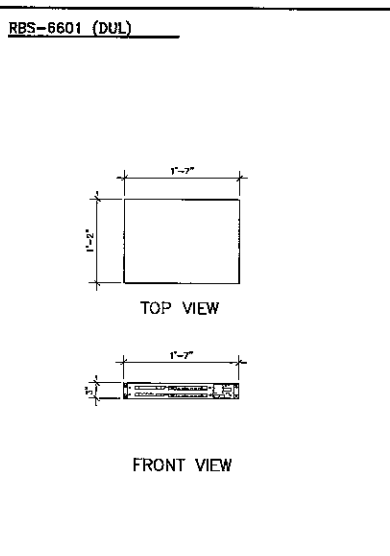
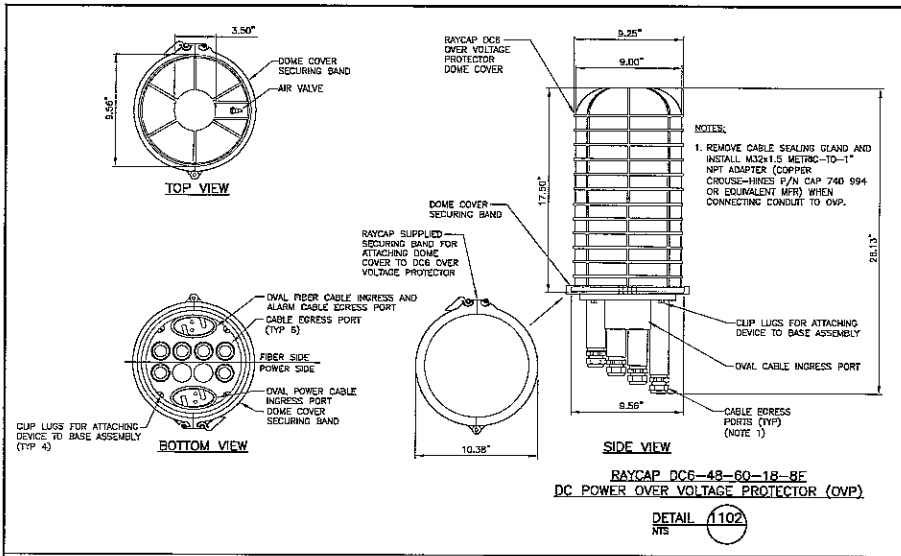
2

1

REV

1

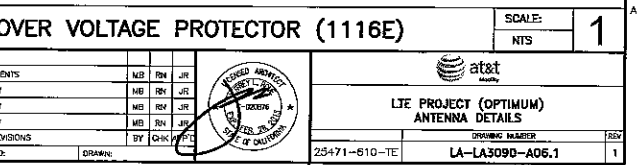
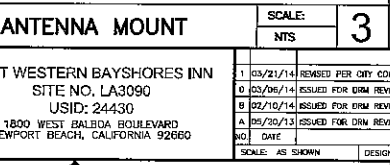
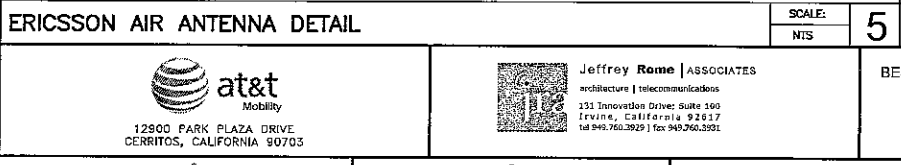
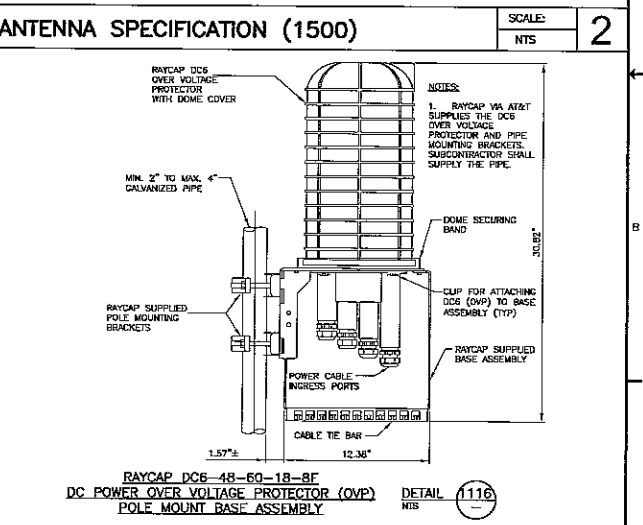
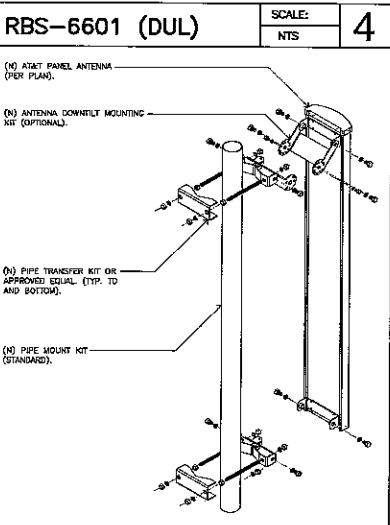
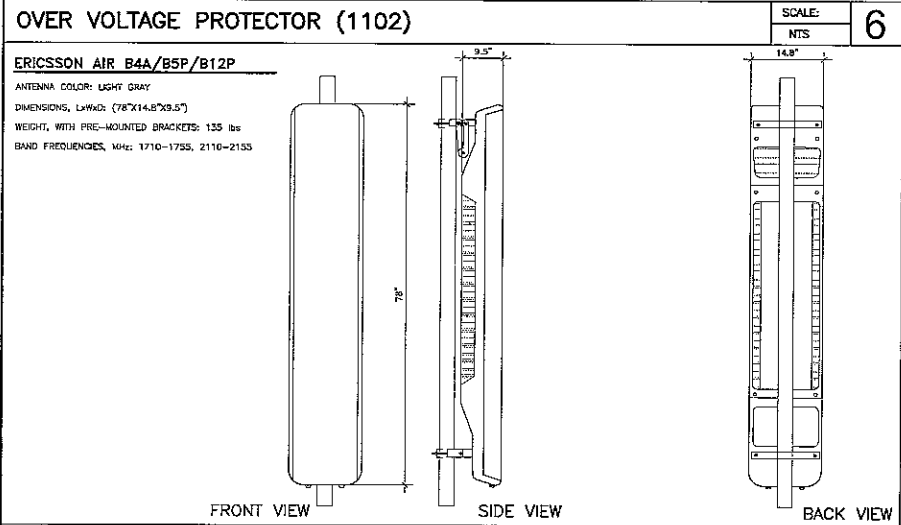
© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rome and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.



**LTE/UMTS/CSM DUAL BAND DUAL POLARIZATION ANTENNA (TYP)**

DETAIL 1500 NTS

MANUFACTURER	MODEL	BAND	FREQ/CHANNELS	USE	POLARIZATION	SET	L IN	W IN	D IN	WEIGHT LB
ANDREW	BERKIN-EMSA-R2M	DUAL	690-699	1710-2150	DUAL	INSTALLED	50.8	11.9	7.1	34.2
ANDREW	BERKIN-EMSA-R2M	DUAL	690-699	1710-2150	DUAL	INSTALLED	73.7	11.9	7.1	48.3
ANDREW	BERKIN-EMSA-R2M	DUAL	690-699	1710-2150	DUAL	INSTALLED	51.1	11.9	7.1	32.0
ANDREW	BERKIN-EMSA-R2M	DUAL	690-699	1710-2150	DUAL	INSTALLED	72.8	11.9	7.1	46.2
ANDREW	12014-12015K	DUAL	690-699	1710-2150	DUAL	INSTALLED	60.91	11.69	7.1	34.39
ANDREW	12014-12015K	DUAL	690-699	1710-2150	DUAL	INSTALLED	79.7	11.9	7.1	47.4
ANDREW	12014-12015K	DUAL	690-699	1710-2150	DUAL	INSTALLED	86.4	11.9	7.1	55.1
KATHREIN	800-10763 K	DUAL	690-699	1710-2170	DUAL	INSTALLED	75.3	11.8	6.0	51.0
KATHREIN	800-10721 K	DUAL	690-699	1710-2170	DUAL	INSTALLED	54.9	11.8	6.0	45.2
KATHREIN	800-10764 K	DUAL	690-699	1710-2170	DUAL	INSTALLED	65.2	11.8	6.0	40.8
KATHREIN	800-10722 K	DUAL	690-699	1710-2170	DUAL	INSTALLED	72.5	11.8	6.0	57.2
KATHREIN	800-10765 K	DUAL	690-699	1710-2170	DUAL	INSTALLED	86.0	11.8	6.0	61.7
KATHREIN	800-10723 K	DUAL	690-699	1710-2170	DUAL	INSTALLED	63.2	11.8	6.0	69.3
POWERTRAVE	PT5-16-XLI-RR	DUAL	690-699	1710-2170	DUAL	INSTALLED	51.0	12.0	6.0	30.0
POWERTRAVE	PT5-16-XLI-RR	DUAL	690-699	1710-2170	DUAL	INSTALLED	72.0	12.0	6.0	53.0
POWERTRAVE	PT5-17-XXI-RR	DUAL	690-699	1710-2170	DUAL	INSTALLED	85.0	12.0	6.0	59.0
POWERTRAVE	PT5-14-XXI-RR	DUAL	690-699	1710-2170	DUAL	INSTALLED	60.0	12.0	6.0	33.0
ERISSON	4' AIR B4A/B5P/B12P	DUAL	1710-1755, 2110-2155	DUAL	DUAL	INSTALLED	78	14.5	8.5	129
ERISSON	3' AIR B4A/B5P/B12P	DUAL	1710-1755, 2110-2155	DUAL	DUAL	INSTALLED	92	13.2	8.5	129



<p>12900 PARK PLAZA DRIVE CERRITOS, CALIFORNIA 90703</p>	<p>Jeffrey Rome   ASSOCIATES architecture   telecommunication 131 Innovation Drive, Suite 160 Irvine, California 92617 tel 949.760.3929   fax 949.760.3921</p>	<p>BEST WESTERN BAYSHORES INN SITE NO. LA3090 USID: 24430 1800 WEST BALBOA BOULEVARD NEWPORT BEACH, CALIFORNIA 92660</p>	<p>1 03/21/14 REVISED PER CITY COMMENTS MB RM JR</p> <p>0 03/06/14 ISSUED FOR DRAM REVIEW MB RM JS</p> <p>8 02/10/14 ISSUED FOR DRAM REVIEW MB RM JR</p> <p>A 05/20/13 ISSUED FOR DRAM REVIEW MB RM JR</p> <p>NO. DATE REVISIONS BY (CHK) (PRT)</p>	<p>25471-810-TE</p>	<p>at&amp;t</p> <p>LTE PROJECT (OPTIMUM) ANTENNA DETAILS</p> <p>DRAWING NUMBER: LA-LA3090-A06.1</p>
			<p>SCALE: AS SHOWN DESIGNED: DRAWN: 2</p>		

© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rome and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.

LTE/UMTS/GSM DUAL BAND  
DUAL POLARIZATION ANTENNA (TYP)

MANUFACTURER	MODEL	BAND	FREQUENCIES, MHz	POLARIZATION	SET	L, IN	W, IN	H, IN	WEIGHT, LB
ANDREW	0200H-0200A-R2M	DUAL	600-800 1710-2130	DUAL	INSTALLED	39.8	11.9	7.1	24.2
ANDREW	0200H-0200B-R2M	DUAL	600-800 1710-2130	DUAL	INSTALLED	72.7	11.9	7.1	46.3
ANDREW	0200H-0200C-R2M	DUAL	600-800 1710-2130	DUAL	INSTALLED	51.1	11.9	7.1	32.0
ANDREW	0200H-0200D-R2M	DUAL	600-800 1710-2130	DUAL	INSTALLED	72.8	11.9	7.1	46.2
ANDREW	0200H-0200E-R2M	DUAL	600-800 1710-2130	DUAL	INSTALLED	50.91	11.85	7.1	33.26
ANDREW	0200H-0200F-R2M	DUAL	600-800 1710-2130	DUAL	INSTALLED	72.7	11.9	7.1	47.4
ANDREW	0200H-0200G-R2M	DUAL	600-800 1710-2130	DUAL	INSTALLED	66.4	11.9	7.1	41.1
KATHREIN	800-10783-K	DUAL	600-800 1710-2130	DUAL	INSTALLED	75.5	11.5	8.0	51.8
KATHREIN	800-10781-K	DUAL	600-800 1710-2130	DUAL	INSTALLED	54.8	11.8	8.0	43.2
KATHREIN	800-10784-K	DUAL	600-800 1710-2130	DUAL	INSTALLED	59.2	11.9	8.0	40.8
KATHREIN	800-10782-K	DUAL	600-800 1710-2130	DUAL	INSTALLED	72.0	11.8	8.0	52.2
KATHREIN	800-10786-K	DUAL	600-800 1710-2130	DUAL	INSTALLED	56.9	11.8	8.0	41.2
KATHREIN	800-10787-K	DUAL	600-800 1710-2130	DUAL	INSTALLED	52.2	11.8	8.0	39.2
KATHREIN	800-10785-K	DUAL	600-800 1710-2130	DUAL	INSTALLED	72.5	12.0	8.0	52.0
QUINTEL	QS6658-3	DUAL	600-800 1710-2130	DUAL	INSTALLED	84.6	12.4	9.1	116.0
QUINTEL	QS6658-1	DUAL	600-800 1710-2130	DUAL	INSTALLED	85.8	16.5	11.2	171.6
ERICSSON	RRC-118-055/1	DUAL	1710-1755 2110-2155	DUAL	INSTALLED	48.0	14.8	7.4	34
CCI	HPA-65R-BUJ-H6-K	DUAL	600-800 1710-2130	DUAL	INSTALLED	72.0	14.8	9.0	51
CCI	HPA-65R-BUJ-H6-K	DUAL	600-800 1710-2130	DUAL	INSTALLED	92.4	14.8	7.4	68

LTE/UMTS/GSM DUAL BAND  
DUAL POLARIZATION ANTENNA (TYP)

MANUFACTURER	MODEL	BAND	FREQUENCIES, MHz	POLARIZATION	SET	L, IN	W, IN	H, IN	WEIGHT, LB
ANDREW	0200H-0200A-R2M	DUAL	600-800 1710-2130	DUAL	INSTALLED	50.8	11.8	7.1	34.2
ANDREW	0200H-0200B-R2M	DUAL	600-800 1710-2130	DUAL	INSTALLED	72.7	11.8	7.1	46.3
ANDREW	0200H-0200C-R2M	DUAL	600-800 1710-2130	DUAL	INSTALLED	51.1	11.8	7.1	32.0
ANDREW	0200H-0200D-R2M	DUAL	600-800 1710-2130	DUAL	INSTALLED	72.8	11.8	7.1	46.2
ANDREW	0200H-0200E-R2M	DUAL	600-800 1710-2130	DUAL	INSTALLED	50.81	11.85	7.1	33.26
ANDREW	0200H-0200F-R2M	DUAL	600-800 1710-2130	DUAL	INSTALLED	72.7	11.9	7.1	47.4
ANDREW	0200H-0200G-R2M	DUAL	600-800 1710-2130	DUAL	INSTALLED	66.4	11.9	7.1	41.1
KATHREIN	800-10783-K	DUAL	600-800 1710-2130	DUAL	INSTALLED	75.5	11.8	8.0	51.8
KATHREIN	800-10781-K	DUAL	600-800 1710-2130	DUAL	INSTALLED	54.8	11.8	8.0	43.2
KATHREIN	800-10784-K	DUAL	600-800 1710-2130	DUAL	INSTALLED	59.2	11.8	8.0	40.8
KATHREIN	800-10782-K	DUAL	600-800 1710-2130	DUAL	INSTALLED	72.0	11.8	8.0	52.2
KATHREIN	800-10786-K	DUAL	600-800 1710-2130	DUAL	INSTALLED	56.9	11.8	8.0	41.2
KATHREIN	800-10787-K	DUAL	600-800 1710-2130	DUAL	INSTALLED	52.2	11.8	8.0	39.2
KATHREIN	800-10785-K	DUAL	600-800 1710-2130	DUAL	INSTALLED	72.5	12.0	8.0	52.0
QUINTEL	QS6658-3	DUAL	600-800 1710-2130	DUAL	INSTALLED	84.6	12.4	9.1	116.0
QUINTEL	QS6658-1	DUAL	600-800 1710-2130	DUAL	INSTALLED	85.8	16.5	11.2	171.6
ERICSSON	RRC-118-055/1	DUAL	1710-1755 2110-2155	DUAL	INSTALLED	48.0	14.8	7.4	34
CCI	HPA-65R-BUJ-H6-K	DUAL	600-800 1710-2130	DUAL	INSTALLED	72.0	14.8	9.0	51
CCI	HPA-65R-BUJ-H6-K	DUAL	600-800 1710-2130	DUAL	INSTALLED	92.4	14.8	7.4	68

**CCI HPA-65R-BUJ-H6-K**

ANTENNA COLOR: LIGHT GRAY  
 DIMENSIONS, LxWxD: (72"x14.8"x9.0")  
 WEIGHT, WITHOUT PRE-MOUNTED BRACKETS: 51 lbs  
 BAND FREQUENCIES, MHz: 600-800, 1750-2130

**ANTENNA SPECIFICATION (1500)**

SCALE: 6 NTS

**QUINTEL- QS6658-3**

ANTENNA COLOR: LIGHT GRAY  
 DIMENSIONS, LxWxD: (72.5"x12.0"x9.0")  
 WEIGHT, WITHOUT PRE-MOUNTED BRACKETS: 77 lbs  
 BAND FREQUENCIES, MHz: 600-800, 1750-2130

**ANTENNA SPECIFICATION (1500)**

SCALE: 4 NTS

**ERICSSON RRU-A2**

RRU-A2 COLOR: LIGHT GRAY  
 DIMENSIONS, HxWxD: (16.42"x15.12"x3.35")  
 WEIGHT, WITH PRE-MOUNTED BRACKETS: 22 lbs  
 WIND LOAD: TBD  
 CONNECTOR TYPE: 7/16 IEC-169-4

**CCI HPA-65R-BUJ-H8-K**

SCALE: 2 NTS

**ERICSSON RRU11- (PCS)**

RRU11 COLOR: LIGHT GRAY  
 DIMENSIONS, HxWxD: (17"x17.8"x7.2")  
 WEIGHT, WITH PRE-MOUNTED BRACKETS: 55 lbs  
 WIND LOAD: TBD  
 CONNECTOR: (4) 1/2 DIN FEMALE

**QUINTEL- QS8658-3**

SCALE: 5 NTS

**RRU-A2 DETAIL**

SCALE: 3 NTS

**ERICSSON RRU11- (PCS)**

SCALE: 1 NTS

1 02/21/14 REVISED PER CITY COMMENTS MB RN JR

2 03/06/14 ISSUED FOR DRN REVIEW MB RN JR

3 02/10/14 ISSUED FOR DRN REVIEW MB RN JR

4 05/20/13 ISSUED FOR DRN REVIEW MB RN JR

NO. DATE REVISIONS BY CHK APPR

SCALE: AS SHOWN DESIGNED: DRAWN: 2

**at&t** Mobility

12900 PARK PLAZA DRIVE  
CERRITOS, CALIFORNIA 90703

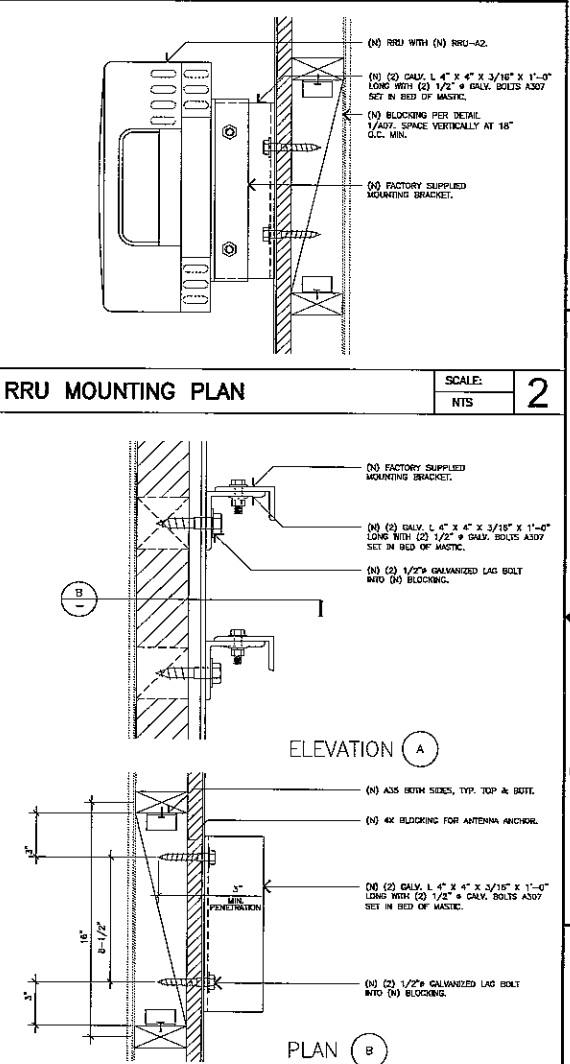
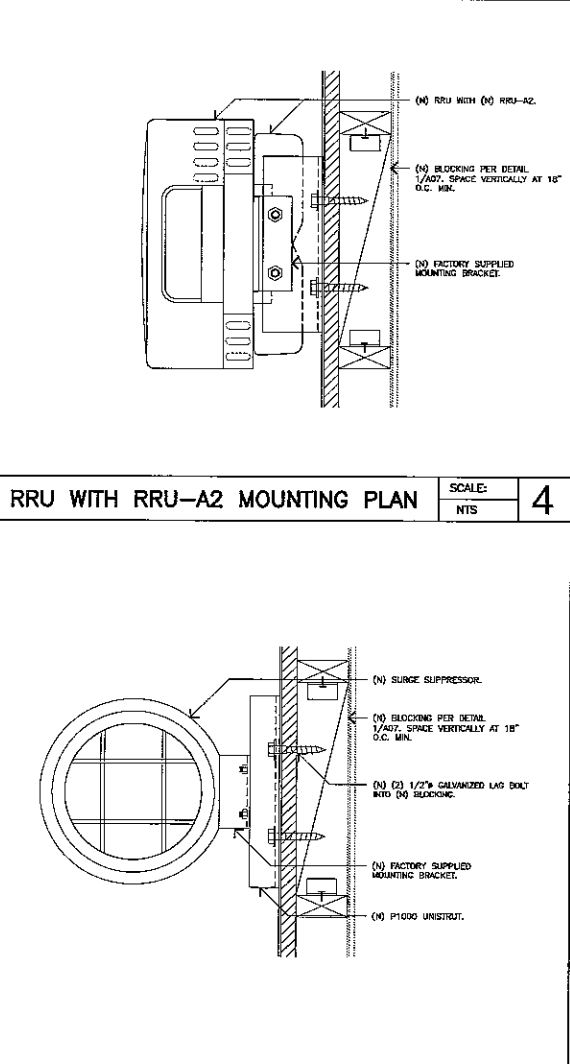
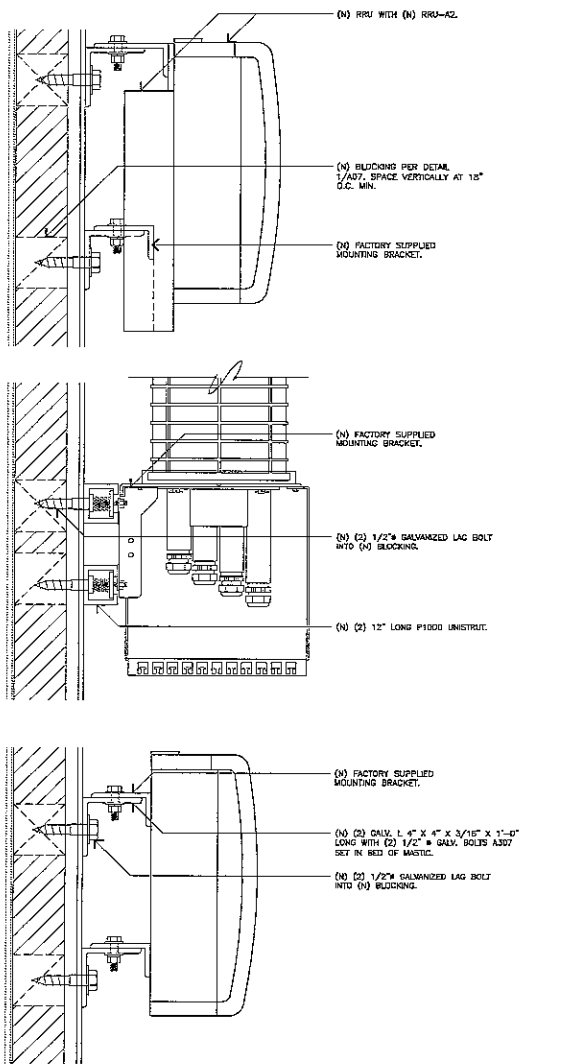
**Jeffrey Rome | ASSOCIATES**  
 architecture | telecommunications  
 131 Innovation Drive, Suite 100  
 Irvine, California 92617  
 tel 949.760.2929 | fax 949.760.3931

**BEST WESTERN BAYSHORES INN**  
 SITE NO. LA3090  
 USID: 24430  
 1800 WEST BALBOA BOULEVARD  
 NEWPORT BEACH, CALIFORNIA 92660

**at&t** Mobility  
 LTE PROJECT (OPTIMUM)  
 ANTENNA DETAILS

DRAWING NUMBER: 25471-610-TE  
 TITLE: LA-LA3090-A06.2  
 SHEET: 1

© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rome and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.



RRU WITH RRU-A2 MOUNTING PLAN SCALE: NTS 4

RRU MOUNTING PLAN SCALE: NTS 2

SURGE SUPPRESSOR MOUNTING PLAN SCALE: NTS 3

DETAIL SCALE: NTS 1

SECTION SCALE: NTS 5

12900 PARK PLAZA DRIVE  
CERRITOS, CALIFORNIA 90703

Jeffrey Rome | ASSOCIATES  
architecture | telecommunications  
131 Innovation Drive, Suite 100  
Irvine, California 92617  
tel 949.760.3928 | fax 949.760.3931

BEST WESTERN BAYSHORES INN  
SITE NO. LA3090  
USID: 24430  
1800 WEST BALBOA BOULEVARD  
NEWPORT BEACH, CALIFORNIA 92660

NO.	DATE	REVISIONS	BY	CHKD	APPD
1	03/21/14	REVISED PER CITY COMMENTS	MR	RM	JR
D	03/06/14	ISSUED FOR DRW REVIEW	MR	RM	JR
B	02/10/14	ISSUED FOR DRW REVIEW	MR	RM	JR
A	05/20/13	ISSUED FOR DRW REVIEW	MR	RM	JR

SCALE: AS SHOWN    DESIGNED:    DRAWN:    2

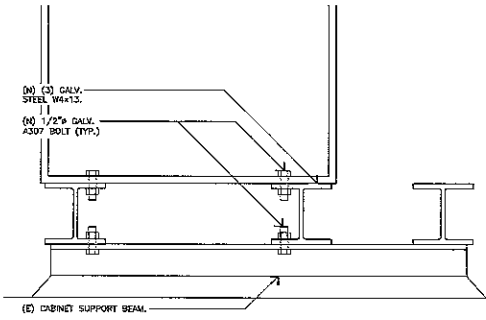
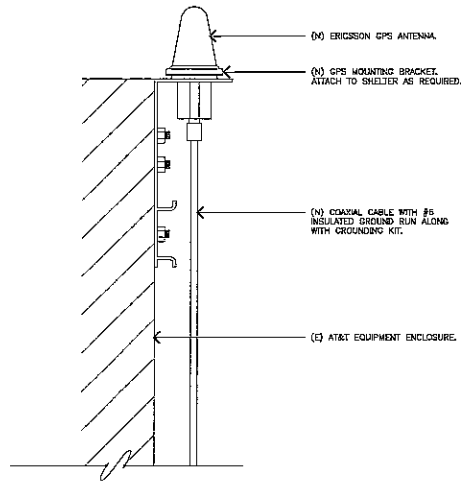


LTE PROJECT (OPTIMUM)  
MOUNTING DETAILS

DRAWING NUMBER: 25471-010-TE  
REV: 1  
LA-LA3090-A07

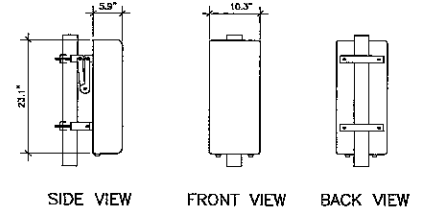


© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rome and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.



**KATHREIN- 840-10525**

ANTENNA COLOR: LIGHT GRAY  
 DIMENSIONS, LxWxD: (23.1"x10.3"x5.9")  
 WEIGHT, WITHOUT PRE-MOUNTED BRACKETS: 15.9 lbs  
 BAND FREQUENCIES, MHz: 858-894, 1710-2170



**GPS ANTENNA DETAIL**

SCALE: 6  
 NTS

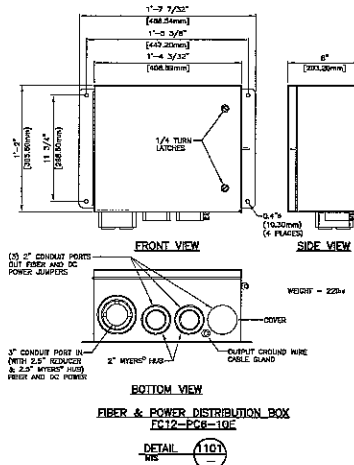
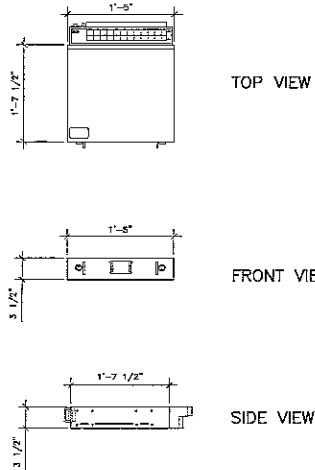
**DETAIL**

SCALE: 4  
 3"=1'-0" 0 .25' .5' 1'

**KATHREIN- 840-10525**

SCALE: 2  
 NTS

**RAYCAP DC12-48-60 DC SURGE SUPPRESSION SOLUTION**



**DC SURGE SUPPRESSOR BOX**

SCALE: 5  
 NTS

**FIBER AND POWER DISTRIBUTION BOX (1101)**

SCALE: 3  
 NTS

**ANTENNA SPECIFICATION (SECTOR A)**

SCALE: 1  
 NTS

MANUFACTURER	MODEL	BAND FREQUENCIES, MHz	POLARIZATION	RET	L, IN	W, IN	D, IN	WEIGHT, LB
ANDREW	08041-6004A-KGM	DUAL 858-895 1710-2180	DUAL	INSTALLED	20.8	11.8	7.1	34.2
ANDREW	08041-6004B-KGM	DUAL 858-895 1710-2180	DUAL	INSTALLED	22.7	11.8	7.1	46.3
ANDREW	08041-6004A-KPM	DUAL 858-895 1710-2180	DUAL	INSTALLED	21.1	11.8	7.1	32.0
ANDREW	08041-6004B-KPM	DUAL 858-895 1710-2180	DUAL	INSTALLED	22.8	11.8	7.1	46.2
KATHREIN	840-10525	DUAL 858-894 1710-2170	DUAL	INSTALLED	23.1	10.3	5.9	15.9
KATHREIN	800-18725 K	DUAL 858-894 1710-2170	DUAL	INSTALLED	22.8	11.8	6.0	31.8
KATHREIN	800-18721 K	DUAL 858-894 1710-2170	DUAL	INSTALLED	24.8	11.8	6.0	49.2
KATHREIN	800-18724 K	DUAL 858-894 1710-2170	DUAL	INSTALLED	25.2	11.8	6.0	40.8
KATHREIN	800-18722 K	DUAL 858-894 1710-2170	DUAL	INSTALLED	22.0	11.8	6.0	37.2
KATHREIN	800-18726 K	DUAL 858-894 1710-2170	DUAL	INSTALLED	20.0	11.8	6.0	31.2
KATHREIN	800-18723 K	DUAL 858-894 1710-2170	DUAL	INSTALLED	23.2	11.8	6.0	39.3
POWERWAVE	PCS-15-XM-RR	DUAL 858-894 1710-2170	DUAL	INSTALLED	21.0	12.0	6.0	30.0
POWERWAVE	PCS-16-XM-RR	DUAL 858-894 1710-2170	DUAL	INSTALLED	22.0	12.0	6.0	33.0
POWERWAVE	PCS-17-XM-RR	DUAL 858-894 1710-2170	DUAL	INSTALLED	23.0	12.0	6.0	36.0
POWERWAVE	PCS-14-XM-RR	DUAL 858-894 1710-2170	DUAL	INSTALLED	20.0	12.0	6.0	30.0

DETAIL 1500  
 NTS

LITE UNITS/OSM DUAL BAND  
 DUAL POLARIZATION ANTENNA (TYP)



12500 PARK PLAZA DRIVE  
 CERRITOS, CALIFORNIA 90703



**Jeffrey Rome** ASSOCIATES  
 architecture | telecommunications  
 233 Innovation Drive, Suite 100  
 Irvine, California 92617  
 tel 949.760.3929 | fax 949.760.3921

**BEST WESTERN BAYSHORES INN**  
 SITE NO. LA3090  
 USID: 24430  
 1800 WEST BALBOA BOULEVARD  
 NEWPORT BEACH, CALIFORNIA 92660

NO.	DATE	REVISIONS	BY	CHK	APP'D
1	03/21/14	REVISED PER CITY COMMENTS	MB	JK	JR
0	03/06/14	ISSUED FOR DRM REVIEW	MB	JK	JR
B	02/10/14	ISSUED FOR DRM REVIEW	MB	JK	JR
A	05/20/13	ISSUED FOR DRM REVIEW	MB	JK	JR



**LITE PROJECT (OPTIMUM)  
 ANTENNA DETAILS**

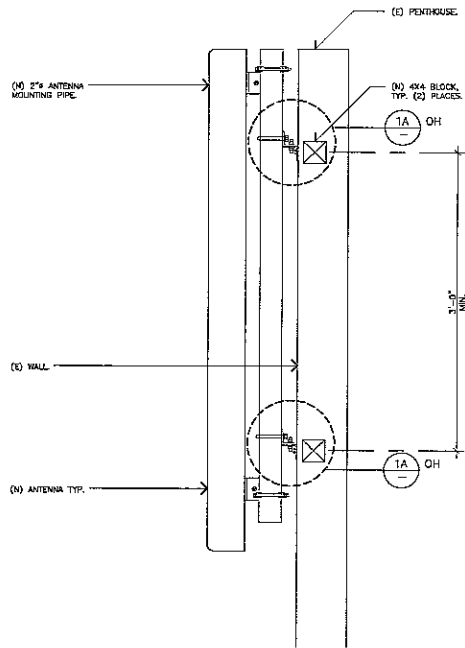
DRAWING NUMBER: 25471-610-TC  
 LA-LA3090-A07.1

SCALE: AS SHOWN DESIGNED: DRAWN: 2

© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rome and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.

**NOTES**

1. PROPOSED ANTENNAS & MOUNTING PIPES TO BE PAINTED TO MATCH EXISTING BUILDING.



**ANTENNA MOUNTING DETAIL (SECTORS B AND C)**

SCALE: NTS **5**

NOT USED

SCALE: NTS **3**

DETAIL

SCALE: NTS **1**



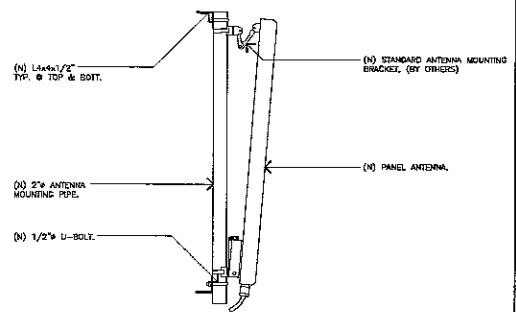
**Jeffrey Rome | ASSOCIATES**  
 architecture | telecommunications  
 131 Innovation Drive, Suite 100  
 Irvine, California 92617  
 tel 949.760.3939 | fax 949.760.3931

**BEST WESTERN BAYSHORES INN**  
 SITE NO. LA3090  
 USID: 24430  
 1800 WEST BALBOA BOULEVARD  
 NEWPORT BEACH, CALIFORNIA 92660

NO.	DATE	REVISIONS	BY	CHK'D	APP'D
1	03/21/14	REVISED PER CITY COMMENTS	MB	EN	JR
D	03/08/14	ISSUED FOR DRM REVIEW	MB	EN	JR
B	02/10/14	ISSUED FOR DRM REVIEW	MB	EN	JR
A	05/20/13	ISSUED FOR DRM REVIEW	MB	EN	JR

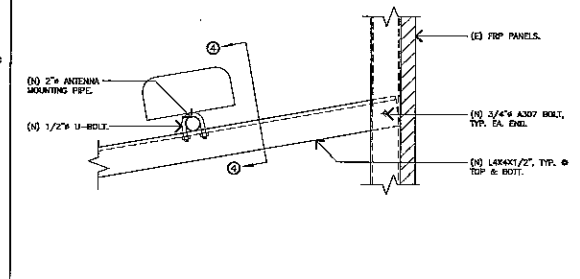


at&t  
**LTE PROJECT (OPTIMUM) MOUNTING DETAILS**  
 DRAWING NUMBER  
 25471-610-TE **LA-LA3090-A07.2**



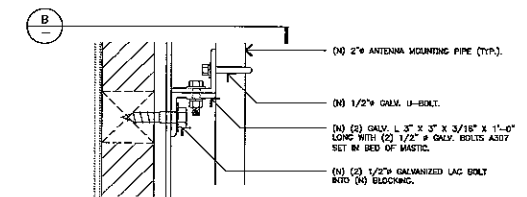
**ANTENNA MOUNTING (SECTOR A)**

SCALE: NTS **4**

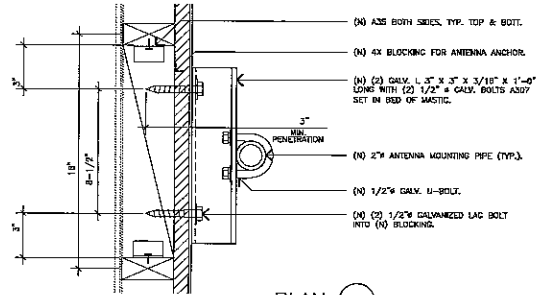


**ANTENNA MOUNTING (SECTOR A)**

SCALE: NTS **2**

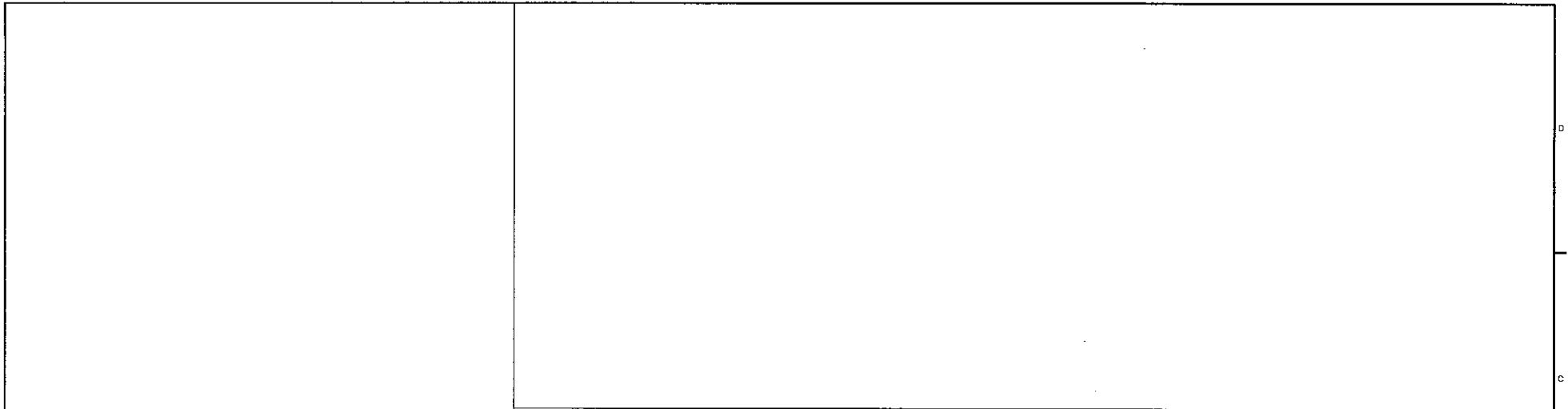


**ELEVATION A**



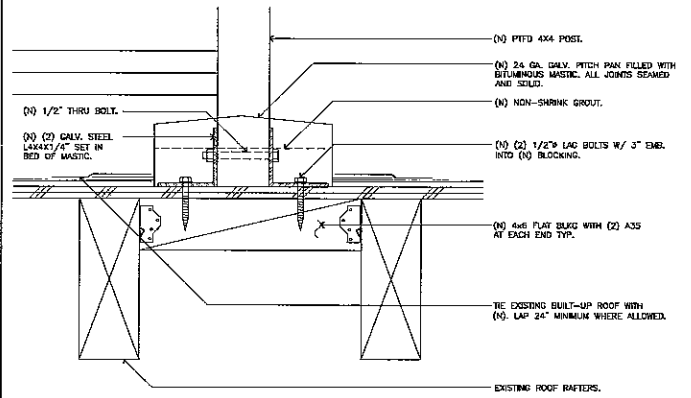
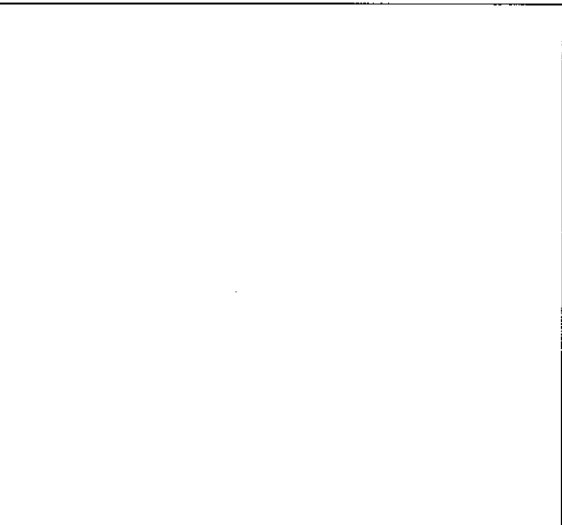
**PLAN B**

© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rome and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.



NOT USED

SCALE:  
NONE 2



NOT USED

SCALE:  
NONE 4

NOT USED

SCALE:  
NONE 3

POST TO ROOF FLASHING DETAIL

SCALE:  
NONE 1



12900 PARK PLAZA DRIVE  
CERRITOS, CALIFORNIA 90703

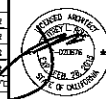


**Jeffrey Rome** | ASSOCIATES  
architecture | telecommunications  
131 Innovation Drive, Suite 100  
Irvine, California 92617  
tel 949.760.2929 | fax 949.760.3931

**BEST WESTERN BAYSHORES INN**  
SITE NO. LA3090  
USID: 24430  
1800 WEST BALBOA BOULEVARD  
NEWPORT BEACH, CALIFORNIA 92660

NO.	DATE	REVISIONS	BY	CHK	APP
1	03/21/14	REVISED PER CITY COMMENTS	MB	RN	JR
0	03/06/14	ISSUED FOR DRM REVIEW	MB	RN	JR
B	02/19/14	ISSUED FOR DRM REVIEW	MB	RN	JR
A	05/20/13	ISSUED FOR DRM REVIEW	MB	RN	JR

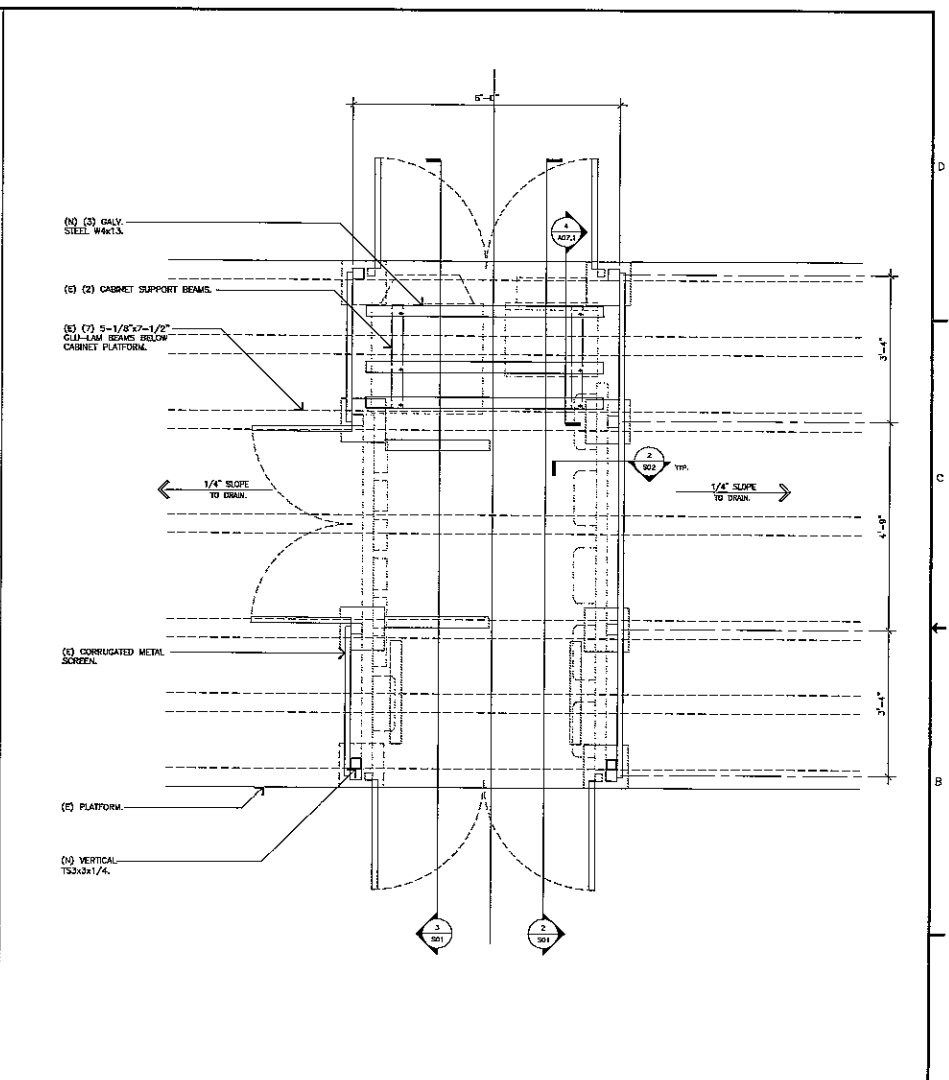
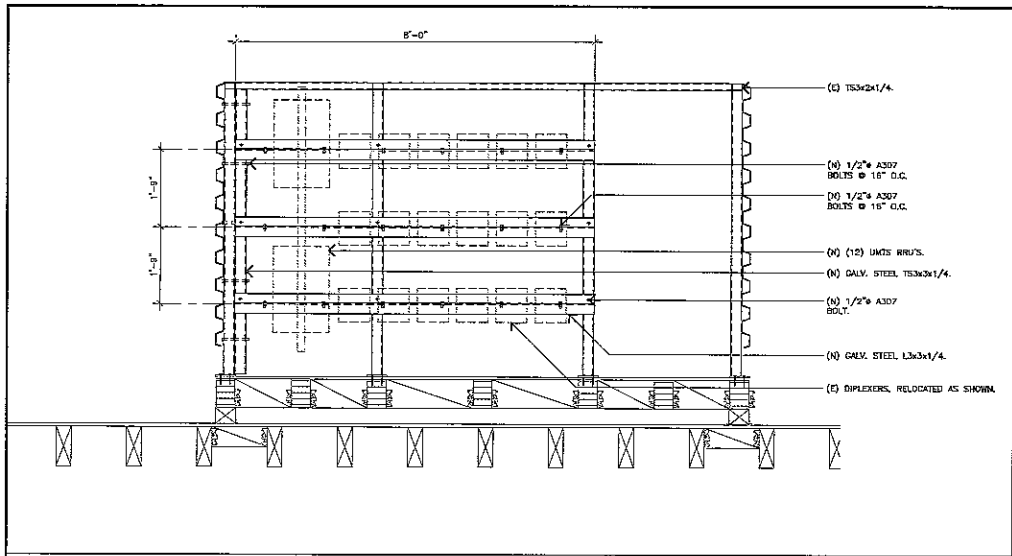
SCALE: AS SHOWN    DESIGNED:    DRAWN:    2



**LTE PROJECT FLASHING DETAILS**

25471-610-TE    LA-LA3090-A08    1

© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rome and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.



RRU MOUNTING DETAIL

SCALE: 3/4"=1'-0" 0 .5' 1' 2'

3

RRU MOUNTING DETAIL

SCALE: 3/4"=1'-0" 0 .5' 1' 2'

2

EQUIPMENT FRAMING PLAN

SCALE: 3/4"=1'-0" 0 .5' 1' 2'

1



12900 PARK PLAZA DRIVE  
CERRITOS, CALIFORNIA 90703



Jeffrey Rome | ASSOCIATES  
architects | telecommunications  
131 Innovation Drive, Suite 100  
Irvine, California 92617  
tel 949.760.3500 | fax 949.760.3931

BEST WESTERN BAYSHORES INN  
SITE NO. LA3090  
USID: 24430  
1800 WEST BALBOA BOULEVARD  
NEWPORT BEACH, CALIFORNIA 92660

NO.	DATE	REVISIONS	BY	CHK/APPT
B	02/10/14	ISSUED FOR DRW REVIEW	MB	RN   JR
A	05/20/13	ISSUED FOR DRW REVIEW	MB	RN   JR
SCALE: AS SHOWN				
DESIGNED:		DRAWN:		



LTE PROJECT (OPTIMUM)  
RRU MOUNTING DETAILS

DRAWING NUMBER: 25471-610-TE  
LA-LA3090-S01

6

5

4

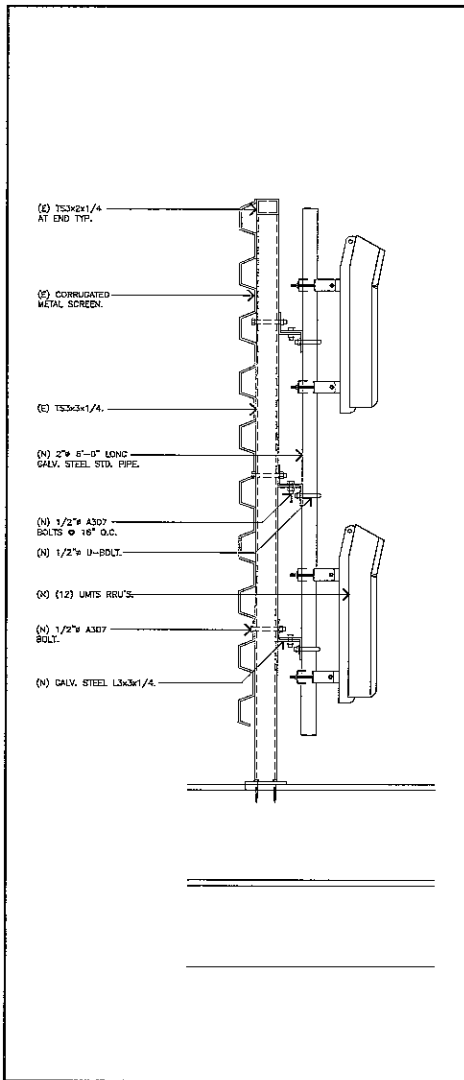
3

2

1

B

© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rume and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except as permitted in writing by Jeffrey Rume and Associates.



**GENERAL REQUIREMENTS:**

- CONSTRUCTION SHALL BE IN CONFORMITY WITH THE 2013 EDITION OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL AND STATE CODES AND ORDINANCES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE PRIOR TO ORDERING ANY MATERIAL AND/OR COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER.
- CONTRACTOR SHALL FULLY PROTECT ALL ADJACENT PROPERTIES BEFORE COMMENCING ANY WORK.
- CONTRACTOR SHALL PROVIDE BARRICADES AND PEDESTRIAN PROTECTION AS REQUIRED BY STATE AND LOCAL CODES.
- CONTRACTOR SHALL CONSULT WITH REPRESENTATIVES OF CITY AND UTILITY COMPANIES CONCERNING AVAILABLE FACILITIES BEFORE COMMENCING WORK OR CONNECTING TO GENER, PUMP OR WORKING, ETC., AND REPORT ANY PROBLEMS TO THE ARCHITECT/ENGINEER.
- OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL INSTALL TEMPORARY TOILETS BEFORE START OF JOB.
- DRAWINGS TAKE PRECEDENCE OVER SPECIFICATIONS, DETAILED DRAWINGS AND SPECIFICATIONS TAKE PRECEDENCE OVER GENERAL DRAWINGS AND SPECIFICATIONS.
- TYPICAL DETAILS SHOWN SHALL APPLY WHERE NO SPECIAL DETAIL IS SHOWN.
- WRITTEN DIMENSIONS, NOT SCALED DIMENSIONS, SHALL BE USED.
- WHERE A DETAIL, TYPICAL DETAIL, SECTION, TYPICAL SECTION, OR NOTE IS SHOWN FOR ONE CONDITION, IT SHALL ALSO APPLY FOR ALL LIKE OR SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
- TEMPORARY BRACING AND SHORING SHALL BE PROVIDED AS REQUIRED ON ALL BEAMS, WALLS, ETC., ADEQUATE TO PROVIDE FULL STRUCTURAL STABILITY AND SAFETY. BRACING SHALL NOT BE REMOVED UNTIL THE ELEMENTS ARE FULLY COVERED AND ARE CAPABLE OF SUPPORTING THE DESIGN LOADS.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ARCHITECT/ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ARCHITECT/ENGINEER.
- ALL A.S.T.M. SPECIFICATIONS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE A.S.T.M.
- OBSERVATION VISITS TO THE PROJECT SITE BY THE ARCHITECT/ENGINEER SHALL NOT BE CONSTRUED AS ANY INSPECTION AS REQUIRED BY CODE.
- EQUIPMENT WEIGHTS, WHERE SHOWN ON THE STRUCTURAL DRAWINGS, ARE NOMINAL OPERATING WEIGHTS, INCLUDING CURBS AND ACCESSORIES. THE CONTRACTOR SHALL VERIFY THE EQUIPMENT SPECIFICATIONS AND BRING ANY DEVIATIONS TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/ENGINEER.

**ROOFING AND WATERPROOFING NOTES:**

- CONTRACTOR SHALL CONTACT BUILDING OWNER TO DETERMINE IF ROOF IS UNDER WARRANTY. CONTRACTOR SHALL GUARANTEE THAT ANY AND ALL NEW WORK WORK WITHIN SCOPE OF ANY EXISTING ROOFING WARRANTIES SUCH THAT THE WARRANTY IS NOT MADE INVALID AS A RESULT OF THIS WORK. IF IT IS DETERMINED THAT THE ARCHITECT/ENGINEER'S DESIGNING IS INADEQUATE OR IMPROPER, OR IF ANY OTHER DISCREPANCY IS FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER AND THE CARRIER PROJECT MANAGER IN WRITING. ULTIMATELY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE ORIGINAL ROOF MANUFACTURERS SPECIFICATIONS.
- CONTRACTOR SHALL USE METHODS & MATERIALS SIMILAR AND COMPATIBLE WITH EXISTING MATERIALS & CONDITIONS FOR ROOF PATCHING, NEW PENETRATIONS, ETC.
- THE CONTRACTOR SHALL PROPERLY SEAL ALL NEW ROOF & BUILDING ENVELOPE PENETRATIONS SUCH THAT THE INTEGRITY OF THE ORIGINAL BUILDING ASSEMBLY AND ALL APPLICABLE WARRANTIES ARE MAINTAINED.
- IF IT IS DEEMED NECESSARY TO REMOVE EXISTING FINISHES AND/OR MATERIALS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONSTRUCTING FINISHES AND MATERIALS TO LIKE-NEW CONDITION. CONTRACTOR SHALL MAINTAIN THE ORIGINAL COLORS, TEXTURES AND FINISHES UNLESS SPECIFICALLY NOTED TO THE CONTRARY OR APPROVED BY THE CARRIER CONSTRUCTION MANAGER IN ADVANCE.
- AT THE CARRIER CONSTRUCTION MANAGER'S DIRECTION, THE CONTRACTOR SHALL PROVIDE ROOFTOP WALKWAYS TO ALL NEW EQUIPMENT INCLUDING ANTENNAS AND ETC. AND ALONG COORDINATED ROUTES TO OR ON CONVENTIONAL ROOFING, THE WALK PADS SHALL BE "DICK BOARDS" AS MANUFACTURED BY APC OR APPROVED EQUAL ON SPECIAL ROOFING SYSTEMS SUCH AS SINGLE MEMBRANE ROOFS WILL REQUIRE A SPECIAL PRODUCT AS NOTED ON PLANS OR AS REQUIRED BY NOTES 1 & 2 ABOVE.

**GOVERNING CODES, STRESSES AND MATERIALS**

CALIFORNIA BUILDING CODE, 2013 EDITION.

**SEISMIC:**  
 WIND: WINDING FACTOR = 1.25  
 OCCUPANCY CATEGORY - III  
 S<sub>1</sub> = 0.251  
 S<sub>2</sub> = 0.618  
 S<sub>3</sub> = 0.251  
 SITE CLASS 0  
 0<sub>1</sub> = 1.0  
 0<sub>2</sub> = 1.5  
 0<sub>3</sub> = 2.5

**WIND:**  
 EXPOSURE C - CHAPTER 16, BASIC WIND SPEED = 115 MPH

**STRUCTURAL STEEL, NEW:**  
 SHAPES, PLATES, ANGLES, IRMS  
 ASTM A572, F<sub>y</sub> = 50,000 PSI  
 ASTM A58, F<sub>y</sub> = 36,000 PSI

**HOLLOW STEEL SECTIONS:**  
 TUBES  
 ASTM A 503, GRADE B, F<sub>y</sub> = 46,000 PSI  
 ASTM A53, GRADE B, F<sub>y</sub> = 35,000 PSI

**STEEL:**  
 HARDWARE  
 METAL SHEET, STEEL  
 METAL BRACING  
 ASTM A123  
 ASTM A153  
 ASTM A570 GRADE 50  
 ASTM A570 GRADE 50, MINIMUM OF 18

**WELDING:**  
 E7018 ELECTRODE  
 ANS/AWS D1.1-99, LOW HYDROGEN  
 STRUCTURAL WELDING CODE-STEEL  
 THREADED BOLTS, NEW ASTM A508 (F<sub>y</sub> = 90,000 PSI)

**METAL STUDS** 3 1/2"-HIGH DEEP METAL STUD (16 GA.), C-SECTION, SPACED 16 INCHES ON CENTER.

**DRY PACK GROUT** W.R. MEADOWS, INC., "TRAC-IT" EXPANSIVE DRY PACK GROUT

EXISTING BUILDING CONSTRUCTION CONTRACTOR SHALL OBTAIN AND REVIEW EXISTING BUILDING DRAWINGS FOR THE NEW CONSTRUCTION.

**STANDARD STRUCTURAL STEEL NOTES:**

- ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE SPECIFICATION GALVANIZED ASTM A593, UNLESS NOTED OTHERWISE. MISCELLANEOUS STEEL MAY CONFORM TO ASTM 36.
- STRUCTURAL TUBING WELDERS SHALL CONFORM TO ASTM A503, GRADE B. PIPE MEMBERS SHALL CONFORM TO ASTM A53 GRADE B.
- ALL WELDING SHALL BE DONE USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AWS D1.1, WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 OF THE AWS "MANUAL OF STEEL CONSTRUCTION", 9TH EDITION.
- BOLTED CONNECTIONS SHALL USE A507 BOLTS (3/4" DIA.) AND SHALL HAVE A MINIMUM OF TWO BOLTS U.N.D.
- NON-STRUCTURAL CONNECTIONS FOR HANDRAIL, LADDERS AND STEEL GRATING MAY USE 5/8" DIA. GALVANIZED ASTM A507 BOLTS U.N.D.
- SPECIAL INSPECTION IS REQUIRED FOR ALL FIELD WELDING.
- ALL STEEL MUST BE FABRICATED IN A CITY APPROVED FABRICATION SHOP.
- SHOBT 3 SETS OF SHOP DRAWINGS TO THE ARCHITECT/ENGINEER FOR REVIEW BEFORE FABRICATING/CONSTRUCTION.
- ALL EPOXY ANCHORS SHALL USE THE HILTI HIT 150 OR HIT RESIDU ADHESIVE ANCHOR SYSTEM, SIZE AS INDICATED ON THE PLANS, (ICC ESR-2262 OF ESR-2322) OR APPROVED EQUAL.
- ALL EXPANSION ANCHORS SHALL BE HILTI KR-72 OR KR3 ANCHORS, SIZE AS INDICATED ON THE PLANS (ICC ESR-1917 OR ESR 1355) OR APPROVED EQUAL.
- A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.
- ALL STEEL MEMBERS AND CONNECTIONS SHALL BE GALVANIZED AND PAINTED.

**PLYWOOD SHEATHING NOTES**

- PLYWOOD SHEATHING SHALL CONFORM TO PRODUCT STANDARD PS1-09 OR PS2-10 AND CBC SECTION 2303.1.4.
- INDIVIDUAL ROOF PLYWOOD SHEETS SHALL BE NOT LESS THAN 2'-0" IN LEAST DIMENSION NOR LESS THAN 8 SQUARE FEET IN AREA. USE FULL SIZE SHEETS WHEREVER POSSIBLE.
- PLACE ROOF PLYWOOD SHEET WITH FACE PILES PERPENDICULAR TO FRAMING MEMBERS UNLESS NOTED OR SHOWN OTHERWISE. FRAMING LAYOUT SHALL BE COORDINATED WITH 4'-0" MODULE AS RELATED TO PLYWOOD SHEATHING PATTERN.
- ORIENTED STRAND BOARD (OSB) MAY BE USED IN LIEU OF PLYWOOD PROVIDED IT POSSESSES THE SAME APA RATING AS SPECIFIED PLYWOOD MATERIAL.
- PLYWOOD THICKNESS SHALL BE NOTED ON THE DESIGN DRAWINGS WITH 5 PILES MINIMUM.
- MOISTURE CONTENT SHALL BE 15% OR LESS AT THE TIME OF INSTALLATION.
- SHEATHING SHALL BE INSPECTED PRIOR TO PLACEMENT.

**FRAMING LUMBER NOTES**

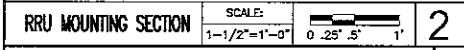
- ALL VISUALLY GRADED FRAMING LUMBER SHALL CONFORM TO THE GRADING RULES SET FORTH BY THE WEST COAST LUMBER INSPECTION BUREAU (WCLIB) OR THE WESTERN WOOD PRODUCTS ASSOCIATION (WWPA). EACH PIECE SHALL BEAR THE GRADE STAMP OF AN APPROVED GRADING AGENCY, EXCEPT EXPOSED LUMBER SHALL BEAR NO MARKINGS WHICH WILL BE VISIBLE AFTER INSTALLATION.
  - FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH, UNLESS OTHERWISE NOTED. 2x AND 4x SAWN LUMBER SHALL HAVE A MOISTURE CONTENT NOT MORE THAN 19% AT TIME OF FABRICATION. THE FOLLOWING GRADES SHALL BE THE MINIMUM ACCEPTABLE GRADES, UNLESS OTHERWISE NOTED:
- | ITEM   | MINIMUM GRADE |
|--|---------------|
| 2" THICK, 4" WIDE (STD) ME-NO-1" MAX., NO. 2 | NO. 1         |
| 2" THICK, 4" TO 8" WIDE                      | NO. 1         |
| STRUCTURAL JOISTS AND LIGHT FRAMING:         |               |
| 2" TO 4" THICK, 4" AND WIDER                 | NO. 1         |
| BEAMS AND SHORINGS:                          |               |
| 5" AND THICKER, 6" AND WIDER                 | NO. 1         |
| POST AND TIMBERS:                            |               |
| 5" x 5" AND LARGER                           | NO. 1         |
- STRUCTURAL PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS 1-09. STRUCTURAL USE PANELS SHALL CONFORM TO PS 2-10 (APA PRG-104). APA GRADE STAMP SHALL BE PROVIDED ON ALL SHEATHING SHEATHING SHALL BE EXPOSURE 1 (EXTERIOR GLUE). INSTALL WITH FACE GRAIN ACROSS SUPPORTS EXCEPT WHERE NOTED ON PLANS OR DETAILS PROVIDE GAPS AT ALL EDGES AS RECOMMENDED BY APA. ROOF AND FLOOR SHEATHING AND SHEAR WALL PANELS SHALL BE IN PLACE AND INSPECTED BY THE BUILDING OFFICIAL PRIOR TO COVERING.
  - FRAMING HARDWARE SHALL BE SIMPSON "STRONG TIE" OR EQUAL, UNLESS OTHERWISE NOTED. SUBSTITUTIONS SHALL BEAR I.C.D.O. APPROVAL.
  - NAILING SCHEDULE, TYPICAL UNLESS OTHERWISE NOTED ON DRAWINGS:

**CONNECTION**

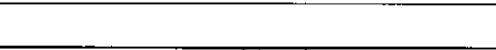
CONNECTION	COMMON NAILS
JOIST TO SILL OR GIRDER, TIE NAIL	3 - 8d
BROOKING TO JOIST, TIE NAIL, EACH END	2 - 8d
SOLE PLATE TO JOIST OR BROOKING, FACE NAIL	16d @ 18" o.c.
TOP PLATE TO STUD, END NAIL	(4) 8d TOE NAILS OR (2) 16d END NAILS
DOUBLE STUD, FACE NAIL	16d @ 24" o.c.
DOUBLE TOP PLATES, FACE NAIL	16d @ 18" o.c.
TOP PLATES, LAPS & INTERSECTIONS, FACE NAIL	2 - 16d
CONT. HEADER, 2 PIECES, FACE NAIL ALONG EDGES	16d @ 15" o.c.
CEILING JOISTS TO PLATE, TIE NAIL	3 - 8d
CONT. HEADER TO STUD, TIE NAIL	4 - 8d
CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3 - 16d
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3 - 16d
BACKER TO PLATE, TIE NAIL	3 - 8d
BUILT-UP CORNER STUDS	16d @ 24" o.c.

**ADDITIONAL NAILING NOTES:**

- ALL NAILS SHALL BE COMMON NAILS IN CONFORMANCE WITH FEDERAL SPECIFICATION FF-N-100B, UNLESS OTHERWISE SPECIFIED ON DRAWINGS. SCREWS SHALL NOT BE SUBSTITUTED UNLESS SPECIFICALLY APPROVED BY THIS ENGINEER.
- ALL NAILS EXPOSED TO THE WEATHER SHALL BE GALVANIZED.
- THE NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES TO THE PIECE SURFACE AND BE STARTED AT 1/3 THE LENGTH FROM THE EDGE OF THE PIECE.
- WOOD SCREWS SHALL BE IN CONFORMANCE WITH A.N.S.I. B18.8.1.
- BOLTS AND LAG SCREWS SHALL CONFORM TO A.N.S.I. B18.2.1. ALL BOLTS THRU WOOD SHALL HAVE SHIMMER DRIFT WASHERS EXCEPT WHERE METAL SIDE PLATES ARE SPECIFIED. BOLT HOLES SHALL BE BORED 1/32" TO 1/16" LARGER THAN THE BOLT DIAMETER, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL INSTALL A SIMPSON BR-378-S WITH (4) SCS 1/4" x 1 1/2" SCREWS AT ALL HOLES LARGER THAN 1/2" OVERSIZE AT NO ADDITIONAL COST. ALL BOLTS SHALL BE RETIGHTENED PRIOR TO APPLICATION OF PLASTER, PLYWOOD, ETC.
- ALL WOOD BEARINGS ON CONCRETE OR MASONRY IF LESS THAN 4'-0" ABOVE GRADE SHALL BE PRESSURE TREATED Douglas Fir.
- STRUCTURAL MEMBERS SHALL BE NOT CUT FOR PILES, ETC. UNLESS SPECIFICALLY NOTED OR DETAILLED.
- SLIP PLATES SHALL BE SECURED TO FOUNDATION WITH MINIMUM 5/8" DIA. ANCHORS WITH 7" MINIMUM EMBEDMENT. ANCHORS SHALL BE SPACED AT 8'-0" o.c. WITH A MINIMUM OF (2) BOLTS PER PIECE. (MINIMUM EDGE DISTANCE = 1 1/2"). PROVIDE 2" SO x 3/16" PLATE WASHER AT BOLTS. SEE PLAN FOR ADDITIONAL REQUIREMENTS AT BEAR WALLS.



**2 STRUCTURAL NOTES**



**at&t**  
 Mobility  
 12900 PARK PLAZA DRIVE  
 CERRITOS, CALIFORNIA 90703

**Jeffrey Rume | ASSOCIATES**  
 architecture | telecommunications  
 131 Innovation Drive, Suite 100  
 Irvine, California 92617  
 tel 949.763.3201 | fax 949.740.3921

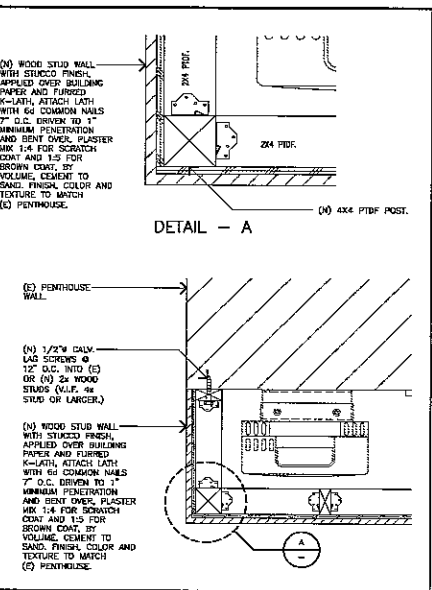
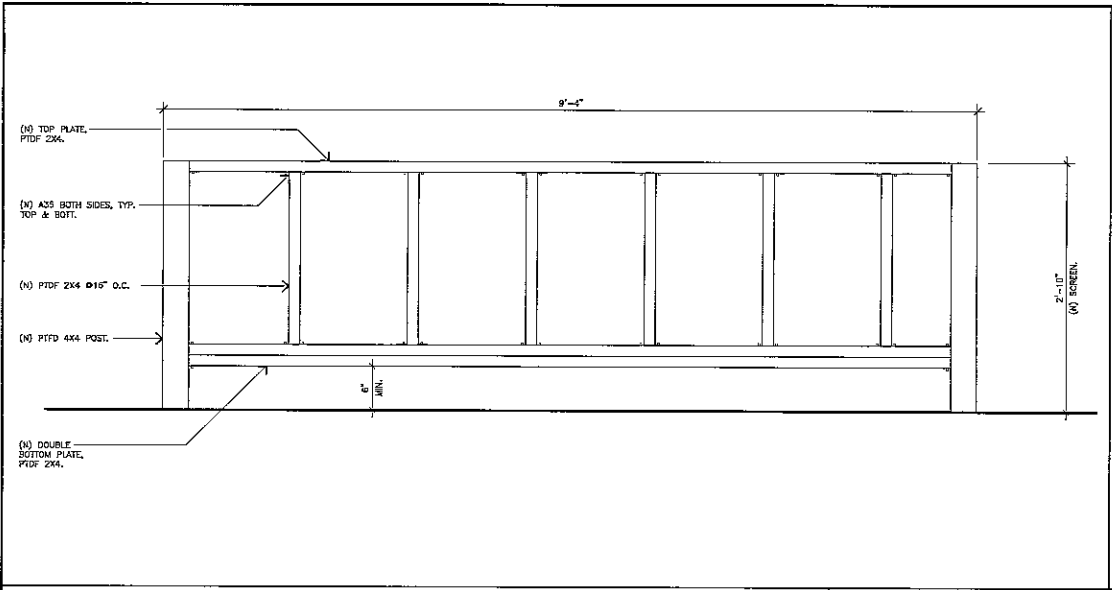
**BEST WESTERN BAYSHORES INN**  
 SITE NO. LA3090  
 USID: 24430  
 1800 WEST BALBOA BOULEVARD  
 NEWPORT BEACH, CALIFORNIA 92650

**at&t**  
 LITE PROJECT (OPTIMUM)  
 STRUCTURAL NOTES  
 DRAWING NUMBER: 25471-610-TE  
 LA-LA3090-S02

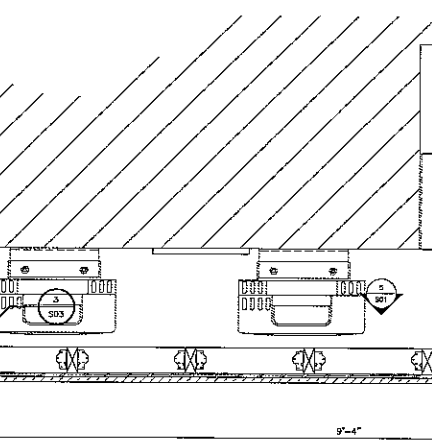
NO.	DATE	REVISIONS	BY	CHK	APPL
B	02/10/14	ISSUED FOR DSM REVIEW	MB	REN	JR
A	05/20/13	ISSUED FOR DSM REVIEW	MB	REN	JR

SCALE: AS SHOWN | DESIGNED: | DRAWN: |

© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rome and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.



**DETAIL - A**

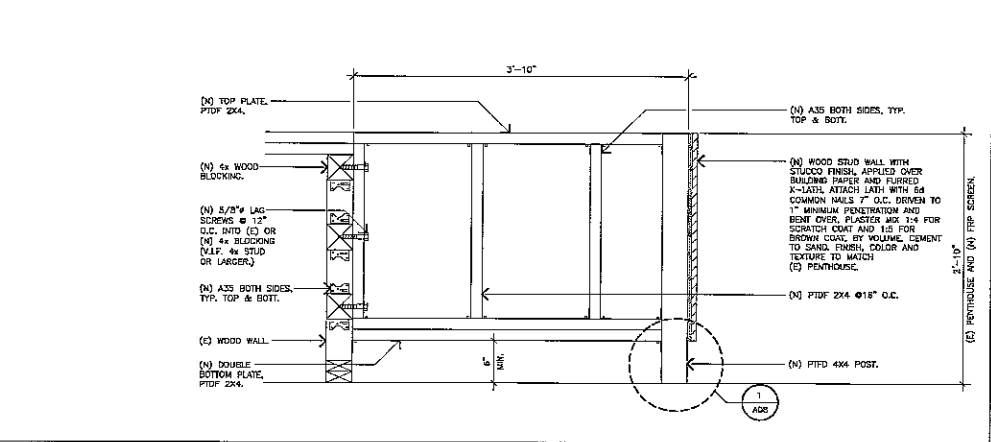


**DETAIL**

**(N) SCREENING SECTION**

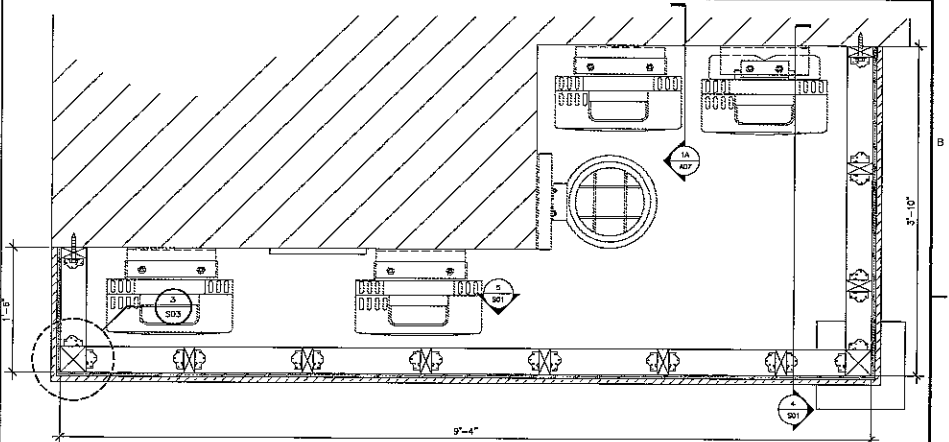
SCALE:	1-1/2"=1'-0"	0 .25' .5' 1'	<b>5</b>
--------	--------------	---------------	----------

SCALE:	NONE	<b>2</b>
--------	------	----------



**WOOD SCREEN SECTION**

SCALE:	1-1/2"=1'-0"	0 .25' .5' 1'	<b>4</b>
--------	--------------	---------------	----------



**(N) SCREENING PLAN**

SCALE:	1-1/2"=1'-0"	0 .25' .5' 1'	<b>1</b>
--------	--------------	---------------	----------



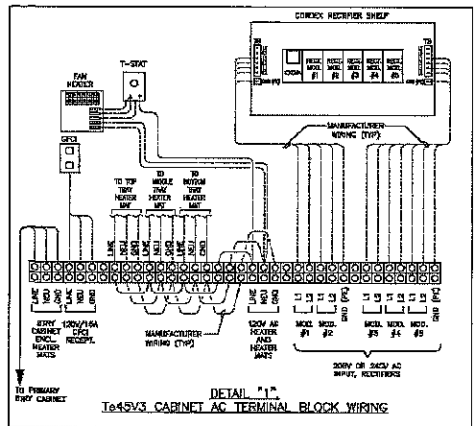
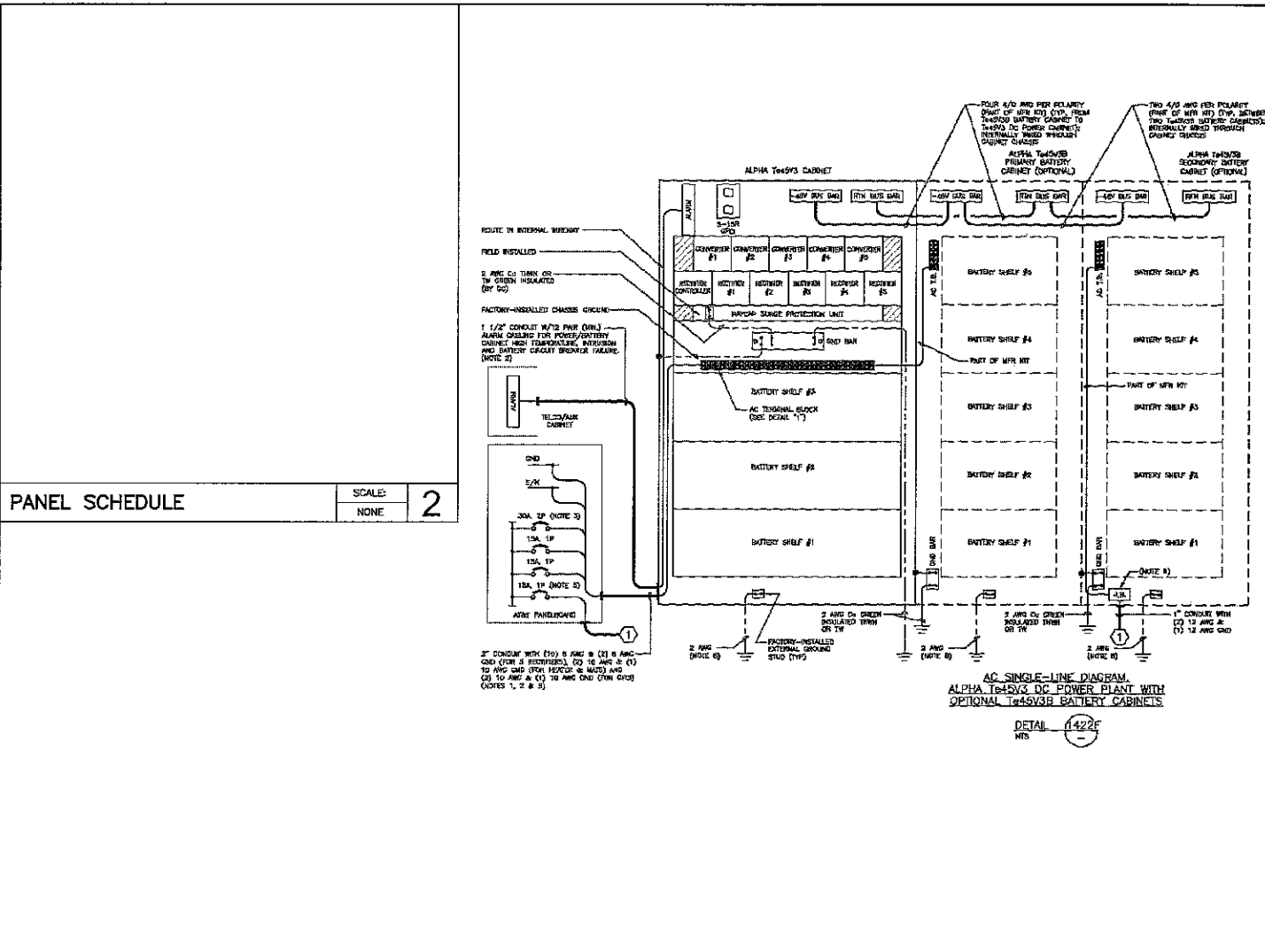
**BEST WESTERN BAYSHORES INN**  
 SITE NO. LA3090  
 USD: 24430  
 1800 WEST BALBOA BOULEVARD  
 NEWPORT BEACH, CALIFORNIA 92650

1	03/21/14	REVISED PER CITY COMMENTS	MB	RN	JR
0	03/06/14	ISSUED FOR DRM REVIEW	MB	RN	JR
8	02/10/14	ISSUED FOR DRM REVIEW	MB	RN	JR
A	05/20/13	ISSUED FOR DRM REVIEW	MB	RN	JR
NO.	DATE	REVISIONS	BY	CHK	APP
SCALE: AS SHOWN			DESIGNED:	DRAWN:	



at&t	
<b>LTE PROJECT (OPTIMUM)</b>	
<b>SCREEN WALL DETAILS</b>	
DRAWING NUMBER	25471-610-TE
LA-LA3090-S03	1

© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rame and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rame and Associates.



- NOTES:**
- RECTIFIER SHELF WIRE (S) POSITIONS FOR RECTIFIERS. INSTALL CONDUIT AND CONNECT WIRING TO RECTIFIER MODULE POSITIONS 1 TO 5.
  - CONDUIT MAY BE ROUTED UNDERGROUND IN RING OR ABOVE GRADE IN PVC, AS DICTATED BY SITE CONDITIONS.
  - INSTALL ONE 250 AMP CIRCUIT BREAKER FOR EACH RECTIFIER TO BE INSTALLED. REFER TO PROPOSED AC PANEL SCHEDULE FOR QUANTITY OF ACTIVE RECTIFIERS. UNDERMATED WIRING IN THE PANELBOARD SHALL BE CAPPED AND LABELLED. BREAKER INTERRUPTING RATINGS SHALL MATCH PANELBOARD.
  - REFER TO PROPOSED DC PANEL SCHEDULE FOR CIRCUITS TO EQUIPMENT.
  - REFER TO PROPOSED DC PANEL SCHEDULE FOR CIRCUITS TO ALPHA T445V3 AND T445V3B CABINETS.
  - DC POWER PLANT AND BATTERY CABINETS ARE FURNISHED WITH VENDOR-SUPPLIED CABLES TO DASH-DRAWN AC POWER FOR BATTERY HEADER Wires FROM THE AC POWER TERMINAL IN THE DC POWER PLANT TO EACH BATTERY CABINET.
  - INSTALL INTER-CABINET WIRING IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
  - AC POWER WIRING SHALL BE 1/2\"/>

**PANEL SCHEDULE**

SCALE:	2
NONE	

**POWER AND TELCO SINGLE LINE DIAGRAM**

SCALE:	1
NONE	

12900 PARK PLAZA DRIVE  
CERRITOS, CALIFORNIA 90703

**JRA**  
Jeffrey Rame & Associates, Inc.  
Architecture & Telecommunications  
1 San Joaquin Plaza, Suite 230  
Newport Beach, California 92660  
Phone: (949) 769-3330  
Fax: (949) 769-3331

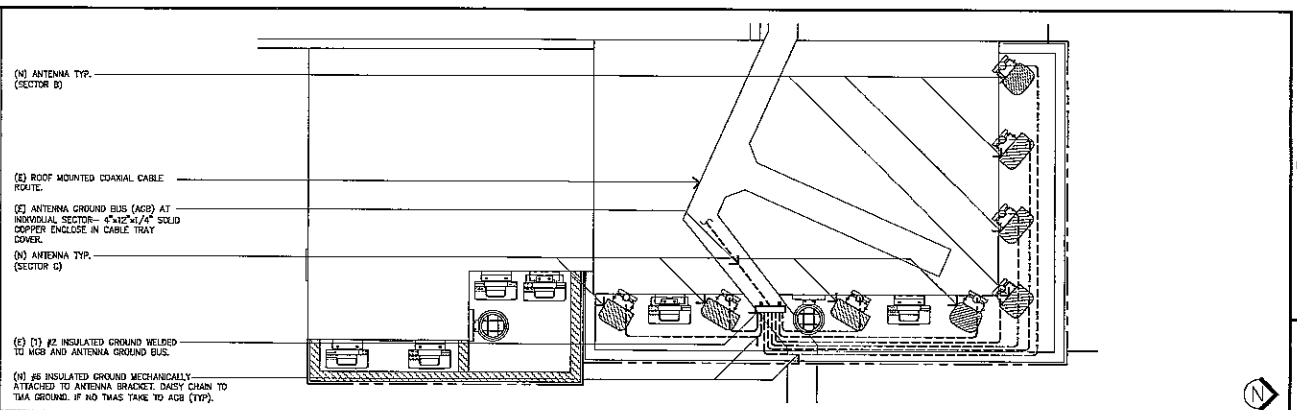
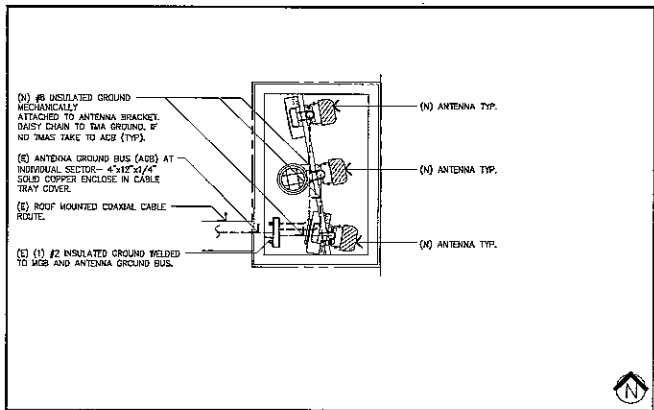
BEST WESTERN BAYSHORES INN  
SITE NO. LA3090  
USID: 24430  
1800 WEST BALBOA BOULEVARD  
NEWPORT BEACH, CALIFORNIA 92660

NO.	DATE	ISSUED FOR DRN REVIEW	DESIGNED:	MB	RM	JR
SCALE: AS SHOWN			DESIGNED:	DRAWN:		BY: CHK APP'D



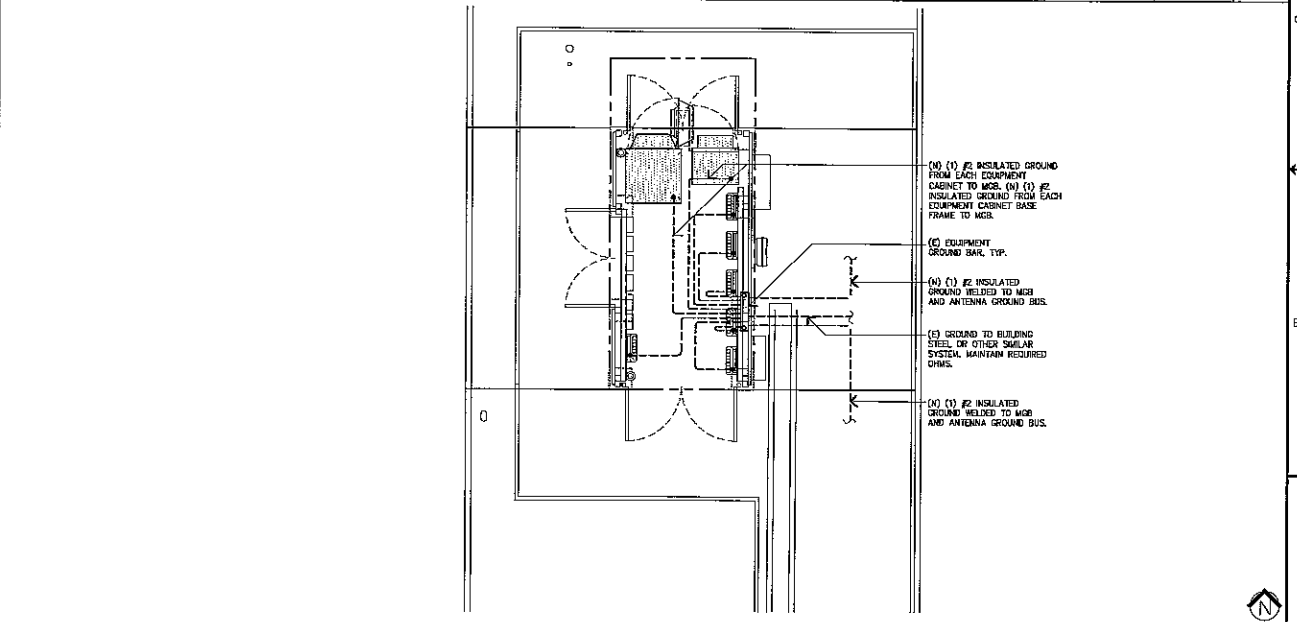
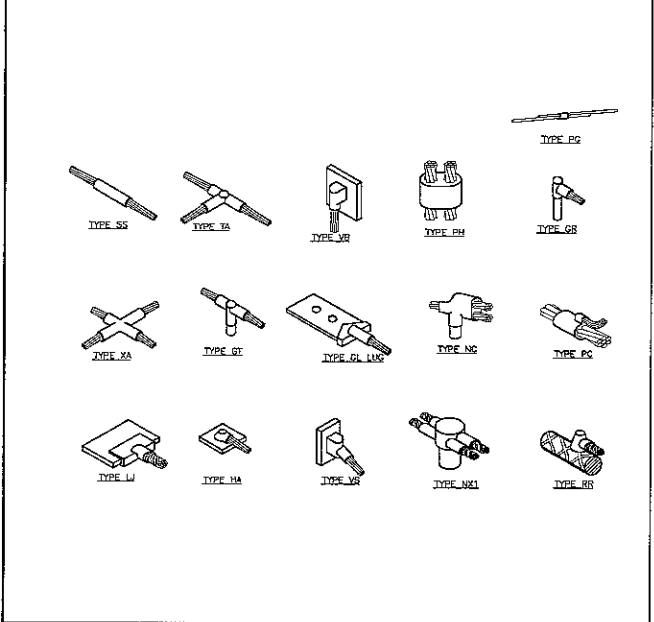
LTE PROJECT (OPTIMUM)  
SINGLE LINE DIAGRAM AND PANEL SCHEDULE  
DRAWING NUMBER: 25471-610-TE  
LA-LA3090-ED1

© 2007 AT&T Mobility, Inc. The document was created by Jeffrey Rowe and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rowe and Associates, Inc.



**ANTENNA GROUNDING SECTOR A** SCALE: NONE **3**

**ANTENNA GROUNDING SECTORS B & C** SCALE: NONE **2**



**TYPICAL CADWELD TYPES** SCALE: NONE **5**

**EQUIPMENT GROUNDING PLAN** SCALE: NONE **1**

**at&t**  
 Mobility  
 12900 PARK PLAZA DRIVE  
 CERRITOS, CALIFORNIA 90703

**JRA**  
 Jeffrey Rowe & Associates, Inc.  
 Architecture & Telecommunications  
 1 San Joaquin Place, Suite 230  
 Newport Beach, California 92660  
 Phone: (949) 760-3529  
 Fax: (949) 760-3931

**BEST WESTERN BAYSHORES INN**  
 SITE NO. LA3090  
 USID: 24430  
 1800 WEST BALBOA BOULEVARD  
 NEWPORT BEACH, CALIFORNIA 92660

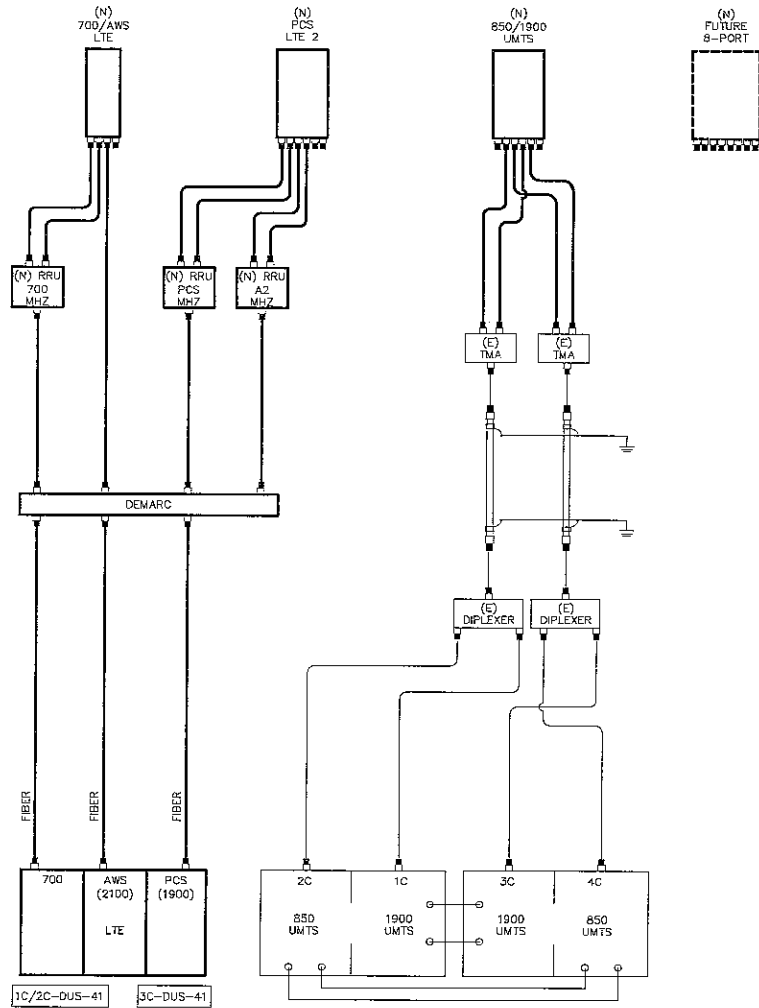
NO.	DATE	ISSUED FOR DDM REVIEW	MB	FN	JR
		REVISIONS	BY	CHK	APP
SCALE: AS SHOWN		DESIGNED:	DRAWN:		



**at&t**  
**LTE PROJECT (OPTIMUM)**  
**GROUNDING PLAN**  
 DRAWING NUMBER: LA-LA3090-E02  
 SHEET: 1 OF 1



© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rome and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.



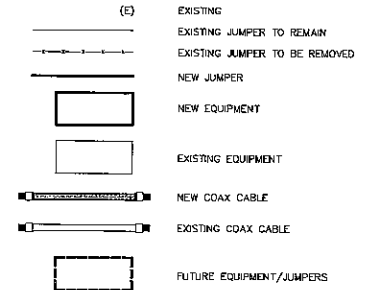
ANTENNA CONFIGURATION SECTORS B & C  
SECTORS Y & Z

**BILL OF MATERIALS**

PARTS LIST	QUANTITY
1. ANTENNA: (ERICSSON 6' AIR B4A/BSP/B12P)	(2) EA.
1A. ANTENNA: (QUINTEL QS6658-3)	(2) EA.
1B. ANTENNA: (DCI HPA-65R-BUU-H6-K)	(4) EA.
1C. ANTENNA: (KATHREIN B40-10525)	(3) EA.
2. RRU-11 (PCS)	(9) EA.
2A. RRU-A2	(3) EA.
3. DC2-48-60-0-9E	N/A
4. DC6-48-60-16-8F	(3) EA.
5. FC12-PC6-10E	N/A
6. DC12-48-60-RM	N/A
7. TMA	N/A
8. 1/2" Ø PRE-CONNECTORIZED JUMPER	(18) EA.
9. 7/8" Ø COAX: AVA5-50	N/A
10. FEEDER CONNECTOR: ALSDF-PS	N/A

Antenna Schedule	Antenna	Approx. Azimuth	Rad. Center	Cable Length						
Sector	Position	Antenna Type	Model	Existing	Proposed	Qty.	Length	Dia.		
Alpha	A1	840 LTE	Kathrein 840-10525	300	300	2P	2P	1	100'	FIBER
	A2	840 LTE	Kathrein 840-10525	80	100	2P	2P	2	100'	FIBER
	A3	1900 UMTS	Kathrein 840-10525	80	80	2P	2P	2	100'	7/8"
	A4									
Beta	B1	850 LTE	ERICSSON 6' AIR B4A/BSP/B12P	220	220	3P	3P	1	98.4'	FIBER
	B2	850 LTE	DCI HPA-65R-BUU-H6-K	220	220	3P	3P	1	98.4'	FIBER
	B3	1900 UMTS	DCI HPA-65R-BUU-H6-K	220	220	3P	3P	2	97'	7/8"
	B4	1900 UMTS	QUINTEL QS6658-3	220	220	3P	3P	1	98.4'	FIBER
Gamma	C1	850 LTE	ERICSSON 6' AIR B4A/BSP/B12P	300	300	3P	3P	1	98.4'	FIBER
	C2	850 LTE	DCI HPA-65R-BUU-H6-K	300	300	3P	3P	1	98.4'	FIBER
	C3	1900 UMTS	DCI HPA-65R-BUU-H6-K	300	300	3P	3P	2	97'	7/8"
	C4	FUTURE	QUINTEL QS6658-3	300	300	3P	3P	1	97'	7/8"

**LEGEND:**



AZIMUTH			
	A/X	B/Y	C/Z
GSM/UMTS	80°	220°	300°
LTE	100°	220°	300°

**NOTES:**

- ALL NEW CONNECTORS ARE "DIN" UNLESS NOTED OTHERWISE.
- DUPLEXERS AND/OR DIPLEXERS AND MOUNTING HARDWARE (1 CLAMPS) SHALL BE SUPPLIED BY CONTRACTOR AND INSTALLED BY THE SUBCONTRACTOR.
- TMA FOR THE GSM 1900 AND UMTS SHALL BE SUPPLIED BY ERICSSON AND INSTALLED BY THE SUBCONTRACTOR IF REQUIRED.
- SOME OF THE SITES HAVE EXISTING FILTERS, LNA AND RF COUPLERS IN THE TDMA, 850 MHz SYSTEMS. THESE DEVICES ARE TO REMAIN IN THE RF SIGNAL PATH AND BE KEPT DOWNSTREAM OF THE NEW DIPLEXERS.
- SUBCONTRACTOR SHALL PROVIDE COLOR CODING ON ALL COAXIAL CABLES AND JUMPERS CONNECTING TO ERICSSON CABINETS. COLOR CODING SHALL BE IN ACCORDANCE WITH "CABLE MAKING COLOR CONVENTION TABLE" PER AT&T/LOS ANGELES MARKET STANDARDS.
- SUBCONTRACTOR SHALL PROVIDE AND INSTALL CABLE TAGS ONLY FOR THE RF JUMPERS CONNECTED TO ERICSSON CABINETS. THE TAG WILL INDICATE THE GSM SYSTEM, THE SECTOR AND THE TX/RX DESIGNATOR, AS APPLICABLE. PERMANENT TAG WILL BE STAMPED STEEL TAGS OR EQUIVALENT.
- TMA'S ARE TO BE PIPE MOUNTED BEHIND ANTENNA. TMA MAY REQUIRE A TEMPORARY LOCATION DURING ANTENNA SWAP (2 BEHIND GSM AND 2 BEHIND UMTS).
- ALL THE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL FOR SAFETY AND PROTECTION.
- COAXIAL CABLES SHALL BE PROTECTED FROM DAMAGE AND THE RADIUS SHALL NOT BE LESS THAN THE MINIMUM BEND RADIUS SPECIFIED BY CABLE MANUFACTURER.
- SUBCONTRACTOR TO PLACE 50 OHM, 1 WATT LOADS ON OPEN, UNUSED DIPLEXER OR ANTENNA PORTS, AS WELL AS NON-TERMINATED CABLES.
- DC CABLES FROM RRU TO EQUIPMENT LOCATION NOT SHOWN FOR CLARITY.



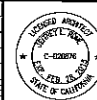
12900 PARK PLAZA DRIVE  
CERRITOS, CALIFORNIA 90703



Jeffrey Rome & Associates, Inc.  
Architecture & Telecommunications  
1 San Joaquin Plaza, Suite 250  
Newport Beach, California 92660  
Phone: (949) 760-5928  
Fax: (949) 760-5931

BEST WESTERN BAYSHORES INN  
SITE NO. LA3090  
USD: 24430  
1800 WEST BALBOA BOULEVARD  
NEWPORT BEACH, CALIFORNIA 92660

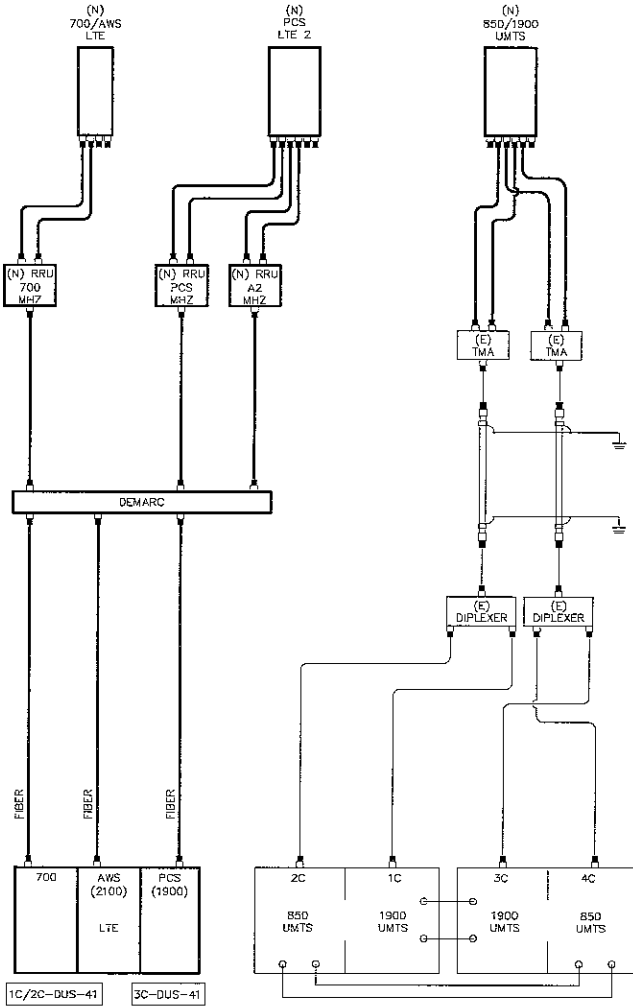
NO.	DATE	REVISIONS	BY	CHK	APP'D
A	05/20/13	ISSUED FOR DIM REVIEW	MB	RM	JR
SCALE: AS SHOWN			DESIGNED:	DRAWN:	



LTE PROJECT (OPTIMUM)  
ANTENNA CONFIGURATION

25471-610-TE	LA-LA3090-ED3
--------------	---------------

© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Home and Associates, Inc. under an agreement with AMT. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Home and Associates.



ANTENNA CONFIGURATION SECTOR A  
SECTOR X

BILL OF MATERIALS	
PARTS LIST	QUANTITY
1. ANTENNA: (ERICSSON 6' AIR B4A/B5P/B12P)	(2) EA.
1A. ANTENNA: (QUINTEL QS6658-3)	(2) EA.
1B. ANTENNA: (CGI HPA-65R-BUU-H6-K)	(4) EA.
1C. ANTENNA: (KATHREIN B4D-10525)	(3) EA.
2. RRU-11 (PCS)	(9) EA.
2A. RRU-A2	(3) EA.
3. DC2-48-60-0-9E	N/A
4. DC6-48-60-18-8F	(3) EA.
5. FC12-PC6-10E	N/A
6. DC12-48-60-RM	N/A
7. TMA	N/A
8. 1/2"Ø PRE-CONNECTORIZED JUMPER	(18) EA.
9. 7/8"Ø COAX: AVA5-50	N/A
10. FEEDER CONNECTOR: ALSDF-PS	N/A

**LEGEND:**

- (E) EXISTING
- EXISTING JUMPER TO REMAIN
- - - EXISTING JUMPER TO BE REMOVED
- NEW JUMPER
- NEW EQUIPMENT
- EXISTING EQUIPMENT
- ▬ NEW COAX CABLE
- ▬ EXISTING COAX CABLE
- ▭ FUTURE EQUIPMENT/JUMPERS

	AZIMUTH		
	A/X	B/Y	C/Z
GSM/UMTS	80°	220°	300°
LTE	100°	220°	300°

- NOTES:**
- ALL NEW CONNECTORS ARE "DIN" UNLESS NOTED OTHERWISE.
  - DIPLEXERS AND/OR DIPLEXERS AND MOUNTING HARDWARE (3 CLAMPS) SHALL BE SUPPLIED BY CONTRACTOR AND INSTALLED BY THE SUBCONTRACTOR.
  - TMA FOR THE GSM 1900 AND UMTS SHALL BE SUPPLIED BY ERICSSON AND INSTALLED BY THE SUBCONTRACTOR IF REQUIRED.
  - SOME OF THE SITES HAVE EXISTING FILTERS, LNA AND RF COUPLERS IN THE TMA, 850 MHZ SYSTEMS. THESE DEVICES ARE TO REMAIN IN THE RF SIGNAL PATH AND BE KEPT DOWNSTREAM OF THE NEW DIPLEXERS.
  - SUBCONTRACTOR SHALL PROVIDE COLOR CODING ON ALL COAXIAL CABLES AND JUMPERS CONNECTING TO ERICSSON CABINETS. COLOR CODING SHALL BE IN ACCORDANCE WITH "CABLE MAKING COLOR CONVENTION TABLE" PER AT&T/LOS ANGELES MARKET STANDARDS.
  - SUBCONTRACTOR SHALL PROVIDE AND INSTALL CABLE TAGS ONLY FOR THE RF JUMPERS CONNECTED TO ERICSSON CABINETS. THE TAG WILL INDICATE THE GSM SYSTEM, THE SECTOR AND THE TX/RX DESIGNATOR, AS APPLICABLE. PERMANENT TAG WILL BE STAMPED STEEL TAGS OR EQUIVALENT.
  - TMA's ARE TO BE PIPE MOUNTED BEHIND ANTENNA, TMA MAY REQUIRE A TEMPORARY LOCATION DURING ANTENNA SWAP (2 BEHIND GSM AND 2 BEHIND UMTS).
  - ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL FOR SAFETY AND PROTECTION.
  - COAXIAL CABLES SHALL BE PROTECTED FROM DAMAGE AND THE RADIUS SHALL NOT BE LESS THAN THE MINIMUM BEND RADIUS SPECIFIED BY CABLE MANUFACTURER.
  - SUBCONTRACTOR TO PLACE 50 OHM 1 WATT LOADS ON OPEN, UNUSED DIPLEXER OR ANTENNA PORTS, AS WELL AS NON-TERMINATED CABLES.
  - DC CABLES FROM RRU TO EQUIPMENT LOCATION NOT SHOWN FOR CLARITY.



BEST WESTERN BAYSHORES INN  
SITE NO. LA3090  
USID: 24430  
1800 WEST BALBOA BOULEVARD  
NEWPORT BEACH, CALIFORNIA 92660

NO.	DATE	REVISIONS	BY	CHK APP'D	DATE OF CHANGE
1	05/20/13	ISSUED FOR DRG REVIEW	MB	TRN	JR

SCALE: AS SHOWN    DESIGNED:    DRAWING:



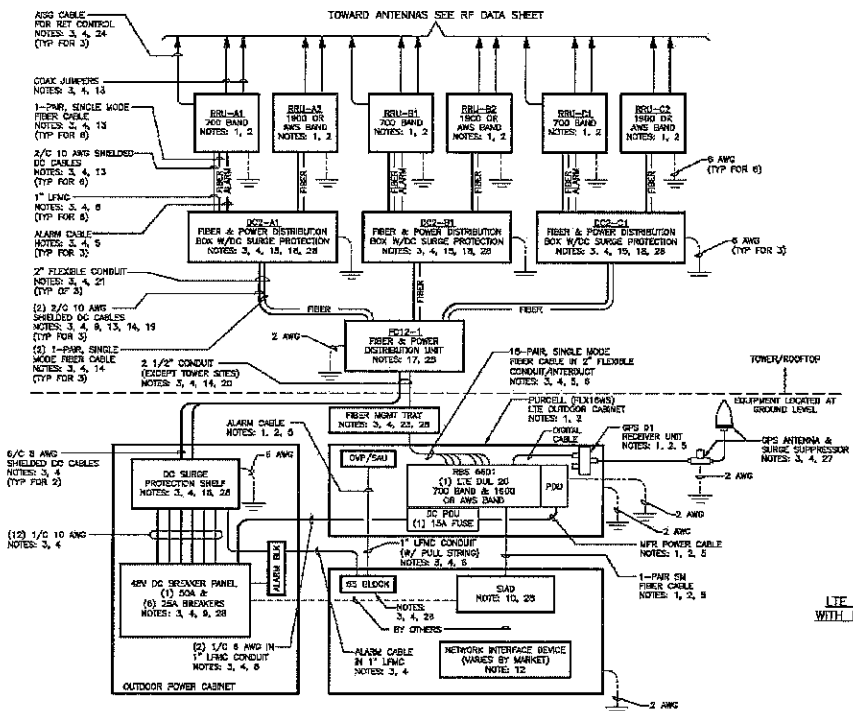
at&t Mobility

**LTE PROJECT (OPTIMUM) ANTENNA CONFIGURATION**

DRAWING NUMBER: 25471-610-TE  
LA-LA3090-ED4

REV: A

© 2007 AT&T Mobility, Inc. This document was created by Jeffrey Rome and Associates, Inc. under an agreement with AT&T. No part of this document may be reproduced or used in any form except with the written permission of AT&T or Jeffrey Rome and Associates.



- NOTES:**
1. FURNISHED BY OEM/MKT.
  2. INSTALLED BY OEM OR AS SCOOPED BY MARKET.
  3. FURNISHED BY OEM/MKT.
  4. INSTALLED BY OEM/MKT.
  5. FINAL CONNECTION BY OEM OR AS SCOOPED BY MARKET.
  6. ENCL TO BE PROVIDED BY DC.
  7. SELECTED
  8. SELECTED
  9. BREAKERS TO BE TAGGED AND LOCKED OUT. A 20A (MIN.) OR 30A (MAX.) BREAKER MAY BE SUBSTITUTED FOR THE RECOMMENDED 25A BREAKER. SIZE 12 CONDUCTORS MAY BE USED ONLY WITH 20A BREAKERS.
  10. SMD IS FURNISHED AND INSTALLED BY OTHERS AND INCLUDES POWER CONNECTIONS AND FIBER TO THE UNIT OR AS SCOOPED BY MARKET. PRIOR TO INSTALLATION, INSTALL TO AND CHANGE GROUND. PROVIDE (2) 10A BREAKERS FROM A 24V DC POWER SOURCE OR (2) 5A BREAKERS FROM A 48V DC POWER SOURCE AND CONNECT LEADS WITH POWER CABLE WITH SPECIAL CONNECTOR.
  11. SELECTED
  12. USED TO FURNISH AND INSTALL NETWORK INTERFACE DEVICE.
  13. OEM/MKT GO TO MAKE MEASUREMENTS PRIOR TO INSTALLATION FOR APPROPRIATE CABLE LENGTHS.
  14. DC AND FIBER CABLE SHALL BE ROUTED WITH THE EXISTING COAX CABLES.
  15. FIBER AND POWER DISTRIBUTION BOX W/48V DC SURGE SHALL BE RAYCAP MODEL 104-18-18-0-15.
  16. DC SURGE PROTECTION SHELF SHALL BE RAYCAP DCS-46-60-RM. SEE DETAIL 1409 FOR INTERNAL WIRING DIAGRAM.
  17. FIBER AND POWER DISTRIBUTION BOX SHALL BE RAYCAP F012-PCB-10E. SEE DETAIL 1417 FOR INTERNAL WIRING DIAGRAM.
  18. SEE DETAIL 1411 FOR INTERNAL WIRING DIAGRAM.
  19. SEE DETAIL 1408 FOR DC POWER CABLE SIZES.
  20. SUPPORT FIBER & DC POWER CABLES WITH SNAP-IN HANGERS SPACED NO GREATER THAN 3 FEET APART ON TOWER.
  21. CONDUIT TO BE USED ON A SELF SUPPORT TOWER IF THE RRU IS MORE THAN 10' FROM THE DISTRIBUTION UNIT.
  22. SINGLE-CONDUCTOR DC POWER CABLES SHALL BE TELECOR® OR K234194\*. COPPER, UL LISTED #818 NON-HALOGEN, LOW SMOKE WITH BRAIDED CONDUIT, TYPE TC (7/8 AND LARGER), UNLESS OTHERWISE NOTED. STRANDING SHALL BE CLASS B (TYPE II) FOR CABLES SIZES 14, 12 & 10 AWG AND CLASS I (TYPE IV) FOR SIZES 8 AWG AND LARGER. CABLES SHALL BE COLOR CODED RED FOR +24V, BLUE FOR -48V AND GRAY FOR 24V AND 48V RETURN CONDUCTORS. MULTI-CONDUCTOR DC POWER CABLES SHALL BE COPPER, CLASS B STRANDING WITH FLAME RESISTANT PVC JACKET, TYPE TC, UL LISTED FOR 90°C DRY/75°C WET INSTALLATION. FIBER MANAGEMENT TRAY MAY BE INSTALLED IN PURSUEL CABINET AS SITE CONDITIONS ALLOW.
  23. NET CONTROL FROM THE RRU IS AN OPTIONAL METHOD OF CONNECTION. REFER TO RF DATA SHEET FOR APPLICABILITY.
  24. GROUNDING WIRES SHALL BE COPPER, GREEN THIN/TANN UL LISTED FOR 90°C DRY/75°C WET INSTALLATION. HANGERS SEE IS 8 AWG UNLESS NOTED OTHERWISE.
  25. SEE DETAIL 1150A FOR ALARM CABLE REQUIREMENTS.
  26. SEE DETAIL 1005A FOR GPS ANTENNA AND SURGE SUPPRESSOR COAXIAL CABLE CONNECTION.
  27. NOTED EQUIPMENT MAY BE COMMON TO LTE AND UITS SYSTEMS. REFER TO UITS SYSTEM DIAGRAM IF APPLICABLE.

LTE SYSTEM DIAGRAM, TOWER/ROOFTOP SITE WITH ERICSSON OUTDOOR BASEBAND ON GRADE AND RRU'S ON TOWER/ROOFTOP

DETAIL 14010  
N/A

SYSTEM DIAGRAM, TOWER/ROOFTOP SITE WITH OUTDOOR BASE BAND ON GRADE AND RRU'S ON TOWER/ROOFTOP

SCALE: NONE 1



12900 PARK PLAZA DRIVE  
CERRITOS, CALIFORNIA 94703

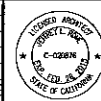


Jeffrey Rome & Associates, Inc.  
Architecture & Telecommunications  
1500 Juelich Plaza, Suite 250  
Newport Beach, California 92660  
Phone: (949) 762-3928  
Fax: (949) 762-3921

BEST WESTERN BAYSHORES INN  
SITE NO. LA3090  
USID: 24430  
1800 WEST BALBOA BOULEVARD  
NEWPORT BEACH, CALIFORNIA 92660

NO.	DATE	REVISIONS	MB	FR	JR
A	03/20/13	ISSUED FOR O&M REVIEW			

SCALE: AS SHOWN      DESIGNED:      DRAWN:



LTE PROJECT (OPTIMUM)  
LTE SCHEMATIC DIAGRAM

DRAWING NUMBER	REV
LA-LA3090-E05	A

25471-610-TE



## COMMUNITY DEVELOPMENT DEPARTMENT

### PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915

(949) 644-3200 Fax: (949) 644-3229

[www.newportbeachca.gov](http://www.newportbeachca.gov)

## **REQUEST FOR EXTENSION**

April 3, 2014

LJ Soapes  
16350 Gothard Street  
Huntington Beach, CA 92647  
[Ljs.adc@gmail.com](mailto:Ljs.adc@gmail.com)

RE: PA2013-052 for Extension of Limited Term Permit XP2013-001  
2727 Newport Boulevard Jack's Surfboards

Dear Ms. Soapes:

This notice acknowledges your request to extend the effectiveness of Limited Term Permit No. XP2013-001 as approved by the Zoning Administrator on May 30, 2013, effective June 14, 2013 for a period of 12 months to allow outdoor sales of store merchandise within three parking spaces of the on-site parking lot in front of the Jack's Surfboards/Jack's Girls location.

Per Condition No. 3 of Resolution No. ZA2013-028 the Limited Term Permit would have expired in August 2014, but pursuant to Section 20.54.060 it has been extended for one additional period of 12 months. Consistent with Condition No. 3, the outdoor sales shall be limited to nine times throughout a 12 month period beginning with the date of the first sale requested during August 2014. Each sale may last up to 4 consecutive days, with the exception of the sale requested during December 2014, which may last up to 5 consecutive days and provided the number of sale days does not exceed 30 within the 12 month period. The dates requested by the applicant and approved with this extension are as follows: 2014 - August 7, 8, 9; 10 August 14, 15, 16; 17 August 29, 30, 31 September 1, November 28, 29, 30 December 19, 20, 21, 22, 23, December 26, 27, 28, 29, 2015 – April 4, 5, July 2, 3, 4, 5. Any changes to the dates specified shall require that the City be notified in advance. Additionally, all conditions of approval found in Resolution No. ZA2013-028 remain in effect.

On behalf of Kimberly Brandt, Community Development Director

By:



Melinda Whelan  
Assistant Planner

Attachments:  
Resolution No. ZA 2013-028

## RESOLUTION NO. ZA2013-028

### **A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING LIMITED TERM PERMIT NO XP2013-001 FOR OUTDOOR SALES FOR JACK'S SURFBOARDS/JACK'S GIRLS LOCATED AT 2727 NEWPORT BOULEVARD (PA2013-052).**

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Jack's Surfboards, with respect to property located at 2727 Newport Boulevard, and legally described as Lake Tract, Lot 4 Block 127, and Lots 5 to 14 including portion of Lots 2/3 lying northerly of 26<sup>th</sup> Street, and all -except street-Lots 15 to 19 including all in Block 127, Tract 418, requesting approval of a Limited Term Permit for a period of 12 months to allow outdoor sales of store merchandise within three parking spaces of the on-site parking lot in front of the Jack's Surfboards/Jack's Girls location. The outdoor sales may take place on various dates, up to nine times throughout a 12 month period beginning with the date of the first sale during August 2013. Each sale may last up to 4 consecutive days, with the exception of the sale occurring in December, which may last up to 5 consecutive days.
2. The subject property is located within the Commercial Visitor-Serving (CV) Zoning District and the General Plan Land Use Element category is Visitor Serving Commercial (CV).
3. The subject property is located within the coastal zone. The Coastal Land Use Plan Category is Visitor Serving Commercial (CV-A 0.00- 0.75 FAR).
4. A public hearing was held on May 30, 2013, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

#### SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project has been determined to be categorically exempt under the requirements of the California Environmental Quality Act under Class Section 15304, of the California Environmental Quality Act (CEQA) Guidelines - Class 4 (Minor Alterations to Land), which exempts minor temporary uses of land having negligible or no permanent effects on the environment.
2. This project qualifies for this exemption because there will be no permanent improvements to the site. The two canvas canopies and temporary significant (water-filled or similar) barricades permitted to delineate the temporary sales area within three

parking spaces of the on-site parking lot during the sales are conditioned to be removed at the end of each sale.

### SECTION 3. REQUIRED FINDINGS.

In accordance with Section 20.52.040.G (Findings and Decision) of the Newport Beach Municipal Code, the following findings and facts in support of the findings for a Limited Term Permit are set forth:

#### Finding:

*A. The operation of the requested limited duration use at the location proposed and within the time period specified would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the requested limited duration.*

#### Facts in Support of Finding:

1. The limited term permit will allow outdoor sales, which will be limited to nine times throughout a 12 month period beginning with the date of the first sale during August 2013. Each sale may last up to 4 consecutive days, with the exception of the outdoor sale occurring in December, which may last up to 5 consecutive days.
2. The outdoor sales will be limited to the sale of typical store merchandise and will be conducted in conjunction with the normal hours of operation of Jack's Surfboards/Jack's Girls, typically from 8:00 a.m. to 9:00 p.m.
3. Set-up for each sale day will occur prior to opening of the store, and all unsold merchandise will be removed from the outdoor sales area at the end of each sale day.
4. The outdoor sales area will be limited to a maximum of three parking spaces located adjacent to the Jack's Surfboards/Jack's Girls storefront. Portable canopies (approximately 10 feet by 10 feet) may be erected within the three parking spaces. As conditioned, no ADA parking spaces will be utilized as part of the outdoor sales area.
5. In order to enhance patron safety from vehicular traffic, the applicant has provided and the City Traffic Engineer has approved, a plan illustrating the placement of significant barricades around the perimeter of the outdoor sales area to delineate it from the adjacent parking spaces and drive aisles.
6. Similar outdoor sales for Jack's Surfboards, as conditioned and in the same location within the adjacent parking area, have been conducted in the past with approval of the City and have not proven to be detrimental.

Finding:

*B. The subject lot is adequate in size and shape to accommodate the limited duration use without material detriment to the use and enjoyment of other properties located adjacent to and in the vicinity of the lot.*

Facts in Support of Finding:

1. The subject site is a commercial property, which is .94 acre in size and developed with two detached buildings occupied by various retail and service uses. Jack's Surfboards/Jack's Girls are retail sales stores which occupy most of the square footage of the larger of the two detached buildings, which is located within the southerly portion of the site.
2. The outdoor sales will be conducted within three parking spaces located directly in front of Jack's Surfboards/Jack's Girls storefront. Based upon the site plan, the use of the three parking spaces will not impede traffic circulation on the site, nor will it negatively impact the required parking for other uses on the site. As conditioned, no ADA parking spaces will be utilized as part of the outdoor sales area.
3. The subject site is bounded by Newport Boulevard to the east and Balboa Boulevard to the west, 28<sup>th</sup> Street to the north, and 26<sup>th</sup> Street to the south. The adjacent rights-of-way (Newport Boulevard and Balboa Boulevard) serve as buffers between the nearby residential properties within the R-2 (Two-Unit Residential) Zoning District.

Finding:

*C. The subject lot is adequately served by streets or highways having sufficient width and improvements to accommodate the kind and quantity of traffic that the limited duration use would or could reasonably be expected to generate.*

Facts in Support of Finding:

1. The subject site has two direct driveway approaches, one from Newport Boulevard on the easterly side of the site and one from Balboa Boulevard on the westerly side. The location of the outdoor sales area will not impede access to the site, and no traffic issues resulting from the outdoor sales are anticipated.

Finding:

*D. Adequate temporary parking to accommodate vehicular traffic to be generated by the limited duration use would be available either on-site or at alternate locations acceptable to the Zoning Administrator.*



Facts in Support of Finding:

1. As conditioned, a maximum of three parking spaces (86 parking spaces on site) will be utilized for the outdoor sales area, and no ADA parking spaces will be utilized as part of the outdoor sales area.
2. It is anticipated that, in addition to customers whose destination would be Jack's Surfboards/Jack's Girls, the outdoor sales could attract both pedestrian and vehicular customers of other uses on the site as well as in the surrounding area.
3. Per City Code Enforcement records, previous outdoor sales conducted with approval of a use permit by the City and conditioned similarly to this permit have not negatively impacted the parking for neighboring uses on the subject site.

Finding:

*E. The limited duration use is consistent with all applicable provisions of the General Plan, any applicable specific plan, Municipal Code, and other City regulations.*

Facts in Support of Finding:

1. The General Plan Land Use Element category for the site is CV (Commercial Visitor-Serving). The CV designation is intended to provide for accommodations, goods, and services intended to primarily serve visitors to the City. The proposed use is accessory to the existing retail use, will be utilized for a limited duration on-site, and will not impede use of the site consistent with the CV designation.
2. The site is located in the CV (Commercial Visitor-Serving) Zoning District. The CV zoning designation is intended to provide for areas appropriate for accommodations, goods, and services intended to serve primarily visitors to the City. The proposed use is accessory to the existing retail use, will be utilized for a limited duration on-site, and will not impede use of the site consistent with the CV designation. The CV zoning district allows temporary uses as specified within the Zoning Code and the proposed limited duration use is consistent with this designation.
3. The site is not located within a specific plan area.

## SECTION 4. DECISION.

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby approves XP2013-001, subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.

2. Limited Term Permit applications do not become effective until 14 days following the date of action. Prior to the effective date, the applicant or any interested party may appeal the decision of the Zoning Administrator to the Planning Commission by submitting a written appeal application to the Community Development Director. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

**PASSED, APPROVED AND ADOPTED THIS 30th DAY OF MAY, 2013.**



---

Brenda Wisneski, AICP, Zoning Administrator

**EXHIBIT "A"****CONDITIONS OF APPROVAL**

1. The development shall be in substantial conformance with the approved site plan except as noted in the following conditions.
2. Anything not specifically approved by this limited term permit is prohibited and must be addressed by a separate and subsequent review.
3. The outdoor sales shall be limited to nine times throughout a 12 month period beginning with the date of the first sale requested during August 2013. Each sale may last up to 4 consecutive days, with the exception of the sale requested during December 2013, which may last up to 5 consecutive days and provided the number of sale days does not exceed 30 within the 12 month period. The dates requested by the applicant and approved with this permit are as follows: 2013 - August 9, 10, 11; August 16, 17, 18; August 30, 31, September 1, 2; November 29, 30, December 1; December 20, 21, 22, 23, 24; 2014 – April 17, 18, 19, 20; June 12, 13, 14, 15; July 3, 4, 5, 6. Any changes to the dates specified shall require that the City be notified in advance.
4. To request a change to the sale dates approved with this Limited Term Permit, the applicant shall submit a letter to the Community Development Director requesting the change at least one week prior to the new date.
5. This Limited Term Permit shall expire 12 months from the date of the first sale requested in August 2013, unless an extension of up to one additional period of 12 months is granted by the Zoning Administrator in compliance with Section 20.54.060 (Time Limits and Extensions) of the Zoning Code. A letter requesting the extension shall be submitted to the Planning Division no later than 30 days prior to the expiration date of this permit.
6. The Limited Term Permit shall be limited to outdoor sales of merchandise associated with Jack's Surfboards/Jack's Girls only and does not permit the outdoor sales as an independent use. The sale of snacks, food and beverages shall be prohibited.
7. The outdoor sales shall take place in conjunction with the normal hours of operation of Jack's Surfboards/Jack's Girls, typically from 8:00 a.m. to 9:00 p.m. Set-up for the sale shall occur before the store opens. All areas shall be kept clean throughout the day. Any unsold merchandise and any related items shall be removed from the outdoor sales area at the end of each day by 10 p.m. The significant (water-filled or similar) barricades may remain until the end of the last date of each sale.
8. The outdoor sales area shall occupy no more than three parking spaces located directly in front of the Jack's Surfboards storefront as shown on the approved plot plan (approximately 20 feet by 10 feet = 200 square feet) and shall not extend into the public right-of-way. No ADA parking spaces shall be utilized as part of the outdoor sales area.

9. The outdoor sales area shall be separated from the adjacent building by a minimum of 20 feet.
10. No activities related to the outdoor sales are permitted on public property including any portion of a public street or public sidewalk.
11. The outdoor sales shall not create a pedestrian or traffic hazard. The sales area shall be surrounded by significant barricades (i.e. water-filled barricades or other barricades approved by the Planning Division and Public Works Department) to delineate the sales area and provide patron safety from adjacent vehicular traffic.
12. Any change to the approved plot plan/site plan delineating the location of the outdoor sales area, barricade locations, and barricade type shall be reviewed and approved by the Planning Division and City Traffic Engineer prior to the sale date and shall be submitted to the Planning Division to include in the project file.
13. The sales area shall be signed to clearly identify that the area is closed for vehicular parking.
14. No posting of promotional signs is permitted on any portion of public property, including trees, utility poles, street signs, etc. All signage located on-site shall comply with Chapter 20.42 (Sign Standards) of the Zoning Code.
15. No amplified sound is permitted.
16. No smoking or open flames are permitted inside the canopies.
17. The sales area and vicinity will be kept clean at all times.
18. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Jack's Surfboards/Jack's Girls Outdoor Sales** including, but not limited to, the **XP2013-001 (PA2013-052)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.