



**CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

FROM: Kimberly Brandt, Community Development Director
Brenda Wisneski, Deputy Community Development Director

SUBJECT: Report of actions taken by the Zoning Administrator, and/or Planning Division staff for the week ending April 24, 2015

**ACTION TAKEN BY THE CHIEF OF POLICE
(Non-Hearing Item)**

Item 1: Aqua Lounge Operator License No. OL2015-002 (PA2015-008)
690 Newport Center Drive

Action: Approved Council District 5

**COMMUNITY DEVELOPMENT DIRECTOR
OR PLANNING DIVISION STAFF ACTIONS
(Non-Hearing Item)**

Item 1: Hoag Hospital Comprehensive Sign Program No. CS2015-003 (PA2015-034)
330 Placentia

Action: Approved Council District 2

APPEAL PERIOD: An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

Wendy Joe, Civilian Investigator, NBPD (*Massage Therapy – ABC License*)
Det. Randy Parker & Det. Dave Mock, NBPD (*ABC License*)
Sgt. Brad Miller, NBPD (*Massage Therapy - ABC License*)



OPERATOR LICENSE APPROVAL LETTER

POLICE DEPARTMENT
870 SANTA BARBARA DRIVE
NEWPORT BEACH, CA 92660
(949) 644-3681 FAX (949) 644-3794
www.nbpd.org

VIA EMAIL

April 22, 2015

Rick A. Blake & Associates
Attn: Michael Ayaz
2107 N. Broadway #106
Santa Ana, CA 92706
mike@rablake.com

Application No.	Operator License No. OL2015-002 (PA2015-008)
Owner/Applicant	The Irvine Company
Location/Business Name	Aqua Lounge Operator License
Site Address	690 Newport Center Drive
LEGAL DESCRIPTION	Parcel 3 of Lot Line Adjustment No. 2011-001, in the City of Newport Beach, County of Orange, State of California, recorded January 31, 2012, as Instrument No. 20120000574252 of Official Records, in said office of the County Recorder.

On **April 22, 2015**, the Chief of Police approved the following: An operator license to allow The Irvine Company to operate an existing lounge, Aqua Lounge, within the Island Hotel. The lounge operates with late hours, a Type 47 (On Sale General) ABC alcohol license, live entertainment in the form of a disc jockey, and outdoor patio areas. The Operator License is required due to modifications to the lounge that increased the allowed maximum occupant capacity. In accordance with Staff Approval No. SA2014-021 (PA2014-148), the lounge modifications are in substantial conformance with Use Permit No. UP3631.

REQUIRED FINDINGS

The Chief of Police has made the following findings as required by NBMC 5.25.050 (Issuance of License-Criteria and Findings):

Finding:

1. *The business or enterprise is located in a zone permitting the proposed use under Title 20 of the NBMC, and is subject to such use permits as may be required.*

Facts in Support of Finding:

1. Use Permit No. 3631 was approved by the Planning Commission on June 22, 1998. Under this approval, up to 425 rooms were permitted for the hotel and its ancillary uses including a ballroom, meeting rooms, health club/spa, a wedding garden, and pool. At this time, the existing hotel included a 5,449-square-foot restaurant, lounge-bar, and a 200-square-foot pool bar.
2. Tenant improvements to the existing hotel lounge were approved in 2014. However, an operator license is required due to the resulting increase in occupancy from 223 to 254 persons within the lounge. Additionally, two outdoor patio areas have been added to the hotel lounge operation further increasing the occupancy.

Finding:

2. *In the case of a business or enterprise offering "Entertainment," as defined, the premises meets all of the criteria in Chapter 5.28.040.B.2-7.*

Facts in Support of Finding:

1. A manager will be present on-site at all times when entertainment is performed at the establishment. Entertainment is provided in the form of a single violinist in the daytime or a disc jockey from 9:00 p.m. to 1:00 a.m. on Thursday, Friday and Saturday evenings.
2. Security personnel (a minimum of 1 per 50 persons) will be present when live entertainment in the form of a disc jockey or other amplified music is provided. The need for security personnel has been reviewed by the Police Department and is waived during other operating hours.
3. The establishment complies with the additional regulations per Section 5.28.041(Additional Regulations) of the Municipal Code.
4. Sufficient sound attenuation is provided within the establishment to minimize noise impacts to other hotel guests within the Island Hotel.
5. Signage for the establishment complies with the provisions of Chapter 20.42 (Sign Standards) of the Newport Beach Municipal Code.
6. The entire interior portion of the viewing area where entertainment will occur is open and visible from aisles and public areas within the lounge.

Finding:

3. *The proposed site plan and improvements are consistent with the use and the plan of operations.*

Facts in Support of Finding:

1. A lounge has operated in this location since 1983. The hotel has operated with ancillary eating and drinking establishments in the past and demonstrated the location's capability of operating as a compatible use with other land uses in the vicinity.
2. The lounge floor plan accommodates 371 people and 177 seats including the outdoor patio areas. The Aqua Lounge includes an indoor lounge and adjacent patio that provides 130 seats and a 254 person occupant capacity. The nearby deck and fire pit includes 47 seats and a 117 person occupant capacity.
3. The plans are consistent with the occupancy limits identified on the tenant improvement plans under Plan Check No. 2422-2013.

Finding:

4. *The plan of operations as proposed, with attached conditions in place, is adequate in light of the neighborhood in which the operation is located and supports the public health, safety, and welfare of the community.*

Facts in Support of Finding:

1. Security personnel at the entrance will be responsible for regulating the loitering, noise, elicit activity, and other objectionable conditions that may occur outside of the lounge. A detailed security plan has been prepared where one security host will be provided for every 50 guests during times in which live entertainment in the form of a disc jockey or other amplified music is provided. A map of security posts is provided as part of the security plan. Security personnel will re-locate towards the valet areas at the end of the evening to supervise and patrol valet drop-off area and control loitering, noise, elicit activity, and other objectionable conditions that may occur on the property.
3. The operator license has been conditioned to require that security personnel with barriers be posted at the entrances to the exterior patio areas to track hotel guests and lounge patrons entering and exiting the premises in order to maintain maximum occupancy limits.
4. The business will be required to comply with the hours of operation as specified in the conditions of approval for the operator license.
5. The operator license has been conditioned to require the applicant to work diligently with the City if any parking or circulation issues occur on-site.

CONDITIONS OF APPROVAL

In no case shall the conditions be inconsistent with, or less restrictive than, those required by any applicable use permit. The following operational conditions are reiterated from the Use Permit and the applicant shall comply with the conditions of approval of Use Permit No. UP3631:

1. That development shall be in substantial conformance with the approved site plan, floor plan, and elevations, except as noted below. (UP3631, Condition No. 1)
2. That a valet operations plan shall be reviewed and approved by the City Traffic Engineer. (UP3631, Condition No. 6)
3. That all trash areas shall be screened from adjoining properties and streets. (UP3631, Condition No. 7)
4. That the Planning Commission may add to or modify conditions of approval to this Use Permit or recommend to the City Council the revocation of this Use Permit, upon a determination that the operation which is the subject of this Use permit, causes injury, or is detrimental to the health, safety, peace, morals, comfort, or general welfare of the community. (UP3631, Condition No. 9)
5. That the project shall comply with State Disabled Access requirements. (UP3631, Standard Requirement No. 1)
6. That all improvements be constructed as required by Ordinance and the Public Works Department. (UP3631, Standard Requirement No. 2)
7. That the on-site parking, vehicular circulation and pedestrian circulation systems be subject to further review by the City Traffic Engineer. (UP3631, Standard Requirement No. 7)

The Chief of Police has attached additional conditions and requirements to the license. In no case shall the conditions be inconsistent with, or less restrictive than, those required by any applicable use permit.

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval. (Except as modified by applicable conditions of approval.)
2. The type of alcoholic beverage license issued by the California Board of Alcoholic Beverage Control (ABC) shall be a Type 47 (On Sale General) in conjunction with the service of food.

3. The alcoholic beverage sales for the purpose of on-site consumption shall be limited to the designated areas indicated on the floor plan submitted with the application.
4. The hours of operation for the Aqua Lounge shall be limited from 6:00 a.m. through 1:00 a.m., daily. Last call for alcohol shall not occur after 12:30 a.m., daily.
5. A manager will be present on-site at all times when entertainment is performed at the establishment. Live entertainment in the form of a disc jockey or other amplified music shall be limited from 9:00 p.m. to 1:00 a.m., Thursdays, Fridays, and Saturdays. A single violinist or other non-amplified single-instrument musician shall be permitted during other operating hours within the lounge area.
6. Strict adherence to maximum occupancy limits is required: 254 person occupant capacity within the indoor lounge and adjacent patio, and an additional 117 person occupant capacity in the nearby deck and fire pit. Security personnel with barriers shall be posted at the entrances to the exterior patio areas to track hotel guests and lounge patrons entering and exiting the premises in order to maintain maximum occupancy limits.
7. The applicant shall provide licensed security personnel. Prior to implementation of this Operator's License, a comprehensive security plan for the permitted uses was submitted to the Newport Beach Police Department for review and approval. Any changes to the comprehensive security plan shall first be subject to the review and approval of the Newport Beach Police Department. The procedures included in the plan and any recommendations made by the Police Department shall be implemented and adhered to for the life of the Operator's License.
8. Food service from the regular menu must be available to patrons up to thirty (30) minutes before the scheduled closing time.
9. No alcoholic beverages shall be consumed on any property adjacent to the licensed premises under the control of the license.
10. No reduced price alcoholic beverage promotion shall be allowed except when offered in conjunction with food ordered from the full service menu. There shall be no reduced price alcoholic beverage promotion after 9:00 p.m. or anytime in conjunction with live entertainment in the form of a disc jockey or other amplified music.
11. The quarterly gross sales of alcoholic beverages shall not exceed the gross sales of food during the same period. The license shall at all times maintain records, which reflect separately the gross sales of food and the gross sales of alcoholic beverages of the licensed business. These records shall be kept no less frequently than on a quarterly basis and shall be made available to the Police Department on demand.

12. Patrons of the Aqua Lounge are not permitted to remove alcohol from the Aqua Lounge area as shown in the attached security plans. Such prohibition would be mandated during the operation of the Aqua Lounge (Thursday, Friday, and Saturday) between the hours of 9:00 p.m. to 1:00 a.m.
13. There shall be no exterior advertising or signs of any kind or type including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Interior displays of alcoholic beverages or signs, which are clearly visible to the exterior, shall constitute a violation of this condition.
14. There shall be no on-site radio, television, video, film, or other electronic media broadcasts, including recordings to be broadcasted at a later time, which include the service of alcoholic beverages, without first obtaining an approved special event permit issued by the City of Newport Beach.
15. The operator shall take reasonable steps to discourage and correct objectionable conditions that constitute a nuisance in parking areas, sidewalks and areas surrounding the alcoholic beverage outlet and adjacent properties during business hours.
16. The exterior of the business shall be maintained free of litter and graffiti at all times. The owner or operator shall provide for daily removal of trash, litter debris and graffiti from the premises and on all abutting sidewalks within twenty (20) feet of the premises.
17. All owners, managers, and employees selling alcoholic beverages shall undergo and successfully complete a certified training program in responsible methods and skills for serving and selling alcoholic beverages.
18. For future licensees, operators or assignees, a new Operator License shall be required. Should the Alcoholic Beverage Control (ABC) license be transferred, any future license holders, operators or assignees shall be notified of the conditions of this approval by either the current licensee, business operator, or the leasing company.
19. The business shall comply with Title 20 (Zoning Code) and any other applicable provisions of the Newport Beach Municipal Code.
20. In accordance with Section 5.28.080 (Revocation, Suspension, or Modification of License for Cause), this Operator License may be modified or revoked by the Chief of Police should they determine that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.

21. Operator License No. OL2015-002 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.54.060 (Time Limits & Extensions) of the Newport Beach Municipal Code (NBMC), unless an extension is otherwise granted.
22. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Aqua Lounge at the Island Hotel including, but not limited to, the **Operator License No. OL2015-002 (PA2015-008) and Use Permit No. UP3631**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

OPERATOR LICENSE NONTRANSFERABLE

No operator license issued pursuant to this chapter shall be sold, transferred, or assigned by any license holder, or by operation of law, to any other person, group, partnership, corporation or any other entity, and any such sale, transfer or assignment, or attempted sale, transfer or assignment, shall be deemed to constitute a voluntary surrender of such license, and such license shall be, thereafter, null and void. A license held by an individual in a corporation or partnership is subject to the same rules of transferability as contained above. License shall be valid only for the exact location specified in the license.

PUBLIC NOTICE

Notice of this application was mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant and posted on the subject property at least 21 days prior to the decision date, consistent with the provisions of the Municipal Code.

APPEAL PERIOD

The determination of the Chief of Police to deny or to place conditions upon the approval of an operator license shall be appealable by the applicant or any interested party. Such appeal shall be made in writing to the City Manager, within fifteen (15) days of the

postmark date of the Chief of Police's notice of decision. For additional information on filing an appeal, contact the Planning Department at (949) 644-3200.

REVOCAION, SUSPENSION OR MODIFICATION OF LICENSE FOR CAUSE

The Chief of Police may commence a process to revoke, suspend or modify an operator license issued under the provisions of this chapter should there be reasonable suspicion of any of the following:

- A. The licensee has ceased to meet the requirements for issuance of license;
- B. The applicant gave materially false, fraudulent or misleading information within the application;
- C. Impacts emanating from the establishment for which the license was issued has substantially interfered with the peace and quiet of the neighborhood;
- D. The licensed business or activity has operated in violation of any of the requirements of this chapter, the license as issued, or any condition thereof. The Chief of Police shall notify the operator of the commencement of such revocation, suspension or modification process and shall conduct an investigation to determine if, and to what degree, one or more of the foregoing has occurred. Upon completion of the investigation, the Chief of Police may add, delete or modify the license conditions. The Chief of Police shall notify the applicant regarding the determination of the operator license, on the outcome of the investigation, and the action taken. The applicant or any interested party may appeal a determination or an added or modified condition of approval to City Manager in the manner set forth in Section 5.25.050(C) and (D).

By: _____



Jay R. Johnson
CHIEF OF POLICE

Attachments:

- PD 1 Planning Commission Resolution approving Use Permit No. 3631
- PD 2 Project Description and Narrative Justification
- PD 3 Security Plan
- PD 4 Project Plans

cc:

Irvine Company
Attn: John A. Doane
550 Newport Center Drive
Newport Beach, CA 92660



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915

(949) 644-3200 Fax: (949) 644-3229

www.newportbeachca.gov

ZONING ADMINISTRATOR ACTION LETTER

Application No. **Comprehensive Sign Program No. CS2015-003 (PA2015-034)**

Applicant **Hoag Memorial Hospital**

Site Address **330 Placentia Avenue**
Hoag Foundation Building Comprehensive Sign Program

Legal Description **Lot 100, Tract TRM 04692**

On **April 24, 2015**, the Zoning Administrator approved a comprehensive sign program for the recently renovated Hoag Hospital Foundation office building on Placentia Avenue. The program includes project identification signs, primary and secondary frontage wall signs, building donor wall signs, address and wayfinding signs, and a pylon sign. The applicant also requests an increase in sign area by 30 percent, sign height by 20 percent and deviation from location and the total number of signs as allowed with the approval of a comprehensive sign program. The intent of this program is to allow signage for the Hoag foundation branding, contributing foundations (tenants), and donors as determined by the property owner.

A comprehensive sign program is required for the following circumstances:

1. Whenever three (3) or more separate tenant spaces are proposed or created on the same lot; and
2. Whenever a structure has more than 300 linear feet of frontage on a public street.

The subject property is located within the OM (Office Medical) Zoning District and the General Plan Land Use Element category is Medical Commercial Office (CO-M). The property is not located in the Coastal Zone.

This approval is based on the following findings and standards and is subject to the following conditions:

I. **FINDINGS**

Finding

- A. *The project is categorically exempt from environmental review pursuant to Title 14 of the California Code of Regulations (Section 15315, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act) under Class 11 (Accessory Structures).*

Facts in Support of Finding

1. Class 11 exempts minor structures accessory to existing commercial facilities, including signs. The proposed signs are incidental and accessory to the principal commercial use of the property and do not intensify or alter the use.

In accordance with Section 20.42.120 (Comprehensive Sign Program) of the Newport Beach Municipal Code, the following standards and facts in support of such standards are set forth:

Standard

- B. *The proposed sign program shall comply with the purpose and intent of this Chapter [Chapter 20.42], any adopted sign design guidelines, and the overall purpose and intent of this Section [Section 20.42.120 – Comprehensive Sign Program].*

Facts in Support of Standard

1. The proposed Comprehensive Sign Program complies with the purpose and intent of Newport Beach Municipal Code Chapter 20.42 (Sign Standards) because it provides the multi-tenant Hoag foundation office building with adequate identification while guarding against an excessive proliferation of signage. It preserves and enhances community appearance by regulating the type, size, location, quantity, and illumination of signs. Through said regulations, the Comprehensive Sign Program will help to enhance the safety of motorists and pedestrians by minimizing the distraction of signs, as well as to protect the life, health, property, and general welfare of City residents and visitors.

2. The purpose of a comprehensive sign program is to integrate all of a project's signs. A comprehensive sign program provides a means for the flexible application of sign regulations for projects that require multiple signs in order to provide incentive and latitude in the design and display of signs, and to achieve, not circumvent, the purpose of Chapter 20.42. This approval integrates all of the signs for the subject property while meeting the purpose and intent of Chapter 20.42.

3. The Comprehensive Sign Program is consistent with the Citywide Sign Design Guidelines Manual because the proposed signs are designed to be compatible with the building design in terms of scale, size, and materials. As proposed, signs are designed to

effectively communicate a commercial message without creating sign clutter through the use of legible text that contrasts with the background. The location and size of the signs do not dominate, but rather are consistent with the proportions of the façade on which they are located.

4. The proposed primary and secondary signage will provide for building identification as well as building donor information located on elevations where the architectural design of the building suggests placement of a sign. All proposed signs will employ a consistent sign pattern in location and are designed to fit with the overall scale of the building and its relationship to Placentia Avenue and Flagship Avenue.

Standard

C. *The proposed signs shall enhance the overall development, be in harmony with, and relate visually to other signs included in the Comprehensive Sign Program, to the structures and/or developments they identify, and to surrounding development when applicable.*

Facts in Support of Standard

1. The site was recently renovated to prepare for the Hoag Hospital Foundation offices. The number and location of signs will not contribute to an overabundance of signage that will have a detrimental effect on the neighborhood.

2. Proposed signs will not obstruct public views from adjacent roadways because there are no public views through or across the subject property.

3. Proposed signs will not interfere with sight distance from any street, driveway, or parking area. The freestanding signs including the pylon and vehicle directional signs have been reviewed by the City Traffic Engineer. As conditioned, all signage nearing the property line and public right-of-way is required to be approved by the Public Works Department or Caltrans prior to permit issuance.

4. All proposed signage will integrate well with the character and architectural style of the building by maintaining consistency in location, sign height, and materials across each street frontage.

Standard

D. *The sign program shall address all signs, including permanent, temporary, and exempt signs.*

Facts in Support of Standard

1. The proposed Comprehensive Sign Program addresses all project signage. Temporary and exempt signs not specifically addressed in the sign program shall be regulated by the provisions of Zoning Code Chapter 20.42 (Sign Standards). The Comprehensive Sign

Program allows for larger copy of the signs in the future but still within allowances of the Sign Code per this Sign Program.

Standard

E. The sign program shall accommodate future revisions that may be required because of changes in use or tenants.

Facts in Support of Standard

1. The Comprehensive Sign Program has been designed to be effective for Hoag Hospital Foundation and tenants by providing sign opportunities for all tenants.
2. The Comprehensive Sign Program establishes allowed type, number, location, and area of signage with flexibility to accommodate any existing and future tenants with larger sign copy.
3. It is not anticipated that future revisions to the Comprehensive Sign Program will be necessary to accommodate changes in tenants or uses. However, the Community Development Director may approve minor revisions to the Comprehensive Sign Program if the intent of the original approval is not affected.

Standard

F. The program shall comply with the standards of this Chapter [Chapter 20.42], except that deviations are allowed with regard to sign area, total number, location, and/or height of signs to the extent that the Comprehensive Sign Program will enhance the overall development and will more fully accomplish the purposes and intent of this Chapter [Chapter 20.42].

Facts in Support of Standard

1. The Comprehensive Sign Program allows for deviations with regards to the number, location, and size of the wall signs and vehicle directional signs throughout the office site. The approval conforms to all other standards of Zoning Code Chapter 20.42 (Sign Standards), and enhances the overall development by integrating all of the project's signs with the overall site and structure design into a unified architectural statement.
2. There is a reasonable need for the number, location, type, and size of signs at the subject site to provide adequate identification of the building and to direct vehicular traffic.
3. The 30 percent increase in allowable sign area and the 20 percent increase in allowable sign height will allow for project identification signage that is up to scale with the overall development and will ensure appropriate visibility is provided from the abutting rights-of-way.

4. The deviation from required sign location and the number of the wall signs will allow for signage placement that fits well with the architectural background on which it is proposed.

Standard

G. *The approval of a Comprehensive Sign Program shall not authorize the use of signs prohibited by this Chapter [Chapter 20.42].*

Facts in Support of Standard

1. The Comprehensive Sign program does not authorize the use of prohibited signs.

Standard

H. *Review and approval of a Comprehensive Sign Program shall not consider the signs' proposed message content.*

Facts in Support of Standard

1. The Comprehensive Sign Program contains no regulations affecting sign message content.

II. CONDITIONS

All proposed signs shall be in substantial conformance with the approved plans, Comprehensive Sign Program Matrix Table, and provisions of Chapter 20.42 (Sign Standards) of the Newport Beach Municipal Code, unless otherwise indicated in the following conditions:

1. Anything not specifically approved by this Comprehensive Sign Program is prohibited.
2. A building permit shall be obtained prior to commencement of installation of the signs.
3. A copy of this letter shall be incorporated into the plan check sets of plans prior to issuance of building or sign permits.
4. Signs shall be maintained in a clean and orderly condition.
5. The sign area shall be measured by two (2) perpendicular sets of parallel lines that surround the proposed sign copy area.
6. Sign that are permitted to be illuminated as provided in the sign matrix shall be regulated in accordance with the provisions of Section 20.42.070 of the Newport Beach Municipal Code. If, in the opinion of the Community Development Director,

existing illumination creates an unacceptable negative impact on surrounding land uses or sensitive habitat areas, the Director may order the dimming of light sources or other remediation upon finding that the site is excessively illuminated.

7. All work performed near or within the public right-of-way shall be reviewed and approved by the Public Works Department or Caltrans under an encroachment permit/agreement, if required.
8. Any future revisions or changes to the signs approved by this Comprehensive Sign Program due to a change in the use or tenants of the building shall be reviewed and approved by the Planning Division, so long as the sign size, copy configuration, and number of signs authorized by this approval does not substantially change or increase. The mandatory reduction or elimination of signs shall be exercised as necessary. Revisions that would substantially deviate from the original approval shall require approval of a new/revised comprehensive sign program by the Zoning Administrator.
9. The Zoning Administrator may add to or modify conditions of this approval, or revoke this approval upon a determination that any sign that is authorized by this approval has been altered beyond the parameters of the authorization and therefore beyond the justification.
10. This approval shall expire and become void unless exercised within twenty-four (24) months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.
11. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Hoag Foundation Building Sign Program including, but not limited to, Comprehensive Sign Program No. CS2015-003 (PA2015-034). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD: An appeal may be filed with the Director of Community Development within fourteen (14) days following the date of the action. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

On behalf of Brenda Wisneski, AICP, Zoning Administrator

By:



Melinda Whelan
Assistant Planner

GR/msw

Attachments: CD 1 Vicinity Map
CD 2 Sign Program Matrix
CD 3 Project Plans

Attachment No. CD 1

Vicinity Map

VICINITY MAP



Comprehensive Sign Program No. CS2015-003
PA2015-034

330 Placentia Avenue

Attachment No. CD 2

Sign Program Matrix

Hoag Foundation Building Comprehensive Sign Program Matrix CS2015-003 (PA2015-034)

Sign Type	Primary Frontage Size limitations, where applicable Building frontage facing parking lot/entrance	Secondary Frontage Size limitations, where applicable Building frontage along Placentia
Freestanding Signs	<p>ST-12: Number: One (1) Type: Parking entry bollard sign with project identification Size: Maximum height 3 feet from top of bollard platform Maximum area 4-feet, 6-inches Location: Entry to parking lot</p>	<p>ST-1: Number: One (1) Type: Illuminated pylon sign project identification and tenant sign Size: Maximum height 15 feet from existing grade Maximum width 4 feet Maximum area 60 feet Location: Along Placentia close to intersection with Flagship Minimum 15 feet from property line along Placentia Ave. and 25-feet, 10-inches from property line along Flagship Rd</p>
Tenant Sign, Donor Copy	<p>ST-8¹: Number: One (1) Type: Pony wall sign non-illuminated with potential for illumination in the future Size: 11 square feet maximum copy area Location: Within the middle 80 percent of the tenant frontage or architectural background on which the sign is placed</p>	<p>ST-7²: Number: One (1) Type: Wall sign non-illuminated located upon wall of enclosed stairwell portion of building along Placentia Size: 38.25 square feet maximum Location: Within the middle 80 percent of the tenant frontage or architectural background on which the sign is placed</p>
Window Signage	<p>Not to exceed 20 percent of the window area May be used in conjunction with "Tenant Sign" above, but shall be counted towards maximum allowable sign area Limited to upper and lower 12 inches of window area only.</p>	<p>Not to exceed 20 percent of the window area May be used in conjunction with "Tenant Sign" above, but shall be counted towards maximum allowable sign area Limited to upper and lower 12 inches of window area only.</p>
Project Identification	<p>ST-5A: Number: One (1) Type: Illuminated wall sign Size: 52 square feet maximum Location: Within the middle 80 percent of the architectural background on which</p>	<p>ST-5³: Number: One (1) Type: Illuminated wall sign Size: 48.75 square feet maximum Location: Within the middle 80 percent of the architectural background on which the sign is</p>

¹ Additional primary frontage wall sign.

² Additional secondary frontage wall sign which exceeds the maximum area allowed for a secondary wall sign (37.5 sq. ft.).

³ Secondary wall sign which exceeds maximum allowed area (37.5 sq. ft.) by 30%.

	the sign is placed	placed
Address	<p>Potential for additional address sign: Number: One (1) Type: Wall sign Size: 2.5 square feet maximum Location: Within the middle 80 percent of the architectural background on which the sign is placed</p>	<p>ST-4: Number: One (1) Type: Wall sign Size: 2.5 square feet maximum Location: Corner of building facing Placentia Ave. above the Hoag logo</p>
Vehicle-Oriented Directional	<p>ST-2⁴: Number: One (1) Type: Legal notice wall sign Size: Maximum height 4-feet, 10-inches Maximum area 3-feet, 11-inches Location: Exit to parking lot along Flagship Road</p>	<p>ST-9⁵: Number: Two (2) Type: Parking lot traffic control sign freestanding Size: Maximum height 4-feet, 10-inches Maximum area 3-feet, 11-inches Location: Exit to parking lot along Placentia</p> <p>ST-3: (alternate to one of ST-9) Number: One (1) Type: Stop sign, parking lot traffic control sign freestanding Size: Compliant with CA MUTCD Location: Exit to parking lot along Placentia</p>
ADA Signage	<p>ST-6 Number: As needed Type: Handicap parking signs Size: As required by Code Location: As required by Code</p> <p>ST-10.2: Number: One(1) Type: Handicap pedestrian directionals Size: Maximum height 3-feet, 6-inches Maximum area 3-feet, 6-inches Location: Pedestrian pathway</p> <p>ST-11: Number: Two (2) or as needed Type: Vinyl graphics handicap entry/ no smoking notice Size: Maximum area 1-foot, 6-inches Location: At building entry</p>	<p>ST-10: Number: One(1) Type: Handicap pedestrian directionals Size: Maximum height 3-feet, 6-inches Maximum area 3-feet, 6-inches Location: Pedestrian pathway</p>

⁴ Additional primary frontage wall sign.

⁵ Exceeds the allowable number, the maximum height (4ft.) by 20%, and the maximum area (3ft. copy) by 30%.

Attachment No. CD 3

Project Plans

HOAG HOSPITAL NEWPORT BEACH FISHBACK BLDG. - EXTERIOR SIGNAGE

330 PLACENTIA AVE.
NEWPORT BEACH, CA 92663

SIGN PROGRAM

REVISIONS:
△ Date: _____
△ Date: _____
△ Date: _____
△ Date: _____

TFN ARCHITECTURAL SIGNAGE

3411 LAKE CENTER DRIVE, SANTA ANA, CA 92704 P 714.556.0990 F 714.850.4888

JOB NUMBER: 515006	
DATE: 01-27-15	SHEET NAME: COVER



hoag

Hospital
Foundation

FISHBACK BUILDING

1 SIGN PLAN

Sign Type Description ST-1 Building monument sign with property identification, street address and tenant names

Quantity 1

Dimensions 4' x 15'

Max Sign Area 60sqft

Materials & Fabrication Smooth, durable, non-weathering sign cabinet manufactured with non-ferrous materials

Illumination Location(s) Internal
Along primary frontage (Placentia), near intersection with secondary frontage (Flagship)

Sign Type Description ST-4 Building address numerals

Quantity 1 (set)

Dimensions 12" tall

Max Sign Area 2.5sqft

Materials & Fabrication Smooth, durable, non-weathering dimensional numerals fabricated from non-ferrous materials.

Illumination Location(s) None
On face of building along primary frontage (Placentia) at the South-East corner of the building. Numerals to be mounted to second floor of building.

Sign Type Description ST-6 Handicap parking signs

Quantity 4 (or as needed)

Dimensions 12" x 18" panel on 8"-2" post

Max Sign Area 1.5sqft

Materials & Fabrication Non-ferrous post & panel, with smooth, durable, non-weathering finish. Required regulatory graphics cut from high performance vinyl or directly applied via UV resistant digital print and sealed under clear coat.

Illumination Location(s) None
Mounted at head of handicapped parking spaces, protected from vehicular impact and clear of walkways.

Sign Type Description ST-2 Parking lot traffic control sign with ENTER ONLY & required regulatory copy

Quantity 1

Dimensions 2.5' x 6'

Max Sign Area 15sqft

Materials & Fabrication Smooth, durable, non-weathering sign cabinet manufactured with non-ferrous materials

Illumination Location(s) None
Along secondary frontage (Flagship) at entry to parking lot

Sign Type Description ST-5 Building branding

Quantity 1 (set)

Dimensions 8' x 6'

Max Sign Area 48sqft

Materials & Fabrication Smooth, durable, non-weathering dimensional letters and logo fabricated from non-ferrous materials.

Illumination Location(s) Internal
On face of building along primary frontage (Placentia) at the South-East corner of the building. Letters to be mounted directly to building, no cabinet or visible raceway on exterior.

Sign Type Description ST-7 Building donor signage / building branding

Quantity 1 (set)

Dimensions 17' x 2.25'

Max Sign Area 38.25sqft

Materials & Fabrication Smooth, durable, non-weathering dimensional letters and/or logo fabricated from non-ferrous materials.

Illumination Location(s) None
Mounted directly to building along primary frontage above architectural ledge. Letters/logo to be directly mounted to building, no cabinet or raceway visible to the exterior.

Sign Type Description ST-3 Stop sign. Alternate to qty 1 of ST-9 for control of traffic exiting parking lot

Quantity 1 (as needed)

Dimensions 7" tall

Max Sign Area 2.25sqft

Materials & Fabrication Smooth, durable non-weathering flat sign panel mechanically fastened to similar post. Both manufactured from non-ferrous materials.

Illumination Location(s) None
Along primary frontage (Placentia) at exit to parking lot

Sign Type Description ST-5a Building branding

Quantity 1 (set)

Dimensions 8' x 6.5'

Max Sign Area 52sqft

Materials & Fabrication Smooth, durable, non-weathering dimensional letters and logo fabricated from non-ferrous materials.

Illumination Location(s) Internal
On building entry facade facing parking lot, centered in space between top of facade and second floor window. Letters and logo to be mounted directly to architectural element, no cabinet or visible raceway on exterior.

Sign Type Description ST-8 (Initial) Pony wall with building branding, tenant or donor copy

Quantity 1

Dimensions 10'-10" x 2'-4"

Max Sign Area 25.3sqft sign area / 10.3sqft max copy area

Materials & Fabrication Non-ferrous metal plate and dimensional copy with smooth, durable, non-weathering finish. Proposed minimum whitespace around copy area is 7" top and bottom, 12" left and right.

Illumination Location(s) None
Mounted to pony wall facing parking lot.

Sign Type Description: ST-9
 Parking lot traffic control sign with DO NOT ENTER and directional information to parking entry facing primary frontage. STOP facing parking lot.

Quantity: 2
 Dimensions: 2.5' x 5'
 Max Sign Area: 15sqft
 Materials & Fabrication: Smooth, durable, non-weathering sign cabinet manufactured with non-ferrous materials

Illumination Location(s): None
 Along primary frontage on either side of exit to parking lot.

Sign Type Description: ST-11
 Handicap entry / no smoking notice

Quantity: 2 (or as needed)
 Dimensions: 1.5' x 1'
 Max Sign Area: 1.5sqft
 Materials & Fabrication: High performance vinyl graphics applied directly to glass at appropriate building entries

Illumination Location(s): None
 At building entries (facing parking lot)

Sign Type Description: ST-10
 Handicap pathway directionals

Quantity: 2
 Dimensions: 1' x 3.5'
 Max Sign Area: 3.5sqft
 Materials & Fabrication: Smooth, durable, non-weathering sign cabinet manufactured with non-ferrous materials

Illumination Location(s): None
 Along handicapped pathway from sidewalk and reserved parking stalls to building entry.















Sign Type Description: ST-12
 Parking entry / bollard sign. Displays building street address at parking entry.

Quantity: 1
 Dimensions: 1.5' x 3'
 Max Sign Area: 4.5sqft
 Materials & Fabrication: Smooth, durable, non-weathering sign cabinet manufactured with non-ferrous materials

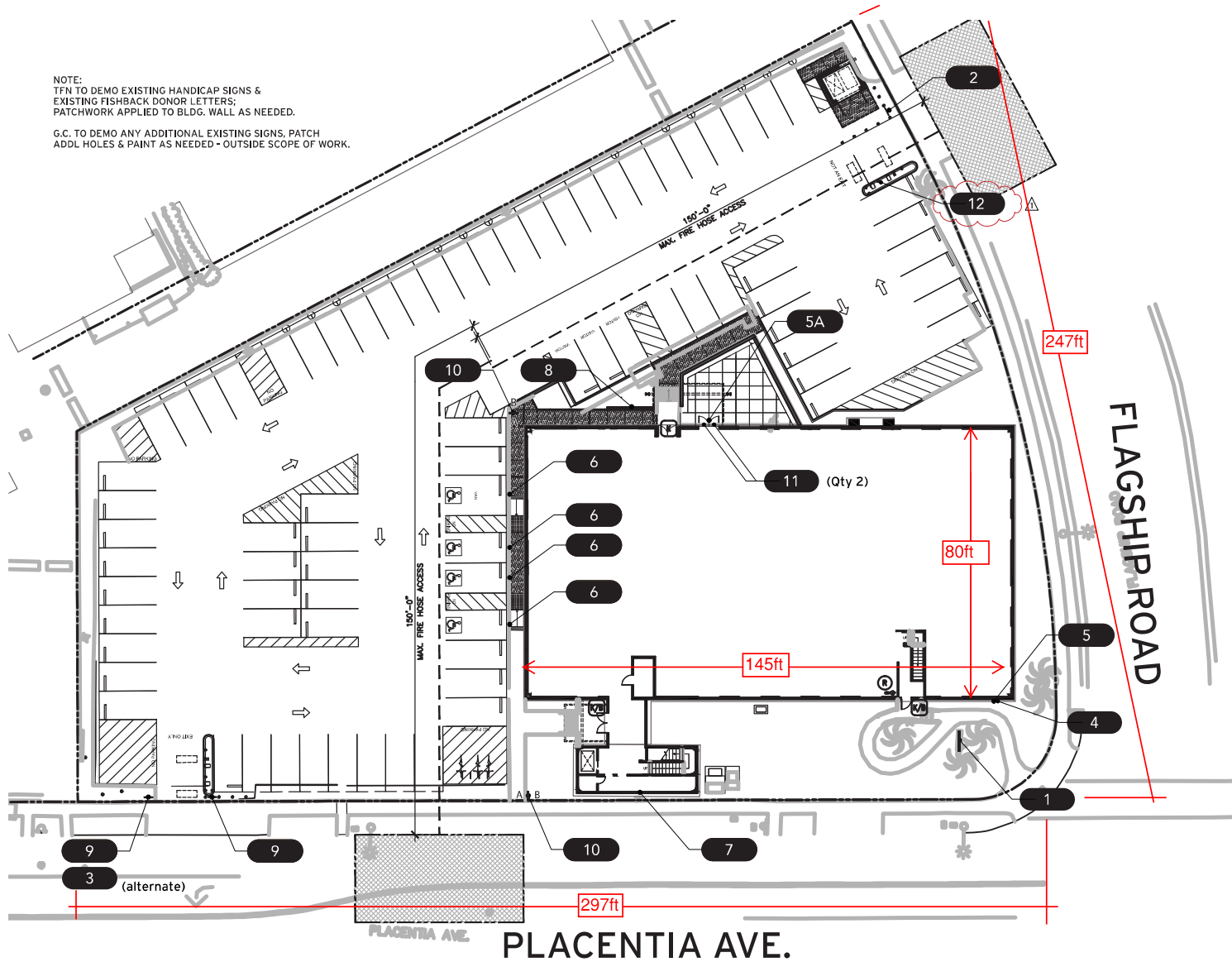
Illumination Location(s): None
 Along secondary frontage at entry to parking lot.

1 SIGN PLAN, CONT'D.

COLOR SCHEDULE

COLOR NAME	MATERIAL	FINISH	COLOR TO MATCH	NOTES
P1 	WHITE	PAINT	SATIN	MATTHEWS WHITE
P2 	GREY	PAINT	SATIN	COLOR TO MATCH PMS 425
P3 	BLUE	PAINT	SATIN	COLOR TO MATCH PMS 279
P4 	ORANGE	PAINT	SATIN	COLOR TO MATCH PMS 159
P5 	BLACK	PAINT	SATIN	MATTHEWS MP30132
P6 	SILVERSTONE	PAINT	-	MATTHEWS MP 18091 SILVERSTONE METALLIC
V1 	REFLECTIVE WHITE	VINYL	-	3M SCOTCHLITE VINYL REFLECTIVE FILM WHITE 580-10
V2 	DARK BLUE	VINYL	SATIN	3M SCOTCHCAL VINYL FILM VIVID BLUE 3650-17
V3 	WHITE	VINYL	SATIN	3M SCOTCHCAL 7725-10
V4 	REFLECTIVE RUBY RED	VINYL	-	3M SCOTCHLITE 680-82
V5 	BLACK	VINYL	-	3M SCOTCHCAL 7725-12
A1 	ORANGE	ACRYLIC	TRANSPARENT	ACRYCAST 2564
A2 	BLUE	ACRYLIC	TRANSPARENT	ACRYCAST 2329
PV1 	GRAY	PERFORATED VINYL	PAINTED	CTM PMS 425

NOTE:
 TFN TO DEMO EXISTING HANDICAP SIGNS &
 EXISTING FISHBACK DONOR LETTERS;
 PATCHWORK APPLIED TO BLDG. WALL AS NEEDED.
 G.C. TO DEMO ANY ADDITIONAL EXISTING SIGNS, PATCH
 ADDL HOLES & PAINT AS NEEDED - OUTSIDE SCOPE OF WORK.



SIGNTYPE KEY

SIGNTYPE	DESCRIPTION	QTY:
		PROJECT TOTAL
ST-1	PYLON SIGN	1
ST-2	ENTRY LEGAL NOTICE SIGN	1
ST-3	STOP SIGN	1
ST-4	BLDG. ADDRESS SIGN	1
ST-5	HOAG I.D. SIGN - ILLUM.	1
ST-5A	HOAG I.D. SIGN W/ 'HOSP. FOUND.' - ILLUM.	1
ST-6	ACCESSIBLE SIGNAGE	4
ST-7	FISHBACK BLDG. DONOR LETTERS	1
ST-8	DONOR SIGN CABINET (BLANK)	1
ST-9	VEHICULAR DIRECTIONALS	2
ST-10	PEDESTRIAN DIRECTIONALS	2
ST-11	ENTRY VINYL ON DOORS	2
ST-12	PARKING INFO SIGN @ BOLLARD (N.I.C.)	1



1 SITE PLAN
 SCALE: 1" = 30'-0"

TFN ARCHITECTURAL SIGNAGE
 3411 LAKE CENTER DRIVE, SANTA ANA, CA 92704 P 714.556.0990 F 714.850.4888

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PROJECT NAME:
HOAG HOSPITAL NB FISHBACK BLDG. - EXT.
 PROJECT LOCATION:
NEWPORT, CA

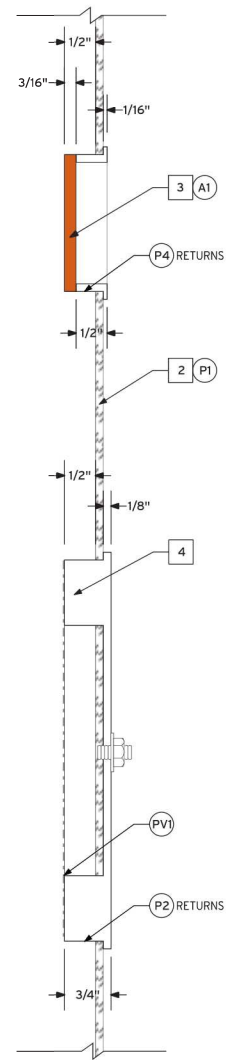
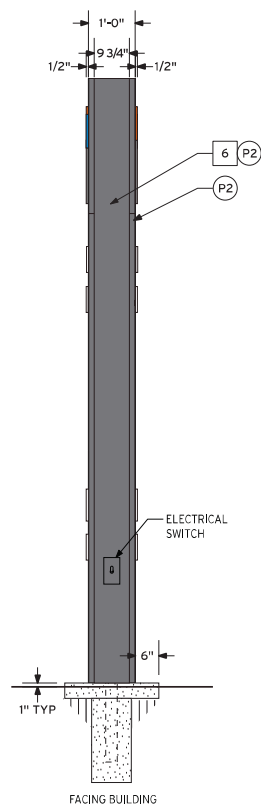
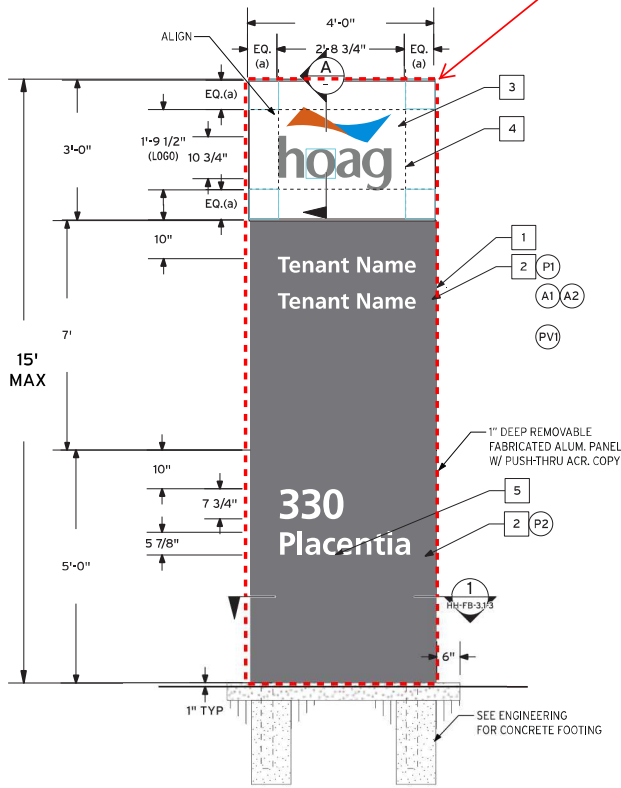
SHEET TITLE:
SITE PLAN
 JOB NUMBER:
515006

DRAWN BY:
AARON SMITH
 START DATE:
01-13-15

REVISIONS:
 △ Name: _____ Date: _____
 △ Name: _____ Date: _____
 △ Name: _____ Date: _____
 △ Name: _____ Date: _____

Approved Approved As Noted
 Revise & Resubmit
 APPROVED BY:
 SHEET NUMBER:
HH-FB-SITE

Max Sign Area
4' x 15' / 60sqft



NOTES AND SPECIFICATIONS

- 1 INTERNALLY ILLUMINATED, FABRICATED PAINTED ALUM. CABINET W/ 1/8" THK. BREAK FORMED PANELS MECHANICALLY FASTENED TO INTERNAL FRAME W/ S.S. FLAT HEAD SCREWS.
- 2 1/8" THK. PAINTED ALUM. BREAK-FORM SKIN W/ PUSH-THRU COPY & LOGO/GRAPHIC. MECHANICALLY FASTENED TO SIGN FRAME W/ #8 S.S. RECESSED FLATHEAD SCREWS ALONG SIDE EDGES.
- 3 3/16" TRANS. ACR. (ORANGE & BLUE PIECES) ADHERED TO 1/2" THK. CLEAR ACR. W/ ROUTED OUT CENTER "HAT" & PAINTED RETURNS, ROUTED TO ACHIEVE 1/2" OVERALL PROUD FROM FACE OF PANEL.
- 4 1/2" PROUD 7328 TRANS. WHITE PUSH-THRU ACR., ROUTED FROM A SINGLE PIECE OF 3/4" THK. ACR. W/ APPLIED PERFORATED VINYL ON FACE OF "HOAG" COPY & PAINTED RETURNS.
- 5 1/2" PROUD 7328 TRANS. WHITE PUSH-THRU ACR., ROUTED FROM A SINGLE PIECE OF 3/4" THK. ACR.
- 6 1/8" THK. PAINTED ALUM. SKIN WELDED TO ALUM. SIGN FRAME.

	Type of Lighting: <u>LED</u>
	Voltage: _____
	Circuits: <u>(1) 20 AMP</u>
	Power Supply/Ballast: _____

ST-1 QTY: 1 NEW (REMOVE EXISTING)

1 ELEVATION - 60 SQ. FT. (TOTAL SIGN AREA) - DOUBLE SIDED
SCALE: 3/8" = 1'-0"

2 SIDE VIEW
SCALE: 3/8" = 1'-0"

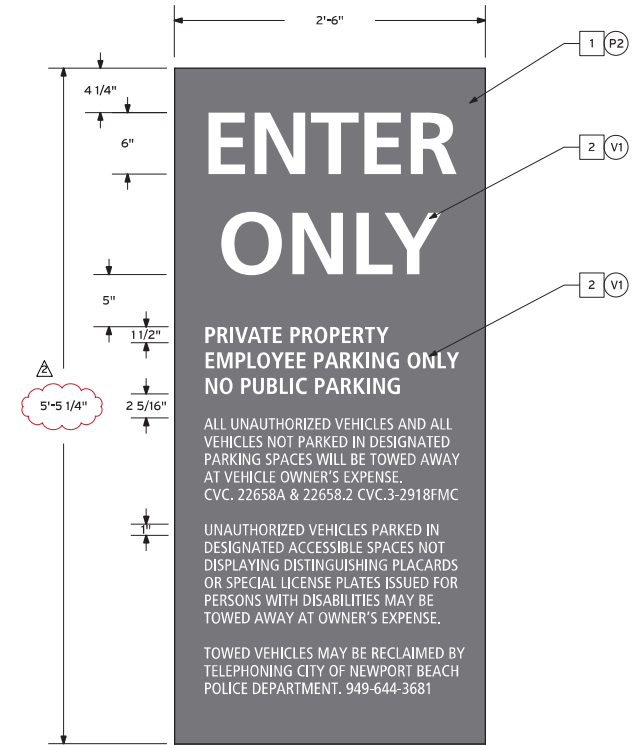
A PUSH-THRU (LOGO/"HOAG" DETAIL)
SCALE: 1:2



1 LOCATION ELEVATION - 10 SQ. FT. (SIGN PANEL AREA)
SCALE: 1" = 1'-0"

NOTES AND SPECIFICATIONS

- 1 1/4" THK. PAINTED FABRICATED ALUM. SIGN FACE, SIDES & TOP W/ APPLIED REFLECTIVE VINYL COPY ON FACE. SECURE TO CONCRETE WALL USING SECURITY STUDS AND SILICONE.
- 2 APPLIED REFLECTIVE VINYL COPY.



1 ELEVATION - 10 SQ. FT. (SIGN PANEL AREA) - SINGLE SIDED
SCALE: 1" = 1'-0"

TFN ARCHITECTURAL SIGNAGE
3411 LAKE CENTER DRIVE, SANTA ANA, CA 92704 P 714.556.0990 F 714.850.4888

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PROJECT NAME:
HOAG HOSPITAL NB FISHBACK BLDG. - EXT.

PROJECT LOCATION:
NEWPORT BEACH, CA

SHEET TITLE:
ENTRY/LEGAL NOTICE SIGN FABRICATION DETAILS

JOB NUMBER:
515006

DRAWN BY:
RG

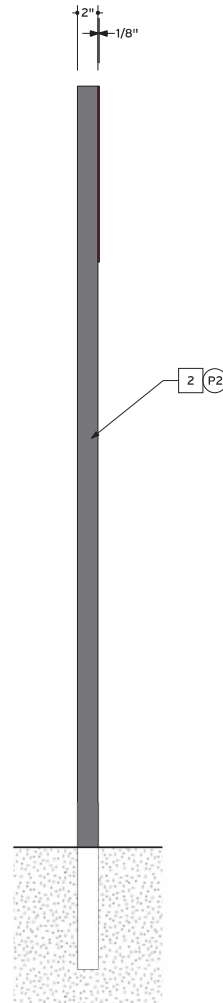
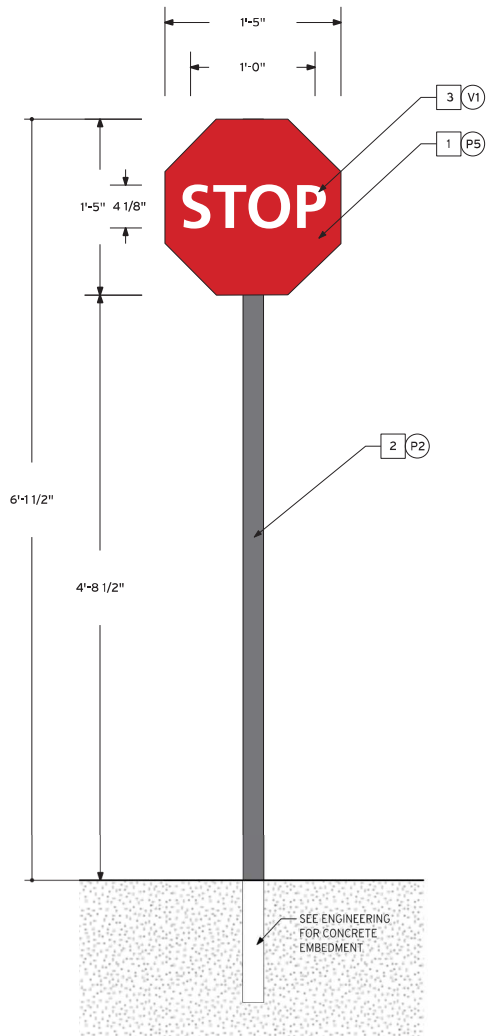
START DATE:
01-13-15

REVISIONS:
 △ Name: **LPA** Date: **01-23-15**
 △ Name: **RG** Date: **03-17-15**
 △ Name: _____ Date: _____
 △ Name: _____ Date: _____

Approved Approved As Noted
 Revise & Resubmit
 APPROVED BY: _____
 SHEET NUMBER:
HH-FB-2.0-2

NOTES AND SPECIFICATIONS

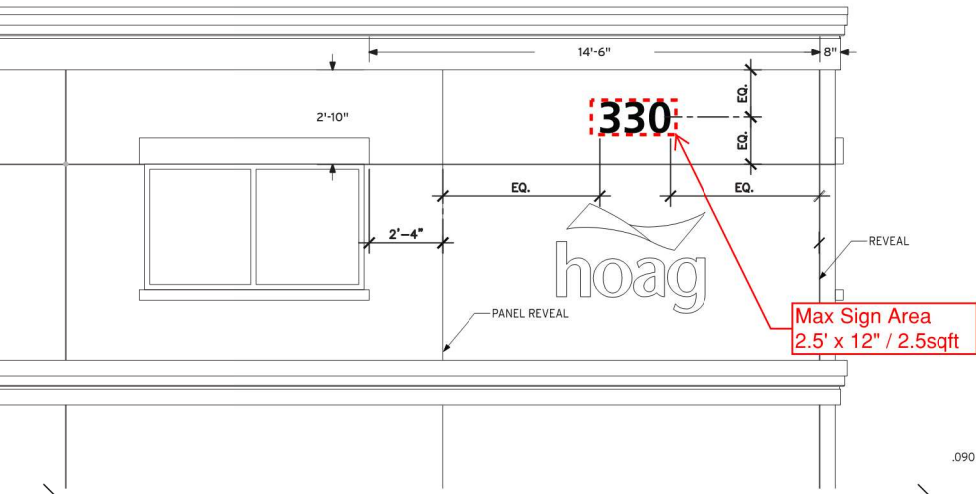
- 1 1/8" THK. PAINTED ALUM. SIGN FACE PANEL W/ APPLIED VINYL COPY. WELD TO SQ. ALUM. TUBE. ALL EDGES SANDED & BRUSHED PRIOR TO PAINTING.
- 2 2" X 1/8" WALL PAINTED SQ. ALUM. TUBE W/ TOP END CAPPED, WELDED TO PAINTED ALUM. SIGN FACE & DIRECTLY EMBEDDED INTO CONCRETE FOOTING, AS PER ENGINEERING.
- 3 APPLIED VINYL COPY.



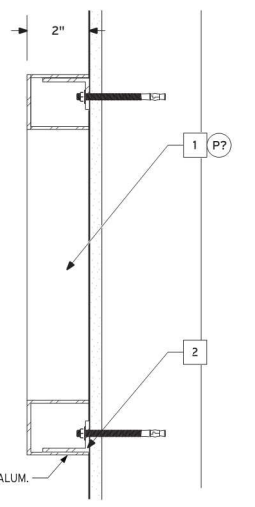
ST-3 QTY: 1

1 ELEVATION - 2.25 SQ. FT. (SIGN PANEL AREA) - TYPICAL
SCALE: 1" = 1'-0"

2 SIDE VIEW
SCALE: 1" = 1'-0"



3 SITE ELEVATION
SCALE: 1/4" = 1'-0"

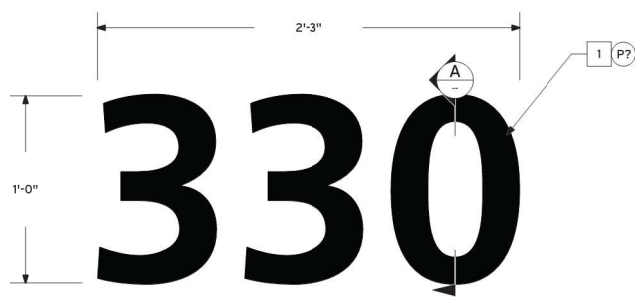


A SECTION
SCALE: 3" = 1'-0"

NOTES AND SPECIFICATIONS

- 1 2" DEEP FABRICATED PAINTED ALUM. NUMBERS W/ 1/8" THK. FACE.
- 2 1" X 1 1/2" X 1/8" WALL ALUM. ANGLE. CUT TO REQ'D LENGTH. WELD TO ALUM. NUMBER RETURNS & ATTACH TO WALL W/ BLIND ANCHOR STUDS & SILICONE ADHESIVE.

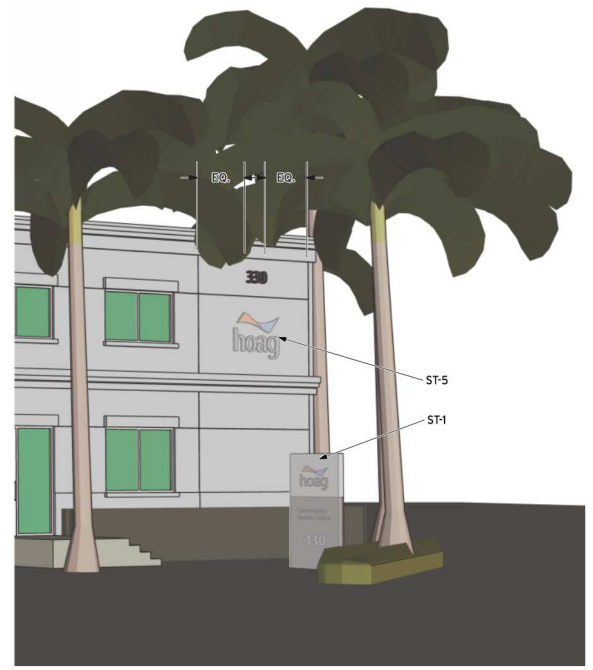
FONT: FRUTIGER BOLD - TO MATCH ADDRESS AT HOAG NB 307 PLACENTIA.



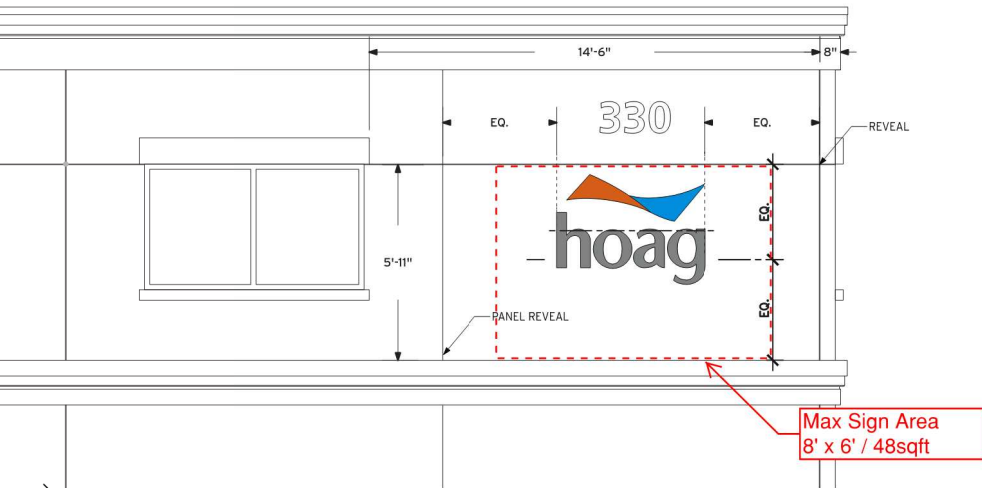
1 ELEVATION - 2.5 SQ. FT. (TOTAL SIGN AREA) - TYPICAL
SCALE: 1 1/2" = 1'-0"



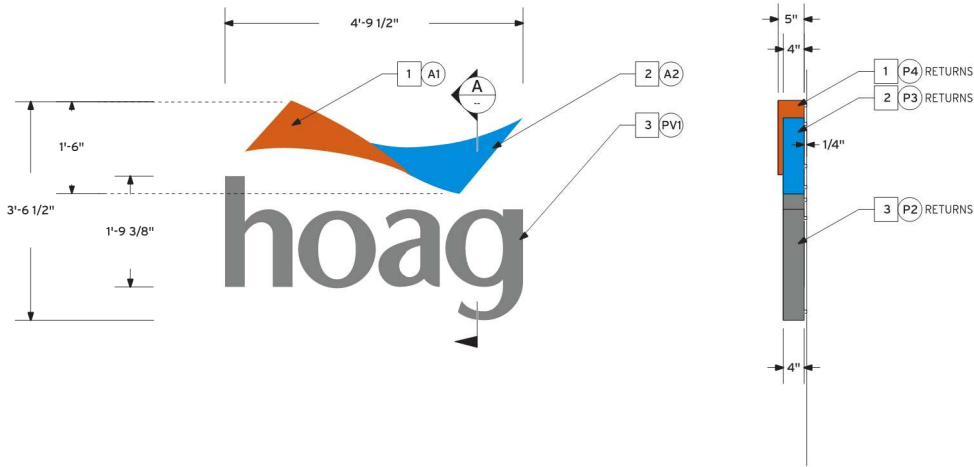
2 SIDE VIEW
SCALE: 1 1/2" = 1'-0"



3 LOCATION ELEVATION (SOUTH CORNER)
SCALE: N.T.S.

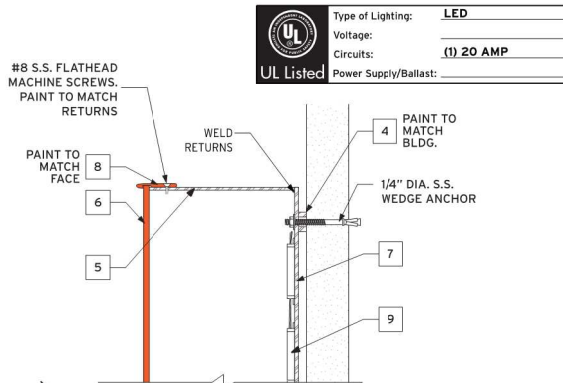


3 SITE ELEVATION
SCALE: 1/4" = 1'-0"

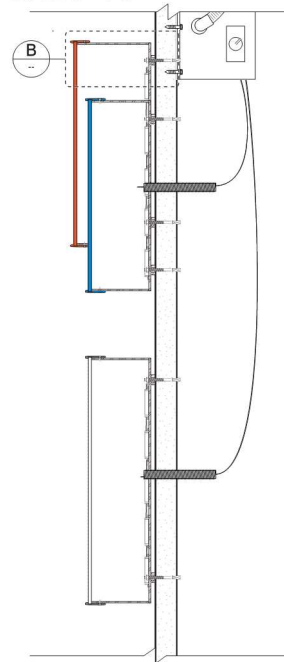


1 ST5 QTY: 1
ELEVATION - 48 SQ. FT. (TOTAL SIGN AREA) - TYPICAL
SCALE: 1/2" = 1'-0"

2 SIDE VIEW
SCALE: 1/2" = 1'-0"



B DETAIL
SCALE: 3" = 1'-0"

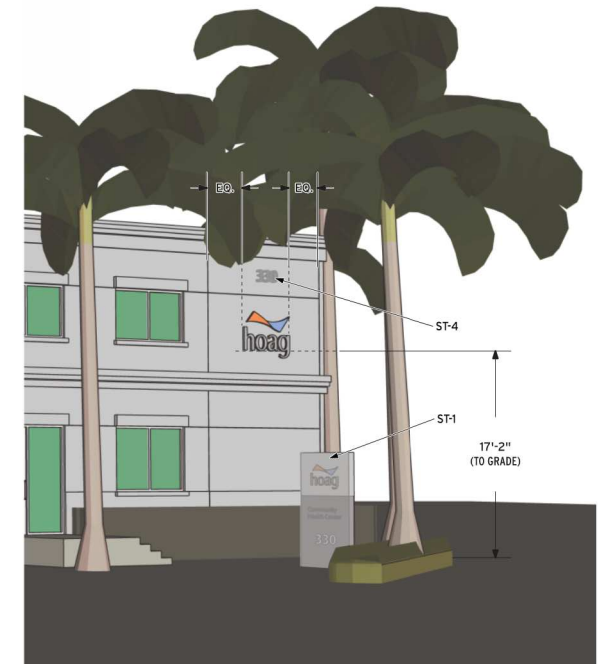


A SECTION
SCALE: 1 1/2" = 1'-0"

NOTES AND SPECIFICATIONS

- 1 5" DEEP FABRICATED, PAINTED ALUM. REVERSE CHANNEL ACCENT W/ 3/16" THK. TRANS. ORANGE ACR. FACE W/ TRIM CAP.
- 2 4" DEEP FABRICATED, PAINTED ALUM. REVERSE CHANNEL ACCENT & COPY W/ 3/16" THK. TRANS. BLUE ACR. FACE W/ TRIM CAP.
- 3 4" DEEP FABRICATED, PAINTED ALUM. REVERSE CHANNEL LETTERS W/ 3/16" THK. TRANS. BLUE ACR. FACE W/ APPLIED PERFORATED VINYL.
- 4 5/8" DIA. X 1/4" LONG PAINTED ALUM. SPACERS. PAINT TO MATCH BLDG. COLOR.
- 5 .090" THK. PAINTED ALUM. RETURNS.
- 6 3/16" THK. COLORED ACR.
- 7 1/8" THK. ALUM. BACKER W/ WELDED ALUM. SUPPORT PIECES, AS REQ'D.
- 8 1" WIDE, PAINTED TRIM CAP; MECHANICALLY FASTENED ALONG OUTER EDGE OF REVERSE CHANNEL LETTER/ACCENT USING #8 S.S. RECESSED FLATHEAD SCREWS, AS REQ'D.
- 9 LED SYSTEM AS REQ'D, TO PROVIDE EVEN ILLUMINATION.

NOTE: PRECISE LOCATION TO BE DETERMINED IN FIELD BY OWNER REPRESENTATIVE.

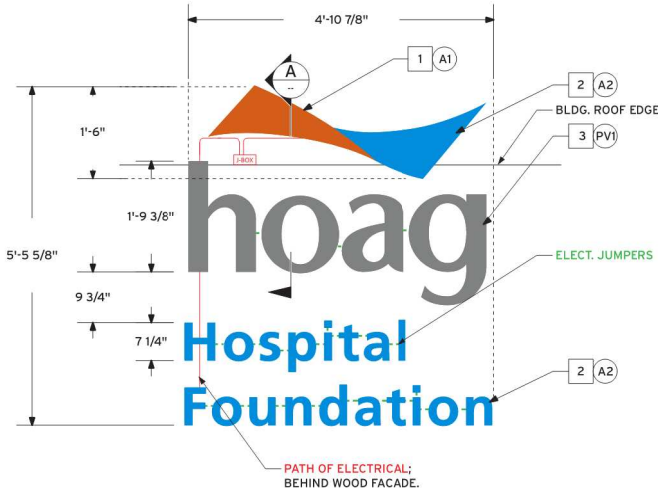


3 LOCATION ELEVATION (SOUTH CORNER)
SCALE: N.T.S.



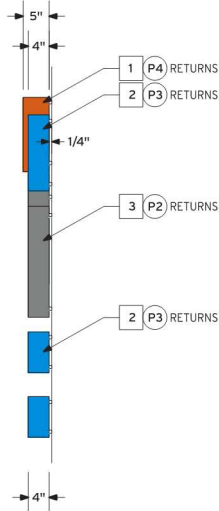
ST-8

4 LOCATION ELEVATION (AT MAIN ENTRANCE)
SCALE: N.T.S.

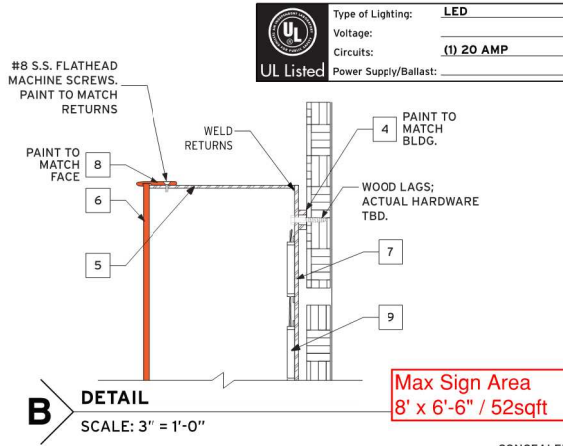


ST-5A QTY: 1

1 ELEVATION - 52 SQ. FT. (TOTAL SIGN AREA) - TYPICAL
SCALE: 1/2" = 1'-0"

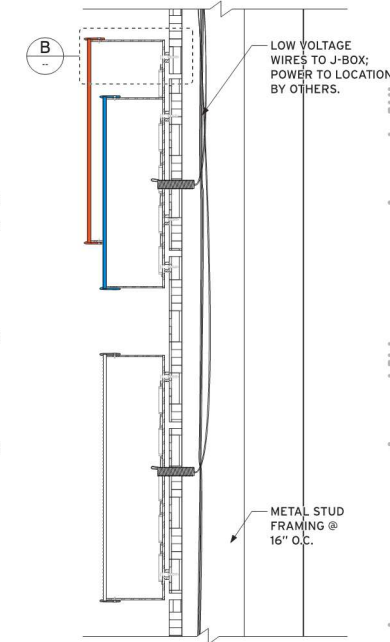


2 SIDE VIEW
SCALE: 1/2" = 1'-0"



B DETAIL
SCALE: 3" = 1'-0"

Max Sign Area
8' x 6'-6" / 52sqft



A SECTION
SCALE: 1 1/2" = 1'-0"




3 SITE ELEVATION
SCALE: 3/16" = 1'-0"

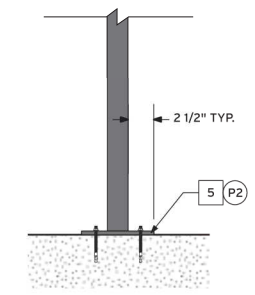
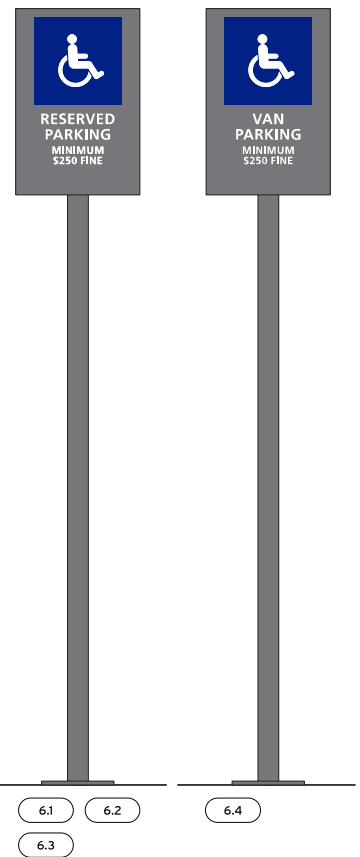
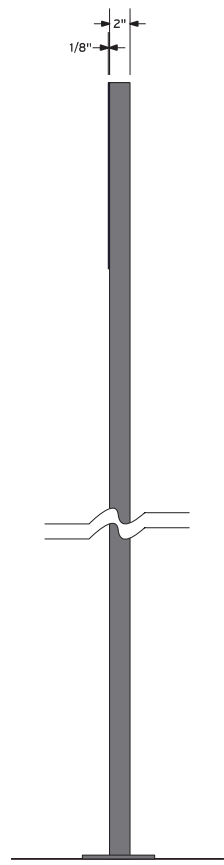
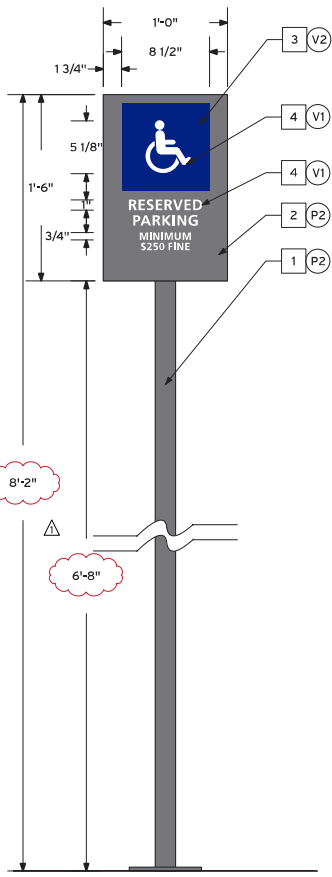
NOTES AND SPECIFICATIONS

- 5" DEEP FABRICATED, PAINTED ALUM. REVERSE CHANNEL ACCENT W/ 3/16" THK. TRANS. ORANGE ACR. FACE W/ TRIM CAP.
- 4" DEEP FABRICATED, PAINTED ALUM. REVERSE CHANNEL ACCENT & COPY W/ 3/16" THK. TRANS. BLUE ACR. FACE W/ TRIM CAP.
- 4" DEEP FABRICATED, PAINTED ALUM. REVERSE CHANNEL LETTERS W/ 3/16" THK. 7328 WHITE ACR. FACE W/ APPLIED PERFORATED VINYL.
- 5/8" DIA. X 3/4" LONG PAINTED ALUM. SPACERS. PAINT TO MATCH BLDG. COLOR.
- .090" THK. PAINTED ALUM. RETURNS.
- 3/16" THK. COLORED ACR.
- 1/8" THK. ALUM. BACKER W/ WELDED ALUM. SUPPORT PIECES, AS REQ'D.
- 1" WIDE, PAINTED TRIM CAP; MECHANICALLY FASTENED ALONG OUTER EDGE OF REVERSE CHANNEL LETTER/ACCENT USING #8 S.S. RECESSED FLATHEAD SCREWS, AS REQ'D.
- LED SYSTEM AS REQ'D, TO PROVIDE EVEN ILLUMINATION.

NOTES AND SPECIFICATIONS

- 1 2" SQ. PAINTED ALUM. RECT. TUBE. WELD TO ALUM. BASE PLATE.
- 2 1/8" THK. PAINTED ALUM. SIGN FACE W/ VINYL COPY & GRAPHIC. ATTACH TO 2" SQ. ALUM. RECT. TUBE W/ LORDS ADHESIVE, AS REQ'D.
- 3 8 1/2" SQ. VINYL PIECE, APPLIED DIRECTLY TO SIGN FACE.
- 4 APPLIED VINYL COPY & GRAPHIC.
- 5 3/8" THK. PAINTED ALUM. BASE PLATE WELDED TO 2" SQ. ALUM. RECT. TUBE STRUCTURE AND FASTENED TO HARDSCAPE W/ SS WEDGE ANCHORS.

 UL Listed	Type of Lighting: FLUORESCENT
	Voltage: _____
	Circuits: _____
	Power Supply/Ballast: _____

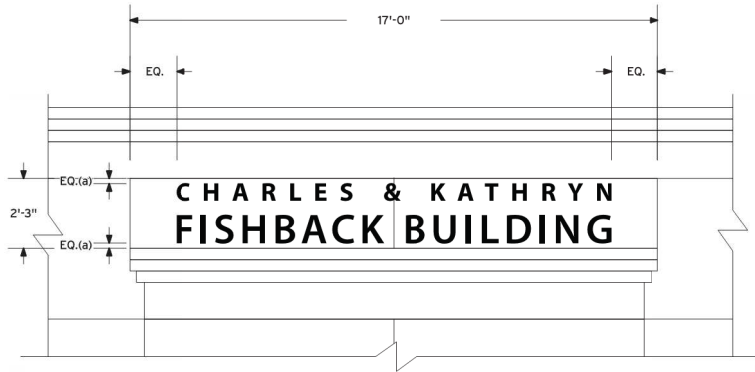


1 ELEVATION - 1.5 SQ. FT. (SIGN PANEL AREA) - TYPICAL
SCALE: 1" = 1'-0"

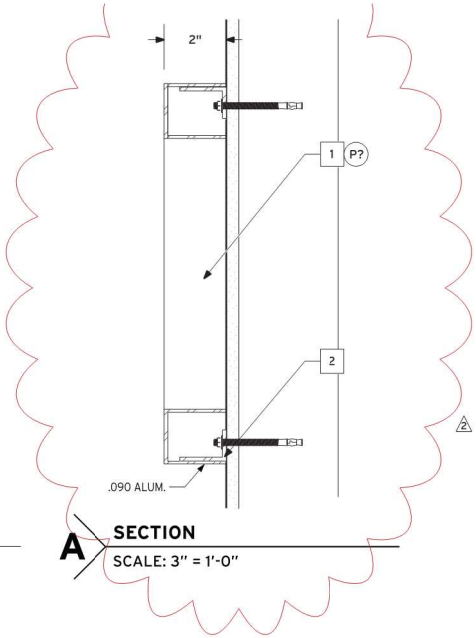
2 SIDE VIEW
SCALE: 1" = 1'-0"

3 LAYOUTS
SCALE: 1" = 1'-0"

4 HARDSCAPE ATTACHMENT DETAIL
SCALE: 1" = 1'-0"



3 SITE ELEVATION
SCALE: 1/4" = 1'-0"



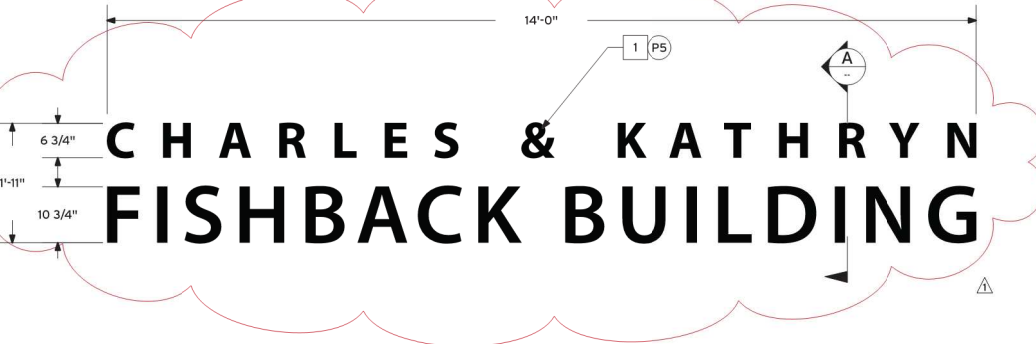
A SECTION
SCALE: 3" = 1'-0"

NOTES AND SPECIFICATIONS

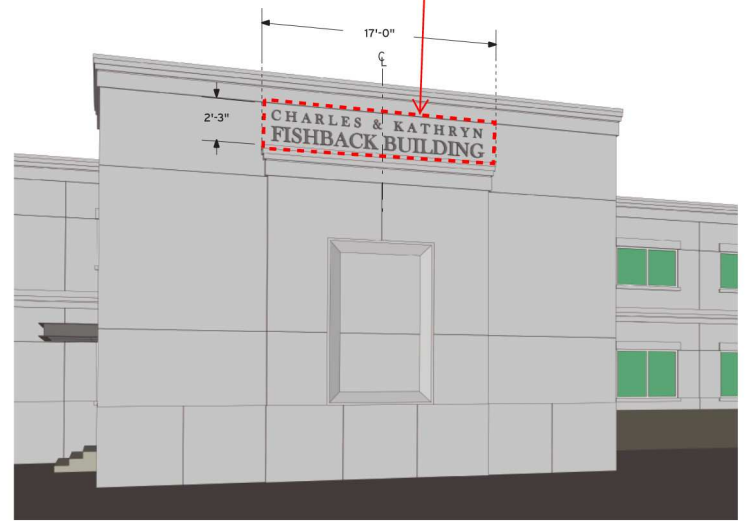
- 1 2" DEEP FABRICATED PAINTED ALUM. NUMBERS W/ 1/8" THK. FACE.
- 2 1/8" WALL ALUM. ANGLE. CUT TO REQ'D LENGTH. WELD TO ALUM. CHANNEL LETTER RETURNS & ATTACH TO WALL W/ BLIND ANCHOR STUDS & SILICONE ADHESIVE.

FONT: MYRIAD PRO SEMI BOLD.

Max Sign Area
17" x 2'-3" / 38.25sqft



1 ELEVATION - 38.25 SQ. FT. (TOTAL SIGN AREA) - TYPICAL
SCALE: 1/2" = 1'-0"



2 LOCATION ELEVATION - EXISTING CONDITION (SOUTH/WEST SIDE)
SCALE: N.T.S.

ST-7 QTY: 1 NEW (REPLACES EXISTING COPY)



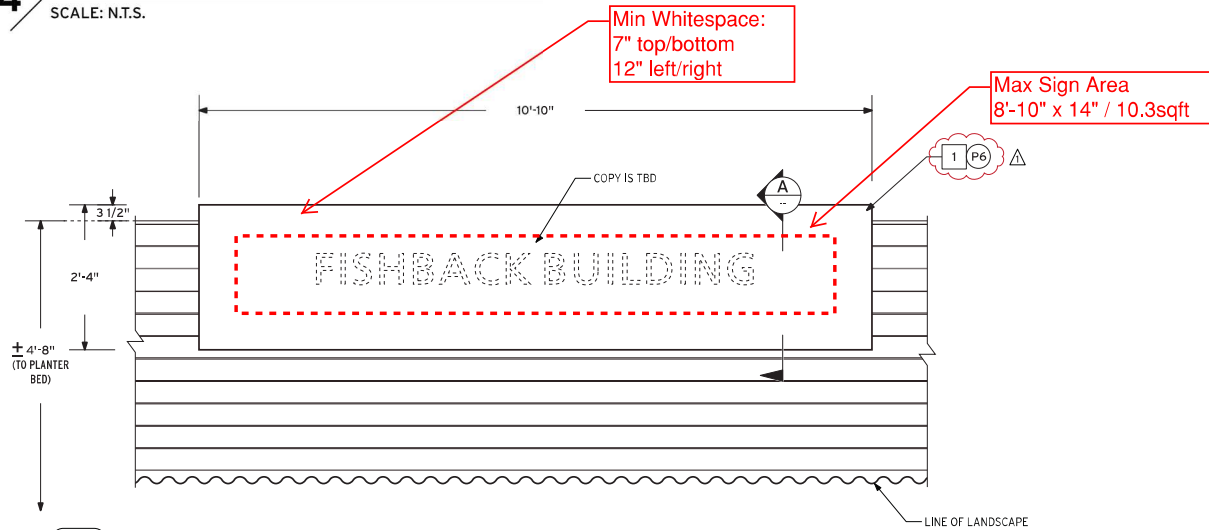
Non-illuminated sign desired, with the option to replace with an illuminated version in the future.

NOTES AND SPECIFICATIONS

- 1 FABRICATED ALUM. DONOR SIGN CABINET; CABINET TO HOUSE J-BOX FOR ELECTRICAL SUPPLY & PROVIDE REMOVEABLE SKIN FOR FUTURE PUSH-THRU ILLUMINATED COPY.
- 2 3" X 1/8" WALL ALUM. SQ. TUBE FRAME ASSEMBLY W/ WELDED ALUM. ANGLE TO PROVIDE ATTACHMENT POINTS TO EXISTING WOOD FACADE AT TOP OF WALL W/ WOOD LAGS & EPOXY, AS REQ'D.
- 3 1/8" THK. ALUM. BREAKFORM SKIN PANEL; SHOE-BOX OVER EDGE OF FRAME ASSEMBLY USING #8 S.STL. FLATHEAD RECESSED SCREWS ALONG SIDES OF FRAME.
- 4 1/8" THK. ALUM. BREAKFORM SKIN PANEL; SHOE-BOX OVER EDGE OF FRAME ASSEMBLY USING #8 S.STL. FLATHEAD RECESSED SCREWS ALONG BACK SIDE OF CABINET.
- 5 1" X 1" X 1/8" WALL SQ. TUBE FRAME.
- 6 3" X 1" X 1/8" WALL ALUM. U-CHANNEL CABINET FRAME (BOTTOM & SIDES).
- 7 EXISTING 1/2" THK. RESTSYA 'WOOD' FACADE PANELING W/ 16" O.C. VERT. FRAMING.
EXISTING CMU CLADDING OVER FREESTANDING CEMENT WALL.

4 LOCATION ELEVATION (AT MAIN ENTRANCE)

SCALE: N.T.S.



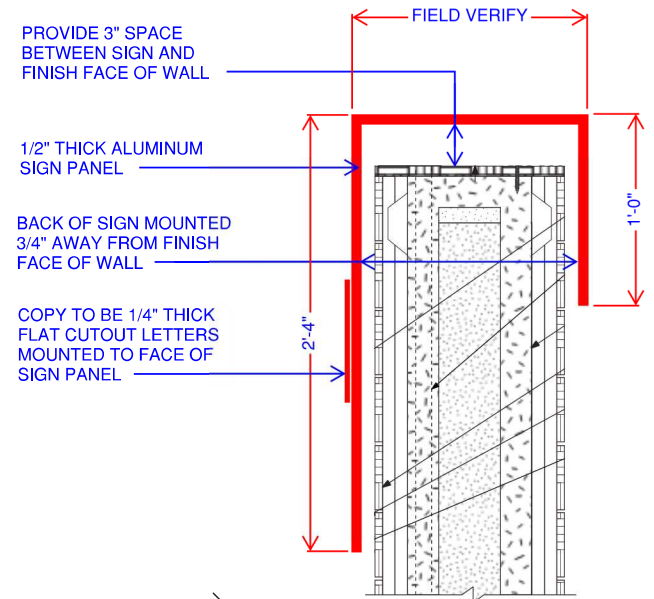
ST-8 QTY: 1

1 ELEVATION - ±25.3 SQ. FT. (TOTAL SIGN AREA)

SCALE: 1/2" = 1'-0"

2 SIDE VIEW

SCALE: 1/2" = 1'-0"



A SECTION

SCALE: 1 1/2" = 1'-0"



Illuminated option.

ILLUMINATED PUSH-THRU COPY TO BE INSTALLED AT A LATER DATE; COPY SHOWN FOR REFERENCE PURPOSE ONLY.

UL Listed	Type of Lighting:	LED
	Voltage:	120VAC (SEE SPEC FOR FUTURE ILLUMINATION WORKFLOW)
	Circuits:	(1) 20 AMP
	Power Supply/Ballast:	

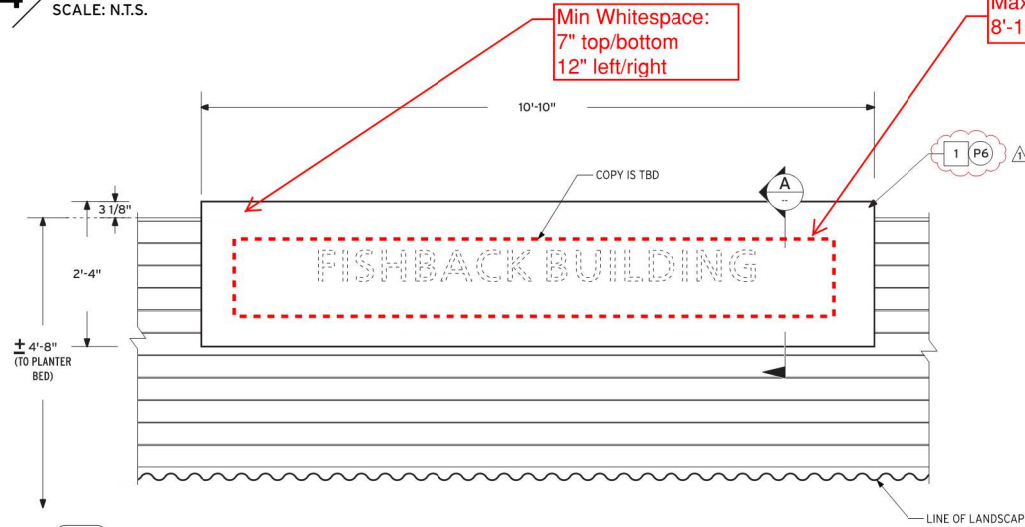
NOTES AND SPECIFICATIONS

- FABRICATED ALUM. DONOR SIGN CABINET; CABINET TO HOUSE J-BOX FOR ELECTRICAL SUPPLY & PROVIDE REMOVEABLE SKIN FOR FUTURE PUSH-THRU ILLUMINATED COPY.
- 3" X 1/8" WALL ALUM. SQ. TUBE FRAME ASSEMBLY W/ WELDED ALUM. ANGLE TO PROVIDE ATTACHMENT POINTS TO EXISTING WOOD FACADE AT TOP OF WALL W/ WOOD LAGS & EPOXY, AS REQ'D.
- 1/8" THK. ALUM. BREAKFORM SKIN PANEL; SHOE-BOX OVER EDGE OF FRAME ASSEMBLY USING #8 S.STL. FLATHEAD RECESSED SCREWS ALONG SIDES OF FRAME.
- 1/8" THK. ALUM. BREAKFORM SKIN PANEL; SHOE-BOX OVER EDGE OF FRAME ASSEMBLY USING #8 S.STL. FLATHEAD RECESSED SCREWS ALONG BACK SIDE OF CABINET.
- 1" X 1" X 1/8" WALL SQ. TUBE FRAME.
- 3" X 1" X 1/8" WALL ALUM. U-CHANNEL CABINET FRAME (BOTTOM & SIDES).
- EXISTING 1/2" THK. RESTSYA 'WOOD' FACADE PANELING W/ 16" O.C. VERT. FRAMING.
EXISTING CMU CLADDING OVER FREESTANDING CEMENT WALL.

LED SYSTEM TO BE INSTALLED AT TIME OF NEW FACE PANEL W/ PUSH-THRU COPY.

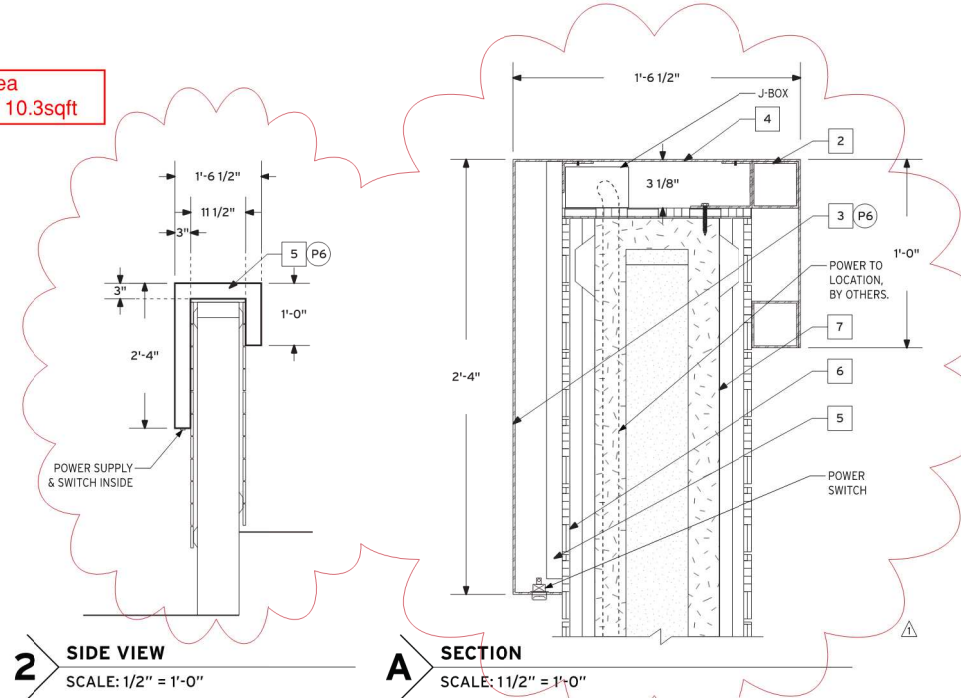
4 LOCATION ELEVATION (AT MAIN ENTRANCE)

SCALE: N.T.S.



Max Sign Area
8'-10" x 14" / 10.3sqft

Min Whitespace:
7" top/bottom
12" left/right



1 ELEVATION - ±25.3 SQ. FT. (TOTAL SIGN AREA)

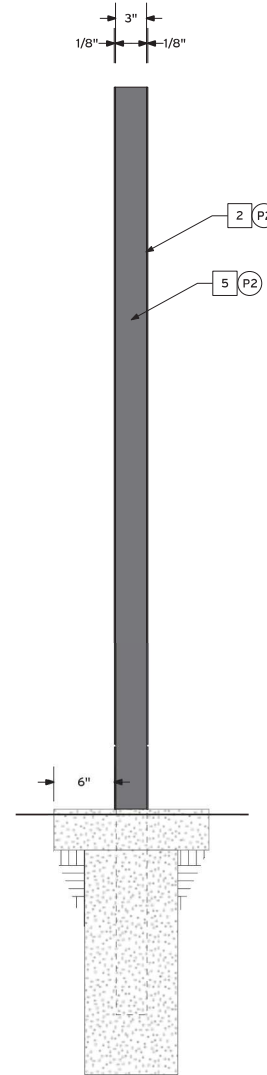
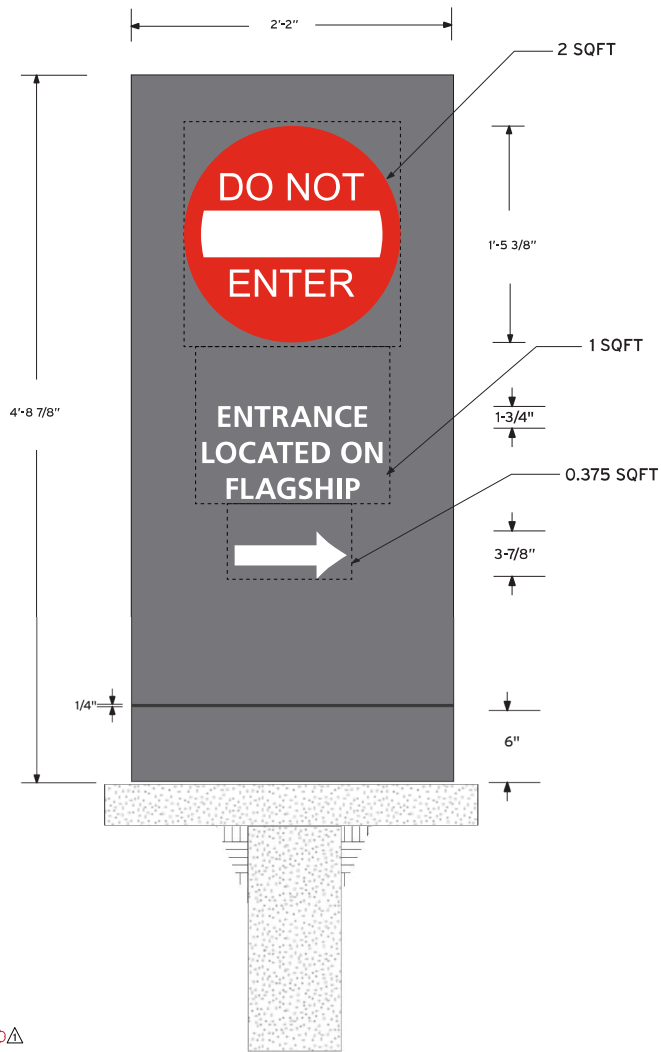
SCALE: 1/2" = 1'-0"

2 SIDE VIEW

SCALE: 1/2" = 1'-0"

A SECTION

SCALE: 1/2" = 1'-0"



NOTES AND SPECIFICATIONS

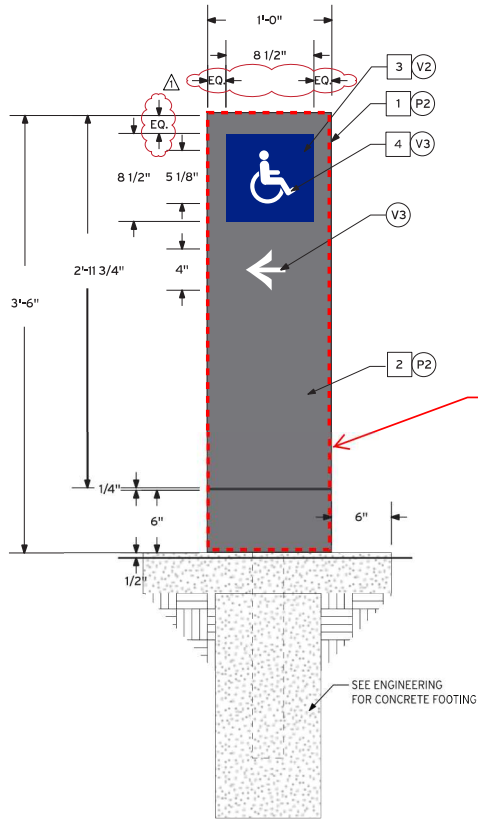
- 1 FABRICATED PAINTED ALUM. SIGN CABINET W/ APPLIED VINYL COPY & GRAPHICS. SECURE TO EMBEDDED STEEL PIPE W/ #10 S.S. FLAT HEAD BOLT, THREADED INTO TOP CAP OF PIPE W/ WELDED NUT.
- 2 1/8" THK. PAINTED FABRICATED ALUM. SIGN FACE WELDED TO ALUM. CHANNEL FRAME SIDES. SIGN FACES TO HAVE APPLIED VINYL GRAPHICS W/ SATIN CLEAR COAT.
- 3 24" CIRCLE REFL. VINYL PIECE W/ REFL. COPY & GRAPHIC, APPLIED DIRECTLY TO SIGN FACE.
- 4 APPLIED VINYL ARROW & COPY.
- 5 3" X 1" X 1/8" WALL FABRICATED PAINTED ALUM. CHANNEL FRAME.

FONT: FRUTIGER BOLD - TO MATCH NB HOAG PROJECT STANDARDS.

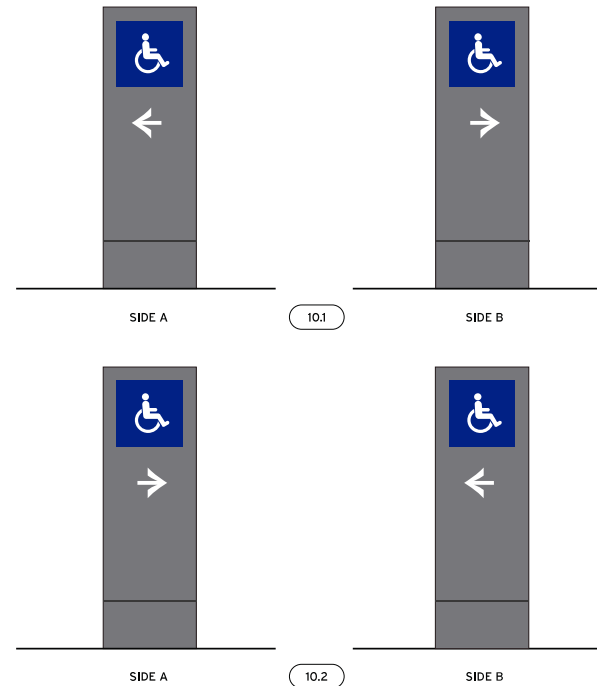
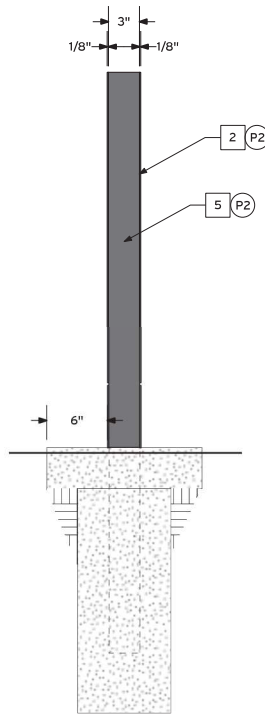
1 ST-9 QTY: 2
ELEVATION - 3.75 SQ. FT.
 SCALE: 1" = 1'-0"

2 **SIDE VIEW**
 SCALE: 1" = 1'-0"

INITIAL SIGNS TO BE INSTALLED ARE 3' TALL, BUT OWNER WOULD LIKE OPTION TO INCREASE HEIGHT IF NEEDED FOR VISIBILITY.



Max Sign Area
1' x 3'-6" / 3.5sqft



NOTES AND SPECIFICATIONS

- 1 FABRICATED PAINTED ALUM. SIGN CABINET W/ APPLIED VINYL GRAPHICS. SECURE TO EMBEDDED STEEL PIPE W/ #10 S.S. FLAT HEAD BOLT, THREADED INTO TOP CAP OF PIPE W/ WELDED NUT.
- 2 1/8" THK. PAINTED FABRICATED ALUM. SIGN FACE WELDED TO ALUM. CHANNEL FRAME SIDES. SIGN FACES TO HAVE APPLIED VINYL GRAPHICS W/ SATIN CLEAR COAT.
- 3 8 1/2" SQ. VINYL PIECE, APPLIED DIRECTLY TO SIGN FACE.
- 4 APPLIED VINYL ARROW & GRAPHIC.
- 5 3" X 1" X 1/8" WALL FABRICATED PAINTED ALUM. CHANNEL FRAME.

NOTE: PRECISE LOCATION TO BE DETERMINED IN FIELD BY OWNER REPRESENTATIVE.


1 ELEVATION (TYP.) - DOUBLE SIDED 3.5 SQ. FT. TYPICAL
SCALE: 1" = 1'-0"

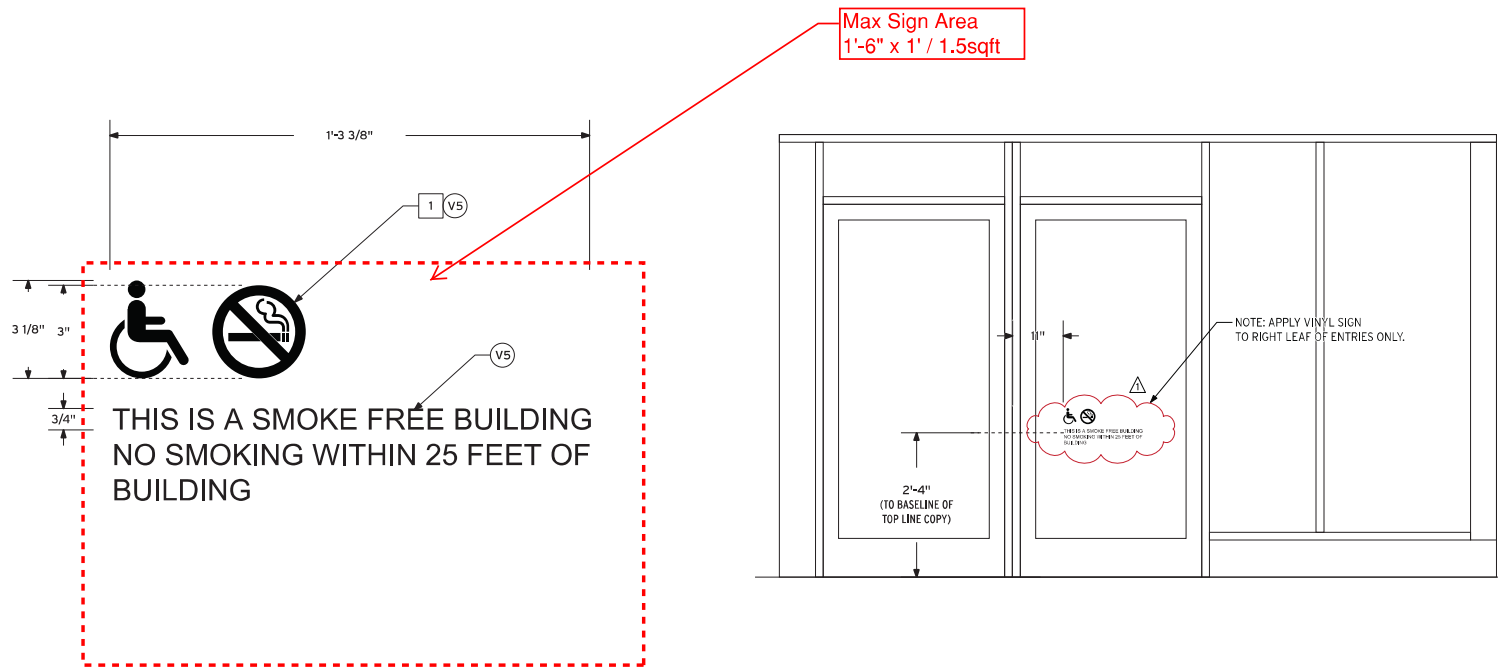
2 SIDE VIEW
SCALE: 1" = 1'-0"

3 LAYOUTS
SCALE: 3/4" = 1'-0"

NOTES AND SPECIFICATIONS

- 1 APPLIED VINYL COPY & GRAPHICS TO FIRST SURFACE OF GLASS.

	Type of Lighting: FLUORESCENT
	Voltage: _____
	Circuits: _____
	Power Supply/Ballast: _____




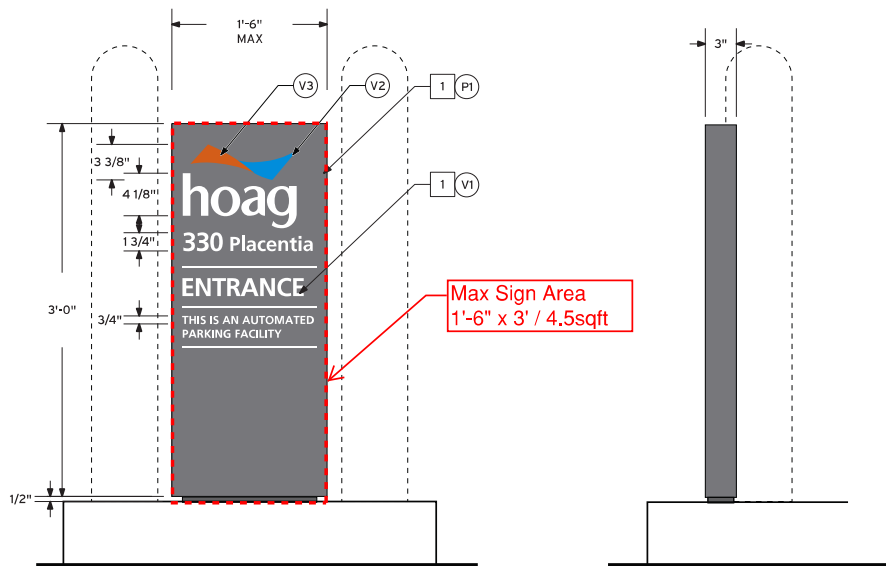
1 ELEVATION
 SCALE: 3" = 1'-0"
 ST-11 QTY: 2

2 LOCATION ELEVATION
 SCALE: 1/2" = 1'-0"

NOTES AND SPECIFICATIONS

- 1 3" DEEP FABRICATED, PAINTED ALUM. SIGN CABINET.
- 2 APPLIED VINYL COPY/GRAPHICS.
- 3 1/2" THK. PAINTED ALUM. BASE PLATE. ANCHOR TO CONCRETE FOOTING USING CONCRETE WEDGE ANCHORS AS REQUIRED.
- 4 1/8" THK. PAINTED ALUM. SKIN.
- 5 3/4" X 3/4" X 1/8" WALL ALUM. FRAME.
- 6 1" X 1" X 1/8" WALL ALUM. SQ. TUBE WELDED TO 1/2" THK. BASE PLATE. CAP TOP.

 UL Listed	Type of Lighting: FLUORESCENT
	Voltage: _____
	Circuits: _____
	Power Supply/Ballast: _____



1 ELEVATION AT ENTRANCE GATE - 4.5 SQ. FT.
SCALE: 1" = 1'-0"

2 SIDE VIEW (TYPICAL)
SCALE: 1" = 1'-0"

HOAG HOSPITAL NEWPORT BEACH FISHBACK BLDG. - EXTERIOR SIGNAGE

330 PLACENTIA AVE.
NEWPORT BEACH, CA 92663

SIGN PROGRAM

REVISIONS:
△ Date: _____
△ Date: _____
△ Date: _____
△ Date: _____

TFN ARCHITECTURAL SIGNAGE

3411 LAKE CENTER DRIVE, SANTA ANA, CA 92704 P 714.556.0990 F 714.850.4888

JOB NUMBER: 515006	
DATE: 01-27-15	SHEET NAME: COVER



hoag

Hospital
Foundation

FISHBACK BUILDING

1 SIGN PLAN

Sign Type Description ST-1 Building monument sign with property identification, street address and tenant names

Quantity 1

Dimensions 4' x 15'

Max Sign Area 60sqft

Materials & Fabrication Smooth, durable, non-weathering sign cabinet manufactured with non-ferrous materials

Illumination Location(s) Internal
Along primary frontage (Placentia), near intersection with secondary frontage (Flagship)

Sign Type Description ST-4 Building address numerals

Quantity 1 (set)

Dimensions 12" tall

Max Sign Area 2.5sqft

Materials & Fabrication Smooth, durable, non-weathering dimensional numerals fabricated from non-ferrous materials.

Illumination Location(s) None
On face of building along primary frontage (Placentia) at the South-East corner of the building. Numerals to be mounted to second floor of building.

Sign Type Description ST-6 Handicap parking signs

Quantity 4 (or as needed)

Dimensions 12" x 18" panel on 8"-2" post

Max Sign Area 1.5sqft

Materials & Fabrication Non-ferrous post & panel, with smooth, durable, non-weathering finish. Required regulatory graphics cut from high performance vinyl or directly applied via UV resistant digital print and sealed under clear coat.

Illumination Location(s) None
Mounted at head of handicapped parking spaces, protected from vehicular impact and clear of walkways.

Sign Type Description ST-2 Parking lot traffic control sign with ENTER ONLY & required regulatory copy

Quantity 1

Dimensions 2.5' x 6'

Max Sign Area 15sqft

Materials & Fabrication Smooth, durable, non-weathering sign cabinet manufactured with non-ferrous materials

Illumination Location(s) None
Along secondary frontage (Flagship) at entry to parking lot

Sign Type Description ST-5 Building branding

Quantity 1 (set)

Dimensions 8' x 6'

Max Sign Area 48sqft

Materials & Fabrication Smooth, durable, non-weathering dimensional letters and logo fabricated from non-ferrous materials.

Illumination Location(s) Internal
On face of building along primary frontage (Placentia) at the South-East corner of the building. Letters to be mounted directly to building, no cabinet or visible raceway on exterior.

Sign Type Description ST-7 Building donor signage / building branding

Quantity 1 (set)

Dimensions 17' x 2.25'

Max Sign Area 38.25sqft

Materials & Fabrication Smooth, durable, non-weathering dimensional letters and/or logo fabricated from non-ferrous materials.

Illumination Location(s) None
Mounted directly to building along primary frontage above architectural ledge. Letters/logo to be directly mounted to building, no cabinet or raceway visible to the exterior.

Sign Type Description ST-3 Stop sign. Alternate to qty 1 of ST-9 for control of traffic exiting parking lot

Quantity 1 (as needed)

Dimensions 7" tall

Max Sign Area 2.25sqft

Materials & Fabrication Smooth, durable non-weathering flat sign panel mechanically fastened to similar post. Both manufactured from non-ferrous materials.

Illumination Location(s) None
Along primary frontage (Placentia) at exit to parking lot

Sign Type Description ST-5a Building branding

Quantity 1 (set)

Dimensions 8' x 6.5'

Max Sign Area 52sqft

Materials & Fabrication Smooth, durable, non-weathering dimensional letters and logo fabricated from non-ferrous materials.

Illumination Location(s) Internal
On building entry facade facing parking lot, centered in space between top of facade and second floor window. Letters and logo to be mounted directly to architectural element, no cabinet or visible raceway on exterior.

Sign Type Description ST-8 (Initial) Pony wall with building branding, tenant or donor copy

Quantity 1

Dimensions 10'-10" x 2'-4"

Max Sign Area 25.3sqft sign area / 10.3sqft max copy area

Materials & Fabrication Non-ferrous metal plate and dimensional copy with smooth, durable, non-weathering finish. Proposed minimum whitespace around copy area is 7" top and bottom, 12" left and right.

Illumination Location(s) None
Mounted to pony wall facing parking lot.

Sign Type Description: ST-9
 Parking lot traffic control sign with DO NOT ENTER and directional information to parking entry facing primary frontage. STOP facing parking lot.

Quantity: 2
 Dimensions: 2.5' x 5'
 Max Sign Area: 15sqft
 Materials & Fabrication: Smooth, durable, non-weathering sign cabinet manufactured with non-ferrous materials

Illumination Location(s): None
 Along primary frontage on either side of exit to parking lot.

Sign Type Description: ST-11
 Handicap entry / no smoking notice

Quantity: 2 (or as needed)
 Dimensions: 1.5' x 1'
 Max Sign Area: 1.5sqft
 Materials & Fabrication: High performance vinyl graphics applied directly to glass at appropriate building entries

Illumination Location(s): None
 At building entries (facing parking lot)

Sign Type Description: ST-10
 Handicap pathway directionals

Quantity: 2
 Dimensions: 1' x 3.5'
 Max Sign Area: 3.5sqft
 Materials & Fabrication: Smooth, durable, non-weathering sign cabinet manufactured with non-ferrous materials

Illumination Location(s): None
 Along handicapped pathway from sidewalk and reserved parking stalls to building entry.















Sign Type Description: ST-12
 Parking entry / bollard sign. Displays building street address at parking entry.

Quantity: 1
 Dimensions: 1.5' x 3'
 Max Sign Area: 4.5sqft
 Materials & Fabrication: Smooth, durable, non-weathering sign cabinet manufactured with non-ferrous materials

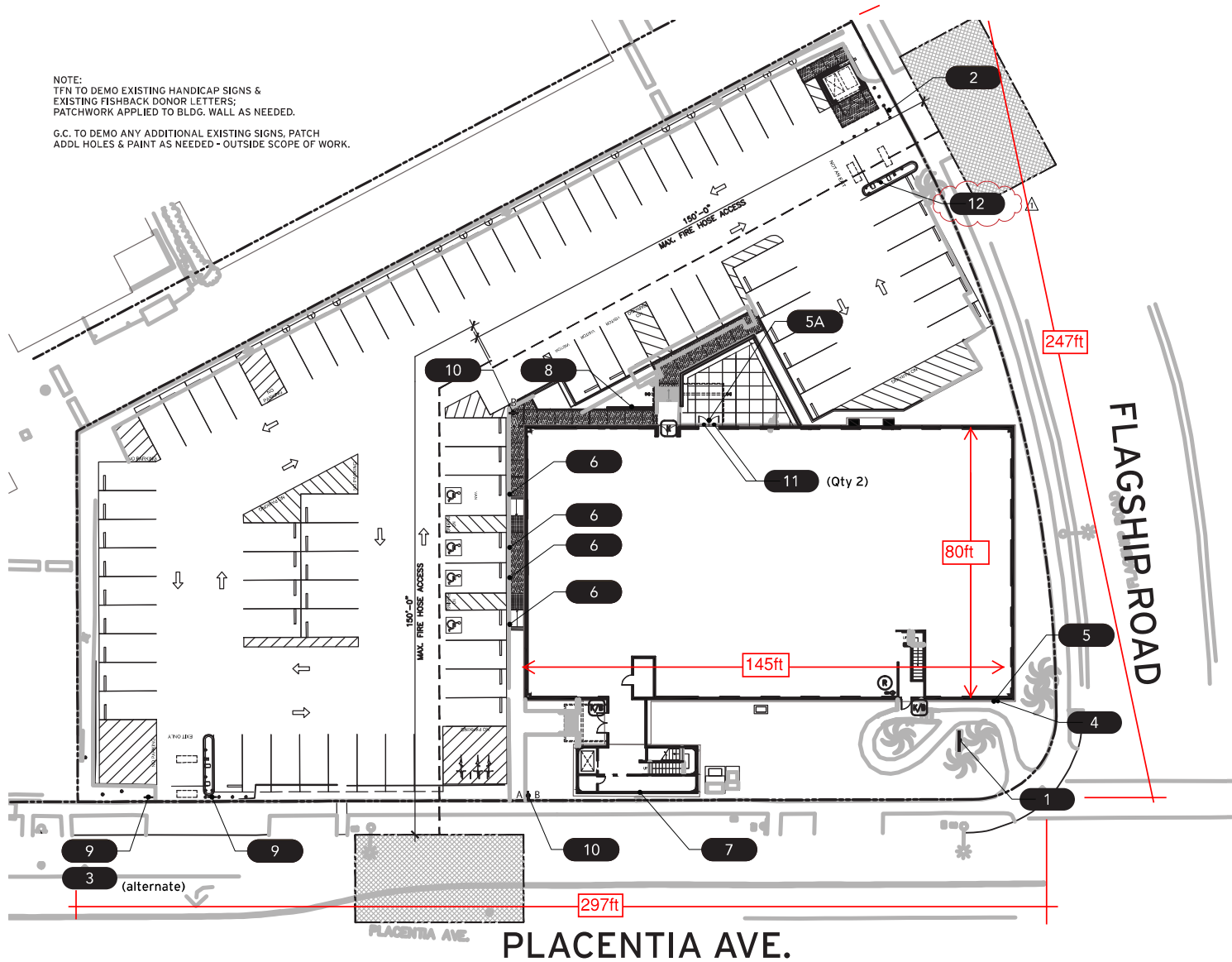
Illumination Location(s): None
 Along secondary frontage at entry to parking lot.

1 SIGN PLAN, CONT'D.

COLOR SCHEDULE

COLOR NAME	MATERIAL	FINISH	COLOR TO MATCH	NOTES
P1 	WHITE	PAINT	SATIN	MATTHEWS WHITE
P2 	GREY	PAINT	SATIN	COLOR TO MATCH PMS 425
P3 	BLUE	PAINT	SATIN	COLOR TO MATCH PMS 279
P4 	ORANGE	PAINT	SATIN	COLOR TO MATCH PMS 159
P5 	BLACK	PAINT	SATIN	MATTHEWS MP30132
P6 	SILVERSTONE	PAINT	-	MATTHEWS MP 18091 SILVERSTONE METALLIC
V1 	REFLECTIVE WHITE	VINYL	-	3M SCOTCHLITE VINYL REFLECTIVE FILM WHITE 580-10
V2 	DARK BLUE	VINYL	SATIN	3M SCOTCHCAL VINYL FILM VIVID BLUE 3650-17
V3 	WHITE	VINYL	SATIN	3M SCOTCHCAL 7725-10
V4 	REFLECTIVE RUBY RED	VINYL	-	3M SCOTCHLITE 680-82
V5 	BLACK	VINYL	-	3M SCOTCHCAL 7725-12
A1 	ORANGE	ACRYLIC	TRANSPARENT	ACRYCAST 2564
A2 	BLUE	ACRYLIC	TRANSPARENT	ACRYCAST 2329
PV1 	GRAY	PERFORATED VINYL	PAINTED	CTM PMS 425

NOTE:
 TFN TO DEMO EXISTING HANDICAP SIGNS &
 EXISTING FISHBACK DONOR LETTERS;
 PATCHWORK APPLIED TO BLDG. WALL AS NEEDED.
 G.C. TO DEMO ANY ADDITIONAL EXISTING SIGNS, PATCH
 ADDL HOLES & PAINT AS NEEDED - OUTSIDE SCOPE OF WORK.



SIGNTYPE KEY QTY:
PROJECT TOTAL

SIGNTYPE	DESCRIPTION	QTY
ST-1	PYLON SIGN	1
ST-2	ENTRY LEGAL NOTICE SIGN	1
ST-3	STOP SIGN	1
ST-4	BLDG. ADDRESS SIGN	1
ST-5	HOAG I.D. SIGN - ILLUM.	1
ST-5A	HOAG I.D. SIGN W/ 'HOSP. FOUND.' - ILLUM.	1
ST-6	ACCESSIBLE SIGNAGE	4
ST-7	FISHBACK BLDG. DONOR LETTERS	1
ST-8	DONOR SIGN CABINET (BLANK)	1
ST-9	VEHICULAR DIRECTIONALS	2
ST-10	PEDESTRIAN DIRECTIONALS	2
ST-11	ENTRY VINYL ON DOORS	2
ST-12	PARKING INFO SIGN @ BOLLARD (N.I.C.)	1



1 SITE PLAN
 SCALE: 1" = 30'-0"



TFN ARCHITECTURAL SIGNAGE
 3411 LAKE CENTER DRIVE, SANTA ANA, CA 92704 P 714.556.0990 F 714.850.4888

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PROJECT NAME:
**HOAG HOSPITAL NB
 FISHBACK BLDG. - EXT.**
 PROJECT LOCATION:
NEWPORT, CA

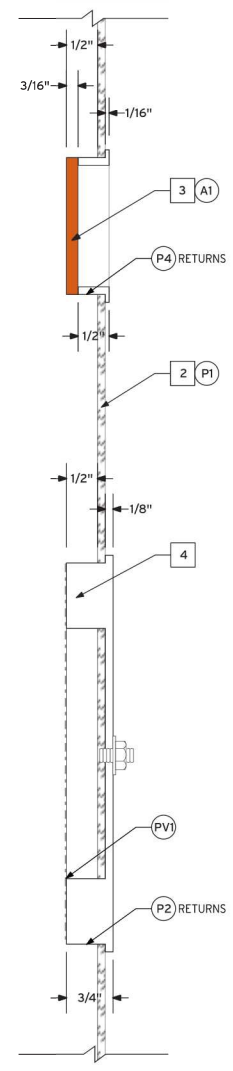
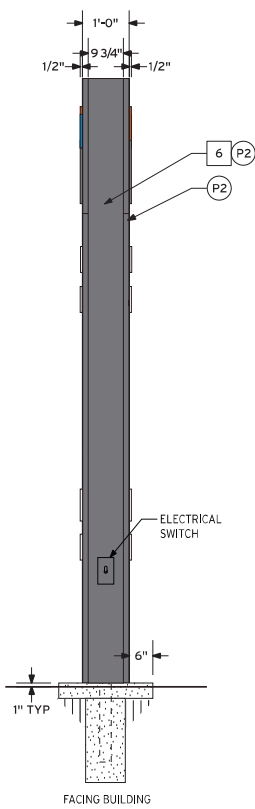
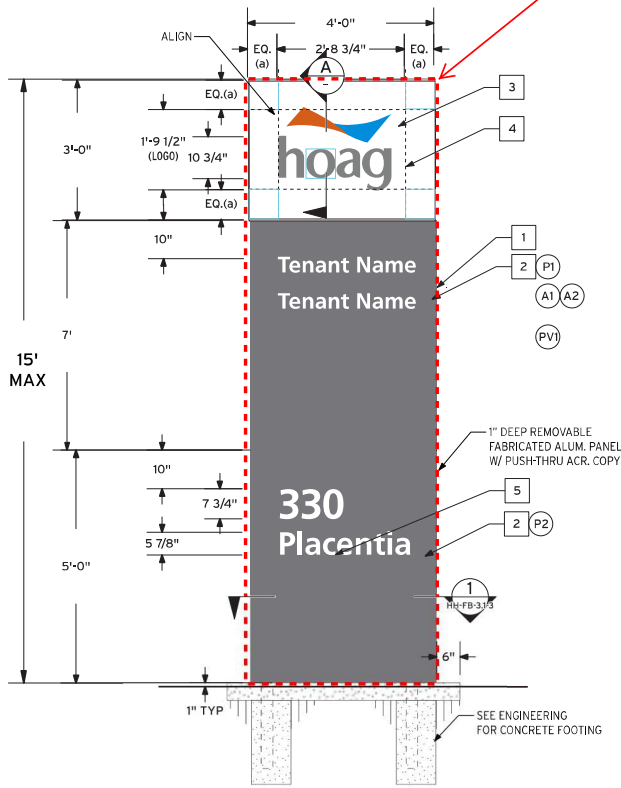
SHEET TITLE:
SITE PLAN
 JOB NUMBER:
515006

DRAWN BY:
AARON SMITH
 START DATE:
01-13-15

REVISIONS:
 △ Name: _____ Date: _____
 △ Name: _____ Date: _____
 △ Name: _____ Date: _____
 △ Name: _____ Date: _____

Approved Approved As Noted
 Revise & Resubmit
 APPROVED BY:
 SHEET NUMBER:
HH-FB-SITE

Max Sign Area
4' x 15' / 60sqft



NOTES AND SPECIFICATIONS

- 1 INTERNALLY ILLUMINATED, FABRICATED PAINTED ALUM. CABINET W/ 1/8" THK. BREAK FORMED PANELS MECHANICALLY FASTENED TO INTERNAL FRAME W/ S.S. FLAT HEAD SCREWS.
- 2 1/8" THK. PAINTED ALUM. BREAK-FORM SKIN W/ PUSH-THRU COPY & LOGO/GRAPHIC. MECHANICALLY FASTENED TO SIGN FRAME W/ #8 S.S. RECESSED FLATHEAD SCREWS ALONG SIDE EDGES.
- 3 3/16" TRANS. ACR. (ORANGE & BLUE PIECES) ADHERED TO 1/2" THK. CLEAR ACR. W/ ROUTED OUT CENTER "HAT" & PAINTED RETURNS, ROUTED TO ACHIEVE 1/2" OVERALL PROUD FROM FACE OF PANEL.
- 4 1/2" PROUD 7328 TRANS. WHITE PUSH-THRU ACR., ROUTED FROM A SINGLE PIECE OF 3/4" THK. ACR. W/ APPLIED PERFORATED VINYL ON FACE OF "HOAG" COPY & PAINTED RETURNS.
- 5 1/2" PROUD 7328 TRANS. WHITE PUSH-THRU ACR., ROUTED FROM A SINGLE PIECE OF 3/4" THK. ACR.
- 6 1/8" THK. PAINTED ALUM. SKIN WELDED TO ALUM. SIGN FRAME.

	Type of Lighting: <u>LED</u>
	Voltage: _____
	Circuits: <u>(1) 20 AMP</u>
	Power Supply/Ballast: _____

ST-1 QTY: 1 NEW (REMOVE EXISTING)
1 ELEVATION - 60 SQ. FT. (TOTAL SIGN AREA) - DOUBLE SIDED
 SCALE: 3/8" = 1'-0"

2 SIDE VIEW
 SCALE: 3/8" = 1'-0"

A PUSH-THRU (LOGO/"HOAG" DETAIL)
 SCALE: 1:2

TFN ARCHITECTURAL SIGNAGE
 3411 LAKE CENTER DRIVE, SANTA ANA, CA 92704 P 714.556.0990 F 714.850.4888

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PROJECT NAME:
HOAG HOSPITAL NB FISHBACK BLDG. - EXT.
 PROJECT LOCATION:
NEWPORT BEACH, CA

SHEET TITLE:
PYLON SIGN: FABRICATION DETAILS
 JOB NUMBER:
515006

DRAWN BY:
AARON SMITH
 START DATE:
01-13-15

REVISIONS:
 Δ Name: LPA Date: 01-23-14
 Δ Name: _____ Date: 01-29-15
 Δ Name: _____ Date: _____
 Δ Name: _____ Date: _____

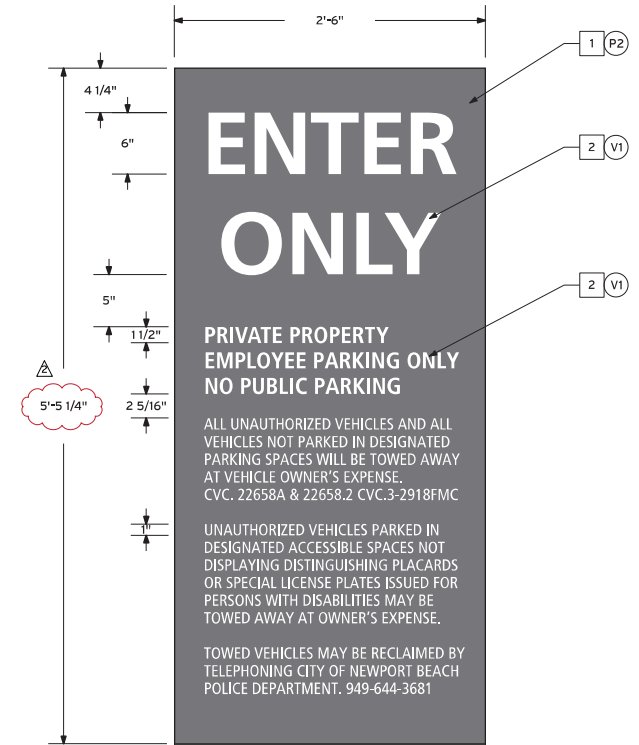
Approved Approved As Noted
 Revise & Resubmit
 APPROVED BY: _____
 SHEET NUMBER:
HH-FB-1.0-1



1 LOCATION ELEVATION - 10 SQ. FT. (SIGN PANEL AREA)
SCALE: 1" = 1'-0"

NOTES AND SPECIFICATIONS

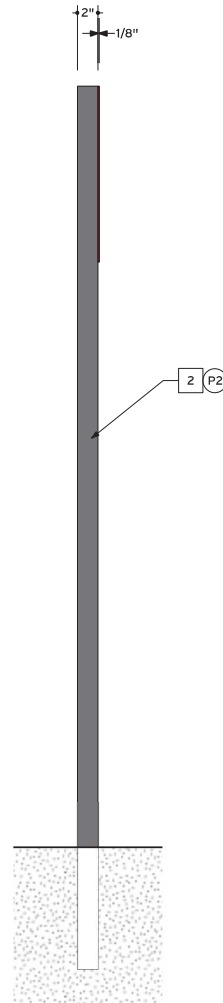
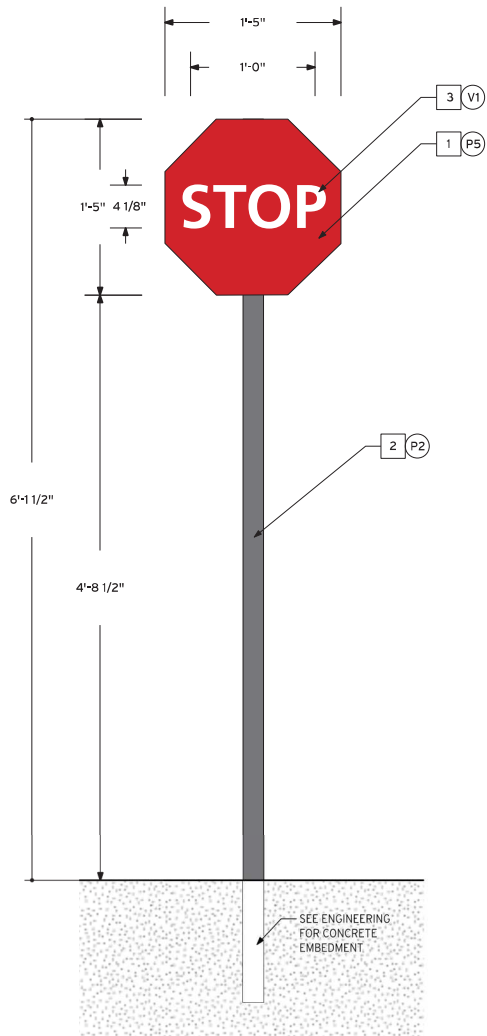
- 1 1/4" THK. PAINTED FABRICATED ALUM. SIGN FACE, SIDES & TOP W/ APPLIED REFLECTIVE VINYL COPY ON FACE. SECURE TO CONCRETE WALL USING SECURITY STUDS AND SILICONE.
- 2 APPLIED REFLECTIVE VINYL COPY.



1 ELEVATION - 10 SQ. FT. (SIGN PANEL AREA) - SINGLE SIDED
SCALE: 1" = 1'-0"

NOTES AND SPECIFICATIONS

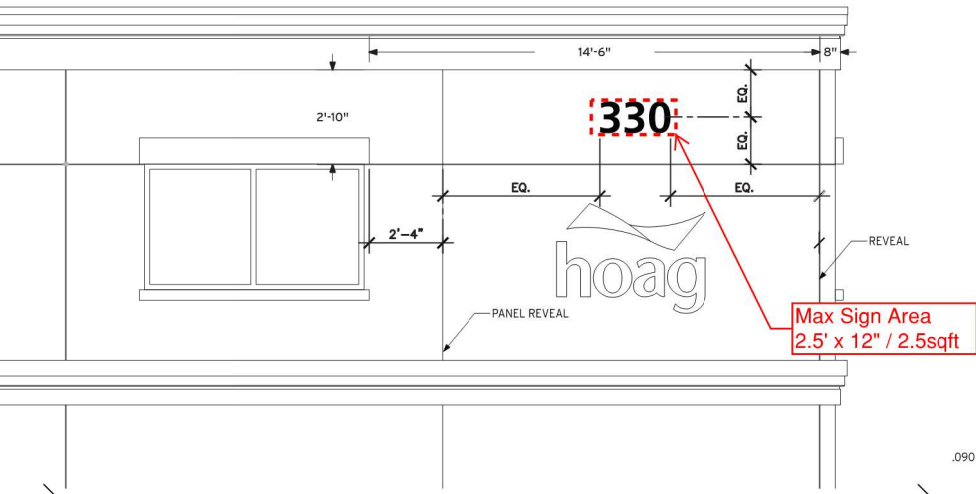
- 1 1/8" THK. PAINTED ALUM. SIGN FACE PANEL W/ APPLIED VINYL COPY. WELD TO SQ. ALUM. TUBE. ALL EDGES SANDED & BRUSHED PRIOR TO PAINTING.
- 2 2" X 1/8" WALL PAINTED SQ. ALUM. TUBE W/ TOP END CAPPED, WELDED TO PAINTED ALUM. SIGN FACE & DIRECTLY EMBEDDED INTO CONCRETE FOOTING, AS PER ENGINEERING.
- 3 APPLIED VINYL COPY.



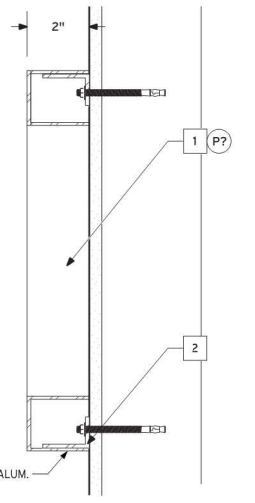
ST-3 QTY: 1

1 ELEVATION - 2.25 SQ. FT. (SIGN PANEL AREA) - TYPICAL
SCALE: 1" = 1'-0"

2 SIDE VIEW
SCALE: 1" = 1'-0"



3 SITE ELEVATION
SCALE: 1/4" = 1'-0"

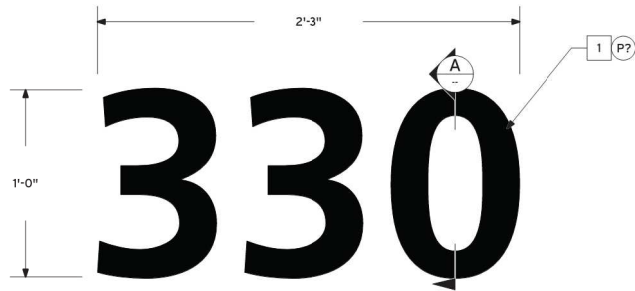


A SECTION
SCALE: 3" = 1'-0"

NOTES AND SPECIFICATIONS

- 1 2" DEEP FABRICATED PAINTED ALUM. NUMBERS W/ 1/8" THK. FACE.
- 2 1" X 1 1/2" X 1/8" WALL ALUM. ANGLE. CUT TO REQ'D LENGTH. WELD TO ALUM. NUMBER RETURNS & ATTACH TO WALL W/ BLIND ANCHOR STUDS & SILICONE ADHESIVE.

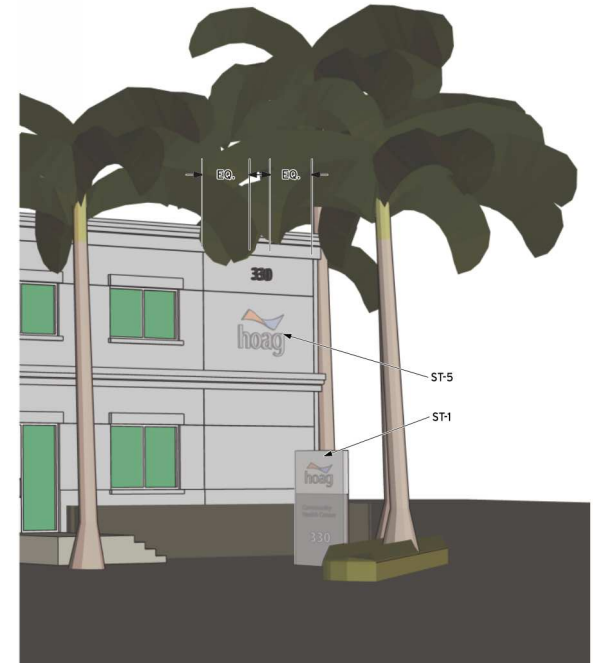
FONT: FRUTIGER BOLD - TO MATCH ADDRESS AT HOAG NB 307 PLACENTIA.



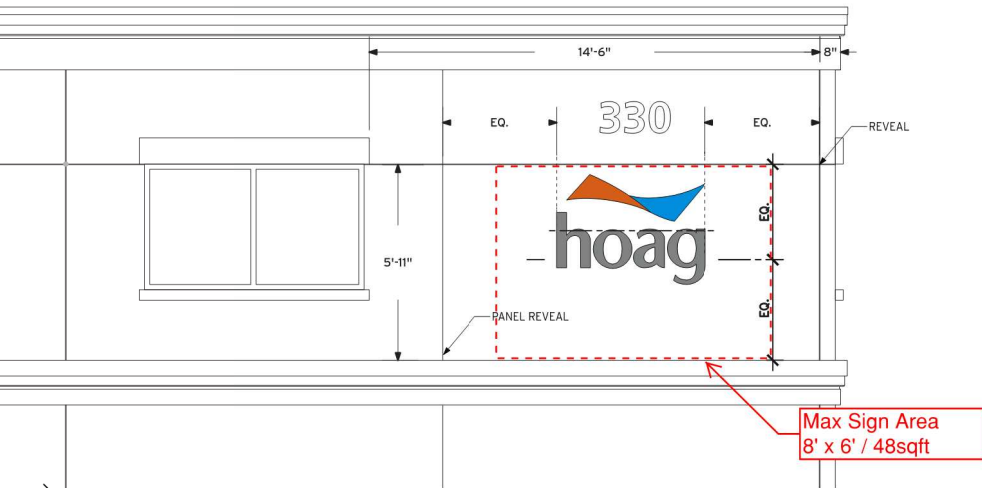
1 ELEVATION - 2.5 SQ. FT. (TOTAL SIGN AREA) - TYPICAL
SCALE: 1 1/2" = 1'-0"



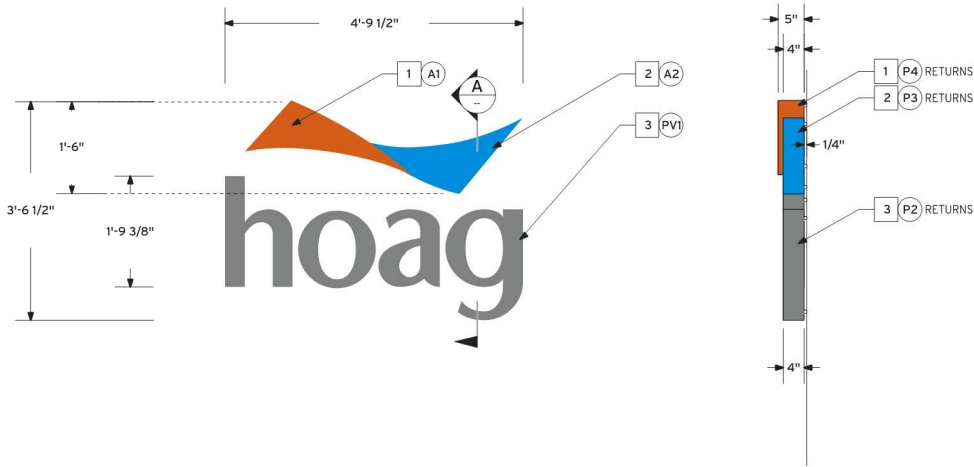
2 SIDE VIEW
SCALE: 1 1/2" = 1'-0"



3 LOCATION ELEVATION (SOUTH CORNER)
SCALE: N.T.S.

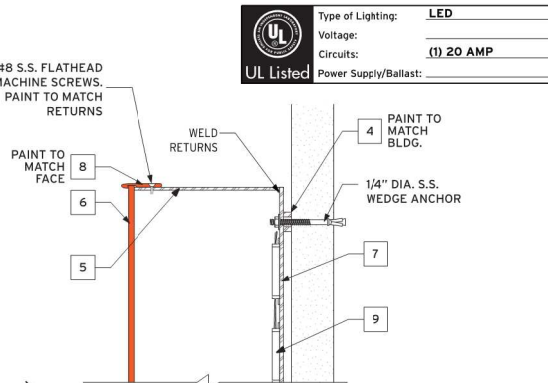


3 SITE ELEVATION
SCALE: 1/4" = 1'-0"

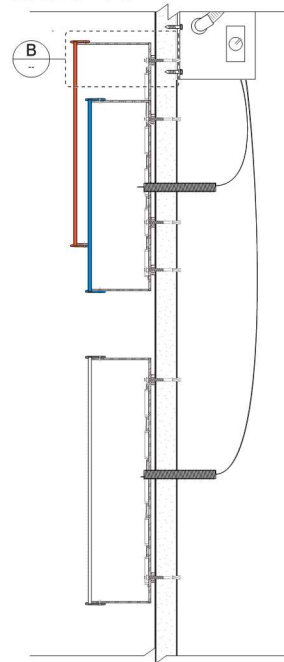


ST5 QTY: 1
1 ELEVATION - 48 SQ. FT. (TOTAL SIGN AREA) - TYPICAL
SCALE: 1/2" = 1'-0"

2 SIDE VIEW
SCALE: 1/2" = 1'-0"



B DETAIL
SCALE: 3" = 1'-0"

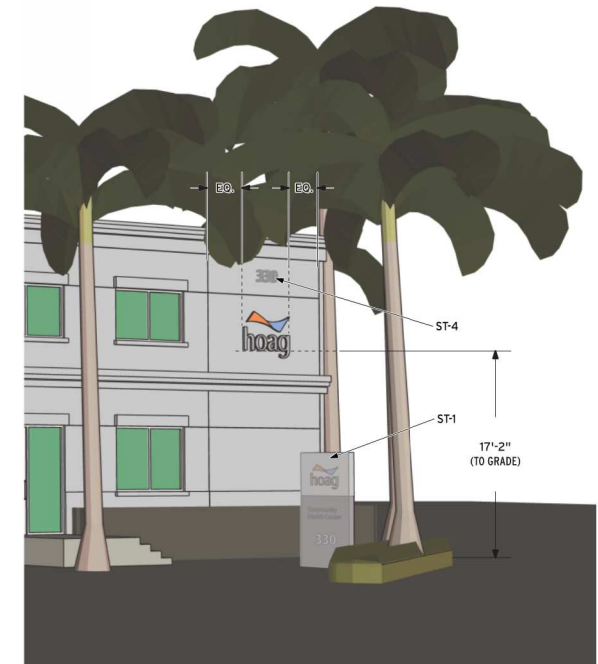


A SECTION
SCALE: 1 1/2" = 1'-0"

NOTES AND SPECIFICATIONS

- 1 5" DEEP FABRICATED, PAINTED ALUM. REVERSE CHANNEL ACCENT W/ 3/16" THK. TRANS. ORANGE ACR. FACE W/ TRIM CAP.
- 2 4" DEEP FABRICATED, PAINTED ALUM. REVERSE CHANNEL ACCENT & COPY W/ 3/16" THK. TRANS. BLUE ACR. FACE W/ TRIM CAP.
- 3 4" DEEP FABRICATED, PAINTED ALUM. REVERSE CHANNEL LETTERS W/ 3/16" THK. TRANS. WHITE ACR. FACE W/ APPLIED PERFORATED VINYL.
- 4 5/8" DIA. X 1/4" LONG PAINTED ALUM. SPACERS. PAINT TO MATCH BLDG. COLOR.
- 5 .090" THK. PAINTED ALUM. RETURNS.
- 6 3/16" THK. COLORED ACR.
- 7 1/8" THK. ALUM. BACKER W/ WELDED ALUM. SUPPORT PIECES, AS REQ'D.
- 8 1" WIDE, PAINTED TRIM CAP; MECHANICALLY FASTENED ALONG OUTER EDGE OF REVERSE CHANNEL LETTER/ACCENT USING #8 S.S. RECESSED FLATHEAD SCREWS, AS REQ'D.
- 9 LED SYSTEM AS REQ'D, TO PROVIDE EVEN ILLUMINATION.

NOTE: PRECISE LOCATION TO BE DETERMINED IN FIELD BY OWNER REPRESENTATIVE.

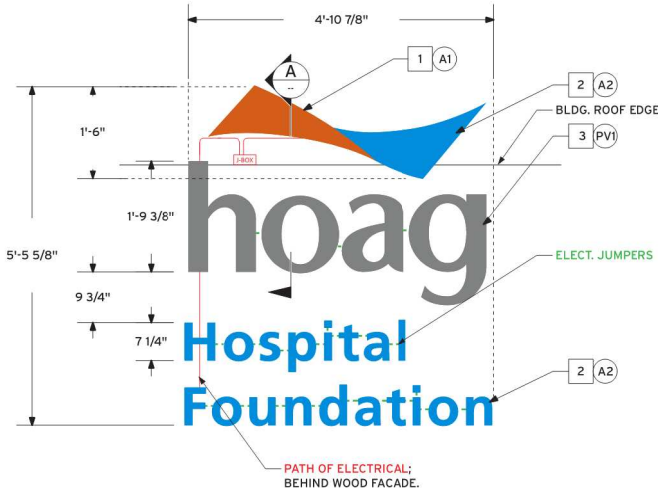


3 LOCATION ELEVATION (SOUTH CORNER)
SCALE: N.T.S.



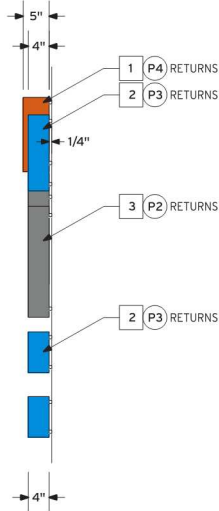
ST-8

4 LOCATION ELEVATION (AT MAIN ENTRANCE)
SCALE: N.T.S.

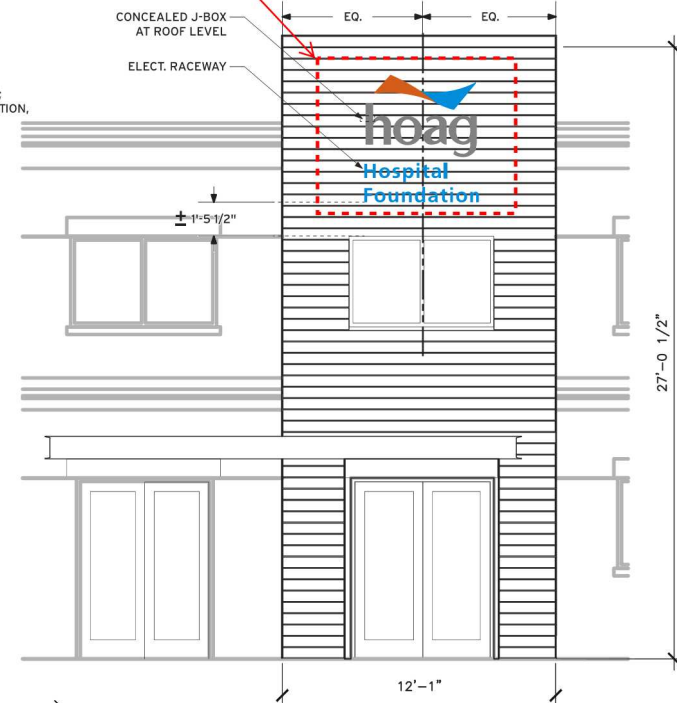
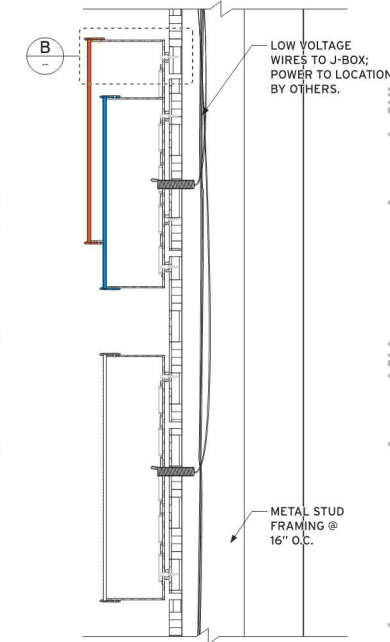
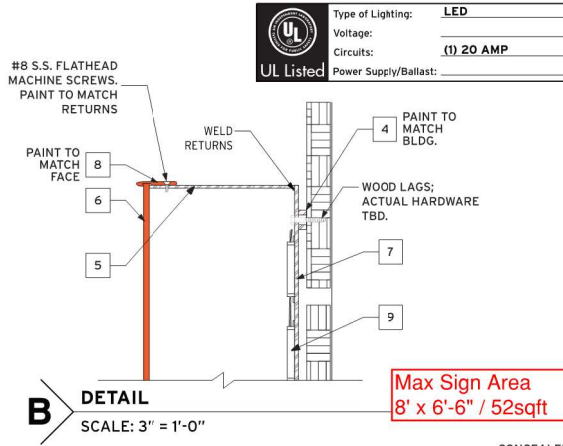


ST-5A QTY: 1

1 ELEVATION - 52 SQ. FT. (TOTAL SIGN AREA) - TYPICAL
SCALE: 1/2" = 1'-0"



2 SIDE VIEW
SCALE: 1/2" = 1'-0"




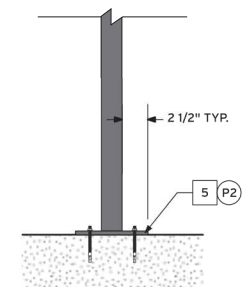
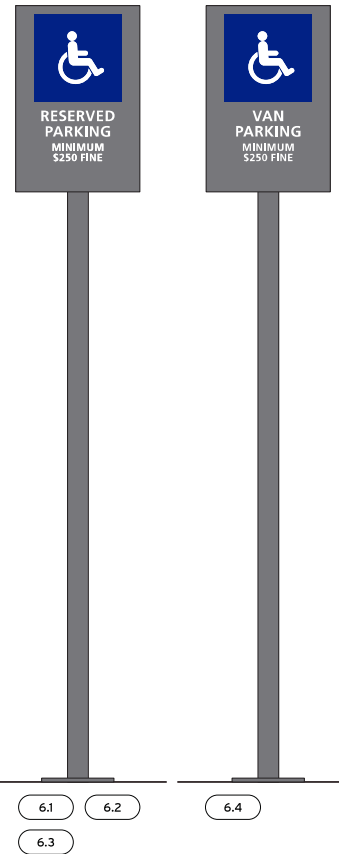
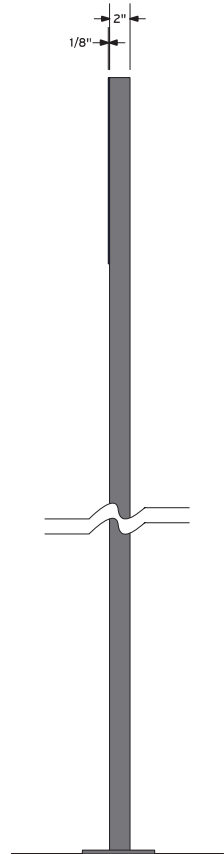
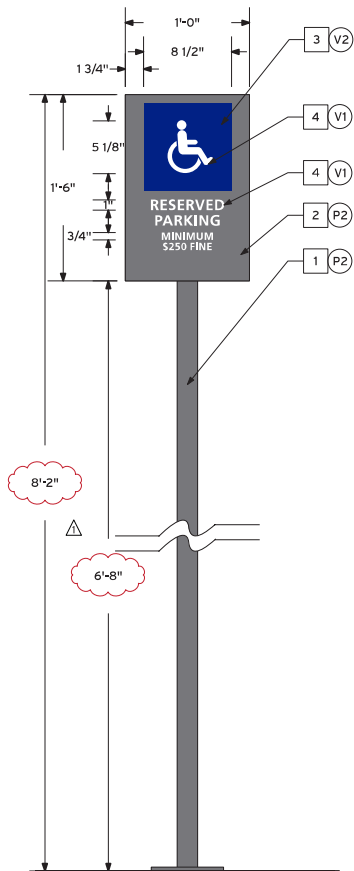
NOTES AND SPECIFICATIONS

- 1 5" DEEP FABRICATED, PAINTED ALUM. REVERSE CHANNEL ACCENT W/ 3/16" THK. TRANS. ORANGE ACR. FACE W/ TRIM CAP.
- 2 4" DEEP FABRICATED, PAINTED ALUM. REVERSE CHANNEL ACCENT & COPY W/ 3/16" THK. TRANS. BLUE ACR. FACE W/ TRIM CAP.
- 3 4" DEEP FABRICATED, PAINTED ALUM. REVERSE CHANNEL LETTERS W/ 3/16" THK. 7328 WHITE ACR. FACE W/ APPLIED PERFORATED VINYL.
- 4 5/8" DIA. X 3/4" LONG PAINTED ALUM. SPACERS. PAINT TO MATCH BLDG. COLOR.
- 5 .090" THK. PAINTED ALUM. RETURNS.
- 6 3/16" THK. COLORED ACR.
- 7 1/8" THK. ALUM. BACKER W/ WELDED ALUM. SUPPORT PIECES, AS REQ'D.
- 8 1" WIDE, PAINTED TRIM CAP; MECHANICALLY FASTENED ALONG OUTER EDGE OF REVERSE CHANNEL LETTER/ACCENT USING #8 S.S. RECESSED FLATHEAD SCREWS, AS REQ'D.
- 9 LED SYSTEM AS REQ'D, TO PROVIDE EVEN ILLUMINATION.

NOTES AND SPECIFICATIONS

- 1 2" SQ. PAINTED ALUM. RECT. TUBE. WELD TO ALUM. BASE PLATE.
- 2 1/8" THK. PAINTED ALUM. SIGN FACE W/ VINYL COPY & GRAPHIC. ATTACH TO 2" SQ. ALUM. RECT. TUBE W/ LORDS ADHESIVE, AS REQ'D.
- 3 8 1/2" SQ. VINYL PIECE, APPLIED DIRECTLY TO SIGN FACE.
- 4 APPLIED VINYL COPY & GRAPHIC.
- 5 3/8" THK. PAINTED ALUM. BASE PLATE WELDED TO 2" SQ. ALUM. RECT. TUBE STRUCTURE AND FASTENED TO HARDSCAPE W/ SS WEDGE ANCHORS.

 UL Listed	Type of Lighting: FLUORESCENT
	Voltage: _____
	Circuits: _____
	Power Supply/Ballast: _____

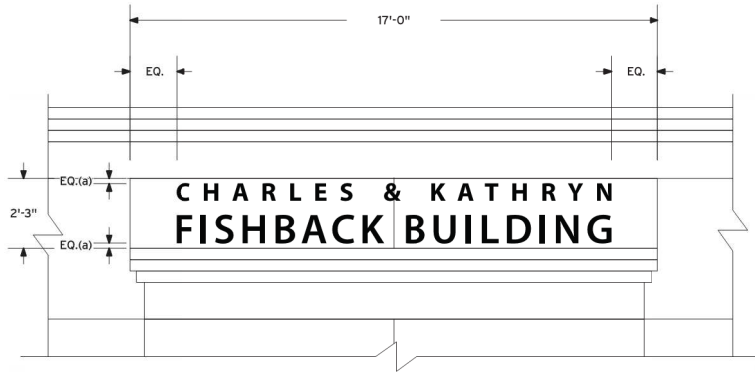


1 ST-6 QTY: 4
ELEVATION - 1.5 SQ. FT. (SIGN PANEL AREA) - TYPICAL
 SCALE: 1" = 1'-0"

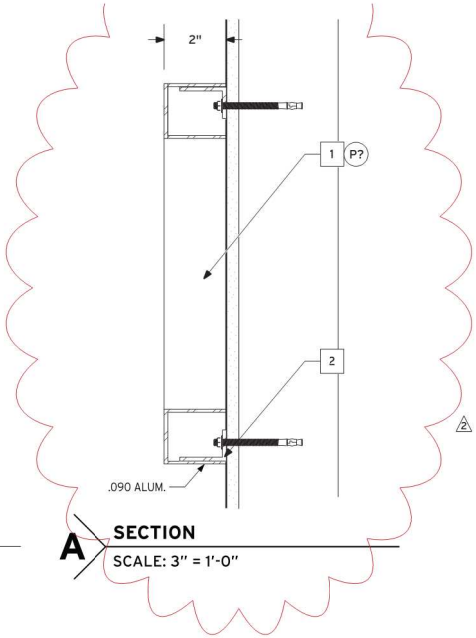
2 **SIDE VIEW**
 SCALE: 1" = 1'-0"

3 **LAYOUTS**
 SCALE: 1" = 1'-0"

4 **HARDSCAPE ATTACHMENT DETAIL**
 SCALE: 1" = 1'-0"



3 SITE ELEVATION
SCALE: 1/4" = 1'-0"



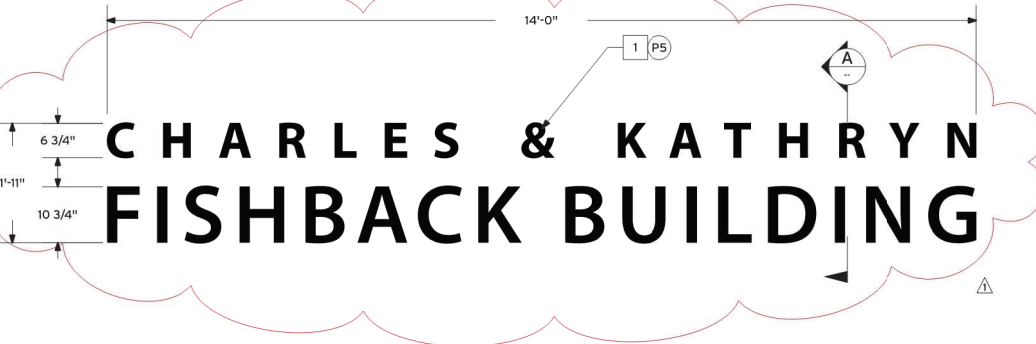
A SECTION
SCALE: 3" = 1'-0"

NOTES AND SPECIFICATIONS

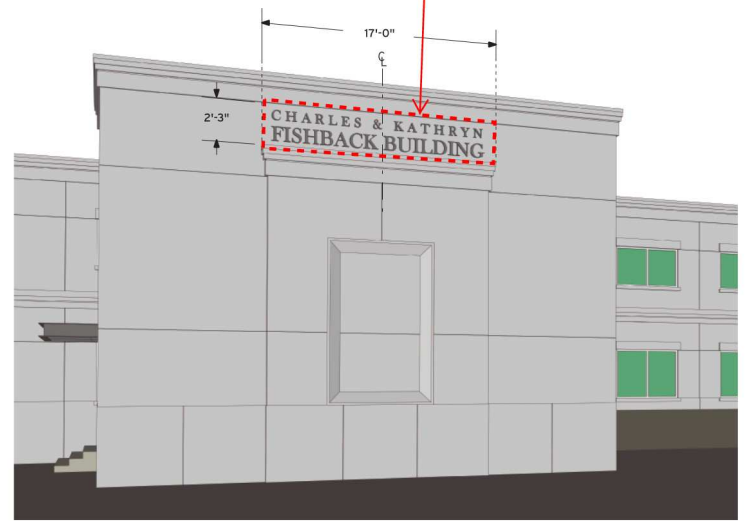
- 1 2" DEEP FABRICATED PAINTED ALUM. NUMBERS W/ 1/8" THK. FACE.
- 2 1/8" WALL ALUM. ANGLE. CUT TO REQ'D LENGTH. WELD TO ALUM. CHANNEL LETTER RETURNS & ATTACH TO WALL W/ BLIND ANCHOR STUDS & SILICONE ADHESIVE.

FONT: MYRIAD PRO SEMI BOLD.

Max Sign Area
17" x 2'-3" / 38.25sqft



1 ELEVATION - 38.25 SQ. FT. (TOTAL SIGN AREA) - TYPICAL
SCALE: 1/2" = 1'-0"



2 LOCATION ELEVATION - EXISTING CONDITION (SOUTH/WEST SIDE)
SCALE: N.T.S.

ST-7 QTY: 1 NEW (REPLACES EXISTING COPY)



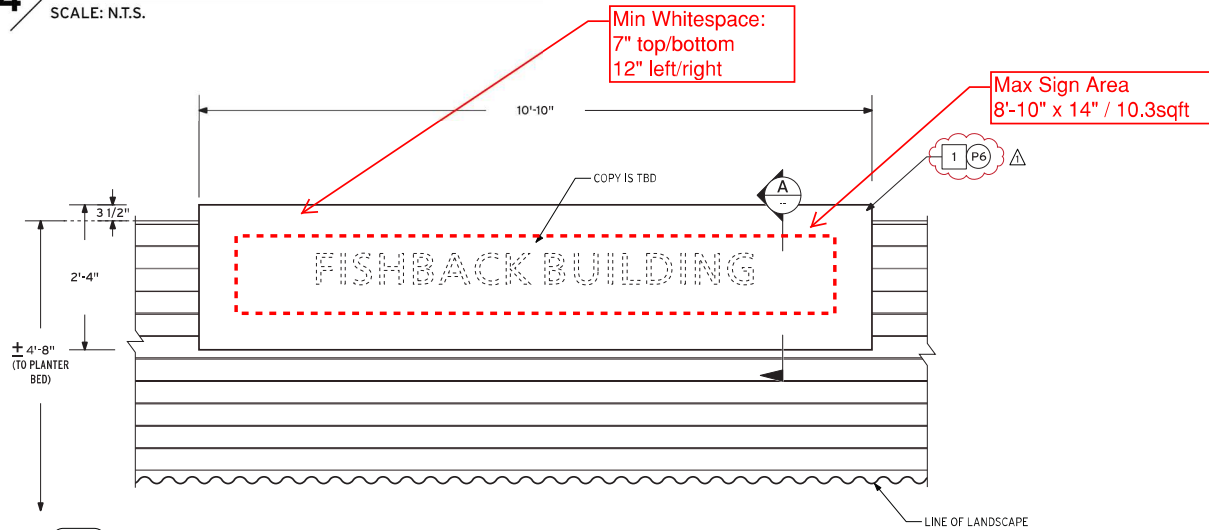
Non-illuminated sign desired, with the option to replace with an illuminated version in the future.

NOTES AND SPECIFICATIONS

- 1 FABRICATED ALUM. DONOR SIGN CABINET; CABINET TO HOUSE J-BOX FOR ELECTRICAL SUPPLY & PROVIDE REMOVEABLE SKIN FOR FUTURE PUSH-THRU ILLUMINATED COPY.
- 2 3" X 1/8" WALL ALUM. SQ. TUBE FRAME ASSEMBLY W/ WELDED ALUM. ANGLE TO PROVIDE ATTACHMENT POINTS TO EXISTING WOOD FACADE AT TOP OF WALL W/ WOOD LAGS & EPOXY, AS REQ'D.
- 3 1/8" THK. ALUM. BREAKFORM SKIN PANEL; SHOE-BOX OVER EDGE OF FRAME ASSEMBLY USING #8 S.STL. FLATHEAD RECESSED SCREWS ALONG SIDES OF FRAME.
- 4 1/8" THK. ALUM. BREAKFORM SKIN PANEL; SHOE-BOX OVER EDGE OF FRAME ASSEMBLY USING #8 S.STL. FLATHEAD RECESSED SCREWS ALONG BACK SIDE OF CABINET.
- 5 1" X 1" X 1/8" WALL SQ. TUBE FRAME.
- 6 3" X 1" X 1/8" WALL ALUM. U-CHANNEL CABINET FRAME (BOTTOM & SIDES).
- 7 EXISTING 1/2" THK. RESTSYA 'WOOD' FACADE PANELING W/ 16" O.C. VERT. FRAMING.
EXISTING CMU CLADDING OVER FREESTANDING CEMENT WALL.

4 LOCATION ELEVATION (AT MAIN ENTRANCE)

SCALE: N.T.S.



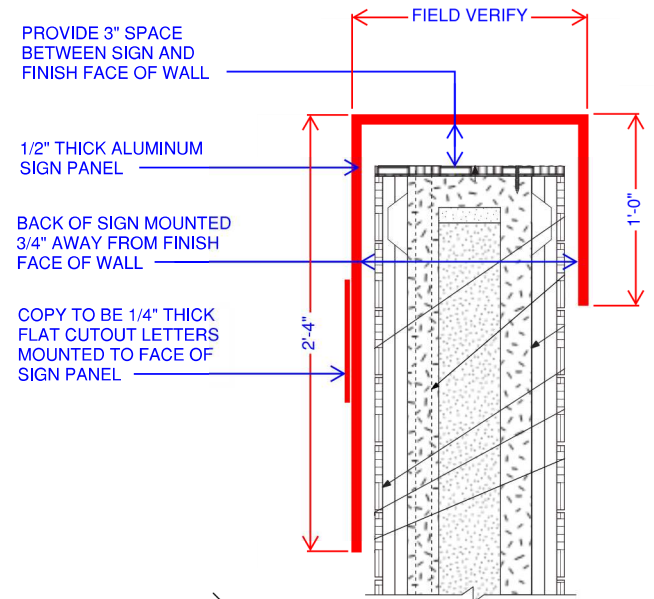
ST-8 QTY: 1

1 ELEVATION - ±25.3 SQ. FT. (TOTAL SIGN AREA)

SCALE: 1/2" = 1'-0"

2 SIDE VIEW

SCALE: 1/2" = 1'-0"



A SECTION

SCALE: 1 1/2" = 1'-0"



Illuminated option.

ILLUMINATED PUSH-THRU COPY TO BE INSTALLED AT A LATER DATE; COPY SHOWN FOR REFERENCE PURPOSE ONLY.

UL Listed	Type of Lighting:	LED
	Voltage:	120VAC (SEE SPEC FOR FUTURE ILLUMINATION WORKFLOW)
	Circuits:	(1) 20 AMP
	Power Supply/Ballast:	

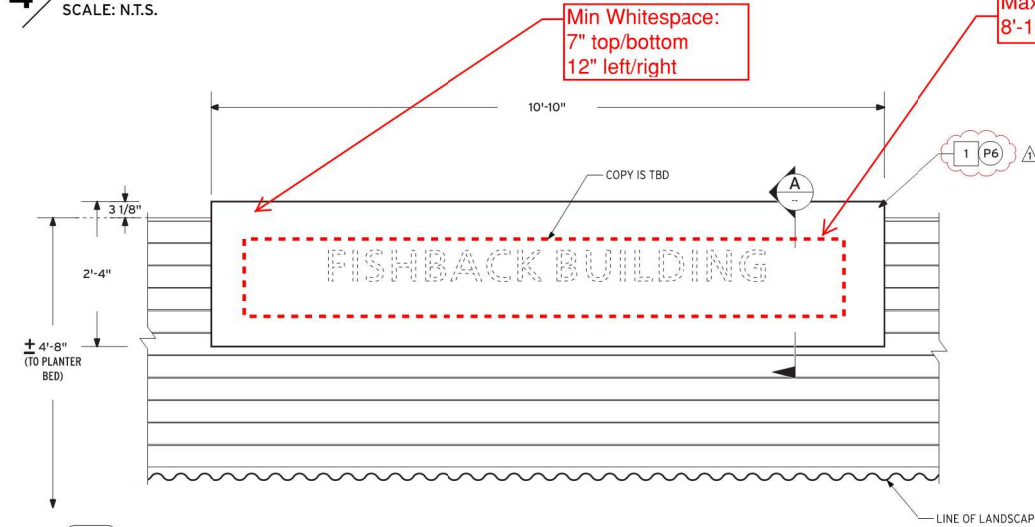
NOTES AND SPECIFICATIONS

- FABRICATED ALUM. DONOR SIGN CABINET; CABINET TO HOUSE J-BOX FOR ELECTRICAL SUPPLY & PROVIDE REMOVEABLE SKIN FOR FUTURE PUSH-THRU ILLUMINATED COPY.
- 3" X 1/8" WALL ALUM. SQ. TUBE FRAME ASSEMBLY W/ WELDED ALUM. ANGLE TO PROVIDE ATTACHMENT POINTS TO EXISTING WOOD FACADE AT TOP OF WALL W/ WOOD LAGS & EPOXY, AS REQ'D.
- 1/8" THK. ALUM. BREAKFORM SKIN PANEL; SHOE-BOX OVER EDGE OF FRAME ASSEMBLY USING #8 S.STL. FLATHEAD RECESSED SCREWS ALONG SIDES OF FRAME.
- 1/8" THK. ALUM. BREAKFORM SKIN PANEL; SHOE-BOX OVER EDGE OF FRAME ASSEMBLY USING #8 S.STL. FLATHEAD RECESSED SCREWS ALONG BACK SIDE OF CABINET.
- 1" X 1" X 1/8" WALL SQ. TUBE FRAME.
- 3" X 1" X 1/8" WALL ALUM. U-CHANNEL CABINET FRAME (BOTTOM & SIDES).
- EXISTING 1/2" THK. RESTYSA 'WOOD' FACADE PANELING W/ 16" O.C. VERT. FRAMING.
EXISTING CMU CLADDING OVER FREESTANDING CEMENT WALL.

LED SYSTEM TO BE INSTALLED AT TIME OF NEW FACE PANEL W/ PUSH-THRU COPY.

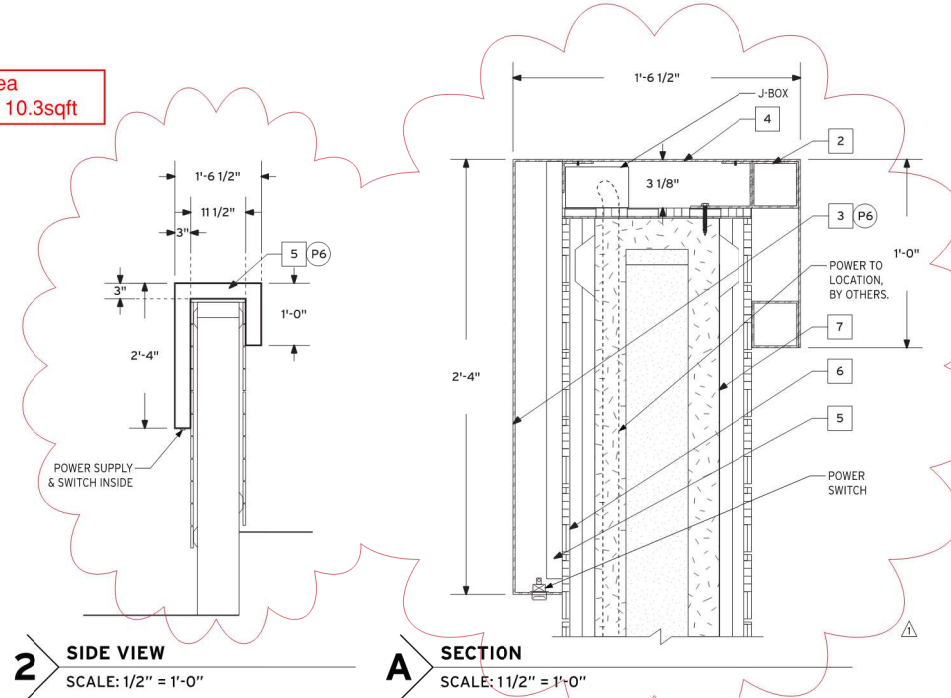
4 LOCATION ELEVATION (AT MAIN ENTRANCE)

SCALE: N.T.S.



Max Sign Area
8'-10" x 14" / 10.3sqft

Min Whitespace:
7" top/bottom
12" left/right



1 ELEVATION - ±25.3 SQ. FT. (TOTAL SIGN AREA)

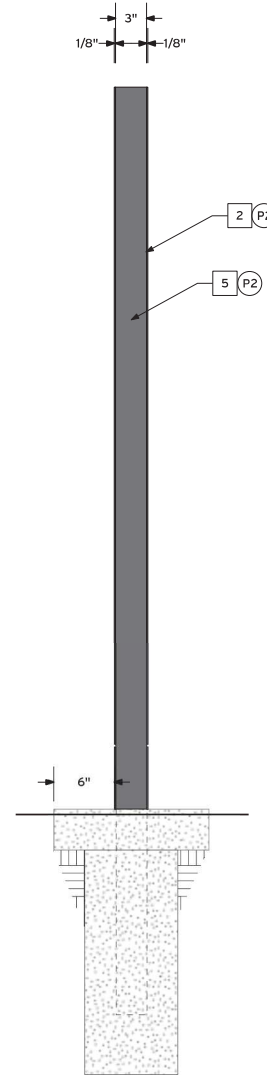
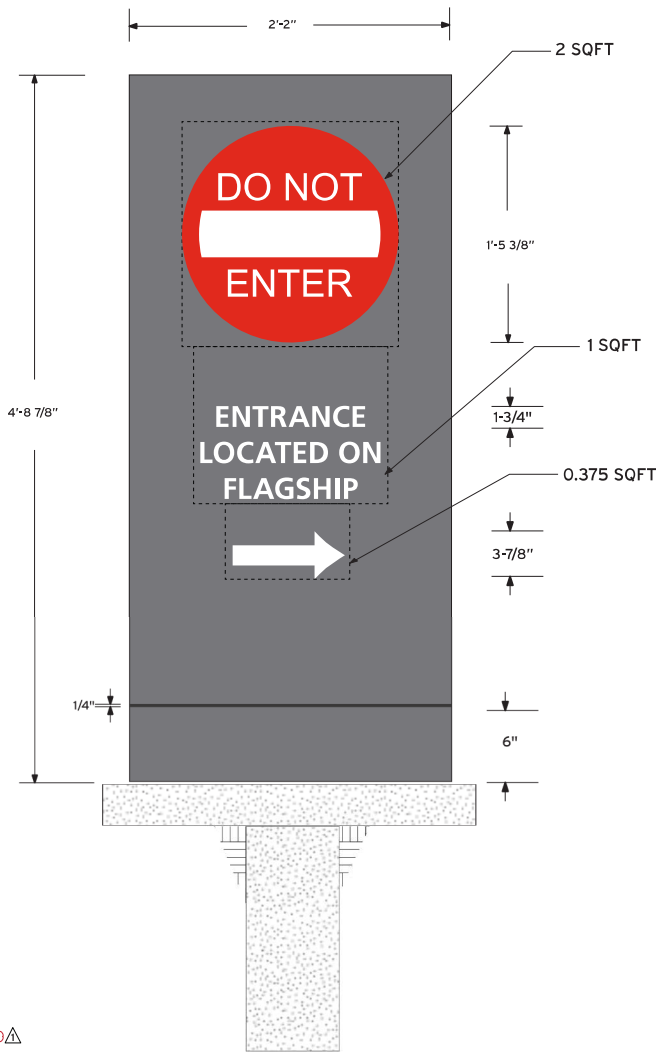
SCALE: 1/2" = 1'-0"

2 SIDE VIEW

SCALE: 1/2" = 1'-0"

A SECTION

SCALE: 1/2" = 1'-0"



NOTES AND SPECIFICATIONS

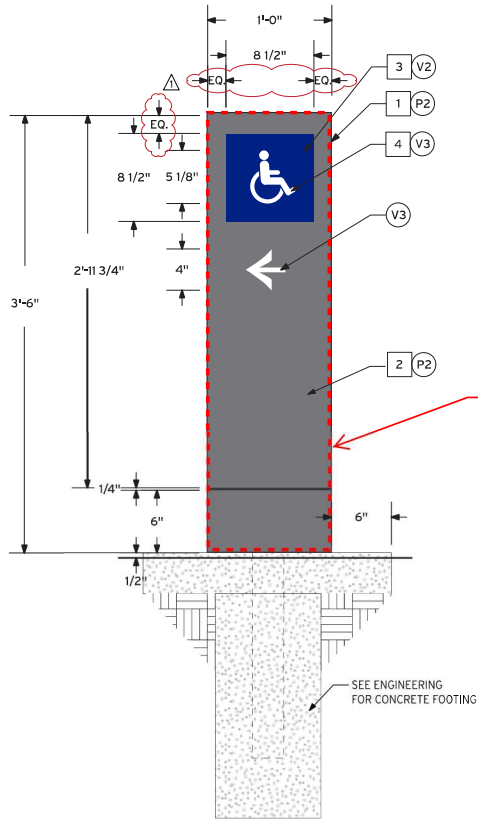
- 1 FABRICATED PAINTED ALUM. SIGN CABINET W/ APPLIED VINYL COPY & GRAPHICS. SECURE TO EMBEDDED STEEL PIPE W/ #10 S.S. FLAT HEAD BOLT, THREADED INTO TOP CAP OF PIPE W/ WELDED NUT.
- 2 1/8" THK. PAINTED FABRICATED ALUM. SIGN FACE WELDED TO ALUM. CHANNEL FRAME SIDES. SIGN FACES TO HAVE APPLIED VINYL GRAPHICS W/ SATIN CLEAR COAT.
- 3 24" CIRCLE REFL. VINYL PIECE W/ REFL. COPY & GRAPHIC, APPLIED DIRECTLY TO SIGN FACE.
- 4 APPLIED VINYL ARROW & COPY.
- 5 3" X 1" X 1/8" WALL FABRICATED PAINTED ALUM. CHANNEL FRAME.

FONT: FRUTIGER BOLD - TO MATCH NB HOAG PROJECT STANDARDS.

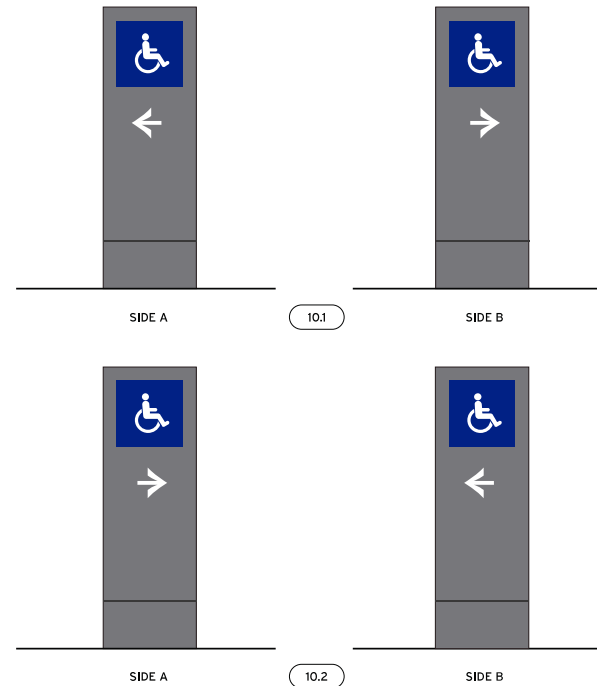
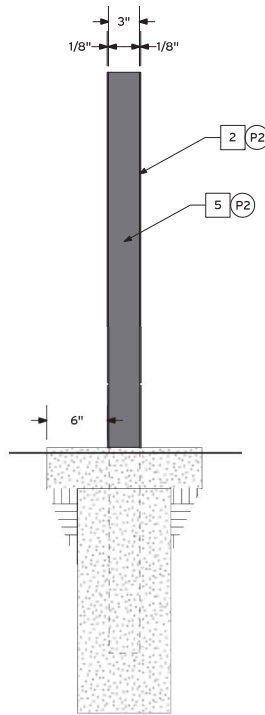
1 ST-9 QTY: 2
ELEVATION - 3.75 SQ. FT.
 SCALE: 1" = 1'-0"

2 **SIDE VIEW**
 SCALE: 1" = 1'-0"

INITIAL SIGNS TO BE INSTALLED ARE 3' TALL, BUT OWNER WOULD LIKE OPTION TO INCREASE HEIGHT IF NEEDED FOR VISIBILITY.



Max Sign Area
1' x 3'-6" / 3.5sqft



NOTES AND SPECIFICATIONS

- 1 FABRICATED PAINTED ALUM. SIGN CABINET W/ APPLIED VINYL GRAPHICS. SECURE TO EMBEDDED STEEL PIPE W/ #10 S.S. FLAT HEAD BOLT, THREADED INTO TOP CAP OF PIPE W/ WELDED NUT.
- 2 1/8" THK. PAINTED FABRICATED ALUM. SIGN FACE WELDED TO ALUM. CHANNEL FRAME SIDES. SIGN FACES TO HAVE APPLIED VINYL GRAPHICS W/ SATIN CLEAR COAT.
- 3 8 1/2" SQ. VINYL PIECE, APPLIED DIRECTLY TO SIGN FACE.
- 4 APPLIED VINYL ARROW & GRAPHIC.
- 5 3" X 1" X 1/8" WALL FABRICATED PAINTED ALUM. CHANNEL FRAME.

NOTE: PRECISE LOCATION TO BE DETERMINED IN FIELD BY OWNER REPRESENTATIVE.

ST10 QTY: 2


1 ELEVATION (TYP.) - DOUBLE SIDED 3.5 SQ. FT. TYPICAL
SCALE: 1" = 1'-0"

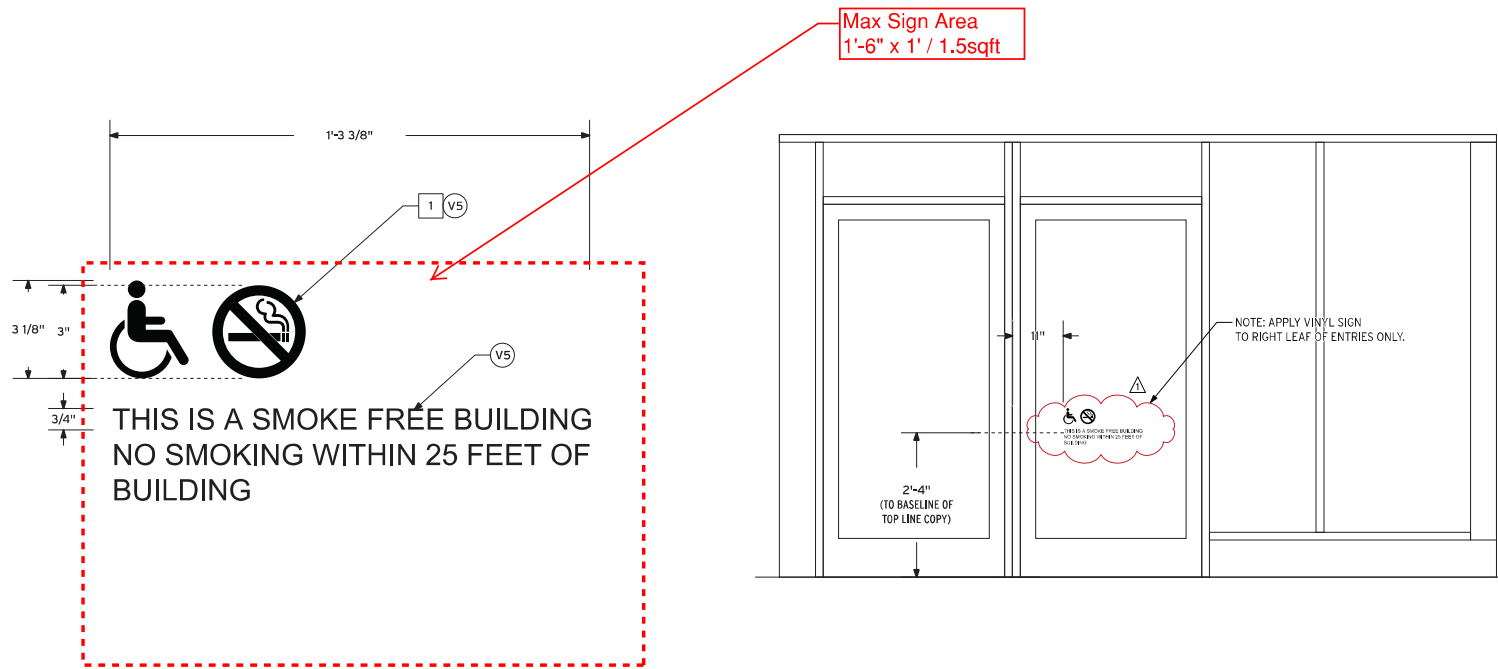
2 SIDE VIEW
SCALE: 1" = 1'-0"

3 LAYOUTS
SCALE: 3/4" = 1'-0"

NOTES AND SPECIFICATIONS

- 1 APPLIED VINYL COPY & GRAPHICS TO FIRST SURFACE OF GLASS.

	TYPE OF LIGHTING: FLUORESCENT
	VOLTAGE: _____
	CIRCUITS: _____
	POWER SUPPLY/BALLAST: _____




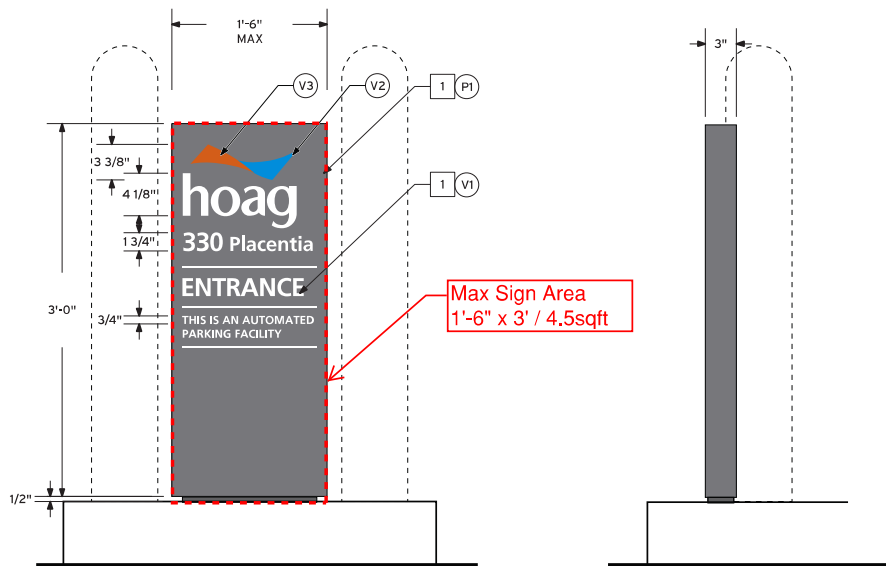
1 **ELEVATION**
SCALE: 3" = 1'-0"

2 **LOCATION ELEVATION**
SCALE: 1/2" = 1'-0"

NOTES AND SPECIFICATIONS

- 1 3" DEEP FABRICATED, PAINTED ALUM. SIGN CABINET.
- 2 APPLIED VINYL COPY/GRAPHICS.
- 3 1/2" THK. PAINTED ALUM. BASE PLATE. ANCHOR TO CONCRETE FOOTING USING CONCRETE WEDGE ANCHORS AS REQUIRED.
- 4 1/8" THK. PAINTED ALUM. SKIN.
- 5 3/4" X 3/4" X 1/8" WALL ALUM. FRAME.
- 6 1" X 1" X 1/8" WALL ALUM. SQ. TUBE WELDED TO 1/2" THK. BASE PLATE. CAP TOP.

 UL Listed	Type of Lighting: FLUORESCENT
	Voltage: _____
	Circuits: _____
	Power Supply/Ballast: _____



1 ELEVATION AT ENTRANCE GATE - 4.5 SQ. FT.
SCALE: 1" = 1'-0"

2 SIDE VIEW (TYPICAL)
SCALE: 1" = 1'-0"