



**CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

FROM: Kimberly Brandt, Community Development Director
Brenda Wisneski, Deputy Community Development Director

SUBJECT: Report of actions taken by the Zoning Administrator, and/or Planning Division staff for the week ending December 4, 2015

**COMMUNITY DEVELOPMENT DIRECTOR
OR PLANNING DIVISION STAFF ACTIONS**
(Non-Hearing Items)

- Item 1: Rocky Point Pump Station Surplus Land Sale Tentative and Final Parcel Map Waiver (PA2013-066)
Site Address: 1730-1900 West Coast Highway
- Action: Approved Council District 3
- Item 2: Mariner's Pointe Comprehensive Sign Program Amendment No. CS2015-013 (PA2015-200)
Site Address: 100 West Coast Highway
- Action: Approved Council District 3

APPEAL PERIOD: An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.



**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
(949) 644-3200 Fax: (949) 644-3229

www.newportbeachca.gov

ZONING ADMINISTRATOR ACTION LETTER

Application: Tentative and Final Parcel Map Waiver (PA2013-066)
Applicant: Orange County Sanitation District
Site Address: 1730-1900 W. Coast Highway
Project Name: Rocky Point Pump Station Surplus Land Sale
Tentative and Final Parcel Map Waiver
Legal Description: Parcel 1 of Parcel Map filed March 6, 1974 in Book 59, Page 6
of Parcel Maps, Records of Orange County, California

ACTION

On November 30, 2015, the Zoning Administrator approved a request to waive the tentative and final parcel map requirement pursuant to Municipal Code Section 19.08.030. The action is supported by the following findings and is subject to the following requirements.

PROJECT SUMMARY

The Orange County Sanitation District (OCSD or Applicant) has determined that a portion the property located at 1730-1900 W. Coast Highway in the Mariner's Mile area is surplus. OCSD has entered into a purchase and sale agreement to transfer the surplus portion property to the Coast Community College District (CCCD) for their future use. The applicant proposes to subdivide the property creating two lots where the Applicant would retain the westerly lot and the easterly surplus lot would be transferred to CCCD. The applicant requests the waiver of the tentative and final parcel map requirements pursuant to Municipal Code Section 19.08.030, and the applicant has prepared a record of survey to comply with Subsection 19.08.030.E that will establish the subdivision of the lot.

ZONING DISTRICT/GENERAL PLAN

- **Zone:** PF (Public Facilities)
- **General Plan:** Public Facilities

I. PROJECT DESCRIPTION

The Applicant desires to transfer a surplus portion of their property located at 1730-1900 W. Coast Highway. The westerly portion of the property is developed with the OCSD Rocky Point Pump Station and the easterly portion of the lot is vacant and paved with a combination of asphalt and gravel. The portion of the lot that supports the existing pump station will be retained by the applicant and the vacant surplus portion of the lot will be transferred to Coast Community College District to be utilized for educational purposes in the future.

Municipal Code Section 19.08.030, enacted pursuant to Government Code Section 66428, allows the Zoning Administrator to waive all or part of the requirements for tentative and final parcel maps when the: 1) division of real property or interests therein created by probate, eminent domain procedures, partition, or other civil judgments or decrees; or 2) division of real property resulting from the conveyance of land or any interest therein to or from the City or other public entity for public purposes, such as school sites, public building sites, or rights-of-way or easements for streets, sewers, utilities, drainage, and similar facilities; or 3) mergers resulting in the net elimination of no more than three parcels; or 4) a division requiring a parcel map imposed by Section 66426 of the Government Code.

In this case, the division of property results from the conveyance of surplus land from one public entity to another public entity for public purposes, and therefore, the requested waiver of the tentative and final parcel may be approved if the findings provided in Subsection 19.08.030.C are met.

II. FINDINGS

Finding

- A. *The proposed division of land complies with requirements as to area, improvement and design, flood water drainage control, appropriate improved public roads and property access, sanitary disposal facilities, water supply availability, environmental protection.*

Facts in Support of Finding:

1. The waiver and ultimate division will create: 1) a 23,517 square foot lot that will continue to support a public facility, namely the existing OCSD Rocky Point Pump Station; and 2) a 9,109 square foot lot to be transferred to the Coast Community College District (CCCD) for their future use. There is no minimum lot size prescribed by the Zoning Code and both lots will have over 95 feet of street frontage on Coast Highway (a public street) and as a result, the resulting lots will comply with the Zoning Code.
2. The existing lot has complete public improvements across the full street frontage, including curb, gutter, sidewalks, and a driveway approach allowing vehicular access. No subdivision or public improvements are necessary for the transfer of a portion of the property to CCCD. The site is not within a Special Flood Hazard Area as established by FEMA Flood Insurance Rate Map and there are no existing or anticipated flood control facilities for the project site. The lot is relatively small and has been previously

developed and graded to accommodate appropriate drainage to avoid nuisance flooding.

3. An 8-inch sewer line and a 6-inch water line are located in Coast Highway and access these facilities can be secured and provided from OCSD (sewer) and the City of Newport Beach (water).
4. The lot is presently developed and disturbed and does not support any sensitive habitat and the parcel map waiver and division of land does not authorize development, and therefore, it is exempt from environmental review, as no physical change to the environment will occur with the division and transfer of the property. Future use or development of the site has not been identified and will be subject to the California Environmental Quality Act. The application of that CEQA review process by CCCD or the City when future use of the site is identified will ensure appropriate environmental protection.

Finding:

- B. The proposed division of land complies with other applicable requirements of this title (Title 19), the Zoning Code (Title 20), the General Plan, and any applicable Coastal Plan or Specific Plan.*

Facts in Support of Finding:

1. The division of the lot does not require any subdivision improvements or public infrastructure given the presence of existing public improvements within Coast Highway. The waiver and division of real property results in the conveyance of land from one public entity to another public entity for public purposes consistent with Title 19, Section 19.08.030. Upon approval of a parcel map waiver, the applicant will file a record of survey specifying the names of the record owners of the fee interest and particularly describing the real property with a site map for recordation with the County Recorder pursuant to Section 19.08.030.E. As a result, the waiver and division comply with the Subdivision Code (Title 19).
 2. The lot is designated Public Facilities by both the General Plan and Zoning Code. There is no minimum lot size prescribed by the Zoning Code and the existing and future use of the property will be consistent with the Public Facilities land use category and zoning district that allows the lots to be used for public purposes. The site is not within the Coastal Zone and not subject to any adopted specific area plan.
- C. The Zoning Administrator finds this action not subject to the California Environmental Quality Act ("CEQA") pursuant to Sections 15060(c)(2) (the activity will not result in a direct or reasonably foreseeable indirect physical change in the environment) and 15060(c)(3) (the activity is not a project as defined in Section 15378) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential for resulting in physical change to the environment, directly or indirectly. The tentative and final map waiver with the subsequent recordation of a record of survey to document the division of property will facilitate the transfer of the property and does not authorize any future development of the property.*

III. CONDITIONS

1. Pursuant to Municipal Code Section 19.08.030.E, the applicant shall file a record of survey, certificate of compliance, lot line adjustment, or lot merger approved by the City in writing, specifying the names of the record owners of the fee interest and particularly describing the real property with a site map for recordation with the County Recorder.
2. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Rocky Point Pump Station Surplus Land Sale Tentative and Final Parcel Map Waiver (PA2013-006) including any recorded instrument required pursuant to the conditions of approval. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within ten (10) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

Brenda Wisneski, Zoning Administrator



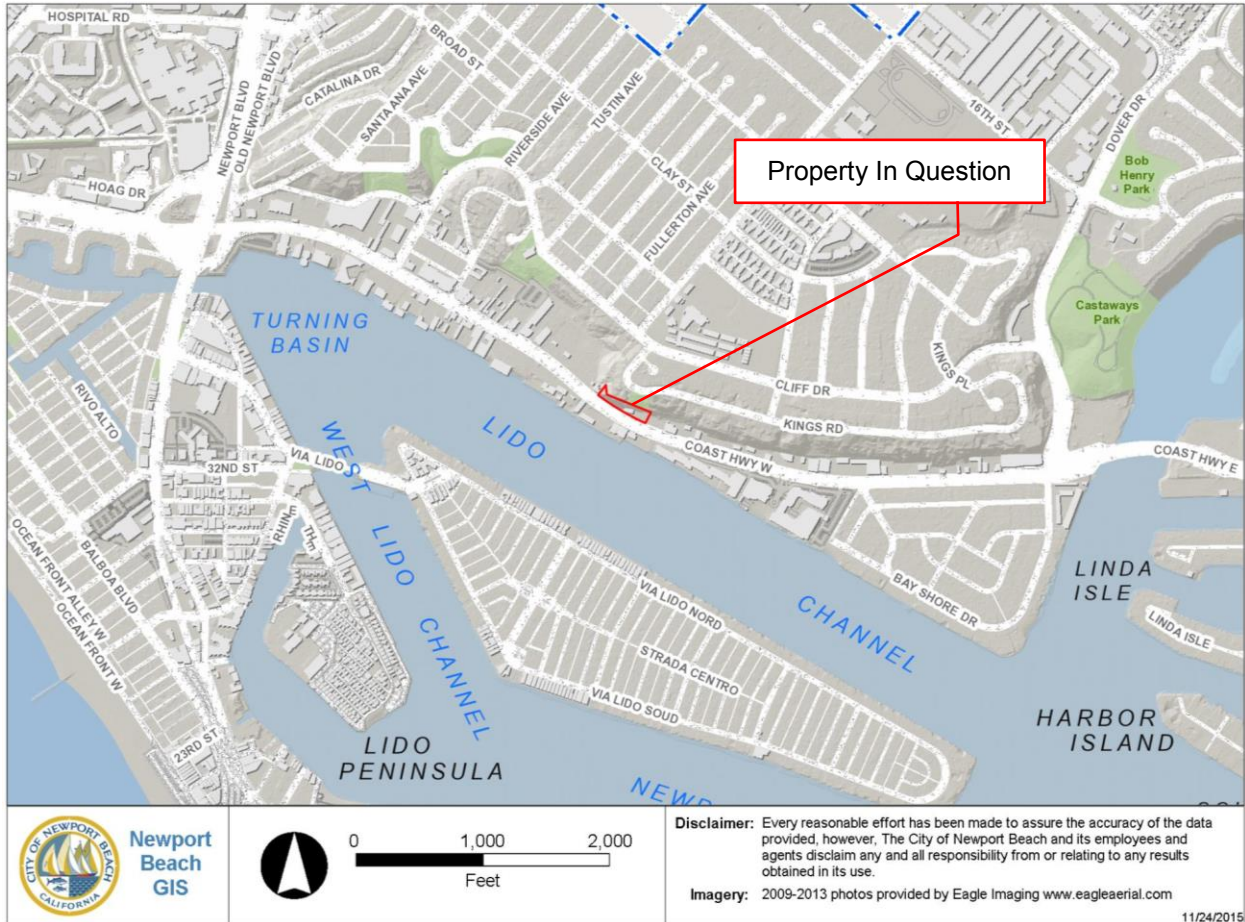
Brenda Wisneski, AICP, Deputy Director

- Attachments:
1. Vicinity Map
 2. Air Photo
 3. General Plan Land Use Map Excerpt
 4. Applicant's Request Letter
 5. Record of Survey
 6. Legal Description of Transferred Parcel

Attachment 1

Vicinity Map

VICINITY MAP



PA2013-006
1730-1800 W. Coast Highway

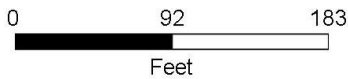
Attachment 2

Air Photo

Air Photo



Newport
Beach
GIS



Disclaimer: Every reasonable effort has been made to assure the accuracy of the data provided, however, The City of Newport Beach and its employees and agents disclaim any and all responsibility from or relating to any results obtained in its use.

Imagery: 2009-2013 photos provided by Eagle Imaging www.eagleaerial.com

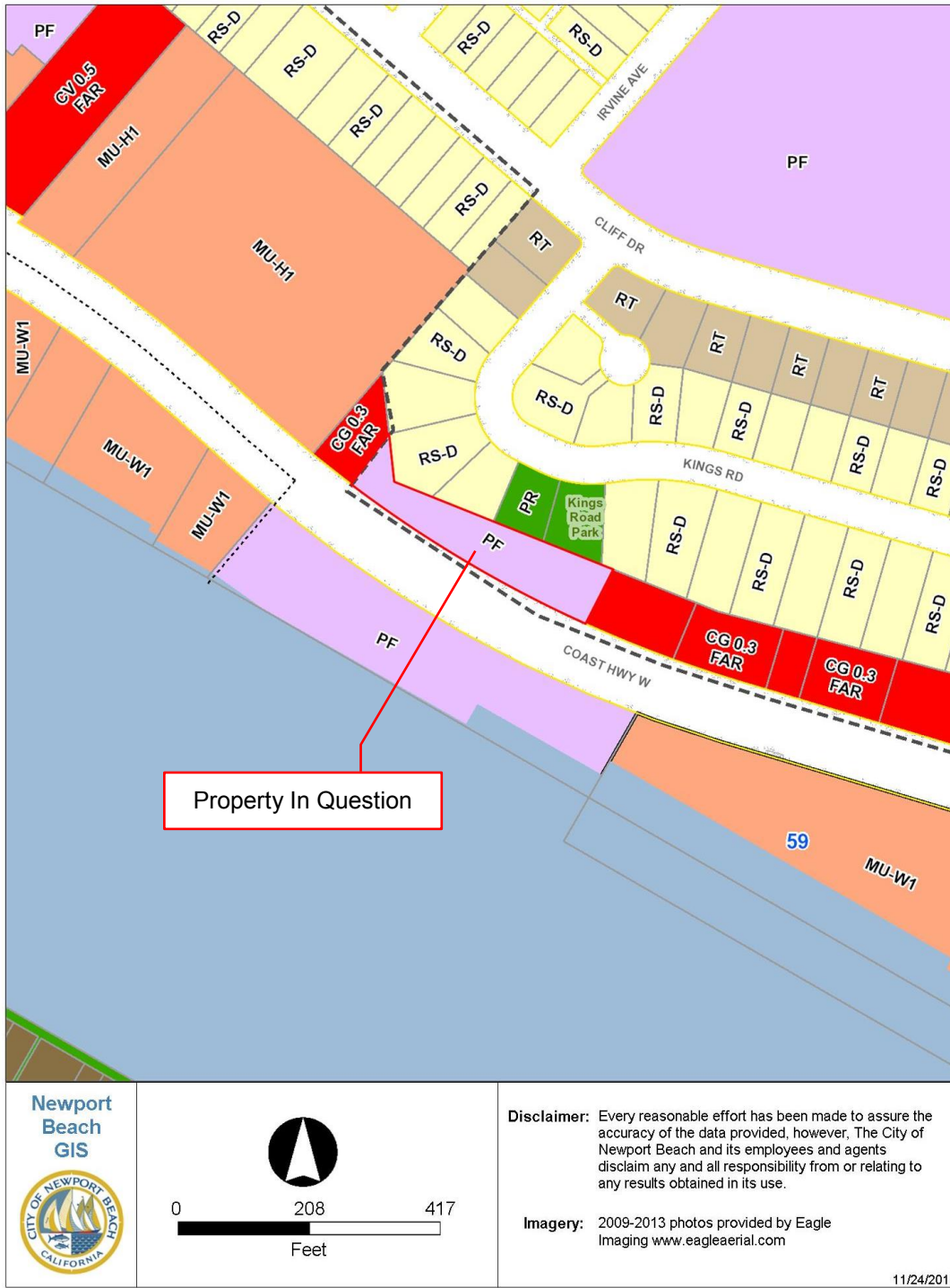
11/24/2015

PA2013-006
1730-1800 W. Coast Highway

Attachment 3

General Plan Land Use Map Excerpt

General Plan Land Use Map



PA2013-006
1730-1800 W. Coast Highway

Attachment 4

Applicant's Request Letter

Orange County Sanitation District

10844 Ellis Avenue, Fountain Valley, CA 92708
714.962.2411 • www.ocsewers.com

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Sanitary District
Irvine Ranch
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October 21, 2015

James Campbell
Community Development
100 Civic Center Drive
Newport Beach CA 92660

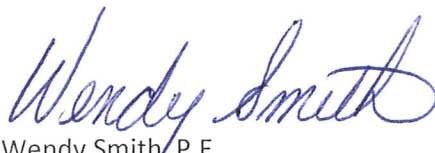
Subject: Orange County Sanitation District Parcel Map Waiver Request

As you are aware, Orange County Sanitation District (OCSD) and Coast Community College District (CCCD) will be entering into a purchase and sale agreement for the vacant property adjacent to OCSD's Rocky Point Pump Station located at 1900 West Coast Highway.

Per Government Code Section 65401 and 65402, the City is required to make a finding of conformity with the General Plan prior to development of the property by CCCD. The property in question has a dual zoning designation. In an attempt to remedy this prior to the sale, OCSD had previously submitted a lot line adjustment application; however, in a meeting held on May 12, 2015 it was decided that CCCD would complete the land use planning work necessary prior to commencing with their proposed project.

OCSD is respectfully requesting that a parcel map waiver be granted per section 19.08.030 of the Newport Beach Municipal Code and that the lot line adjustment application be converted into a parcel map waiver application. Enclosed please find a draft version of the Record of Survey. It is my understanding this is the instrument necessary to initiate the waiver request. The Orange County Surveyor is currently reviewing the record of survey and OCSD staff anticipate that the final document will be completed by the end of November 2015.

Please let me know if additional information is necessary to initiate the parcel map waiver application.


Wendy Smith, P.E.
Engineer

WS:sa

http://project/sites/Planning/Shared Documents/City of Newport Beach/Rocky Point Surplus Sale_Letter to Newport Beach_10 21 15.docx

Enclosure:

Draft of the Record of Survey



Attachment 5

Record of Survey

RECORD OF SURVEY NO. 2015-1128

IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA

BEING A SURVEY OF A PORTION OF PARCEL 1 OF THE PARCEL MAP FILED MARCH 6, 1974
IN BOOK 59 PAGE 6 OF PARCEL MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

STANTEC CONSULTING SERVICES INC.

JAMES O. STEINES, P.L.S. 6086

ACCEPTED AND FILED AT THE
REQUEST OF THE

ORANGE COUNTY SURVEYOR'S OFFICE

DATE _____

TIME _____ FEE \$ _____

INSTRUMENT NO. _____

BOOK _____ PAGE _____

HUGH NGUYEN
COUNTY CLERK - RECORDER

BY _____
DEPUTY

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF THE ORANGE COUNTY SANITATION DISTRICT IN JUNE, 2015.

James O. Steines
JAMES O. STEINES, P.L.S. 6086



COUNTY SURVEYOR'S STATEMENT

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYORS' ACT THIS _____ DAY OF _____, 2015.

KEVIN R. HILLS, COUNTY SURVEYOR
L.S. 6617, EXPIRATION DATE: 12/31/15

BY: CRAIG S. WEHRMAN, CHIEF DEPUTY SURVEYOR

RECORD REFERENCES

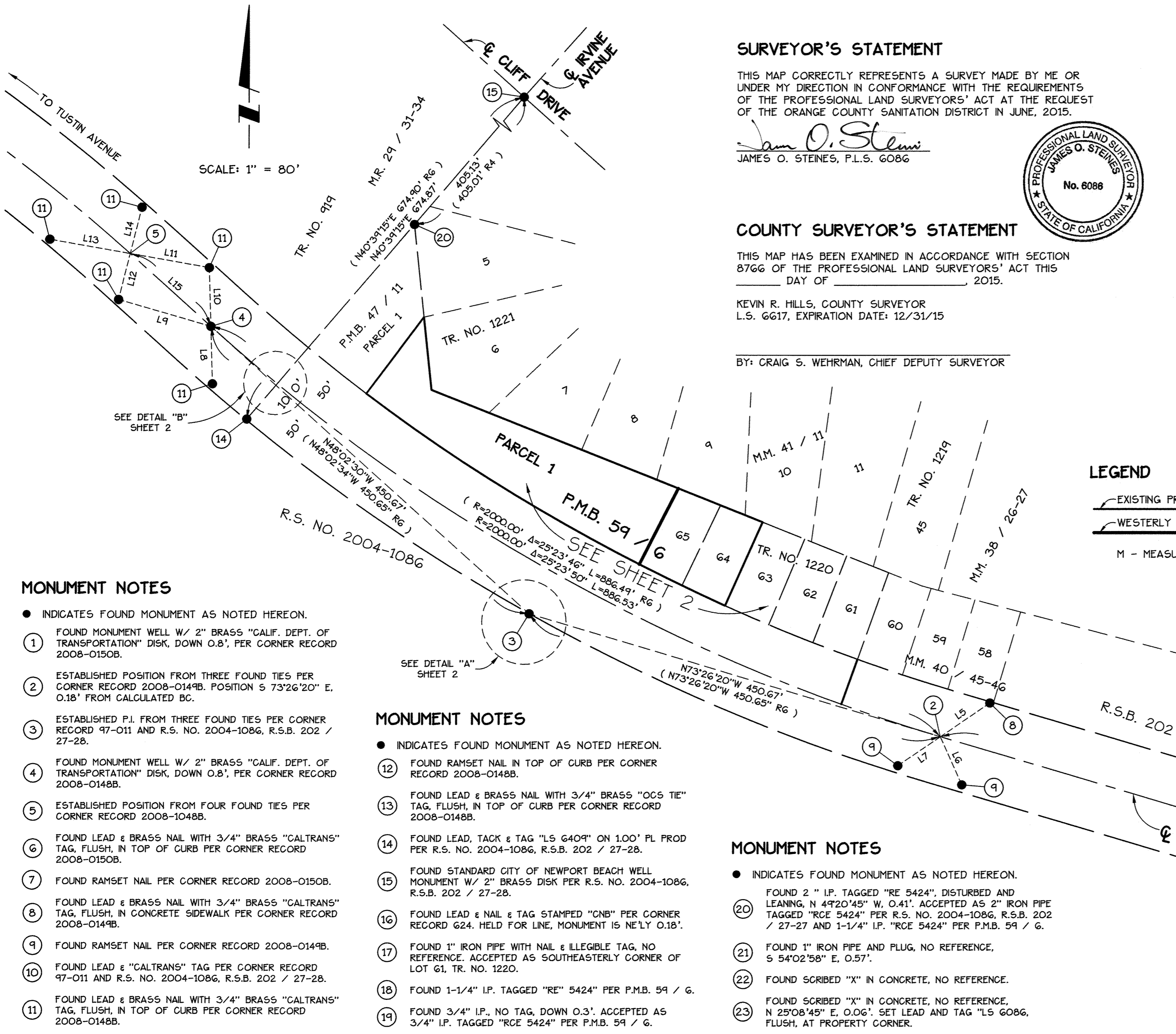
- R1 - CORNER RECORD 2008-0148B
- R2 - CORNER RECORD 2008-0149B
- R3 - CORNER RECORD 2008-0150B
- R4 - P.M.B. 47 / 11
- R5 - P.M.B. 59 / 6
- R6 - R.S. NO. 2004-1086, R.S.B. 202 / 27-28
- R7 - TR. NO. 1210, M.M. 40 / 45-46
- R8 - TR. NO. 1221, M.M. 41 / 11

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING "N 73°26'20" W" ALONG THE CENTERLINE OF WEST COAST HIGHWAY AS SHOWN ON RECORD OF SURVEY NO. 2004-1086, R.S.B. 202 / 27-28.

STATEMENT OF PURPOSE

THE PURPOSE OF THIS SURVEY IS TO ESTABLISH AND MONUMENT THE WESTERLY LINE OF THE PARCEL TO BE CONVEYED TO THE ORANGE COAST COLLEGE.



LEGEND

- EXISTING PROPERTY LINE
- WESTERLY LINE OF LOT G5
- M - MEASURED

LINE TABLE			
NO.	BEARING	DISTANCE	RECORD
L1	N40°20'50"E	41.87'	(41.84' R3)
L2	N28°49'04"W	59.67'	(59.64' R3)
L3	N40°19'33"E	46.16'	(M & R3)
L4	N28°49'06"W	54.63'	(54.62' R3)
L5	N55°39'39"E	62.82'	(62.81' R2)
L6	N24°02'56"W	55.55'	(55.56' R2)
L7	N55°39'39"E	53.97'	(53.96' R2)
L8	N01°39'13"W	60.21'	(M & R1)
L9	N73°54'12"W	100.99'	(100.97' R1)
L10	N01°42'20"W	61.64'	(61.62' R1)
L11	N79°58'01"W	84.33'	(84.32' R1)
L12	N14°08'14"E	49.81'	(49.80' R1)
L13	N79°58'01"W	85.79'	(85.80' R1)
L14	N14°08'14"E	50.28'	(M & R1)

LINE TABLE			
NO.	BEARING	DISTANCE	RECORD
L15	N48°02'30"W	114.13'	(N48°02'34"W 114.34' R6)

MONUMENT NOTES

- INDICATES FOUND MONUMENT AS NOTED HEREON.
- ① FOUND MONUMENT WELL W/ 2" BRASS "CALIF. DEPT. OF TRANSPORTATION" DISK, DOWN 0.8', PER CORNER RECORD 2008-0150B.
- ② ESTABLISHED POSITION FROM THREE FOUND TIES PER CORNER RECORD 2008-0149B. POSITION S 73°26'20" E, 0.18' FROM CALCULATED BC.
- ③ ESTABLISHED P.I. FROM THREE FOUND TIES PER CORNER RECORD 97-011 AND R.S. NO. 2004-1086, R.S.B. 202 / 27-28.
- ④ FOUND MONUMENT WELL W/ 2" BRASS "CALIF. DEPT. OF TRANSPORTATION" DISK, DOWN 0.8', PER CORNER RECORD 2008-0148B.
- ⑤ ESTABLISHED POSITION FROM FOUR FOUND TIES PER CORNER RECORD 2008-1048B.
- ⑥ FOUND LEAD & BRASS NAIL WITH 3/4" BRASS "CALTRANS" TAG, FLUSH, IN TOP OF CURB PER CORNER RECORD 2008-0150B.
- ⑦ FOUND RAMSET NAIL PER CORNER RECORD 2008-0150B.
- ⑧ FOUND LEAD & BRASS NAIL WITH 3/4" BRASS "CALTRANS" TAG, FLUSH, IN CONCRETE SIDEWALK PER CORNER RECORD 2008-0149B.
- ⑨ FOUND RAMSET NAIL PER CORNER RECORD 2008-0149B.
- ⑩ FOUND LEAD & "CALTRANS" TAG PER CORNER RECORD 97-011 AND R.S. NO. 2004-1086, R.S.B. 202 / 27-28.
- ⑪ FOUND LEAD & BRASS NAIL WITH 3/4" BRASS "CALTRANS" TAG, FLUSH, IN TOP OF CURB PER CORNER RECORD 2008-0148B.

MONUMENT NOTES

- INDICATES FOUND MONUMENT AS NOTED HEREON.
- ⑫ FOUND RAMSET NAIL IN TOP OF CURB PER CORNER RECORD 2008-0148B.
- ⑬ FOUND LEAD & BRASS NAIL WITH 3/4" BRASS "OC5 TIE" TAG, FLUSH, IN TOP OF CURB PER CORNER RECORD 2008-0148B.
- ⑭ FOUND LEAD, TACK & TAG "LS 6409" ON 1.00' PL PROD PER R.S. NO. 2004-1086, R.S.B. 202 / 27-28.
- ⑮ FOUND STANDARD CITY OF NEWPORT BEACH WELL MONUMENT W/ 2" BRASS DISK PER R.S. NO. 2004-1086, R.S.B. 202 / 27-28.
- ⑯ FOUND LEAD & NAIL & TAG STAMPED "CNB" PER CORNER RECORD 624. HELD FOR LINE, MONUMENT IS NE'LY 0.18'.
- ⑰ FOUND 1" IRON PIPE WITH NAIL & ILLEGIBLE TAG, NO REFERENCE, ACCEPTED AS SOUTHEASTERLY CORNER OF LOT 61, TR. NO. 1220.
- ⑱ FOUND 1-1/4" I.P. TAGGED "RE" 5424" PER P.M.B. 59 / 6.
- ⑲ FOUND 3/4" I.P., NO TAG, DOWN 0.3'. ACCEPTED AS 3/4" I.P. TAGGED "RCE 5424" PER P.M.B. 59 / 6.

MONUMENT NOTES

- INDICATES FOUND MONUMENT AS NOTED HEREON.
- ⑳ FOUND 2" I.P. TAGGED "RE 5424", DISTURBED AND LEANING, N 49°20'45" W, 0.41'. ACCEPTED AS 2" IRON PIPE TAGGED "RCE 5424" PER R.S. NO. 2004-1086, R.S.B. 202 / 27-27 AND 1-1/4" I.P. "RCE 5424" PER P.M.B. 59 / 6.
- ㉑ FOUND 1" IRON PIPE AND PLUG, NO REFERENCE, S 54°02'58" E, 0.57'.
- ㉒ FOUND SCRIBED "X" IN CONCRETE, NO REFERENCE.
- ㉓ FOUND SCRIBED "X" IN CONCRETE, NO REFERENCE, N 25°08'45" E, 0.06'. SET LEAD AND TAG "LS 6086, FLUSH, AT PROPERTY CORNER.

RECORD OF SURVEY NO. 2015-1128

IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA

STANTEC CONSULTING SERVICES INC.

JAMES O. STEINES, P.L.S. 6086

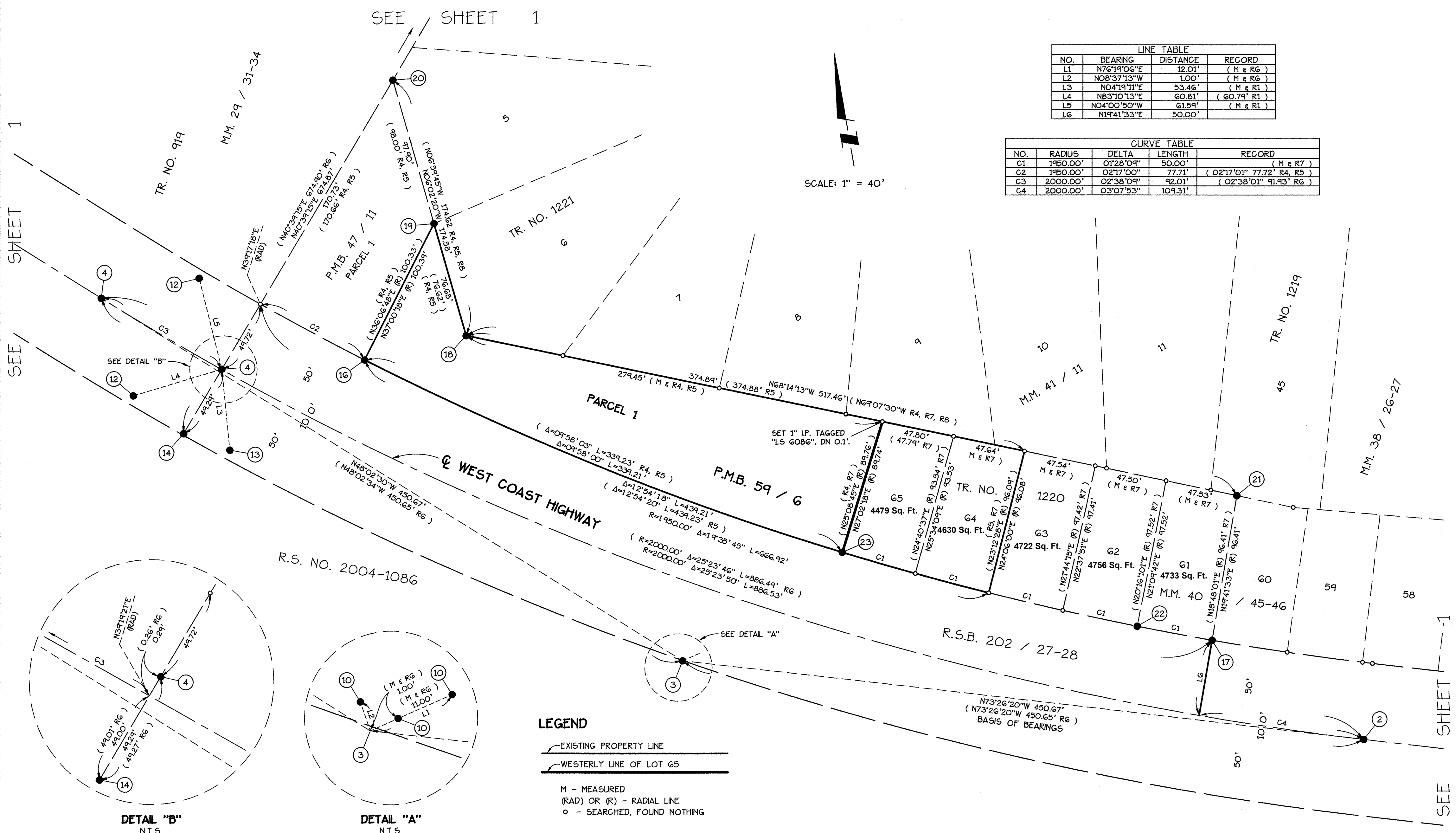
FOR BASIS OF BEARINGS,
RECORD REFERENCES,
AND MONUMENT NOTES,
SEE SHEET 2.

SEE SHEET 1

LINE TABLE			
NO.	BEARING	DISTANCE	RECORD
L1	N76°19'06"E	12.01'	(M & R6)
L2	N08°37'13"W	1.00'	(M & R6)
L3	N04°19'11"E	53.46'	(M & R1)
L4	N8°3'10"13"E	60.81'	(60.79' R1)
L5	N04°00'50"W	61.59'	(M & R1)
L6	N1°41'33"E	50.00'	

CURVE TABLE			
NO.	RADIUS	DELTA	LENGTH
C1	1950.00'	01°28'09"	50.00'
C2	1950.00'	02°17'00"	77.71'
C3	2000.00'	02°38'09"	92.01'
C4	2000.00'	03°07'53"	109.31'

SCALE: 1" = 40'



SEE DETAIL "B"

SEE DETAIL "A"

DETAIL "B"
N.T.S.

DETAIL "A"
N.T.S.

LEGEND

- EXISTING PROPERTY LINE
- WESTERLY LINE OF LOT G5
- M - MEASURED
- (RAD) OR (R) - RADIAL LINE
- o - SEARCHED, FOUND NOTHING

Attachment 6

Legal Description of Transferred Parcel

EXHIBIT "A"
THE PROPERTY TO COAST COMMUNITY COLLEGE DISTRICT

ALL OF LOTS 61, 62 AND 63 OF TRACT NO. 1210, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, PER MAP FILED IN BOOK 40, PAGES 45 AND 46 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

TOGETHER WITH THAT PORTION OF PARCEL 1, IN SAID CITY OF NEWPORT BEACH, PER MAP FILED MARCH 6, 1974 IN BOOK 59, PAGE 6 OF PARCEL MAPS, IN SAID OFFICE OF THE COUNTY RECORDER, DESCRIBED AS FOLLOWS:

ALL OF LOTS 64 AND 65 OF TRACT NO. 1210, IN SAID CITY OF NEWPORT BEACH, PER MAP FILED IN BOOK 40, PAGES 45 AND 46 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER, AS SHOWN ON SAID PARCEL MAP.

SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS, AND RIGHTS-OF-WAY OF RECORD, IF ANY.



PREPARED BY: STANTEC CONSULTING INC.
UNDER THE DIRECTION OF:

JAMES O. STEINES, P.L.S. 6086

NOVEMBER 18, 2015
J.N. 2042 478701



COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
(949) 644-3200 Fax: (949) 644-3229

www.newportbeachca.gov

ZONING ADMINISTRATOR ACTION LETTER

Application No.	Comprehensive Sign Program Amendment No. CS2015-013 (PA2015-200)
Applicant	Cheryl Villa, Graphic Solutions
Site Address	100 West Coast Highway Amendment to Mariner's Pointe Comprehensive Sign Program (Comprehensive Sign Program No. CS2014-002, PA2014-067)
Legal Description	A Portion of Lots 1 through 6 inclusive of Tract No. 1210, in the City of Newport Beach, County of Orange, State of California as shown on Map recorded in Book 40, Pages 45 and 46 of Miscellaneous Maps, Records of said County, California

On **December 4, 2015**, the Zoning Administrator approved the following: An amendment to an existing Comprehensive Sign Program for the Mariner's Pointe development at the corner of Coast Highway and Dover Drive. The amendment will add an entry canopy sign and valance signage as allowed sign types. The intent of this program is to allow signage for multiple tenants, as determined by the property owner. As conditioned, the approval of Comprehensive Sign Program No. CS2015-013 will supersede Comprehensive Sign Program No. CS2014-002.

A comprehensive sign program is required for the following circumstances:

1. Whenever three or more separate tenant spaces are proposed or created on the same lot; and
2. Whenever a structure has more than three hundred (300) linear feet of frontage on a public street.

The subject property is located within CG (Commercial General) Zoning District and the General Plan Land Use Element category is General Commercial (CG). The property is not located in the Coastal Zone.

This approval is based on the following findings and standards and subject to the following conditions.

I. **FINDINGS**

Finding

- A. *The project is categorically exempt from environmental review pursuant to Title 14 of the California Code of Regulations (Section 15315, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act) under Class 11 (Accessory Structures).*

Facts in Support of Finding

- A-1. Class 11 exempts minor structures accessory to existing commercial facilities, including signs. The proposed signs are incidental and accessory to the principal commercial use of the property and do not intensify or alter the use.

In accordance with Section 20.42.120 (Comprehensive Sign Program) of the Newport Beach Municipal Code, the following standards and facts in support of such standards are set forth:

Standard

- B. *The proposed sign program shall comply with the purpose and intent of this Chapter [Chapter 20.42], any adopted sign design guidelines, and the overall purpose and intent of this Section [Section 20.42.120 – Comprehensive Sign Program].*

Facts in Support of Standard

- B-1. The proposed Comprehensive Sign Program Amendment complies with the purpose and intent of Newport Beach Municipal Code Chapter 20.42 (Sign Standards) because it provides the multi-tenant commercial building with adequate identification while guarding against an excessive proliferation of signage. It preserves and enhances community appearance by regulating the type, size, location, quantity, and illumination of signs. Through said regulations, the Comprehensive Sign Program will help to enhance the safety of motorists and pedestrians by minimizing the distraction of signs, as well as to protect the life, health, property, and general welfare of City residents and visitors.
- B-2. The purpose of a comprehensive sign program is to integrate all of a project's signs. A comprehensive sign program provides a means for the flexible application of sign regulations for projects that require multiple signs in order to provide incentive and latitude in the design and display of signs, and to achieve, not circumvent, the purpose of Chapter 20.42. This amendment will maintain integration of all signs for the subject property while meeting the purpose and intent of Chapter 20.42.

- B-3. The Comprehensive Sign Program as amended is consistent with the Citywide Sign Design Guidelines Manual because the proposed signs are designed to be compatible with the building design in terms of scale, size, and materials. As proposed, signs are designed to effectively communicate a commercial message without creating sign clutter through the use of legible text that contrasts with the background. The location and size of the signs do not dominate, but rather are consistent with the proportions of the façade on which they are located.
- B-4. All proposed signs will employ a consistent sign pattern in location and are designed to fit with the overall scale of the building and its relationship to West Coast Highway and Dover Drive.

Standard

- C. *The proposed signs shall enhance the overall development, be in harmony with, and relate visually to other signs included in the Comprehensive Sign Program, to the structures and/or developments they identify, and to surrounding development when applicable.*

Facts in Support of Standard

- C-1. The site has been developed with a multi-tenant commercial building. The number and location of signs with the proposed Amendment will not contribute to an overabundance of signage that will have a detrimental effect on the neighborhood.
- C-2. Proposed signs will not obstruct public views from adjacent roadways because there are no public views through or across the subject property.
- C-3. Proposed signs will not interfere with sight distance from any street, driveway, or parking area. As conditioned, all proposed signage nearing the property line and public right-of-way will be subject to review by the Public Works Department or Caltrans as applicable.
- C-4. All proposed signage will integrate well with the character and architectural style of the building by maintaining consistency in location, sign height, and materials across each street frontage.

Standard

- D. *The sign program shall address all signs, including permanent, temporary, and exempt signs.*

Facts in Support of Standard

- D-1 The approved and amended Comprehensive Sign Program addresses all project signage. Temporary and exempt signs not specifically addressed in the sign

program shall be regulated by the provisions of Zoning Code Chapter 20.42 (Sign Standards).

Standard

- E. *The sign program shall accommodate future revisions that may be required because of changes in use or tenants.*

Facts in Support of Standard

- E-1 The approved and amended Comprehensive Sign Program has been designed to be effective for the commercial tenants that will occupy the building by providing sign opportunities for all tenants.
- E-2 The Comprehensive Sign Program Amendment establishes allowed type, number, location, and area of signage with flexibility to accommodate any existing and future tenants.
- E-3 It is not anticipated that future revisions to the Comprehensive Sign Program will be necessary to accommodate changes in tenants or uses. However, the Community Development Director may approve minor revisions to the Comprehensive Sign Program if the intent of the original approval is not affected.

Standard

- F. *The program shall comply with the standards of this Chapter [Chapter 20.42], except that deviations are allowed with regard to sign area, total number, location, and/or height of signs to the extent that the Comprehensive Sign Program will enhance the overall development and will more fully accomplish the purposes and intent of this Chapter [Chapter 20.42].*

Facts in Support of Standard

- F-1. The approved Comprehensive Sign Program allows for deviations with regards to the number, location, and placement of wall signs throughout the multi-tenant center. The approval conforms to all other standards of Zoning Code Chapter 20.42 (Sign Standards), and enhances the overall development by integrating all of the project's signs with the overall site and structure design into a unified architectural statement. The proposed amendment will not compromise the purpose and intent of Chapter 20.42.
- F-2. There is a reasonable need for the number, location, type, and size of signs at the subject site to provide adequate identification of the buildings and to direct vehicular traffic.

Standard

- G. *The approval of a Comprehensive Sign Program shall not authorize the use of signs prohibited by this Chapter [Chapter 20.42].*

Facts in Support of Standard

- G-1 The Comprehensive Sign program does not authorize the use of prohibited signs.

Standard

- H. *Review and approval of a Comprehensive Sign Program shall not consider the signs' proposed message content.*

Facts in Support of Standard

- H-1 The Comprehensive Sign Program contains no regulations affecting sign message content.

II. CONDITIONS

1. The approval of Comprehensive Sign Program No. CS2015-013 shall supersede Comprehensive Sign Program No. CS2014-002.
2. All proposed signs shall be in substantial conformance with the approved plans, Comprehensive Sign Program Matrix Table, and provisions of Chapter 20.42 (Sign Standards) of the Newport Beach Municipal Code, unless otherwise indicated in the following conditions.
3. Anything not specifically approved by this Comprehensive Sign Program is prohibited.
4. All ground floor awnings at the corner of West Coast Highway and Dover Drive shall be lowered such they are all installed at the same height.
5. A building permit shall be obtained prior to commencement of installation of the signs.
6. A copy of this letter shall be incorporated into the plan check sets of plans prior to issuance of building or sign permits.
7. Signs shall be maintained in a clean and orderly condition.
8. The sign area shall be measured by two perpendicular sets of parallel lines that surround the proposed sign copy area.


9. All illuminated wall signs on the exterior perimeter of the shopping center facing residential properties shall be shut off by 11:00 p.m. and not allowed to be turned back on until 6:00 a.m. the following day with exception of those signs for tenants with late hour operations which have been approved by a conditional use permit.
10. Illuminated signs shall be regulated in accordance with the provisions of Section 20.42.070 of the Newport Beach Municipal Code. If, in the opinion of the Community Development Director, existing illumination creates an unacceptable negative impact on surrounding land uses or sensitive habitat areas the Director may order the dimming of light sources or other remediation upon finding that the site is excessively illuminated.
11. All work performed near or within the public right-of-way shall be reviewed and approved by the Public Works Department or Caltrans under an encroachment permit/agreement if required.
12. Any future revisions or changes to the signs approved by this Comprehensive Sign Program due to a change in the use or tenants of the building shall be reviewed and approved by the Planning Division, so long as the sign size, copy configuration, and number of signs authorized by this approval does not substantially change or increase. The mandatory reduction or elimination of signs shall be exercised as necessary. Revisions that would substantially deviate from the original approval shall require approval of a new/revised comprehensive sign program by the Zoning Administrator.
13. The Zoning Administrator may add to or modify conditions of this approval, or revoke this approval upon a determination that any sign that is authorized by this approval has been altered beyond the parameters of the authorization and therefore beyond the justification.
14. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.
15. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Mariner's Pointe Comprehensive Sign Program including, but not limited to, Comprehensive Sign Program No. CS2015-013 (PA2015-200). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether

incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development within fourteen (14) days following the date the action. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

On behalf of Brenda Wisneski, AICP, Zoning Administrator

By:



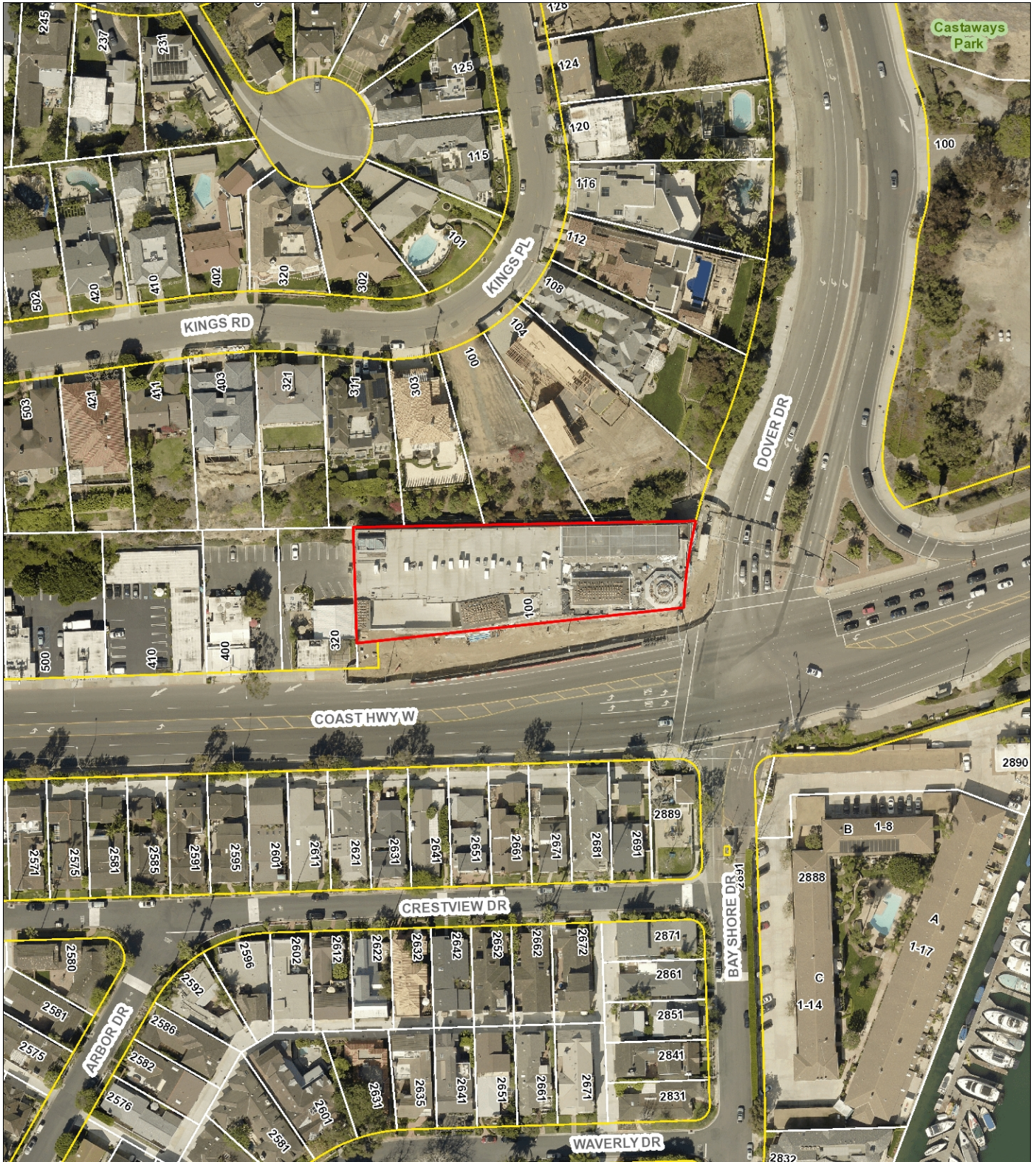
Benjamin M. Zdeba, AICP
Associate Planner

GR/bmz

Attachments: CD 1 Vicinity Map
CD 2 Sign Program Matrix
CD 3 Project Plans

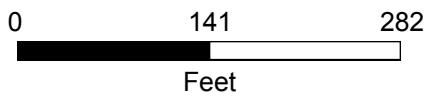
Attachment No. CD 1

Vicinity Map



Castaways Park

Newport
Beach
GIS



Disclaimer: Every reasonable effort has been made to assure the accuracy of the data provided, however, The City of Newport Beach and its employees and agents disclaim any and all responsibility from or relating to any results obtained in its use.

Imagery: 2009-2013 photos provided by Eagle Imaging www.eagleaerial.com

Attachment No. CD 2

Sign Program Matrix

Mariner's Pointe Comprehensive Sign Program Matrix As amended by CS2015-013 (PA2015-200)

Sign Type	Primary Frontage Size limitations, where applicable	Secondary Frontage Size limitations, where applicable
Tenant Sign	<p>Number: One (1) per tenant.</p> <p>Type: May be wall, projecting, or awning; awning signage is encouraged where awnings exist.</p> <p>Size: 1.0 times the linear frontage of the tenant space, not to exceed 75 square feet. See "Awnings" and "Projecting" below for further limitations.</p> <p>Awnings: Only allowed on up to 50 percent of the slope and valance portion of the awning, or not more than 60 percent of the bottom twelve inches of a barrel shaped awning.</p> <p>Projecting: Ground floor only. Must provide eight feet minimum vertical clearance above surface over which they project. Maximum size of 20 square feet.</p> <p>Location: Within the middle 80 percent of the tenant frontage or architectural background on which the sign is placed.</p>	<p>Number: One (1) per tenant where secondary frontage occurs.</p> <p>Type: May be wall, projecting, or awning; awning signage is encouraged where awnings exist.</p> <p>Size: 0.5 times the linear frontage of the tenant space, not to exceed 37.5 square feet. See "Awnings" and "Projecting" below for further limitations.</p> <p>Awnings: Only allowed on up to 50 percent of the slope and valance portion of the awning, or not more than 60 percent of the bottom twelve inches of a barrel shaped awning.</p> <p>Projecting: Ground floor only. Must provide eight feet minimum vertical clearance above surface over which they project. Maximum size of 10 square feet.</p> <p>Location: Within the middle 80 percent of the tenant frontage or architectural background on which the sign is placed.</p>
Window Signage	Not to exceed 20 percent of the window area. May be used in conjunction with "Tenant Sign" above, but shall be counted towards maximum allowable sign area. Limited to upper and lower twelve inches of window area only.	Not to exceed 20 percent of the window area. May be used in conjunction with "Tenant Sign" above, but shall be counted towards maximum allowable sign area. Limited to upper and lower twelve inches of window area only.
Entry Canopy Sign	<p>Number: Two (2) per canopy as long as both signs are not visible at the same time.</p> <p>Type: Canopy sign.</p> <p>Size: Shall be part of and shall not exceed limitation of entry canopy.</p> <p>Location: Placed on outer faces of canopy only, not above uppermost part of canopy.</p>	Not applicable.
Valance Sign	<p>Only allowed on front valance portion of awning. May be used in conjunction with a tenant sign (wall, awning or projecting). Shall be counted towards maximum allowable sign area.</p> <p>Size: Up to 3 sq. ft. max., not to exceed 50% of the width of the valance; 7" max letter height.</p>	See "Primary Frontage".
Project Identification	<p>Number: One (1) on each building frontage, not to exceed three (3) total.</p> <p>Type: Wall sign.</p> <p>Size: 48.75 square feet maximum.</p> <p>Location: Within the middle 80 percent of the architectural background on which the sign is placed.</p>	See "Primary Frontage".
Pedestrian-Oriented Directional	Ground floor only. One (1) per tenant not to exceed three square feet in area.	Not applicable.
Vehicle-Oriented Directional	Ground floor only. One (1) at the parking garage entrance not to exceed nine square feet.	Not applicable.

Attachment No. CD 3

Project Plans

Mariner's Pointe

Comprehensive Sign Program

October 27, 2015

**Prepared by:
Graphic Solutions
2952 Main Street
San Diego, CA 92113**

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OBJECTIVE

The objective of the Mariner's Pointe Sign Program is to provide comprehensive design standards and specifications that assure consistency in quality, color, size, placement, and configuration for signage throughout the project.

DESIGN CRITERIA

A. Acceptable Sign Treatments

Only those sign types specified in the Sign Program and/or specifically approved in writing by the Owner and the City will be allowed. Sizes and quantities for signs shall be as outlined in the criteria and exhibits for each sign type. See details for each sign type below.

A strong connection shall be maintained between all signage and the project architecture. Elements of color, materials, scale, form and detail shall be reflected in the signage. Signs shall fit comfortably, never crowding the architectural and landscape elements in the immediate vicinity.

B. Lighting

1. All front lighting, lamps and fixtures shall be baffled or obscured in channels where possible, and shall not interfere with adjacent properties.
2. All electrical housings and posts for signs shall be painted out to match the building background immediately behind and adjacent to the sign. Exposed raceways are prohibited.
3. Acceptable lighting treatments:
 - Internally illuminated channel letters
 - Reverse channel (halo-illuminated) letters
 - Externally illuminated dimensional letters
 - Internally illuminated projecting sign with opaque faces and pop through letters

C. Colors

Sign colors shall be designed to provide sufficient contrast against background colors and shall be compatible with the building color. Nationally recognized tenants may use their corporate colors subject to Owner's prior written approval.

D. Copy / Typestyles

Copy and layout are subject to Owner's prior written approval.

E. Sizes and Quantities

Sizes and quantities for signs shall be as outlined in the criteria for each sign type. Notwithstanding the maximum square footage specified for copy area allowances, adequate amounts of visual open space shall be provided so that signs appear balanced and in scale in relation to their backgrounds and adjacent signage.

1. Sign area shall be calculated as follows:
The entire area contained in the frame, cabinet, fixture, or design including all ornamentation, super graphics, or other decoration used to attract attention that can be enclosed in no more than four lines drawn at right angles.
2. Letter / Logo Height:
Maximum letter/logo height shall not exceed 36".

F. Locations

Tenant signs may be located anywhere within the center 80% of the tenant lease space frontage or architectural background on which it is placed. Tenant wall signs need not be attached to the lease space to which they refer, and may be located on the architectural element of the building in which the tenant leases space, with Owner's approval. Signs must be located below the eave line of the roof eave, tower or parapet.

G. Prohibited Signs

1. Any sign not in accordance with this Sign Plan.
2. A-frame signs
3. Animated signs, rotating, revolving, flashing, animated, blinking, gyrating or moving signs.
4. Changeable copy signs, except as a component of another type sign allowed through the comprehensive sign program
5. Commercial mascots
6. Balloons or other inflatable devices.
7. Pole signs
8. Roof signs
9. Cabinet signs with plexiglas faces and illuminated background.
10. Vehicles, trailers or other signs or devices when used exclusively or primarily as advertising devices or displays.
11. Signs that create a safety hazard or resemble or conflict with any traffic control device.
12. Flags, pennants, streamers, spinners, festoons, windsocks, valances or similar displays.
United States or California flags may be permitted, limited to one each per site maximum.
13. Any signs not addressed in this sign plan and specifically prohibited by City of Newport Beach Zoning and Signage Regulations.

H. Owner's Right to Enforce

The Owner may, at its sole discretion and at the violator's cost, correct, replace or remove any sign that is installed without written approval and/or that is deemed not to be in conformance with the Sign Program, the plans as approved by the Owner, or erected without appropriate governmental agency approval or permits.

I. Abandoned Signs

An abandoned sign is that whose use is discontinued because the premises upon which it is located becomes vacated and unoccupied for a period of more than 30 days. The Owner may, at its sole discretion and at the violator's cost, replace or remove any abandoned sign.

CONSTRUCTION REQUIREMENTS

The following requirements shall be observed:

A. Materials

1. Signs must be made of durable, rust-inhibited materials that are appropriate and complementary to the building architecture. All materials must be new.
2. All ferrous and non-ferrous metals shall be separated with non-conductive gaskets and stainless steel fasteners be used to secure ferrous to non-ferrous metals.
3. All bolts and fastenings shall consist of stainless steel, anodized aluminum, brass or bronze; or carbon-bearing steel with painted finish. No black iron materials are allowed.

B. Processes and Installation

1. Joining of materials (e.g., seams) shall be finished in such a way as to be unnoticeable. Visible welds shall be continuous, ground smooth and filled. Rivets, screws, and other fasteners that extend to visible surfaces shall be flush, filled, and finished so as to be unnoticeable. Finished surfaces of metal shall be free from canning, warping and other imperfections.
2. Dimensional letters and plaques shall be affixed without visible means of attachment, unless attachments make an intentional design statement and are shown on approved shop drawings.
3. Penetrations into building walls, where required, shall be made waterproof, subject to Owner's review. Immediately upon abandonment or removal, building walls shall be restored at tenant's expense.
4. In no case shall any manufacturer's label be visible from the street from normal viewing angles.
5. Sign permit stickers shall be affixed to the bottom edge of signs, and only that portion of the permit sticker that is legally required to be visible shall be exposed.

6. All logo images and typestyles once approved by Owner, shall be accurately reproduced. Lettering that approximates intended typestyles shall not be acceptable.
7. Threaded rods or anchor bolts shall be used to mount sign letters which are spaced out from background panel or building wall. Angle clips attached to letter sides are not permitted. There shall be no exposed raceways.

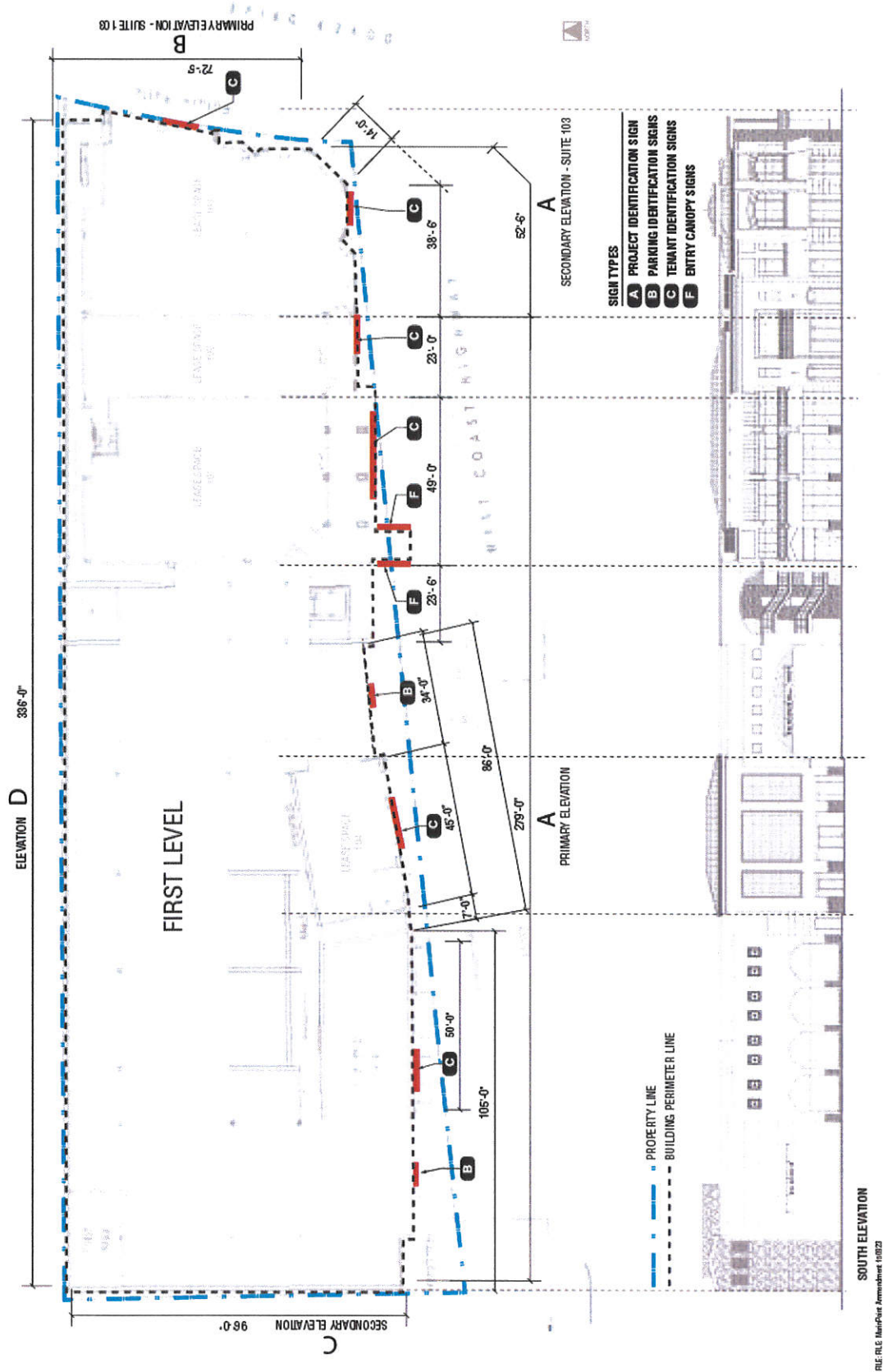
C. Paint

1. Color coatings shall exactly match the colors specified on the approved plans. Surfaces with color mixes and hues prone to fading (e.g., pastels, fluorescent, complex mixtures, and intense reds, yellows and purples) shall be coated with ultraviolet-inhibiting clear coat in a matte, gloss, or semi-gloss finish. All finishes shall be free of dust, orange peel, drips, and runs and shall have a uniform surface.
2. All visible finishes shall be semigloss unless otherwise called out on shop drawings and approved by Owner.

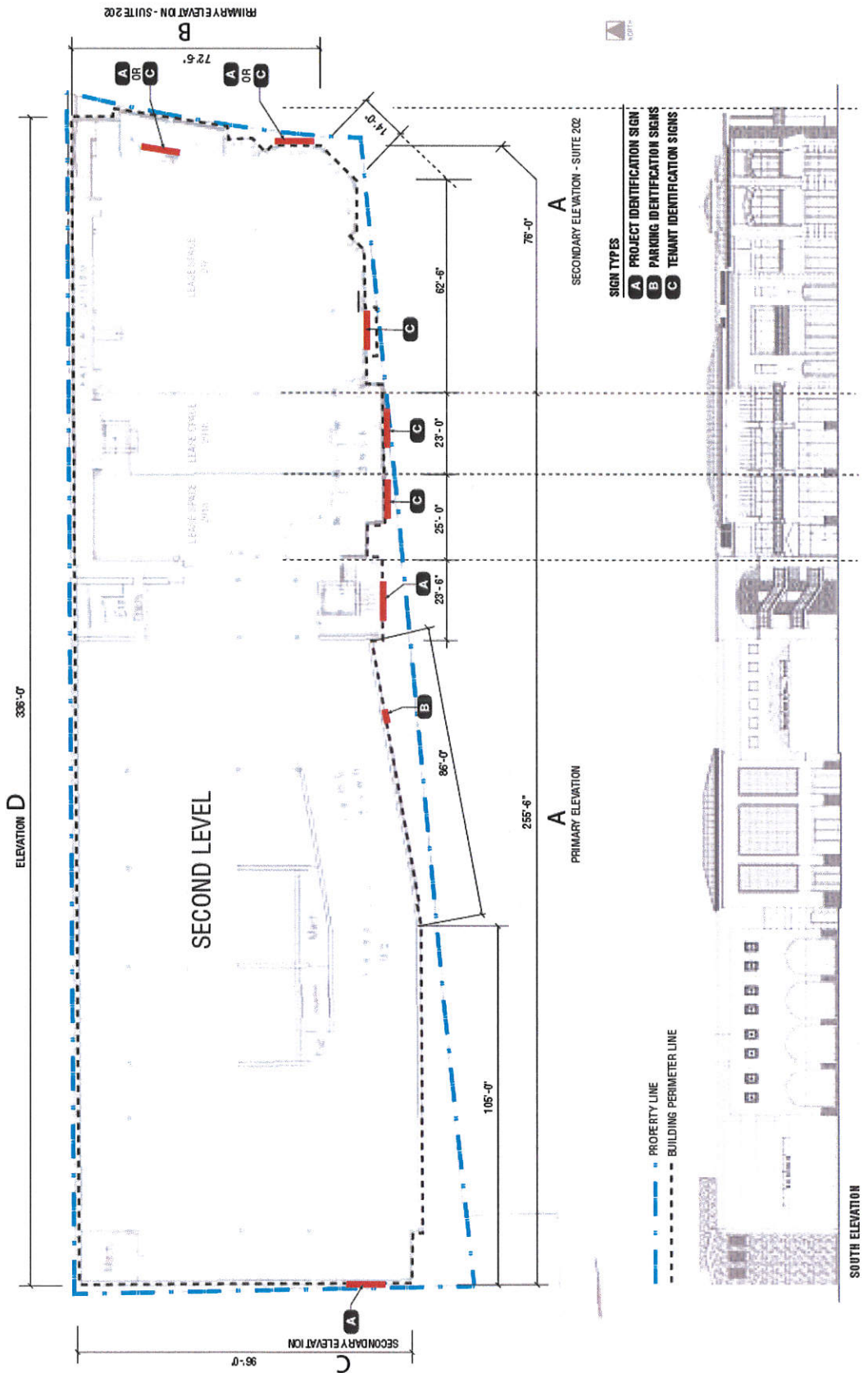
EXHIBITS

Note: All maps and figures indicate **typical** design concepts and locations and are subject to change. Exhibits are not intended to suggest final sign designs or exact locations, depending on final site development.

SITE PLAN - Level 1



SITE PLAN - Level 2

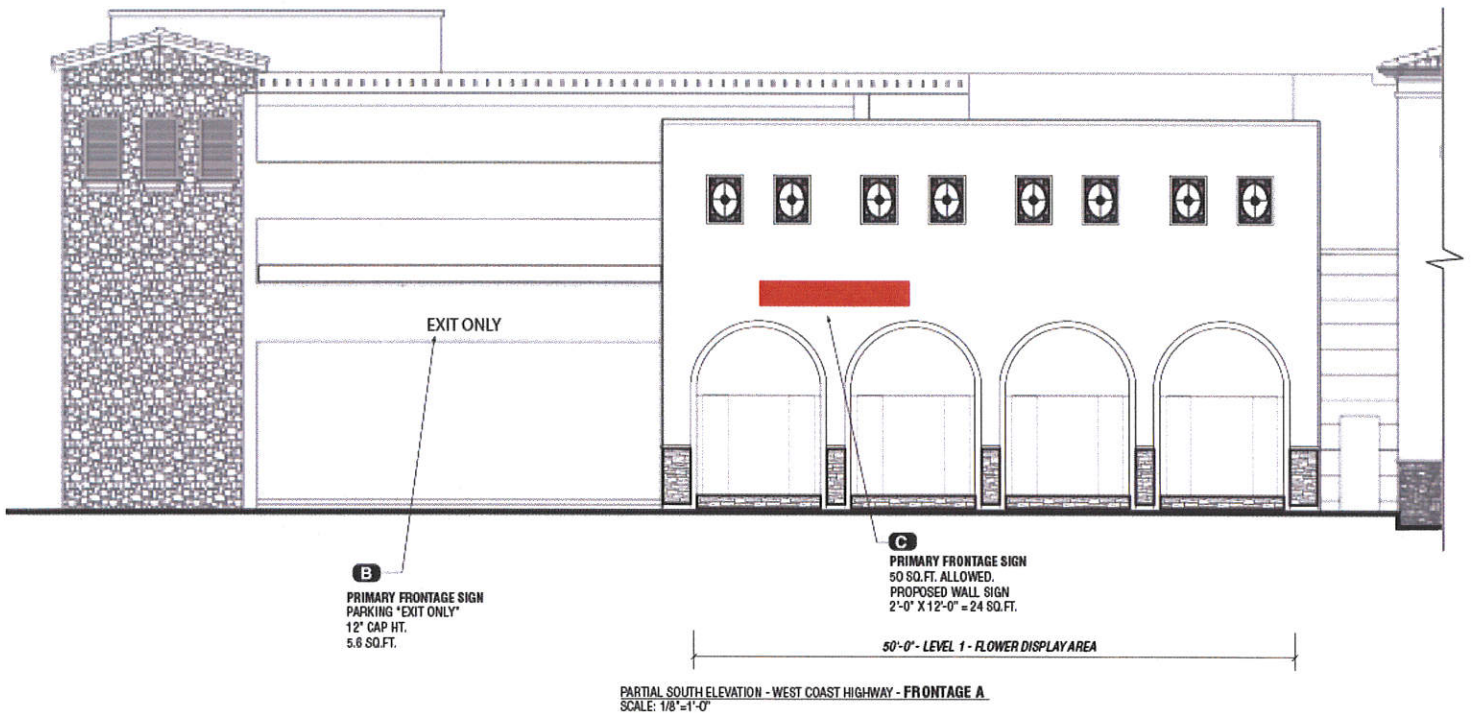


BUILDING ELEVATIONS

Building Elevation (Frontage A) - Segment 1



SEGMENT 1
SOUTH ELEVATION - WEST COAST HIGHWAY
FRONTAGE A



B
PRIMARY FRONTAGE SIGN
PARKING "EXIT ONLY"
12" CAP HT.
5.6 SQ.FT.

C
PRIMARY FRONTAGE SIGN
50 SQ.FT. ALLOWED.
PROPOSED WALL SIGN
2'-0" X 12'-0" = 24 SQ.FT.

PARTIAL SOUTH ELEVATION - WEST COAST HIGHWAY - FRONTAGE A
SCALE: 1/8"=1'-0"

- SIGN TYPES**
- A** PROJECT IDENTIFICATION SIGN
 - B** PARKING IDENTIFICATION SIGNS
 - C** TENANT IDENTIFICATION SIGNS

Building Elevation (Frontage A) - Segment 2

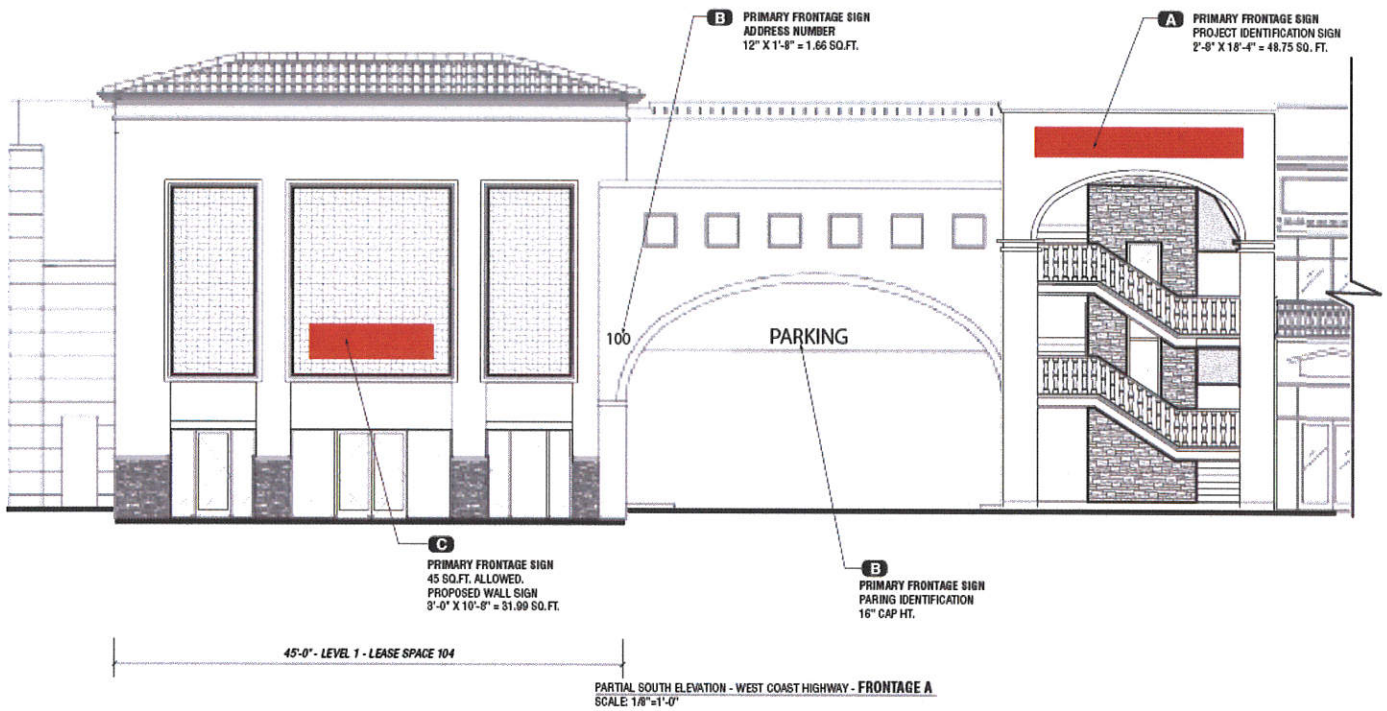


SOUTH ELEVATION - WEST COAST HIGHWAY
FRONTAGE A

SEGMENT 2

SIGN TYPES

- A** PROJECT IDENTIFICATION SIGN
- B** PARKING IDENTIFICATION SIGNS
- C** TENANT IDENTIFICATION SIGNS

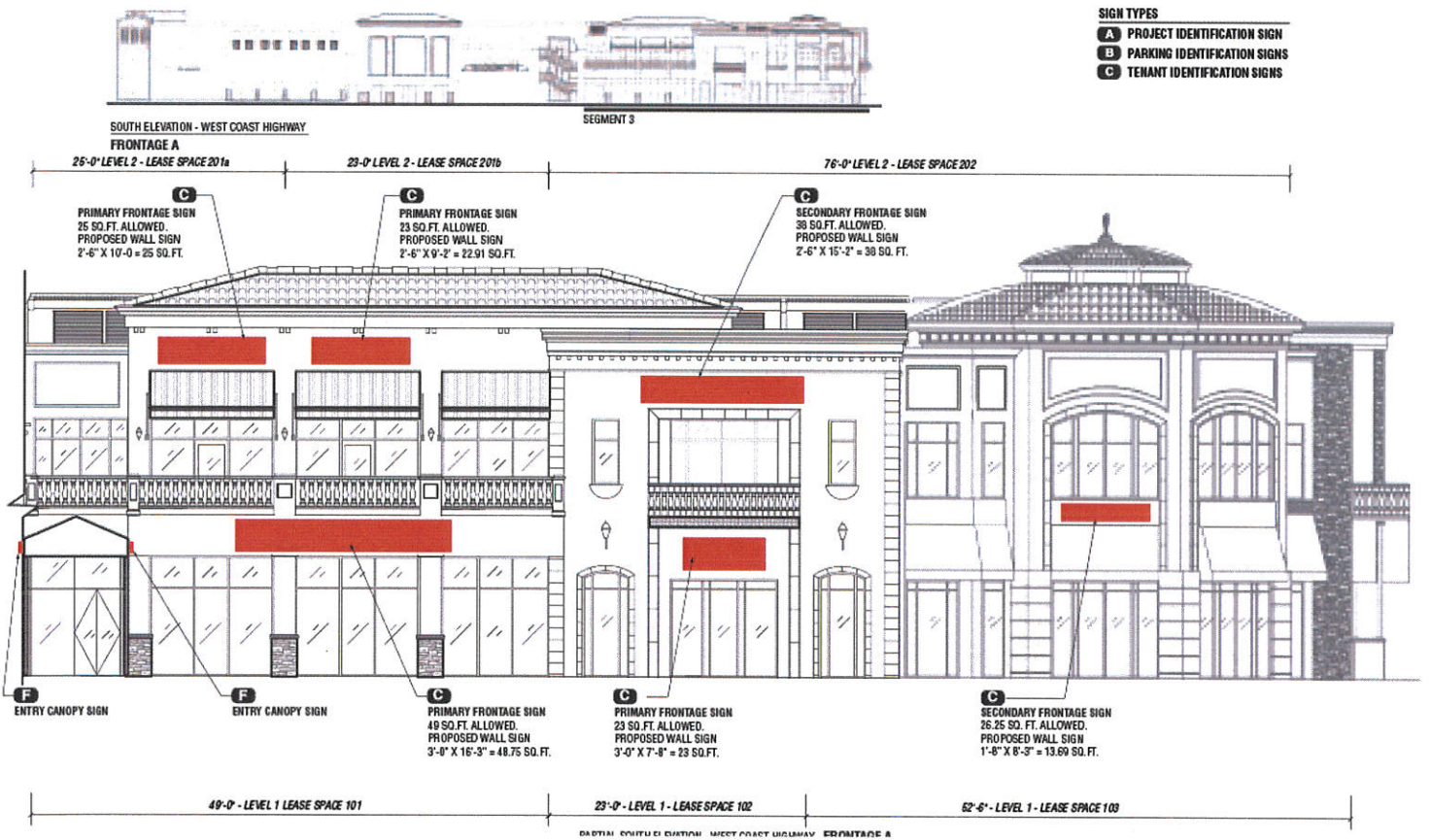


SIGN TYPES

- A** PROJECT IDENTIFICATION SIGN
- B** PARKING IDENTIFICATION SIGNS
- C** TENANT IDENTIFICATION SIGNS

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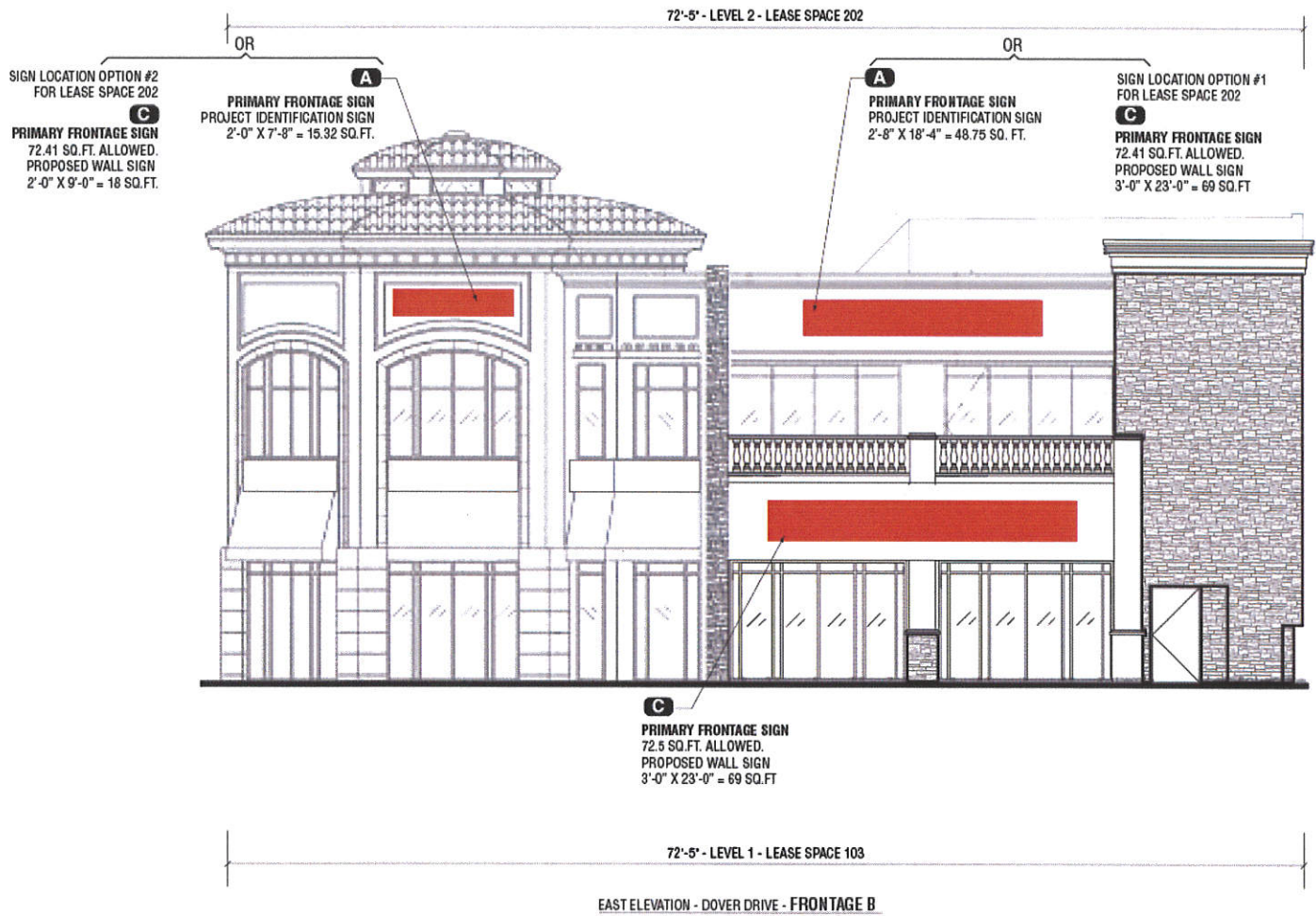
Building Elevation (Frontage A) - Segment 3



SIGN TYPES

- A** PROJECT IDENTIFICATION SIGN
- B** PARKING IDENTIFICATION SIGNS
- C** TENANT IDENTIFICATION SIGNS

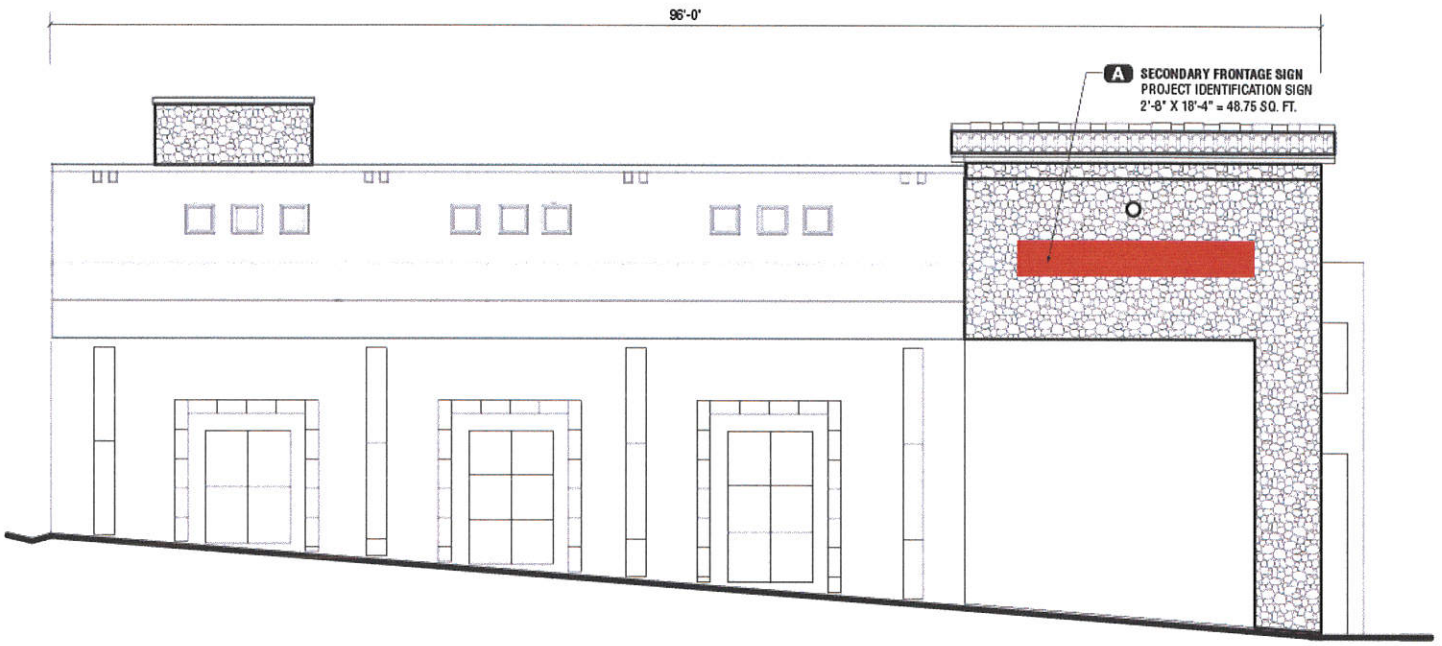
Building Elevation (Frontage B)



SIGN TYPES

- A** PROJECT IDENTIFICATION SIGN
- B** PARKING IDENTIFICATION SIGNS
- C** TENANT IDENTIFICATION SIGNS

Building Elevation (Frontage C)



WEST ELEVATION - FRONTAGE C

SIGN TYPES

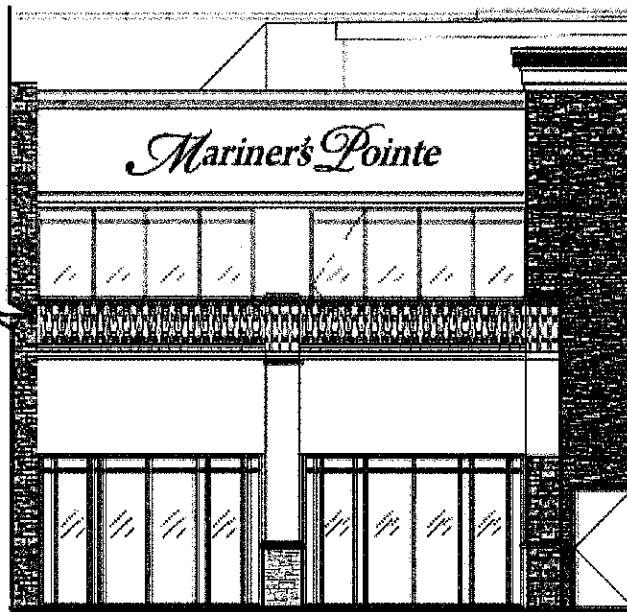
- A** PROJECT IDENTIFICATION SIGN
- B** PARKING IDENTIFICATION SIGNS
- C** TENANT IDENTIFICATION SIGNS

PROJECT SIGNAGE

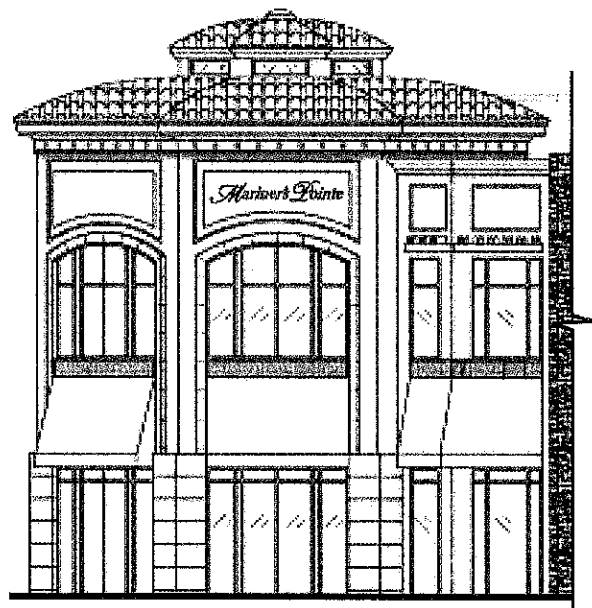
SIGN TYPE: (A) PROJECT IDENTIFICATION

LOCATION	Center 80% of architectural background on which it is placed.
COPY	Project name
SIGN AREA	48.75 sq. ft.; 36" max letter ht.
MATERIALS	Dimensional channel letters: aluminum construction with acrylic face
COLORS	Colors shall be compatible with the building architecture.
TYPE FACE	Custom project identification. All signs shall haave same font.
LIGHTING	Direct or indirect per Design Criteria

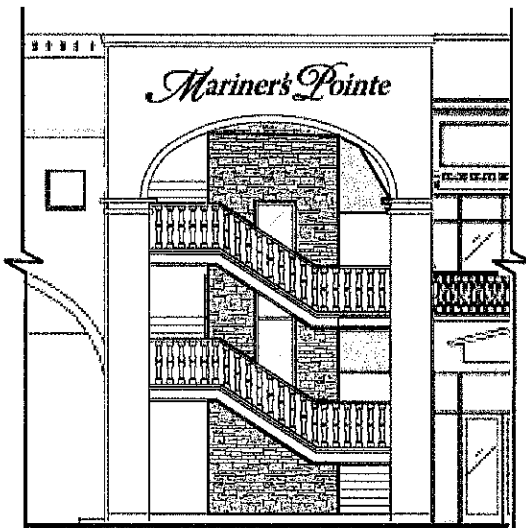
EAST ELEVATION



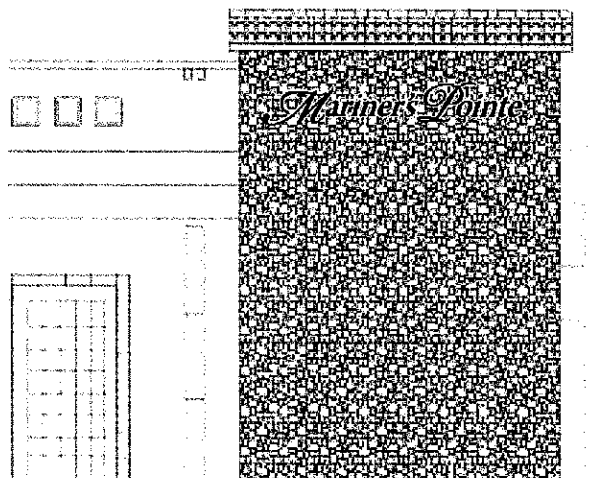
Alternate Location: EAST ELEVATION



SOUTH ELEVATION

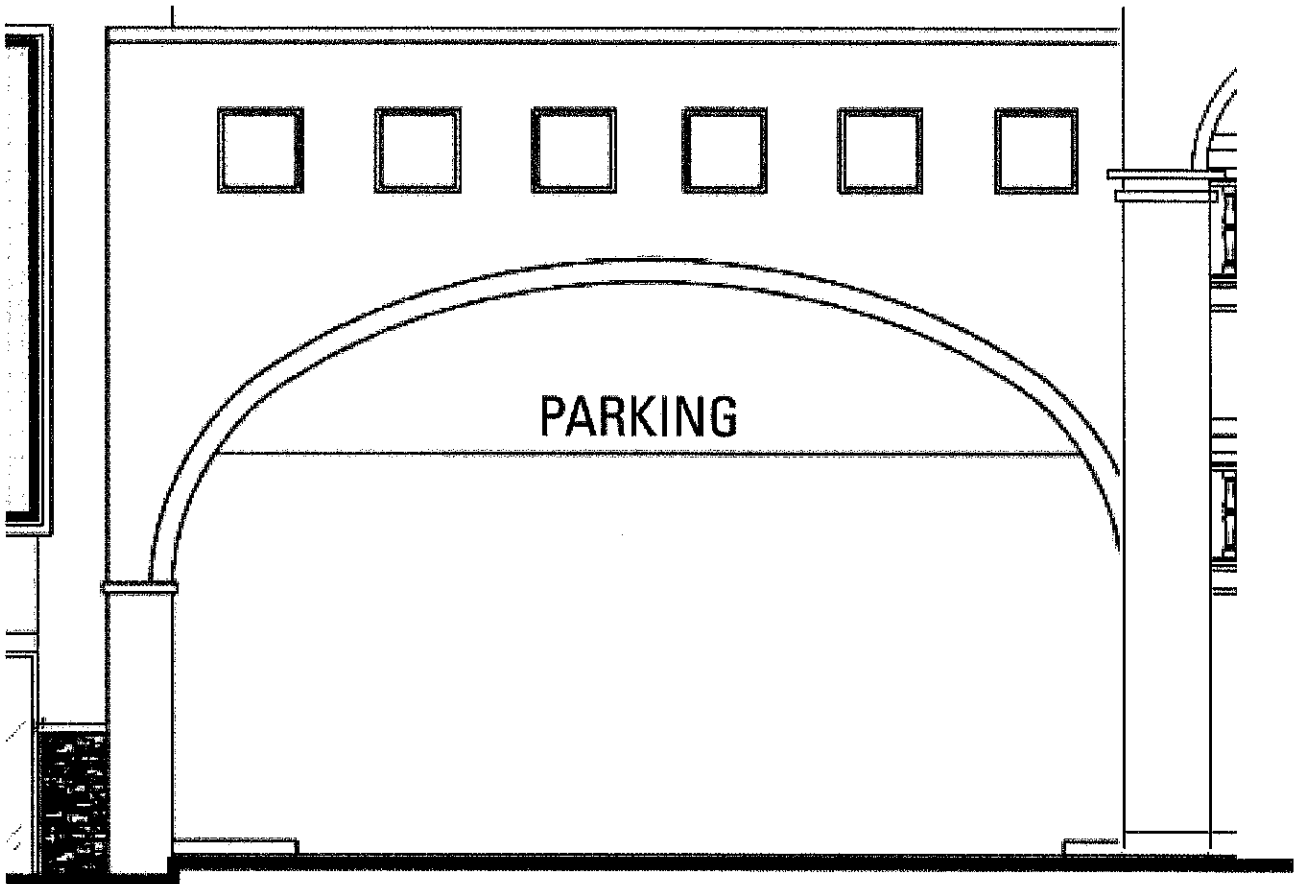


WEST ELEVATION



SIGN TYPE: (B) PARKING IDENTIFICATION

LOCATION	On building as indicated on Site Plan
COPY	Parking entrance / exit identification
SIZE	16" max letter ht. Parking: 8.8 sq. ft.
MATERIALS	Dimensional metal or painted acrylic letters
COLORS	Colors shall be compatible with the building architecture.
TYPE FACE	Univers Condensed
LIGHTING	Direct or indirect per Design Criteria



TENANT SIGNAGE**SIGN TYPE: (C) TENANT IDENTIFICATION SIGNAGE**

Designated Primary and Secondary building frontages for determining sign standards are shown on the Site Plan. Sign standards are shown for each individual sign type and modified by the criteria below. The Planning Director has the authority to allow deviations for Awning Signs to complement wall signs.

PRIMARY FRONTAGE TENANT IDENTIFICATION

Tenant may choose ONE (except as provided for herein) of the Tenant Identification sign types - Wall Sign, Awning Sign, or Projecting Sign (ground floor tenants only) per primary frontage, in addition to a Pedestrian Oriented Sign and Window Signs as follows:

QUANTITY	1 per tenant occupancy on primary frontage.
SIGN AREA	As specified by Exhibits for each sign type.
LOCATION	Anywhere within the center 80% of tenant frontage or architectural background on which the sign is placed.

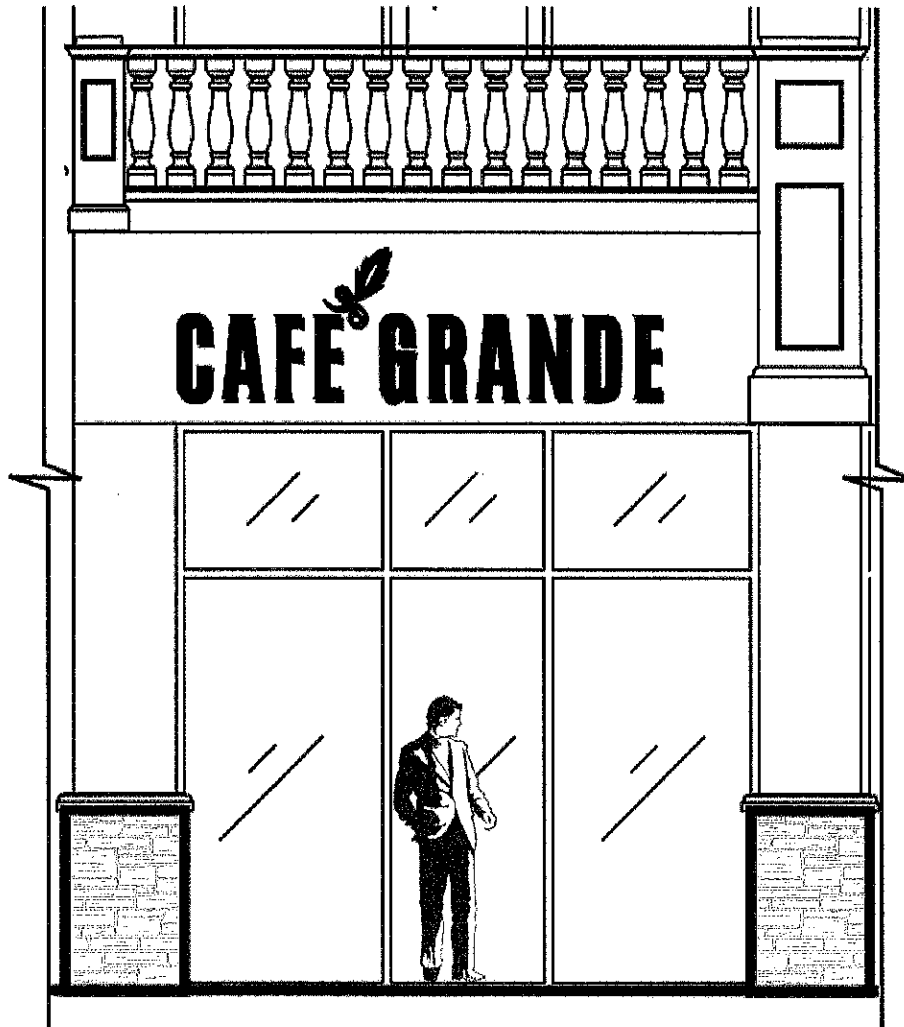
SECONDARY FRONTAGE TENANT IDENTIFICATION

Tenants with lease spaces along the designated secondary frontage may choose ONE (except as provided for herein) of the Tenant Identification sign types - Wall Sign, or Awning Sign per frontage, in addition to a Pedestrian Oriented Sign and Window Signs. Projecting signs are not allowed on secondary frontages. Signage on secondary frontages are limited as follows:

QUANTITY	1 per tenant occupancy secondary frontage.
SIGN AREA	As specified by Exhibits for each sign type.
LOCATION	Anywhere within the center 80% of tenant frontage or architectural background on which the sign is placed.

• **TENANT IDENTIFICATION WALL SIGNS**

LOCATION	Mounted flat against building wall, as designated by Owner. Must be located anywhere within the center 80% of the tenant lease space frontage or architectural background on which it is placed.
COPY	Tenant names / logo. Per Owner's discretion.
SIZE	Primary Frontage: 1.0 sq. ft. of aggregate sign area per lineal foot of primary building frontage. 36" max. letter height. Secondary Frontage: .5 sq. ft. of aggregate sign area per lineal foot of primary building frontage. 36" max. letter height.
MATERIALS	Channel letters; dimensional letters or other material compatible with building architecture.
COLORS	Tenants may use custom colors with Owner approval. Colors shall be compatible with the building architecture.
TYPE FACE	Custom tenant logotype / name with Owner approval.
LIGHTING	Direct or indirect per Design Criteria



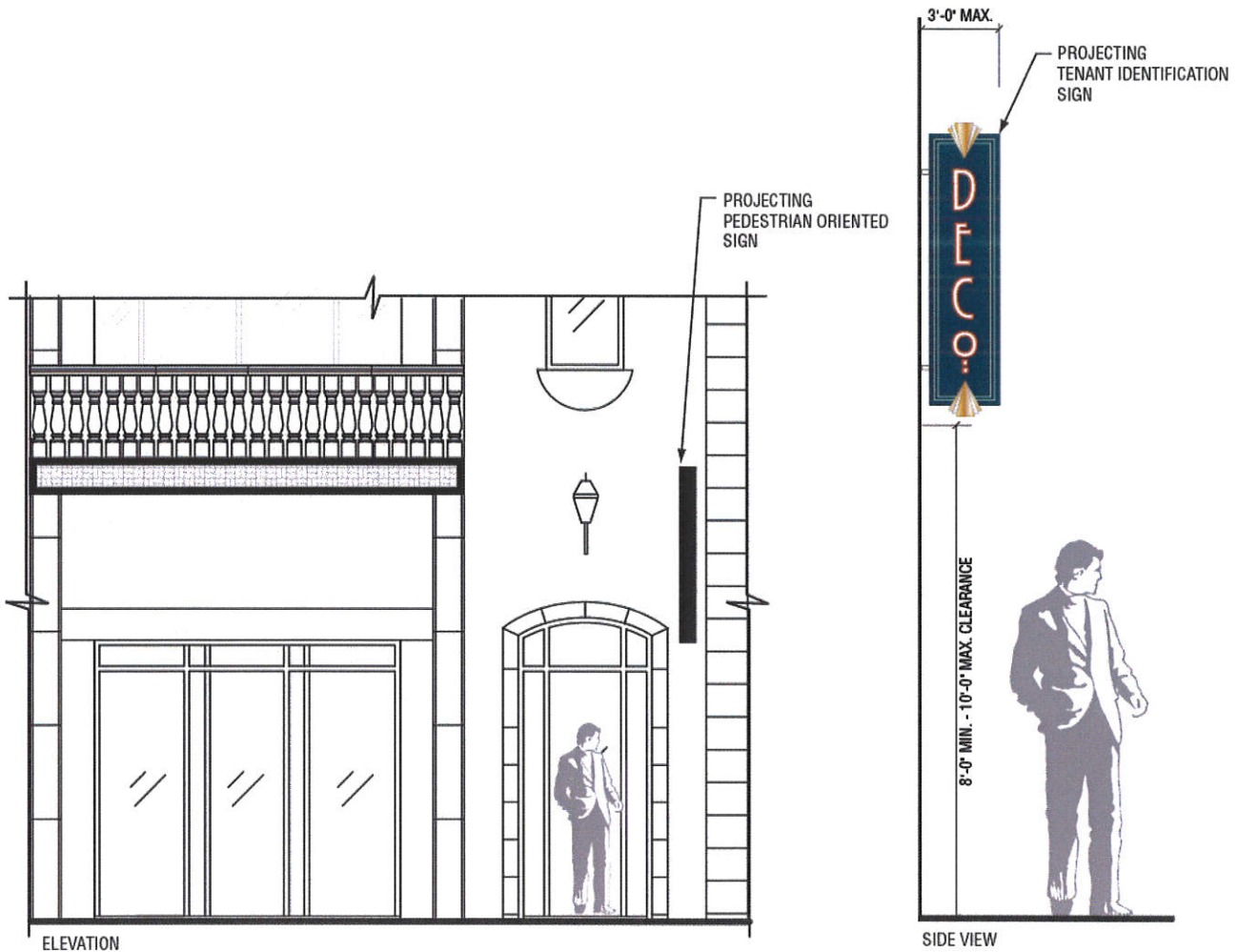
• **TENANT IDENTIFICATION AWNING SIGNS**

LOCATION	On first or second story tenant lease space over windows or doors
COPY	Tenant names / logo. Per Owner's discretion.
SIZE	Lettering, logos, symbols and graphics are allowed on up to 50% of the slope portion of the awning, or not more than 60% of the bottom twelve inches of a barrel shaped awning. Note: Where discretionary approval is obtained from the Planning Director, letters, logos, symbols and graphics shall be limited to 50% of the allowable area and located on the front vertical surface of the awning valance only.
MATERIALS	Painted or vinyl letters that are an integral part of the awning.
COLORS	Tenants may use custom colors with Owner approval. Colors shall be compatible with the building architecture.
TYPE FACE	Custom tenant logotype / name with Owner approval.
LIGHTING	Indirect per Design Criteria. Signage on awnings shall not be internally illuminated.



• TENANT IDENTIFICATION PROJECTING SIGNS

LOCATION	Mounted on building wall, as designated by Owner. Must be located on tenant lease space frontage or architectural area designated for signage. Must provide 8 ft. minimum clearance above surface over which they project. Maximum 3 ft. projection over property line or building line. May not be located on second story elevation.
COPY	Tenant names / logo. Per Owner's discretion.
SIZE	Tenant Identification Projecting Signs are included in aggregate tenant sign allowance. 20 sq. ft. max. on primary frontage; 10 sq. ft. max. on secondary frontage.
MATERIALS	Material compatible with building architecture.
COLORS	Tenants may use custom colors with Owner approval. Colors shall be compatible with the building architecture.
TYPE FACE	Custom tenant logotype / name with Owner approval.
LIGHTING	Direct or indirect per Design Criteria



SIGN TYPE: (D) WINDOW SIGNS

LOCATION	On window occupied by tenant, with Owner approval.
COPY	Tenant names / logo or related copy per Owner's discretion.
SIGN AREA	Tenant identification signs on windows are included in aggregate tenant wall sign allowance. Up to 20% max of each window area, limited to upper and/or lower 12 inches of window only.
MATERIALS	Vinyl, gold leaf or other material compatible with building architecture.
COLORS	Tenants may use custom colors with Owner approval. Colors shall be compatible with the building architecture.
TYPE FACE	Custom tenant logotype / name with Owner approval.
LIGHTING	Indirect per Design Criteria

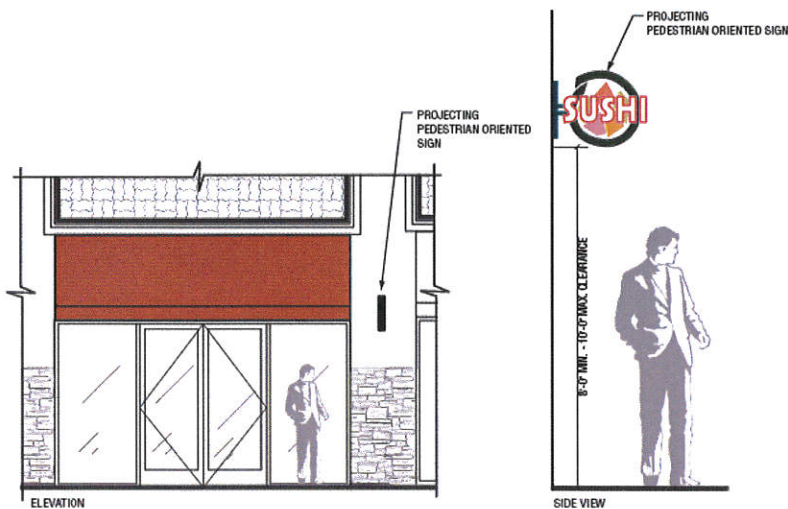


SIGN TYPE: (E) PEDESTRIAN ORIENTED SIGNS

QUANTITY	1 per establishment. May be used in combination with other building signs.
LOCATION	On building wall occupied by tenant, with Owner approval. Ground floor tenants only.
COPY	Tenant names / logo. Per Owner's discretion.
SIZE	Pedestrian Oriented Signs are not included in aggregate tenant wall sign allowance. 3 sq. ft. max.
MATERIALS	Channel letters, dimensional letters; painted; or other material compatible with building architecture.
COLORS	Tenants may use custom colors with Owner approval. Colors shall be compatible with the building architecture.
TYPE FACE	Custom tenant logotype / name with Owner approval.
LIGHTING	Direct or indirect per Design Criteria



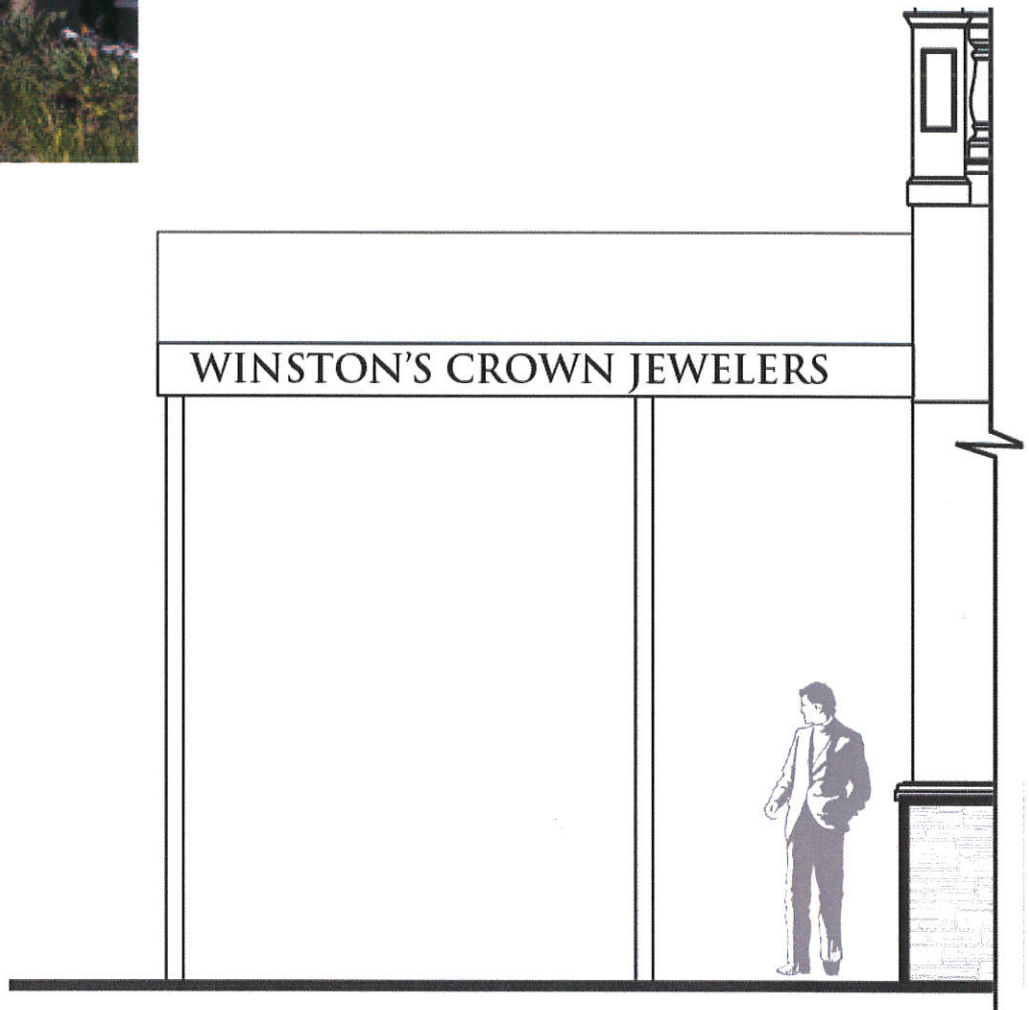
Wall Mounted



Projecting

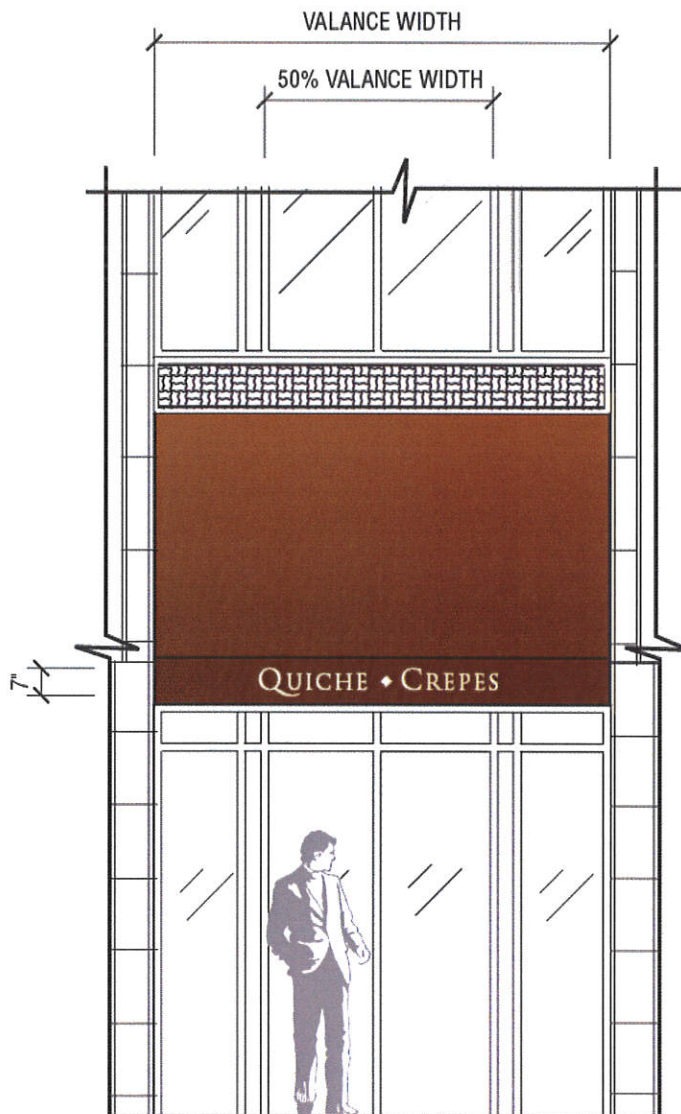
SIGN TYPE: (F) ENTRY CANOPY SIGN

QUANTITY	(2) per canopy as long as both signs are not visible at the same time
LOCATION	Placed on outer faces of canopy only, not above uppermost part of canopy.
COPY	Tenant names / logo. Per Owner's discretion.
SIZE	Shall be part of and shall not exceed limitation of entry canopy.
MATERIALS	Painted or vinyl letters that are an integral part of the canopy.
COLORS	Tenants may use custom colors with Owner approval. Colors shall be compatible with the building architecture.
TYPE FACE	Custom tenant logotype / name with Owner approval.
LIGHTING	Non-illuminated



SIGN TYPE: (G) VALANCE SIGN

LOCATION	On front vertical surface of the awning valance. May be used in conjunction with a tenant sign (Wall, Awning, or Projecting).
COPY	Tenant names / logo; goods and services. Per Owner's discretion.
SIZE	Up to 3 sq. ft. max. Lettering, logos, symbols and graphics are allowed on up to 50% of the front valance portion of the awning. 7" max. letter height. Shall be counted towards maximum allowable sign area. Note: Where discretionary approval is obtained from the Planning Director, letters, logos, symbols and graphics shall be limited to 50% of the allowable area and located on the front vertical surface of the awning valance only.
MATERIALS	Painted or vinyl letters that are an integral part of the valance.
COLORS	Tenants may use custom colors with Owner approval. Colors shall be compatible with the building architecture.
TYPE FACE	Custom typeface, with Owner approval.
LIGHTING	Indirect per Design Criteria. Signage on valance shall not be internally illuminated.



SECONDARY SITE SIGNAGE

Secondary site signage are signs other than the primary project, development or tenant identification signs and may include:

- address signage
- suite number signs
- code-required signs

The number and locations of secondary signs shall be subject to city review. Sizes shall not exceed allowances per city code.

TEMPORARY SIGNAGE

Project Leasing / Construction / Future Facilities

Temporary signs are permitted for various activities during and after completion of the development phase, size and quantity per city zoning ordinances

Temporary Identification / Coming Soon

Temporary signs may be allowed at individual lease spaces for displaying “for lease”, “coming soon” and similar messages subject to Owner’s approval. Tenant is responsible for City approvals or permits if applicable.

Temporary signs shall not exceed allowances per City code.

REQUIRED SUBMITTALS AND APPROVALS

A. Submittals and Approvals

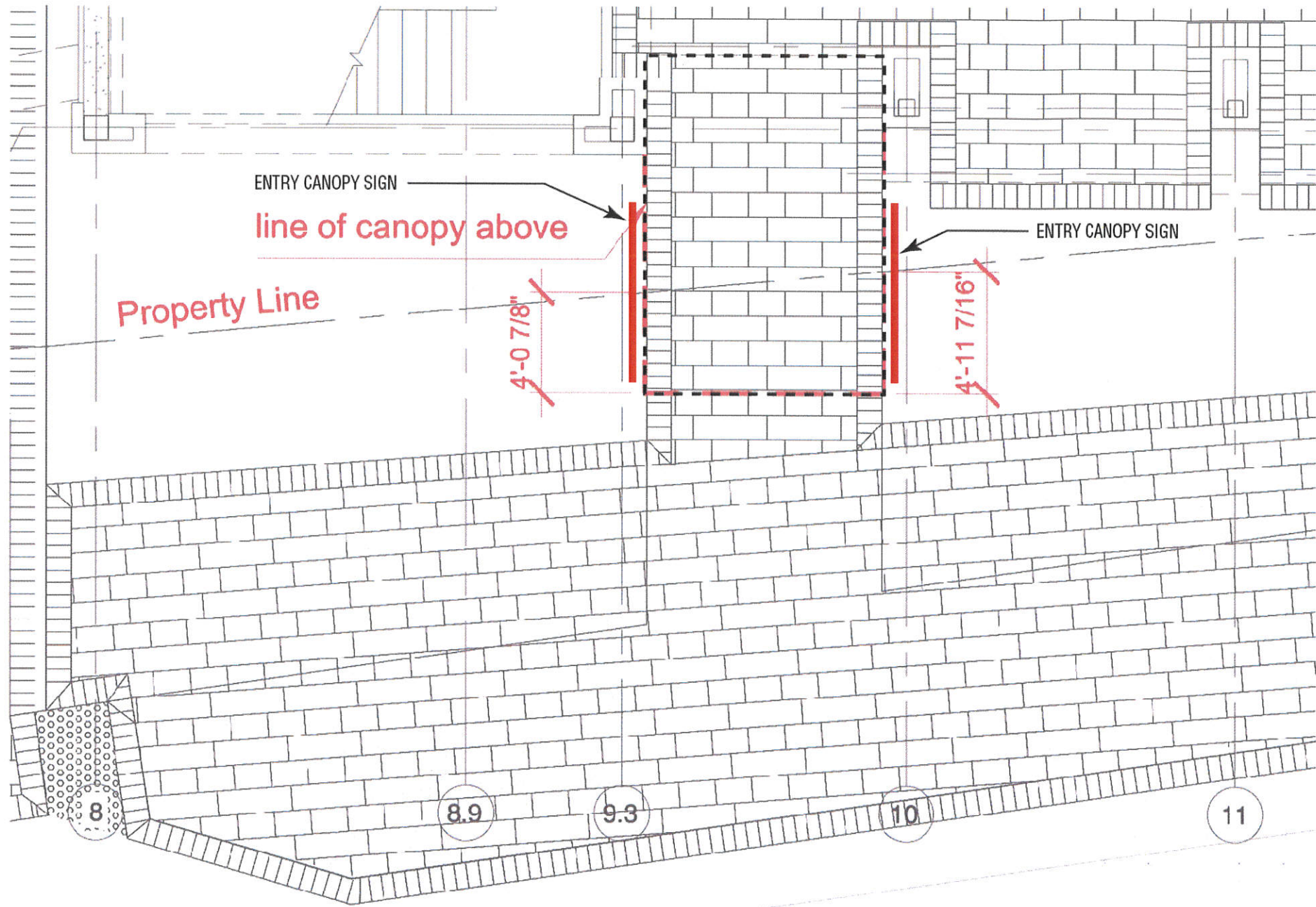
There is a formal process for the creation, review and approval of all signage at Mariner's Pointe. Prior to submittal to the City, plans for all proposed signage shall be submitted to the Owner or his Authorized Agent who will review plans for conformance with the sign program. **The Owner shall have the discretionary authority to deny approval for any submittal.**

1. For signage approval, such submissions shall include (3) sets of the following:
 - a. Name, address and phone number of tenant / user
 - b. Name, address and phone number of Sign Contractor
 - c. Site plan including: lease space footprint and dimensions, proposed sign locations, north arrow, and adjacent streets
 - d. Fully dimensioned and scaled drawing of each sign on building elevation, including measurements for lease space frontage and architectural backgrounds on which the sign is placed.
 - e. Elevation of structure showing all proposed signs indicating sign type, design, location, size and layout of sign drawn to scale and indicating dimensions, attachment devices and construction details, colors, materials and lighting details.
 - f. Section detail of letters and/or sign element showing the dimensioned projection of the face of letters, method and intensity of illumination.
 - g. Color board with actual sample colors (8-1/2" x 11" format).
2. Requests to establish signs that vary from the provisions of this sign program shall be submitted to the Owner in writing for approval prior to being submitted to the City. All proposed variances in an application to the Owner must be clearly identified as such.
3. Following approval of proposed signage by the Owner, applications for all permits for fabrication and installation by Sign Contractor may be submitted to the City for approval, along with applicable sign permit applications.
4. Fabrication and installation of all signs shall be performed in accordance with the standards and specifications outlined in these guidelines and in the final approved plans and working drawings.

B. Required Insurance and Permits

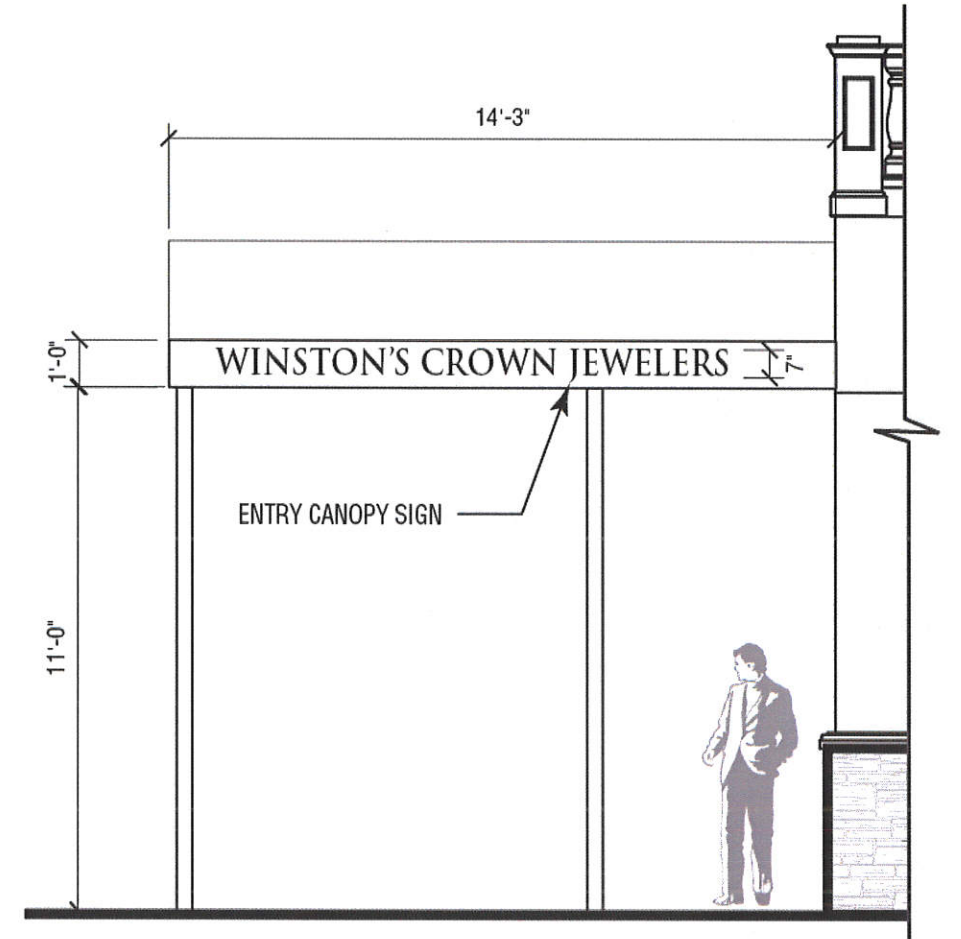
Prior to installation, the tenant shall provide to the Owner an original certificate of insurance from his sign contractor naming the Owner as an additional insured for liability coverage and a copy of the sign permits issued by the City.



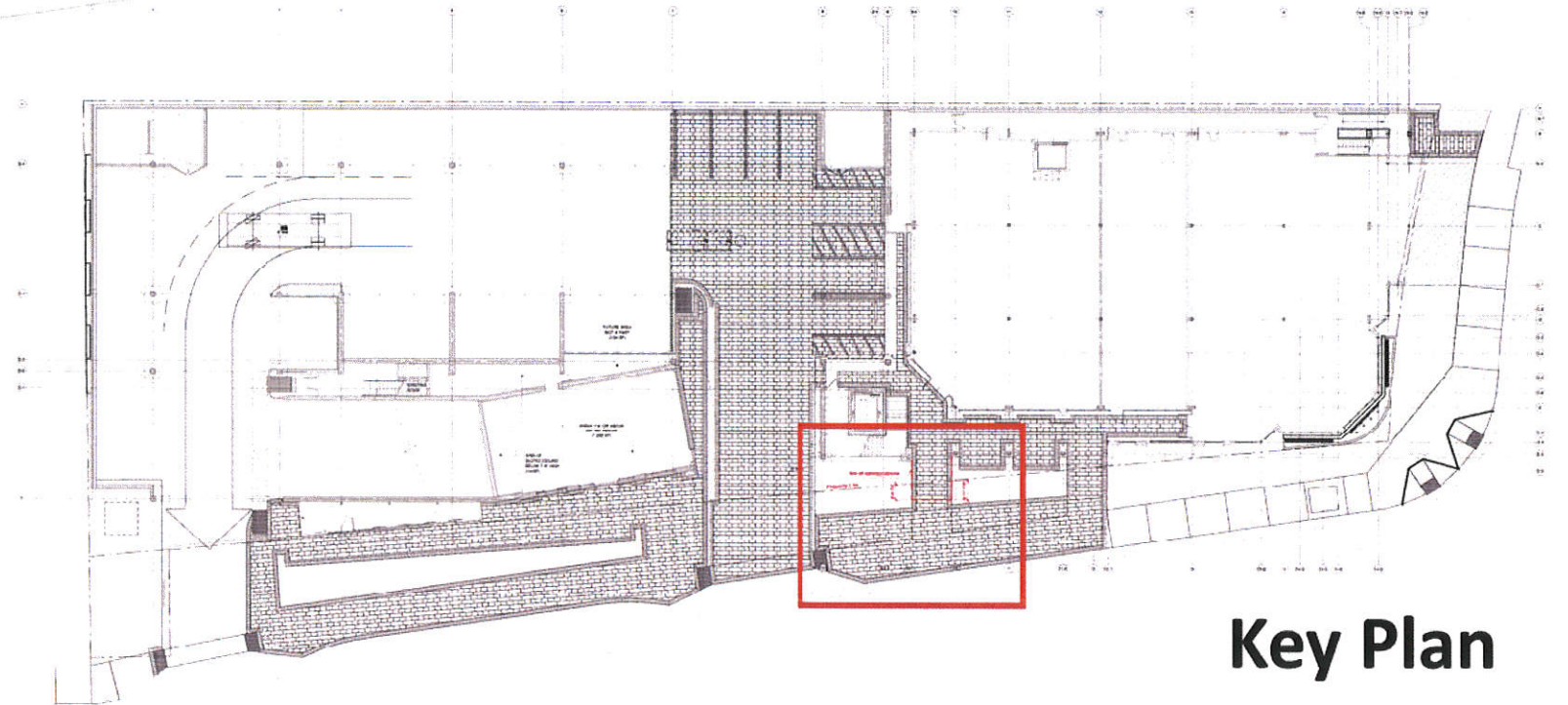


Partial Retail First Level

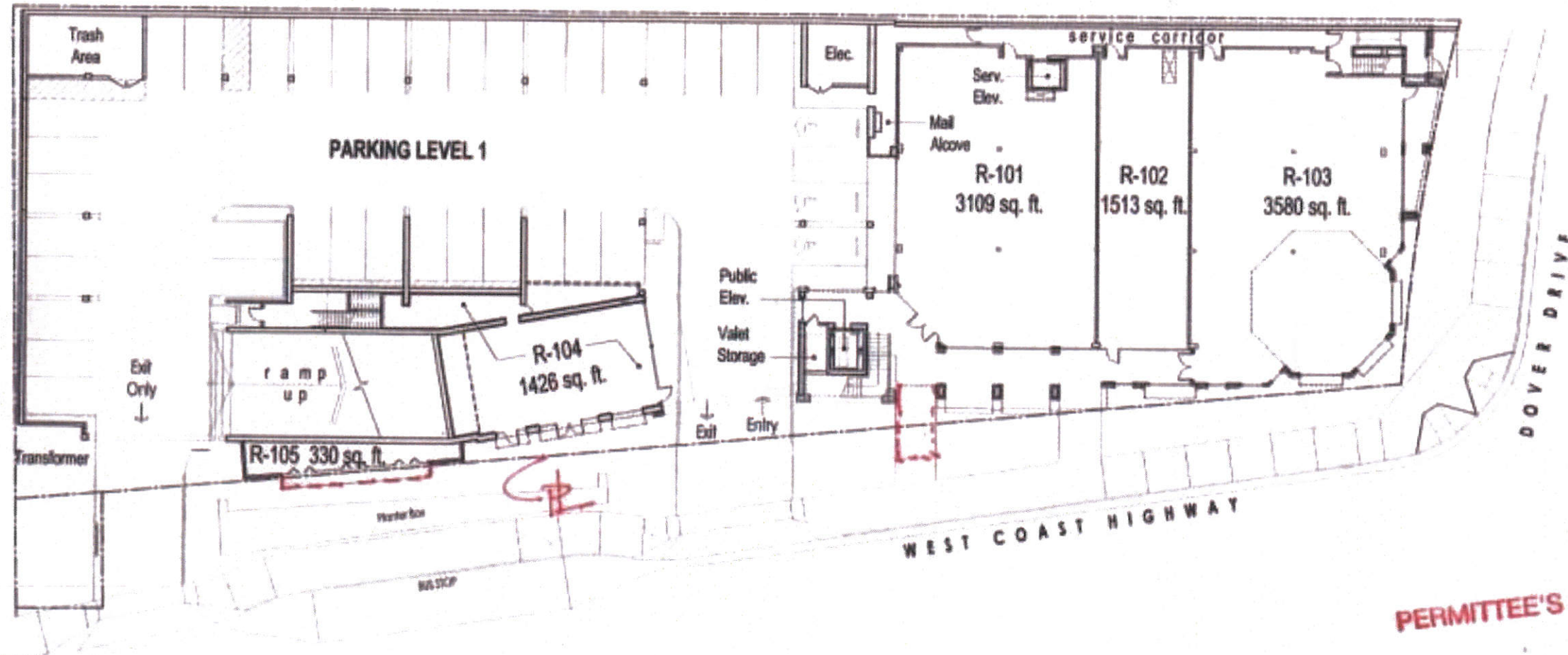
PLAN VIEW
SCALE: 3/16" = 1'-0"



SIDE VIEW
SCALE: 1/4" = 1'-0"



Key Plan



PERMITTEE'S COPY

PARKING SUMMARY

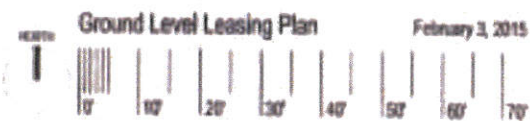
Level One	No. of Spaces	Notes
Typical Space	35	
Valet Space	0	
Accessible Space	3	2 Van Accessible
Total Spaces	38	
Level Two	No. of Spaces	Notes
Typical Space	1	
Valet Space	47	
Accessible Space	2	1 Van Accessible
Total Spaces	50	
Level Three	No. of Spaces	Notes
Typical Space	0	
Valet Space	55	
Accessible Space	0	
Total Spaces	55	

PROJECT TOTAL	No. of Spaces	Notes
Typical Space	36	
Valet Space	102	
Accessible Space	5	3 Van Accessible
Project Total Spaces	143	

TABULATION SUMMARY

Ground Level	Gross Leasable Area	Service Area	Gross Building Area
Suite R-101	3109 sq.ft.		
Suite R-102	1513 sq.ft.		
Suite R-103	3580 sq.ft.		
Suite R-104	1426 sq.ft.		
Suite R-105	330 sq.ft.		
Total	9658 sq.ft.	935 sq.ft.	10893 sq.ft.
Second Level	Gross Leasable Area	Service Area	Gross Building Area
Suite R-201	1557 sq.ft.		
Suite R-202	1480 sq.ft.		
Suite R-203	3174 sq.ft.		
Total	6211 sq.ft.	821 sq.ft.	6612 sq.ft.
TOTALS	15869 SQ.FT.	1756 SQ.FT.	18505 SQ.FT.

DISTRICT 12
 CALTRANS PERMIT PLANS
JUN 09 2015
 ATTACHED TO
 PERMIT NO. 15-0368

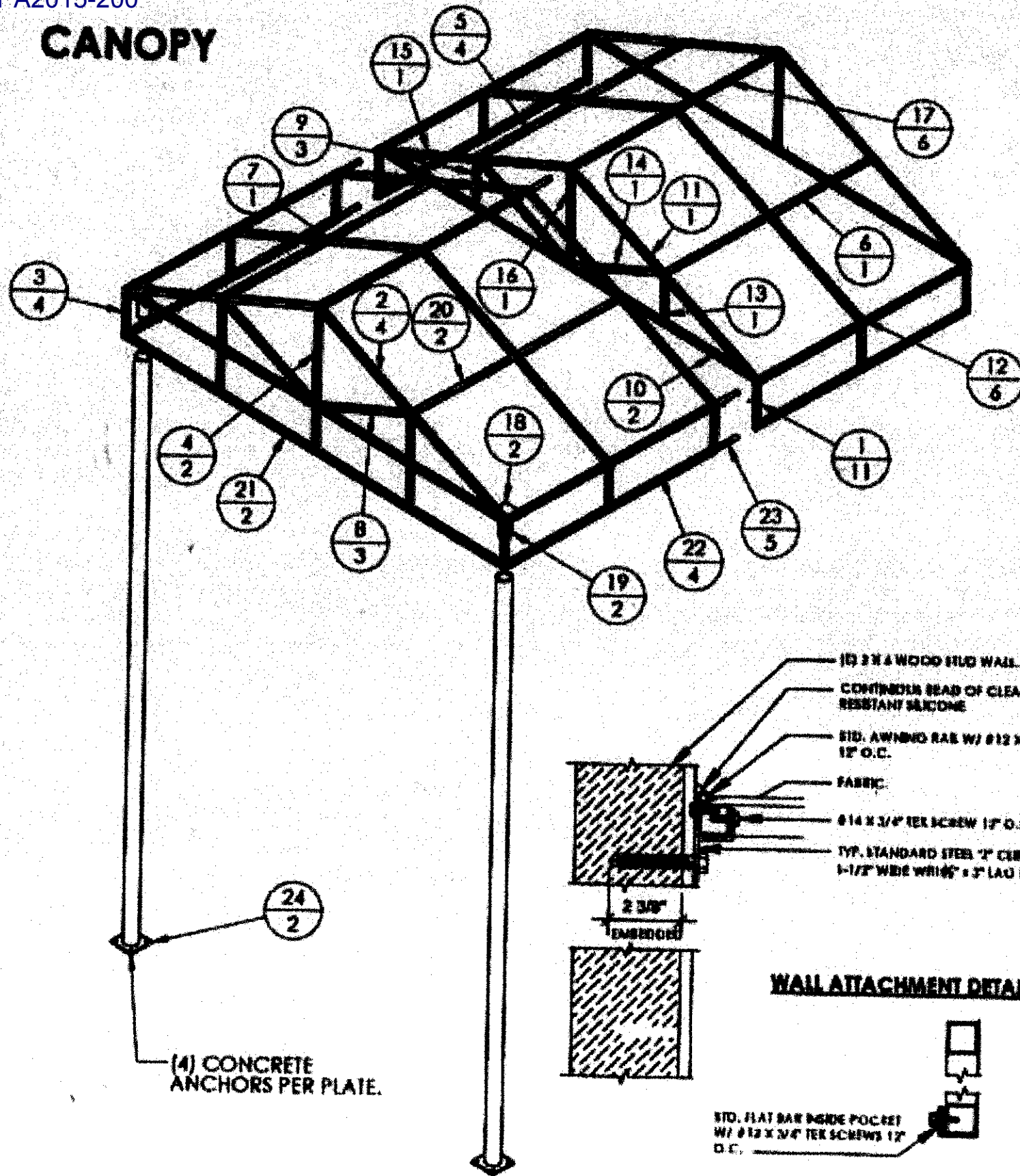


Mariner's Pointe

West Coast Highway at Dover Newport Beach, CA
 WINSTON'S JEWELERS c/o VBAS Properties, Inc
15102 Beach Boulevard, Suite 225 Huntington Beach, CA 92648

SEOUTENBOROUGH
ARCHITECTS AND PLANNERS

CANOPY



(4) CONCRETE ANCHORS PER PLATE.

WALL ATTACHMENT DETAIL

STD. FLAT BAR INSIDE POCKET
W/ #12 X 3/4" TEK SCREWS 12"
O.C.

ITEM NO.	QTY.	DESCRIPTION	LENGTH
1	11	1" X 1" X .063" SQ. STEEL TUBE	10'
2	4	1" X 1" X .063" SQ. STEEL TUBE	4'-11 9/16"
3	4	1" X 1" X .063" SQ. STEEL TUBE	1'
4	2	1" X 1" X .063" SQ. STEEL TUBE	2'
5	4	1" X 1" X .063" SQ. STEEL TUBE	2'-4 3/4"
6	1	1" X 1" X .063" SQ. STEEL TUBE	2'-4 3/4"
7	1	1" X 1" X .063" SQ. STEEL TUBE	2'-4 3/4"
8	3	1" X 1" X .063" SQ. STEEL TUBE	2'-4 5/8"
9	3	1" X 1" X .063" SQ. STEEL TUBE	11 3/8"
10	2	1" X 1" X .063" SQ. STEEL TUBE	9'
11	1	1" X 1" X .063" SQ. STEEL TUBE	4'-11 5/16"
12	6	1" X 1" X .063" SQ. STEEL TUBE	4'-11 5/16"
13	1	1" X 1" X .063" SQ. STEEL TUBE	11 3/8"
14	1	1" X 1" X .063" SQ. STEEL TUBE	2'-4 5/8"
15	1	1" X 1" X .063" SQ. STEEL TUBE	4'-11 5/16"
16	1	1" X 1" X .063" SQ. STEEL TUBE	1'-11"
17	6	1" X 1" X .063" SQ. STEEL TUBE	5'
18	2	4" X 4" X 1/4" THK. STEEL PLATE.	
19	2	6" LONG STEEL COLLUMN FINGER	
20	2	1" X 1" X .063" SQ. STEEL TUBE	2'-4 1/4"
21	2	1" X 1" X .063" SQ. STEEL TUBE	9'-2"
22	4	1" X 1" X .063" SQ. STEEL TUBE	4'-11"
23	5	12" LONG STEEL FRAME FINGER	
24	2	6" X 6" X 1/4" THK. STEEL PLATE.	

GENERAL NOTES:
 1. FINISH: POWDER COAT COLOR: RAL 7035
 2. FABRIC: PULVER COLOR Varies BY DRAWING
 3. MATERIALS: ALL WELDS SHALL BE 3/16" FLAT UNLESS OTHERWISE NOTED
 4. MATERIALS: ALL WELDS TO BE 3/16" FLAT UNLESS OTHERWISE NOTED

REVISIONS:
 NO. DATE REVISIONS
 A 04-01-14 FOR CUSTOMER APPROVAL

CUSTOMER NAME:
 KRUIS CONSTRUCTION
 21542 SURVEYOR CIRCLE
 HUNTINGTON BEACH, CA
 92646

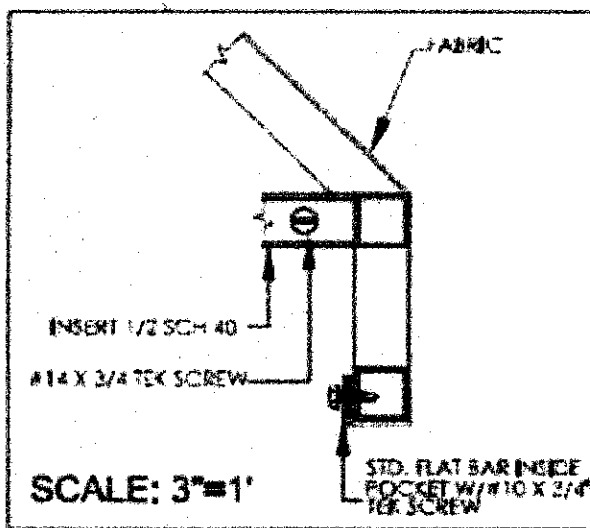
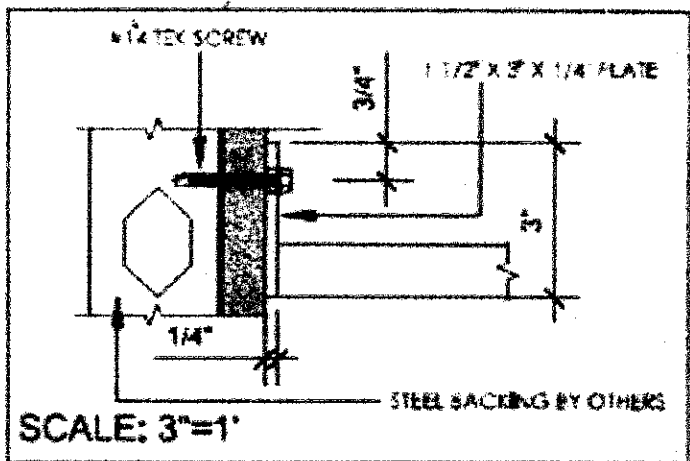
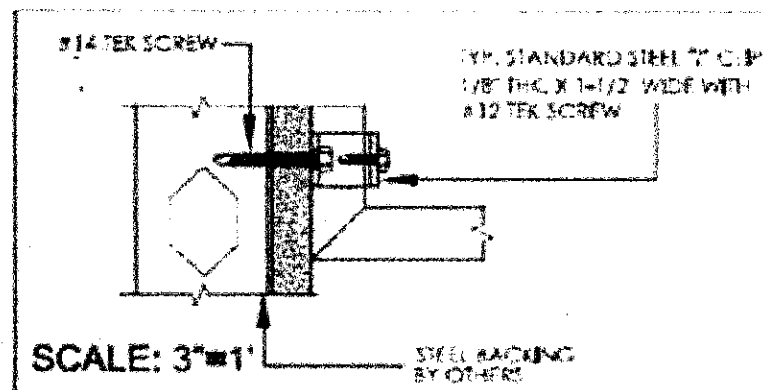
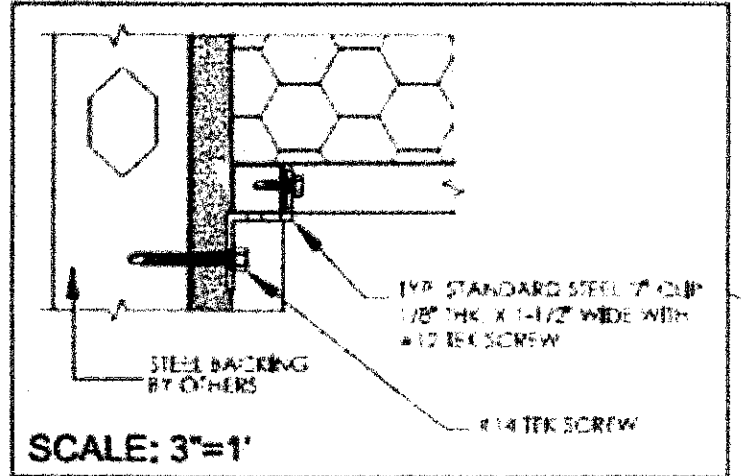
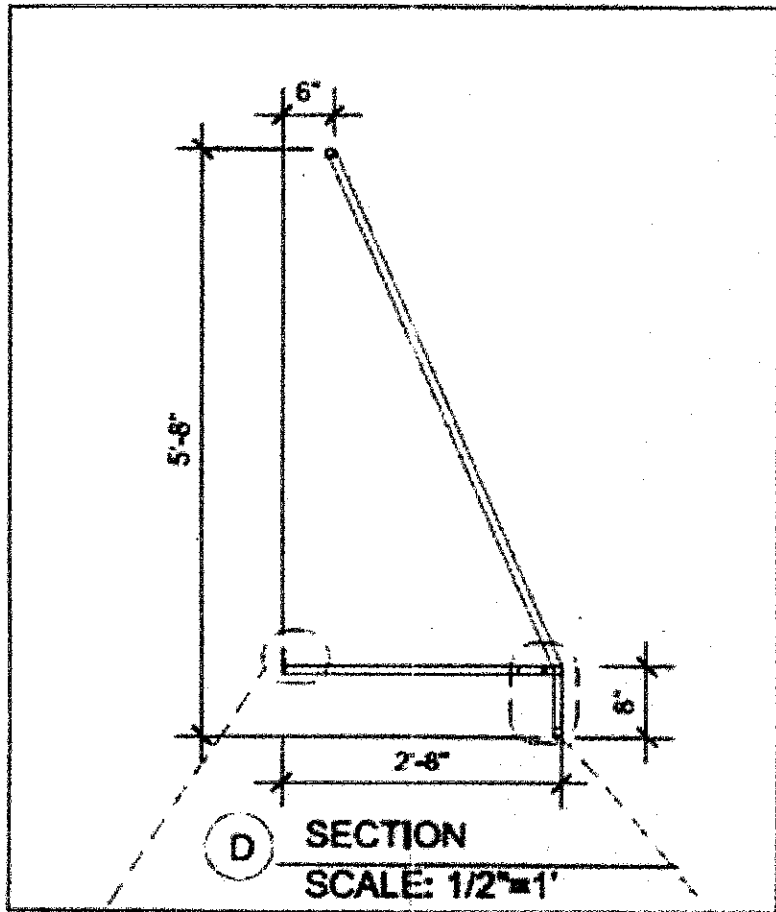
SITE:
 MARINER'S POINTE
 WEST COAST HWY. @ DOVER
 NEWPORT BEACH, CA
 92658

REVISIONS:
 NO. DATE REVISIONS
 A 04-01-14 FOR CUSTOMER APPROVAL

JOB NO.: 10591
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PM: RICK L.
PAGE NO.: 17 OF 29
APP BY: App By
APP DATE: App Date
SALES REP: MICHAEL R.
SCALE: 1:25

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