



**CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

FROM: Kimberly Brandt, Community Development Director
Brenda Wisneski, Deputy Community Development Director

SUBJECT: Report of actions taken by the Zoning Administrator, and/or Planning Division staff for the week ending February 5, 2016

**COMMUNITY DEVELOPMENT DIRECTOR
OR PLANNING DIVISION STAFF ACTIONS
(Non-Hearing Items)**

Item 1: The Jetty Comprehensive Sign Program No. CS2015-012 (PA2015-172)
Site Address: 20321 – 20371 Irvine Avenue

Action: Approved

Council District 3

APPEAL PERIOD: An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915

(949) 644-3200 Fax: (949) 644-3229

www.newportbeachca.gov

ZONING ADMINISTRATOR ACTION LETTER

Application No. **Comprehensive Sign Program No. CS2015-012 (PA2015-172)**
Applicant **Graffiti, Inc. – Michael McLaughlin / Chris Trisnan**
Owner **BSP Workscapes LLC – Tim Ballard**
Site Address **20321 – 20371 Irvine Avenue**
 The Jetty Sign Program
Legal Description **Parcel 1 of Parcel Map No. 89-128**

On **February 1, 2016**, the Zoning Administrator approved Comprehensive Sign Program No. CS2015-012 for a six-building property commonly referred to as The Jetty, in accordance with the provisions of Chapter 20.42 (Sign Standards) to the Newport Beach Municipal Code.

A Comprehensive Sign Program is required to allow signs to be located on or above the second story of a multi-story building and to allow the following deviations from the Zoning Code:

1. Multiple signs (wall and window) on a primary frontage (20321 – 20361 buildings), where the Zoning Code allows one sign per primary building or tenant frontage.
2. Two wall signs on a secondary frontage (20371 building), where the Zoning Code allows one building sign per secondary frontage.
3. Relief from the requirement that wall signs be located within the middle 50 percent of a building or tenant frontage (20321, 20331, 20361, 20371 buildings).
4. Relief from the requirement that wall signs only be allowed for second story occupancies with exterior entrances (20321, 20331, 20361, 20371 buildings). In this case, wall signs are proposed for second story occupancies that do not have exterior entrances.
5. Relief from the requirement that a pylon sign only be located on property where a building is set back from the front property line a minimum of 40 feet. In this case, two of six buildings on the property are located closer than 40 feet to the front property line.
6. Relief from the requirement that a business directory sign be non-illuminated.

The subject property is located within the Professional and Administrative Office District of the Santa Ana Heights Specific Plan (SP-7) Zoning District and designated General Commercial Office (CO-G) within the Land Use Element of the General Plan. The property is not located in the Coastal Zone. This approval is based on the following findings and standards and subject to the following conditions.

FINDINGS AND STANDARDS FOR APPROVED SIGNS

Finding:

- A. *The project is exempt from environmental review under the requirements of the California Environmental Quality Act pursuant to Section 15311, Class 11 (Accessory Structures).*

Facts in Support of Finding:

1. Class 11 exempts minor structures accessory to existing commercial facilities, including signs. The proposed signs are incidental and accessory to the principal commercial use of the property and do not intensify or alter the use.

Standard:

- B. *The proposed sign program shall comply with the purpose and intent of this Chapter [Chapter 20.42], any adopted sign design guidelines, and the overall purpose and intent of this Section [Section 20.42.120 – Comprehensive Sign Program].*

Facts in Support of Standard:

1. A comprehensive sign program is required whenever signs are proposed to be located on or above the second story of a multi-story building.
2. The proposed Comprehensive Sign Program complies with the purpose and intent of Newport Beach Municipal Code Chapter 20.42 (Sign Standards) because it provides the multi-tenant property with adequate identification while guarding against an excessive proliferation of signage. It preserves and enhances community appearance by regulating the type, size, location, quantity, and illumination of signs. Through said regulations, the Comprehensive Sign Program will enhance the safety of motorists and pedestrians by minimizing the distraction of signs, as well as to protect the life, health, property, and general welfare of City residents and visitors.
3. The purpose of a comprehensive sign program is to integrate all of a project's signs into a unified plan. A comprehensive sign program provides a means for the flexible application of sign regulations for projects that require multiple signs in order to provide incentive and latitude in the design and display of signs, and to achieve, not circumvent, the purpose of Chapter 20.42. This approval

integrates all of the signs for the subject property while meeting the purpose and intent of Chapter 20.42.

4. Approval of this Comprehensive Sign Program includes deviations to the number, location, and illumination of signs and allows the flexible application of the sign regulations to achieve a unified design theme that meets the purpose and intent of the Zoning Code.
5. The Comprehensive Sign Program is consistent with the Citywide Sign Design Guidelines Manual because the proposed signs are designed to be compatible with the building in terms of size, location, legibility, and materials. The property has undergone façade improvements and the proposed signs will reflect and complement those improvements.
6. All signs are designed to effectively communicate a commercial message without creating sign clutter through the use of legible text that contrasts with the background. The size of the signs do not dominate the façade on which they are placed, and are appropriately located to identify the building and/or tenant entrance, as well as the property to vehicles travelling east and west on Irvine Avenue. A majority of individual tenant window and wall signage will not be visible from Irvine Avenue because signs will face the interior parking area and not the street

Standard:

- C. *The proposed signs shall enhance the overall development, be in harmony with, and relate visually to other signs included in the Comprehensive Sign Program, to the structures and/or developments they identify, and to surrounding development when applicable.*

Facts in Support of Standard:

1. The site is developed with six multi-tenant buildings that are accessible primarily from Irvine Avenue. Signs are designed to identify tenants spread throughout the property. The proposed pylon sign will identify the property to vehicles that typically travel at high speeds along Irvine Avenue. The pylon sign, business directory sign, window signs, and each primary and secondary wall sign comply with the maximum size allowable for each sign type per the Zoning Code.
2. All wall signs relate visually to each other because they maintain consistency in location, area, thickness, illumination, and materials.
3. The pylon sign and freestanding business directory sign integrate well with the project by maintaining consistency in architectural design, color, and materials. Both signs incorporate wood accents into the design.

4. Window signs will maintain consistency in location and size and are designed to be uniform and complimentary to wall signs. Window signs are limited to 2 square feet in area, and will be located adjacent to the entry of each tenant space.
5. Proposed signs will not obstruct public views from adjacent roadways because there are no public views through or across the subject property.
6. The signs will not interfere with sight distance from any street, driveway, or parking area and are located out of traffic safety visibility areas.

Standard:

- D. The sign program shall address all signs, including permanent, temporary, and exempt signs.*

Facts in Support of Standard:

1. The proposed Comprehensive Sign Program addresses all project signage. Temporary and exempt signs not specifically addressed in the sign program shall be regulated by the provisions of Chapter 20.42 (Sign Standards) of the Zoning Code.

Standard:

- E. The sign program shall accommodate future revisions that may be required because of changes in use or tenants.*

Facts in Support of Standard:

1. The Comprehensive Sign Program has been designed to be effective for the commercial tenants that occupy the property by providing sign opportunities for proper identification.
2. The Comprehensive Sign Program establishes allowed type, number, location, and area of signage with flexibility to accommodate any existing and future tenant.
3. It is not anticipated that future revisions to the Comprehensive Sign Program will be necessary to accommodate a change in tenant or use. However, the Community Development Director may approve minor revisions to the Comprehensive Sign Program if the intent of the original approval is not affected.

Standard:

- F. The program shall comply with the standards of this Chapter [Chapter 20.42], except that deviations are allowed with regard to sign area, total number,*

location, and/or height of signs to the extent that the Comprehensive Sign Program will enhance the overall development and will more fully accomplish the purposes and intent of this Chapter [Chapter 20.42].

Facts in Support of Standard:

1. The Comprehensive Sign Program allows for deviations regarding the number, location, and illumination of signs. The approval conforms to all other standards of Zoning Code Chapter 20.42, and enhances the overall development by integrating all of the project's signs with the overall site and structure design into a unified statement.
2. Allowing deviation from the Zoning Code for additional building signs (wall and window) on primary and secondary frontages is appropriate given the design of the buildings with large garage type doors, traditional doors, and reflective windowpanes. Due to numerous tenants on site and size of the property, wall signs are intended to serve as primary tenant identification while window signs help identify point of entry to a particular building or tenant space. Window signs will be visually consistent in location adjacent to a building or tenant entrance, and are minimal in size reducing any distraction to pedestrians and passing vehicles.
3. Allowing deviation from the Zoning Code for two building signs on a secondary frontage (20371 buildings) is appropriate in this case given the lineal frontage of the building. The proposed second wall sign location is adjacent to the building entrance and is aesthetically consistent with the pylon sign, and does not overwhelm the reader, but rather conveys a message efficiently.
4. Allowing deviation from the requirement that wall signs be located in the middle 50 percent of a building frontage (20321, 20331, 2036, 20371 buildings) is appropriate given the length and architectural design of the affected buildings and the number of tenants within each building. This deviation only applies to signs located about the ground floor that are located in the upper corner of each building, consistent in size and material.
5. Although the 20371 and 20321 buildings are located closer than 40 feet to the front property line, allowing the pylon sign to provide adequate identification for the multi-tenant property. Irvine Avenue typically experiences high traffic volumes and high speeds. In addition, several tenants are located towards the interior of the property away from the street. Therefore, the pylon sign provides early notification to vehicles traveling to the site. The sign complies with Zoning Code standards for freestanding signs.
6. Allowing an illuminated business directory sign assists visitors in locating their final destination due to the size of the property and number of tenant spaces. The sign complies with Zoning Code standards for area and height.

Standard:

- G. *The approval of a Comprehensive Sign Program shall not authorize the use of signs prohibited by this Chapter [Chapter 20.42].*

Facts in Support of Standard:

1. The Comprehensive Sign program does not authorize the use of prohibited signs.

Standard:

- H. *Review and approval of a Comprehensive Sign Program shall not consider the signs' proposed message content.*

Facts in Support of Standard:

1. The Comprehensive Sign Program contains no regulations affecting sign message content.

CONDITIONS

1. All proposed signs shall be in substantial conformance with the approved plans, Comprehensive Sign Program Matrix Table, and provisions of Chapter 20.42 of the Newport Beach Municipal Code, unless otherwise indicated in the following conditions.
2. Anything not specifically approved by this Comprehensive Sign Program is prohibited or requires an amendment to this sign program.
3. A building permit and/or sign permit shall be obtained prior to the installation of signs.
4. All unpermitted signs on site shall obtain permits demonstrating compliance with this Comprehensive Sign Program or shall be removed.
5. A copy of this letter shall be incorporated into the plan check sets of plans prior to issuance of building or sign permits.
6. Illuminated signs shall be regulated in accordance with the provisions of Section 20.42.070 of the Newport Beach Municipal Code. If, in the opinion of the Community Development Director, existing illumination creates an unacceptable negative impact on surrounding land uses or sensitive habitat areas the Director may order the dimming of light sources or other remediation upon finding that the site is excessively illuminated.
7. The maximum letter/logo height of any sign shall be 36 inches.

8. Window signs shall be limited to 2 square feet in area.
9. Signs shall be maintained in a clean and orderly condition.
10. The Community Development Director may approve revisions to the Comprehensive Sign Program if the intent of the original approval is not affected. Revisions that would substantially deviate from the original approval shall require approval of a new/revised comprehensive sign program by the Zoning Administrator.
11. Any future revisions or changes to the signs approved by this Comprehensive Sign Program due to a change in the use or tenants of the building shall be reviewed and approved by the Planning Division, so long as the sign size, copy configuration, and number of signs authorized by this approval does not substantially change or increase. The mandatory reduction or elimination of signs shall be exercised as necessary.
12. The Zoning Administrator may add to or modify conditions of this approval, or revoke this approval upon a determination that any sign that is authorized by this approval has been altered beyond the parameters of the authorization and therefore beyond the justification.
13. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.
14. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of The Jetty Comprehensive Sign Program including, but not limited to, the CS2015-012 (PA2015-172). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD

An appeal may be filed with the Director of Community Development within 14 days following the date the action. For additional information on filing an appeal, contact the Planning Division at (949) 644-3200.

On behalf of Patrick J. Alford, Zoning Administrator

By:



Jason Van Patten, Assistant Planner

GR/jvp

Attachments: ZA 1 Comprehensive Sign Program Matrix
 ZA 2 Vicinity Map
 ZA 3 Site Photographs
 ZA 4 Project Plans

Attachment No. ZA 1

Comprehensive Sign Program Matrix

THE JETTY COMPREHENSIVE SIGN PROGRAM MATRIX (PA2015-172)
20321 – 20371 IRVINE AVENUE

<i>Building Address</i>	20371	20361	20351	20341	20331	20321
Wall Signs						
Max Number	2 max	1 per occupant, 4 max	1 per occupant, 9 max	1 per occupant, 6 max	1 per occupant, 7 max	1 per occupant, 2 max
Max Area	60 SF (primary) 50% of primary (secondary)	20 SF (ground floor) 25 SF (second floor)	20 SF	20 SF	20 SF (ground floor) 25 SF (second floor)	25 SF (second floor only)
Max Letter/Logo Height	36" and two lines of text	18" and two lines of text				
Illumination	Allowed	Allowed	Allowed	Allowed	Allowed	Allowed
Architectural Wall Sign						
Max Number	1	Not allowed				
Max Area	14 SF					
Max Letter/Logo Height	18"					
Illumination	Not allowed					
Window Signs						
Max Number	Not allowed	1 per occupant, 4 max	1 per occupant, 9 max	1 per occupant, 6 max	1 per occupant, 7 max	1 per occupant, 2 max
Max Area		2 SF				
Location		Adjacent to entry doors. Ground floor only.				

Pylon Sign	
Max Number	1
Max Height	10'
Size & Location	Zoning Code
Illumination	Allowed

Business Directory Sign	
Max Number	1
Max Height	8'
Size & Location	Zoning Code
Illumination	Allowed

Other:

- Temporary signs shall be regulated by the provisions of Chapter 20.42.090 (Standards for Temporary Signs).
- Exempt signs shall be regulated by the provisions of Chapter 20.42.100.B (Exemptions to Sign Permit Requirement).
- All other sign types not listed are not permitted.
- All signs require the issuance of a building permit or sign permit prior to installation.
- For 20321 – 20361 buildings, each occupant may have one wall sign and one window sign, maximum.
 - Ground floor signs must be vertically centered and located within the middle 50 percent of occupant frontage.
 - Second floor signs shall be aligned left or right and 4 feet from building corner.

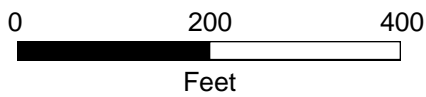
Attachment No. ZA 2

Vicinity Map



Subject Property

Newport
Beach
GIS



Disclaimer: Every reasonable effort has been made to assure the accuracy of the data provided, however, The City of Newport Beach and its employees and agents disclaim any and all responsibility from or relating to any results obtained in its use.

Imagery: 2009-2013 photos provided by Eagle Imaging www.eagleaerial.com

Attachment No. ZA 3

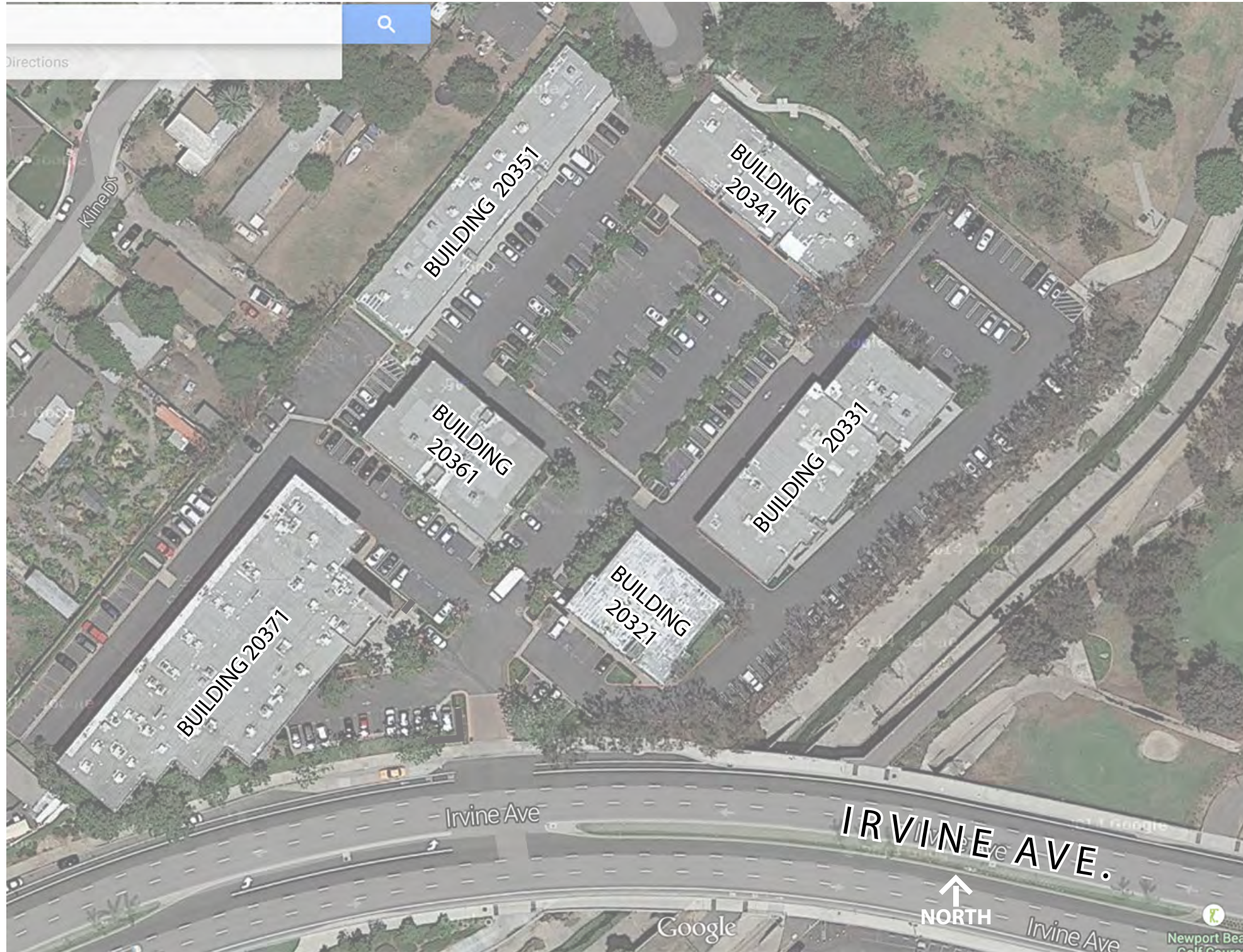
Site Photographs





Attachment No. ZA 4

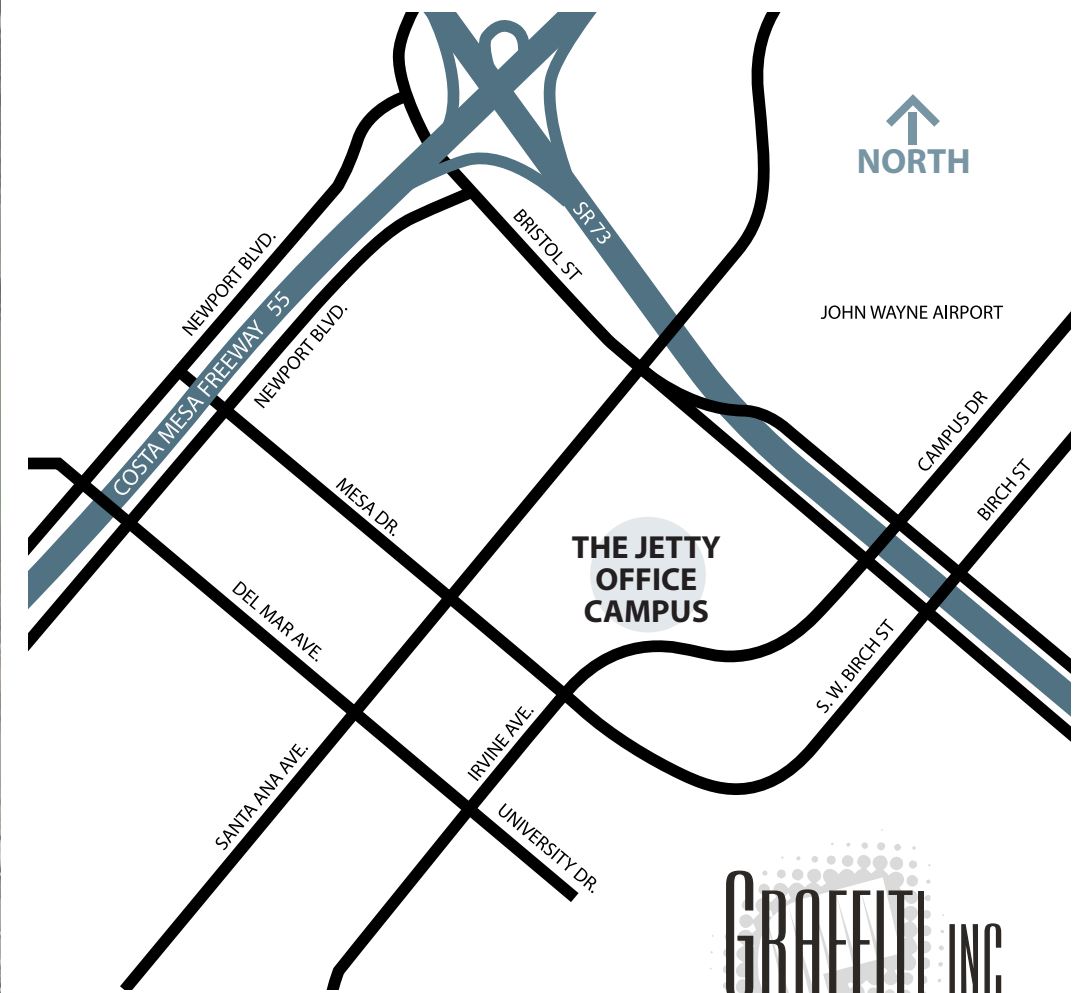
Project Plans



THE JETTY

Sign Plan

A.P.M.
1269 pages 39-41 sp7 Parcel 1 of PM 89-128
Santa Ana Heights



GRAFFITI INC.

Environmental Graphics
Architectural Signs

13845-B Alton Parkway
Irvine, Ca. 92618
(949) 457-2300 phone
(949) 837-9600 fax
chris@graffitiinc.com

OWNER:
BUCHANAN STREET
PARTNERS

THE JETTY, OFFICE CAMPUS
20321 - 20371 IRVINE AVENUE
NEWPORT BEACH CA.

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TITLE PAGE

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INTRODUCTION

THE JETTY, Newport Beach is a six building creative office campus totaling 83,688 gross sq. ft. located in Newport Beach, CA. The office campus is comprised of single and 2 story buildings, located at 20321 through 20371 Irvine Avenue.
 (Refer to Exhibit 1 Location Map)

Location

An apartment community and single family residential homes define the southerly and westerly boundaries. The Newport Beach Golf Course borders the office campus to the north of the office development. Primary access is provided by Irvine Avenue forming the easterly boundary.
 (Refer to Exhibit 1 Location Map)

Planning and Zoning

The sign information presented in this document conforms to the minimum requirements set forth by the City of Newport Beach Municipal code.

It is anticipated that consideration shall be provided for project and business identification signs commensurate with the scale and quality of the office campus. The signs shall make a positive contribution to the general appearance of the commercial area in which they are located. The size and shape of a sign are proportional with the scale of the architecture.

DESIGN CRITERIA

The Jetty is identified by the use of wall signs on the building and a Pylon on the entry landscape wall. A limited number of sign locations are available. General provisions and sign design criteria are set forth in this sign plan.

Fabrication and Installation

All signs and installation of the signs will conform to the City of Newport Beach building and electrical codes as well as sign permit requirements. Any illuminated sign or lighting device shall employ only LED, emitting a light of constant intensity.

The Pylon and Architectural Wall signs shall incorporate the thematic IPE hardwood slats and hot rolled steel panels. Located adjacent to the entry drive, in the landscape area the PYLON sign will incorporate illuminated letters identifying THE JETTY. The Architectural Wall sign on the 20371 Irvine Ave. building reinforces the project identity and minimizes the large rock veneer wall.

Graphic Design

Signs are expected to clearly express the business names in color and design. Use of established type styles, logos and/or images that are registered trademarks may be represented to identify business tenants, including restraint (s) or other business services.

Corporate colors are incorporated into all sign design. Sign colors and illumination shall be harmonious with the building color palette.

Sign Area

The sign area shall be generally calculated by measuring the height X width of the sign components, including letters and logo. Business names shall be limited to two lines of text.

Illumination

All illuminated signs shall incorporate LED illumination. Ground signs shall include dimensional letters that emit light through push-thru translucent acrylic graphics to illuminate the letter face. Wall signs shall be constructed as channel or dimensional letters attached to building wall. Permitted illuminated wall sign channel letters shall emit light through translucent acrylic letter faces.

PERMITTED SIGNS / SPECIFICATIONS

The Jetty office campus shall be identified by a double sided Pylon sign at the entry driveway with Irvine Avenue. Additionally the 20371 Irvine Avenue will incorporate an Architectural sign Identifying The Jetty. A business directory of The Jetty shall be installed for guests and first responders to navigate the office campus. Refer to Exhibit 2.

Business identification is provided with a building wall sign and a window sign. Business identification signs are oriented toward Irvine Avenue and primary driveways within the office campus. The signs are designed to compliment the architecture. Building Wall Signs shall be permitted at top (parapet) of buildings and at a lower canopy for ground floor businesses. All building have restricted maximum sign area.

Window glass may incorporate logo signs for business identification.

Temporary and exempt (operational) signs shall conform to the City of Newport Beach Municipal Code 20.42, Sign Standards.

The Jetty Sign Plan provides for the following sign types and criteria:

Sign A - Pylon Sign (Replace existing sign)

16 square foot maximum sign area

10 foot overall height above existing grade, 6 foot width

Address Panel with 6" tall numerals

Colors to match architectural sign, hot rolled steel finish

White graphics

Natural wood accent

Double sided, internally illuminated

Refer to Exhibit 3 - Specifications & Exhibit 4 - Site Map

Sign B - Architectural Wall Sign (Building 20371)

Maximum sign area 14 square foot sign

Dimensional letters "THE JETTY"

Colors to match architectural sign, hot rolled steel finish

White graphics

Natural wood accent

Single sided, non-illuminated

Refer to Exhibit 5 - Specifications

Sign C - Business Directory Sign

Single sided sign structure with illuminated site map

Maximum site map sign area 8 square foot

Colors to match architectural sign, hot rolled steel finish

Natural wood accent

Refer to Exhibit 6 - Design & Exhibit 7 - Specifications

Sign D - Business Identification Wall Signs

Building 20371

Maximum Sign Area _ 60 square foot, Primary and 50% of Primary sign area allowed for a secondary parapet elevation. (30 square feet maximum)

Maximum letter/logo height 36"

Sign shall be Individual channel letters or logo, 3" to 5" deep, internally illuminated face.

Names may be different, 2 lines of text permitted.

Tenant name to be determined by building owner or a representative

Refer to Exhibit 8 - Specifications & Exhibit 9 - Sign Locations

Buildings 20361, 20331 and 20321

Ground floor occupant shall be permitted a sign on the canopy below the second floor windows

Maximum permitted sign area _ 20 square foot

Sign shall be vertically centered and within the middle 50% of frontage.

Maximum letter/logo height 18" - Minimum 2" deep dimensional letters are permitted

Letters shall have a brushed aluminum or white letter face & returns

Halo or letter face illumination is permitted

Second floor occupant shall be permitted a sign on the parapet fascia vertically centered on parapet and 4'-0" from building corner over occupancy space.

Maximum permitted sign area _ 25 square foot

Maximum letter/logo height 18" - Minimum 2" deep dimensional letters are permitted

Letters shall have a brushed aluminum or white letter face & returns

Halo or letter face illumination is permitted

Refer to Exhibit 10 - Typical Specifications for 2 Story Building & Exhibits 11, 12, 13, 14 & 15 - Sign Locations

Buildings 20351 and 20341

Signs shall be vertically centered within the middle 50% of frontage

Maximum permitted sign area _ 20 square foot

Maximum letter/logo height of 18"

Minimum 2" deep dimensional letters

Occupants shall be permitted a sign on the parapet fascia

The sign shall be centered horizontally and vertically over the occupancy frontage

Letters shall have a brushed aluminum or white letter face & returns

Signs may be illuminated

Refer to Exhibit 14 - Typical Specifications for 1 Story Building & Exhibits 15, 16 & 17 - Sign Locations

Sign E - Window Glass Signs - Buildings 20321 and 20361

Occupants are permitted one window sign with a maximum of 2 square feet, refer to Exhibit 19.

A single window panel shall be used to display the occupant's business name.

There are no restrictions on color



- SIGN A PYLON SIGN LOCATION
- SIGN B ARCHITECTURAL WALL SIGN
- SIGN C DIRECTORY SITE MAP
- SIGN D BUSINESS ID WALL SIGN LOCATIONS



OWNER:
BUCHANAN STREET
PARTNERS

THE JETTY, OFFICE CAMPUS
20321 - 20371 IRVINE AVENUE
NEWPORT BEACH CA.

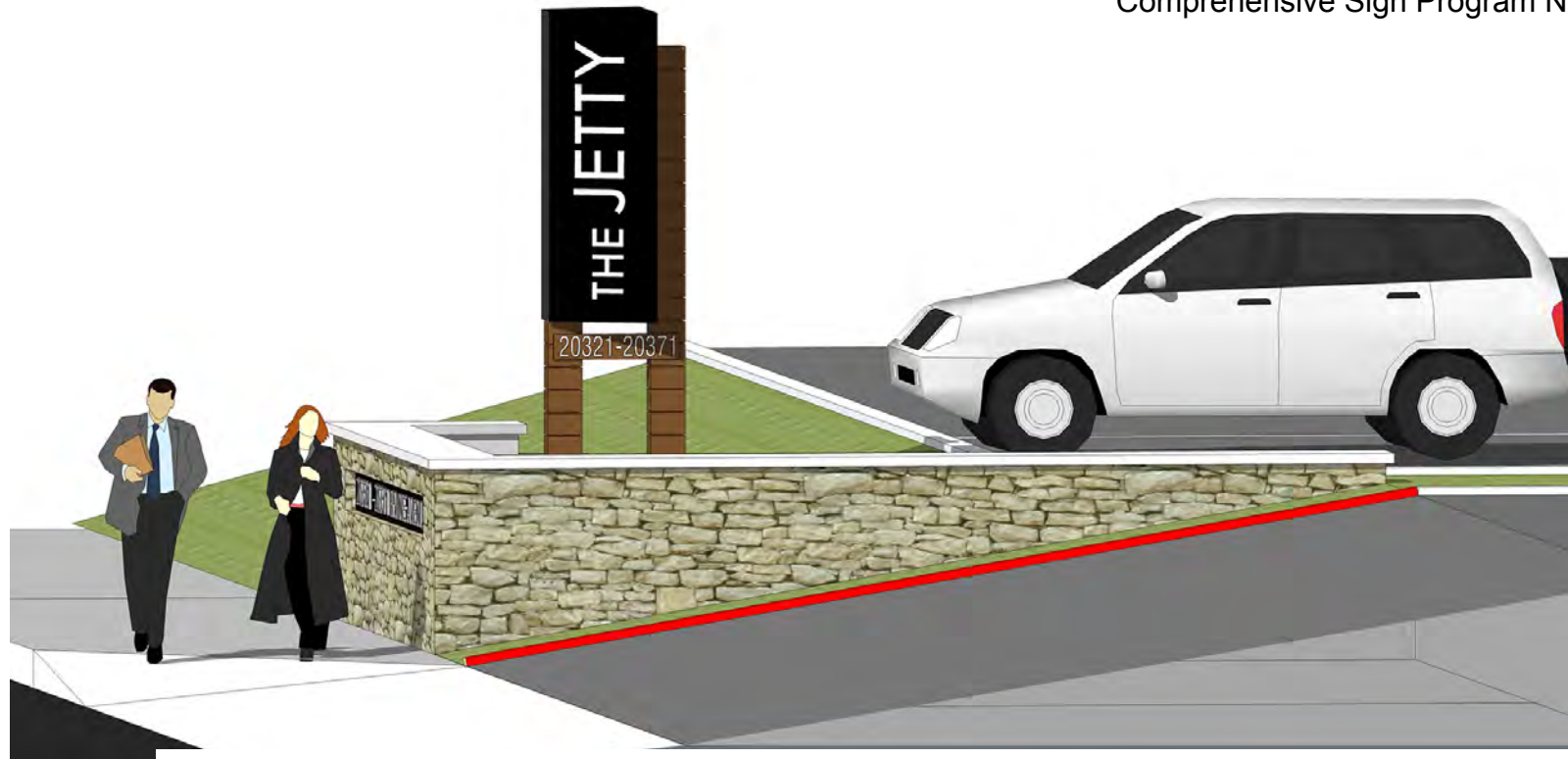
SIGN LOCATIONS

GRAFFITI INC.

Environmental Graphics
Architectural Signs

13845-B Alton Parkway
Irvine, Ca. 92618
(949) 457-2300 phone
(949) 837-9600 fax
chris@graffitiinc.com

EXHIBIT 3
SIGN A - PYLON SIGN DESIGN



SOUTHBOUND VIEW IRVINE AVE.

DOUBLE SIDED PYLON SIGN
3'-0" X 10'-0"
10' SETBACK FROM DRIVEWAY
5' SETBACK FROM BACK OF SIDEWALK

INTERNALLY ILLUMINATED
2'-3" x 6'-9" ALUMINUM CABINET
16 SQUARE FEET
PAINT TO MATCH C. R. STEEL
WHITE 1/2" PUSH-THRU ACRYLIC "THE JETTY"

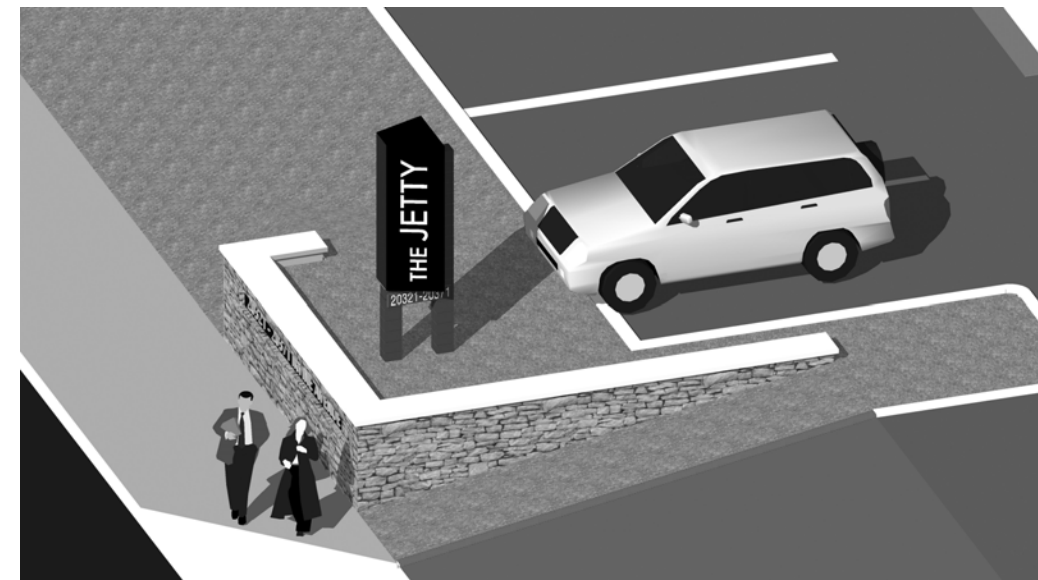
MATCH ARCHITECTURAL SPECIFICATION
IPE WOOD PLANK
MITER OUTSIDE CORNER

EXTERIOR WOOD PLANKING
MFG: EVERLASTING HARDWOODS
STYLE: 1X6 X 3/4" BRAZILIAN IPE WOOD
COLOR: NATURAL

ADDRESS RANGE 6" HIGH NUMERALS



NORTHBOUND VIEW IRVINE AVE.



PYLON SIGN

OWNER:
BUCHANAN STREET
PARTNERS

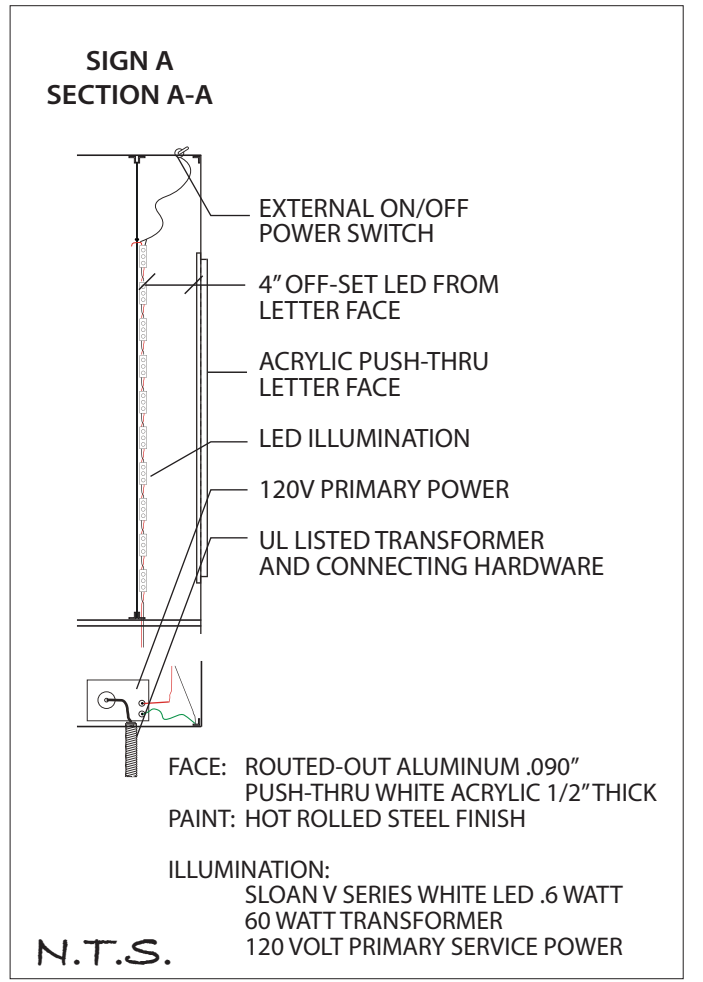
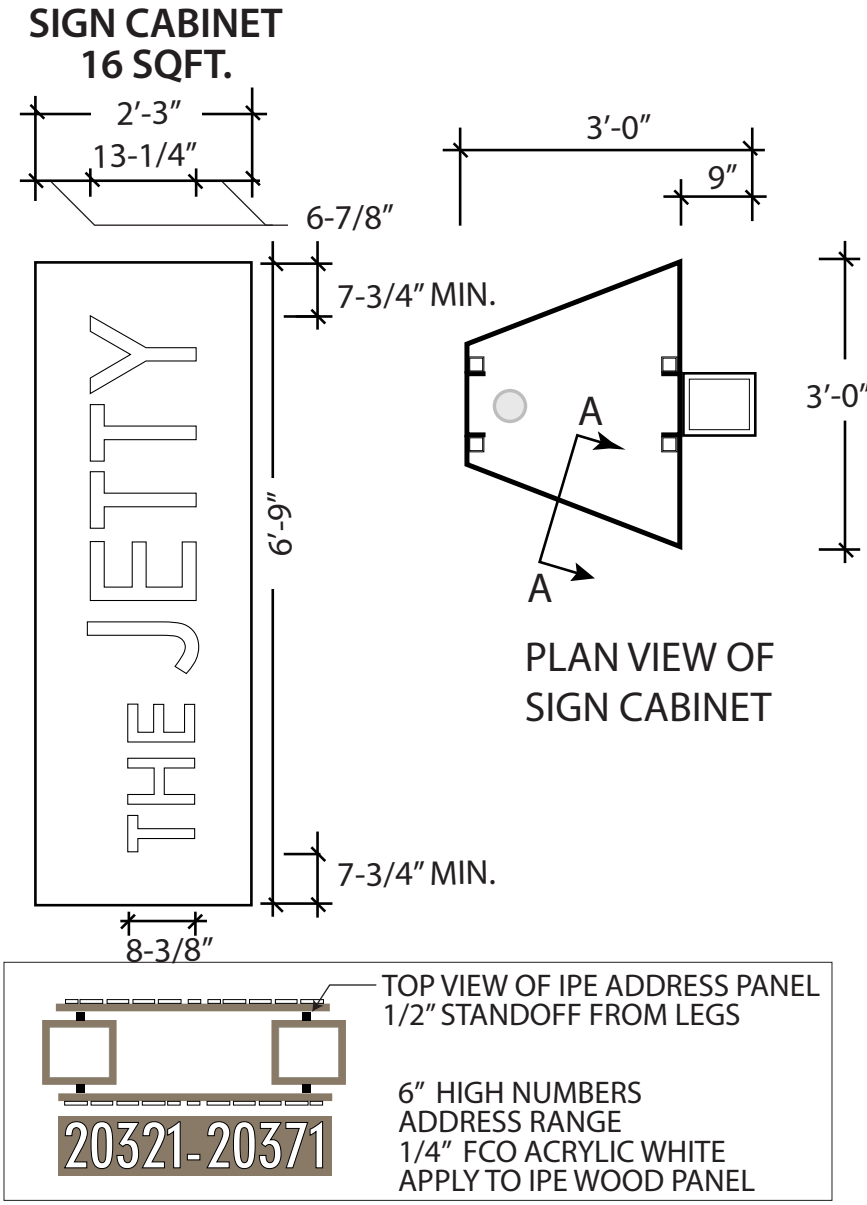
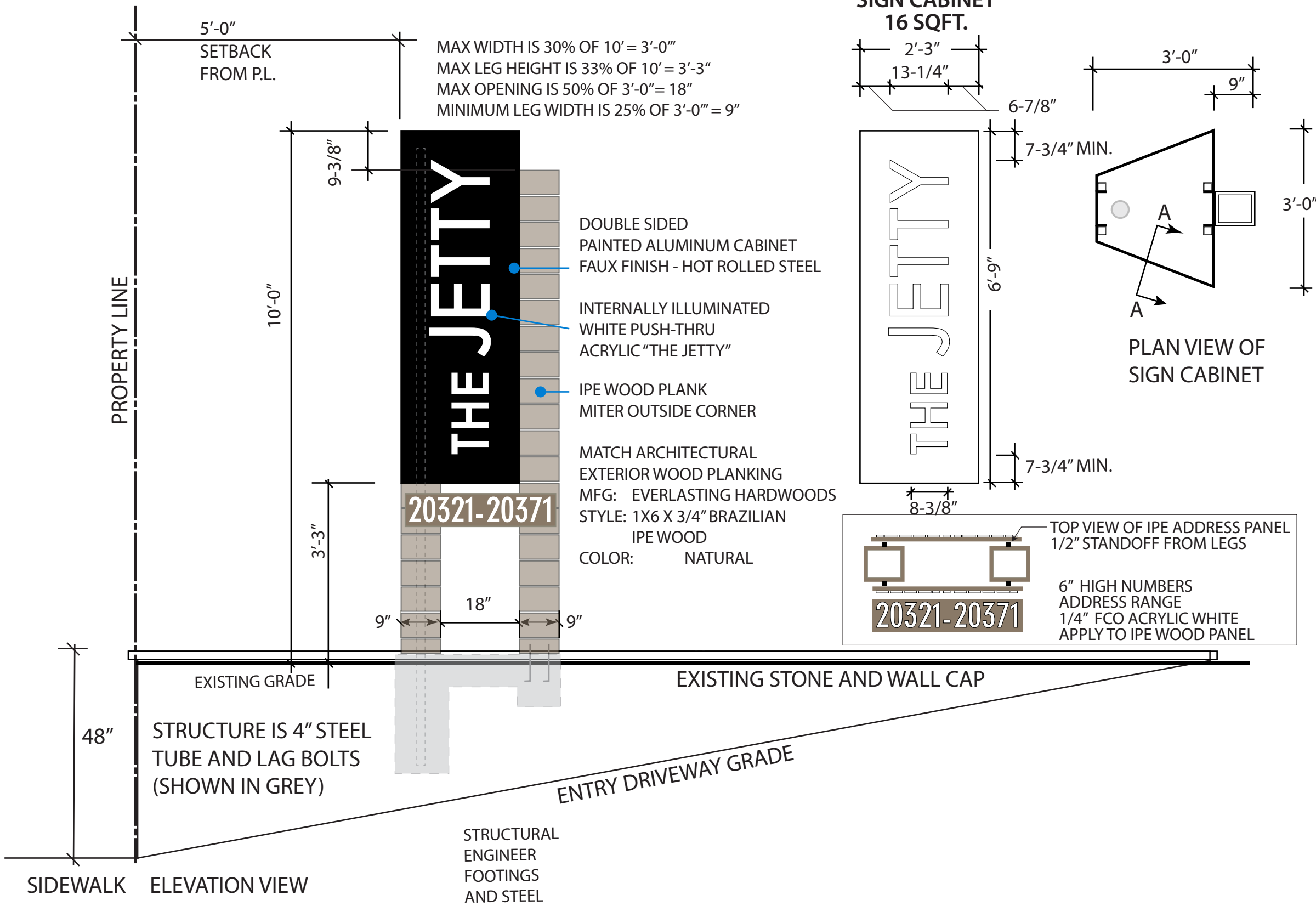
THE JETTY, OFFICE CAMPUS
20321 - 20371 IRVINE AVENUE
NEWPORT BEACH CA.

GRAFFITI INC.

Environmental Graphics
Architectural Signs

13845-B Alton Parkway
Irvine, Ca. 92618
(949) 457-2300 phone
(949) 837-9600 fax
chris@graffitiinc.com

EXHIBIT 4
SIGN A - PYLON SIGN
SPECIFICATIONS
15.2 SQUARE FOOT SIGN AREA



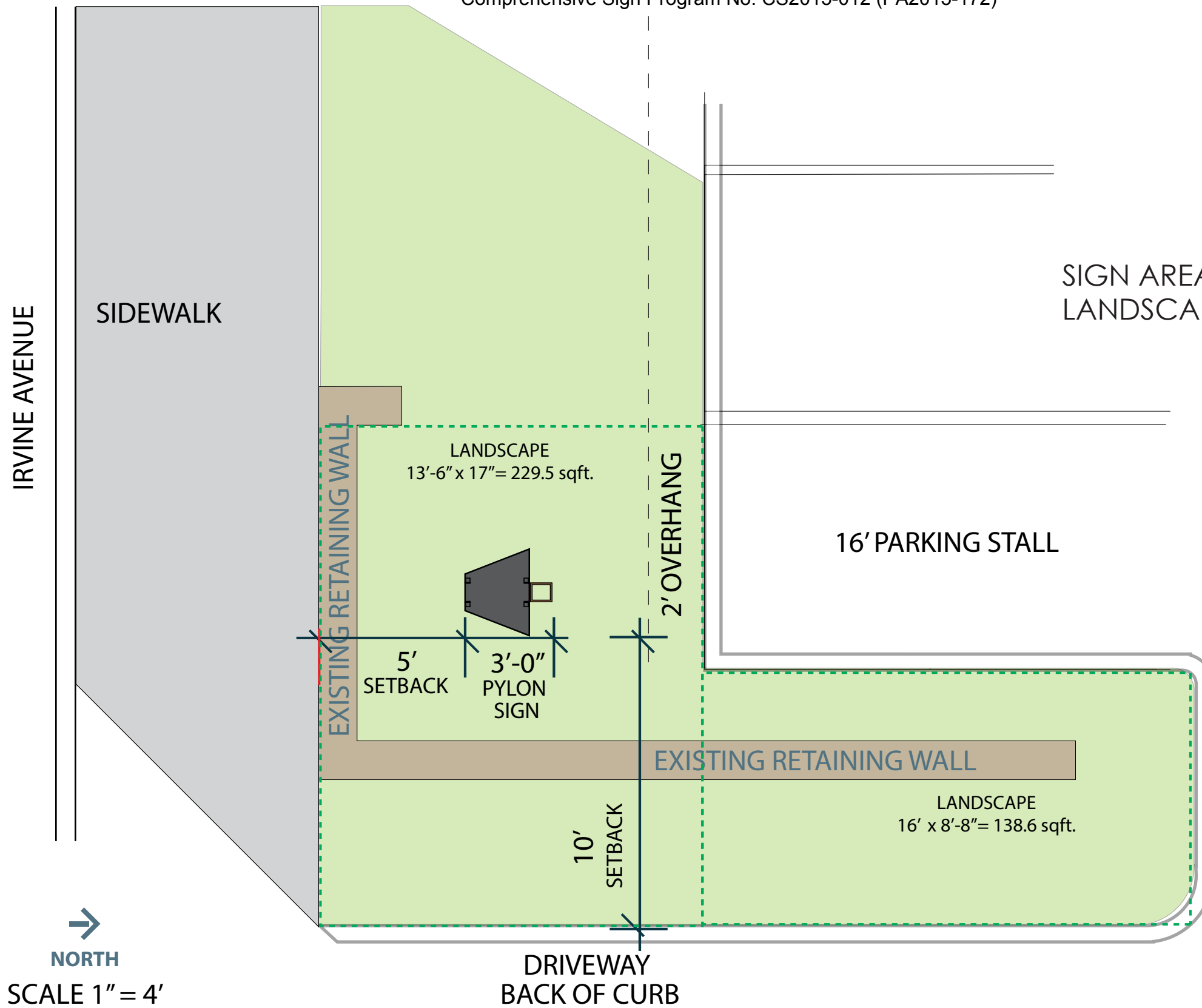
OWNER:
BUCHANAN STREET PARTNERS

THE JETTY, OFFICE CAMPUS
20321 - 20371 IRVINE AVENUE
NEWPORT BEACH CA.

PYLON SIGN A
SPECIFICATIONS
3/16" = 1 FT.

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chris@graffitiinc.com

EXHIBIT 5
SIGN A- PYLON SIGN
SITE PLAN



SIGN AREA: 15.2 SQUARE FOOT
LANDSCAPE AREA: 368.1 SQUARE FOOT

→
NORTH
SCALE 1" = 4'

OWNER:
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PYLON SIGN
SITE PLAN

GRAFFITI INC.

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EXHIBIT 6
SIGN B - ARCHITECTURAL WALL SIGN
DESIGN



DIMENSIONAL LOGO, NON-ILLUMINATED

OWNER:
BUCHANAN STREET
PARTNERS

THE JETTY, OFFICE CAMPUS
20321 - 20371 IRVINE AVENUE
NEWPORT BEACH CA.

WALL SIGN
ARTIST CONCEPT

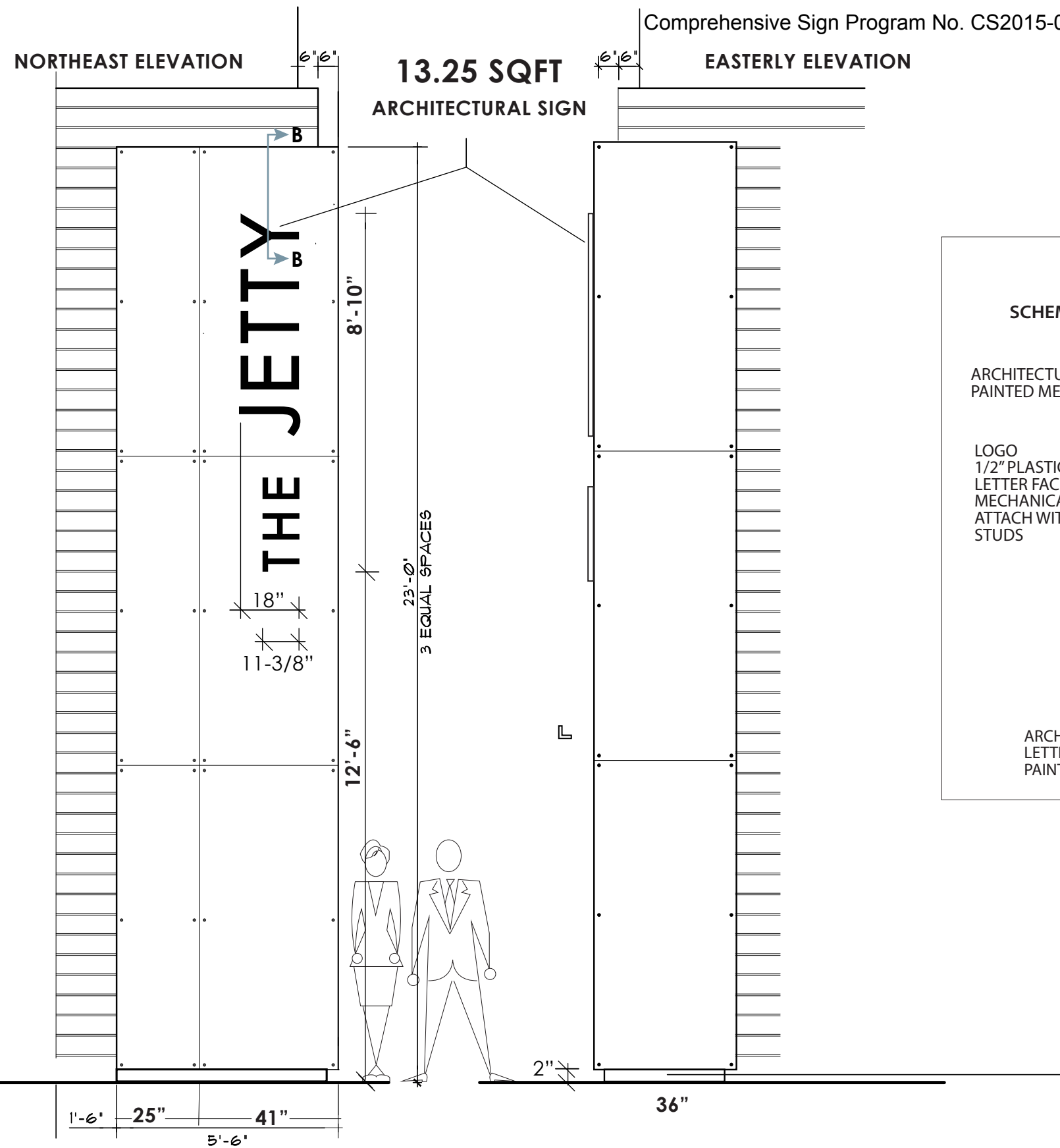
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EXHIBIT 7
SIGN B - ARCHITECTURAL WALL SIGN
SPECIFICATIONS

DIMENSIONAL LOGO
NON-ILLUMINATED



OWNER:
**BUCHANAN STREET
PARTNERS**

THE JETTY, OFFICE CAMPUS
20321 - 20371 IRVINE AVENUE
NEWPORT BEACH CA.

WALL SIGN
ATTACHMENT

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(949) 837-9600 fax
chris@graffitiinc.com

EXHIBIT 8
SIGN C - BUSINESS DIRECTORY SIGN DESIGN



IPE WOOD PLANK
MITER OUTSIDE CORNER

MATCH ARCHITECTURAL SPECIFICATION
EXTERIOR WOOD PLANKING
MFG: EVERLASTING HARDWOODS
STYLE: 1X6 X 3/4" BRAZILIAN IPE WOOD
COLOR: NATURAL

DIRECTORY SIGN
PAINTED ALUMINUM CABINET
COLOR MATCH HOT ROLLED STEEL

INTERNALLY ILLUMINATED CABINET
SINGLE SIDED
DIRECTORY LIST OF TENANTS WITH SLIDE INSERTS

OWNER:
BUCHANAN STREET
PARTNERS

THE JETTY, OFFICE CAMPUS
20321 - 20371 IRVINE AVENUE
NEWPORT BEACH CA.

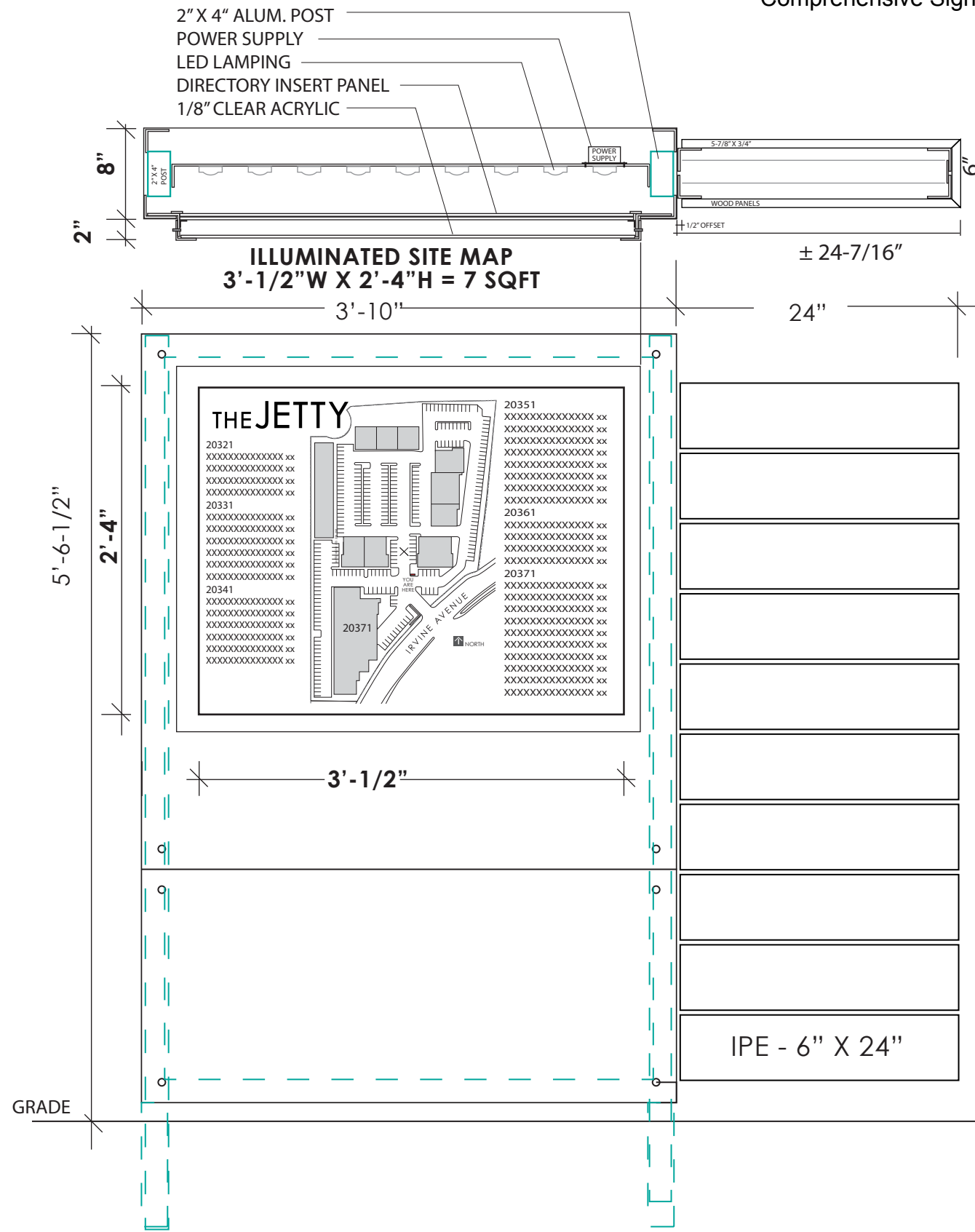
DIRECTORY
ARTIST CONCEPT

GRAFFITI INC.

Environmental Graphics
Architectural Signs

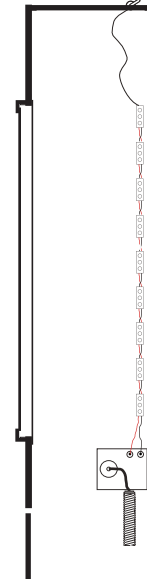
13845-B Alton Parkway
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(949) 457-2300 phone
(949) 837-9600 fax
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EXHIBIT 9
SIGN C - BUSINESS DIRECTORY SIGN
SPECIFICATIONS



ELECTRICAL SPECIFICATION

SIGN C
SECTION A-A



FACE: SIGN FRAME PAN WITH
1/8" CLEAR ACRYLIC

PAINT: HOT ROLLED STEEL FINISH

ILLUMINATION:
SLOAN V SERIES WHITE LED .6 WATT
60 WATT TRANSFORMER
120 VOLT PRIMARY SERVICE POWER

EXTERNAL ON/OFF
POWER SWITCH

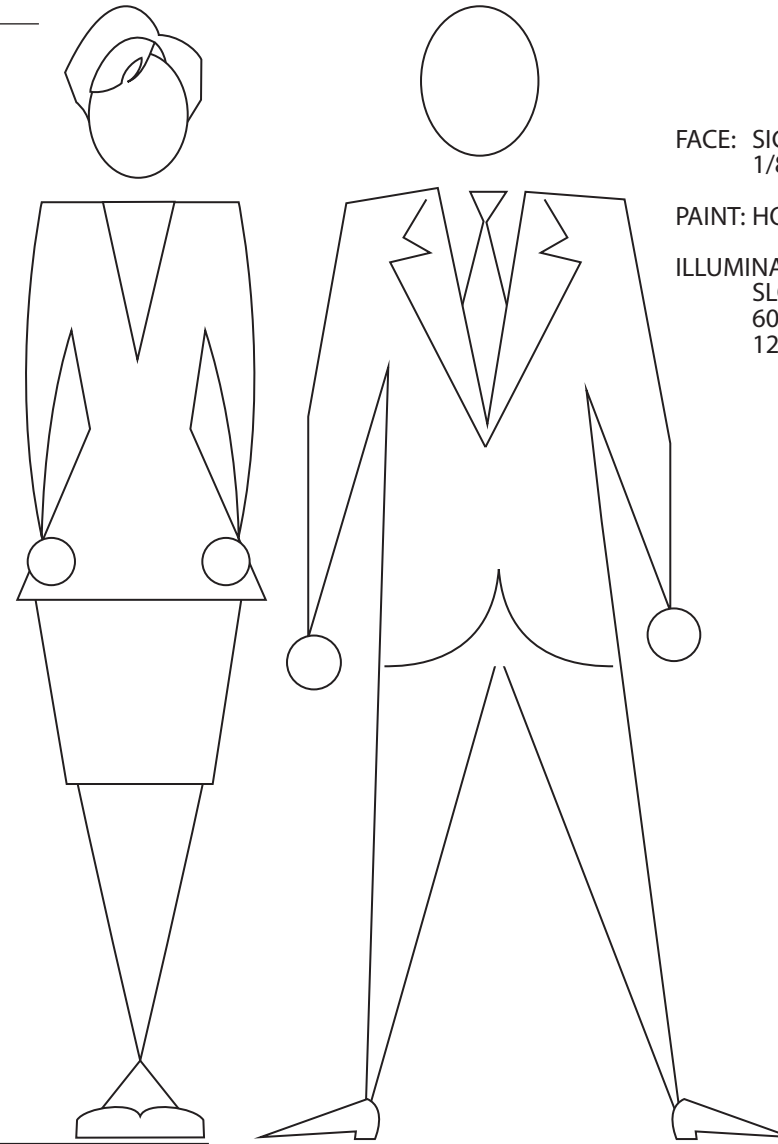
4" OFF-SET LED FROM
LETTER FACE

DIGITAL PRINT SITE MAP

LED ILLUMINATION

UL LISTED TRANSFORMER
AND CONNECTING HARDWARE
IN WP/SERVICE CABINET

120V PRIMARY POWER



IPE - 6" X 24"

OWNER:
BUCHANAN STREET
PARTNERS

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DIRECTORY SIGN
SPECIFICATIONS

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MAXIMUM 30 SQUARE FOOT SIGN AREA
EASTERLY BUILDING ELEVATION



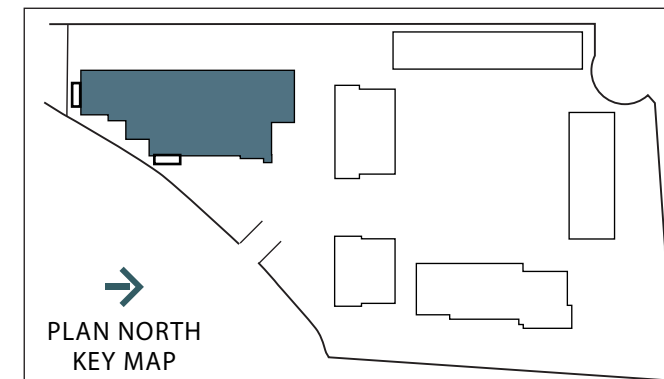
MAXIMUM 60 SQUARE FOOT SIGN AREA
SOUTHERLY BUILDING ELEVATION



SIGN SPECIFICATIONS:
36" MAXIMUM SIGN HEIGHT FOR INDIVIDUAL LETTER, LOGOS OR TWO LINES OF TEXT
MIN. 3" DEEP LETTERS
INTERNAL/FACE ILLUMINATION: WHITE LETTER FACE

OWNER:
BUCHANAN STREET
PARTNERS

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20321 - 20371 IRVINE AVENUE
NEWPORT BEACH CA.

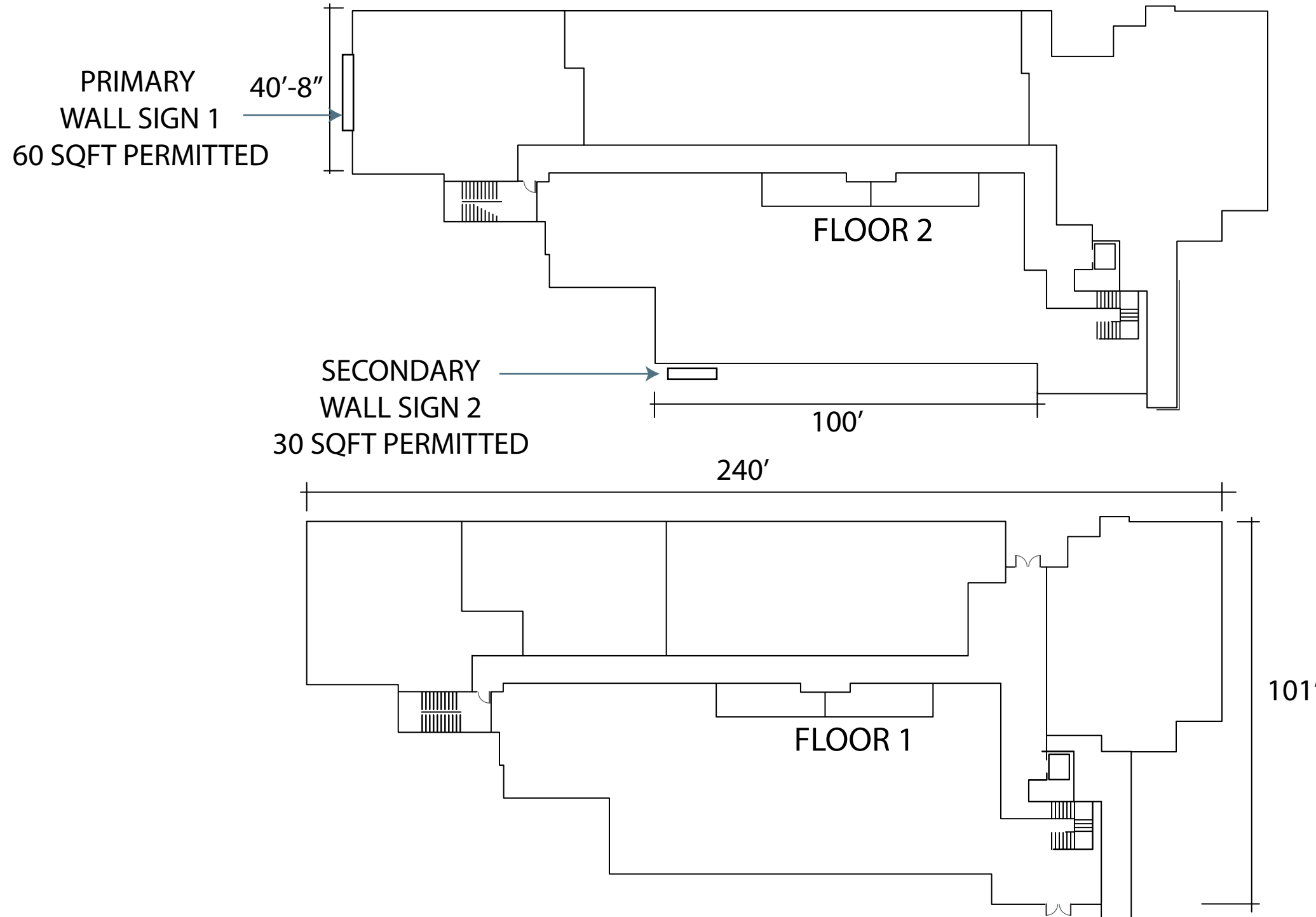


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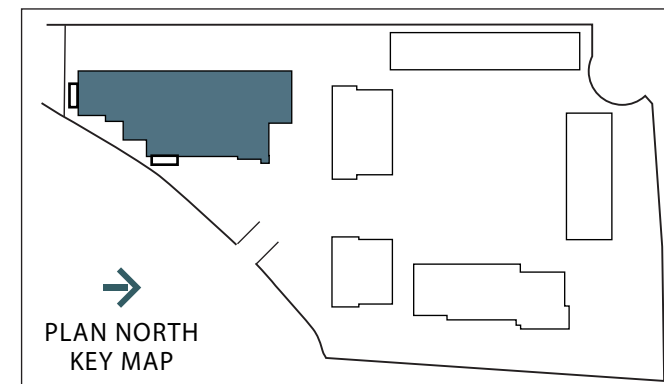
EXHIBIT 11
SIGN D - WALL SIGN
BUILDING 20371
SIGN LOCATIONS



NAMES MAY BE DIFFERENT
WHEN SAME NAMES ARE USED
THEY MUST BE IDENTICAL APPEARANCE

OWNER:
BUCHANAN STREET
PARTNERS

THE JETTY, OFFICE CAMPUS
20321 - 20371 IRVINE AVENUE
NEWPORT BEACH CA.



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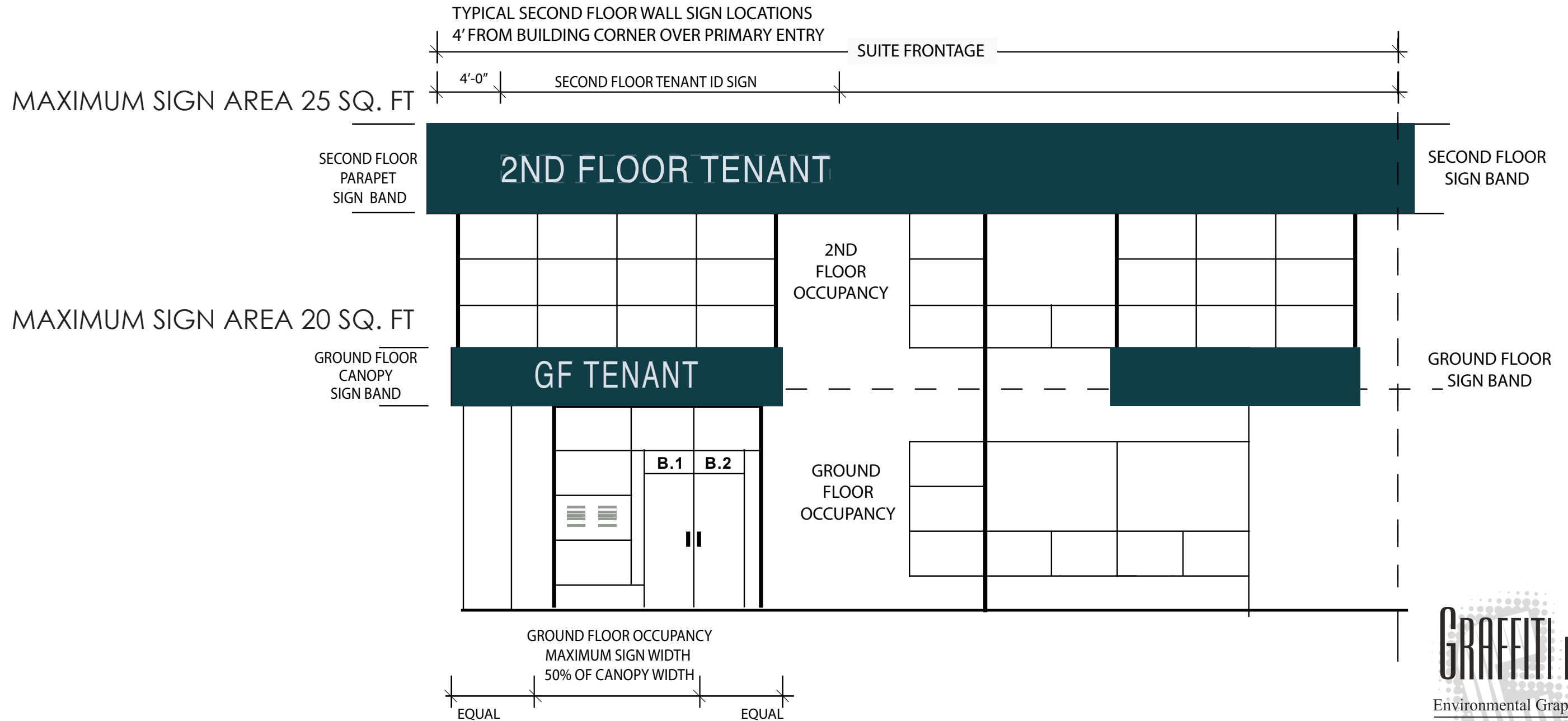
13845-B Alton Parkway
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SIGN D - WALL SIGN TYPICAL SPECIFICATIONS
2 STORY BUILDINGS 20361, 20331, 20321

REFER TO EXHIBITS, 13, 14 & 15
FOR SPECIFIC SIGN LOCATIONS

PERMITTED SIGN SPECIFICATIONS:

- 18" MAXIMUM LETTER HEIGHT
- 2" TO 4" DIMENSIONAL LETTERS / LOGO
- METAL OR PAINTED LETTERS / LOGO GRAPHICS
- HALO OR LETTER FACE ILLUMINATION
- PAINTED ACRYLIC FACES ON SEALED FOAM LETTERS / LOGO GRAPHICS
- PIN MOUNTED TO METAL FASCIA WITH SILICONE ADHESIVE



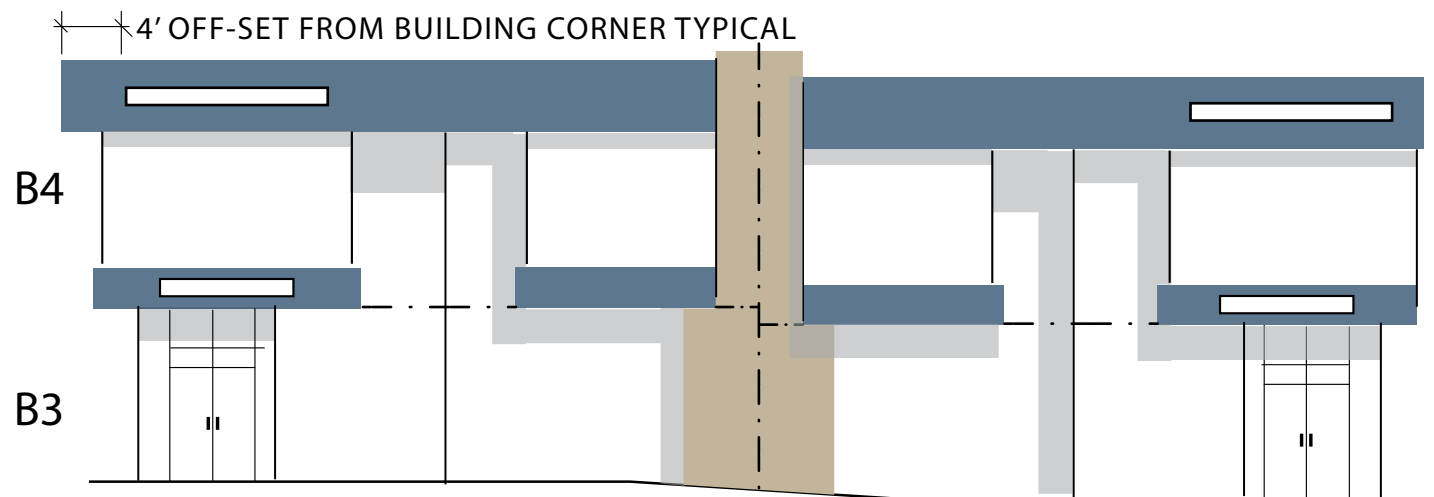
OWNER:
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PARTNERS

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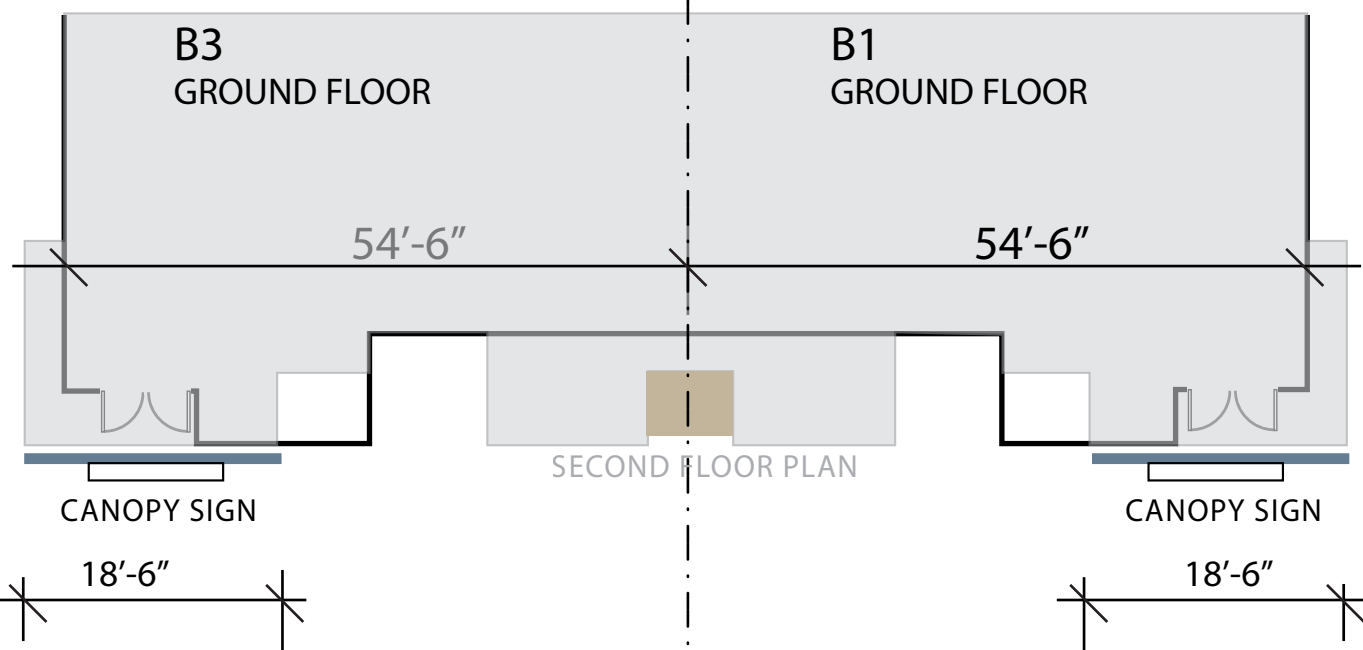
TYPICAL SIGN AREA
16'-8" x 1'6"
25 SQFT,

BUILDING PARAPET

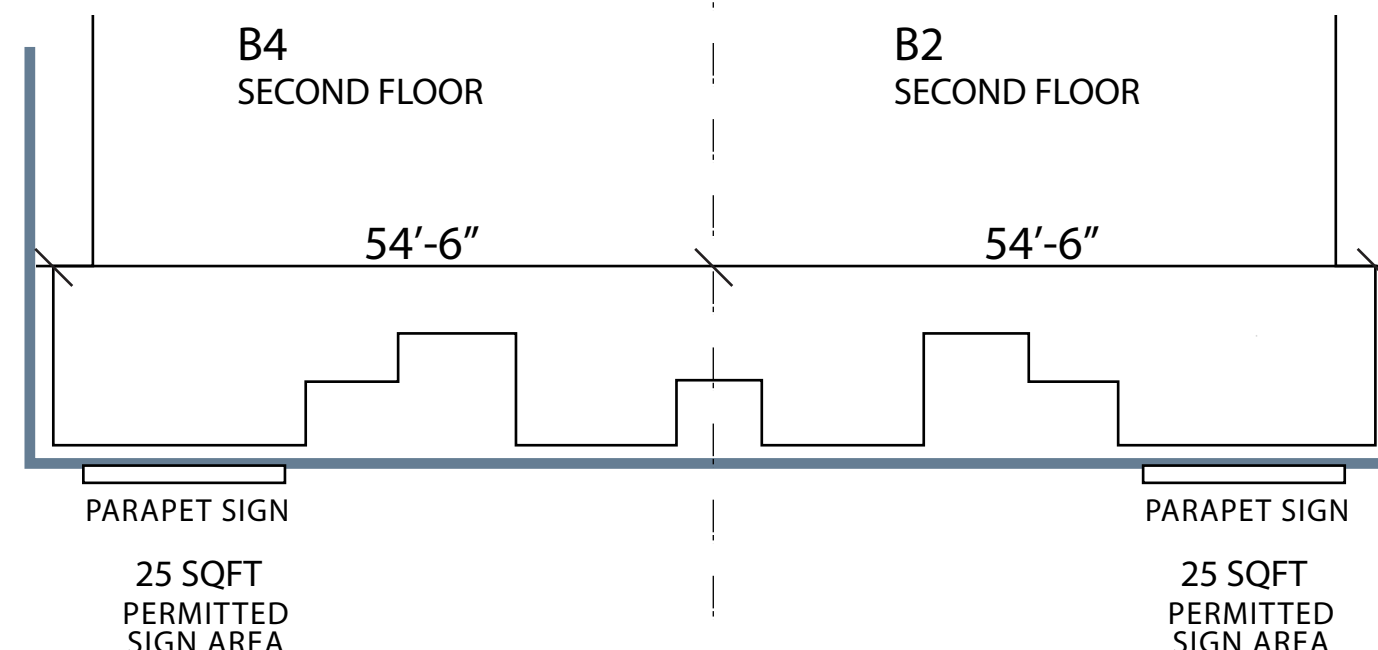
B2

TYPICAL SIGN AREA
9'-3" x 1'6"
14 SQFT,

CANOPY

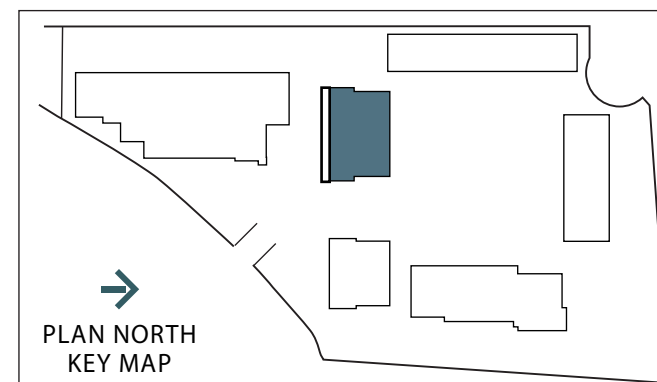


GROUND FLOOR OCCUPANCY
MAXIMUM SIGN WIDTH
50% OF CANOPY WIDTH



OWNER:
BUCHANAN STREET
PARTNERS

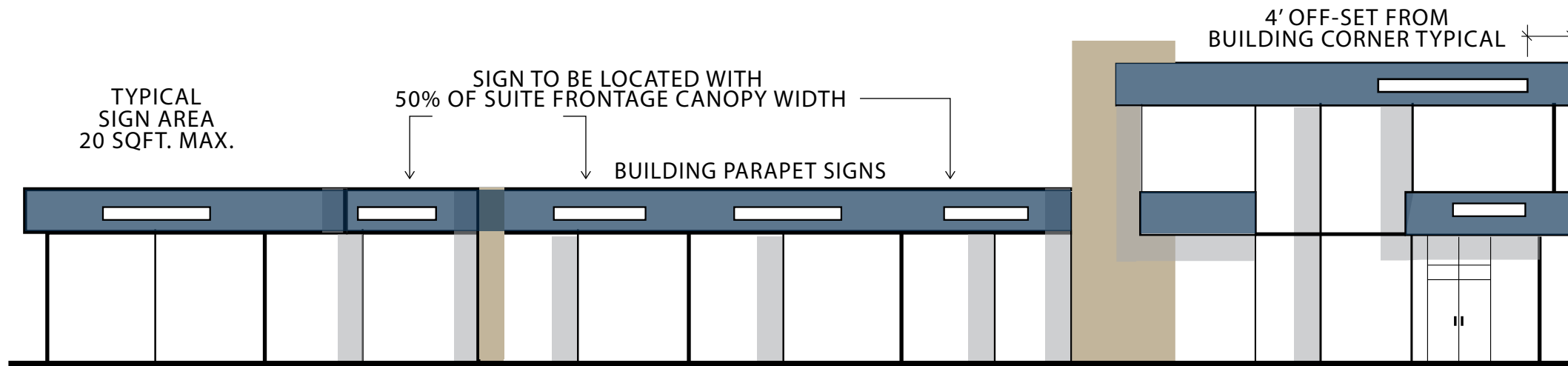
THE JETTY, OFFICE CAMPUS
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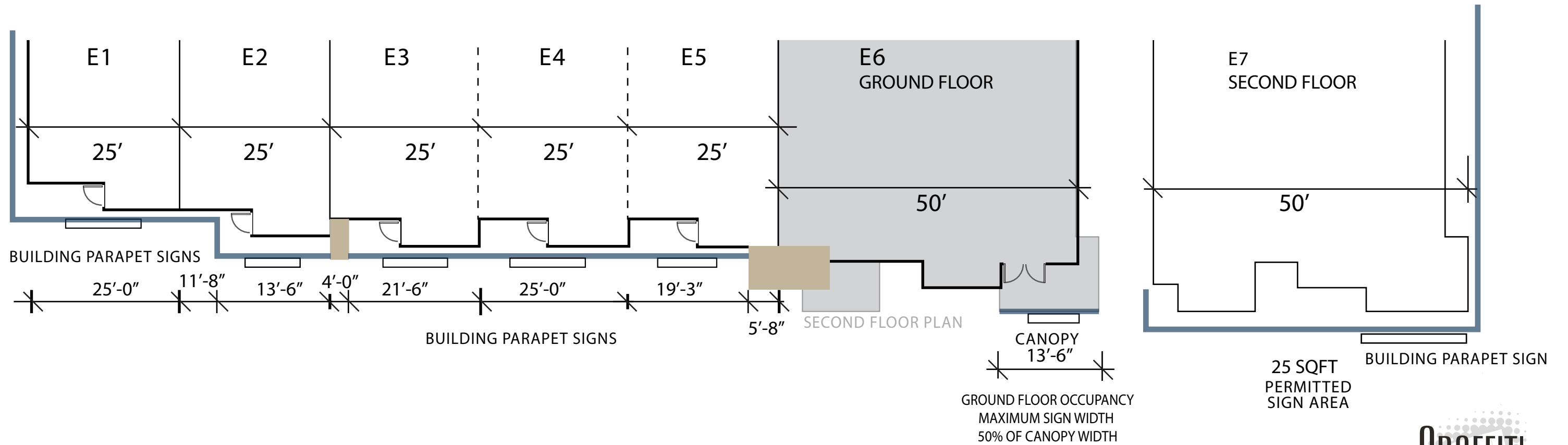
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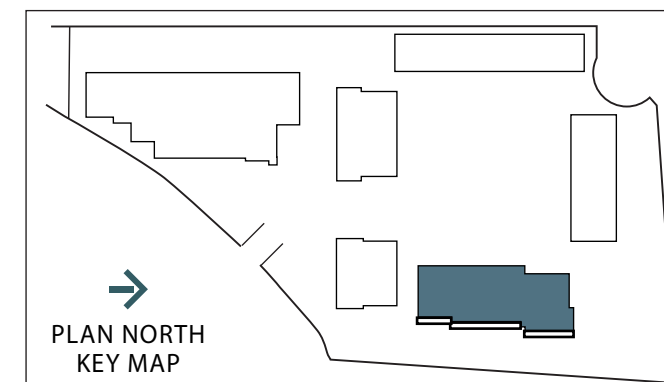
E7
BUILDING PARAPET SIGNS
16'-8" X 1'6"
25 SQFT

E6
CANOPY SIGN
WITHIN 50% WIDTH OF CANOPY



OWNER:
BUCHANAN STREET PARTNERS

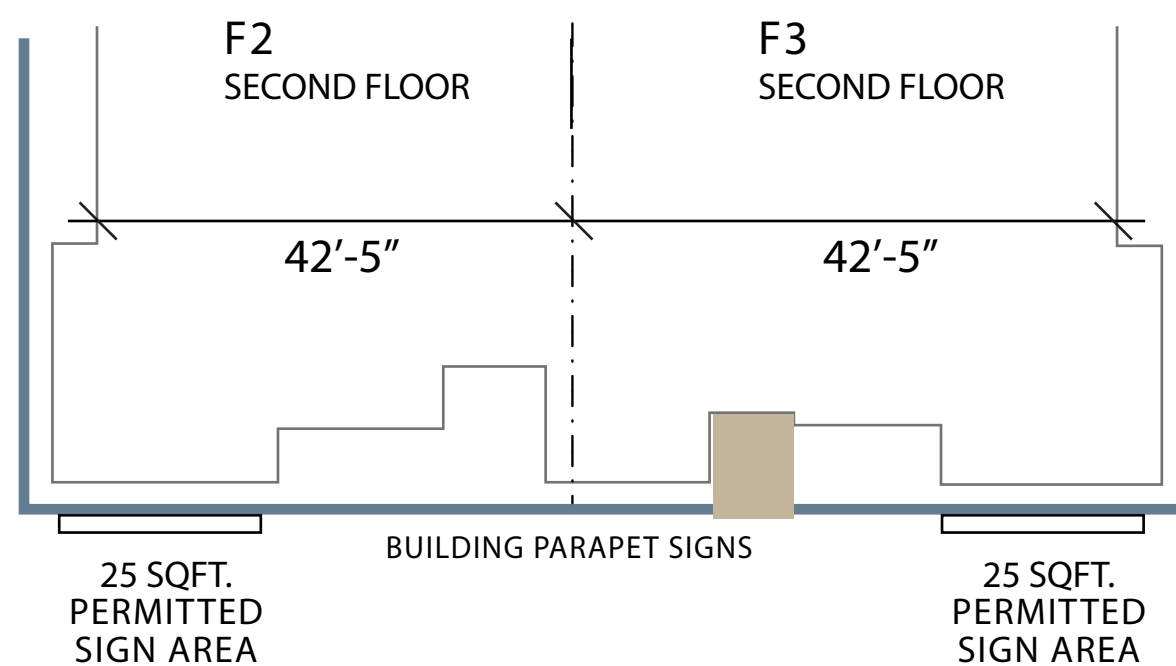
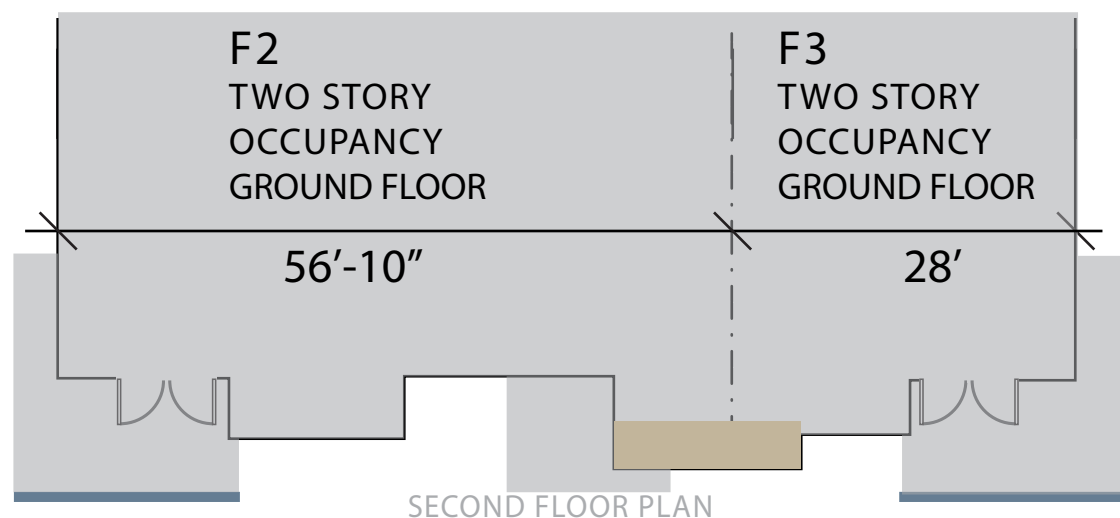
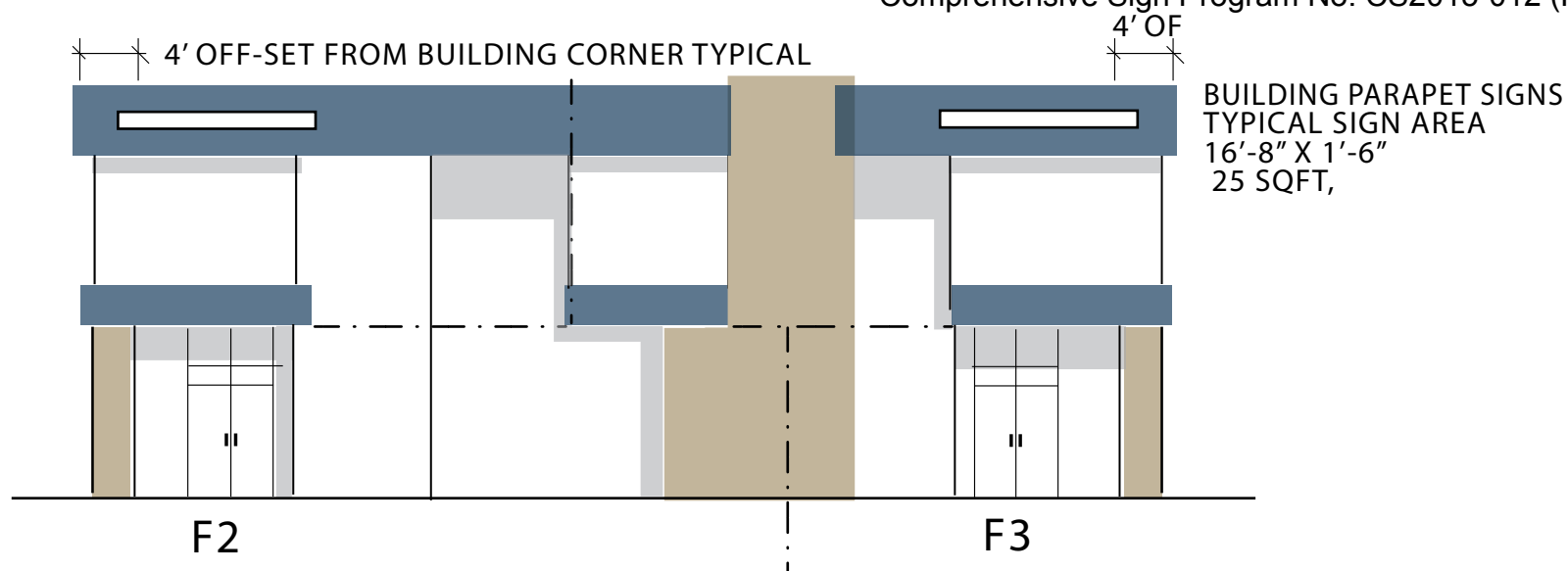
THE JETTY, OFFICE CAMPUS
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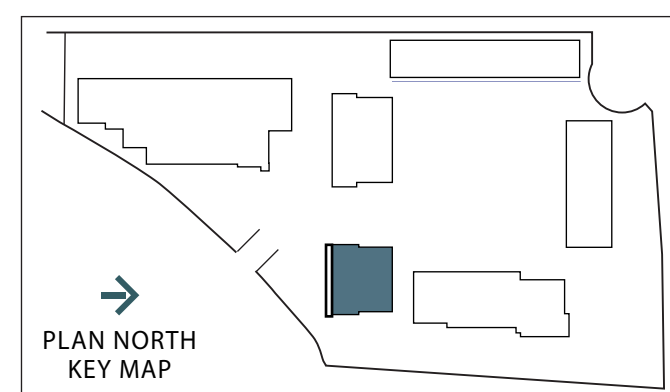
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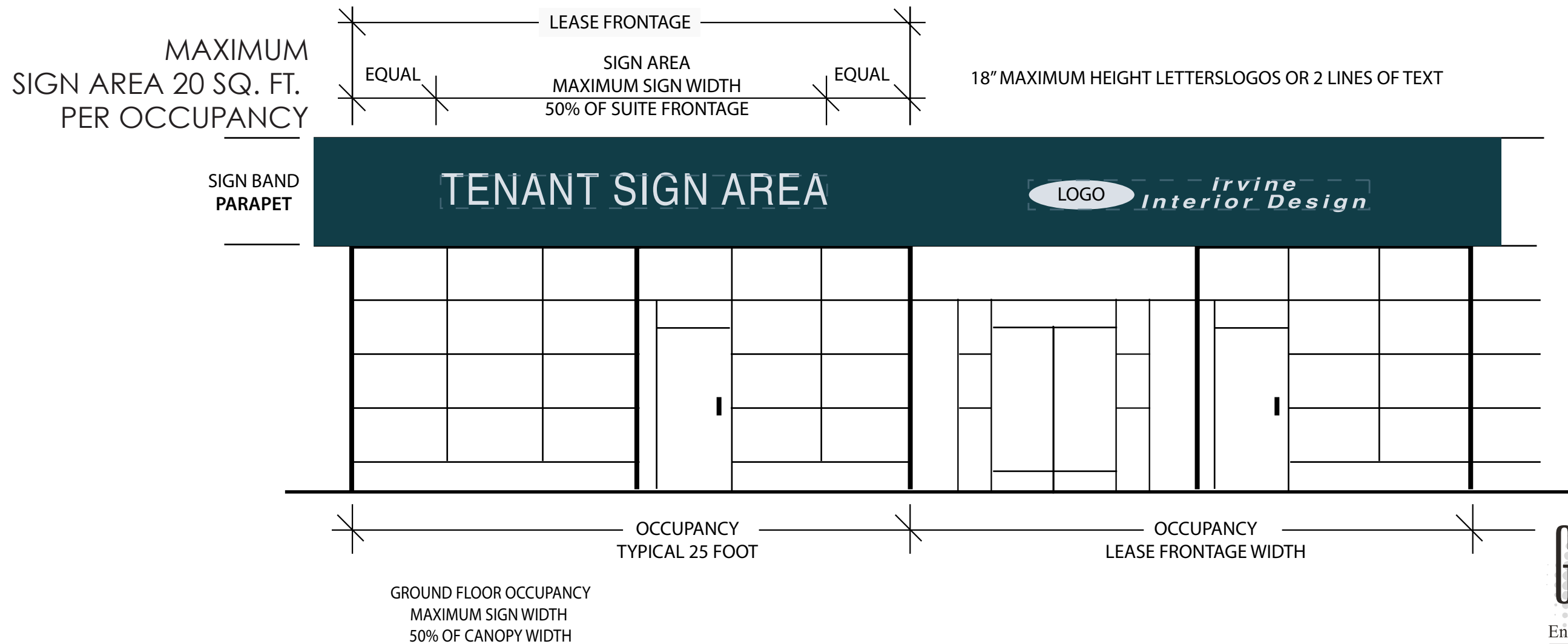


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SIGN D - WALL SIGN SPECIFICATIONS
TYPICAL FOR 1 STORY BUILDINGS 20351 & 20341

PERMITTED SIGN SPECIFICATIONS:

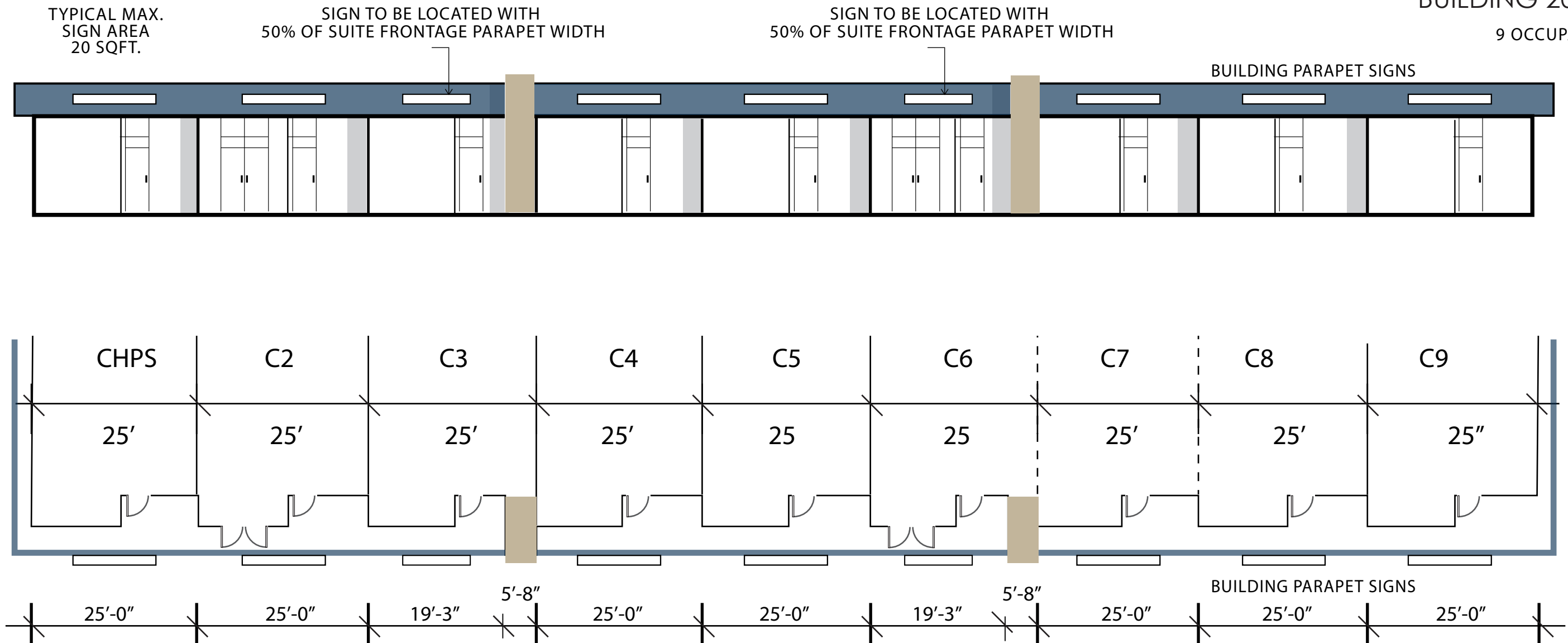
- 18" MAXIMUM LETTER HEIGHT
- 2" TO 4" DIMENSIONAL LETTERS / LOGO
- METAL OR PAINTED LETTERS / LOGO GRAPHICS
- HALO OR LETTER FACE ILLUMINATION
- PAINTED ACRYLIC FACES ON SEALED FOAM LETTERS / LOGO GRAPHICS
- PIN MOUNTED TO METAL FASCIA WITH SILICONE ADHESIVE



OWNER:
BUCHANAN STREET PARTNERS

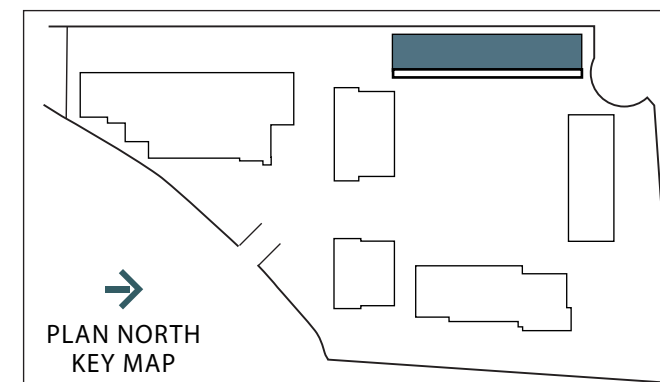
THE JETTY, OFFICE CAMPUS
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OWNER:
BUCHANAN STREET
PARTNERS

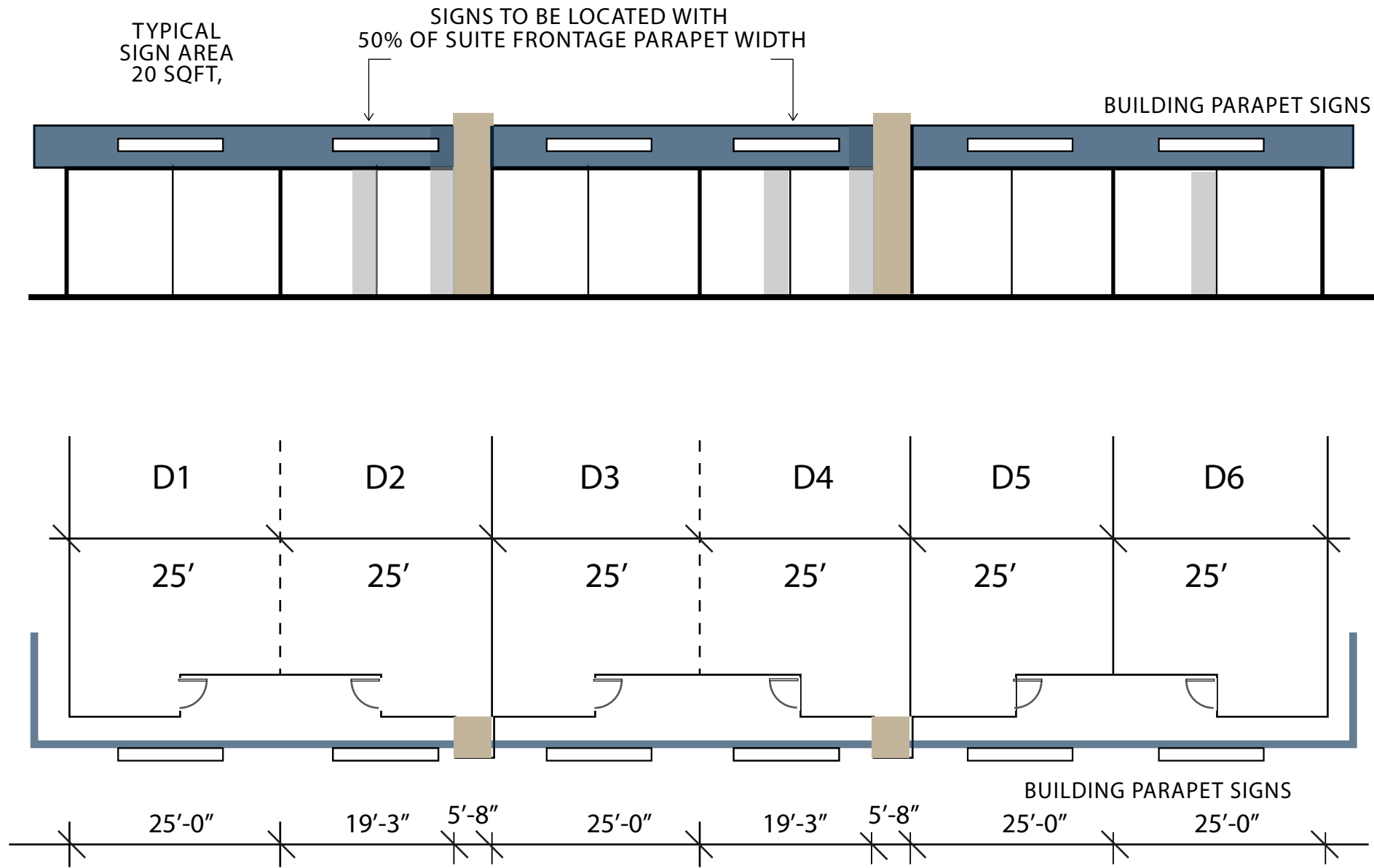
THE JETTY, OFFICE CAMPUS
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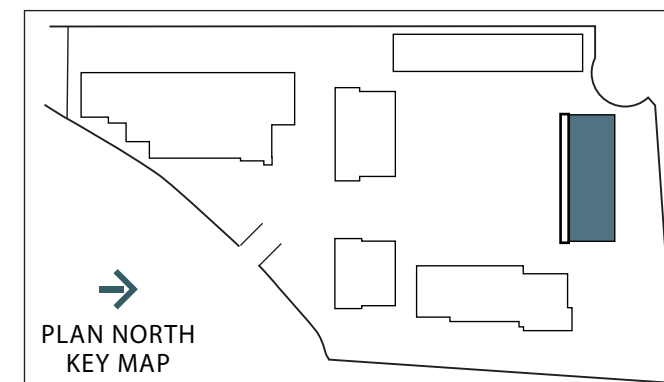
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OWNER:
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PARTNERS

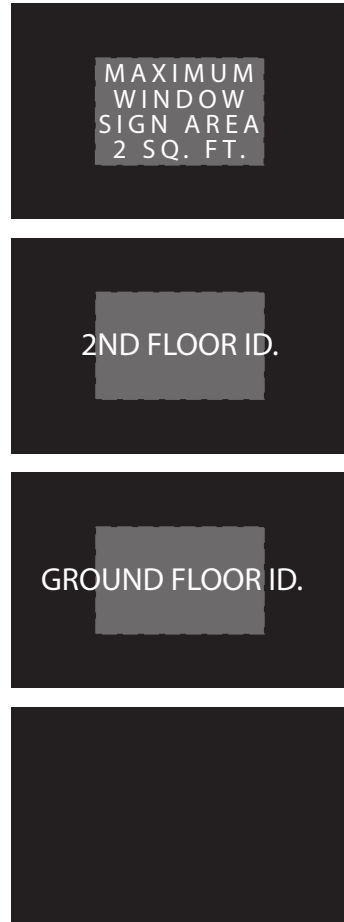
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TYPICAL WINDOW PANEL
44" X 28" = 8.5sqft



TYPICAL LOCATIONS AT BIFOLD ENTRY DOORS



20351 (C5)



20341 (D6)



20331 (E2)



20331 (E6&E7)



20321 (F3)

OWNER:
BUCHANAN STREET PARTNERS

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NEWPORT BEACH CA.

WINDOW SIGN SPECIFICATIONS
EXAMPLES

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APPENDIX
REFERENCE

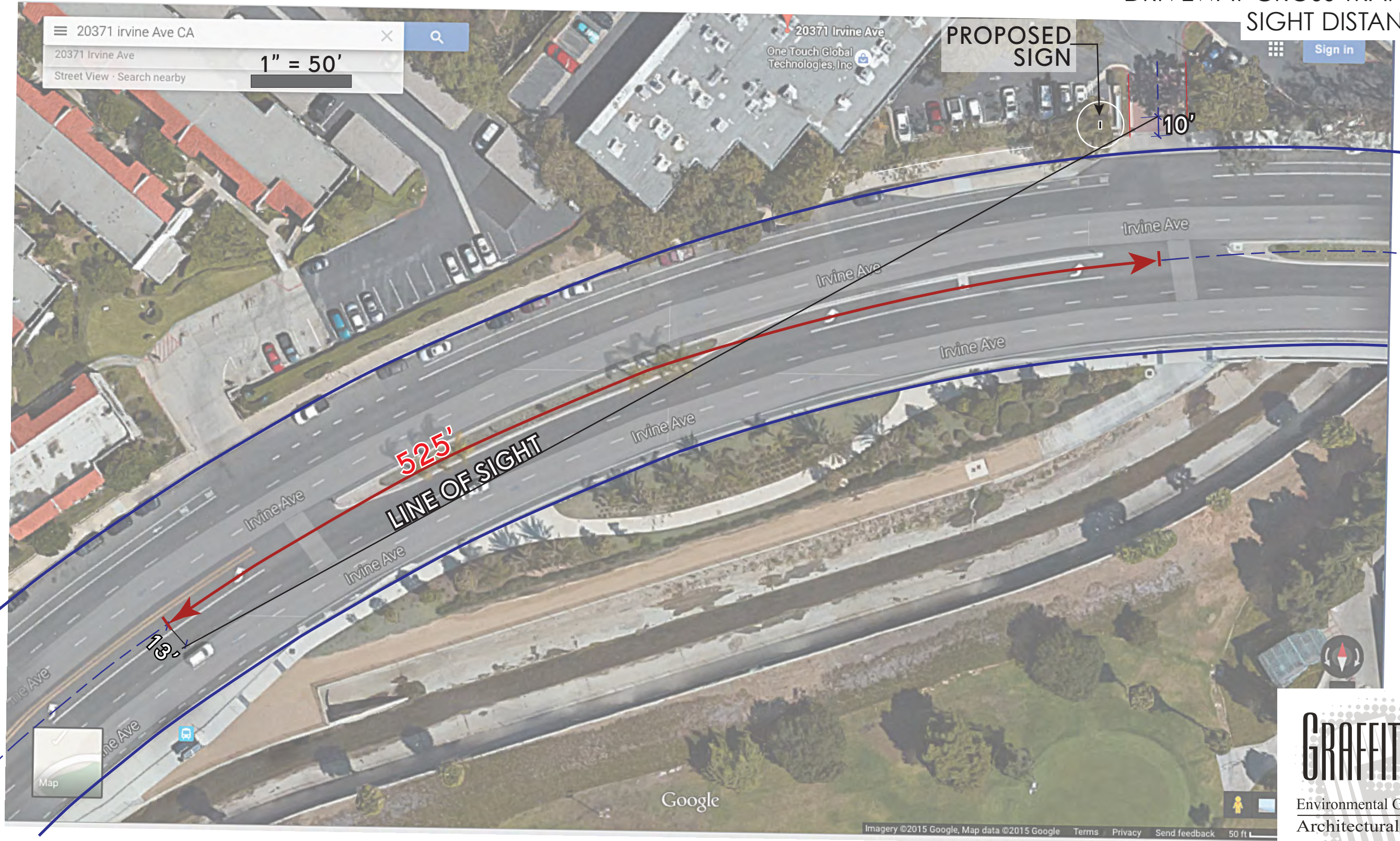
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OWNER:
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PARTNERS

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LINE OF SIGHT
LIMITED USE AREA

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Architectural Signs

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EXISTING PYLON SIGN (A)



DELETE PILASTER AND EXISTING "WorkScapes" SIGN CABINET

REVISE LANDSCAPE SURROUNDING THE EXISTING RETAINING WALL BASE



REPLACE EXISTING ADDRESS SIGN PANEL WITH NEW GRAPHICS

PROPOSED ARCHITECTURAL WALL SIGN (B)



CONSTRUCT NEW ARCHITECTURAL SIGN AND FEATURE WALL AT BUILDING A ENTRY

ILLUMINATED SIGN LETTERS "THE JETTY"

TYPICAL BUSINESS ID WALL SIGN LOCATIONS (D)



MULTI-TENANT ENTRY
1ST FLOOR TENANT
2ND FLOOR TENANT

OWNER:
BUCHANAN STREET
PARTNERS

THE JETTY, OFFICE CAMPUS
20321 - 20371 IRVINE AVENUE
NEWPORT BEACH CA.

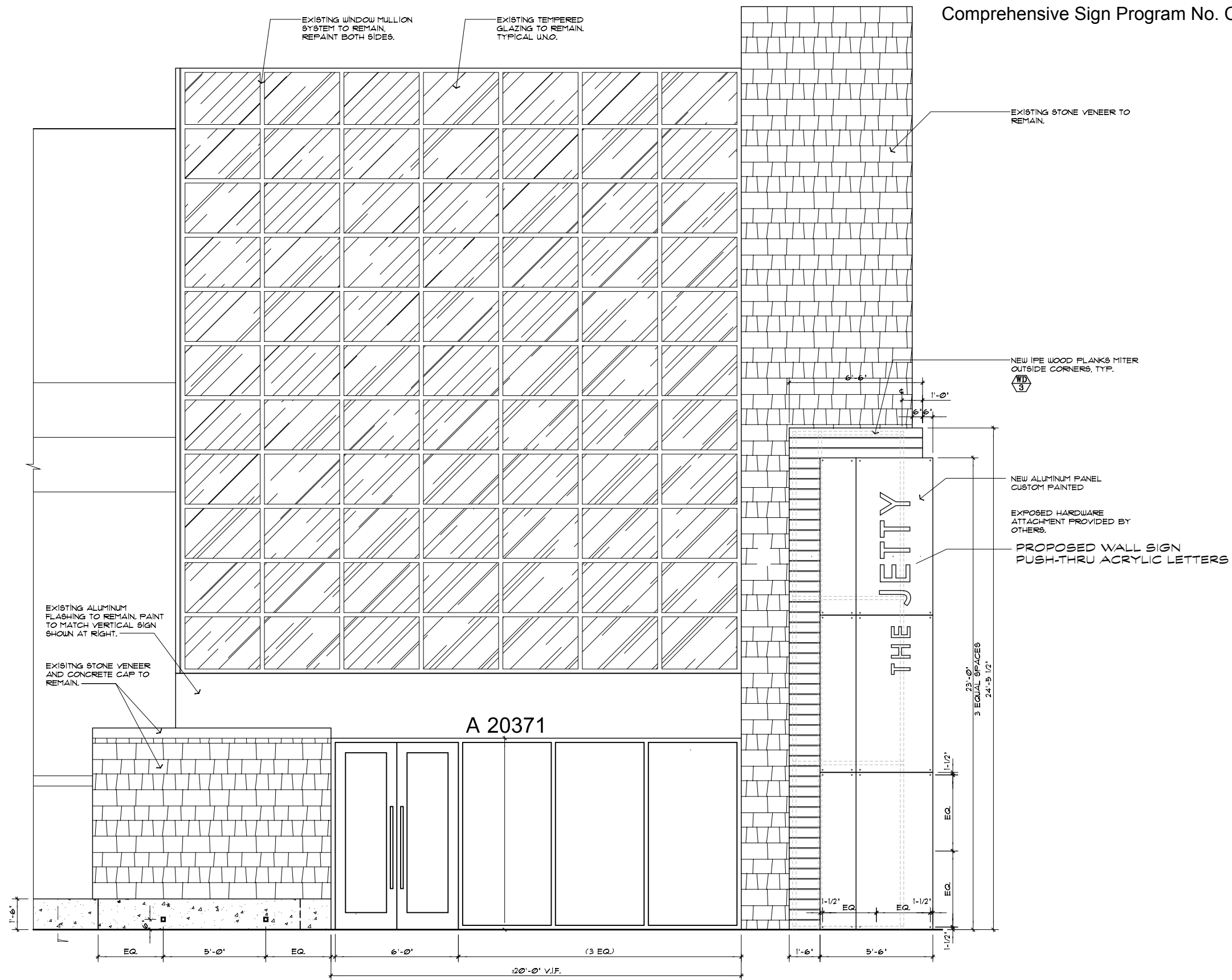
EXISTING SIGN A
PROPOSED WALL SIGN B

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APPENDIX
BUILDING A 20371
ENTRY ELEVATION
(SOUTH EASTERLY)



OWNER:
BUCHANAN STREET
PARTNERS

THE JETTY, OFFICE CAMPUS
20321 - 20371 IRVINE AVENUE
NEWPORT BEACH CA.

WALL SIGN B
ARCHITECTURAL PLAN

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