



**CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

FROM: Kimberly Brandt, Community Development Director
Brenda Wisneski, Deputy Community Development Director

SUBJECT: Report of actions taken by the Zoning Administrator, and/or Planning Division staff for the week ending November 18, 2016

**COMMUNITY DEVELOPMENT DIRECTOR
OR PLANNING DIVISION STAFF ACTIONS
(Non-Hearing Items)**

Item 1: Vue Newport Comprehensive Sign Program No. CS2016-009 (PA2016-119)
Site Address: 2210 and 2280 Newport Boulevard

Action: Approved

Council District 1

APPEAL PERIOD: An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

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ZONING ADMINISTRATOR ACTION LETTER

Application No. **Comprehensive Sign Program No. CS2016-009 (PA2016-119)**
Applicant **JB3D**
Site Address **2210 – 2280 Newport Boulevard**
 Vue Newport Sign Program
Legal Description **Lot 1, Tract 16594**

On **November 17, 2016**, the Zoning Administrator approved Comprehensive Sign Program No. CS2016-009 for an eight-building mixed-use property known as Vue Newport in accordance with the provisions of Chapter 20.42 (Sign Standards) of the Newport Beach Municipal Code. The intent is to integrate all of the project's signs, including project identification signs, with the overall site design.

A Comprehensive Sign Program is required for a multi-tenant development when three or more tenant spaces are created or proposed on the same lot and to allow the following deviations from Zoning Code:

1. Six (6) directory signs are 10 square feet in area where the Zoning Code allows a maximum size of 8 square feet for this sign type. Sign types S1 and S2 as referenced on the Comprehensive Sign Program Matrix (Attachment No. ZA 2) and Project Plans (Attachment No. ZA 3) are approved with this deviation.
2. There may be tenant identification signs located on adjacent walls on the same building separated by a distance of less than thirty (30) feet where the Zoning Code requires a minimum separation of thirty (30) feet measured along the exterior walls of the building. Sign types O1 and R1 as referenced on the Comprehensive Sign Program Matrix (Attachment No. ZA 2) and Project Plans (Attachment No. ZA 3) are approved with this deviation.

This approval is based on the following findings and subject to the following conditions.

ZONING DISTRICT/GENERAL PLAN

- **Zone:** MU-W2 (Mixed Use Water Related)
- **General Plan:** MU-W2 (Mixed Use Water Related)

FINDINGS AND STANDARDS FOR APPROVED SIGNS

- A. *The project is exempt from environmental review under the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15311 Class 11 (Accessory Structures).*

Facts in Support of Finding:

1. Class 11 exempts minor structures accessory to existing commercial facilities, including signs. The proposed signs are incidental and accessory to the principal commercial use of the property and do not intensify or alter the use.

Standard:

- B. *The proposed sign program shall comply with the purpose and intent of this Chapter [Chapter 20.42], any adopted sign design guidelines, and the overall purpose and intent of this Section [Section 20.42.120 – Comprehensive Sign Program].*

Facts in Support of Standard:

1. A Comprehensive Sign Program is required to deviate from developments standards including sign area.
2. The proposed Comprehensive Sign Program complies with the purpose and intent of Newport Beach Municipal Code Chapter 20.42 (Sign Standards) because it provides the multi-tenant property with adequate identification while guarding against excessive proliferation of signage by requiring that signs be in substantial conformance with approved plans, which include no deviations in the number of signs permitted by the Zoning Code, and a minor deviation in the size of two sign types. It preserves and enhances community appearance by regulating the type, size, location, quantity, and illumination of signs through conditions of approval and conformance with approved plans, which ensure that the signs are compatible with surrounding uses. Through said regulations, the Comprehensive Sign Program will enhance the safety of motorists and pedestrians by minimizing the distraction of signs as well as to protect the life, health, property, and general welfare of residents and visitors by providing clear direction regarding parking and circulation for the development.
3. The purpose of a comprehensive sign program is to integrate all of a project's signs into a unified plan. A comprehensive sign program provides a means for the flexible application of sign regulations for projects that require multiple signs in order to provide incentive and latitude in the design and display of signs, and to achieve, not circumvent, the purpose of Chapter 20.42. This approval integrates all of the signs for the subject property while meeting the purpose and intent of Chapter 20.42 by providing adequate and appropriate tenant and site

- identification similar in design style while limiting the number of signs to that which is permitted in the Zoning Code. Flexibility is allowed regarding location of signs within thirty (30) feet of another sign on an adjacent wall of the same building and area of directory signs. These deviations are applied consistently on the property to allow each tenant to have a wall sign centered on their frontage and to allow adequate way-finding around the new development.
4. Approval of this Comprehensive Sign Program includes a deviation that allows directory signs to be up to 10 square feet in area where the Zoning Code allows a maximum size of eight square feet. This deviation is appropriate for this location due to the nature of a multi-tenant mixed-use project and allows business patrons and suppliers to efficiently navigate the development.
 5. Approval of this Comprehensive Sign Program includes deviations to the location of wall signs and the size of directory signs, which achieves a unified design theme that is integrated with the overall site design of the property. Deviations are applied consistently across the property to ensure that each tenant is adequately identified and visitors are able to navigate the development easily.
 6. The Comprehensive Sign Program is consistent with the Citywide Sign Design Guidelines Manual because the proposed signs are designed to be compatible with and complement the new development.
 7. All signs are designed to effectively communicate a commercial message without creating sign clutter through the use of legible text. The sizes of the signs do not dominate the façade on which they are placed because all signs, with the exception of three 10-square-foot directory signs, comply with the Zoning Code requirements regarding size. Additionally, signs are appropriately located to identify the buildings and/or tenants to pedestrians and visitors of the development.

Standard:

- C. *The proposed signs shall enhance the overall development, be in harmony with, and relate visually to the other signs included in the Comprehensive Sign Program, to the structures and/or developments they identify, and to surrounding development where applicable.*

Facts in Support of Standard:

1. The property is developed with a new multi-tenant mixed-use development and is accessible from Newport Boulevard and Newport Harbor. Tenant wall signs are designed to identify each tenant throughout the property. Site identification wall signs and directory signs will identify the development and tenants to pedestrians and cars traveling on Newport Boulevard. All signs, with the

exception of directory signs, comply with the maximum size allowable for each sign type per the Zoning Code.

2. The proposed signs are necessary and adequate to ensure customers and suppliers can find individual tenants within the mixed-use development.
3. All wall signs relate visually to one another because they contain consistency in location, area, thickness, illumination, and materials.
4. The proposed freestanding and projecting signs are appropriately placed to not obstruct public views or interfere with sight distance from any street, driveway, or parking areas. The plans have been reviewed by the Public Works Department.

Standard:

- D. The sign program shall address all signs, including permanent, temporary, and exempt signs.*

Facts in Support of Standard:

1. The proposed Comprehensive Sign Program addresses all project signage. Temporary and exempt signs not specifically addressed in the sign program shall be regulated by the provisions of Chapter 20.42 (Sign Standards) of the Zoning Code.

Standard:

- E. The sign program shall accommodate future revisions that may be required because of changes in use or tenants.*

Facts in Support of Standard:

1. The Comprehensive Sign Program has been designed to be effective for the commercial tenants that occupy the properties by providing sign opportunities for proper identification.
2. The Comprehensive Sign Program establishes allowed type, number, location, and area of signage with flexibility to accommodate any existing and future tenants.
3. It is not anticipated that future revisions to the Comprehensive Sign Program will be necessary to accommodate a change in tenant or use. However, the Community Development Director may approve minor revisions to the Comprehensive Sign Program if the intent of the original approval is not affected.

Standard:

- F. The sign program shall comply with the standards of this Chapter [Chapter 20.42], except that deviations are allowed with regard to sign area, total number, location, and/or height of signs to the extent that the Comprehensive Sign Program will enhance the overall development and will more fully accomplish the purposes and intent of this Chapter [Chapter 20.42].*

Facts in Support of Standard:

1. The Comprehensive Sign Program allows for deviations regarding the location and size of signs. The approval conforms to all other standards of Zoning Code Chapter 20.42, and enhances the overall development by integrating all of the project's signs with the overall site and structure design into a unified statement. Signs are similar in design to one another and are designed to complement the building facades.
2. There is reasonable need for directory signs (Sign Types S1 and S2) to be 10 square feet to allow for adequate navigation around the new development and direct customers to establishments not easily visible from Newport Boulevard.
3. There is reasonable need for some tenant wall signs (Sign Types O.1.4, O.1.5, R.1.1, R.1.2, R.1.8, R.1.9, and R.1.10) to be located within thirty (30) feet of another sign on an adjacent wall of the same building to allow all tenants to have one wall sign per frontage that is centered on the tenant frontage. This deviation in separation allows tenant wall signs to be located in the middle fifty (50) percent of the building frontage.

Standard:

- G. The approval of a Comprehensive Sign Program shall not authorize the use of signs prohibited by this Chapter [Chapter 20.42].*

Facts in Support of Standard:

1. The Comprehensive Sign Program does not authorize the use of prohibited signs.

Standard:

- H. Review and approval of a Comprehensive Sign Program shall not consider the signs' proposed message content.*

Facts in Support of Standard:

1. The Comprehensive Sign Program contains no regulations affecting sign message content.

CONDITIONS

1. All proposed signs shall be in substantial conformance with the approved plans, Comprehensive Sign Program Matrix Table, and provisions of Chapter 20.42 of the Newport Beach Municipal Code, unless otherwise indicated in the following conditions.
2. Anything not specifically approved by the Comprehensive Sign Program is prohibited.
3. There shall be no halo-lit signs at or above the second floor.
4. A building permit and/or sign permit shall be obtained prior to the installation of signs.
5. A copy of this letter shall be incorporated into the plan check sets prior to issuance of building or sign permits.
6. Illuminated signs shall be regulated in accordance with the provisions of Section 20.42.070 of the Newport Beach Municipal Code. If, in the opinion of the Community Development Director, existing illumination creates an unacceptable negative impact on the surrounding land uses or sensitive habitat areas, the Director may order the dimming of light sources or other remediation upon finding that the site is excessively illuminated.
7. Signs shall be maintained in a clean and orderly condition.
8. Any future revisions or changes to the signs approved by this Comprehensive Sign Program due to a change in the use or tenants of the building shall be reviewed and approved by the Planning Division, so long as the sign size, copy configuration, and number of signs authorized by this approval does not substantially change or increase. The mandatory reduction or elimination of signs shall be exercised as necessary. Revisions that would substantially deviate from the original approval shall require approval of a new or revised comprehensive sign program by the Zoning Administrator.
9. The Zoning Administrator may add to or modify conditions of approval, or revoke this approval upon determination that any sign that is authorized by this approval has been altered beyond the parameters of the authorization and therefore beyond the justification.
10. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions in Title 20, Planning and Zoning, of the Newport Beach Municipal Code.
11. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may

arise from or in any manner relate (directly or indirectly) to City's approval of the Vue Newport Sign Program including, but not limited to, the CS2016-009 (PA2016-119). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD

An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

On behalf of Patrick J. Alford, Zoning Administrator

By:



Chelsea Crager, Assistant Planner

GBR/cc

Attachments: ZA 1 Vicinity Map
 ZA 2 Comprehensive Sign Program Matrix
 ZA 3 Project Plans

Attachment No. ZA 1

Vicinity Map

VICINITY MAP



Comprehensive Sign Program No. CS2016-009
PA2016-119

2210 – 2280 Newport Boulevard

Attachment No. ZA 2

Comprehensive Sign Program Matrix

**Vue Newport Comprehensive Sign Program Matrix
As Amended by CS2016-009 (PA2016-119)**

Sign Number (As Referenced on Plans)	Maximum Quantity	Sign Type	Location	Maximum Sign Area (Square Feet)
G1	2	Parking Entry Sign	Building	30
G2	3	Parking Entry Sign	Building	20.5
S1 ²	2	Retail Tenant Monument and Directory	Ground	65.8 (Tenants), 10 (Directory)
S2 ²	5	Directory	Building	10
S3	1 Per Tenant	Tenant Blade Sign	Building	6
S5	2	Large Project Identification	Building	31.3
S7	3	Retail Directional Sign	Building	30
S9	1 Per Building	Address Sign	Building	10
S10	4	Small Project Identification	Building	4
S11	2	Parking Blade Sign	Building	9
S12	1	Parking Sign	Building	12
S13	1	Residents and Deliveries Only	Building	10
S14	1	Walkway Identification Graphics	Building	52
S15	1	Walkway Identification Sign	Building	72
S16	No Maximum	Regulatory Sign	Building	3
S17	2	Parking Rate Sign	Building	13
S18	2	Medium Project Identification	Building	28
S19	5	Loading Zone	Building	9
S20	3	Elevator Sign	Building	3
O1 ¹	1 Per Tenant Per Frontage	Office Tenant Identification	Building	1.5 Times Tenant Linear Frontage
R1 ¹	1 Per Tenant Per Frontage	Retail Tenant Identification	Building	1.5 Times Tenant Linear Frontage

1. Sign may be separated by a distance of less than thirty (30) feet from another sign on an adjacent wall of the same building.
2. Sign is up to 30% larger than Zoning Code standards.

Notes:

- a) Temporary Banner signs shall comply with Chapter 20.42 of the Zoning Code.
- b) All signs shall substantially conform to the approved set of plans.
- c) Pursuant to Section 20.42.120.F (Revisions to Comprehensive Sign Programs) of the Zoning Code, the Planning Director may approve minor revisions to the sign program if the intent of the original approval is not affected.
- d) All additional exempt signs shall comply with the standards prescribed in the Zoning Code

Attachment No. ZA 3

Project Plans

VUE

NEWPORT

2210-2280 NEWPORT BLVD.
NEWPORT BEACH, CA

SIGN PROGRAM

PROPERTY OWNER
NPBEACH MARINA LLC
124 ALLAWOOD COURT
SIMPSONVILLE, SC 29681
864.881.4801

PROGRAM DESIGNER
JB3D
731 N. MAIN STREET
ORANGE, CA 92868
CONTACT: HECTOR BETANCOURT
714.204.0073
HBETANCOURT@JB3D.COM

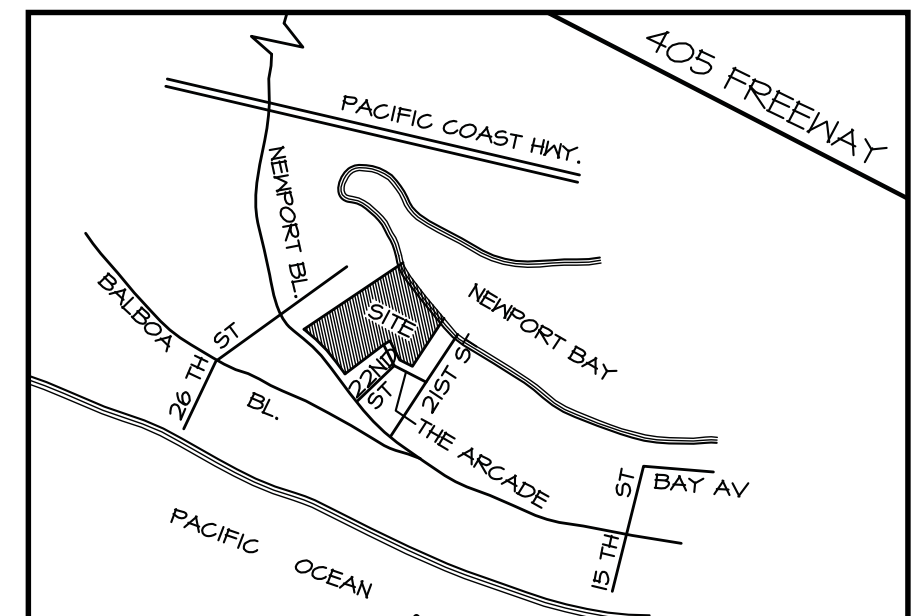


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2.0	Parking Entry Sign (Bldg. B)
3.0	Retail Tenant Monument
4.0	Directory Map
5.0	Tenant Blade Sign
6.0	Large Project ID
7.0	On Building Retail Directional
8.0	Address Sign
9.0	Small Project ID
10.0	Parking Blade Sign
11.0	Parking Sign
12.0	Residents & Deliveries Only
13.0	Walkway ID Graphics
14.0	Walkway ID Sign
15.0	Regularoty Sign
16.0	Parking Rate Sign
17.0	Medium Project ID
18.0	Loading Zone
19.0	Elevator Sign
20.0	Office Tenant ID
21.0	Retail Tenant ID

SIGNAGE OVERVIEW

SIGN TYPE	SIGN-SPECIFIC PAGE	DESCRIPTION	SIGN LOCATION	MAX. QUANTITY	MAX. HEIGHT	MAX. WIDTH	MAX. SIGN AREA	PERMIT REQUIRED	LOGOS ALLOWED	ILLUMINATION PERMITTED
G.1	1.0	Parking Entry Sign (Newport)	On Building	1	27"	13'-0"	30 Sq. Ft.	Yes	No	Yes
G.2	2.0	Parking Entry Sign (Bldg. B)	On Building	2	See Page 2.0	See Page 2.0	20.5 Sq. Ft.	Yes	Project Name Only	Yes
S.1	3.0	Retail Tenant Monument	Ground	1	20'-0"	6'-0"	65.8 Sq. Ft.	Yes	Yes	Yes
S.2	4.0	Directory Map	On Building	5	4'-0"	30"	10 Sq. Ft.	Yes	Yes	No
S.3	5.0	Tenant Blade Sign	On Building	As Needed	2'-0"	3'-0"	6 Sq. Ft.	Yes	Yes	Yes
S.5	6.0	Large Project ID	On Building	2	4'-0"	7'-10"	31.3 Sq. Ft.	Yes	Project Name Only	Yes
S.7	7.0	On Building Retail Directional	On Building	3	6'-0"	5'-0"	30 Sq. Ft.	Yes	Yes	Yes
S.9	8.0	Address Sign	On Building	1 Per Bldg.	19"	6'-1"	10 Sq. Ft.	Yes	No	Yes
S.10	9.0	Small Project ID	On Building	4	18"	31"	4 Sq. Ft.	Yes	Project Name Only	Yes
S.11	10.0	Parking Blade Sign	On Building	2	3'-0"	3'-0"	9 Sq. Ft.	Yes	No	Yes
S.12	11.0	Parking Sign	On Building	1	4'-0"	3'-0"	12 Sq. Ft.	Yes	No	Yes
S.13	12.0	Residents & Deliveries Only	On Building	1	30"	4'-0"	10 Sq. Ft.	Yes	Project Name Only	Yes

*** S.4 SIGN TYPE WAS ELIMINATED FROM SIGN PROGRAM

SIGNAGE OVERVIEW

SIGN TYPE	SIGN - SPECIFIC PAGE	DESCRIPTION	SIGN LOCATION	MAX. QUANTITY	MAX. HEIGHT	MAX. WIDTH	MAX. SIGN AREA	PERMIT REQUIRED	LOGOS ALLOWED	ILLUMINATION PERMITTED
S.14	13.0	Walkway ID Graphics	On Building	1	30"	20'-6"	52 Sq. Ft.	Yes	Project Name Only	No
S.15	14.0	Walkway ID Sign	On Building	1	4'-0"	18'-0"	72 Sq. Ft.	Yes	Project Name Only	Yes
S.16	15.0	Regulatory Sign	On Building	As Needed	24"	14"	3 Sq. Ft.	No	Project Name Only	No
S.17	16.0	Parking Rate Sign	On Building	2	35"	4'-5"	13 Sq. Ft.	No	No	Yes
S.18	17.0	Medium Project ID	On Building	2	4'-0"	7'-0"	28 Sq. Ft.	Yes	Project Name Only	Yes
S.19	18.0	Loading Zone	On Building	5	13"	7'-11"	9 Sq. Ft.	No	No	No
S.20	19.0	Elevator Sign	On Building	3	7"	4'-4"	3 Sq. Ft.	Yes	No	No
O.1	20.0	Office Tenant ID	On Building	**	24"	Varies Per Elevation*	1.5 Tenant Linear Frontage	Yes	Yes	Yes
R.1	21.0	Retail Tenant ID	On Building	**	24"	Varies Per Elevation*	1.5 Tenant Linear Frontage	Yes	Yes	Yes

* RETAIL TENANT ID WIDTH VARIES PER ELEVATION (SEE PAGES 22.1-22.10)

* OFFICE TENANT ID WIDTH VARIES PER ELEVATION (SEE PAGES 21.1-21.4)

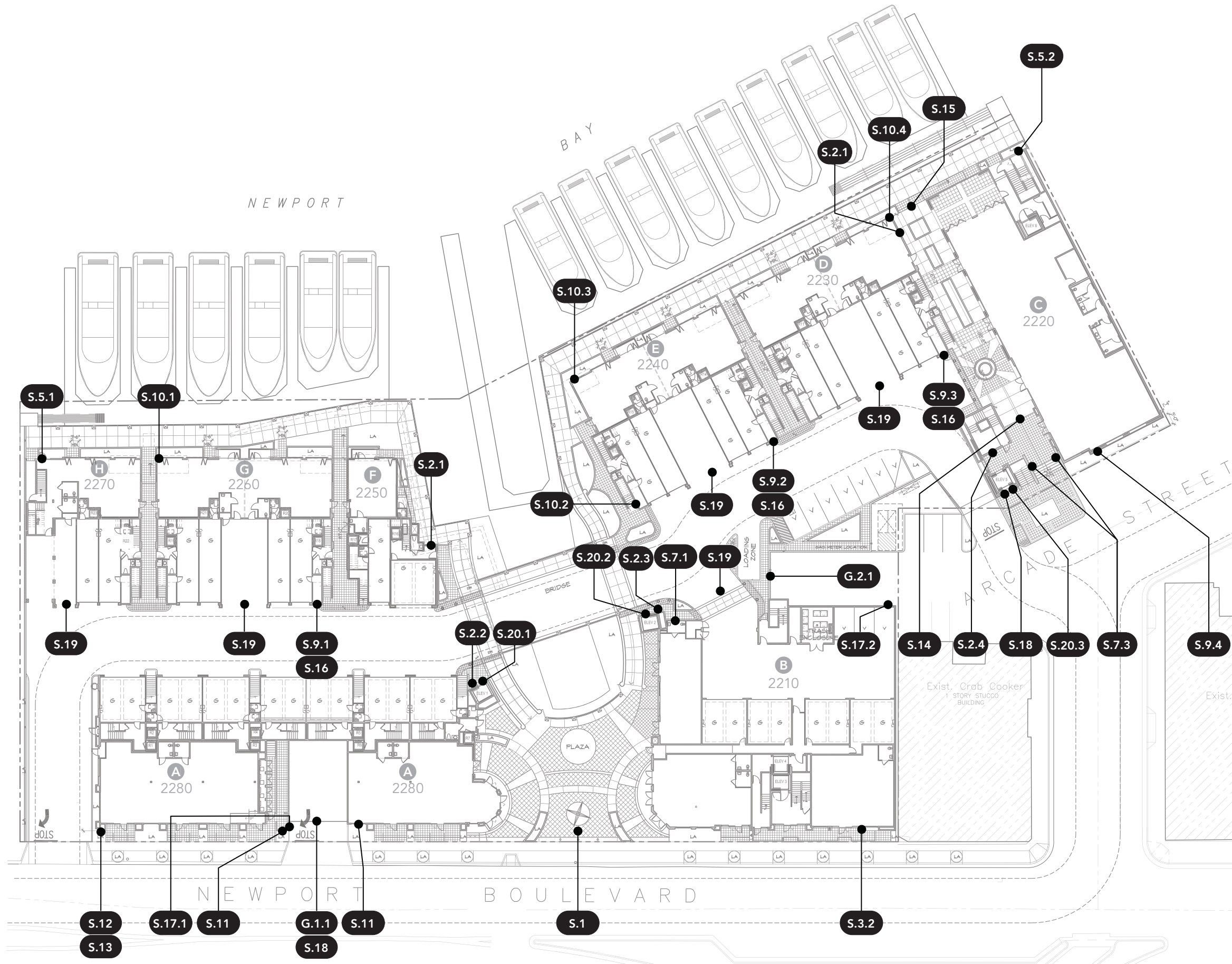
** ONE SIGN PER TENANT PER FRONTAGE.

SITE PLAN

OVERALL

SIGN TYPE - LEGEND

- G.1 – Entry (Newport)
- G.2 – Entry (Bldg. B)
- S.1 - Tenant Monument
- S.2 - Directory Map
- S.3 - Tenant Blade Sign
- S.5 - Large Project ID
- S.7 - On Building Retail Directional
- S.9 - Address Sign
- S.10 - Small Project ID
- S.11 - Parking Blade Sign
- S.12 - Parking Sign
- S.13 - Residents & Deliveries Only
- S.14 - Walkway ID Graphics
- S.15 - Walkway ID Sign
- S.16 - No Fun Sign
- S.17 - Parking Rate Sign
- S.18 - Medium Project ID
- S.19 - Loading Zone
- S.20 - Elevator Sign

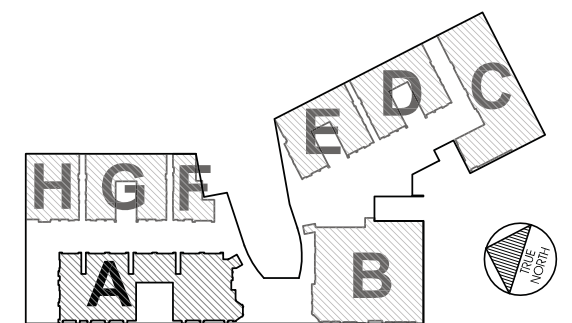
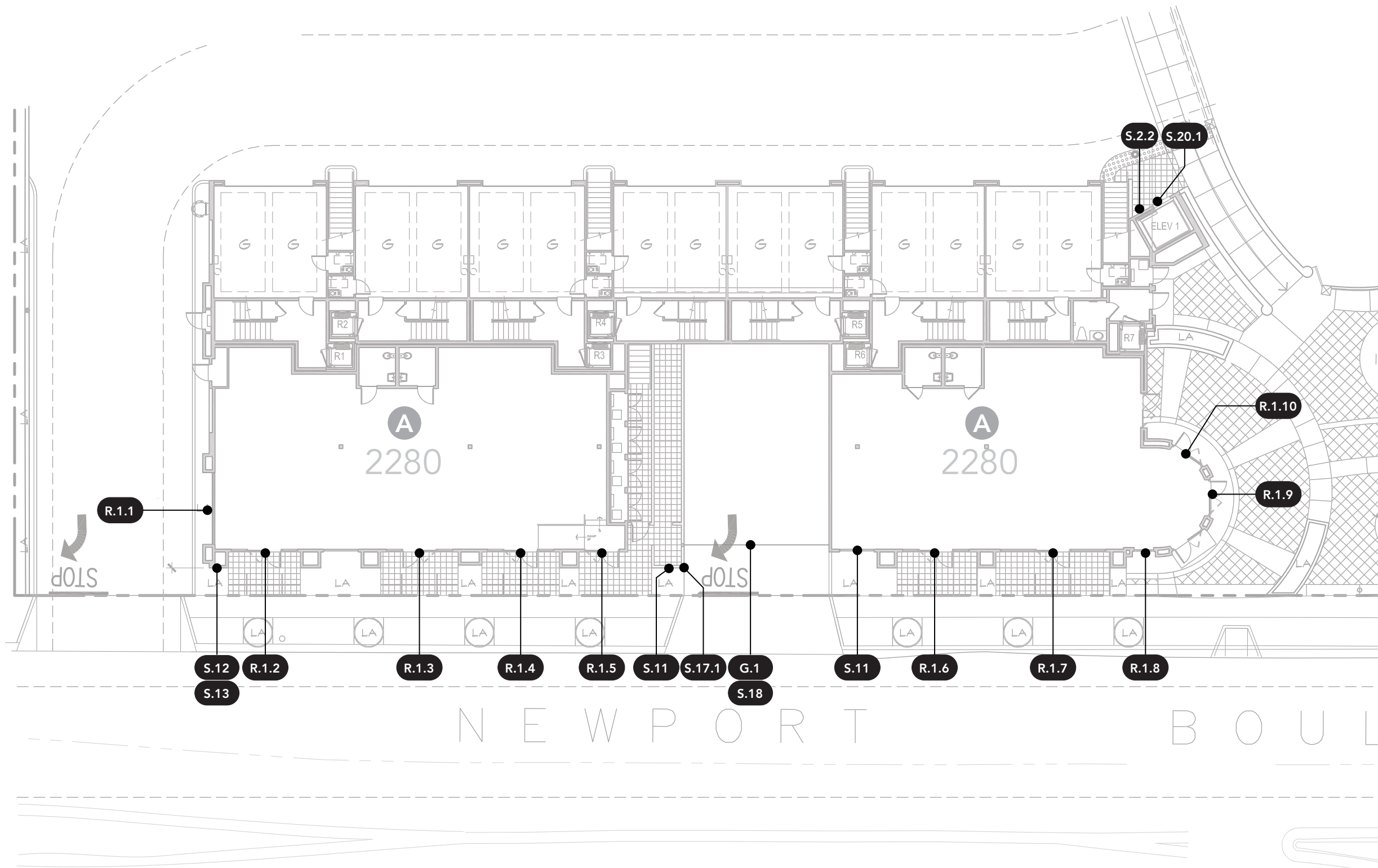


SITE PLAN

BLDG. 2280

SIGN TYPE - LEGEND

- G.1 – Entry (Newport)
- R.1 - Retail Tenant ID
- S.2 - Directory Map
- S.5 - Project ID
- S.10 - Small Project ID
- S.11 - Parking Blade Sign
- S.12 - Parking Sign
- S.13 - Residents & Deliveries Only
- S.17 - Parking Rate Sign
- S.18 - Medium Project ID
- S.20 - Elevator Sign

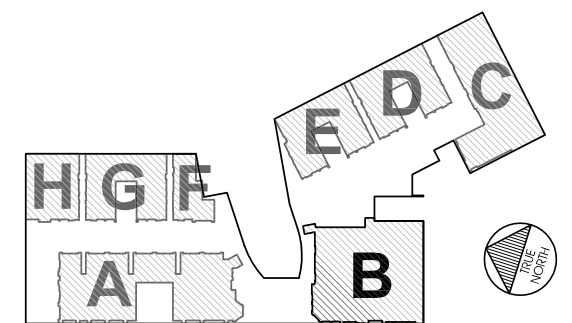
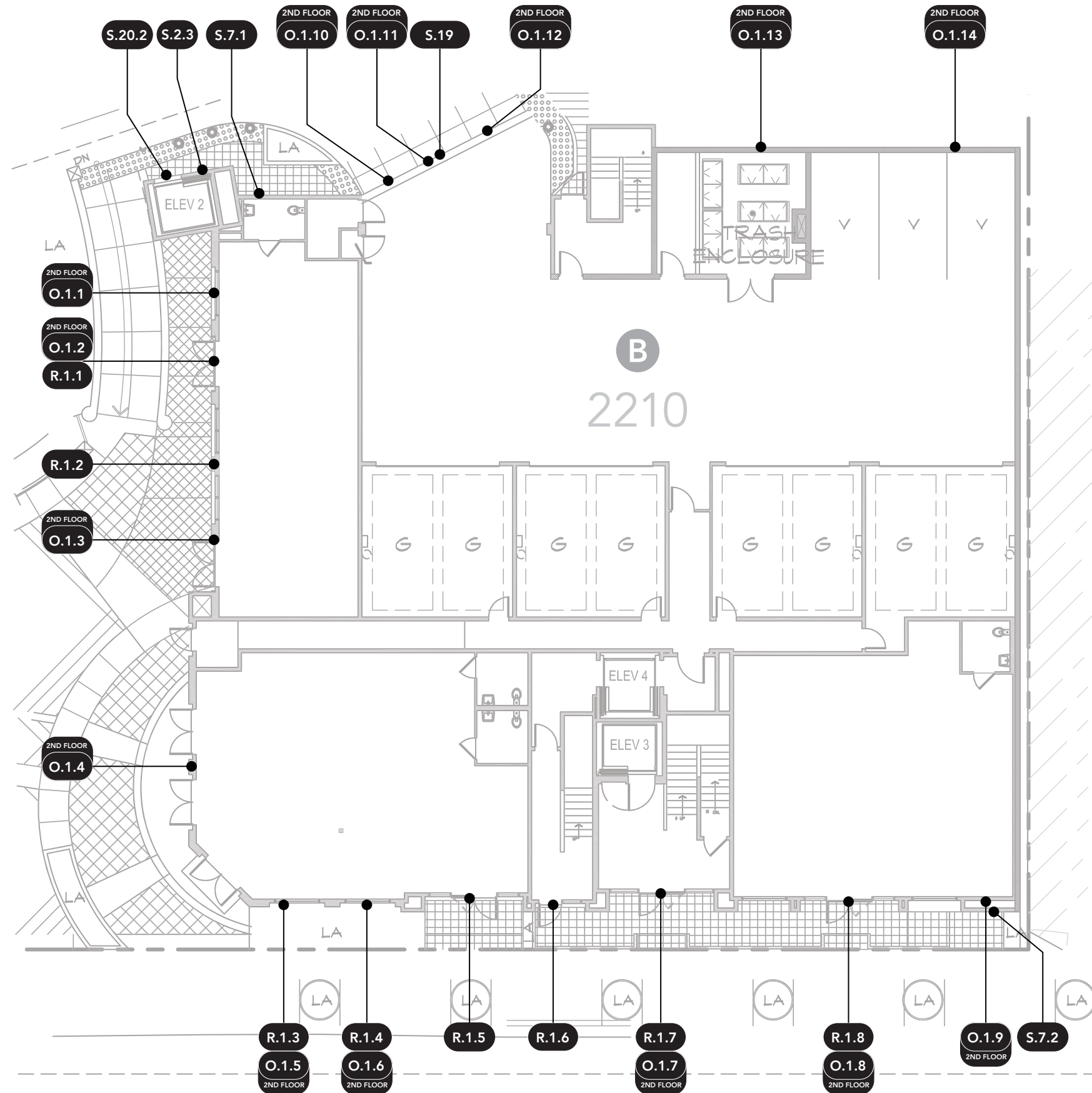


SITE PLAN

BLDG. 2210

SIGN TYPE - LEGEND

- O.1 - Office Tenant ID
- R.1 - Retail Tenant ID
- S.2 - Directory Map
- S.7 - On Building Retail Directional
- S.19 - Loading Zone
- S.20 - Elevator Sign

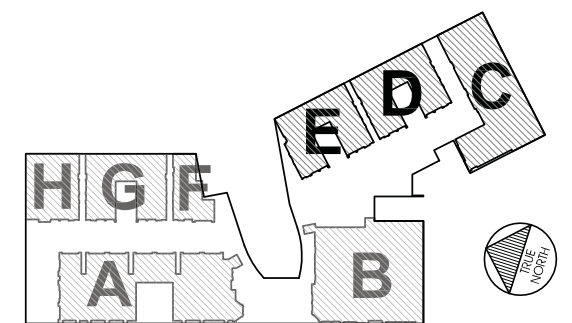
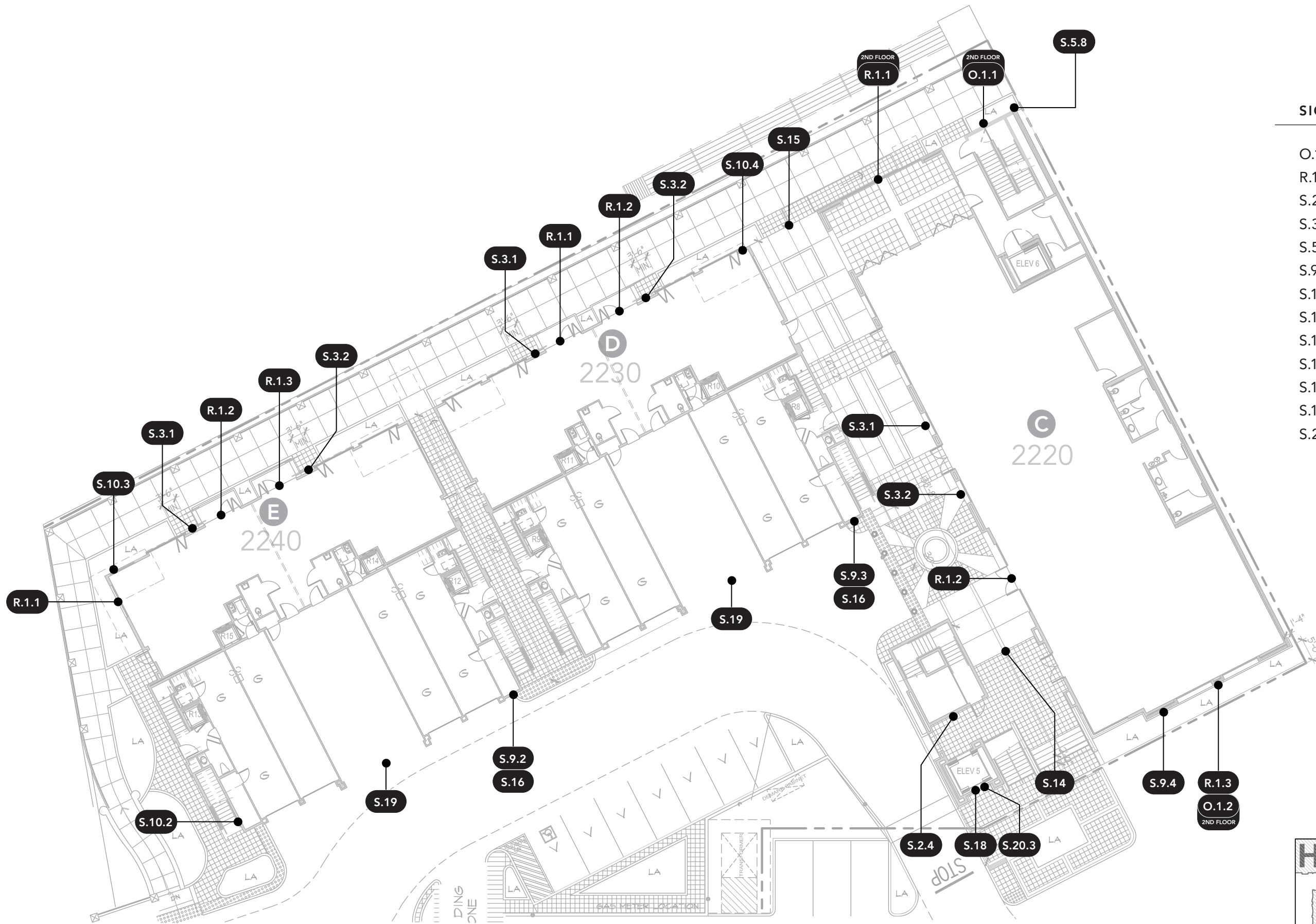


SITE PLAN

BLDGS. 2220, 2230 & 2240

SIGN TYPE - LEGEND

- O.1 - Office Tenant ID
- R.1 - Retail Tenant ID
- S.2 - Directory Map
- S.3 - Tenant Blade Sign
- S.5 - Project ID
- S.9 - Address Sign
- S.10 - Small Project ID
- S.14 - Walkway ID Graphics
- S.15 - Walkway ID Sign
- S.16 - No Fun Sign
- S.18 - Medium Project ID
- S.19 - Loading Zone
- S.20 - Elevator Sign

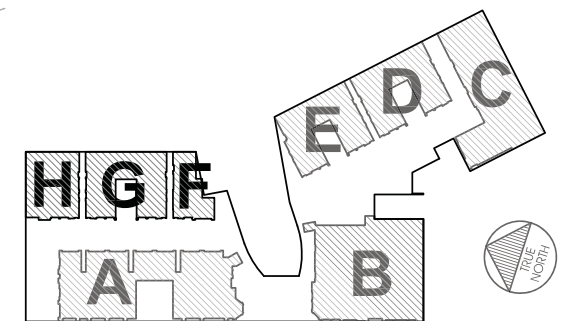
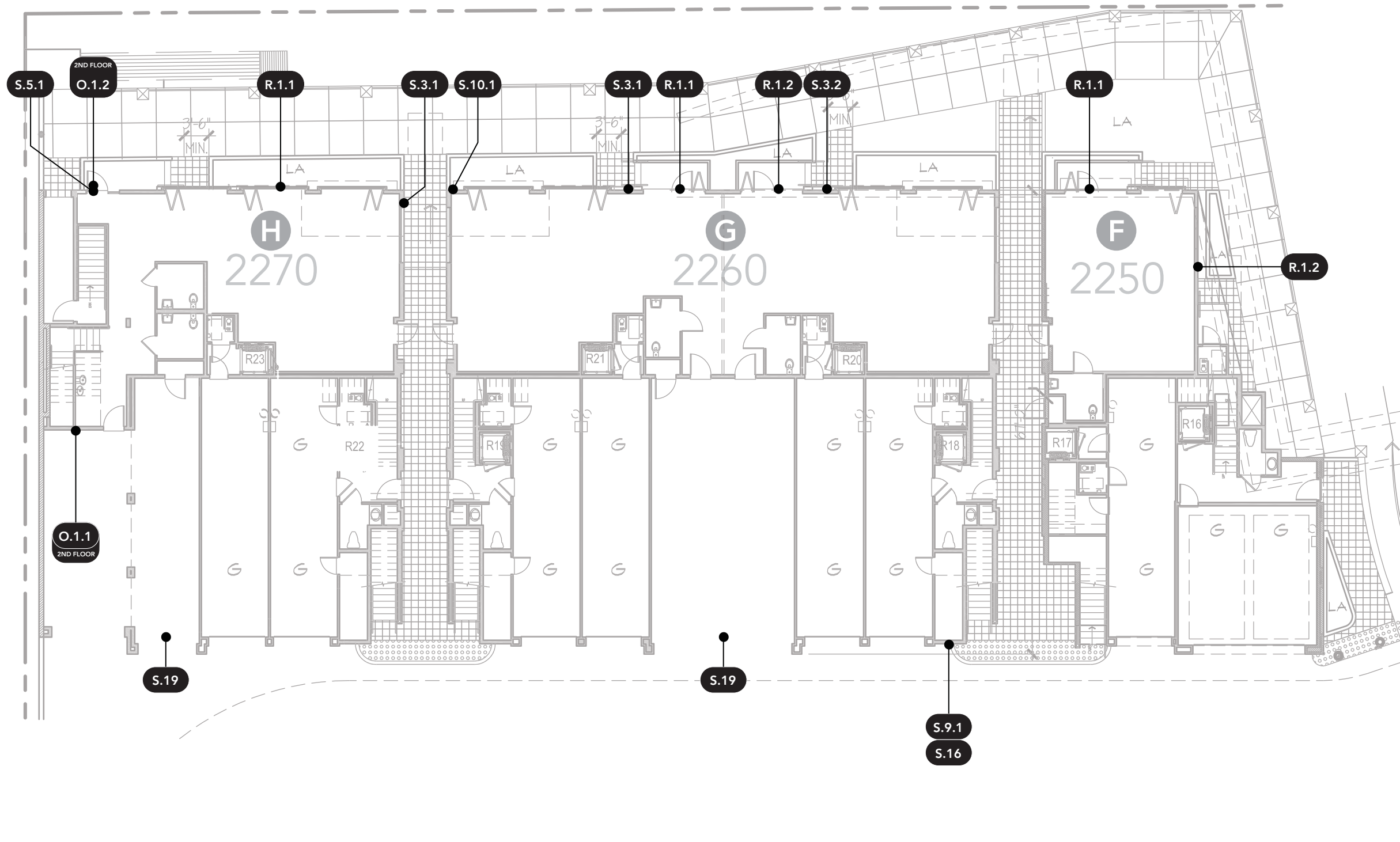


SITE PLAN

BLDGS. 2250, 2260 & 2270

SIGN TYPE - LEGEND

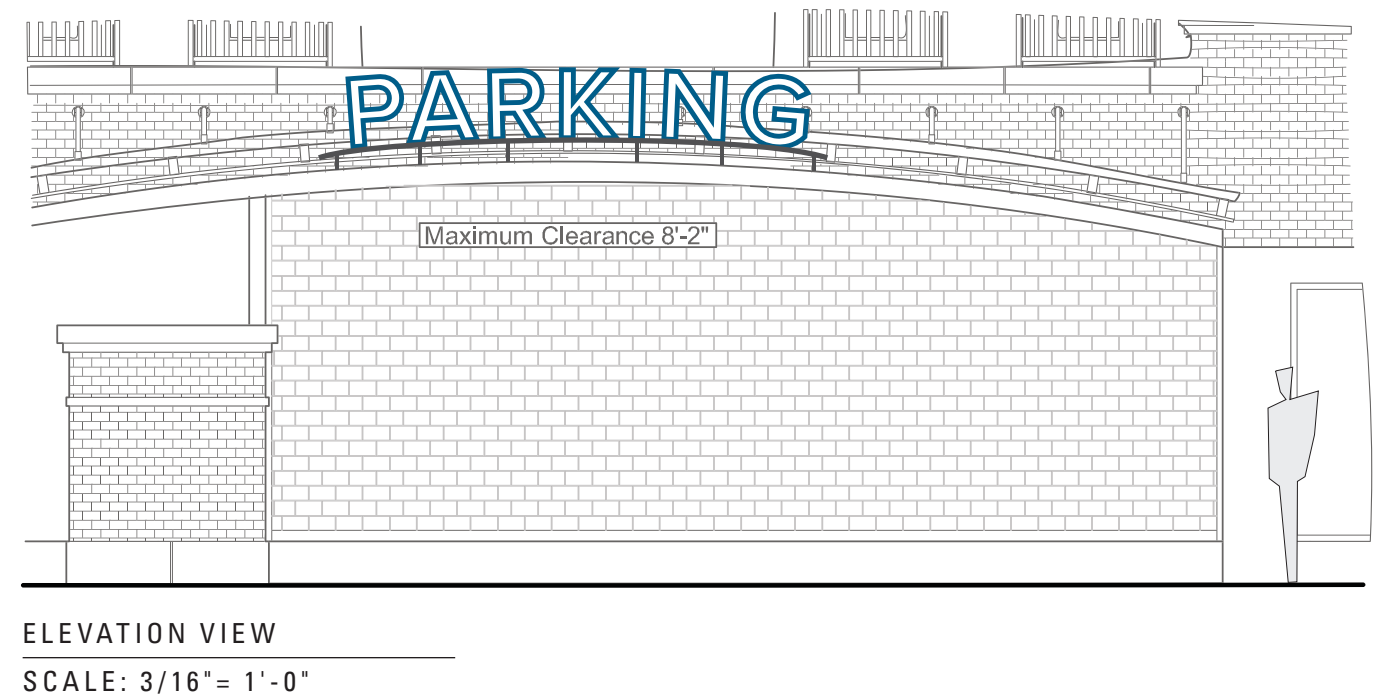
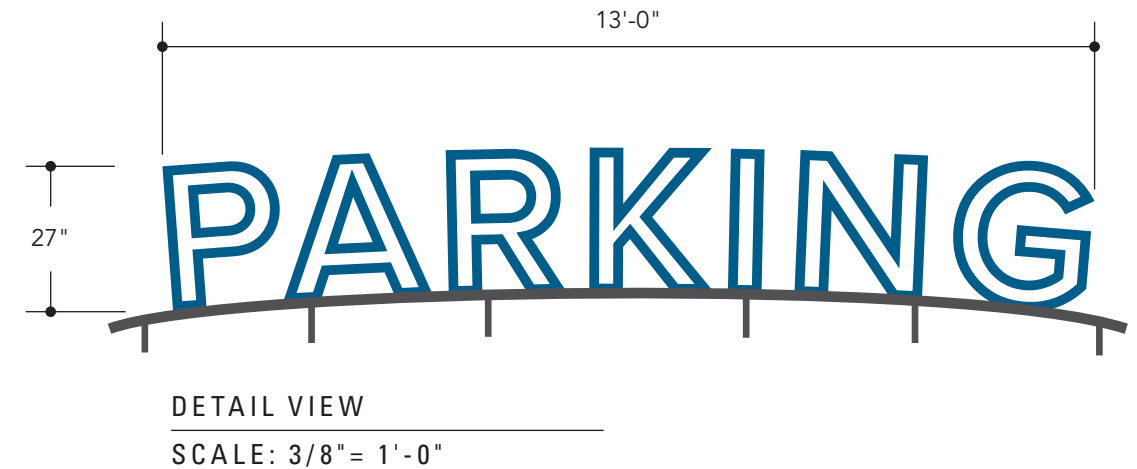
- O.1 - Office Tenant ID
- R.1 - Retail Tenant ID
- S.3 - Tenant Blade Sign
- S.5 - Project ID
- S.9 - Address Sign
- S.10 - Small Project ID
- S.16 - No Fun Sign
- S.19 - Loading Zone



SIGN TYPE G1

PARKING ENTRY SIGN (NEWPORT)

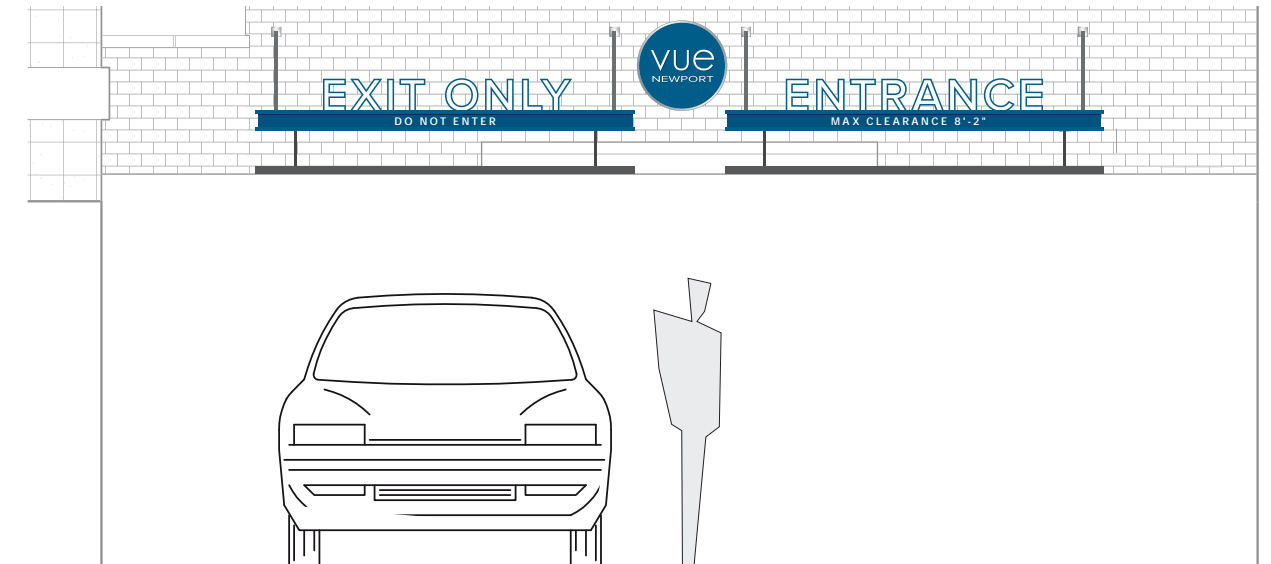
PURPOSE	To provide parking information to patrons.
MAXIMUM NUMBER	One.
LOCATION	Location as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Parking lettering.
MAX. SIGN AREA & SIZE	Width: 13'-0" Height: 27" Sign Area: 30 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Internally illuminated. No exposed neon lighting allowed. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Not permitted.
LETTER STYLE	Project font only.
COLORS	Blue and white. <i>Exact finish details to vary.</i>



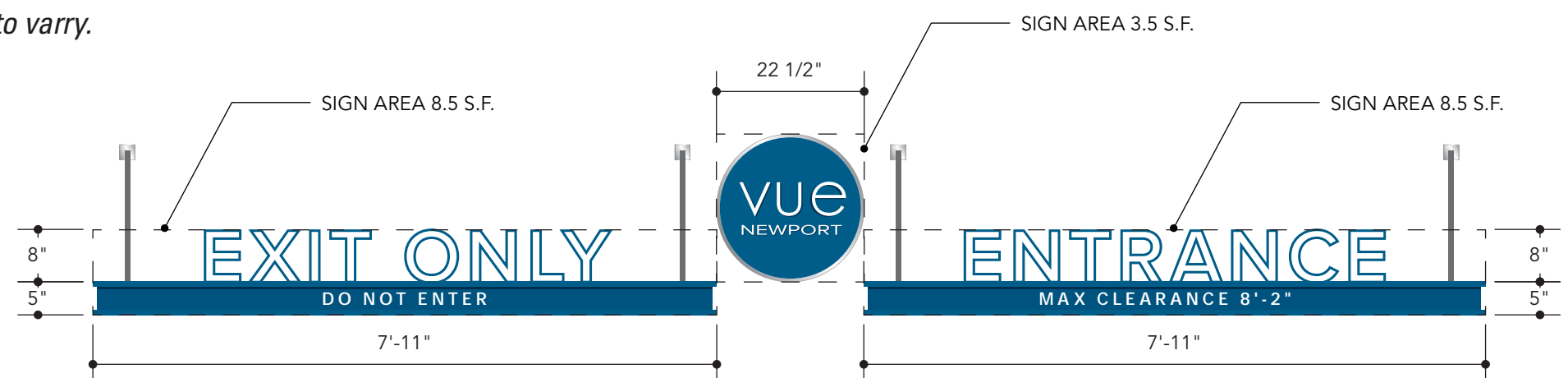
PURPOSE	To provide parking information to patrons.
MAXIMUM NUMBER	Two.
LOCATION	Location as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Project and or logo, parking information.
MAX. SIGN AREA & SIZE	Width: As Shown Height: As Shown Sign Area: 20.5 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Internally illuminated. No exposed neon lighting allowed. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Project logo only. Must be approved by the Property Owner.
LETTER STYLE	Project font only.
COLORS	Blue and white. <i>Exact finish details to vary.</i>

SIGN TYPE G2

PARKING ENTRY SIGN (BLDG. B)



ELEVATION VIEW
SCALE: 1/4" = 1'-0"



DETAIL VIEW
SCALE: 1/2" = 1'-0"

PURPOSE

To identify business names occupying the building suites within the center. Tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on the monument sign.

MAXIMUM NUMBER

One.

LOCATION

Behind property line.

ORIENTATION

Perpendicular toward street.

SIGN COPY

Business name and or logo per defined location, two-lines of copy maximum.

MAX. SIGN AREA & SIZE

Width: 6'-0"
Height: 20'-0"
Sign Area: 65.8 sq. ft. Max

SIGN CONSTRUCTION

Smooth, durable, non-weathering sign; with lettering incised in the panel or fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.

ILLUMINATION

Internally illuminated. No exposed neon lighting allowed. Note that the directory on the sign is not permitted to be illuminated. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).

LOGO / LOGOTYPE

Permitted. Must be approved by the Property Owner.

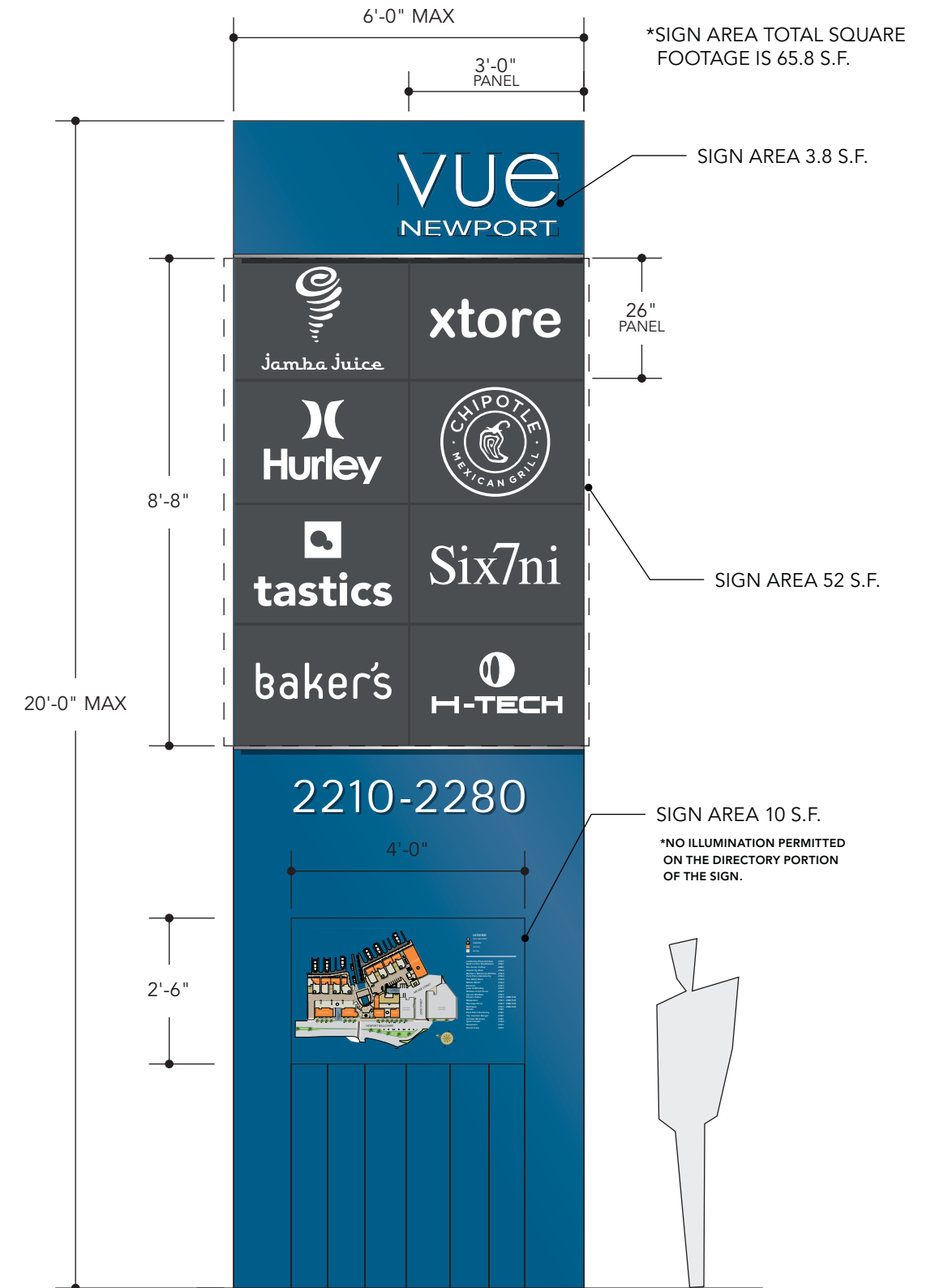
LETTER STYLE

Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all white in color.

COLORS

White, Gray, Silver and Blue.

SIGN TYPE S1
RETAIL TENANT MONUMENT



ELEVATION - TYPICAL
SCALE: 3/8" = 1'-0"

PURPOSE

To identify business names occupying the building suites within the center. Tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on the directory sign.

MAXIMUM NUMBER

Five.

LOCATION

Locations as indicated in the following exhibits.

ORIENTATION

Parallel to wall toward street, parking lot or pedestrian area.

SIGN COPY

Business name per defined location, one-line of copy maximum.

MAX. SIGN AREA & SIZE

Width: 30"
Height: 4'-0"
Sign Area: 10 sq. ft. Max

SIGN CONSTRUCTION

Smooth, durable, non-weathering sign; with lettering incised in the panel or fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.

ILLUMINATION

None.

LOGO / LOGOTYPE

Permitted.

LETTER STYLE

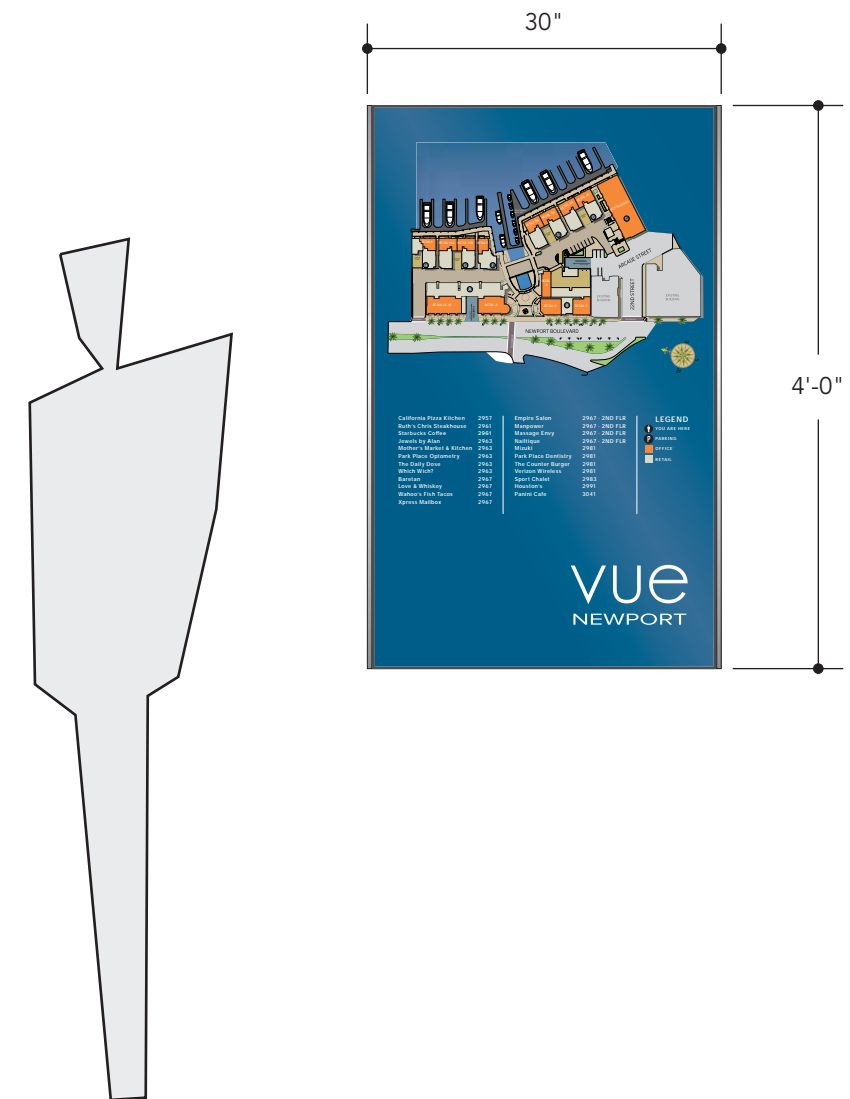
Tenant must use project font, all white in color (Retail tenant logo in white permitted).

COLORS

As shown.

SIGN TYPE S2

DIRECTORY MAP



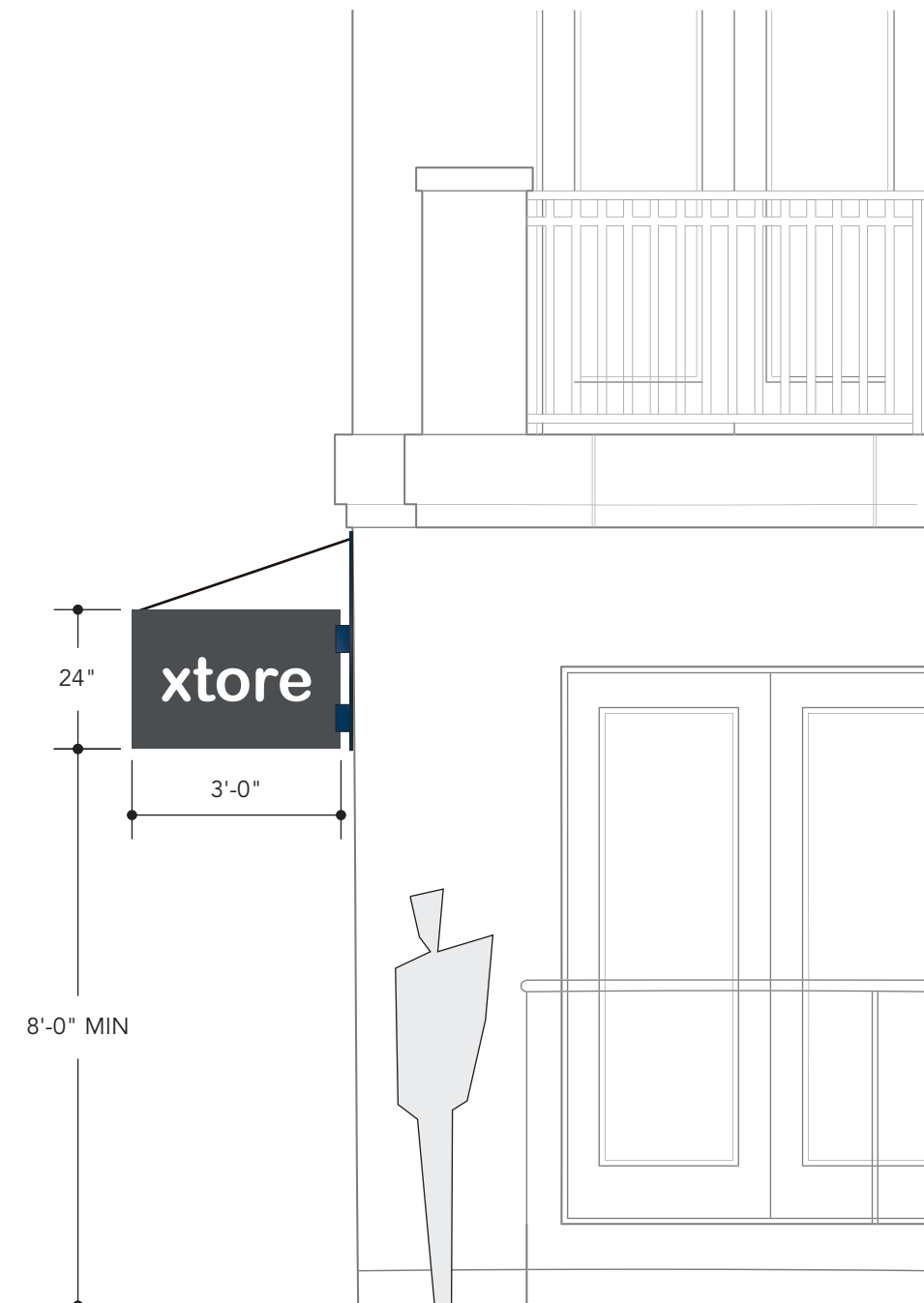
ELEVATION - TYPICAL

SCALE: 3/4" = 1'-0"

SIGN TYPE S3

TENANT BLADE SIGN

PURPOSE	To identify business names occupying the building suites within the center. Tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on a blade sign.
MAXIMUM NUMBER	As Needed.
LOCATION	On building fascia to identify retail tenants as needed.
ORIENTATION	Perpendicular to building wall.
SIGN COPY	One business name and or logo per defined location, two-lines of copy maximum.
MAX. SIGN AREA & SIZE	Width: 3'-0" Height: 2'-0" Sign Area: 6 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; (cabinet signs with translucent or transparenbackgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Internally illuminated. No exposed neon lighting allowed. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Permitted.
LETTER STYLE	Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all white in color.
COLORS	Blue, gray and white.



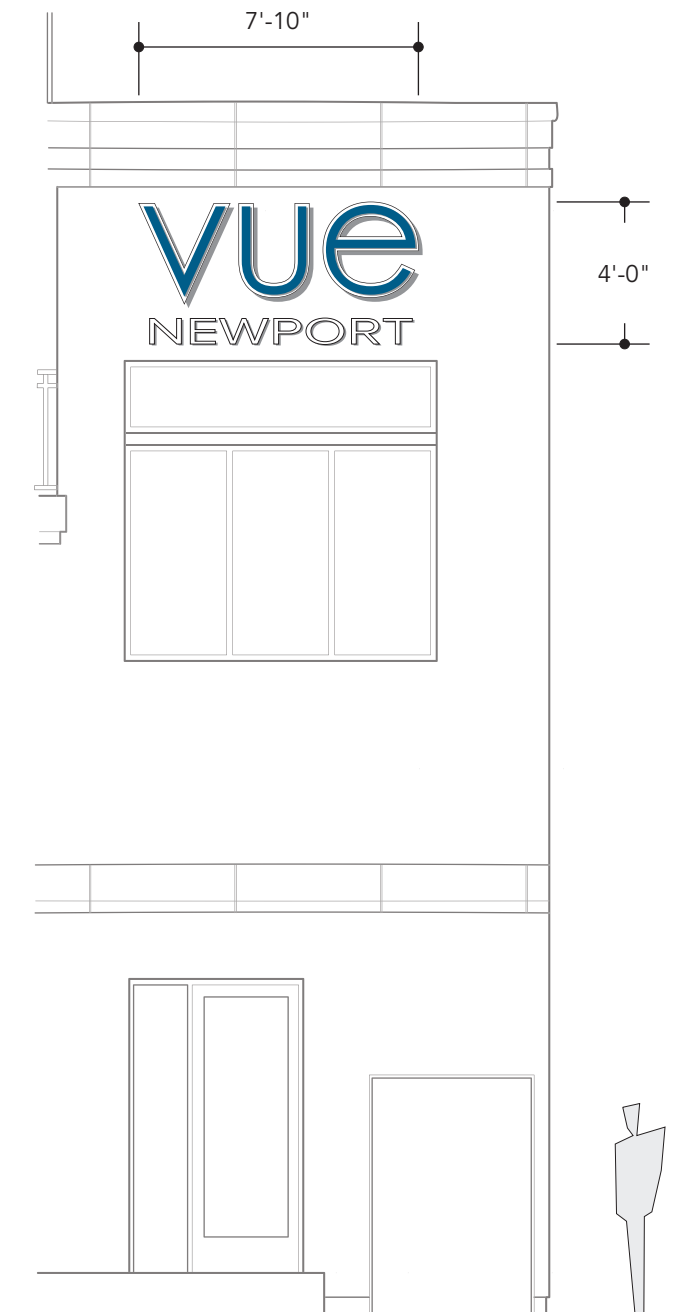
ELEVATION - TYPICAL

SCALE: 3/8" = 1'-0"

PURPOSE	To identify the center.
MAXIMUM NUMBER	Two.
LOCATION	Locations as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Project name and or logo, two-lines of copy maximum.
MAX. SIGN AREA & SIZE	Width: 7'-10" Height: 4'-0" Sign Area: 31.3 sq. ft. Max
SIGN CONSTRUCTION	Individual letter and logos only. No cabinet signs or cloud signs allowed. Tenant is only permitted to mount directly to structural mounting system. Align business name to center of aluminum bar to be attached to structural mounting system. Structural mounting system is intended to preserve architectural features/materials.
ILLUMINATION	Internally illuminated face-lit or exposed neon. Halo-lit letters are not permitted on or above the second floor. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Project logo only. Must be approved by the Property Owner.
LETTER STYLE	Logo-typefaces permitted. Lettering must be approved by the Property Owner.
COLORS	Logo colors must contrast building facade. <i>Exact finish details to vary.</i>

SIGN TYPE S5

LARGE PROJECT ID



ELEVATION - TYPICAL

SCALE: 3/16" = 1'-0"

PURPOSE

To identify business names occupying the building suites within the center. Tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on the building directional.

MAXIMUM NUMBER

Three.

LOCATION

Locations as indicated in the following exhibits.

ORIENTATION

Parallel to wall toward street, parking lot or pedestrian area.

SIGN COPY

Business name and or logo per defined location, two-lines of copy maximum.

MAX. SIGN AREA & SIZE

Width: 5'-0"
Height: 6'-0"
Sign Area: 30 sq. ft. Max

SIGN CONSTRUCTION

Smooth, durable, non-weathering sign; with lettering incised in the panel or fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.

ILLUMINATION

Internally illuminated. No exposed neon lighting allowed. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).

LOGO / LOGOTYPE

Permitted. Must be approved by the Property Owner.

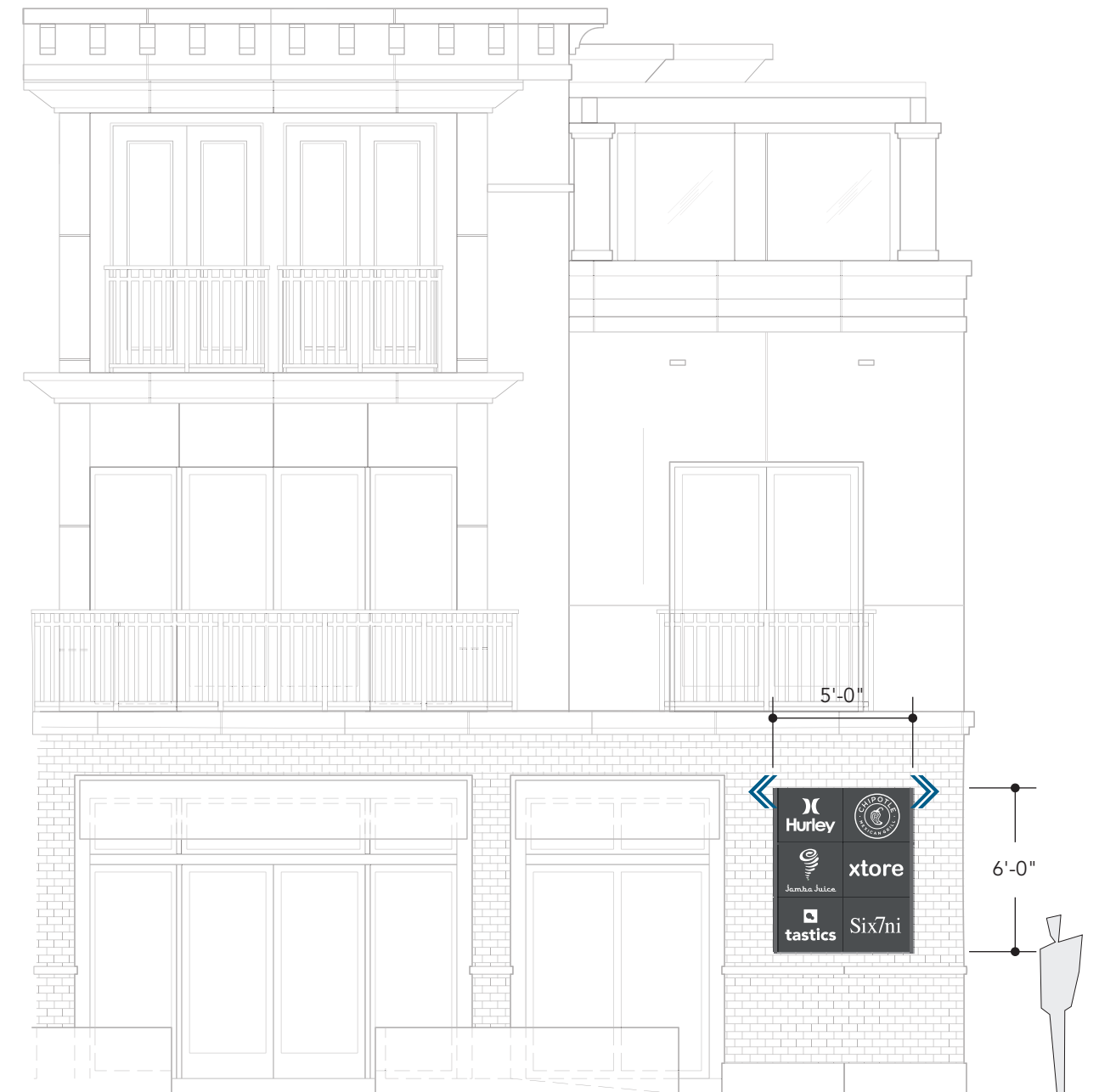
LETTER STYLE

Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all white in color.

COLORS

Gray, blue and white.

SIGN TYPE S7
ON BUILDING RETAIL DIRECTIONAL



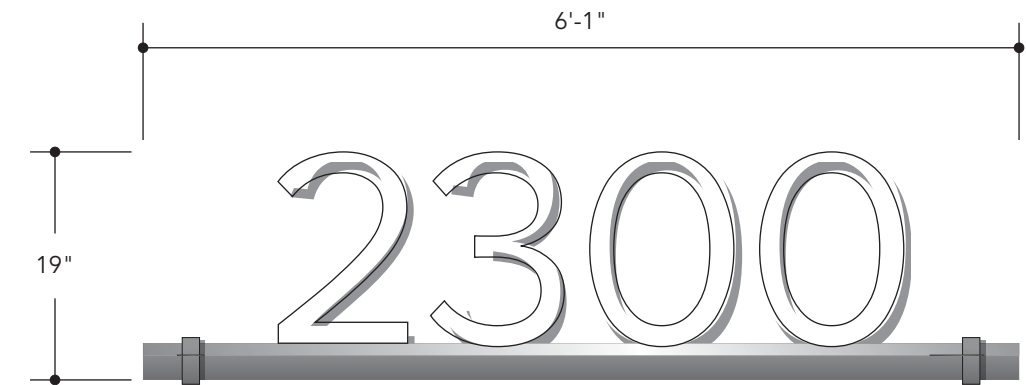
ELEVATION - TYPICAL

SCALE: 3/16" = 1'-0"

PURPOSE	To identify building address.
MAXIMUM NUMBER	One per building.
LOCATION	Mounted to existing structural mounting system installed by Property Owner. Locations as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Building address numbers.
MAX. SIGN AREA & SIZE	Width: 6'-1" Height: 19" Sign Area: 10 sq. ft. Max
SIGN CONSTRUCTION	Individual numbers only. No cabinet signs or cloud signs allowed. Numbers are only permitted to mount directly to structural mounting system. Align numbers to center of aluminum bar to be attached to structural mounting system. Structural mounting system is intended to preserve architectural features/materials. No exposed wiring allowed.
ILLUMINATION	Internally illuminated. No exposed neon lighting allowed. Halo-lit letters are not permitted on or above the second floor. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Not permitted.
LETTER STYLE	Project font only.
COLORS	Must contrast building facade. <i>Exact finish details to vary.</i>

SIGN TYPE S9

ADDRESS SIGN



DETAILS - TYPICAL
SCALE: 3/4" = 1'-0"

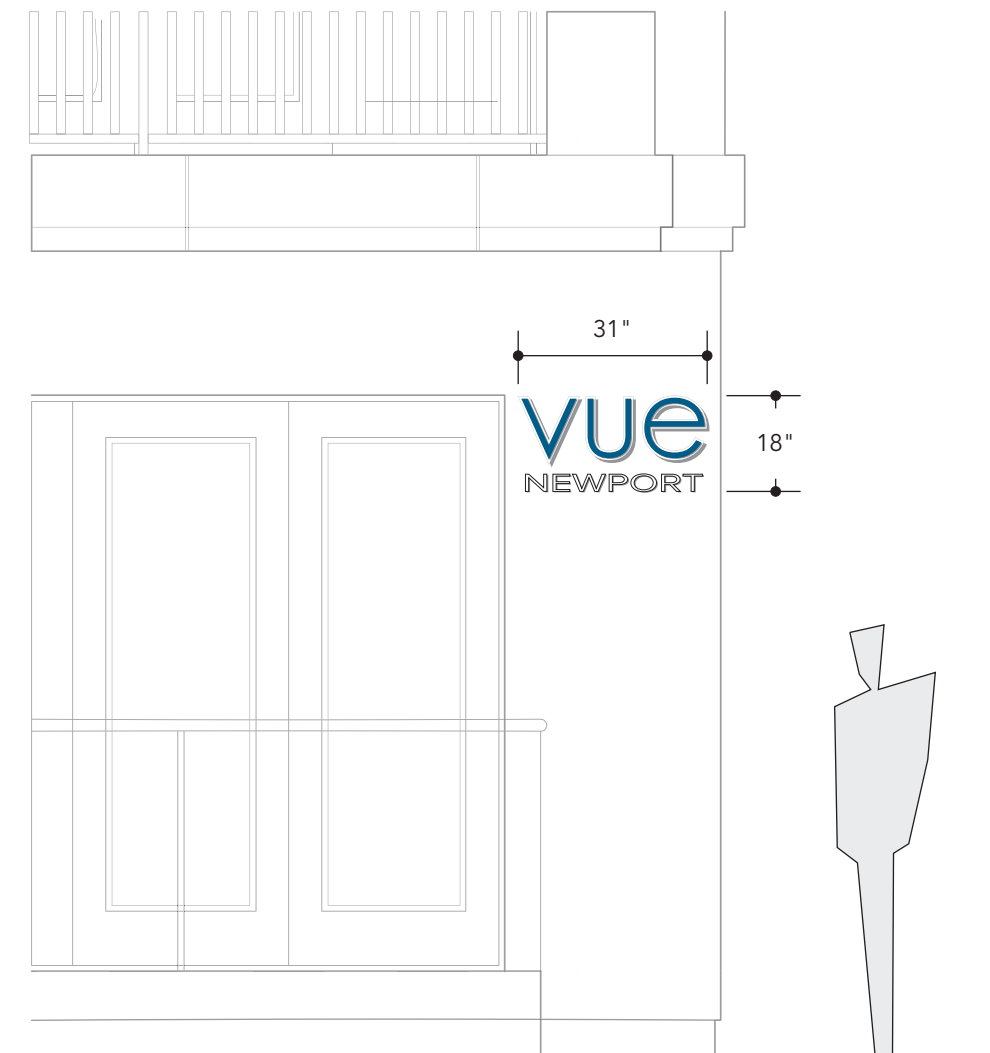


ELEVATION - TYPICAL
SCALE: 3/32" = 1'-0"

PURPOSE	To identify the center.
MAXIMUM NUMBER	Four.
LOCATION	Locations as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Project name and or logo, two-lines of copy maximum.
MAX. SIGN AREA & SIZE	Width: 31" Height: 18" Sign Area: 4 sq. ft. Max
SIGN CONSTRUCTION	Individual letter and logos only. No cabinet signs or cloud signs allowed. Tenant is only permitted to mount directly to structural mounting system. Align business name to center of aluminum bar to be attached to structural mounting system. Structural mounting system is intended to preserve architectural features/materials.
ILLUMINATION	Internally illuminated face-lit or exposed neon. Halo-lit letters are not permitted on or above the second floor. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Project logo only. Must be approved by the Property Owner.
LETTER STYLE	Logo-typefaces permitted. Lettering must be approved by the Property Owner.
COLORS	Logo colors must contrast building facade. <i>Exact finish details to vary.</i>

SIGN TYPE S10

SMALL PROJECT ID



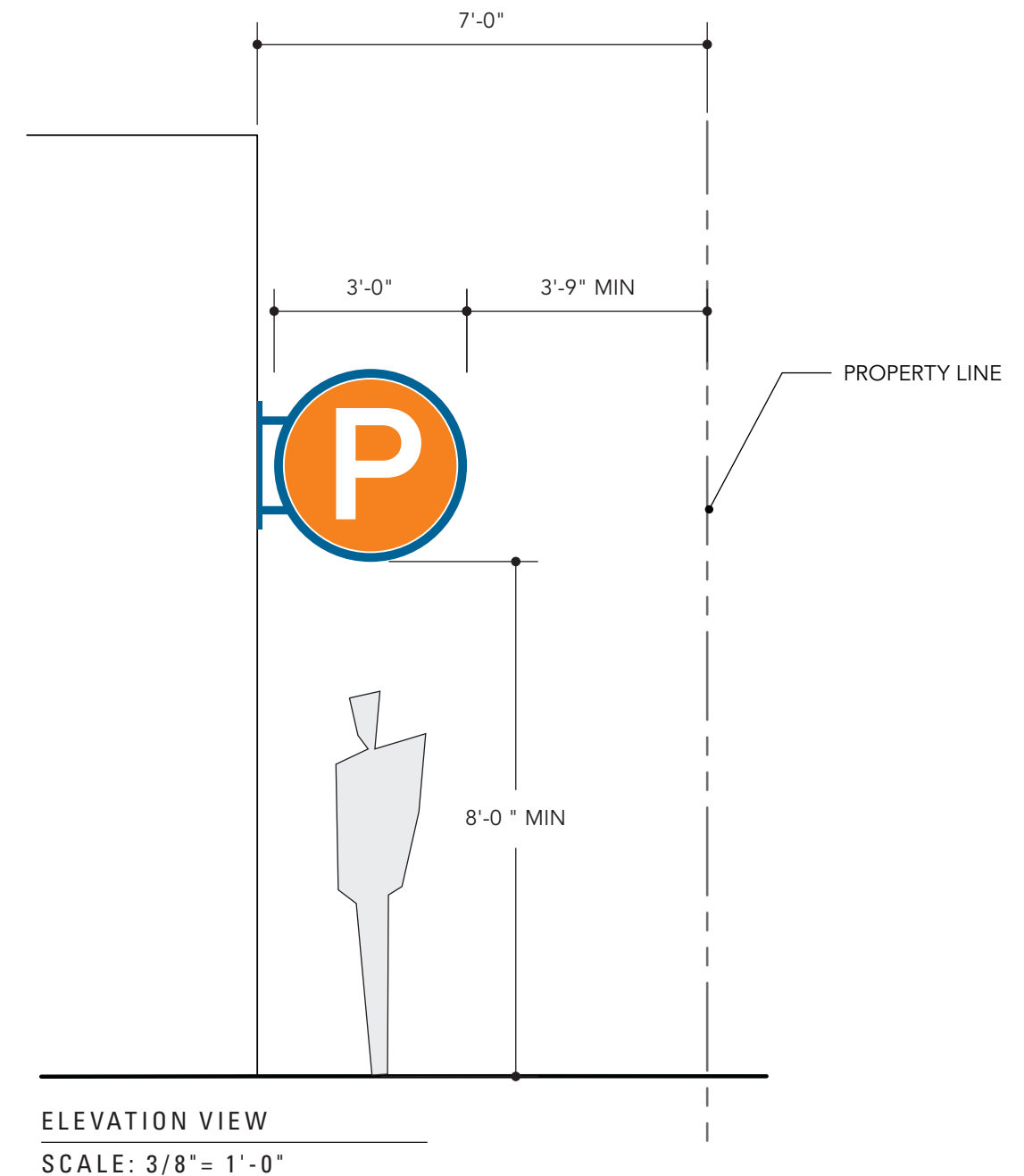
ELEVATION - TYPICAL

SCALE: 3/8" = 1'-0"

PURPOSE	To provide parking location to patrons.
MAXIMUM NUMBER	Two.
LOCATION	Location as indicated in the following exhibits.
ORIENTATION	Perpendicular to building wall.
SIGN COPY	Parking symbol.
MAX. SIGN AREA & SIZE	Width: 3'-0" Height: 3'-0" Sign Area: 9 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Internally illuminated or exposed neon lighting allowed. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Not permitted.
LETTER STYLE	Project font only.
COLORS	Blue, white and orange. <i>Exact finish details to vary.</i>

SIGN TYPE S11

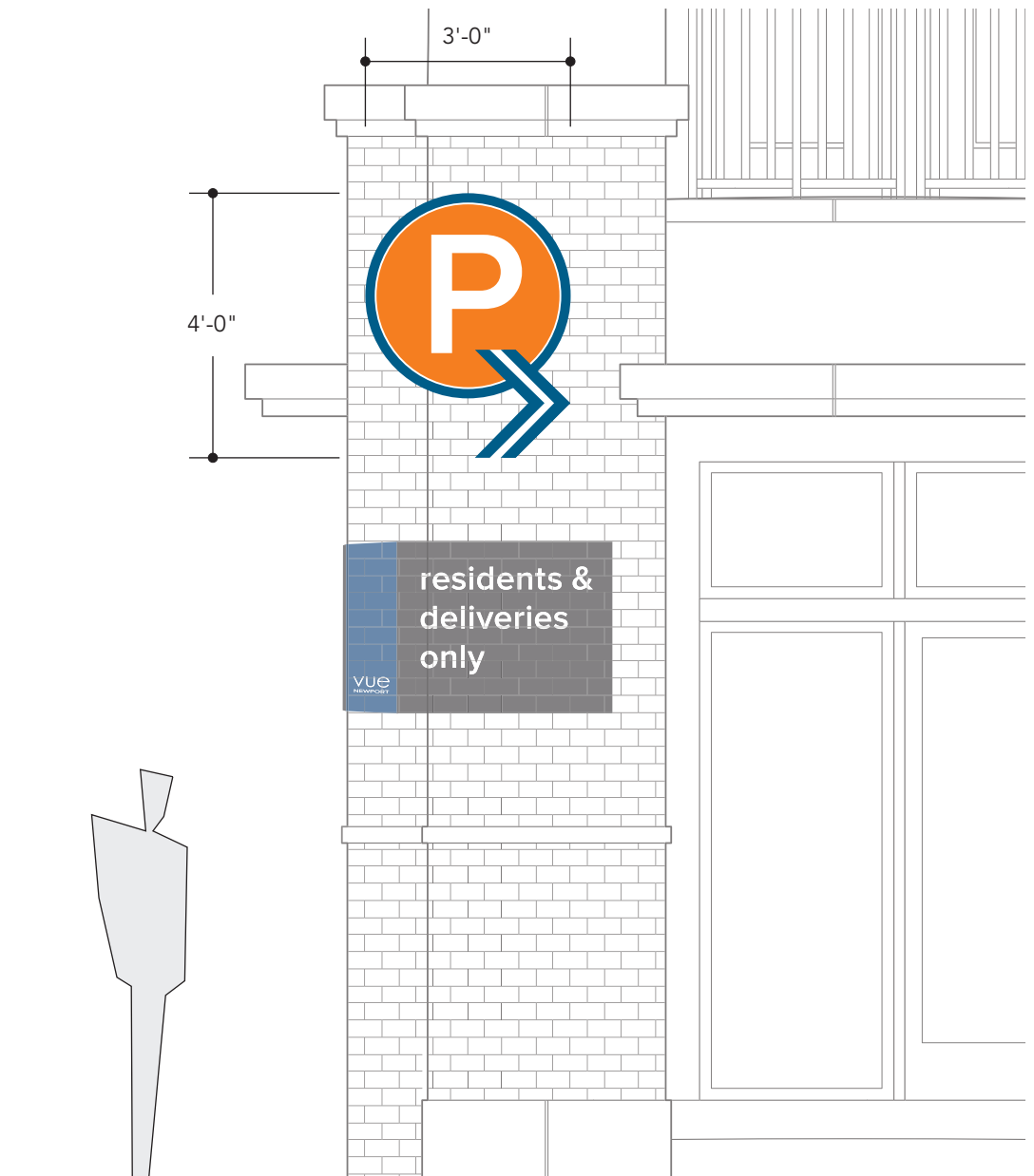
PARKING BLADE SIGN



SIGN TYPE S12

PARKING SIGN

PURPOSE	To provide parking information to patrons.
MAXIMUM NUMBER	One.
LOCATION	Location as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Parking symbol and arrow.
MAX. SIGN AREA & SIZE	Width: 3'-0" Height: 4'-0" Sign Area: 12 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Internally illuminated or exposed neon lighting allowed. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Not permitted.
LETTER STYLE	Project font only.
COLORS	Blue, white and orange. <i>Exact finish details to vary.</i>

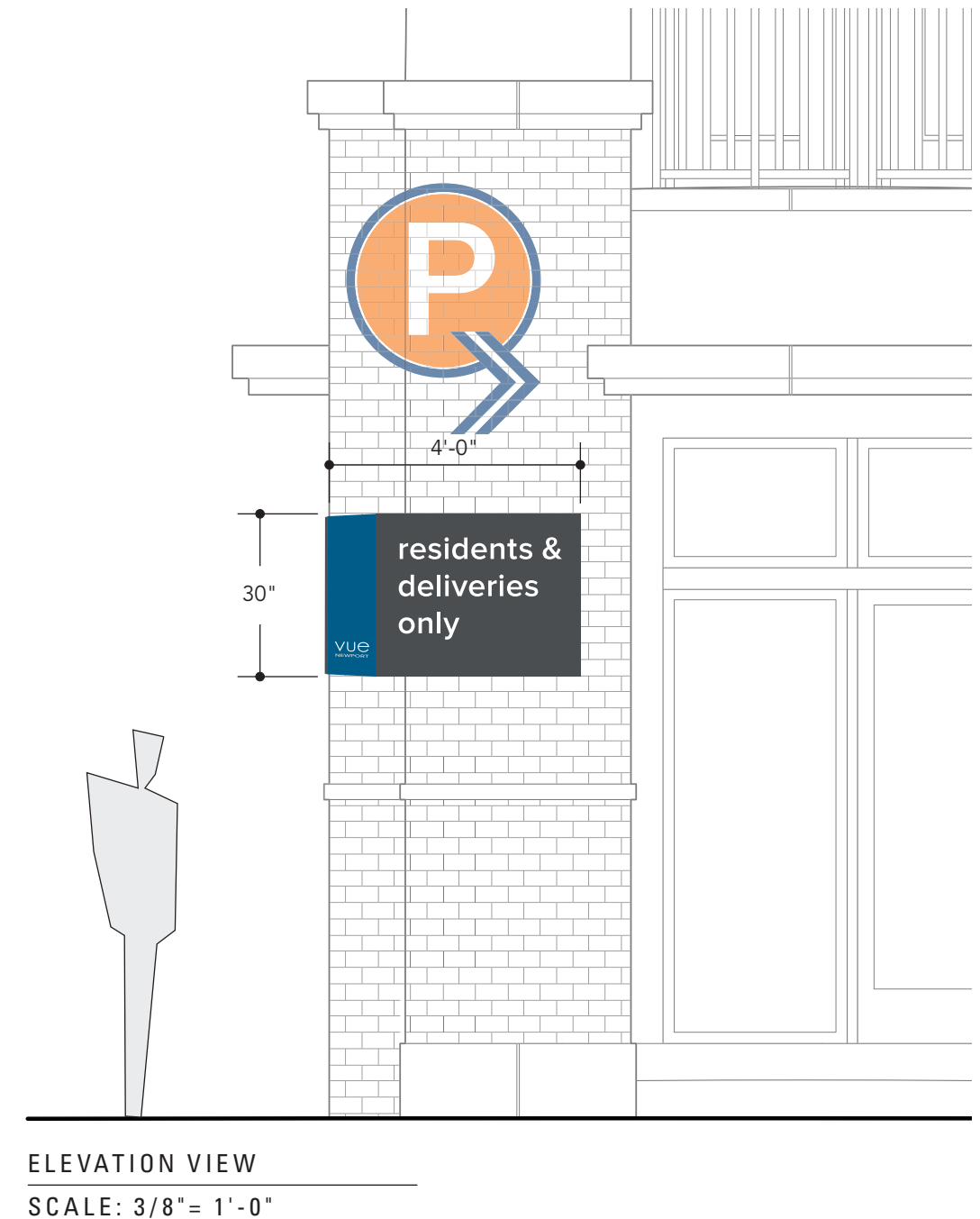


ELEVATION VIEW
SCALE: 3/8" = 1'-0"

PURPOSE	To provide information to patrons.
MAXIMUM NUMBER	One.
LOCATION	Location as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Project name and information copy.
MAX. SIGN AREA & SIZE	Width: 4'-0" Height: 30" Sign Area: 10 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Internally illuminated. No exposed neon lighting allowed. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Project logo only. Must be approved by the Property Owner.
LETTER STYLE	Project font only.
COLORS	Blue, white and gray. <i>Exact finish details to vary.</i>

SIGN TYPE S13

RESIDENTS & DELIVERIES ONLY



PURPOSE

To identify the walkway and business names occupying the building suites within the center.

MAXIMUM NUMBER

One.

LOCATION

Location as indicated in the following exhibits.

ORIENTATION

Parallel to wall toward street, parking lot or pedestrian area.

SIGN COPY

Project name or logo, and up to six business names.

MAX. SIGN AREA & SIZE

Width: 20'-6"
Height: 30"
Sign Area: 52 sq. ft. Max

SIGN CONSTRUCTION

Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.

ILLUMINATION

None.

LOGO / LOGOTYPE

Project logo only. Must be approved by the Property Owner.

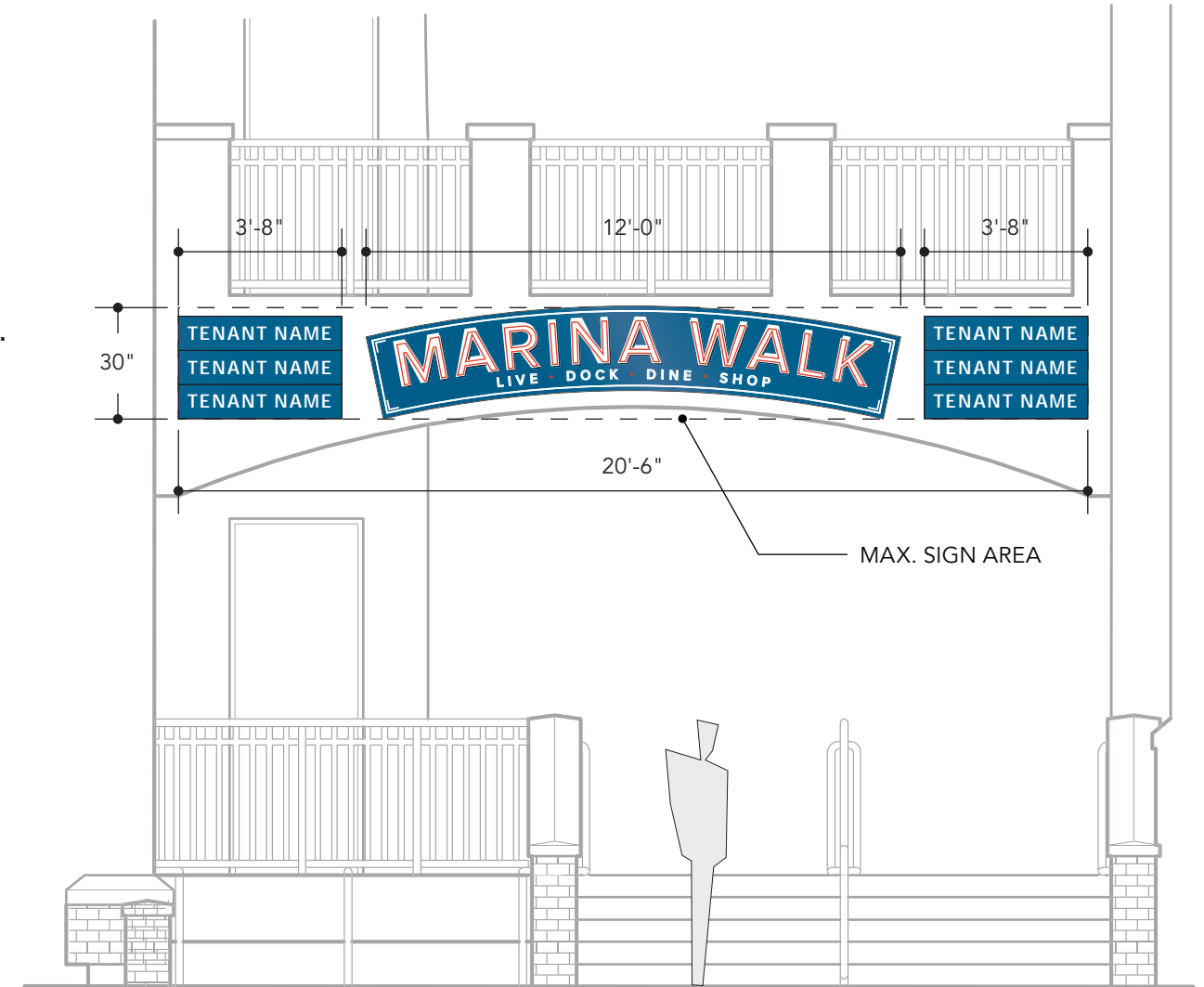
LETTER STYLE

Project font only.

COLORS

Blue, white, orange and gray. *Exact finish details to vary.*

SIGN TYPE S14
WALKWAY ID GRAPHICS

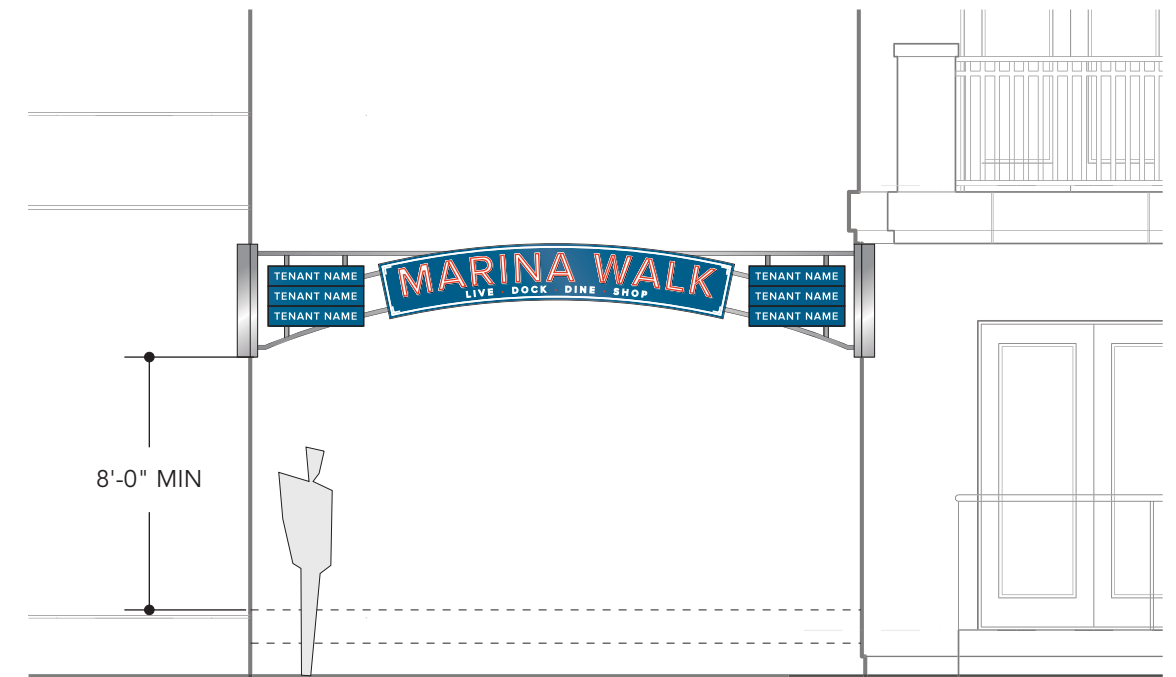


ELEVATION VIEW
SCALE: 1/4" = 1'-0"

PURPOSE	To identify the walkway and business names occupying the building suites within the center.
MAXIMUM NUMBER	One.
LOCATION	Between building C and D.
ORIENTATION	Parallel to Newport Bay.
SIGN COPY	Project name or logo, and up to six business names.
MAX. SIGN AREA & SIZE	Width: 18'-0" Height: 4'-0" Sign Area: 72 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Internally illuminated or exposed neon. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Project logo only. Must be approved by the Property Owner.
LETTER STYLE	Project font only.
COLORS	Blue, white, orange and gray. <i>Exact finish details to vary.</i>

SIGN TYPE S15

WALKWAY ID SIGN



ELEVATION VIEW
SCALE: 3/16" = 1'-0"

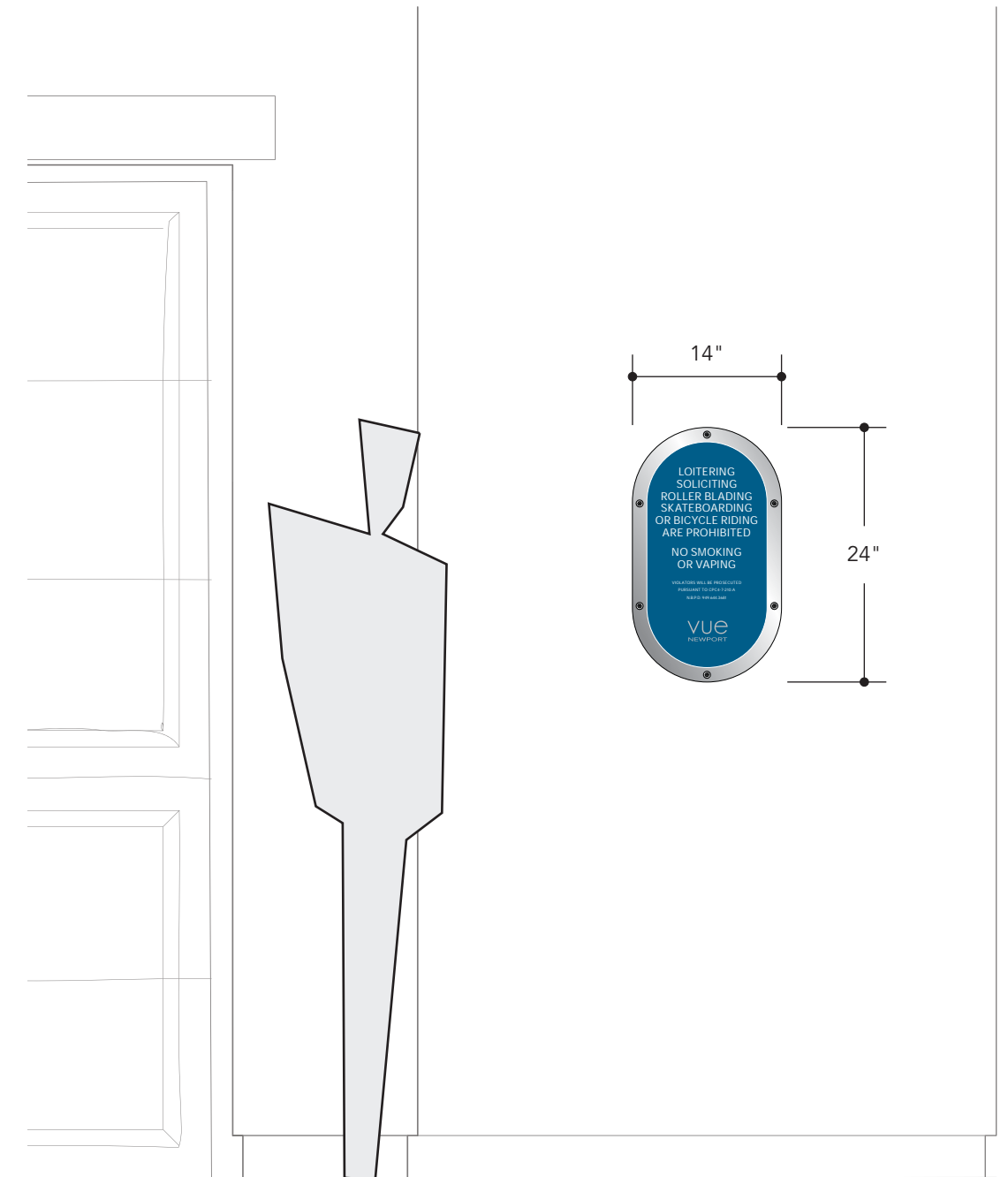


FRONT/BACK DETAIL VIEW
SCALE: 3/8" = 1'-0"

PURPOSE	To provide prohibited information to patrons.
MAXIMUM NUMBER	As needed.
LOCATION	Locations as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Project name and information copy.
MAX. SIGN AREA & SIZE	Width: 14" Height: 24" Sign Area: 3 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Not permitted.
LOGO / LOGOTYPE	Project logo only. Must be approved by the Property Owner.
LETTER STYLE	Project font only.
COLORS	Blue, white, orange and gray. <i>Exact finish details to vary.</i>

SIGN TYPE S16

REGULATORY SIGN



ELEVATION VIEW

SCALE: 3/8" = 1'-0"

PURPOSE	To provide parking information to patrons.
MAXIMUM NUMBER	Two.
LOCATION	Location as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Parking information.
MAX. SIGN AREA & SIZE	Width: 4'-5" Height: 35" Sign Area: 13 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Internally illuminated. No exposed neon lighting allowed.
LOGO / LOGOTYPE	Not permitted.
LETTER STYLE	Project font only.
COLORS	Blue, white and orange. <i>Exact finish details to vary.</i>

SIGN TYPE S17

PARKING RATE SIGN
(INSIDE STRUCTURE)

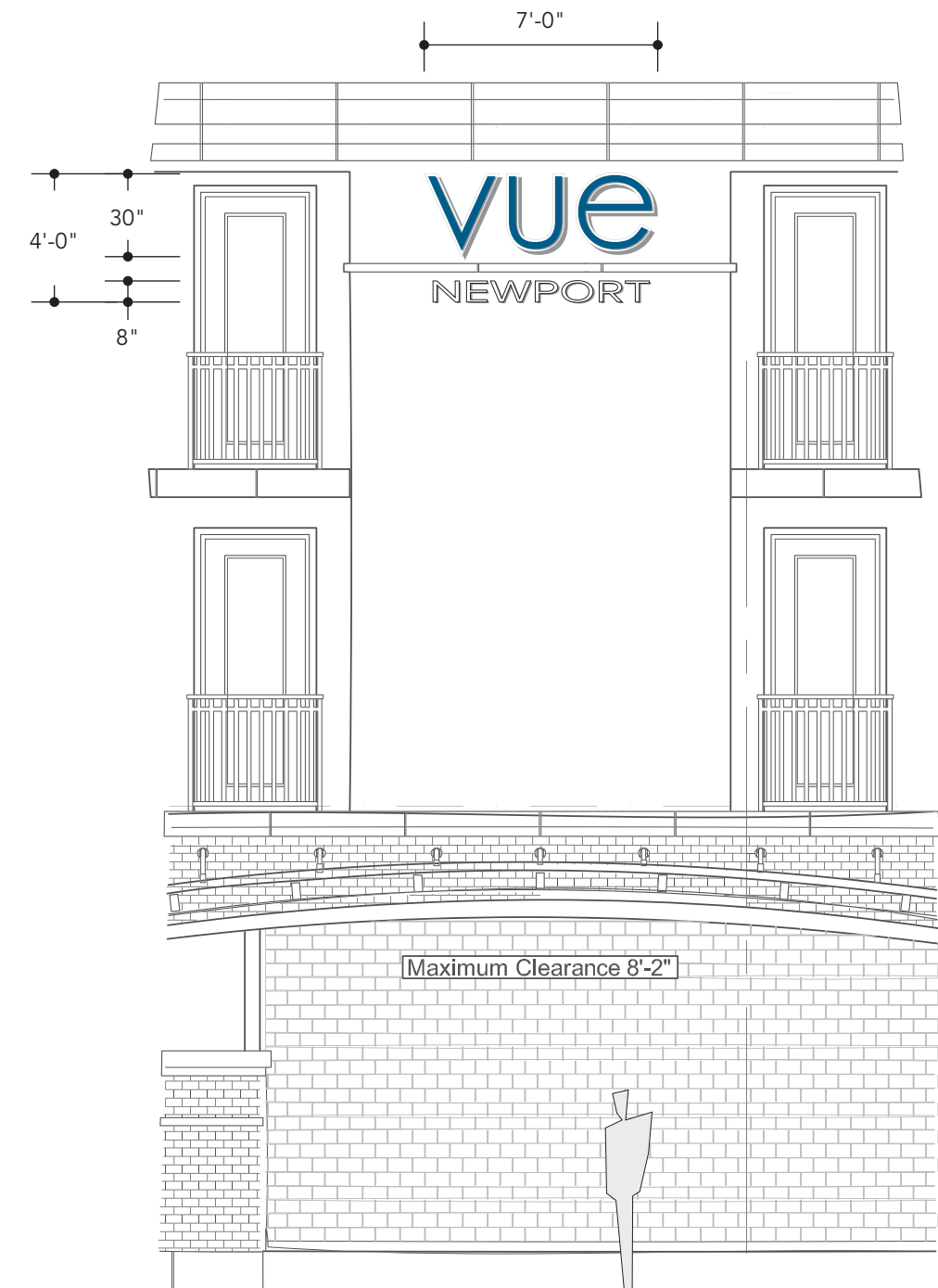


ELEVATION VIEW
SCALE: 3/4" = 1'-0"

SIGN TYPE S18

MEDIUM PROJECT ID

PURPOSE	To identify the center.
MAXIMUM NUMBER	Two.
LOCATION	Locations as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Project name and or logo, two-lines of copy maximum.
MAX. SIGN AREA & SIZE	Width: 7'-0" Height: 4'-0" Sign Area: 28 sq. ft. Max
SIGN CONSTRUCTION	Individual letter and logos only. No cabinet signs or cloud signs allowed. Tenant is only permitted to mount directly to structural mounting system. Align business name to center of aluminum bar to be attached to structural mounting system. Structural mounting system is intended to preserve architectural features/materials. No exposed wiring allowed.
ILLUMINATION	Internally illuminated face-lit or exposed neon. Halo-lit letters are not permitted on or above the second floor. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Project logo only. Must be approved by the Property Owner.
LETTER STYLE	Logo-typefaces permitted. Lettering must be approved by the Property Owner.
COLORS	Logo colors must contrast building facade. <i>Exact finish details to vary.</i>



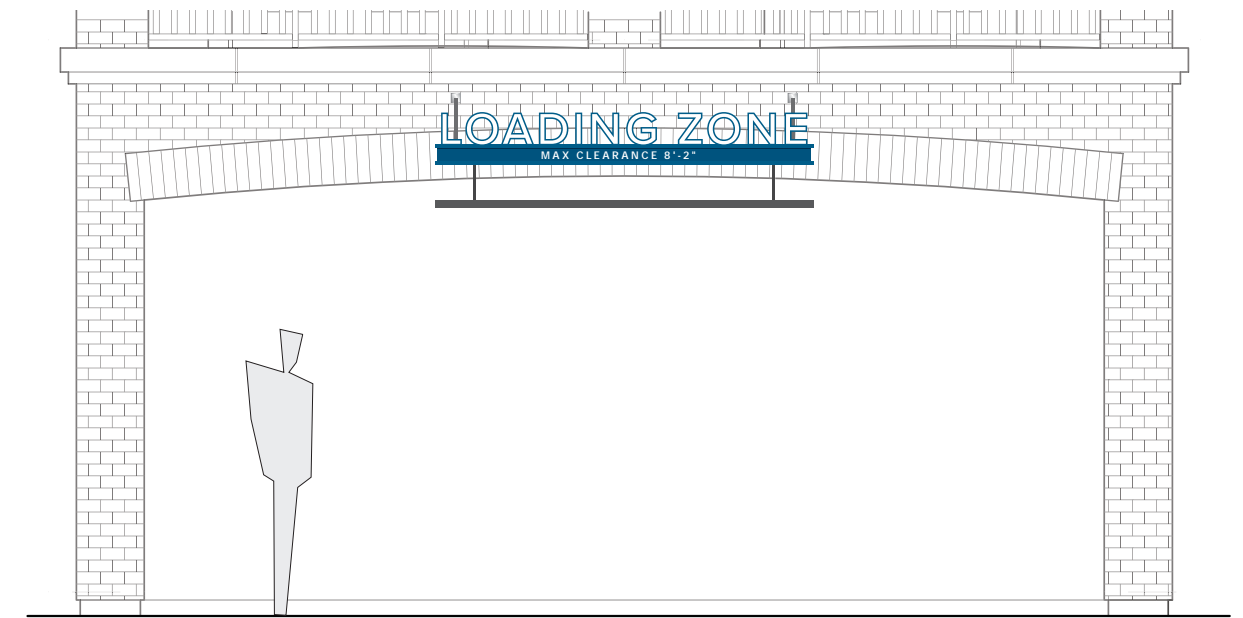
ELEVATION - TYPICAL

SCALE: 3/16" = 1'-0"

PURPOSE	To provide loading information to patrons.
MAXIMUM NUMBER	Five.
LOCATION	Location as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Loading information.
MAX. SIGN AREA & SIZE	Width: 7'-11" Height: 13" Sign Area: 9 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	None.
LOGO / LOGOTYPE	Not permitted.
LETTER STYLE	Project font only.
COLORS	Blue and white. <i>Exact finish details to vary.</i>

SIGN TYPE S19

LOADING ZONE



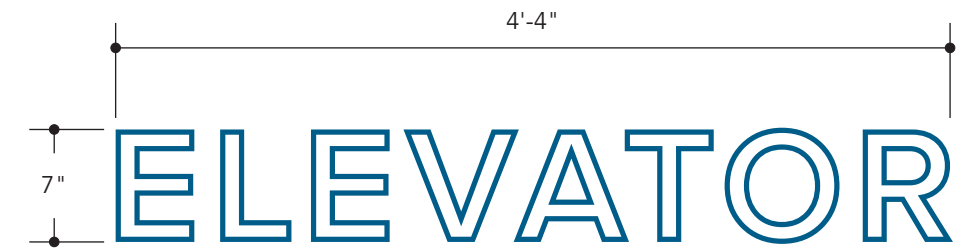
ELEVATION VIEW
SCALE: 1/4" = 1'-0"



DETAIL VIEW
SCALE: 3/4" = 1'-0"

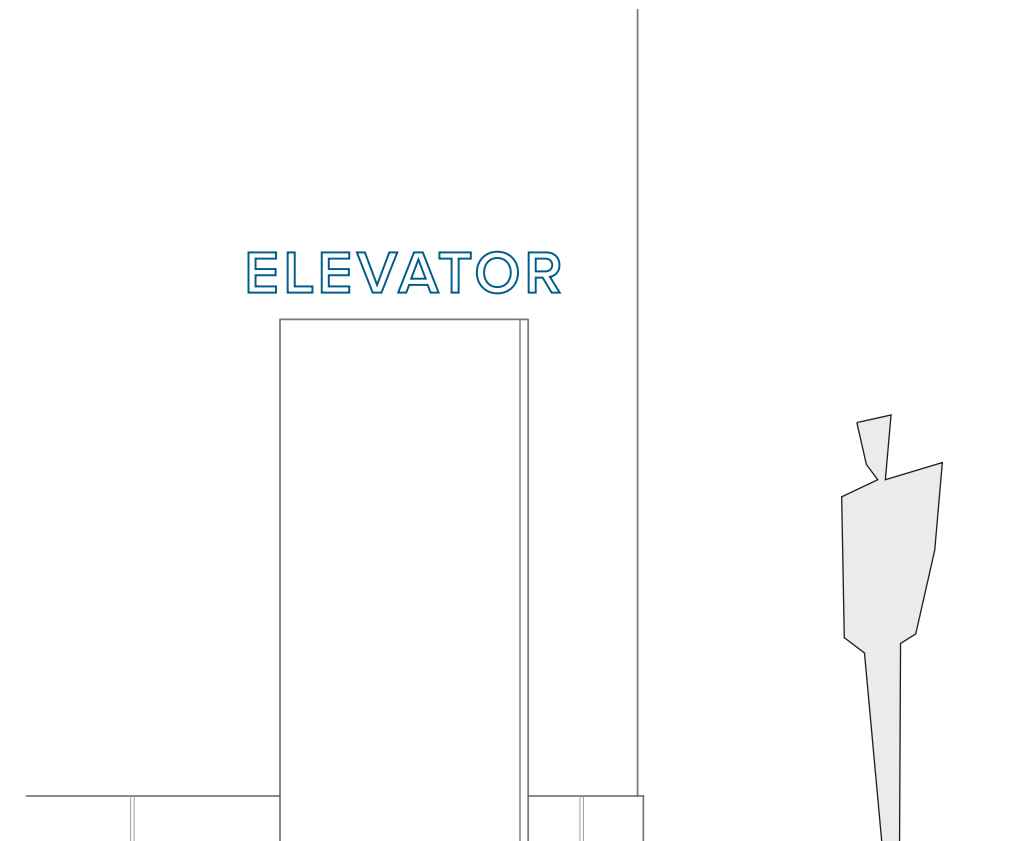
PURPOSE	To provide elevator location to patrons.
MAXIMUM NUMBER	Three.
LOCATION	Location as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Elevator lettering.
MAX. SIGN AREA & SIZE	Width: 4'-4" Height: 7" Sign Area: 3 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	None.
LOGO / LOGOTYPE	Not permitted.
LETTER STYLE	Project font only.
COLORS	Blue and white. <i>Exact finish details to vary.</i>

SIGN TYPE S20
ELEVATOR SIGN



DETAIL VIEW

SCALE: 1" = 1'-0"



ELEVATION VIEW

SCALE: 3/8" = 1'-0"

SIGN TYPE 0

OFFICE TENANT ID

PURPOSE	To identify business names occupying the building suites within the center. Tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on their storefront.
MAXIMUM NUMBER	One sign per tenant per frontage. An individual tenant shall have one sign per building-front elevation, however, multiple signs may be allowed in certain instances for larger tenants as indicated in the following exhibits, note that a single tenant may not have multiple signs on a single frontage.
LOCATION	Mounted to existing structural mounting system installed by Property Owner. Locations as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	One business name and or logo per defined location, two-lines of copy maximum.
MAX. SIGN AREA & SIZE	Width: Varies per elevation (see pages 21.1-21.4) Height: 24" Sign Area: 1.5 times lineal foot of tenant frontage, 75 sq. ft. Max
SIGN CONSTRUCTION	Individual letter and logos only. No cabinet signs or cloud signs allowed. Tenant is only permitted to mount directly to structural mounting system. Align business name to center of aluminum bar to be attached to structural mounting system. Structural mounting system is intended to preserve architectural features/materials. No exposed wiring allowed.
ILLUMINATION	Internally illuminated. No exposed neon lighting is permitted. Halo-lit letters are not permitted on or above the second floor. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Permitted. Must be approved by the Property Owner.
LETTER STYLE	Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all black in color.
COLORS	Tenant logo colors must contrast building facade. <i>Exact finish details to vary.</i>



ELEVATION - TYPICAL

SCALE: 3/16" = 1'-0"

SIGN TYPE 0

OFFICE TENANT ID ELEVATION



BUILDING B - WEST ELEVATION
SCALE: 3/32" = 1'



BUILDING B - EAST ELEVATION
SCALE: 3/32" = 1'

SIGN TYPE 0

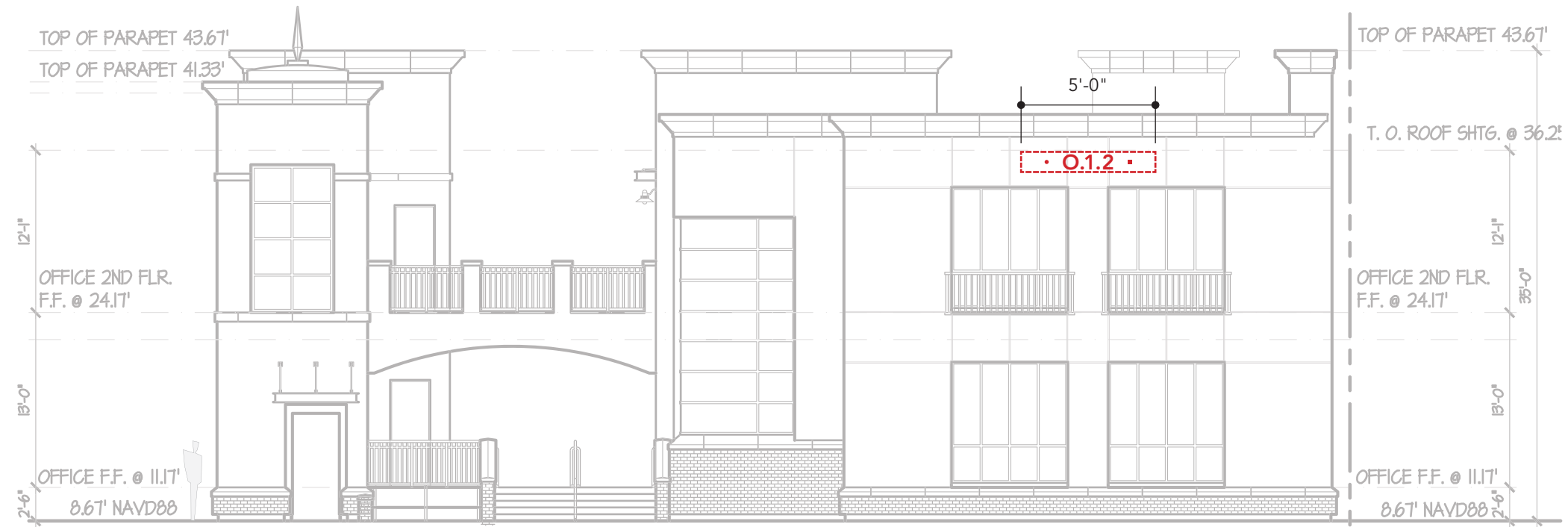
OFFICE TENANT ID ELEVATION



BUILDING B - NORTH ELEVATION
SCALE: 3/32" = 1'

SIGN TYPE 0

OFFICE TENANT ID ELEVATION



BUILDING C - WEST ELEVATION
SCALE: 3/32" = 1'



BUILDING C - EAST ELEVATION
SCALE: 3/32" = 1'

BUILDING D - EAST PARTIAL ELEVATION
SCALE: 3/32" = 1'

SIGN TYPE 0

OFFICE TENANT ID ELEVATION



BUILDING H - WEST ELEVATION
SCALE: 3/32" = 1'



BUILDING H - EAST ELEVATION
SCALE: 3/32" = 1'

SIGN TYPE R

RETAIL TENANT ID

PURPOSE	To identify business names occupying the building suites within the center. Tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on their storefront.
MAXIMUM NUMBER	One sign per tenant per frontage. An individual tenant shall have one sign per building-front elevation, however, multiple signs may be allowed in certain instances for larger tenants as indicated in the following exhibits, note that a single tenant may not have multiple signs on a single frontage.
LOCATION	Mounted to existing structural mounting system installed by Property Owner. Locations as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	One business name and or logo per defined location, two-lines of copy maximum.
MAX. SIGN AREA & SIZE	Width: Varies per elevation (see pages 22.1-22.10) Height: 24" Sign Area: 1.5 times lineal foot of tenant frontage, 75 sq. ft. Max
SIGN CONSTRUCTION	Individual letter and logos only. No cabinet signs or cloud signs allowed. Tenant is only permitted to mount directly to structural mounting system. Align business name to center of aluminum bar to be attached to structural mounting system. Structural mounting system is intended to preserve architectural features/materials. No exposed wiring allowed.
ILLUMINATION	Internally illuminated. No exposed neon lighting is permitted. Halo-lit letters are not permitted on or above the second floor. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Permitted. Must be approved by the Property Owner.
LETTER STYLE	Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all black in color.
COLORS	Tenant logo colors must contrast building facade. <i>Exact finish details to vary.</i>



ELEVATION - TYPICAL
SCALE: 3/16" = 1'-0"

SIGN TYPE R

RETAIL TENANT ID ELEVATION



BUILDING A - WEST ELEVATION A
SCALE: 3/32" = 1'



BUILDING A - WEST ELEVATION B
SCALE: 3/32" = 1'

SIGN TYPE R

RETAIL TENANT ID ELEVATION



BUILDING A - SOUTH ELEVATION
SCALE: 3/32" = 1'



BUILDING A - NORTH ELEVATION
SCALE: 3/32" = 1'

SIGN TYPE R

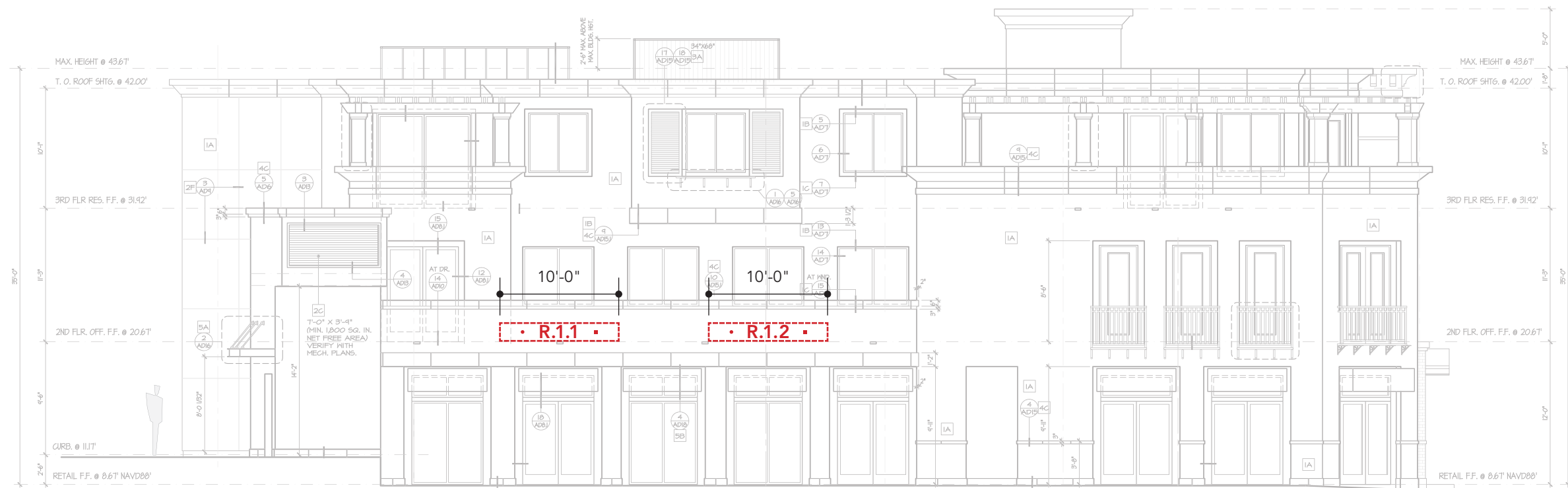
RETAIL TENANT ID ELEVATION



BUILDING B - WEST ELEVATION
 SCALE: 3/32" = 1'

SIGN TYPE R

RETAIL TENANT ID ELEVATION



BUILDING B - NORTH ELEVATION
SCALE: 3/32" = 1'

SIGN TYPE R

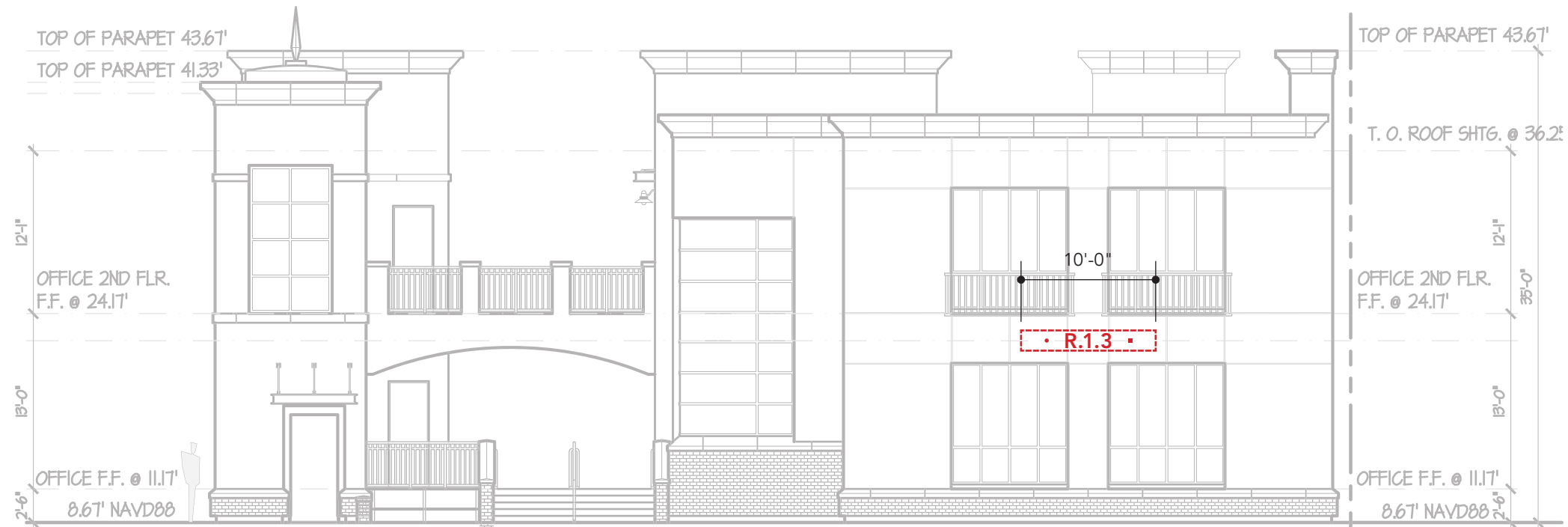
RETAIL TENANT ID ELEVATION



BUILDING C - NORTH ELEVATION
SCALE: 3/32" = 1'

SIGN TYPE R

RETAIL TENANT ID ELEVATION



BUILDING C - WEST ELEVATION
SCALE: 3/32" = 1'



BUILDING C - EAST ELEVATION
SCALE: 3/32" = 1'

BUILDING D - EAST PARTIAL ELEVATION
SCALE: 3/32" = 1'

SIGN TYPE R

RETAIL TENANT ID ELEVATION



BUILDING D - EAST ELEVATION
 SCALE: 3/32" = 1'



BUILDING G - EAST ELEVATION
 SCALE: 3/32" = 1'

SIGN TYPE R

RETAIL TENANT ID ELEVATION



BUILDING E - NORTH ELEVATION
SCALE: 3/32" = 1'



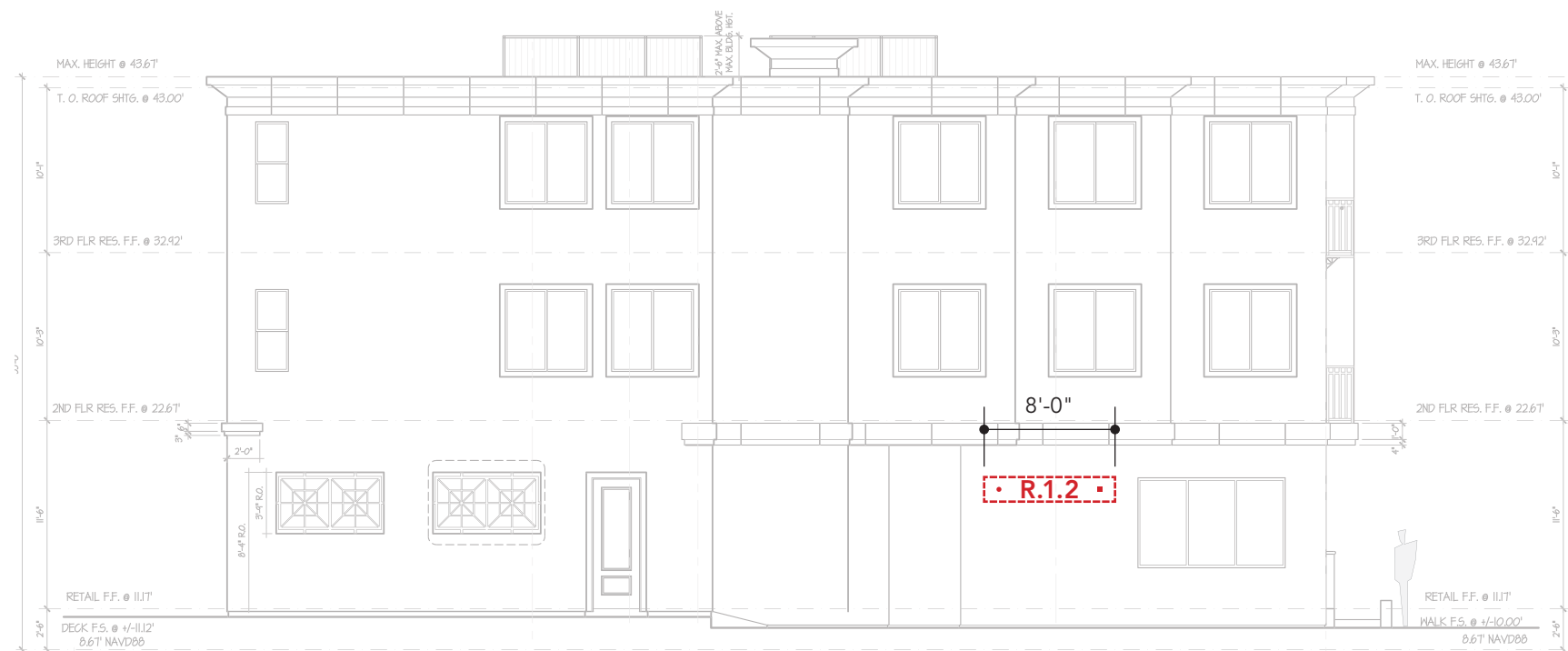
BUILDING E - EAST ELEVATION
SCALE: 3/32" = 1'

SIGN TYPE R

RETAIL TENANT ID ELEVATION



BUILDING F - EAST ELEVATION
SCALE: 3/32" = 1'



BUILDING F - SOUTH ELEVATION
SCALE: 3/32" = 1'

SIGN TYPE R

RETAIL TENANT ID ELEVATION



BUILDING H - EAST ELEVATION
SCALE: 3/32" = 1'