CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION ACTION REPORT

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

FROM: Kimberly Brandt, Community Development Director
Brenda Wisneski, Deputy Community Development Director

SUBJECT: Report of actions taken by the Zoning Administrator and/or Planning Division staff for the week ending July 28, 2017.

ZONING ADMINISTRATOR ACTIONS
JULY 27, 2017

Item 1: 4020 Channel Place Coastal Development Permit No. CD2017-045 (PA2017-101)
Site Address: 4020 Channel Place

Action: Approved by Resolution No. ZA2017-054 Council District 1

Item 2: Balboa Island Seawall Improvements No. CD2017-033 (PA2017-078)
Site Address: North and South Bay Front, Balboa Island

Action: Approved by Resolution No. ZA2017-055 Council District 5

COMMUNITY DEVELOPMENT DIRECTOR OR PLANNING DIVISION STAFF ACTIONS
(Non-Hearing Items)

Item 1: Staff Approval No. SA2016-003 (PA2016-045)
Site Address: 330 Morning Canyon Road

Action: Approved Council District 6

Item 2: Staff Approval No. SA2016-007 (PA2016-071)
Site Address: 324 Morning Canyon Road

Action: Approved Council District 6

Item 3: Coastal Development Permit Waiver No. CD2017-034 (PA2017-081)
Site Address: 128 40th Street

Action: Approved Council District 1

Item 4: Coastal Development Permit Waiver No. CD2017-043 (PA2017-098)
Site Address: 216 Evening Canyon Road

Action: Approved Council District 6

Item 5: Staff Approval No. SA2017-005 (PA2017-119)
Site Address: 1 Hoag Drive

Action**:** Approved Council District 2

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

cc:

Lt. Damon Psaros, NBPD (*Telecom Permit)*

RESOLUTION NO. ZA2017-054

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2017-045 TO DEMOLISH AN EXISTING SINGLE-FAMILY RESIDENCE LOCATED AT 4020 CHANNEL PLACE (PA2017-101)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Joe Foster, with respect to property located at 4020 Channel Place and legally described as Lot 11 of Block 441 requesting approval of a Coastal Development Permit.

2. The applicant requests a coastal development permit to demolish an existing 1,560-square-foot, single-family residence and 235-square-foot garage.

3. The subject property is located within the Two-Unit Residential (R-2) Zoning District and the General Plan Land Use Element category is Two-Unit Residential (RT).

4. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Two-Unit Residential – 20.0 – 29.9 DU/AC (RT-D) and the Coastal Zoning District is Two-Unit Residential (R-2).

5. A public hearing was held on July 27, 2017, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations (Section 15301, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Existing Facilities).

2. Class 1 includes the demolition and removal of small structures including one single-family residence. The proposed project includes the demolition of an existing single-family residence located in the R-2 Coastal Zoning District.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Coastal Development Permits) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

A. Conforms to all applicable sections of the certified Local Coastal Program.

Facts in Support of Finding:

1. The subject property is currently developed with a single-family residence on an existing lot designated for residential development by the Local Coastal Program. The project applicant requests to demolish the existing single-family residence. Subsequent construction of a new residence will require a separate coastal development permit at a later date.

2. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code and Building Division standards and policies.

3. The property is located within 100 feet of coastal waters. The project design addresses water quality with a construction erosion control plan and a post construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event run-off on-site. Any water not retained on-site is directed to the City's storm drain system.

4. The property is not located near designated public view points or coastal view roads and will not impact public coastal views.

Finding:

B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.

Fact in Support of Finding:

1. The project site is located between the nearest public road and the sea or shoreline and demolition of the existing residence will not affect public recreation or access.

2. Adequate public access to the sea exists on Channel Place, 40th Street, 39th Street, and Marcus Avenue. The proposed demolition of the existing residence shall not interfere with existing public access to the sea.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2017-045, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.

2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Planning and Zoning, of the Newport Beach Municipal Code.

PASSED, APPROVED, AND ADOPTED THIS 27TH DAY OF JULY, 2017.

Patrick J. Alford, Zoning Administrator

EXHIBIT "A"

CONDITIONS OF APPROVAL

1. The development (the demolition of an existing single-family dwelling, garage, and appurtenant facilities) shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval, (except as modified by applicable conditions of approval).

2. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.

3. Coastal Development Permit No. CD2017-045 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.

4. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.

5. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.

6. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.

7. Prior to issuance of the building permits, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.

8. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or the leasing agent.

9. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, wetland or their buffers.

10. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented prior to and throughout the duration of construction activity as designated in the Construction Pollution Prevention Plan (CPPP).

11. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.

12. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stock piles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.

13. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.

14. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of 4020 Channel Place Demolition CDP including, but not limited to, Coastal Development Permit No. CD2017-045 (PA2017-101). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

RESOLUTION NO. ZA2017-055

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2017-033 TO ALLOW THE INSTALLATION OF A 9-INCH CONCRETE CAP ON THE TOP OF EXISTING SEAWALLS LOCATED ALONG THE NORTH AND SOUTH BAY FRONT BOARDWALK (PA2017-078)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by the City of Newport Beach Public Works Department, with respect to the North and South Bay Front boardwalk seawall located on Balboa Island, requesting approval of a Coastal Development Permit.

2. The applicant proposes to install an approximate 9-inch high concrete cap on top of the existing Balboa Island seawalls along the North and South Bay Front boardwalk. The project also includes three-foot wide gaps in the seawall cap to preserve access to public docks and waterside beaches. The gaps will accommodate temporary removable barriers that will be installed to provide flood protection during high tide and storm surge events. Short concrete step segments on the landward side of the existing seawall cap will also be installed at private docks and gangways to facilitate access. Routine seawall maintenance and minor repairs are also part of the project. No improvements seaward of the existing seawall are included in the project.

3. The subject property is public right of way and not located in a Zoning District or designated General Plan Land Use Element category.

4. The subject property is located within the coastal zone. The boardwalk and seawall are located in the public right of way and does not have a designated Coastal Land Use Plan category or Coastal Zoning District.

5. A public hearing was held on July 27, 2017, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15301, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 1 (Existing Facilitates).

2. Class 1 exempts the operation, repair, maintenance, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond the existing use. The existing seawall located along North and South Bay Front will remain in place. Alterations to the seawall will consist of the installation of an approximate 9-inch high concrete cap on the existing wall, as well as short concrete step segments at private docks and gangways to facilitate access. Routine maintenance and repairs will also be performed where necessary. The increased height of the existing seawalls will provide enhanced flood protection for Balboa Island and the public walkway. The position and location of the existing seawall will not be altered. Gaps in the cap will be located at street ends and beaches to maintain existing public access. Temporary barriers will be used to fill the gaps during high tide to provide consistent flood protection. The project complies with all applicable Local Coastal Program (LCP) standards.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Coastal Development Permits, Findings and Decision) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

A. Conforms to all applicable sections of the certified Local Coastal Program.

Facts in Support of Finding:

1. The improvement of the existing seawall will protect existing coastal public access and other existing development on Balboa Island. The 9-inch concrete cap and associated repairs and maintenance do not enlarge the footprint nor extend seaward of the existing seawall.
2. The existing seawall is structurally able to accommodate the approximate 9-inch high concrete cap. Existing geological conditions and erosional and shoreline processes will not be altered by the addition of the 9-inch cap.
3. The approximate 9-inch high concrete cap will result in a seawall approximately 3.35 feet higher than the adjacent boardwalk at its highest point, so public views will not be impacted.
4. The projected sea level rise used in the Everest Study as the basis for the 9-inch increase is consistent with the California Coastal Commission Sea Level Policy Guidance and the 2030 sea level rise forecast.
5. The approximate 9-inch high cap option was chosen as an interim, preventative measure until a more comprehensive plan can be designed, funded, and implemented by the City.
6. The construction contractor will implement a Construction Pollution Prevention Plan and BMPs to ensure water quality impacts are avoided during construction.

Finding:

B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.

Fact in Support of Finding:

1. The seawall is located on the seaward side of the public boardwalk located along North and South Bay Front. The position and location of the existing seawall will not be altered. Existing gaps in the seawall providing vertical public access located at street ends, beaches, and public docks will be maintained.
2. Temporary barriers will only be inserted into the gaps prior to high tide and storm surge events and removed soon thereafter. Tidal and storm events will be monitored by the Public Works Department and Harbor Resources Division. The barriers will be installed approximately 48 hours in advance of a potential flooding event and removed within 48 hours after the event.
3. Construction will take place at seventeen work areas, each approximately 450 feet long. No more than three non-consecutive work areas will be active at any given time to ensure the majority entire boardwalk remains open for public access during the expected 9-month construction period.
4. Public access to the boardwalk during construction will be maintained. Typical construction days will occupy half (5 feet) of the boardwalk adjacent to the seawall at a given time. In instances where the entire boardwalk must be closed to perform work or for safety purposes, signage will direct pedestrians to a detour around the construction area consistent with the approved construction access and management plan.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2017-033, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.

2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 27TH DAY OF JULY, 2017.

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Patrick J. Alford, Zoning Administrator

EXHIBIT "A"

CONDITIONS OF APPROVAL
(project specific conditions are italicized)

1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval). The Community Development Director may approve additional vertical access points where necessary to maintain existing levels of public access.

2. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain, or result in impacts to environmentally sensitive habitat areas, streams, wetland or their buffers.

3. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented prior to and throughout the duration of construction activity as designated in the Construction Pollution Prevention Plan (CPPP).

4. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.

5. Debris from any demolition or construction shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stock piles and construction materials shall be covered, enclosed on all sides, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.

6. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.

7. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new Coastal Development Permit.

8. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.

9. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.

10. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare, or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.

11. *Prior to the commencement construction, a final construction public access and management plan shall be reviewed and approved by the Public Works Director.*

12. *If construction activities occur during the defined bird nesting season of February 1 through August 15, a nesting bird survey shall be conducted by a qualified biologist. If potential impacts are identified, the contractor shall follow the recommendations and requirements of the qualified biologist.*

13. Prior to issuance of building permits, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Coastal Development file. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Coastal Development Permit.

14. This Coastal Development Permit No. CD2017-033 (PA2017-078) shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.

COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
949-644-3200
www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER

Application: **Staff Approval No. SA2016-003 (PA2016-045)**

Applicant/Owner: **Phillip Case**

Site Location: **330 Morning Canyon Road**
Staff Approval Establishing Predominant Line of Existing Development

Legal Description: **Lot 76 of Tract 1116, as shown on a map recorded in Book 36, Pages 19 through 20 inclusively of Miscellaneous Maps in the Office of the County Recorder, County of Orange, State of California.**

On **July 28, 2017**, the Community Development Director approved Staff Approval No. SA2016-003, establishing the predominant line of existing development pursuant to Newport Beach Municipal Code (NBMC) Section 21.28.050(C).

PROJECT SUMMARY

Construction of retaining walls, stairs and landscaping on the slope to the east of the existing single-family residence.

GENERAL PLAN/ZONING/LOCAL COASTAL PROGRAM

- **General Plan:** RS-D (Single Unit Residential Detached)
- **Zoning:** R-1-6000 (Single-Unit Residential)
- **Local Coastal Program:**
    - RSD-A: Single Unit Residential Detached - (0.0 - 5.9 DU/AC)
    - R-1-6000-C: Single-Unit Residential (6000 indicates minimum lot area), Canyon Overlay District

I. PROJECT DESCRIPTION

Construction of retaining walls, stairs and landscaping on the slope to the east of the existing residence sited within the predominant line of existing development established by NBMC Section 21.28.050(C).

II. PROPOSED CHANGES

None

III. BACKGROUND

The subject property was developed with a single-family residence in 1948. An addition to the home was permitted and constructed in 1956. In 2014 or 2015, a retaining wall and stairs were constructed to the east of the residence. The applicant has requested a determination and identification of the predominant line of existing development pursuant to NBMC Section 21.28.050(C) prior to building permit application processing.

IV. DETERMINATION

Properties within the Canyon Overlay District are subject to NBMC Section 21.28.050(C) that prohibits development beyond the predominant line of existing development on canyon faces by establishing a development stringline where a line is drawn between nearest adjacent corners of existing structures on either side of the subject property. Based upon accessory improvements on the subject property and on adjacent properties identified by field inspection and aerial photography, the predominant line of existing development hereby identified as shown on Attachment CD 2.

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development within fourteen (14) days following the date of the action. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

On behalf of Kimberly Brandt, AICP, Community Development Director

By: James Campbell, Principal Planner

J W Campbell

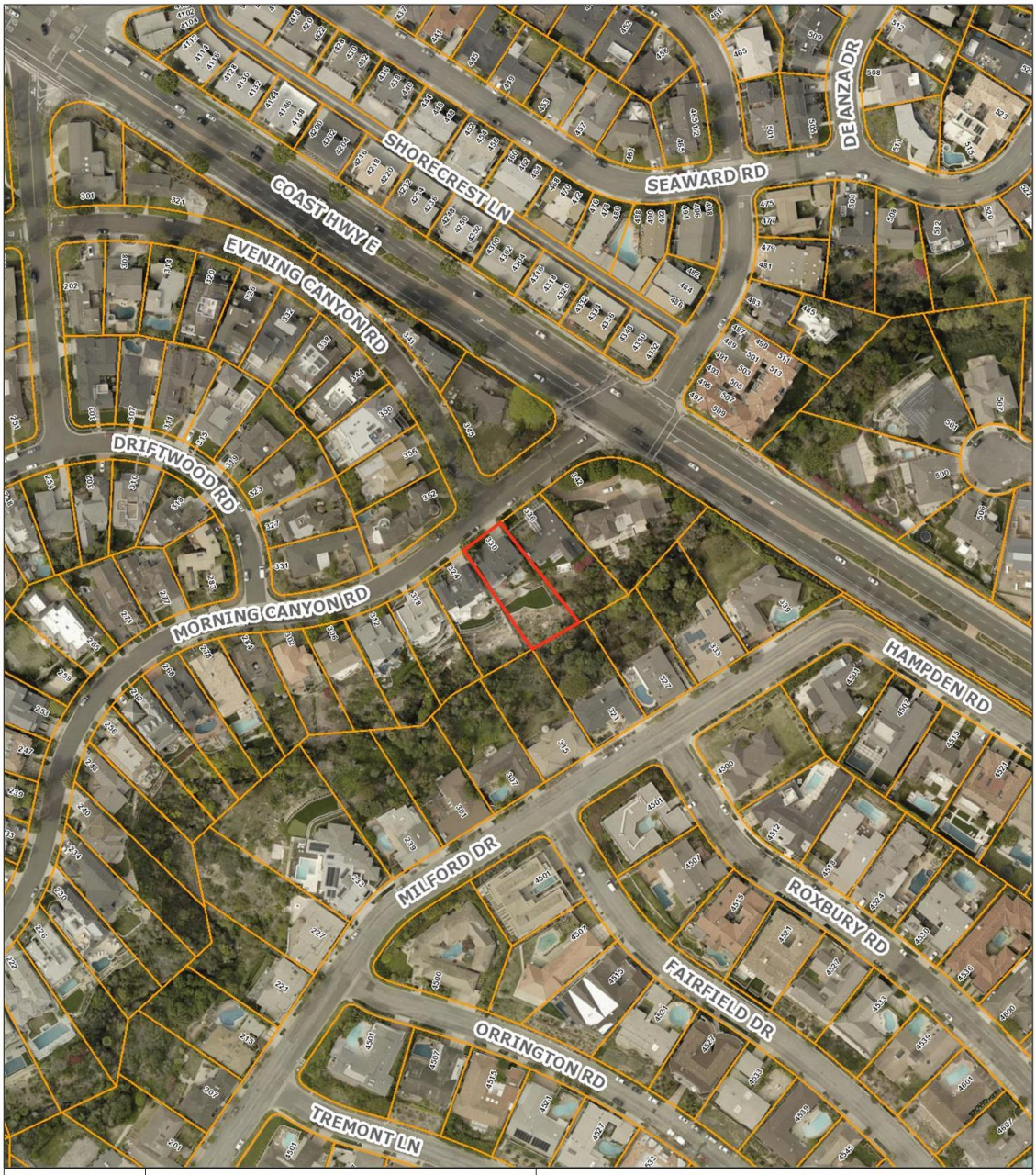
James Campbell, Principal Planner

Attachments: CD 1 Vicinity Map
CD 2 Predominant Line of Existing Development Exhibit.

Attachment No. CD 1

Vicinity Map

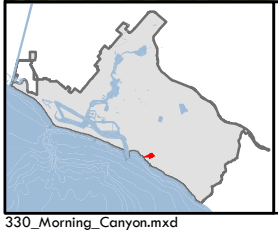
VICINITY MAP



Staff Approval No. SA2016-003
PA2016-045
330 Morning Canyon Road

Attachment No. CD 2

Predominant Line of Existing
Development



330 Morning Canyon Rd

City of Newport Beach
GIS Division
July 19, 2017

330_Morning_Canyon.mxd

COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
949-644-3200
www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER

Application: **Staff Approval No. SA2016-007 (PA2016-071)**

Applicant/Owner: **Gerald and Donna Johnston**

Site Location: **324 Morning Canyon Road**
Staff Approval Establishing the Predominant Line of Existing Development for Accessory Improvements

Legal Description: **Lot 77 of Tract 1116, as shown on a map recorded in Book 36, Pages 19 through 20 inclusively of Miscellaneous Maps in the office of the County Recorder, County of Orange, State of California.**

On **July 28, 2017**, the Community Development Director approved Staff Approval No. SA2016-007, establishing the predominant line of existing development pursuant to Newport Beach Municipal Code (NBMC) Section 21.28.050(C).

PROJECT SUMMARY

Construction of retaining walls, stairs and landscaping on the slope to the east of the existing single-family residence.

GENERAL PLAN/ZONING/LOCAL COASTAL PROGRAM

- **General Plan:** RS-D (Single Unit Residential Detached)
- **Zoning:** R-1-6000 (Single-Unit Residential)
- **Local Coastal Program:**
    - RSD-A Single Unit Residential Detached - (0.0 - 5.9 DU/AC)
    - R-1-6000-C: Single-Unit Residential (6000 indicates minimum lot area), Canyon Overlay District

I. PROJECT DESCRIPTION

Construction of retaining walls, stairs and landscaping on the slope to the east of the existing residence sited within the predominant line of existing development established by NBMC Section 21.28.050(C).

II. PROPOSED CHANGES

None

III. BACKGROUND

The subject property was developed with a single-family residence in 1957. Subsequent to the construction of the existing residence, the City established new development standards. The structure encroached within the front and side setback areas and the garage does not meet minimum interior dimensions. As a result, the structure is a legal nonconforming structure as it was legally established and is inconsistent with applicable Zoning Development Standards.

On August 15, 2012, the Zoning Administrator approved Modification Permit No. MD2012-013 allowing limited additions and the remodeling of the nonconforming structure. The existing residence was remodeled in 2013 and 2014 consistent with the approved modification permit. Subsequent to the completion of the 2013-2014 remodeling of the home, retaining walls, stairs and landscaping were constructed to the east of the residence. The applicant has requested a determination and identification of the predominant line of existing development pursuant to the Local Coastal Program prior to a building permit application processing.

IV. DETERMINATION

Properties within the Canyon Overlay District are subject to NBMC Section 21.28.050(C) that prohibits development beyond the predominant line of existing development on canyon faces by establishing a development stringline where a line is drawn between nearest adjacent corners of existing structures on either side of the subject property. Based upon accessory improvements on the subject property and on adjacent properties identified by field inspection and aerial photography, the predominant line of existing development hereby identified as shown on Attachment CD 2.

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development within fourteen (14) days following the date of the action. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

On behalf of Kimberly Brandt, AICP, Community Development Director

By: James Campbell, Principal Planner

J W Campbell

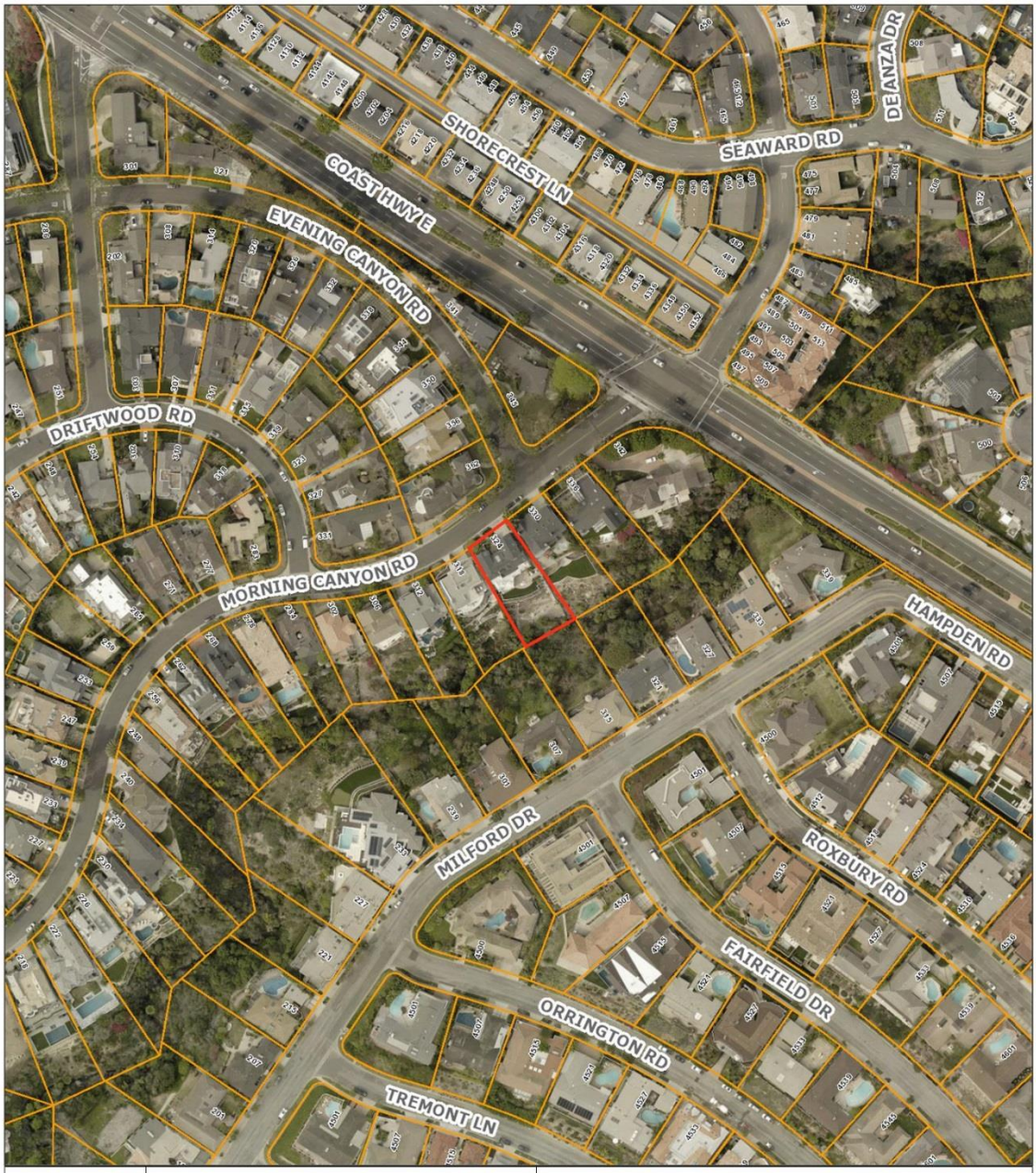
James Campbell, Principal Planner

Attachments: CD 1 Vicinity Map
CD 2 Predominant Line of Existing Development Exhibit.

Attachment No. CD 1

Vicinity Map

VICINITY MAP



Newport Beach GIS

0 200 400
Feet

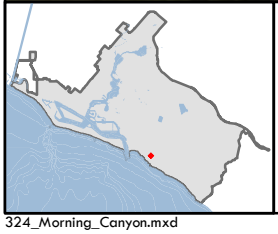
Disclaimer: Every reasonable effort has been made to assure the accuracy of the data provided, however, The City of Newport Beach and its employees and agents disclaim any and all responsibility from or relating to any results obtained in its use.

Imagery: 2009-2013 photos provided by Eagle Imaging www.eagleaerial.com

5/4/2017

Attachment No. CD 2

Predominant Line of Existing
Development



324 Morning Canyon Rd

NEWPORT BEACH GIS

City of Newport Beach
GIS Division
July 19, 2017

324_Morning_Canyon.mxd

COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
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COASTAL DEVELOPMENT PERMIT
WAIVER FOR DE MINIMIS DEVELOPMENT

Application No.	**Coastal Development Permit Waiver No. CD2017-034 (PA2017-081)**
Applicant	**RA Jeheber Residential Design, Inc.**
Site Location	**128 40th Street**
Legal Description	**Lot 15 and Block 39 of River Section Tract in the City of Newport Beach, Orange County, California**
Determination Date:	**July 28, 2017**

DETERMINATION

The Community Development Director hereby waives the requirement for a Coastal Development Permit pursuant to Section 21.52.055 (Waiver for De Minimis Permit) of the City of Newport Beach Local Coastal Program Implementation Plan. The issuance of this Waiver for De Minimis Development is based on the project plans and information provided by the applicant. If, at a later date, this information is found to be incorrect or the plans revised, this decision will become invalid; and any development must cease until an amendment to this Waiver for De Minimis Development is obtained or, a Coastal Development Permit is obtained or, any discrepancy is resolved.

REQUEST/PROJECT DESCRIPTION

Addition of 252 square feet of living space to an existing two-story duplex. The proposal also includes an addition of 418 square feet of deck area on the third floor and 428 square feet of loggia space. The proposed project will reach a maximum height of 29 feet and total 2,791 square feet, including the garage. The existing duplex provides one parking space for each unit in a shared two car garage, where the Newport Beach Municipal Code (NBMC) requires two parking spaces per dwelling unit (four total). Therefore, the enclosed square footage addition is limited to a 10 percent addition (254 square feet) pursuant to Section 21.38.060 (Nonconforming Parking) of the NBMC. The project complies with the associated requirements of NBMC Section 21.38.060 and all other development standards, thus no deviations are requested.

ZONING DISTRICT/GENERAL PLAN

- **Coastal Zoning District**: R-2 (Two-Unit Residential)
- **Coastal Land Use Category:** RT-E (Two Unit Residential 30.0 – 39.9 DU/AC)

DISCUSSION

A project is eligible as "de minimis" development under Section 21.52.055 (Waiver for De Minimis Development) of the Local Coastal Program, and therefore, eligible to receive a waiver from the requirement to obtain a Coastal Development Permit if it:

1) Is located within the Coastal Commission's permit jurisdiction or appeal area,
2) Does not require a local public hearing,
3) Does not have the potential for any adverse effect, either individually or cumulatively, on coastal resources, and
4) Is consistent with the certified Local Coastal Program.

Additionally, projects must be located in areas where similar projects have been approved as a routine matter without special conditions, opposition, or have probable public controversy.

The subject property is located in the R-2 (Two-Unit Residential) Coastal Zoning District, which is consistent with the City's Coastal Land Use Plan, General Plan and Zoning Code. The property is not located in the Appeal Area and therefore a Coastal Development Permit is not required and a de minimis waiver can be issued if the project will not adversely affect coastal resources and is consistent with the certified Local Coastal Program.

The subject property is currently developed with a duplex on an existing lot designated for residential development. The property is located in an area eligible for a Categorical Exclusion Order (CEO), however, the proposed duplex exceeds the 1.5 floor area limit identified in Categorical Exclusion CE-5-NPB-16-1. The existing duplex includes a two-car garage, where the Newport Beach Municipal Code (NBMC) requires a total of four parking spaces. Therefore, the project is limited to a 10 percent addition pursuant to Section 21.38.060 of the NBMC. The project complies with the associated requirements of NBMC Section 21.38.060 and all other development standards, thus no deviations are requested. The project site is not located between the nearest public road and the sea or shoreline and re-development will not affect public recreation, access or views.

All projects are required to comply with the California Building Code and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and the California Building Code (CBC) prior to building permit issuance.

The property is not located within 200 feet of coastal waters. The project design addresses water quality with a construction erosion control plan and a post-construction drainage system. The project is required to adhere to the City's grading, erosion control, and drainage requirements that includes percolation features and retention of dry weather and minor rain event run-off on-site. Any water not retained on-site is directed to the City's storm drain system.

The design, bulk and scale of the development is consistent with the existing neighborhood pattern of development and expected future development. The property is not located near designated Public View Points or Coastal View Roads and will not impact public coastal views. The project is therefore consistent with the certified Local Coastal Program and is eligible as "de minimis" development for a waiver in accordance with Section 21.52.055 of the Local Coastal Program.

WAIVER EFFECTIVENESS

This waiver will not become effective until reported to the City Council at their August 8, 2017, meeting. If two City Council members object to this De Minimis Waiver, a Coastal Development Permit will be required.

ENVIRONMENTAL REVIEW

This project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (Class 3 - New Construction and Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3. Class 3 exempts the construction of limited numbers of new, small structures, including an addition to an existing duplex, located in a Two-Unit Zoning District.

PUBLIC NOTICE

Notice of a pending Coastal Development Permit application was posted on the project site at the time the application was filed with the City.

Notice of intent to issue a waiver for de minimis development was mailed to all owners of property and residents within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), the applicant, the Coastal Commission and all persons who have requested notice, at least 7 days prior to the de minimis determination by the Director. Notice of Intent to issue a waiver was also posted on the subject property at least 7 days before the Director's determination consistent with the provisions of Implementation Plan Section 21.52.055.D.

On behalf of Kimberly Brandt, AICP, Community Development Director

By: _____
Liz Westmoreland, Assistant Planner

Law/GBR

Attachments: CD 1 Vicinity Map
CD 2 Project Plans

Attachment No. CD 1

Vicinity Map

VICINITY MAP

Coastal Development Permit Waiver No. CD2017-034
(PA2017-081)

128 40th Street

Attachment No. CD 2

Project Plans

ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
AMP.	AMPERE
@	AT
BD.	BOARD
BLD'G	BUILDING
BLK'G	BLOCKING
BOT.	BOTTOM
CAB.	CABINET
CLG.	CEILING
CL.	CENTERLINE
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
CONTR.	CONTRACTOR
DED.	DEDICATED
DET.	DETAIL
D.F.	DRINKING FOUNTAIN
DIA.	DIAMETER
DIAG.	DIAGONAL
DIM.	DIMENSION
DN.	DOWN
DWG.	DRAWING
DWR.	DRAWER
EA.	EACH
ELECT.	ELECTRICAL
ELEV.	ELEVATION
EQ.	EQUAL
EXT.	EXTERIOR
EXIST'	EXISTING
F.D.	FLOOR DRAIN
F.E.C.	FIRE EXTINGUISHER CABINET
F.H.C.	FIRE HOSE CABINET
FIN.	FINISH
FIXT.	FIXTURE
FLUOR.	FLUORESCENT
F.O.C.	FACE OF COLUMN
F.O.S.	FACE OF STUD
F.O.W.	FACE OF WALL
F.S.	FLOOR SINK
FURR.	FURRING
FURN.	FURNITURE
GA.	GAUGE
GD.	GLASS
GYP. BD.	GYPSUM BOARD
H.	HIGH
H.C.	HOLLOW CORE
HDWR.	HARDWARE
H.M.	HOLLOW METAL
HOR.	HORIZONTAL
HR.	HOUR
HT.	HEIGHT
H.V.A.C.	HEATING, VENTILATION, AIR CONDITIONING
INSUL.	INSULATION
INT.	INTERIOR
JAN.	JANITOR
J-BOX	JUNCTION BOX
LAM.	LAMINATE
L.H.	LEFT HAND
LAM. PLAS.	LAMINATED PLASTIC
LAV.	LAVATORY
LT.	LIGHT
MAINT.	MAINTENANCE
MAT.	MATERIAL
MAX.	MAXIMUM
MECH.	MECHANICAL
MET.	METAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTD.	MOUNTED
MUL.	MULLION
NO.	NUMBER
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O/	OVER
O.C.	ON CENTER
OFF.	OFFICE
PLAS. LAM.	PLASTIC LAMINATE
PL.	PLATE
PLUMB.	PLUMBING
PLYWD.	PLYWOOD
PR.	PAIR
PTN.	PARTITION
RAD.	RADIUS
REF.	REFERENCE
REFR.	REFRIGERATOR
REQ'D	REQUIRED
R.H.	RIGHT HAND
RM.	ROOM
R.O.	ROUGH OPENING
SCHED.	SCHEDULE
S.C.	SOLID CORE
SECT.	SECTION
S.F.	SQUARE FEET
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION
S.S.	STAINLESS STEEL
STL.	STEAL
STOR.	STORAGE
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
SYM.	SYMMETRICAL
TELE.	TELEPHONE
TEMP.	TEMPERED
THK.	THICK
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U.L.	UNDERWRITERS LABORATORY
U.N.O.	UNLESS NOTED OTHERWISE
V.	VOLT
V.C.T.	VINYL COMPOSITION TILE
VERT.	VERTICAL
VEST.	VESTIBULE
V.I.F.	VERIFY IN FIELD
W/	WITH
WC	WALL COVERING
W.C.	WATER CLOSET
W.H.	WATER HEATER
W.P.	WATER PROOF
W.R.	WATER RESISTANT

CONSTRUCTION NOTES

A FOUNDATION AND UNDER FLOOR

1. CONCRETE FOR FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1200 PSI AT 28 DAYS AND SHALL BE COMPOSED OF 1 PART CEMENT, 3 PARTS SAND, 4 PARTS OF 1 INCH MAXIMUM SIZE ROCK & NOT MORE THAN 7-1/2 GALLONS OF WATER PER SACK OF CEMENT. FIVE SACK CEMENT / CU YD. MIN. PER SECTION 1808.8 & TABLE 1808.8.1 OF CBC 2013
2. WOOD AND EARTH SEPARATION. FOUNDATIONS SUPPORTING WOOD SHALL EXTEND AT LEAST 8" ABOVE THE ADJACENT FINISH GRADE.
3. SLABS ON GRADE SHALL BE AT LEAST 6" THICK AS PER SOILS REPORT.
4. ALL FOUNDATION PLATES AND SILLS OR SLEEPERS ON A CONCRETE SLAB, WHICH IS IN DIRECT CONTACT WITH THE EARTH AND SILLS THAT REST ON CONCRETE OR MASONRY FOUNDATIONS, SHALL BE PRESSURE TREATED WOOD OR FOUNDATION GRADE REDWOOD.
5. ALL FOOTING SILLS SHALL HAVE FULL BEARING ON THE FOOTING WALL OR SLAB AND SHALL BE BOLTED TO THE FOUNDATION WITH 5/8" IN DIAMETER BY 10" LONG BOLTS EMBEDDED AT LEAST 7" INTO THE CONCRETE OR REINFORCED MASONRY OR 15" INTO UN-REINFORCED GROUTED MASONRY. BOLTS SHALL BE SPACED NO FURTHER THAN 12" FROM ANY CORNER OR SPLICE. SPACING AND SIZE OF BOLTS MAY VARY AS DIRECTED BY THE FOUNDATION AND FRAMING PLANS. PROVIDE 3" x 3" SQUARE BY 0.229" THICK PLATE WASHERS PER BOLT.

B WOOD FRAMING:

1. ALL JOISTS, RAFTERS, BEAMS, AND POSTS 2" WIDE AND NO LONGER THAN 4" THICK SHALL BE No. 2 GRADE DOUGLAS FIR-LARCH OR BETTER. ALL POSTS AND BEAMS 5" AND THICKER SHALL BE NO. 1 GRADE DOUGLAS FIR-LARCH OR BETTER UNLESS NOTED OTHERWISE ON FRAMING PLANS.
2. PROVIDE BLOCKING AT ENDS AND SUPPORTS OF RAFTERS MORE THAN 8" IN DEPTH.
3. PROVIDE BLOCKING AT ENDS AND AT SUPPORTS OF RAFTERS AT ALL EXTERIOR WALLS.
4. PROVIDE DOUBLE TOP PLATES WITH MINIMUM OF 48" LAP SPLICE.
5. NAILING WILL BE IN COMPLIANCE WITH TABLE 2304.9.1 FASTENING SCHEDULE OF THE CBC 2013 EDITION.
6. FIRE BLOCKING SHALL BE PROVIDED FOR WALLS OVER 10'-0" IN HEIGHT, HORIZONTAL SHAFTS 10'-0" O.C. AND FOR CONCEALED DRAFT OPENINGS.
7. STUDS FOR EXTERIOR WALLS AND INTERIOR BEARING WALLS SHALL BE NOT LESS THAN 2 x 4 WOOD STUDS AT 16" O.C. STUDS 2" WIDE AND 4" THICK AND NOT MORE THAN 8' LONG SHALL BE "STUD GRADE" DOUGLAS FIR- LARCH OR BETTER WHEN SUPPORTING NOT MORE THAN ONE FLOOR AND OR A ROOF.
8. ALL EXPOSED WOOD SHALL BE WRAPPED W/ 1/2" THICK GYPSUM BOARD UNLESS NOTED OTHERWISE.

C VERIFICATION:

1. CONTRACTORS SHALL VISIT AND INSPECT THE SITE AND FAMILIARIZE THEMSELVES W/ THE SITE CONDITIONS, AND STUDY THESE DOCUMENTS FULLY BEFORE AGREEING TO WORK ON THE PROJECT. THEIR AGREEMENT TO WORK ON THE PROJECT CONSTITUTES VERIFICATION THAT THEY HAVE SO STUDIED THE SITE AND THE DOCUMENTS. UPON INSPECTION OF THE SITE AND STUDYING OF THE DOCUMENTS, THE CONTRACTORS SHALL SUBMIT TO THE OWNERS, FOR THE BUILDING DESIGNER'S REVIEW, ANY SPECIAL CONDITIONS OR UNCLEAR AREAS WHICH MIGHT ALTER HIS BID DURING CONSTRUCTION.

D GENERAL REQUIREMENTS:

1. THIS PROJECT SHALL COMPLY w/ THE 2013 CRC, CBC, CPC, CEC, CMC, 2013 CALIFORNIA ENERGY CODE; 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CG) & CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (NBMC)

E DOCUMENTS:

1. THE DRAWINGS ARE NECESSARILY SCHEMATIC AND DO NOT PURPORT, TO SHOW COMPLETE SITUATIONS. THE DRAWINGS, SPECIFICATIONS, AND ADDENDA ARE COMPLIMENTARY, SO WHAT IS CALLED FOR BY ONE IS CALLED FOR BY ALL. THEREFORE THE DRAWINGS, SPECIFICATIONS, AND ADDENDA MUST ALSO BE CONSIDERED TOGETHER.
2. DO NOT SCALE THE DRAWINGS.

F GENERAL MATERIAL SPECIFICATIONS:

1. REINFORCING STEEL: WHEN USED IN CONSTRUCTION OF REINFORCED MASONRY OR CONCRETE STRUCTURES SHALL BE DEFORMED AND COMPLY WITH ASTM A615-74A, GRADE 60.
2. STRUCTURAL STEEL: USED AS STRUCTURAL SHAPES SUCH AS WIDE FLANGE SECTIONS, CHANNEL, PLATES AND ANGLES SHALL COMPLY WITH ASTM SPECIFICATIONS ON THE STRUCTURAL PLANS.

G ROOFING AND WEATHER PROOFING:

1. ALL WOOD SIDING AND EXTERIOR LATH AND PLASTER SHALL BE PLACED TWO LAYERS OF GRADE "D" PAPER OVER ALL WOOD BASE SHEATHING.
2. EVERY OPENING IN ANY EXTERIOR WALL SHALL BE FLASHED WITH MIN. 26 GA. SHEET METAL OR 15 POUND BUILDING PAPER.
3. A WEEP SCREED SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE FOR ALL EXTERIOR STUD WALLS FINISHED ON THE EXTERIOR WITH STUCCO. THE SCREED SHALL BE PLACED A MINIMUM OF 4" ABOVE THE GRADE AND 2" ABOVE HARDSCAPE OR STEPS.
4. ALL WEATHER PROOFING AROUND WINDOWS AND DOORS SHALL BE PREFORMED IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS. ANY SPECIAL CONDITIONS WHERE INSTALLATION HAS TO BE ALTERED SHALL BE PRESENTED TO THE BUILDING DESIGNER IN WRITING FOR APPROVAL.

H INSULATION:

1. COMPLY WITH 2013 CALIFORNIA ENERGY COMMISSION LAWS IN FORCE.
2. INSULATE ALL EXTERIOR PARTITIONS WITH FULL THICK BATTS. USE SOUND ATTENUATING FULL THICK BATTS AT WALLS ENCLOSING BATH-ROOMS, LAUNDRY ROOMS, FAU CLOSETS AND ANY OTHER INTERIOR PARTITION AS CALLED FOR BY THE DRAWINGS.
   ALL EXTERIOR WALLS: R-15 BATTS MINIMUM.
   ALL FLAT CEILINGS WITH ATTIC SPACE ABOVE: R-38 BATTS.

   ALL OF THE ABOVE ARE THE MINIMUM REQUIREMENTS ONLY.
   PLEASE REFER TO THE TITLE 24 ENERGY FORMS THAT ARE INCLUDED WITH THIS SET OF PLANS FOR THE ACTUAL INSTALLATION REQUIREMENTS.
3. CONTRACTOR SHALL SIGN AND POST ON THE STRUCTURE AN INSULATION CERTIFICATION PRIOR TO THE FINISH INSPECTION.

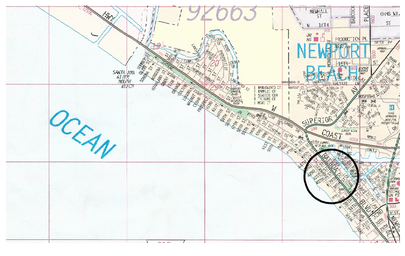
CONSTRUCTION NOTES

J STUCCO:

1. GENERAL: COMPLY WITH APPLICABLE REQUIREMENTS OF CLPCA LATHING AND PLASTERING REFERENCE SPECIFICATION.
2. WIRE FABRIC LATH: AQUA K-LATH, SELF FURRING TYPE SFD (AK), BY "K-LATH CORP." OR APPROVED EQUAL. SECURE WITH 14 GAUGE G.I. WIRE STAPLES.
3. CASING BEAD: 24 GAUGE WITH EDGE TO MATCH EXISTING. INSTALL ,WHERE INDICATED ON DRAWINGS, AT ALL CORNERS, AND WHERE STUCCO ABUTS OTHER MATERIALS.
4. FINISH TO MATCH EXISTING AND COLOR TO BE SELECTED BY OWNERS.
5. EXTERIOR LATH & PLASTER: PROVIDE TWO LAYERS OF GRADE "D" PAPER OVER ALL WOOD BASE SHEATHING. CHAPTER 25 OF 2013 CBC.

K DEFERRED SUBMITTALS:

VICINITY MAP



SHEET INDEX

SHT. NO:	DESCRIPTION
PD.1	PROJECT DATE / CONSTRUCTION NOTES
LS	LOT SURVEY
SP.1	SITE PLAN
A1.0	EXISTING FIRST FLOOR PLAN
A1.1	FIRST FLOOR PLAN SQUARE FOOTAGE CALCULATIONS
A2.0	EXISTING SECOND FLOOR PLAN
A2.1	PROPOSED SECOND FLOOR PLAN
A2.2	SECOND FLOOR PLAN SQUARE FOOTAGE CALCULATIONS
A3.0	THIRD FLOOR / ROOF DECK PLAN
A3.1	THIRD FLOOR PLAN SQUARE FOOTAGE CALCULATIONS
A5.0	EXISTING ROOF PLAN
A5.1	PROPOSED ROOF PLAN
A6.0	EXISTING & PROPOSED FRONT & REAR EXTERIOR ELEVATIONS
A6.1	EXISTING & PROPOSED LEFT EXTERIOR ELEVATIONS
A6.2	EXISTING & PROPOSED RIGHT EXTERIOR ELEVATIONS
A7.0	BUILDING SECTIONS "A, B & C"
A7.1	BUILDING SECTIONS "D, E, F & G"
17	TOTAL NUMBER OF SHEETS IN THE PROJECT

PROJECT DESCRIPTION

SCOPE OF WORK:

ADD 252 SQ. FEET OF LIVING SPACE, 429 SQ. FEET OF LOGGIA, & 418 SQ. FEET OF DECK AREA ON THE THIRD FLOOR OF AN EXISTING TWO-STORY DUPLEX AN ATTACHED TWO-CAR GARAGE.

THE SITE IS NON-CONFORMING BECAUSE IT LACKS FOUR PARKING SPACES. THE MAXIMUM ADDITION IS LIMITED TO 10% OF THE EXISTING SQ. FOOTAGE.

LEGAL DESCRIPTION

OWNER:

DOUGLAS BILLINGS
128 40th STREET
NEWPORT BEACH CA. 92663
714-636-3160

LEGAL:

LOT 15, BLOCK 39, RIVER SECTION
CITY OF NEWPORT BEACH
COUNTY OF ORANGE, STATE OF CALIFORNIA

ASSESSOR PARCEL NUMBER:

423-321-02

ZONING:

R-2

OCCUPANCY:

R-3 / U

TYPE OF CONSTRUCTION:

TYPE V-B (No SPR)

NUMBER OF UNITS:

TWO

LOT AREA CALCULATIONS:

LOT SIZE: 25' x 95' = 2,375 SQUARE FEET

MINUS SETBACKS: 19' x 80' = 1,520 SQUARE FEET

FLOOR AREA RATIO: 1,520 Sq. Ft. x 2.0 = 3,040 SQUARE FEET

OPEN SPACE REQ'D: N / A

THIRD FLOOR LIMITS: N / A

PROJECT STATISTICS

SQUARE FOOTAGE CALCULATIONS

	EXISTING	PROPOSED	TOTALS
GARAGE - Unit A	190 sq. ft.	0 sq. ft.	190 sq. ft.
GARAGE - Unit B	190 sq. ft.	0 sq. ft.	190 sq. ft.
1st. FLOOR - Unit A	781 sq. ft.	0 sq. ft.	781 sq. ft.
2nd. FLOOR - Unit B	1,378 sq. ft.	0 sq. ft.	1,378 sq. ft.
3rd. FLOOR - Unit B	0 sq. ft.	252 sq. ft.	252 sq. ft.
TOTALS:	2,539 sq. ft.	252 sq. ft.	2,791 sq. ft.
EXTERIOR SPACE SQUARE FOOTAGE CALCULATIONS			
2nd. FLR. BALCONY - Unit B	92 sq. ft.	0 sq. ft.	92 sq. ft.
3rd. FLR. DECK - Unit B	0 sq. ft.	429 sq. ft.	429 sq. ft.
3rd. FLR. LOGGIA - Unit B	0 sq. ft.	418 sq. ft.	418 sq. ft.

LIQUEFACTION CALCULATIONS

EXISTING GARAGE:	380 sq. feet x $150.00 = $57,000.00
EXISTING 1st. FLOOR:	781 sq. feet x $300.00 = $234,300.00
EXISTING 2nd. FLOOR:	1,378 sq. feet x $300.00 = $413,400.00
EXISTING 2nd. FLOOR BALCONY:	92 sq. feet x $50.00 = $4,600.00
SUB-TOTAL:	$709,300.00
50% OF EXISTING NON-DEPRECIATED VALUE:	$354,650.00
PROPOSED 2nd. FLOOR REMODEL:	210 sq. feet x $80.00 = $16,800.00
PROPOSED 3rd. FLOOR:	252 sq. feet x $170.00 = $42,840.00
PROPOSED 3rd. FLOOR DECK:	429 sq. feet x $100.00 = $42,900.00
PROPOSED 3rd. FLOOR LOGGIA:	418 sq. feet x $100.00 = $41,800.00
PROPOSED 3rd. FLOOR ATTIC:	77 sq. feet x $100.00 = $7,700.00
TOTAL RECONSTRUCTION & REMODEL:	$152,040.00

PROJECT CONSULTANTS

BUILDING DESIGNER:	ENERGY CONSULTANT:
R.A. JEHEBER RESIDENTIAL DESIGN, INC. 410 32ND STREET, SUITE 202 NEWPORT BEACH, CA. 92663 949-723-4393 ATTN: ROD JEHEBER	
CIVIL ENGINEER:	GEO TECHNICAL ENGINEER
STRUCTURAL ENGINEER:	LAND SURVEYOR:
	OHANA LAND SURVEYING 9 SPRINGTIDE LAGUNA NIGUEL, CA 92677 (949) 233-0739 TEDDY OHANA Teddy@OhanaPLSLand.com

R. A. JEHEBER
RESIDENTIAL DESIGN, INC.
410 32nd. Street, Suite 202
Newport Beach, California 92663
949.723.4393 (rajeheber@gmail.com)

SHEET TITLE

PROJECT DATA
CONSTRUCTION NOTES

REMODEL PLANS FOR:
DOUGLAS E. BILLINGS
PROJECT ADDRESS:
128 40th STREET
NEWPORT BEACH, CALIFORNIA

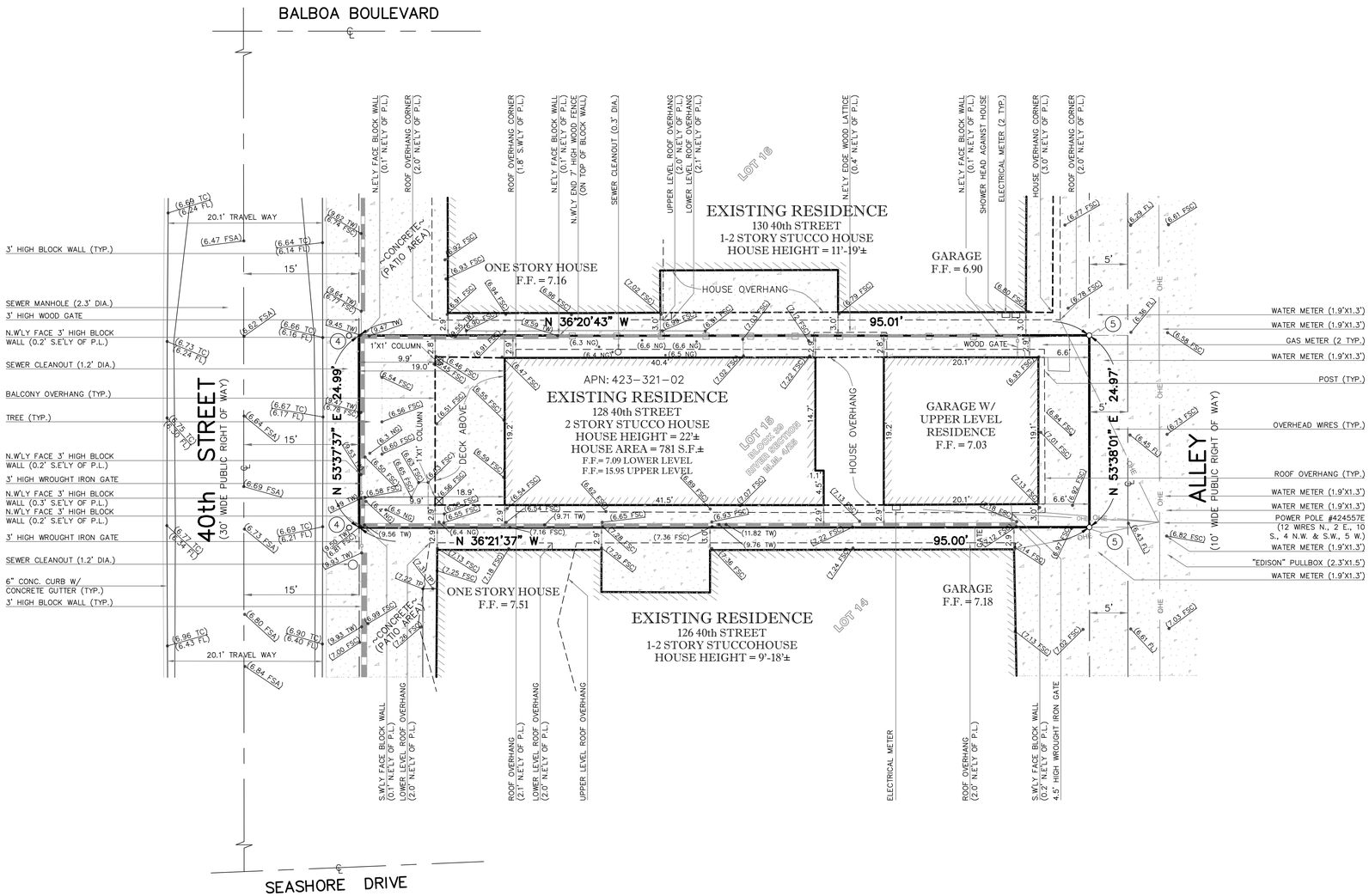
Plot Date & Time
4/13/2017 6:52 PM

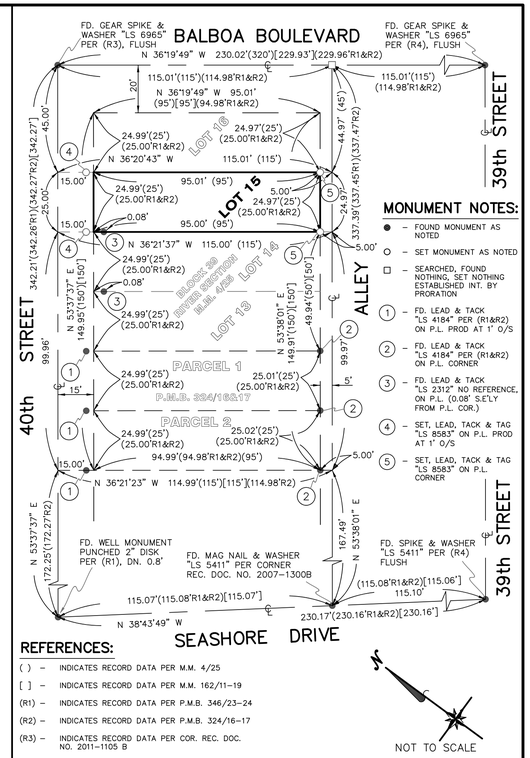
RAJ Project #
2015-41

REVISIONS

Sheet
PD.1

C:\DataCAD 19\Drawings\2016-23 128 40th Street - Doug Billings\128 40th Street-3rd Floor-02.aec





MONUMENT NOTES:

- ● – FOUND MONUMENT AS NOTED
- ○ – SET MONUMENT AS NOTED
- □ – SEARCHED, FOUND NOTHING, SET NOTHING ESTABLISHED INT. BY PRORATION
- (1) – FD. LEAD & TACK "LS 4184" PER (R1&R2) ON P.L. PROD AT 1° O/S
- (2) – FD. LEAD & TACK "LS 4184" PER (R1&R2) ON P.L. CORNER
- (3) – FD. LEAD & TACK "LS 2312" NO REFERENCE, ON P.L. (0.08' S.E'LY FROM P.L. COR.)
- (4) – SET, LEAD, TACK & TAG "LS 8583" ON P.L. PROD AT 1° O/S
- (5) – SET, LEAD, TACK & TAG "LS 8583" ON P.L. CORNER

REFERENCES:

- ( ) – INDICATES RECORD DATA PER M.M. 4/25
- [ ] – INDICATES RECORD DATA PER M.M. 162/11–19
- (R1) – INDICATES RECORD DATA PER P.M.B. 346/23–24
- (R2) – INDICATES RECORD DATA PER P.M.B. 324/16–17
- (R3) – INDICATES RECORD DATA PER COR. REC. DOC. NO. 2011–1105 B
- (R4) – INDICATES RECORD DATA PER R.S.B. 254/4–5

NOT TO SCALE

ESTABLISHMENT & MONUMENTATION DETAIL

LEGAL DESCRIPTION:

THE LAND REFERRED HEREON IS SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

LOT 15, BLOCK 39 OF RIVER SECTION, PER MAP RECORDED IN BOOK 4, PAGE 25 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCH MARK:

COUNTY OF ORANGE BM #1E–124–14

DESCRIBED BY OCS 2014– FOUND 4" OCS ALUMINUM BENCHMARK DISC STAMPED, "1E–12414" ON THE SOUTHWEST CORNER OF A 4' CATCH BASIN. MONUMENT IS LOCATED ALONG THE SOUTH SIDE OF W. BALBOA BLVD., 150' EAST OF THE C/L OF 19TH ST. @ ADDRESS 1823. MONUMENT IS LEVEL WITH THE SIDEWALK.

ELEVATION = 7.660 (NAVD88, YEAR LEVELED 2015.)

LEGEND

N.E'LY	–	NORTHEASTERLY	(9.58 TC)	– EXISTING ELEVATION
S.E'LY	–	SOUTHEASTERLY		
N.W'LY	–	NORTHWESTERLY		
S.W'LY	–	SOUTHWESTERLY	— OHE —	– OVERHEAD WIRES
TYP.	–	TYPICAL		
C.L.	–	CENTER LINE	●	– FOUND MONUMENT AS NOTED
CONC.	–	CONCRETE		
L/A	–	LANDSCAPED AREA	○	– SET LEAD, TACK & TAG "LS 8583" AS NOTED
FSC	–	FINISHED SURFACE CONCRETE		
FSA	–	FINISHED SURFACE ASPHALT		
TC	–	TOP OF CURB		
FF	–	FINISHED FLOOR		
TP	–	TOP OF PAD		
TW	–	TOP OF WALL		
FL	–	FLOW LINE		
NG	–	NATURAL GROUND		

BASIS OF BEARINGS:

THE BEARING NORTH 53°37'37" EAST BEING THE CENTERLINE OF 40th STREET AS SHOWN ON PARCEL MAP NO. 2004–233, FILED IN BOOK 346, PAGES 23 AND 24 OF PARCEL MAPS IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

0 4 8 16 24

GRAPHIC SCALE: 1"=8'

SURVEYOR'S CERTIFICATION:

THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC & BOUNDARY SURVEY FOR IMPROVEMENT LOCATIONS AND DESIGN PURPOSES MADE BY ME OR UNDER MY DIRECTION ON SEPTEMBER 30, 2016.

TEDDY Y. OHANA, PLS 8583
LICENSE EXPIRES: 12/31/17

12/4/16
DATE

DATE OF LAST REVISION:

LICENSED LAND SURVEYOR
TEDDY OHANA
LS 8583
STATE OF CALIFORNIA

TOPOGRAPHIC & BOUNDARY SURVEY

PROJECT: **EXISTING RESIDENCE**
128 40th STREET
NEWPORT BEACH, CALIFORNIA 92663
APN: 423–321–02

SCALE: 1"=8'	DRAWN BY: T.Y.O.
DATE: 9/30/2016	REVISED: 12/4/2016

OHANA LAND SURVEYING
9 SPRINGTIDE
LAGUNA NIGUEL ,CA 92677
Email: Teddy@OhanaPLSLand.com Phone: 949–233–0739

SHEET 1 OF 1

Ohana LAND SURVEYING

J.N. 2016–25

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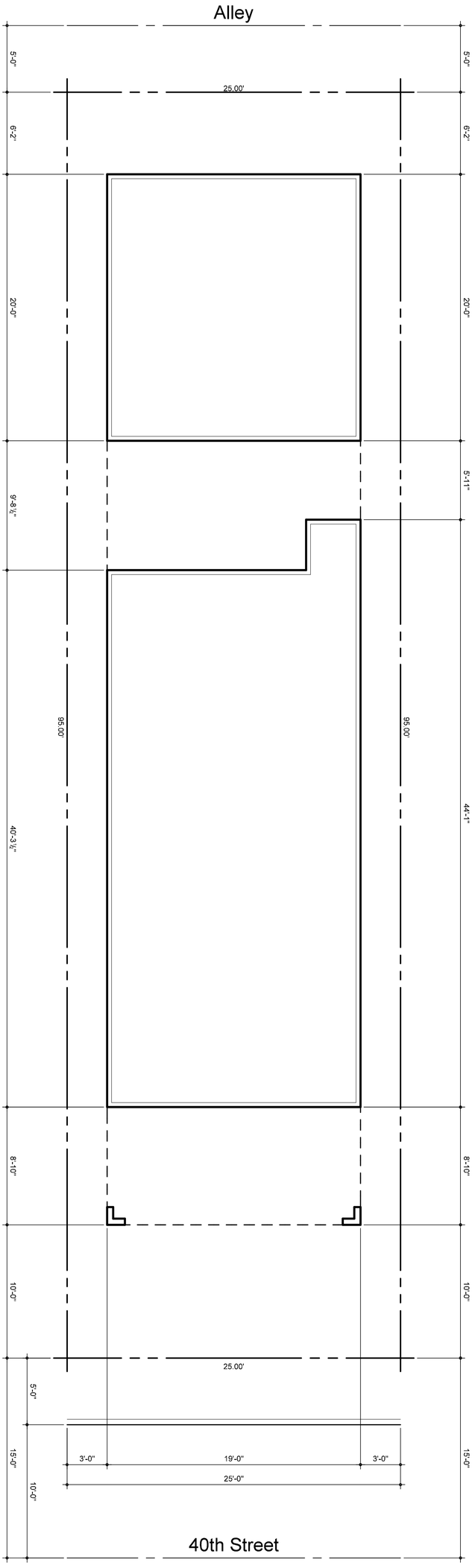

SITE PLAN

SCALE: 1/4" = 1'-0"

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REVISIONS	Date
	2015-41
	Project Number
	4/13/2017 6:20 PM
	Plot Date & Time

REMODEL PLANS FOR:

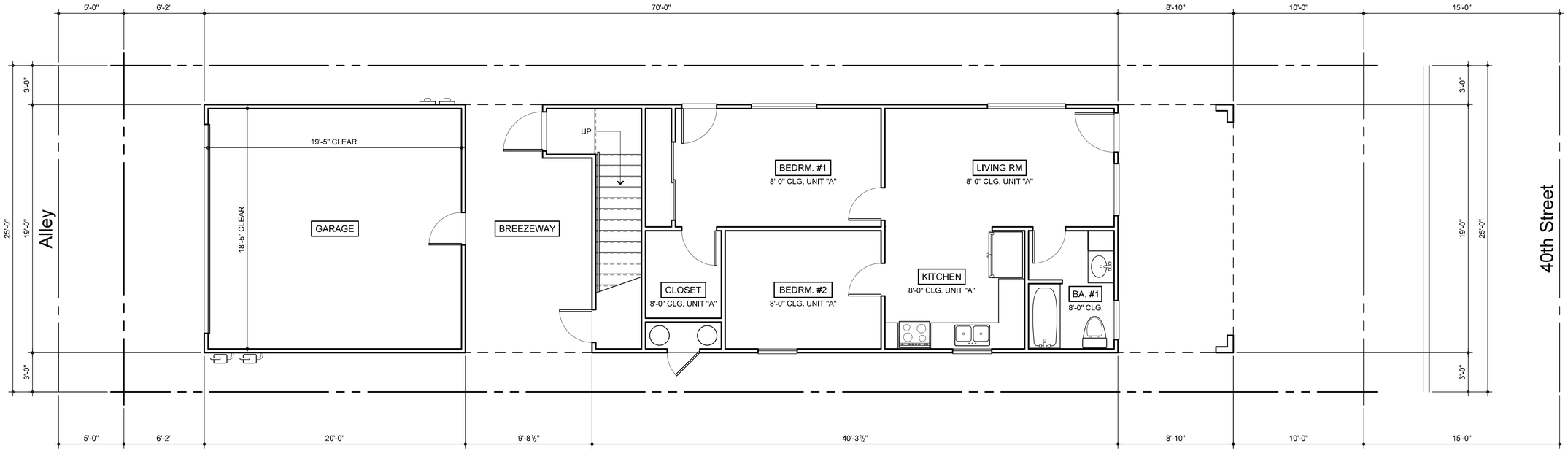
DOUGLAS E. BILLINGS

PROJECT ADDRESS:
128 40th STREET
NEWPORT BEACH, CALIFORNIA

SHEET TITLE

SITE PLAN

R. A. J E H E B E R
RESIDENTIAL DESIGN, INC.
410 32nd. Street, Suite 202
Newport Beach, California 92663
949.723.4393 (rajeheber@gmail.com)



EXISTING 1st. FLOOR PLAN

LIVING: 781 sq. feet
GARAGE: 380 sq. feet
TOTAL: 1,161.00 sq. feet

Scale: 1/4" = 1'-0"

R. A. JEHEBER
RESIDENTIAL DESIGN, INC.
410 32nd. Street, Suite 202
Newport Beach, California 92663
949.723.4393 (rajeheber@gmail.com)

SHEET TITLE
EXISTING
FIRST FLOOR PLAN

REMODEL PLANS FOR:
DOUGLAS E. BILLINGS
PROJECT ADDRESS:
128 40th STREET
NEWPORT BEACH, CALIFORNIA

Plot Date & Time
4/13/2017 6:20 PM
RAJ Project #
2015-41
REVISIONS

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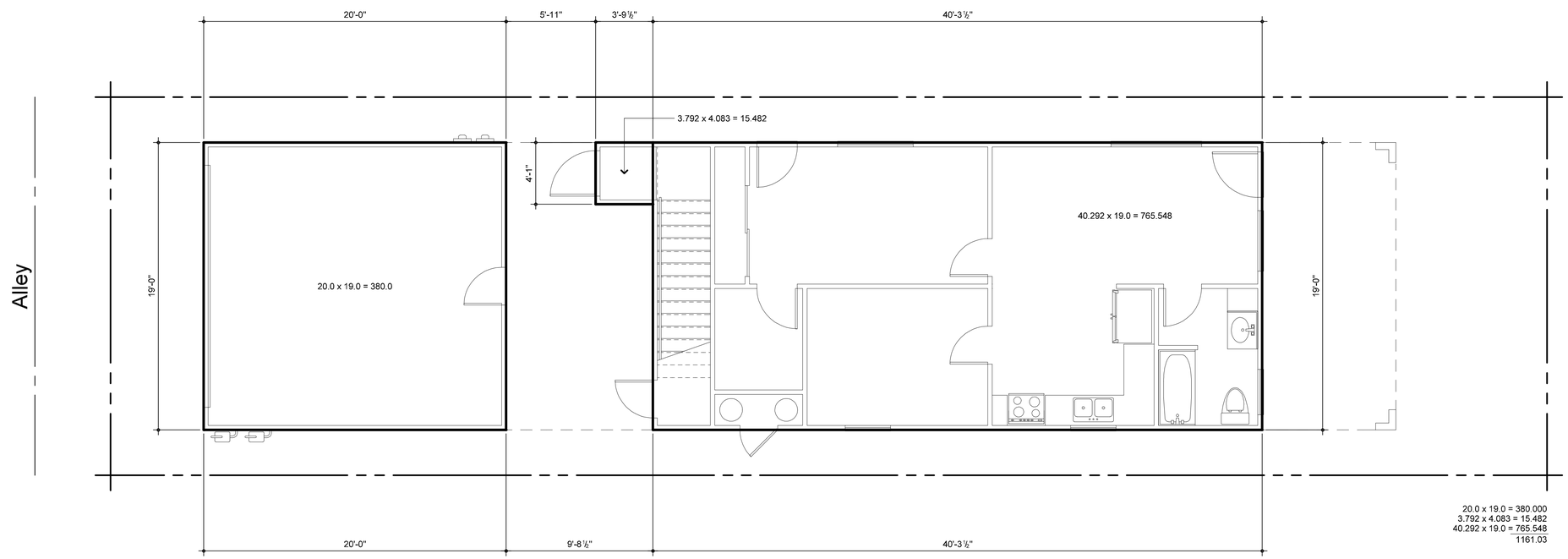

FIRST FLOOR PLAN
SQ. FT. CALCULATIONS

Scale: 1/4" = 1'-0"

R.A. JEHEBER
RESIDENTIAL DESIGN, INC.
410 32nd. Street, Suite 202
Newport Beach, California 92663
949.723.4393 (rajeheber@gmail.com)

SHEET TITLE
FIRST FLOOR PLAN
SQ. FT. CALCULATIONS

REMODEL PLANS FOR:
DOUGLAS E. BILLINGS
PROJECT ADDRESS:
128 40th STREET
NEWPORT BEACH, CALIFORNIA

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DEMOLITION WALL LEGEND

ALL EXISTING WALLS, WINDOWS, DOORS, ETC. WITH CROSS HATCHING INDICATES THAT THEY SHALL BE REMOVED. SEE PLANS BELOW FOR ANY OTHER NOTES AS TO WHAT IS OR ISN'T TO BE REMOVED. WHEN ALL ELSE FAILS PLEASE CONTACT THE OWNERS OR THE BUILDING DESIGNER.

GENERAL DEMOLITION NOTES

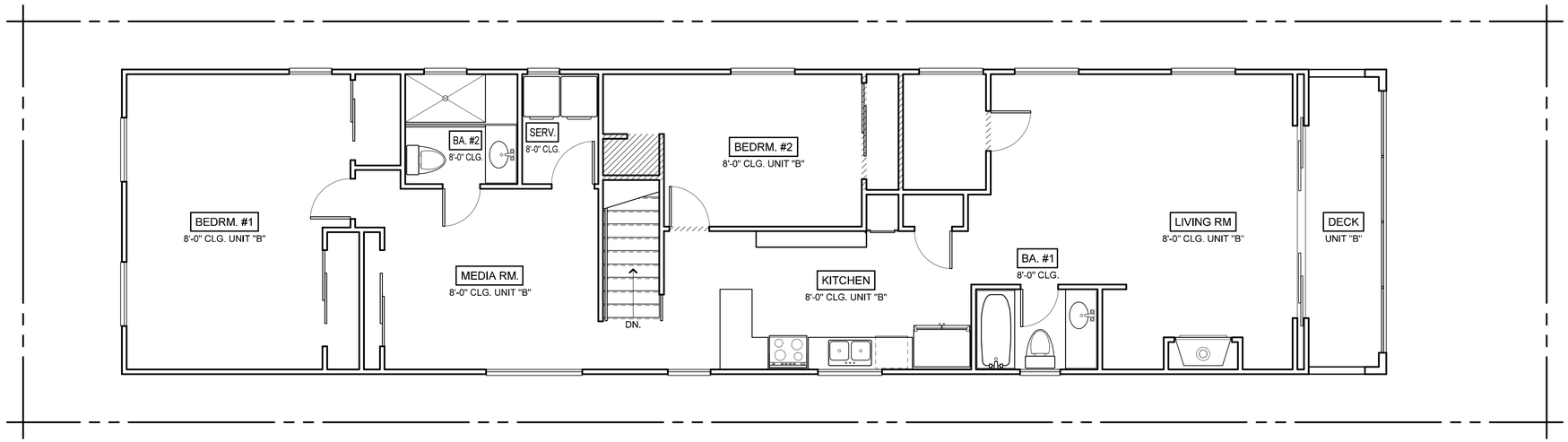
ALL EQUIPMENT INCLUDING SHORING AND SCAFFOLDING (DESIGNS AND STRUCTURES) SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR WHO PROVIDES AND USES SUCH STRUCTURES. ALL EQUIPMENT INCLUDING SHORING AND SCAFFOLDING USED ON THIS SITE SHALL MEET ALL STATE AND LOCAL SAFETY CODES.

EACH CONTRACTOR SHALL CLEAN UP ALL TRASH RELATED TO HIS WORK AND DISPOSE OF SUCH TRASH IN A LEGAL MATTER ON EACH FRIDAY OF THE WORK SCHEDULE. EACH CONTRACTOR SHALL REMOVE HIS SURPLUS THE WORK SCHEDULE. EACH CONTRACTOR SHALL REMOVE HIS SURPLUS IS COMPLETED.

AS-BUILT INFORMATION IS LIMITED TO VISIBLE CONDITIONS. NOTIFY THE DESIGNER OR STRUCTURAL ENGINEER IMMEDIATELY IF VARIATIONS FROM DRAWINGS ARE FOUND.

ALL CONTRACTORS SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY THEM TO THE OWNERS PROPERTY OR ADJACENT PROPERTIES. ALL CONTRACTORS SHALL MAKE GOOD AT THEIR SOLE EXPENSES ANY SUCH DAMAGE TO THE ENTIRE SATISFACTION OF THE INJURED PARTIES.

DEMOLITION: REMOVE FROM SITE & PROPERLY DISPOSE OF ALL MATERIALS NOT REQUIRED TO BE PART OF THE BUILDING IMPROVEMENTS.
SEE SHORING RESPONSIBILITY PARAGRAPH ABOVE.



EXISTING 2nd. FLOOR PLAN

EXISTING LIVING: 1378.00 sq. feet
EXISTING DECK: 141.00 sq. feet

SCALE: 1/4" = 1'-0"

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SHEET TITLE
EXISTING SECONDFLOOR PLAN

REMODEL PLANS FOR:
DOUGLAS E. BILLINGS
PROJECT ADDRESS:
128 40th STREET
NEWPORT BEACH, CALIFORNIA

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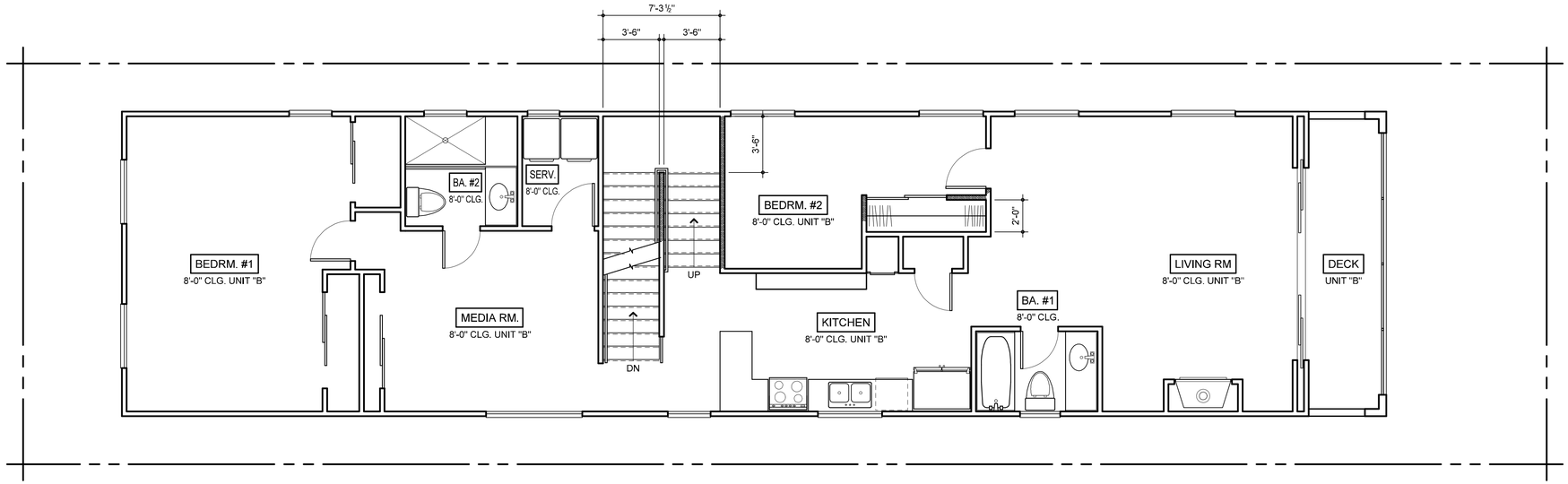
NEW WALL LEGEND

NEW 2 x 4 WOOD STUDS AT 16" O.C. W/ R-15 INSULATION AT ALL EXTERIOR WALLS - MINIMUM.

NEW 42" TALL 2 x 4 WOOD STUDS AT 16" O.C.



PROPOSED 2nd. FLOOR PLAN

SCALE: 1/4" = 1'-0"

R. A. JEHEBER
RESIDENTIAL DESIGN, INC.
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Newport Beach, California 92663
949.723.4393 (rajeheber@gmail.com)

SHEET TITLE

PROPOSED SECONDFLOOR PLAN

REMODEL PLANS FOR:
DOUGLAS E. BILLINGS
PROJECT ADDRESS:
128 40th STREET
NEWPORT BEACH, CALIFORNIA

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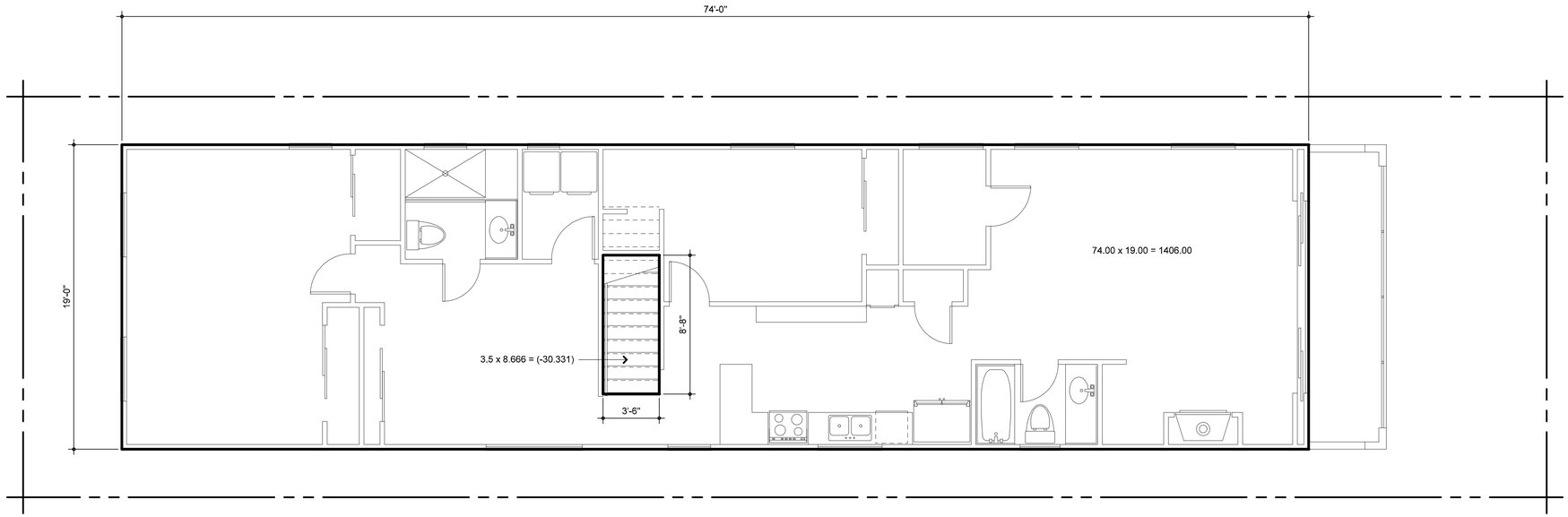

74.00 x 19.00 = 1406.00
3.5 x 8.666 = (-30.331)
1375.669

SECOND FLOOR PLAN
SQ. FT. CALCULATIONS

Scale: 1/4" = 1'-0"

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SHEET TITLE
SECOND FLOOR PLAN
SQ. FT. CALCULATIONS

REMODEL PLANS FOR:
DOUGLAS E. BILLINGS
PROJECT ADDRESS:
128 40th STREET
NEWPORT BEACH, CALIFORNIA

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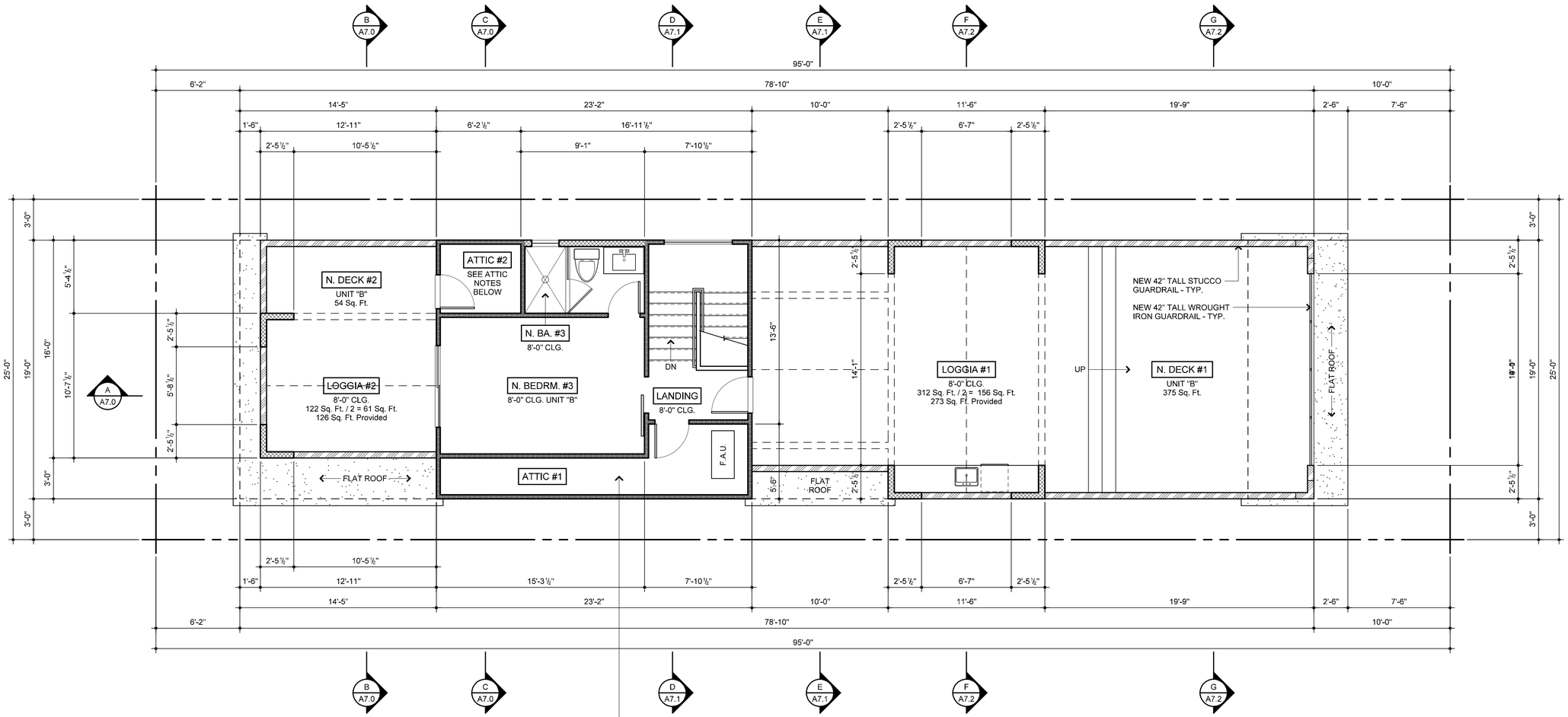

UNFINISHED ATTIC SPACE NOTE:
SHALL NOT CONTAIN ANY AIR REGISTERS, ELECTRICAL OUTLETS OR LIGHTING FIXTURES OTHER THAN WHAT IS REQUIRED BY THE 2016 CBC, CRC, CEC CODES.
UNFINISHED MEANS THERE SHALL BE NO WALL INSULATION, DRYWALL OR SIMILAR INTERIOR WALL FINISHING MATERIALS.

PROPOSED 3rd. FLOOR PLAN

NEW LIVING:	252 sq. feet
NEW DECK:	429 sq. feet
NEW LOGGIA:	418 sq. feet

SCALE: 1/4" = 1'-0"

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SHEET TITLE
PROPOSED
THIRDFLOOR PLAN

REMODEL PLANS FOR:
DOUGLAS E. BILLINGS
PROJECT ADDRESS:
128 40th STREET
NEWPORT BEACH, CALIFORNIA

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REVISIONS

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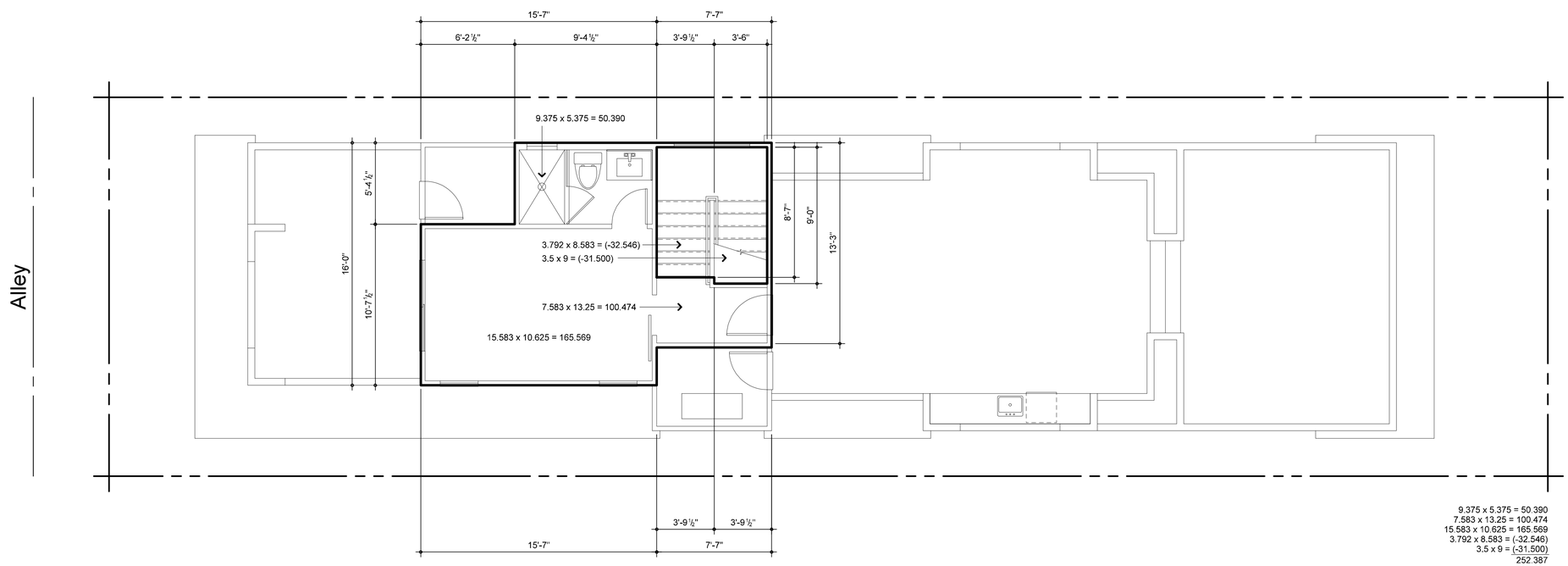

THIRD FLOOR PLAN
SQ. FT. CALCULATIONS

Scale: 1/4" = 1'-0"

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SHEET TITLE
THIRD FLOOR PLAN
SQ. FT. CALCULATIONS

REMODEL PLANS FOR:
DOUGLAS E. BILLINGS
PROJECT ADDRESS:
128 40th STREET
NEWPORT BEACH, CALIFORNIA

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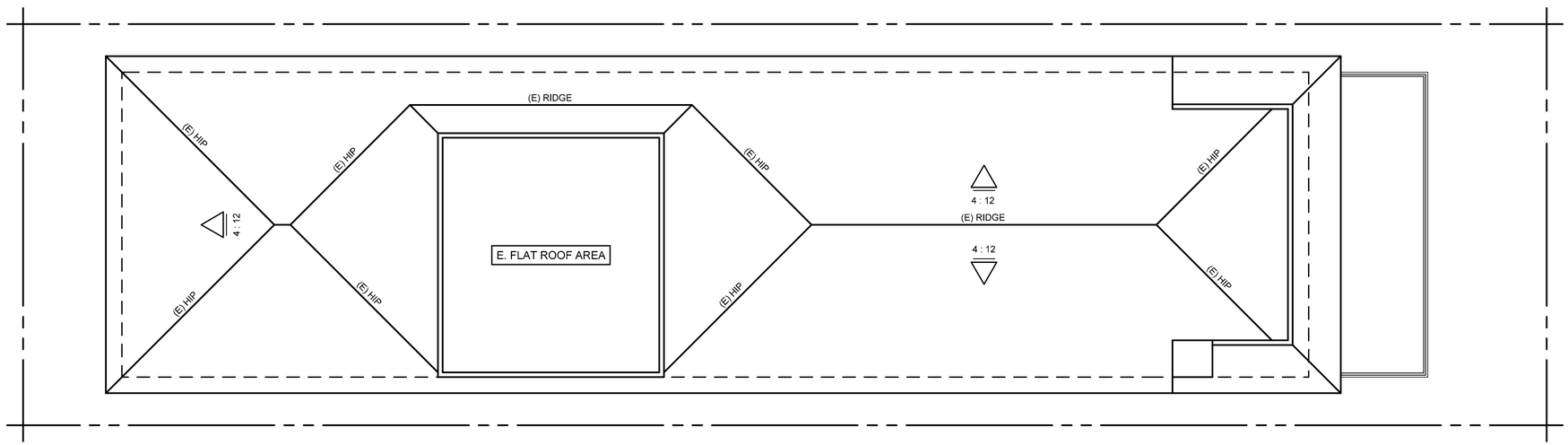

EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"

R.A. JEHEBER
RESIDENTIAL DESIGN, INC.
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Newport Beach, California 92663
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SHEET TITLE
EXISTING ROOF PLAN

REMODEL PLANS FOR:
DOUGLAS E. BILLINGS
PROJECT ADDRESS:
128 40th STREET
NEWPORT BEACH, CALIFORNIA

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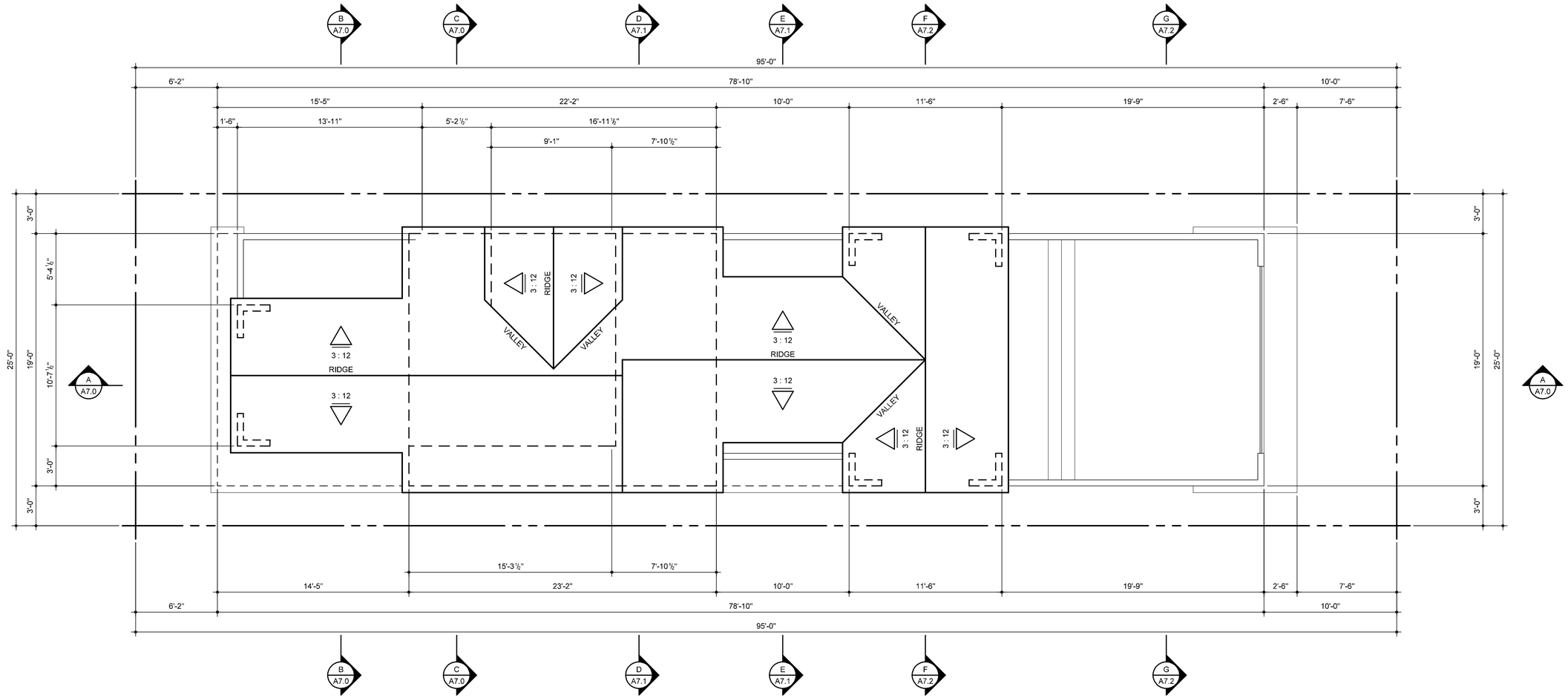

PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

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SHEET TITLE
PROPOSED ROOF PLAN

REMODEL PLANS FOR:
DOUGLAS E. BILLINGS
PROJECT ADDRESS:
128 40th STREET
NEWPORT BEACH, CALIFORNIA

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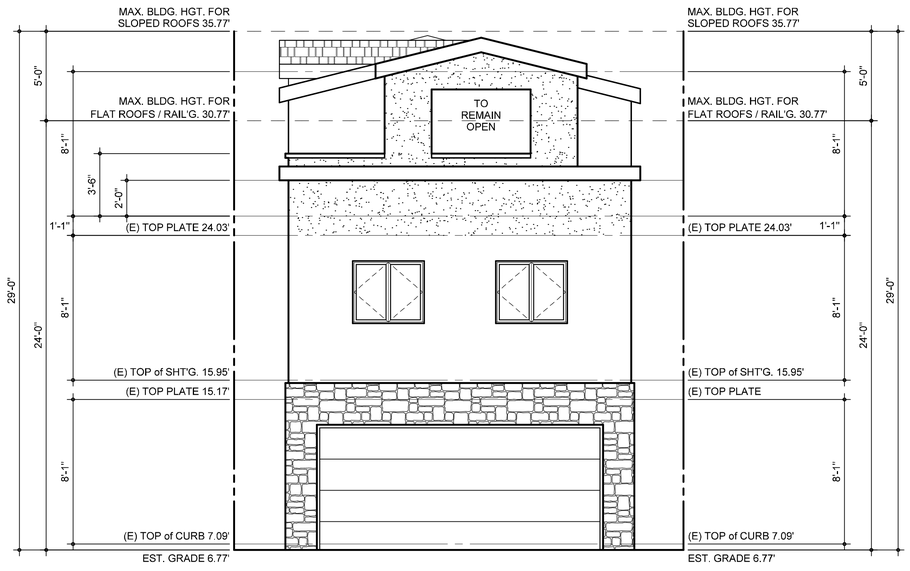
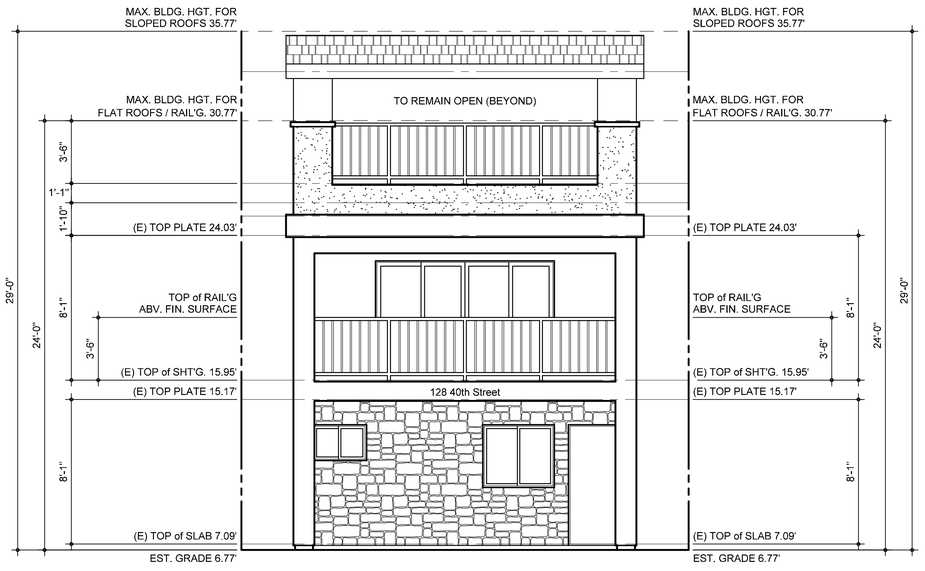


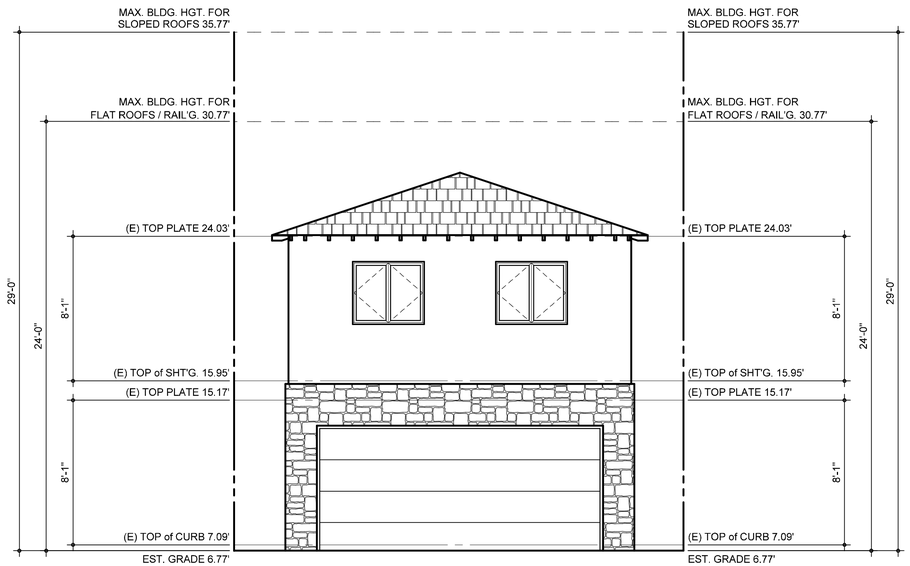
(N) REAR ELEVATION

SCALE : 1/4" = 1'-0"



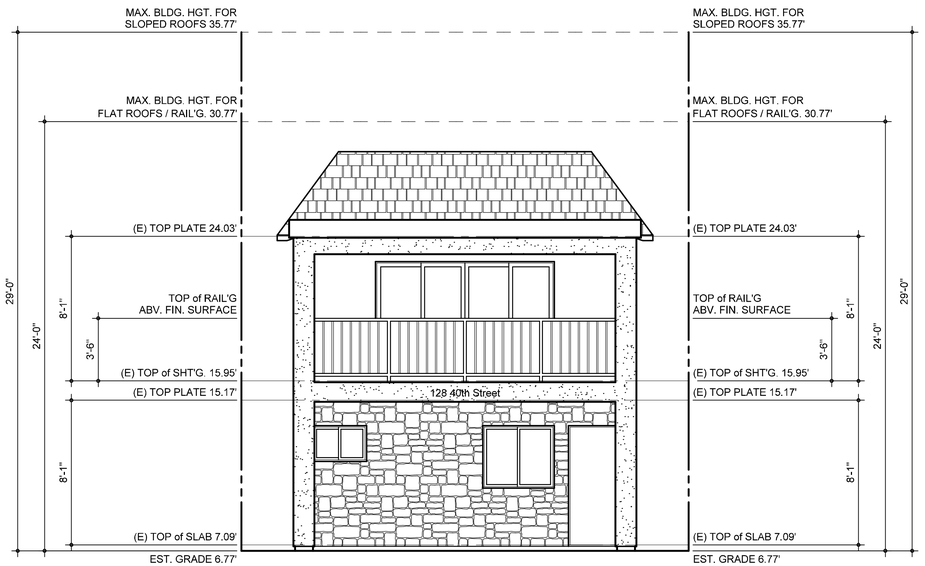
(N) FRONT ELEVATION

SCALE : 1/4" = 1'-0"



(E) REAR ELEVATION

SCALE : 1/4" = 1'-0"



(E) FRONT ELEVATION

SCALE : 1/4" = 1'-0"

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SHEET TITLE

EXTERIOR ELEVATIONS

REMODEL PLANS FOR:
DOUGLAS E. BILLINGS
PROJECT ADDRESS:
128 40th STREET
NEWPORT BEACH, CALIFORNIA

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2016-23
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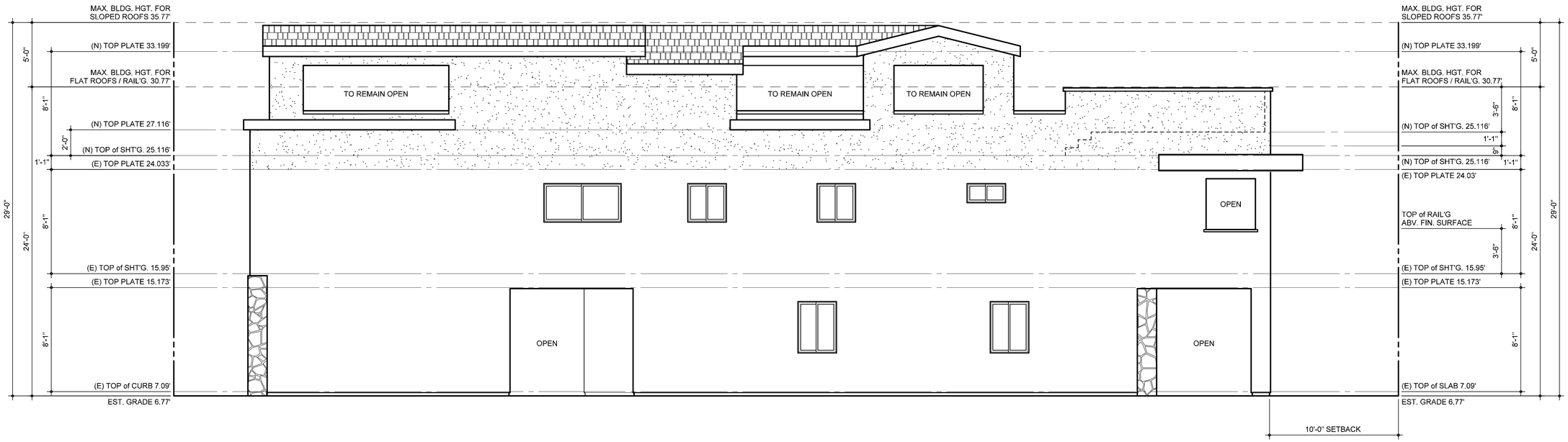

(N) LEFT ELEVATION

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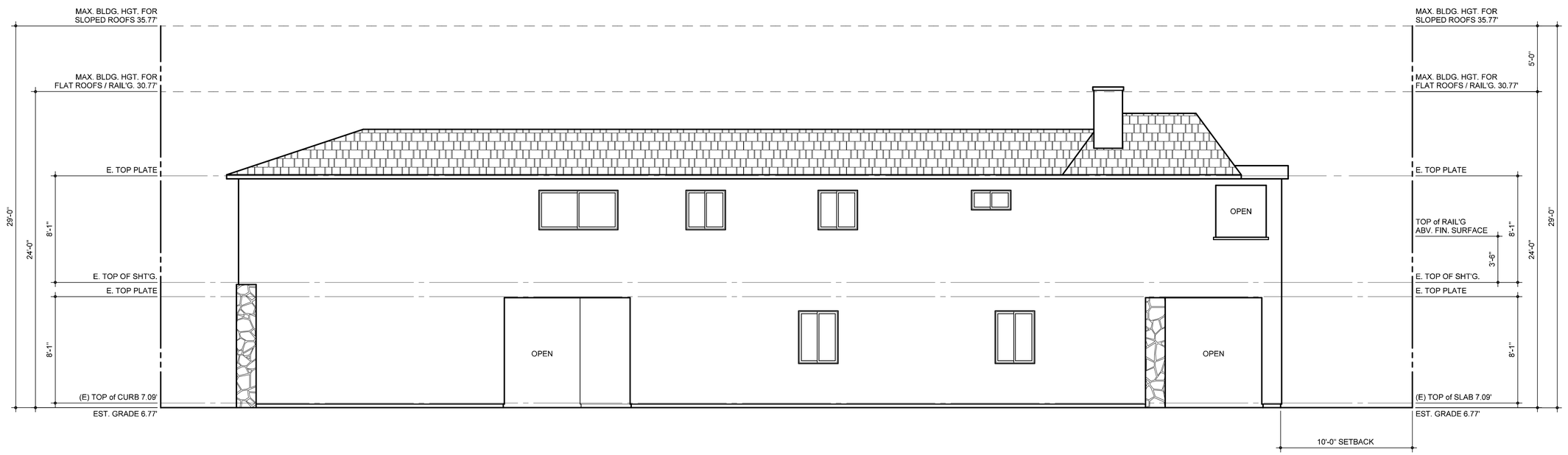

(E) LEFT ELEVATION

SCALE : 1/4" = 1'-0"

R. A. JEHEBER
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SHEET TITLE

EXTERIOR ELEVATIONS

REMODEL PLANS FOR:
DOUGLAS E. BILLINGS
PROJECT ADDRESS:
128 40th STREET
NEWPORT BEACH, CALIFORNIA

Plot Date & Time
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REVISIONS

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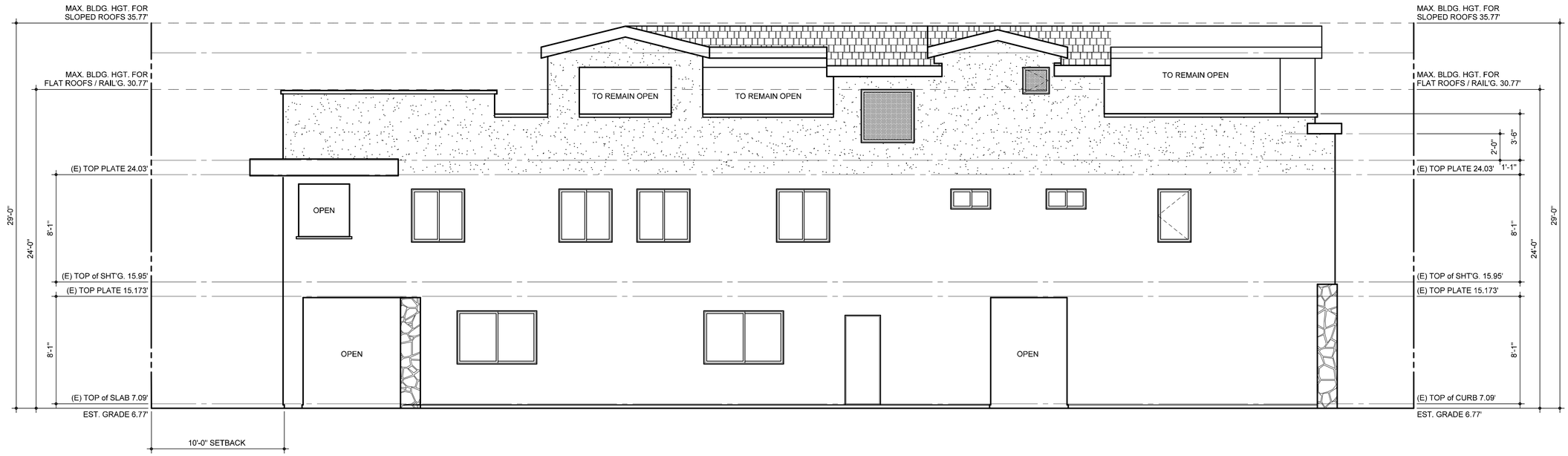

(N) RIGHT ELEVATION

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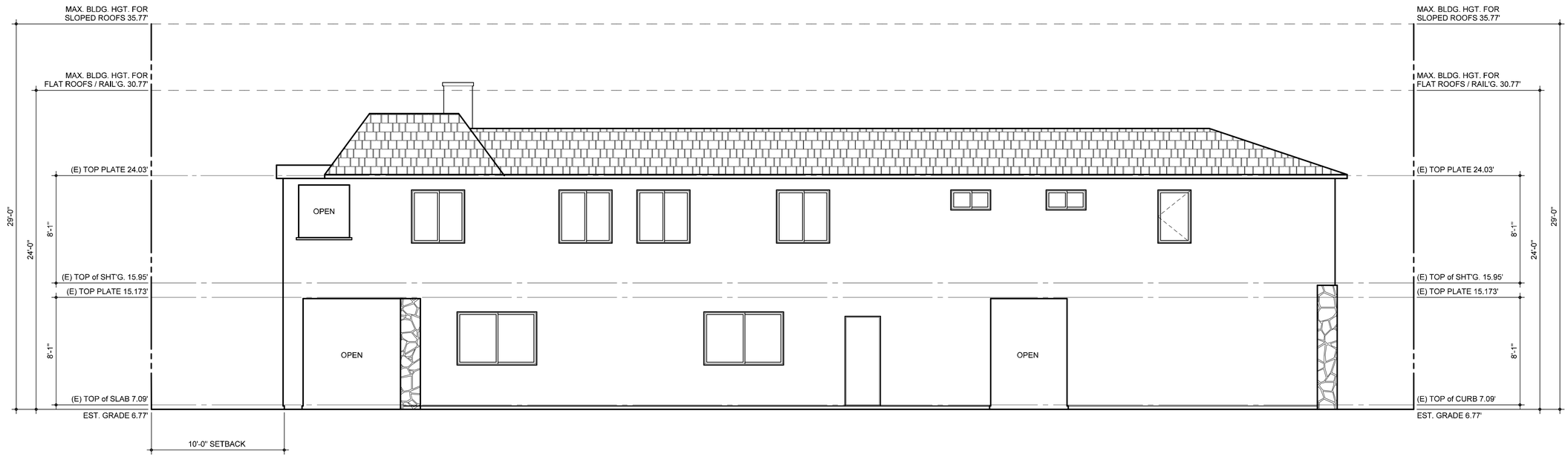

(E) RIGHT ELEVATION

SCALE : 1/4" = 1'-0"

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SHEET TITLE

EXTERIOR ELEVATIONS

REMODEL PLANS FOR:

DOUGLAS E. BILLINGS

PROJECT ADDRESS:
128 40th STREET
NEWPORT BEACH, CALIFORNIA

Plot Date & Time
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2016-23

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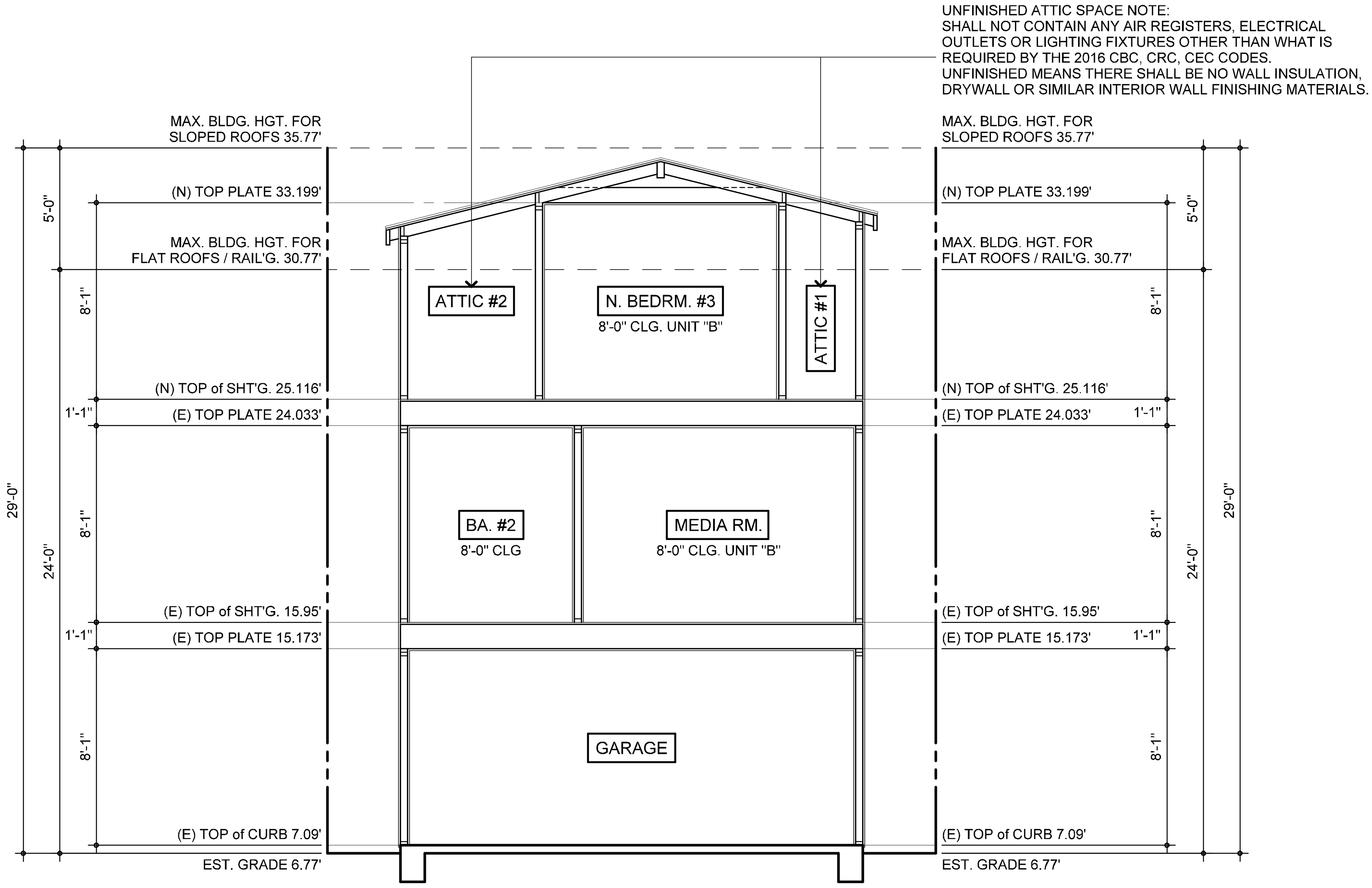

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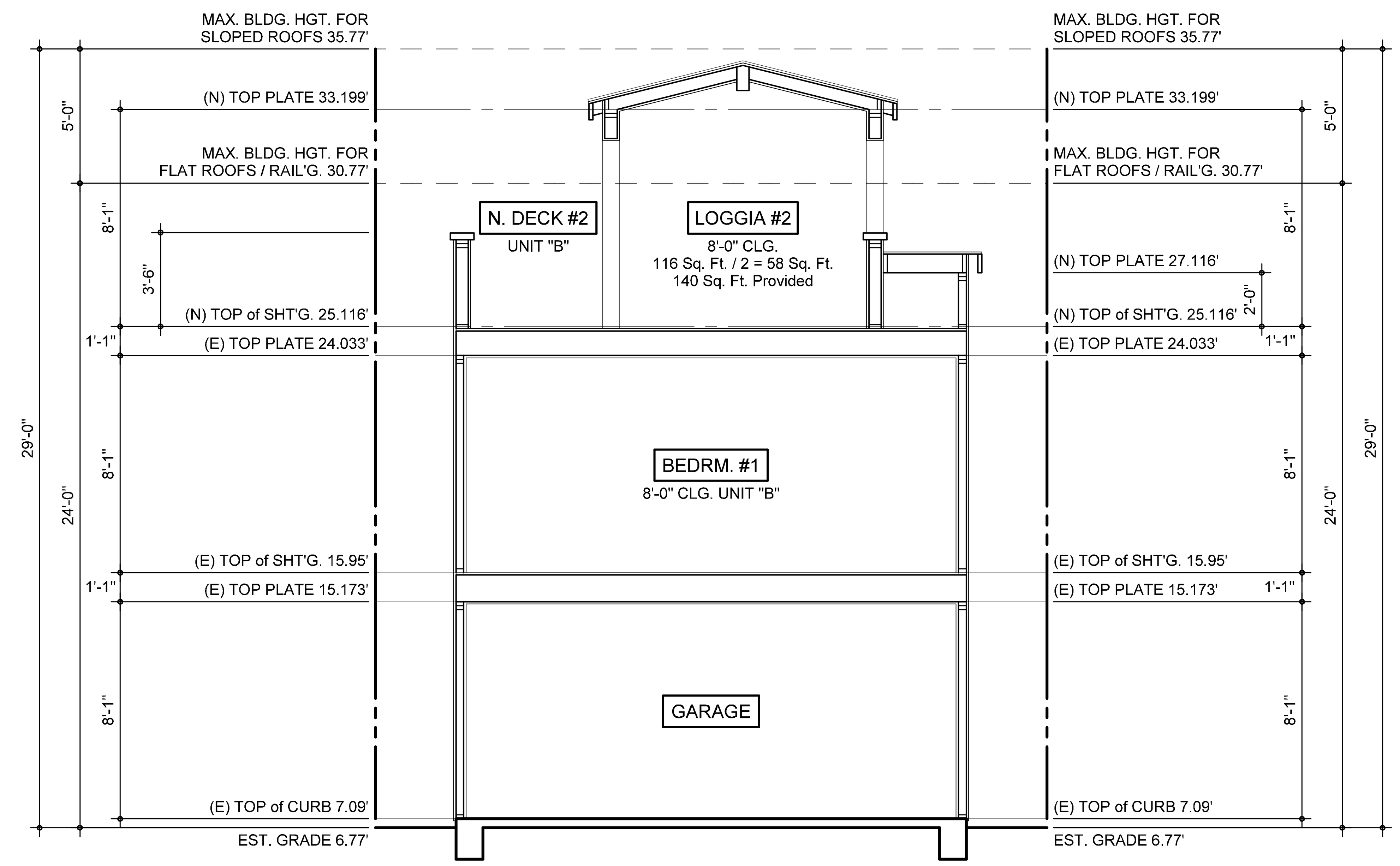

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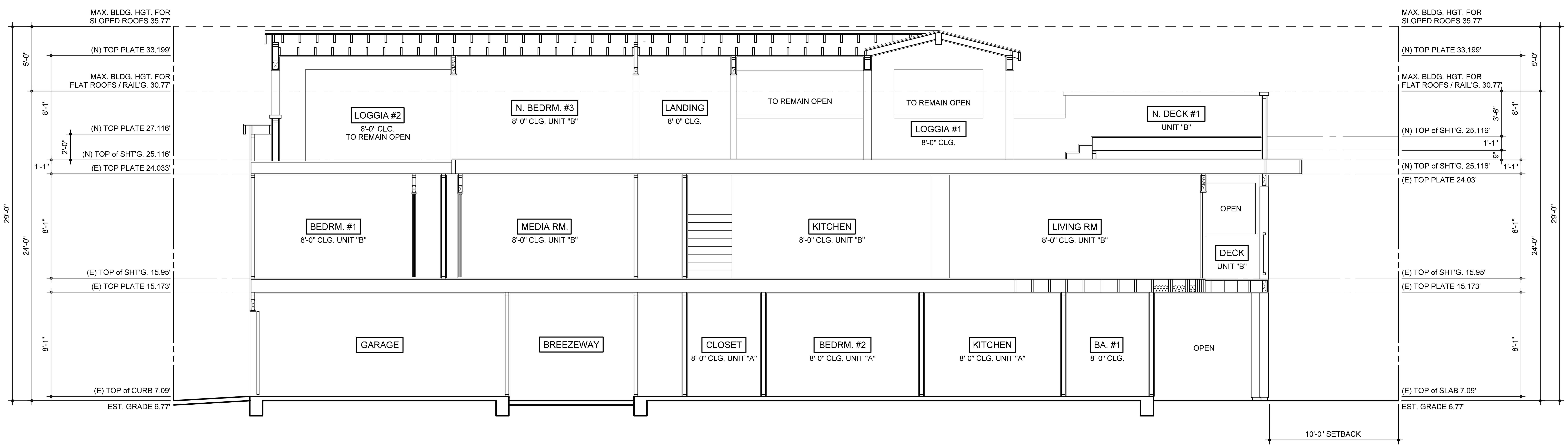

SECTION "A"

SCALE : 1/4" = 1'-0"

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SHEET TITLE
BUILDING SECTIONS

REMODEL PLANS FOR:
DOUGLAS E. BILLINGS
PROJECT ADDRESS:
128 40th STREET
NEWPORT BEACH, CALIFORNIA

Plot Date & Time	5/31/2017 6:11 PM
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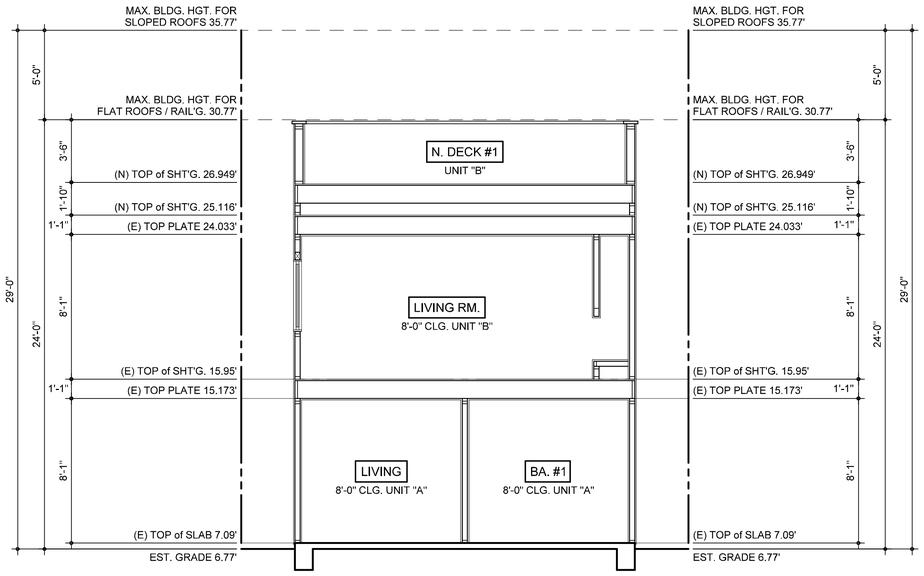

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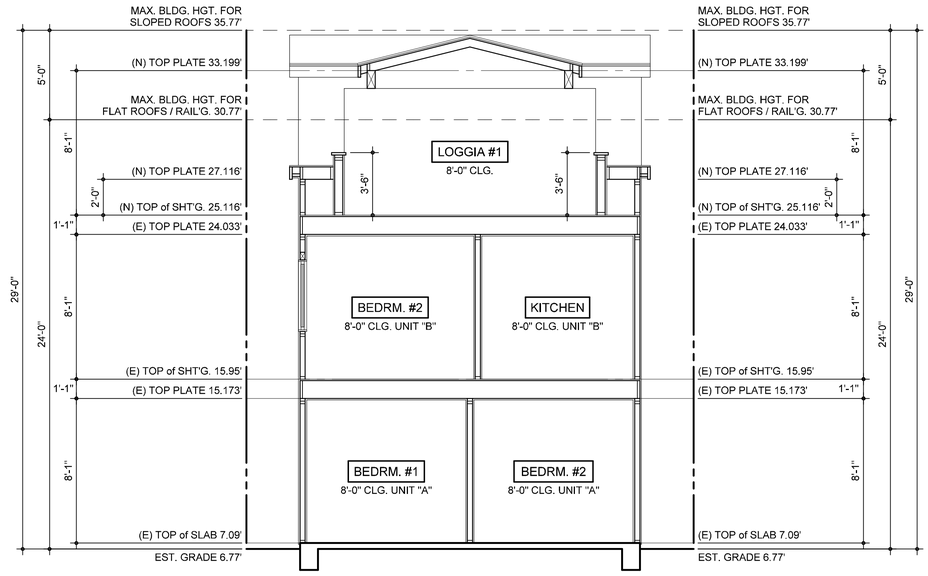

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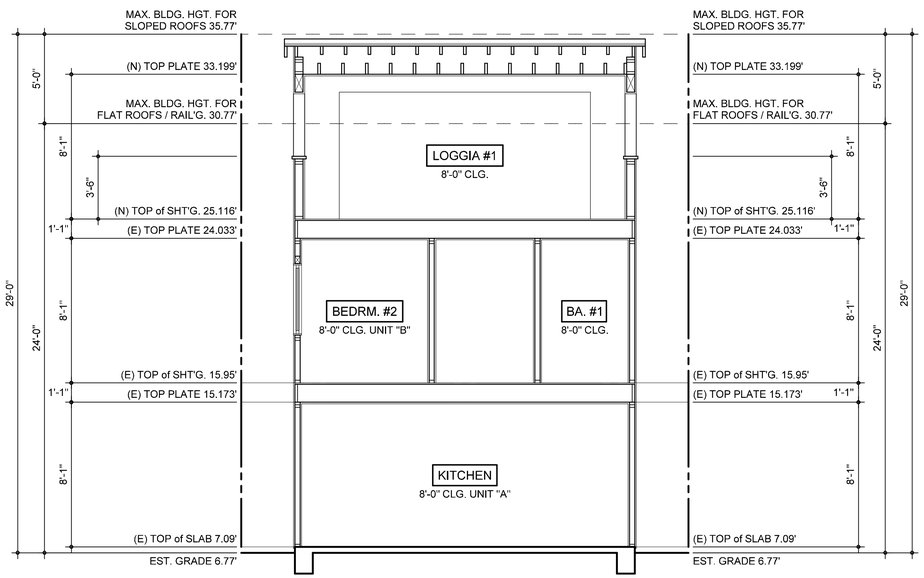

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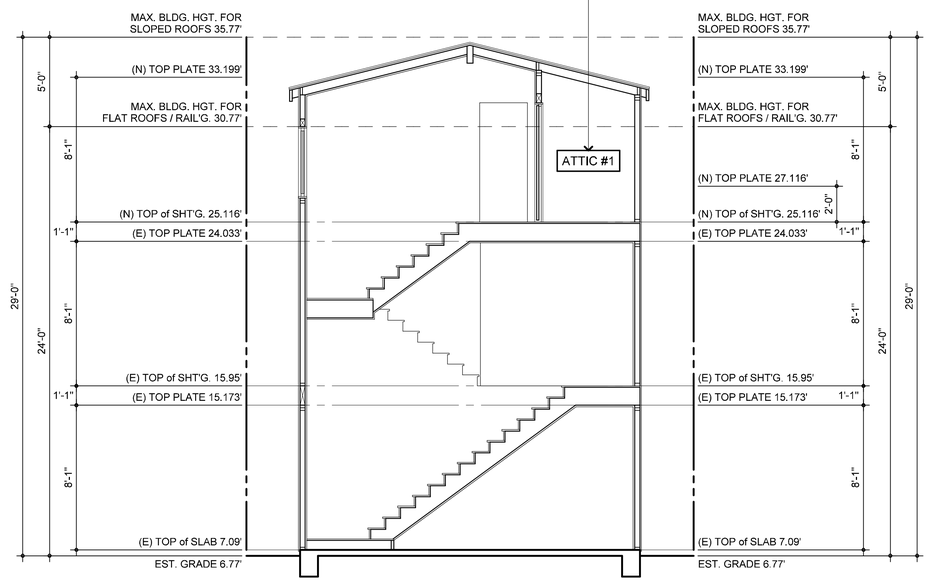

SECTION "D"

SCALE : 1/4" = 1'-0"

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SHEET TITLE

BUILDING SECTIONS

REMODEL PLANS FOR:
DOUGLAS E. BILLINGS
PROJECT ADDRESS:
128 40th STREET
NEWPORT BEACH, CALIFORNIA

Plot Date & Time
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RAJ Project #
2016-23

REVISIONS

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COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
949-644-3200
www.newportbeachca.gov

COASTAL DEVELOPMENT PERMIT
WAIVER FOR DE MINIMIS DEVELOPMENT

Application No.	**Coastal Development Permit Waiver No. CD2017-043 (PA2017-098)**
Applicant	**Nicholson Companies**
Site Location	**216 Evening Canyon Road**
Legal Description	**Lot 51 of Tract 116 in the City of Newport Beach, Orange County, California**
Determination Date:	**July 28, 2017**

DETERMINATION

The Community Development Director hereby waives the requirement for a Coastal Development Permit pursuant to Section 21.52.055 (Waiver for De Minimis Permit) of the City of Newport Beach Local Coastal Program Implementation Plan. The issuance of this Waiver for De Minimis Development is based on the project plans and information provided by the applicant. If, at a later date, this information is found to be incorrect or the plans revised, this decision will become invalid; and any development must cease until an amendment to this Waiver for De Minimis Development is obtained or, a Coastal Development Permit is obtained or, any discrepancy is resolved.

REQUEST/PROJECT DESCRIPTION

A request for the demolition of an existing single-family residence and construction of a new 24-foot high, two-story, 7,007-square-foot single-family dwelling with a basement and an attached 860-square-foot 3-car garage. The design includes hardscape, drainage, and 2,423 square feet of landscaping. The project complies with all applicable development standards and no deviations are requested.

ZONING DISTRICT/GENERAL PLAN

- **Coastal Zoning District**: R-1-6,000 (Single-Unit Residential)
- **Coastal Land Use Category:** RSD-A (Single-Unit Residential Detached – 0.0-5.9 DU/AC)

DISCUSSION

A project is eligible as "de minimis" development under Section 21.52.055 (Waiver for De Minimis Development) of the Local Coastal Program, and therefore, eligible to receive a waiver from the requirement to obtain a Coastal Development Permit if it:

1) Is located within the Coastal Commission's permit jurisdiction or appeal area,
2) Does not require a local public hearing,
3) Does not have the potential for any adverse effect, either individually or cumulatively, on coastal resources, and
4) Is consistent with the certified Local Coastal Program.

Additionally, projects must be located in areas where similar projects have been approved as a routine matter without special conditions, opposition, or have probable public controversy.

The subject property is located in the R-1-6,000 (Single-Unit Residential Detached) Coastal Zoning District, which is consistent with the City's Coastal Land Use Plan, General Plan and Zoning Code. The property is not located in the Appeal Area and therefore a Coastal Development Permit is not required and a de minims waiver can be issued if the project will not adversely affect coastal resources and is consistent with the certified Local Coastal Program.

The subject property is currently developed with a single-family home on an existing lot designated for residential development. The property is located in an area eligible for a Categorical Exclusion Order (CEO), however, the proposed single-family residence exceeds the 1.5 floor area limit identified in Categorical Exclusion CE-5-NPB-16-1. The residence otherwise complies with all other applicable CEO limits and standards. Additionally, the proposed residence conforms to all applicable development standards including floor area limit, setbacks, height, and off-street parking (3 spaces). The project site is not located between the nearest public road and the sea or shoreline and re-development will not affect public recreation, access or views.

All projects are required to comply with the California Building Code and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and the California Building Code (CBC) prior to building permit issuance.

The property is not located within 200 feet of coastal waters. The project design addresses water quality with a construction erosion control plan and a post-construction drainage system. The project is required to adhere to the City's grading, erosion control, and drainage requirements that includes percolation features and retention of dry weather and minor rain event run-off on-site. Any water not retained on-site is directed to the City's storm drain system.

The design, bulk and scale of the development is consistent with the existing neighborhood pattern of development and expected future development. The property is not located near designated Public View Points or Coastal View Roads and will not impact public coastal views. The project is therefore consistent with the certified Local Coastal Program and is eligible as "de minimis" development for a waiver in accordance with Section 21.52.055 of the Local Coastal Program.

WAIVER EFFECTIVENESS

This waiver will not become effective until reported to the City Council at their August 8, 2017, meeting. If two City Council members object to this De Minimis Waiver, a Coastal Development Permit will be required.

ENVIRONMENTAL REVIEW

This project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (Class 3 - New Construction and Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3. Class 3 exempts the construction of limited numbers of new, small structures, including one single-family residence, located in a Single-Unit Residential Zoning District.

PUBLIC NOTICE

Notice of a pending Coastal Development Permit application was posted on the project site at the time the application was filed with the City.

Notice of intent to issue a waiver for de minimis development was mailed to all owners of property and residents within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), the applicant, the Coastal Commission and all persons who have requested notice, at least 7 days prior to the de minimis determination by the Director. Notice of Intent to issue a waiver was also posted on the subject property at least 7 days before the Director's determination consistent with the provisions of Implementation Plan Section 21.52.055.D.

On behalf of Kimberly Brandt, AICP, Community Development Director

By:

Makana Nova
Associate Planner

MKN/JWC

Attachments: CD 1 Vicinity Map
CD 2 Project Plans

Attachment No. CD 1

Vicinity Map

VICINITY MAP

Coastal Development Permit Waiver No. CD2017-043 (PA2017-098)

216 Evening Canyon Road

Attachment No. CD 2

Project Plans

CITY OF NEWPORT BEACH NOTES

CHIMNEY HEIGHT
OVERALL CHIMNEY HEIGHT FROM AN INTERIOR FIREPLACE (INCLUDING CAP AND/OR ARRESTOR) PERMITTED TO EXCEED HEIGHT LIMIT ONLY AS REQUIRED BY C.R.C. OR MANUFACTURER SPECIFICATION PLUS ADDITIONAL 12" MAXIMUM FOR CAP/SPARK ARRESTOR. THE PORTION THAT EXCEEDS HEIGHT LIMIT AND C.R.C. MINIMUM IS LIMITED NOT ONLY TO 12 INCHES IN HEIGHT BUT ALSO 2 FEET BY 4 FEET IN WIDTH AND DEPTH.

DOORS TO POOL
ALL DOORS FROM HOUSE TO POOL YARD MUST BE EQUIPPED WITH AN ALARM PER C.B.C. 3109 & N.B.M.C. 15.04.230. POOL ENCLOSURE AND SAFETY FEATURES SHALL BE PROVIDED.

WALL FINISH TO PROPERTY LINE -SETBACK
DISTANCE FROM FACE OF FOUNDATION TO PROPERTY LINE TO BE ZONING SETBACK PLUS WALL FINISH THICKNESS (MINIMUM) WHERE NEW CONSTRUCTION OR MORE THAN 25% ADDED.

ROOM LIGHT & VENTILATION / EAVES
EAVE PROTECTION DIRECTLY OVER REQUIRED WINDOWS TO BE 30" AWAY FROM PROPERTY LINE. OTHER EAVE PROJECTIONS TO REMAIN 24" (MINIMUM) AWAY FROM PROPERTY LINE. CBC 2007 1205.2. EAVES TO BE 1 HOUR CONSTRUCTION WITHIN 3'-0" FROM PROPERTY LINE.

FIRE SPRINKLERS
NEW CONSTRUCTION, REQUIRES INSTALLATION OF A FIRE SPRINKLER SYSTEM THROUGHOUT THE STRUCTURE. OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION. DEFERRED SUBMITTAL TO BE CERTIFIED BY PROJECT ARCHITECT PRIOR TO SUBMITTAL.

UTILITY
EDISON COMPANY APPROVAL IS REQUIRED FOR METER LOCATION PRIOR TO INSTALLATION.

UTILITY
ELECTRICAL SERVICE TO BE UNDERGROUND FOR NEW CONSTRUCTION OR ADDITIONS GREATER THAN 50% PER NBMC 15.32.015.

PROOF OF EXISTING CONDITIONS
THE GENERAL CONTRACTOR SHALL EXTENSIVELY PHOTOGRAPH THE SITE AND PUBLIC RIGHT-OF-WAY PRIOR TO STARTING DEMOLITION/CONSTRUCTION AS PROOF OF THE EXISTING CONDITION FOR PUBLIC WORKS DEPARTMENT.

SITE RECONSTRUCTION
CONTRACTOR SHALL RECONSTRUCT ALL DAMAGED/BROKEN CONCRETE CURB, GUTTER AND SIDEWALK ALONG THE FAIRFIELD ROAD AND ORRRINGTON ROAD FRONTAGES. -PER CIVIL PLANS.

TREES -PROTECT CITY TREES IN PLACE
REMOVAL OF ANY CITY TREES REQUIRES PRIOR APPROVAL FROM GENERAL SERVICES DEPARTMENT.

SEPARATE PERMITS
A/C UNIT INSTALLATION & LOCATION, POOLS, SPAS, FOUNDATION FOR POOL/SPA, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.

CORNER RECORD / RECORD OF SURVEY
THE SURVEYOR TO FILE A CORNER RECORD OR RECORD OF SURVEY WITH THE OFFICE OF COUNTY SURVEYOR. EVIDENCE OF THE FILING SHALL BE SUBMTTED TO BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.

ASSOCIATION APPROVAL ADVISORY
ISSUANCE OF A BUILDING PERMIT BY THE CITY DOES NOT RELIEVE APPLICANT OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN COMMUNITY ASSOCIATION APPROVAL OF PLANS.
YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.

DRAINAGE
MAINTAIN DRAINAGE PER CITY STANDARDS AND EXISTING CONDITIONS. CONTRACTOR SHALL TEST THE DRAINAGE TO VERIFY FLOW BEFORE AND AFTER ADDITION. SHOULD PONDING OR OTHER RESTRICTION OCCUR, CONTACT THE OWNER AND ARCHITECT IMMEDIATELY.

WASTEWATER CONTRACTOR
ALL WORK RELATED TO WASTEWATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-42 LICENSED SANITATION SEWER CONTRACTOR OR AN "A" LICENSED GENERAL ENGINEERING CONTRACTOR.

WATER CONTRACTOR
ALL WORK RELATED TO WATER PIPING IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-34 LICENSED PIPELINE CONTRACTOR OR AN "A" LICENSED GENERAL ENGINEERING CONTRACTOR.

ACOUSTICS
ALL WORK RELATED TO AIR CONDITIONING CONDENSERS AND POOL AND/OR SPA EQUIPMENT SHALL BE PERFORMED BY A LICENSED CONTRACTOR AS DESIGN-BUILD CONSTRUCTION. SUBMIT SOUND ATTENUATION DESIGN FOR HVAC AND POOL AND/OR SPA EQUIPMENT PER ARI STANDARD 275, PRIOR TO OBTAINING MECHANICAL OR POOL/SPA PERMITS. SOUND LEVEL NOT TO EXCEED 50 DBA (55DBA WITH TIMER; 65 DBA WITH TIMER AND NEIGHBOR'S CONSENT) PER SECTION 10.26.045 OF THE NBMC. LOCATION OF MEASUREMENT TO BE ADJACENT PROPERTY PATIO OR OPENING.

FIRE PIT
FIRE PIT WILL BE UNDER SEPARATE PERMIT BUT IT SHALL BE BUILT AT THE SAME TIME AS THIS PERMIT.

TEMPERED GLASS
ALL TEMPERED GLASS TO BE ETCH MARKED.

TRASH
TRASH CAN STORAGE AREA TO BE OUT OF VIEW FROM PUBLIC PLACES AND MAY NOT BE LOCATED IN REQUIRED PARKING AREAS.

FLOOR SLABS
NEW CONSTRUCTION WITH SLAB ON GRADE SHALL INSTALL A CAPILLARY BREAK IN COMPLIANCE WITH THE FOLLOWING:
A 2-INCH THICK LAYER OF SAND OVER A VAPOR BARRIER OVER A 4-INCH THICK BASE OF 1/2-INCH OR LARGER CLEAN AGGREGATE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING. (FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.0R-06)
-PROVIDE A MOISTURE VAPOR RETARDER CONSISTING OF A POLYETHYLENE MEMBRANE SUCH AS 15-MIL VAPOR BARRIER TO MEET ASTM 1745, OR EQUIVALENT. REFER TO SOILS REPORT.

FIRE RESISTIVE CONSTRUCTION
WALLS WITHIN 5 FEET OF PROPERTY LINE SHALL BE 1-HOUR FIRE RESISTIVE CONSTRUCTION.

PROJECTION OVER PUBLIC WAY
MAXIMUM PROJECTION OF 6 INCHES PERMITTED OVER SIDEWALK OR PUBLIC WAY. UBC CHAP. 32.

ENCROACHMENT AGREEMENT
A CITY ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NON-STANDARD PRIVATE IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.

ENCROACHMENT PERMIT INSPECTION
IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, ALLEY/STREET PAVEMENT, AND OTHER PUBLIC IMPROVEMENTS WILL BE REQUIRED BY THE CITY AT THE TIME OF PRIVATE CONSTRUCTION COMPLETION. ADDITIONALLY, IF EXISTING UTILITIES INFRASTRUCTURE ARE DEEMED SUBSTANDARD, A NEW 1-INCH WATER SERVICE, WATER METER 2 OF 3 BOX, SEWER LATERAL AND/OR CLEANOUT WITH BOX AND LID WILL BE REQUIRED. 100% OF THE COST SHALL BE BORNE BY THE PROPERTY OWNER (MUNICIPAL CODES 14.24.020 AND 14.08.030). SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR

ENCROACHMENT PERMIT
AN ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY. ALL NON-STANDARD IMPROVEMENTS SHALL COMPLY WITH CITY COUNCIL POLICY L-6 AND L-18

HOME OWNERS ASSOCIATION NOTES -SHORECLIFFS

HOME OWNERS ASSOCIATION NOTES
AIR CONDITIONING UNIT MUST BE KEPT OUT OF THE SETBACKS.

FRONT SETBACK HEIGHT LIMIT
NO WALL, FENCE OR HEDGE SHALL BE ERECTED, MAINTAINED OR PLANTED WITHIN FRONT YARD SETBACK HIGHER THAN 3'-0" ABOVE FINISHED GRADE.

REAR SETBACK HEIGHT LIMIT
NO WALL, FENCE OR HEDGE SHALL BE ERECTED, MAINTAINED OR PLANTED WITHIN REAR YARD SETBACK HIGHER THAN 5'-6" ABOVE FINISHED GRADE.

POOL EQUIPMENT
POOL EQUIPMENT SHOULD NOT BE LOCATED IN SETBACKS OR AN APPROVED SOUND ATTENUATION STUDY MUST BE SUBMITTED.

HARDSCAPE / SOFTSCAPE
A COMPLETE HARDSCAPE / LANDSCAPE PLAN SHALL BE SUBMITTED PRIOR TO TIME THAT BUILDING HEIGHT CERTIFICATION IS APPPROVED. ANY ADDITIONAL TREES, PLANTS, HEDGES OR SHRUBS SHALL BE SHOWN.

CHIMNEY
CHIMNEY HEIGHT SHALL NOT BE HIGHER THAN 2'-0" ABOVE ANY POINT OF ROOF 10'-0" AWAY. 1'-0" EXTRA ALLOWED FOR SPARK ARRESTOR.

PROPERTY LINE WALLS
ALL PROPOSED WALLS OR FENCES ON A PROPERTY LINE THAT IS SHARED WITH A NEIGHBOR MUST HAVE WRITTEN APPROVAL SUBMITTED FROM THAT NEIGHBOR.

BBQ
BBQ MUST NOT ENCROACH INTO SETBACKS.

BUILDING HEIGHT
BUILDING HEIGHT CERTIFICATION UPON COMPLETION OF FRAMING AND PRIOR TO INSTALLATION OF ANY ROOF MATERIAL MUST BE SUBMITTED.
A HEIGHT CERTIFICATION FROM A LICENSED ENGINEER MUST BE SUBMITTED FOR SLAB HEIGHT CERTIFICATION PRIOR TO POURING CONCRETE SLAB.

PLANTING
NO TREES, PLANTS, HEDGES OR SHRUBS SHALL BE ALLOWED TO GROW ON ANY SITE IF THE ARCHITECTURAL COMMITTEE FEELS THE SIZE, HEIGHT OR NATURE UNREASONABLY OBSTRUCTS THE OCEAN VIEW FROM ANY ADJACENT, NEARBY OR ADJOINING BUILDING SITES WITHIN TRACT.

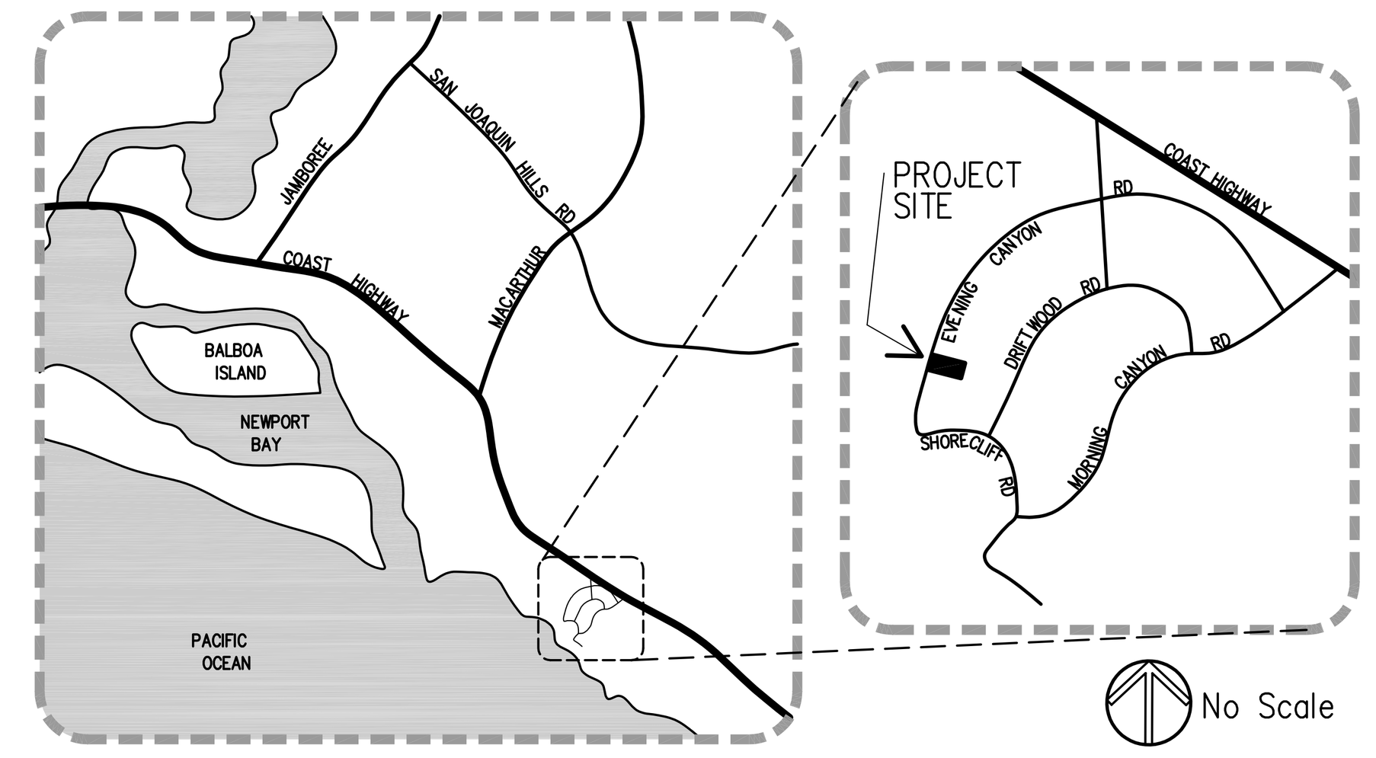
POOLS
ALL POOL AREAS THAT REQUIRE EXCAVATION SHOULD BE KEPT OUT OF THE SETBACKS.

ENERGY

REQUIRED SPECIAL FEATURES
NON-STANDARD DUCT LOCATION (ANY LOCATION OTHER THAN ATTIC)
PIPE INSULATION, ALL LINES

SUMMARY OF FEATURES THAT MUST BE CERTIFIED BY HERS RATER
BUILDING LEVEL VERIFICATIONS:
-IAQ MECHANICAL VENTILATION
COOLING SYSTEM VERIFICATIONS:
- MINIMUM AIRFLOW
- VERIFIED EER
-FAN EFFICACY WATTS/CFM
HVAC DISTRIBUTION SYSTEM VERIFICATIONS:
- DUCT SEALING

VICINITY MAP



SITE LEGEND

- LINE OF BUILDING FOOTPRINT
- PROERTY LINE
- SETBACK LINE
- A/C DISC. — AIR CONDITIONING CONDENSER. VERIFY SIZE WITH TITLE 24 REPORT. SOUND ATTENUATION DESIGN TO BE BE PROVIDED BY CONTRACTOR AT TIME OF PULLING PERMIT. -PROVIDE ELEC. DISCONNECT, TO BE VISIBLE FROM UNIT, TO PROTECT MAINTENANCE PERSONAL DURING REPAIR OR MAINTENANCE.
- WM — WATER METER
- SCO — SEWER CLEAN OUT
- TREES
- (279) (280) — CONTOUR LINES (SEE TOPOGRAPHIC SURVEY AND GRADING PLANS)

LANDSCAPED AREAS

TOTAL PROPOSED IRRIGATED LANDSCAPE AREA:	1928.59 SF
TOTAL PROPOSED LAWN AREA:	255.08 SF
TOTAL PROPOSED WATER FEATURE:	239.02 SF
TOTAL IRRIGATED LANDSCAPE + WATER FEATURE:	2,422.69 SF

2422.69 SF > 500 SF THEREFORE NEW LANDSCAPING MUST COMPLY WITH WATER-EFFICIENT LANDSCAPE ORDINANCE CH. 14.17.

REVISION HISTORY

CODES

ALL WORK AND MATERIALS SHALL CONFORM STRICTLY TO THE 2013 C.R.C.; 2013 C.B.C.; 2013 C.P.C.; 2013 C.E.C.; 2013 C.M.C.; 2013 CEES (CA ENERGY); 2013 C.G. (CAL GREEN); CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (NBMC); AND ALL OTHER FEDERAL, STATE AND LOCAL CODE.

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT AND/OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN CHECK OR APPROVAL BY THE CITY.
SEE STRUCTURAL ENGINEERING DRAWINGS AND ENGRG DRAWINGS FOR DEFERRED SUBMITTALS. VERIFY WITH STRUCTURAL ENGINEER.

-AUTOMATIC FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D
-SEE STRUCTURAL DRAWINGS FOR STRUCTURAL DEFERRED SUMBITTALS.

-STRUCTURAL STEEL SHOP DRAWINGS

SPECIAL INSPECTIONS

SEE STRUCTURAL AND SHORING DRAWINGS FOR SPECIAL INSPECTIONS.
VERIFY WITH STRUCTURAL PLANS.

-STEEL, SHOTCRETE, MASONRY GROUT (WHERE REQUIRED), EXPANSION ANCHOR, ADHESIVE ANCHOR.
-STRUCTURAL STEEL WELDING AND HIGH STRENGTH BOLTING

HEIGHT CERTIFICATION

NOTE TO GENERAL CONTRACTOR:
HEIGHT CERTIFICATION INSPECTION IS REQUIRED

PROJECT DESCRIPTION

NEW 2-STORY SINGLE FAMILY RESIDENCE WITH BASEMENT

LOT COVERAGE

SITE AREA	7,988.01 S.F.	
BUILDING FOOTPRINT (AT EAVES)	3,616 S.F.	
LOT COVERAGE (AT EAVES)	45.27%	(60% MAX.)

PROJECT DATA

LEGAL DESCRIPTION:	TRACT: 1116 LOT: 51
APN#	052-192-03
ZONE	R-1-6000
OCCUPANCY GROUP	R-3/U (GARAGE)
CONSTRUCTION TYPE	TYPE VB, SPRINKLERED
(BUILDING SHALL BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13D)	
PARKING	THREE CAR GARAGE

AREAS:

BASEMENT FLOOR	1,728 S.F.
FIRST FLOOR	2,861 S.F.
SECOND FLOOR	2,418 S.F.
GARAGE	860 S.F.
DECK AND BALCONY	1001 S.F.
TOTAL HABITABLE AREA	7007 S.F.
TOTAL DECK AREA	1001 S.F.
TOTAL GARAGE AREA	860 S.F.
TOTAL HABITABLE AREA + GARAGE	7,867 S.F.

BUILDABLE AREA: 4,900 S.F.
4,900 S.F. X 1.5 = 7,350 S.F. MAX.

OWNER

216 EVENING CANYON, LLC
1 CORPORATE PLAZA DR., SUITE 110
NEWPORT BEACH, CA 92660
TEL: (949) 756-8393

ARCHITECT

TEALE ARCHITECTURE
2900 BRISTOL ST., BLDG A, SUITE 203
COSTA MESA, CA 92626
TEL: (949) 975-0123 FAX: (949) 274-4833
EMAIL: mteale@tealearchitecture.com

MARK TEALE . ARCHITECT C-22162

CONTRACTOR

NICHOLSON CONSTRUCTION
1 CORPORATE PLAZA, SUITE 110
NEWPORT BEACH, CA 92625
TEL: (949) 756-8393
FAX: (949) 756-8394

STRUCTURAL ENGINEER

PATEL BURICA & ASSOCIATES, INC.
9283 RESEARCH DRIVE
IRVINE, CA 92618
TEL: (949) 943-8080
FAX: (714) 352-2205
EMAIL: spatel@pbastructural.com
SHARAD PATEL, PE LICENSE #S-4488

CIVIL ENGINEER / SURVEYOR

DUCA-McCOY
3840 E. COAST HIGHWAY
CORONA DEL MAR, CA 92625
TEL: (949) 675-4487

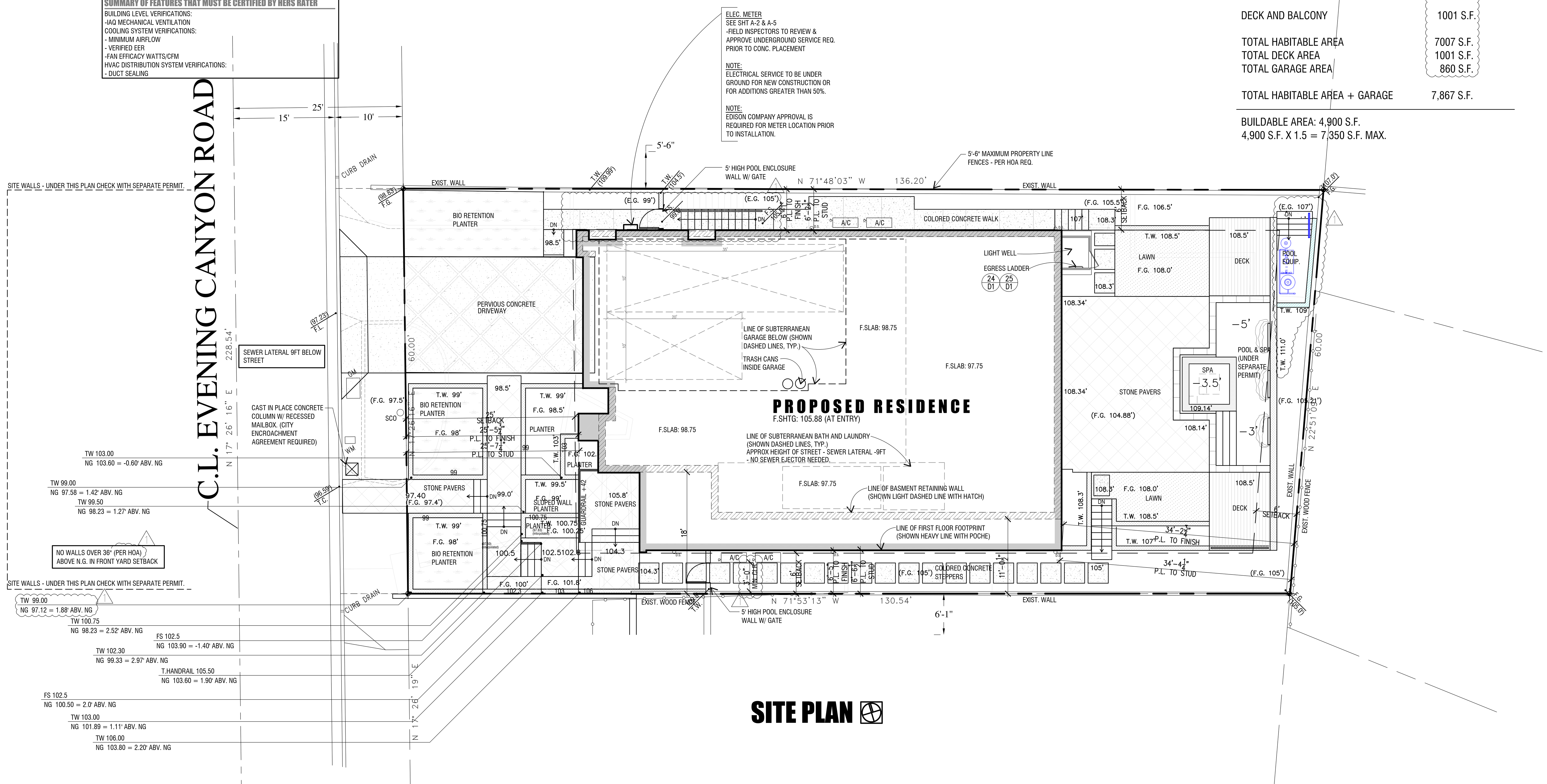
GEOTECHNICAL ENGINEER

PETRA GEOSCIENCES, INC. — REPORT # J.N. 16-301
3198 AIRPORT LOOP DRIVE SUITE A-2 — MAY 12, 2017
COSTA MESA, CA 92626
TEL: (714) 549-8921

LANDSCAPE ARCHITECT

CRAIG DE PFYFFER, PLA, ISA
ENVIRONMENTAL DESIGNS
LANDSCAPE ARCHITECTURE
1278 GLENNEYRE ST. #196
LAGUNA BEACH,CA.92651
TEL: (800) 811-3010
FAX: (800) 811-3014
CRAIG@ENVIRONMENTALDESIGNSLANDSCAPE.COM

SHEET INDEX - COASTAL SUBMITTAL



SITE PLAN

TEALE ARCHITECTURE
2900 Bristol Street
Building A, Suite 203
Costa Mesa, Ca 92626
Tel: 949 . 975 . 0123
Fax: 949 . 274 . 4833
tealearchitecture.com

LICENSED ARCHITECT MARK TEALE No. C 22162 Ren. 7/31/17 STATE OF CALIFORNIA

PROJECT
216 EVENING CANYON
216 EVENING CANYON ROAD
NEWPORT BEACH, CA 92625
....
PLAN CHECK # 1129-2017 COASTAL REV. #PA2017-098

SHEET
SITE PLAN
PROJECT DATA

REVISIONS:
1 COASTAL/CLIENT REVISIONS 6/12/17

Plot Date: 06/15/17
START DATE: 1/3/17
SCALE: 1/8" - 1'-0"
SHEET
A-1

IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT *

DOOR SCHEDULE

SYMBOL	WIDTH	HEIGHT	THK.	CORE (S.C. = SOLID CORE, H.C. = HOLLOW CORE)	TYPE .	EXTERIOR DOOR w/TEMP. GLASS [T]	INTERIOR DOOR -TRUSILE TS1000 MDF DOOR	INTERIOR SLIDING BARN DOOR	SLIDING DOOR w/TEMP. GLASS [T]	GARAGE DOOR, PER OWNER	AREA (SQ. FT.)	DIRECTION		☐	U-FACTOR	SHGC
1	3'-6"	9'-0"				/6					32	S		E	.46	.28
2	25'-0"	8'-0"							B/3,5		200	E		A	.46	.28
3	2'-8"	9'-0"	1 3/4"	S.C.			B/									
4	3'-0"	8'-0"	1 3/4"	S.C.			B/9									
5	2'-8"	8'-0"	1 3/4"	S.C.			B/									
6	6'-0"	7'-6"							B/3		45	W			.46	.28
7	2'-6"	8'-0"	1 3/4"	S.C.			B/									
8	2'-10"	8'-0"	1 3/4"	S.C.			B/7									
9	3'-0"	8'-0"	1 3/4"	S.C.			B/									
10	4'-0"	8'-0"	1 3/4"	S.C.				B/								
11	3'-0"	8'-0"				B/3					24	E			.46	.28
12	3'-0"	5'-0"	1 3/4"	S.C.			B/1,4							F		
13	2'-10"	6'-8"	1 3/4"	S.C.			B/									
14	3'-0"	6'-8"	1 3/4"	S.C.			B/9									
15	3'-0"	6'-8"	1 3/4"	S.C.			B/4							F		
16	2'-10"	8'-0"	1 3/4"	S.C.			B/7									
17	3'-0"	6'-8"	1 3/4"	S.C.			B/									
18	16'-8"	8'-0"							B/3		134				.46	.28
19	...	...														
G1	16'-0"	8'-6"								/8						

FINISH / NOTES (A = FINISH, 1 = NOTES)

FINISH:
A.
B. PAINT NEW DOOR. PROVIDE EMTEK OR EQUAL DOOR HARDWARE. STYLE AND FINISH TO BE SELECTED PRIOR TO ORDERING.
C. FACTORY FINISH

NOTES:
1. VERIFY HEIGHT IN FIELD.
2. FIBERGLASS DOOR.
3. PATIO / FRENCH DOORS TO MATCH WINDOW MANUFACTURER.
4. FIRE-RATED DOOR: SEE "F" NOTE BELOW
5. ALL DOOR FROM HOUSE TO POOLYARD MUST BE EQUIPPED WITH AN ALARM
6. FRONT DOOR, PER OWNER.
7. LOUVERED DOOR FOR MAKE-UP AIR TO LAUNDRY ROOM, AND TO PROVIDE AIR TO THE WHOLE HOUSE EXHAUST FAN. PROVIDE 100 SQ. IN. MIN.
8. GARAGE DOOR, VERIFY SIZE WITH CIVIL PRIOR TO ORDERING
9. ELEVATOR DOOR, PER MANUFACTURER.

[E] EGRESS DOOR: 32" MIN. WIDTH, 78" MIN. HEIGHT, WITH THE DOOR OPEN 90 DEGREES. CONTACT ARCHITECT IMMEDIATELY SHOULD THERE BE ANY CONFLICT IN THESE REQUIREMENTS. THANK YOU.

[T] TEMPERED GLASS: VERIFY WITH SCHEDULE. SAFETY GLASS IN HAZARDOUS LOCATION SHALL BE TEMPERED, LAMINATED OR WIRE GLASS. GLASS TO BE ETCH MARKED.

[A] DOOR ALARM ALL DOORS FROM HOUSE TO POOL YARD MUST BE EQUIPPED WITH AN ALARM PER CBC 3109.4.4.2.

[F] FIRE-RATED DOOR: FOR RESIDENTIAL PROJECTS: DOORS AND FRAMES FROM 1-HOUR RATED GARAGE TO HOUSE WALLS SHALL BE RATED NO LESS THAN 20 MINUTE SMOKE CONTROL ASSEMBLY. (THE SEPARATION MAY BE LIMITED TO THE INSTALLATION OF MATERIALS APPROVED FOR 1-HOUR FIRE RESISTIVE CONSTRUCTION ON THE GARAGE SIDE AND A SELF CLOSING, TIGHT FITTING, 1-3/8" SOLID CORE WOOD DOOR, STEEL HONEYCOMB-CORE DOOR, OR A DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES IS PERMITTED IN LIEU OF 1-HOUR ASSEMBLY. DOORS SHALL BE SELF CLOSING AND LATCHING. PER CRC R302.5.1

GENERAL NOTES
1. ALL NEW DOORS WILL BE TO MATCH EXISTING. AS APPROVED BY OWNER.
2. VERIFY ALL SIZES WITH ARCHITECT PRIOR TO ORDERING.
3. ALL GLASS SHALL BE LOW E.
4. FENESTRATIONS WITH "U" FACTOR LOWER THAN DEFAULT VALUE MUST HAVE PERMANENT LABEL. OTHER FENESTRATIONS MAY HAVE A FACTORY REMOVABLE LABEL.
5. THE CONTRACTOR SHALL PROVIDE AND INSTALL CORROSION RESISTANT PANS BELOW ALL EXTERIOR DOORS. INCLUDE PROTECTION TO PREVENT ELECTROLYSIS BETWEEN DISSIMILAR METALS.

WINDOW SCHEDULE

OA INDICATES OVERALL DIM.
WINDOW SIZE INDICATES FRAME SIZE, NOT R.O.
VERIFY INCREASE SIZE FOR R.O.

SYMBOL	WIDTH x HEIGHT	☐	TYPE .	FIXED GLASS WINDOW	SLIDING WINDOW	CASEMENT WINDOW	AWNING WINDOW	GLASS: DOUBLE PANE	BUTT-JOINT GLASS	MATERIAL: ALUMINUM	.	TEMPERED GLASS [T]	AREA (SQ. FT.)	DIRECTION		U-FACTOR	SHGC
A	3'-0"x6'-0"					B/		/		/		/	18	W		.46	.28
B	6'-9"x6'-3"			B/2						/			42	W		.46	.28
~~C~~	~~5'-10"x6'-0"~~			~~B/~~				~~/~~		~~/~~			~~35~~	~~W~~		~~.46~~	~~.28~~
~~D~~	~~5'-10"x6'-0"~~			~~B/~~				~~/~~		~~/~~			~~35~~	~~W~~		~~.46~~	~~.28~~
~~E~~	~~3'-0"x5'-0"~~					~~B/~~		~~/~~		~~/~~			~~15~~	~~N~~		~~.46~~	~~.28~~
F	3'-0"x5'-0"					B/2		/		/			15	N		.46	.28
G	3'-0"x4'-6"					B/		/		/			14	N		.46	.28
H	3'-0"x5'-0"					B/2		/		/			15	E		.46	.28
J	2'-6"x3'-0"						B/	/		/			8	S		.46	.28
K	2'-6"x5'-0"	E				B/		/		/			13	S		.46	.28
L	2'-0"x3'-0"						B/	/		/			6	S		.46	.28
M	3'-0"x6'-0"	E				B/		/		/			18	S		.46	.28
N	3'-0"x6'-0"					B/		/		/			18	W		.46	.28
P	3'-0"x5'-0"					B/		/		/			15	W		.46	.28
Q	2'-8"x4'-6"					B/2		/		/		/	12	N		.46	.28
R	2'-6"x5'-0"					B/		/		/			13	W		.46	.28
S	2'-6"x5'-0"	E				B/		/		/			13	N		.46	.28
T	2'-0"x3'-0"						B/	/		/			6	N		.46	.28
U	2'-0"x3'-0"						B/	/		/			6	N		.46	.28
V	2'-6"x3'-0"						B/	/		/			8	E		.46	.28
W	2'-6"x5'-0"	E				B/		/		/			13	E		.46	.28
X	2'-6"x5'-0"	E				B/		/		/			13	E		.46	.28
Y	2'-0"x3'-0"						B/	/		/			6	S		.46	.28
Z	3'-0"x5'-0"					B/		/		/			15	S		.46	.28
AA	3'-0"x6'-0"						B/2	/		/		/	18	S		.46	.28
BB	3'-0"x5'-6"	E				B/		/		/			17	S		.46	.28
CC	LEFT 3'-1.75"x5'-6"			B/2					/	/			17	W		.46	.28
	RIGHT 3'-1.75"x5'-6"			B/2					/	/			17	S		.46	.28
DD	LEFT 2'-6"x5'-6"					B/2		/		/			14	W		.46	.28
	MIDDLE 4'-5"x5'-6"			B/2					/	/			24	W		.46	.28
	RIGHT 2'-6"x5'-6"					B/2		/		/			14	W		.46	.28
EE	LEFT 3'-1.75"x5'-6"			B/2					/	/			17	N		.46	.28
	RIGHT 3'-1.75"x5'-6"			B/2					/	/			17	W		.46	.28

FINISH / NOTES (A = FINISH, 1 = NOTES)

FINISH:
A.
B. NEW ALUMINUM CLAD WOOD WINDOW. COLOR PER SPECIFICATION ON SHEET A-3. PROVIDE INSECT SCREEN AT ALL OPENINGS.

NOTES:
1.
2. MULL" WINDOWS TOGETHER AT FACTORY
3. PROVIDE OBSCURE GLASS.

[E] EGRESS WINDOW: 20" MIN. WIDTH, 36" MIN. HEIGHT, 5.7 SQ. FT. MIN. OPEN AREA, 44" MAX. SILL FROM FINISH FLOOR. CONTACT ARCHITECT IMMEDIATELY SHOULD THERE BE ANY CONFLICT IN THESE REQUIREMENTS. THANK YOU.

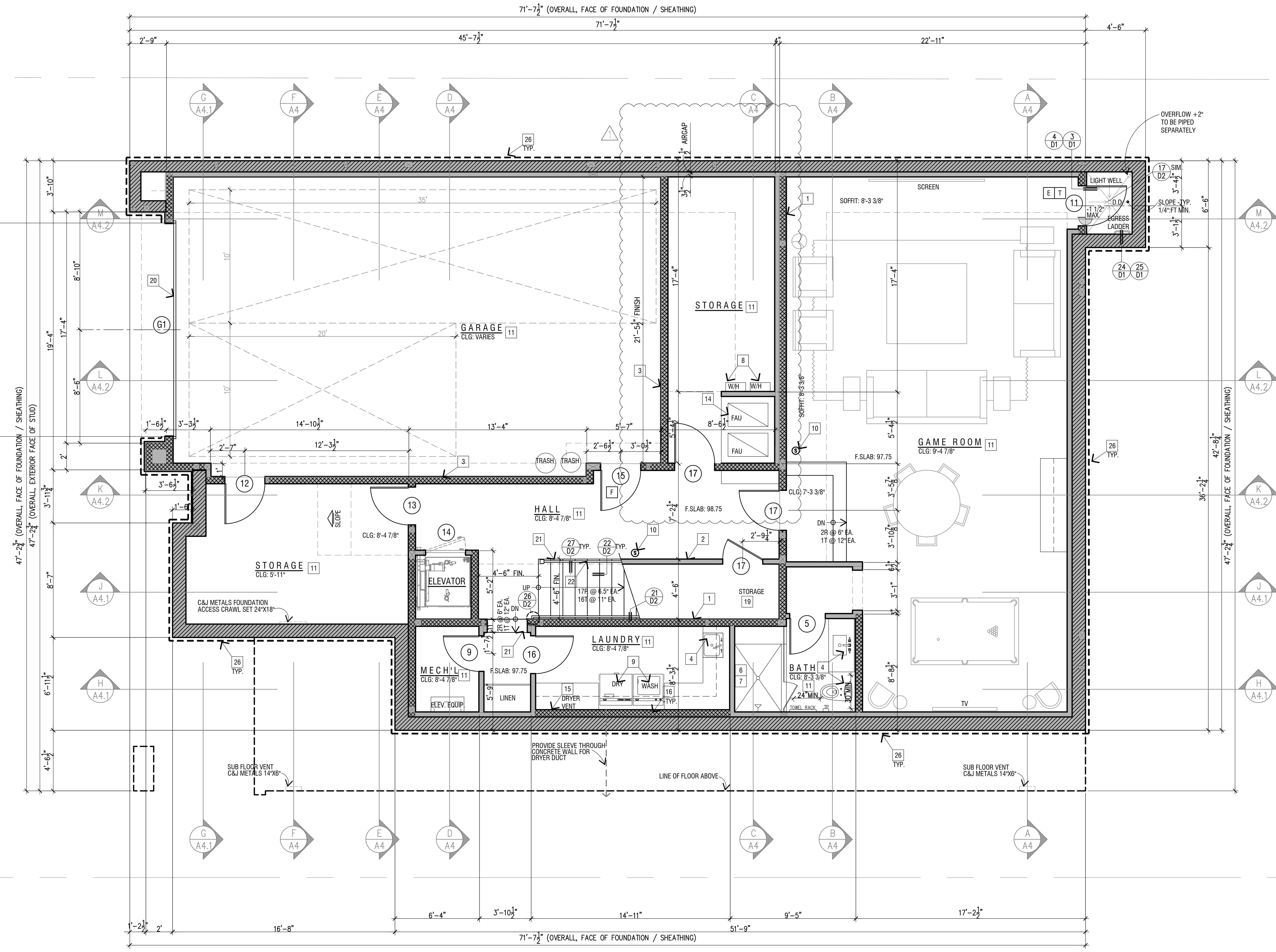
[T] TEMPERED GLASS: VERIFY WITH SCHEDULE. SAFETY GLASS IN HAZARDOUS LOCATION SHALL BE TEMPERED, LAMINATED OR WIRE GLASS. GLASS TO BE ETCH MARKED.

NOTES CAUTION:
THE GENERAL CONTRACTOR MUST CONTACT THE OWNER AND ARCHITECT (WITH 48HRS NOTICE) FOR A MEETING WITH THE WINDOW SUPPLIER TO VERIFY EVERY WINDOW AND DOOR PRIOR TO ORDERING. OWNER SIGNED APPROVAL MUST BE OBTAINED PRIOR TO ORDERING. FAILURE TO DO THIS WILL PLACE ALL RESPONSIBILITY FOR THE WINDOW ORDER ON THE CONTRACTOR.

GENERAL NOTES
GENERAL CONTRACTOR AND WINDOW SUPPLIER SHALL VERIFY COMPLIANCE WITH THE FOLLOWING PRIOR TO ORDERING WINDOWS:
1. IN R-3 OCCUPANCY, PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS PER CRC R310. MINIMUM AREA: 5.7 SQ. FT. (MINIMUM AREA: 5.0 SQ. FT. AT GRADE LEVEL), MINIMUM WIDTH: 20", MINIMUM HEIGHT: 24", MAXMUM SILL HEIGHT TO BE 44". THERE SHALL BE CLEAR ACCESS FROM EMERGENCY ESCAPE OPENING TO A PUBLIC WAY.
2. ALL GLASS WITHIN 18 INCHES OF WALKING SURFACE SHALL BE FULLY TEMPERED. ALL GLASS WITHIN 24" OF EITHER VERTICAL EDGE OF A DOOR IN ITS CLOSED POSITION SHALL BE FULLY TEMPERED. ALL TEMPERED GLASS TO BE ETCH MARKED.
3. ALL WINDOWS SHALL COMPLY WITH ANSI-S-134.1. ALL DOORS SHALL COMPLY WITH ANSI-S-134.2 - 1972.
4. ALL GLASS SHALL COMPLY WITH APPLICABLE FEDERAL CONSUMER SAFETY LAWS.
5. VERIFY ALL WINDOWS WITH ELEVATIONS PRIOR TO ORDERING
6. ALL GLASS SHALL BE LOW E.
7. FENESTRATIONS WITH "U" FACTOR LOWER THAN DEFAULT VALUE MUST HAVE PERMANENT LABEL. OTHER FENESTRATIONS MAY HAVE A FACTORY REMOVABLE LABEL.
8. IN R-3 OCCUPANCY, WHERE THE OPENING OF THE SILL PORTION OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW, THE CLEAR OPENING MUST BE A MIN. 24" ABOVE THE FINISH FLOOR PER CRC R612.2.

MINIMUM EGRESS WINDOW SIZES:
CASEMENT: 2'-6"x4'-0" MIN.
SINGLE/DOUBLE HUNG: 3'-0"x5'-0" MIN.

-IF WINDOWS ARE SMALLER IN ANY DIRECTION, VERIFY EGRESS WITH MANUFACTURER.
-IF USING ABC WINDOW COMPANY DV775 DELUXE VINYL SINGLE HUNG WINDOWS, SEE ARCHITECT BEFORE ORDERING.



BASEMENT FLOOR PLAN

REQUIRED SUBFLOOR VENTILATION

NOTE:
UNDER FLOOR SPACE VENTS SHALL BE INSTALLED NOT LESS THAN ONE (1) SQUARE FOOT OF FOR EACH 1500 SQUARE FEET WHEN A CLASS 1 VAPOR BARRIER IS INSTALLED. PER CRC R408.1

SUBFLOOR REQUIRED NET FREE VENTILATING AREA :
FLOOR SQ. FT. 357/1500=0.238 S.F. VENT AREA REQ'D = 34.27 SQ. IN.

NET FREE VENTILATING AREA FOUNDATION VENTS :
SUBFLOOR VENT C&J METALS FOUNDATION VENT 14"X8" 95 SQ.IN.

CONTRACTOR TO PROVIDE & INSTALL : TWO (2)
FOUNDATION VENT 14"X6" -71 SQ.IN.
TOTAL VENT VENTING : 142 SQ.IN.

NET FREE VENTILATING AREA AT CRAWL SPACE VENTS :
SUBFLOOR VENTS C&J METALS FOUNDATION ACCESS CRAWL SET 24"X18" 220SQ.IN.
CONTRACTOR TO PROVIDE & INSTALL : ONE (1)
FOUNDATION VENT 24"X18" VENT 220 SQ.IN.F.A.M.
TOTAL VENT VENTING : 220 SQ.IN.

VENT SHALL BE : CORROSION RESISTANT METAL-(PAINT TO MACH WALL) BACKED W/1/4" MESH GALVANIZED WIRE CLOTH. 1/8" MIN. OPENING

TOTAL VENTING 695 SQ.IN.PROVIDED

VENT MANUFACTURER :
C&J METALS.
6323 ALONDRA BLVD. PARAMOUNT, CA 90723
PHONE : 800-500-8660
HTTP://WWW.CJMETALS.COM/EQUIPMENT-AND-FACILITY/UTILITY-VENTS/

SUB FLOOR VENT C&J METALS 14"X6" — C&J METALS FOUNDATION ACCESS CRAWL SET 24"X18" -220 SQ.IN.

KEY NOTES -FLOOR PLAN

1. 2x6 WOOD FRAMING AT 16"o.c. PER C.R.C. w/ INTERIOR WALL -5/8" GYPSUM BOARD, SMOOTH FINISH EXTERIOR WALL -7/8" EXTERIOR PLASTER o/METAL LATH o/BUILDING PAPER. PTDF SILL PLATE AT CONCRETE SLAB INSULATION PER T-24 SHEEET. R-13 F.G. BATT INSULATION AT 2x4 WALLS. INSULATION THROUGHOUT ALL INTERIOR WALLS AND FLOOR PLUMBING WALL, AS OCCURS
2. 2x4 WOOD FRAMING AT 16"o.c. PER C.R.C. -SEE NOTE 1 ABOVE.
3. 5/8" TYPE "X" GYPSUM BOARD AT WALLS THROUGHOUT GARAGE TO HOUSE. 5/8" TYPE "X" GYPSUM BOARD AT CEILING. (PROVIDE 2 LAYERS 5/8" TYPE "X" GYPSUM BOARD AT CEILING WHEN TRUSS JOISTS ARE USED.)
4. PLUMBING FIXTURES AS SELECTED BY OWNER OR ARCHITECT. 1.28 GALLONG PER FLUSH W/C -SEE PLUMBING SYMBOLS -A-1.1
5. 30"x30" ATTIC ACCESS WITH 30" MINIMUM HEADROOM ABOVE CEILING --NOT USED
6. TEMPERED GLASS SHOWER ENCLOSURE AND DOOR TO 6'-0" ABOVE THE DRAIN. DOOR SHALL SWING OUT. PROVIDE 22" MINIMUM WIDE DOOR. NET AREA OF SHOWER ENCLOSURE SHALL NOT BE LESS THAN 1,024 SQ. INCH (7.1 SQ. FT.) OF FLOOR AREA, AND A MINIMUM OF 30 INCHES DIAMETER CIRCLE.
7. TUB / SHOWER OR SHOWER SURROUND WITH CERAMIC TILE WALLS "MUDSET" WITH CEMENT PLASTER BACKING o/ WATERPROOF (W/P) MEMBRANE TO +72" MIN. ABOVE THE DRAIN PER TILE COUNCIL OF NORTH AMERICA. INSTALL W/P PER ICC ESR-1058. SHOWER HEAD AT +80" A.F.F. DOOR SHALL SWING OUT. PROVIDE 22" MINIMUM WIDE DOOR. PROVIDE BID FOR ONE SOAP NICHE MINIMUM 18" HIGH 13" WIDE - LOCATION TO BE VERIFIED IN FIELD.
8. TANKLESS WATER HEATER. PROVIDE HORIZONTAL VENT TO OUTSIDE. PROVIDE P & T VALVE WITH DRAIN TO OUTSIDE. EARTHQUAKE STRAP. WHEN USING (2) WATER HEATERS, PROVIDE VALVE TO ISOLATE WATER HEATERS. (15/D1) VENT SHALL BE TERMINATED ABOVE THE ROOF LEVEL.
9. APPLIANCES PER OWNER -VENT (HOOD) THROUGH WALL LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS SHALL HAVE A MIN EXHAUST RATE OF 100 CFM
10. HARDWIRED SMOKE DETECTOR w/BATTERY BACKUP BATTERY OPERATED SMOKE DETECTOR. CARBON MONOXIDE DETECTOR - HARDWIRED U.N.O - LOCATE NEAR BEDROOMS & AWAY FROM GAS APPLIANCES AS PER MANUF.'S RECOMMENDATIONS
11. PROVIDE RECEPTACLES AND LIGHTING PER CODE. LOCATIONS SHOWN FOR CONCEPT ONLY. VERIFY WITH OWNER. SEE SHEET A-5 FOR ADD'L INFORMATION.
12. CLOSET SHELF AND POLE -DOUBLE PER OWNER AND SHELVES --NOT USED
13. --NOT USED
14. FORCED AIR UNIT. PROVIDE GAS STUB. SEE DETAIL FOR ADDITIONAL INFO: (14/D1)
15. 4" DIAMETER DRYER VENT VENT TO OUTSIDE AIR w/BACK DRAFT DAMPER
16. WASHER AND DRYER HOOKUP. LEVER FAUCETS
17. COLD WATER STUD-OUT AND SHUT OFF VALVE IN CABINET ADJACENT TO REFRIGERATOR FOR ICE MAKER. --NOT USED
18. 3" DIAMETER GALVANIZED STEEL PIPE POST. 36" HIGH. SEE FOUNDATION PLAN. SEE DETAIL: (21/D1)
19. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD. CRC R302.7
20. GARAGE DOOR WITH WEATHERSTRIPPING ALL AROUND. AS SELECTED BY OWNER.
21. NEW STAIRS -SEE SYMBOLS -SHEET A-1.1 (22/D2) (27/D2) -WOOD HANDRAIL +36" A.F.F. ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL OF NOT LESS THAN 1 FOOT CANDLE (11 LUX) AT THREADS AND LANDINGS. CRC R303.6
22. GUARD +42" A.F.F.
23. VELUX VS3055 DUAL-PANE SKYLIGHT WITH ELECTRICAL OPERATION. INSTALL PER MANUFACTURER RECOMMENDATIONS --NOT USED
24. 20 FT. CONTINUOUS #4 REBAR UFER GROUND IN FOOTING. STUB OUT 3" ABOVE FINISH SURFACE. MAINTAIN 3 FT. CLEAR FROM FACE OF ELECTRICAL PANEL TO ANY WALL SURFACE OR OBSTRUCTION. --NOT USED
25. DECK: TILE o/MORTAR BED o/ WATERPROOF MEMBRANE PER T.C.N.A. RECOMMENDATIONS. 1/4" PER FOOT MINIMUM SLOPE. (DROP DECK SHT'G 2-1/2" FROM FLOOR SHT'G AT WALL EDGE TO ACCOMODATE FOR 1-1/2" MORTAR BED AND TILE) --NOT USED
26. WATERPROOFING. SEE "WATERPROOF MEMBRANE" SPECIFICATION SHEET A-1.3. TYPICAL INDICATES MIRADRAIN SHORING CONDITION SEE BELOW. FRENCH DRAIN INDICATES TRADITIONAL SLOPE CUT BACK. (22/D1) (23/D1)
27. WHOLE HOUSE VENTILATION. (NEW CONST AND ADDITIONS >1,000 SF) PROVIDE A WHOLE-BUILDING MECHANICAL VENTILATION SYSTEM IN ACCORDANCE WITH THE FAN VENTILATION RATE (ASHRAE SEC. 4.1.1): MECHANICAL VENTILATION MIN REQ'D. 1 CFM PER 100 SF CONDITIONED FLOOR AREA PLUS 7.5 CFM FOR EA. OCCUPANT BEDROOM +1. WHOLE BUILDING VENTILATION SHALL BE PROVIDED BY EXHAUST AIR, SUPPLY AIR OR COMBINED. NATURAL VENTILATION THROUGH DOORS/WINDOWS OR CONTINUOUS OPERATION OF FORCED AIR SYSTEM AIR HANDLERS USED IN CENTRAL FAN INTEGRATED VENTILATIONS SYSTEMS ARE NOT A PERMISSIBLE METHODS OF PROVIDING WHOLE-BUILDING VENTILATION. BEES 150(o), EXC.. 5 TO 152(A) & ASHRAE STD. 62.2
PROVIDE: (2830 / 100 CFM PER SF) + (5 X 7.5 CFM) = 65.80 CFM MIN. EXHAUST FAN, 1 SONE PERMANENTLY ON WITH A NOTE ON THE SWITCH STATING "VENTILATION CONTROL" "CONTINUOUS OPERATION REQUIRED WHEN THE HOUSE IS IN USE." SEE SECOND FLOOR PLAN FOR WHOLE HOUSE VENTILATION FAN. PROVIDE BROAN QTXE80 FAN. --NOT USED
27a. AT KITCHEN VENT. HOOD, LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM. BEES 150(o), EXC. 5 TO 152(a) & ASHRAE STD. 62.2. SEE FIRST FLOOR PLAN FOR KITCHEN VENT. HOOD. --NOT USED
28. PREMANUFACTURED GAS BURNING FIREPLACE. -PROVIDE CLEARANCE TO COMBUSTIBLES PER MANUFACTURER AND CODE. -INSTALL PER MANUFACTURERS INSTALLATION SPECIFICATIONS. -CONTRACTOR TO PROVIDE FIELD INSPECTOR WITH COPY OF LISTING BY APPROVED LISTING AGENCY (ICC-ES, WARNOCK-HERSHEY, INTERTEK) -MAJESTIC MARQUIS KHLDV. CSA LISTED AND TESTED UNDER: ANSI Z21.88-2009 / CSA 2.33-2009 STANDARDS. --NOT USED

SQUARE FOOTAGE

FOR SQUARE FOOTAGES, SEE "PROJECT DATA" ON SHEET A-1.

LIGHT & VENTILATION

NET GLAZING SHALL BE 8% OF THE FLOOR AREA — CRC R303.1
NET VENTILATION SHALL BE 4% OF THE FLOOR AREA

GAME ROOM
-SEE MECHANICAL VENTILATION & ARTIFICIAL LIGHTING CALC'S AT SHEET A-5

WALL LEGEND

NOTE: VERIFY OVERALL DIMENSIONS PRIOR TO STARTING WORK. NOTIFY ARCHITECT IMMEDIATELY SHOULD THERE BE ANY DISCREPANCY.

ALL INTERIOR DIMENSIONS SHOWN ARE TO FACE OF STUD U.N.O.
ALL EXTERIOR DIMENSIONS SHOWN ARE TO EXT. FACE OF STUD U.N.O.
OVERALL EXTERIOR DIMENSIONS ARE TO EXT. FACE OF SHTG / FOOTING AS INDICATED

- NEW INTERIOR 2x4 STUD WALL FRAMING AT 16"o.c. U.N.O. -SEE STRUCTURAL DRAWINGS. -5/8" GYPSUM BOARD INTERIOR WALLS, SMOOTH FINISH -PROVIDE, AT MOIST AREAS, WATER RESISTANT "GREEN" GYPSUM BOARD -GREEN BOARD NOT ACCEPTABLE IN SHOWERS OR TUB SURROUNDS. PROVIDE 5/8" TYPE "X" GYPSUM BOARD AT GARAGE TO HOUSE. PROVIDE WATERPROOF MEMBRANE "BUILDING PAPER" BELOW ALL EXTERIOR WALL FINISHES. 2x FRAMING AT 16"o.c. -SEE STRUCTURAL. PROVIDE 8" WOOD TO EARTH SEPARATION OR PRESSURE TREATED WOOD. WOOD LOCATED ON CONCRETE SLAB SHALL BE PRESSURE TREATED.
- NEW EXTERIOR 2x4 STUD WALL FRAMING AT 16"o.c. U.N.O.
  EXTERIOR WALLS (WITH WOOD SIDING) TO HAVE 1/2" PLYWOOD AT EXTERIOR SIDE. PROVIDE TWO LAYERS GRADE D PAPER OVER ALL WOOD BASE SHEATHING. 1" SHOWN FOR EXTERIOR FINISH -SEE STRUCT. DWGS
  EXTERIOR WALLS (WITH EXTERIOR PLASTER) TO HAVE WOOD STRIP FURRING AT EXTERIOR SIDE. PROVIDE TWO LAYERS GRADE D PAPER OVER ALL WOOD BASE SHEATHING. 1" SHOWN FOR EXTERIOR FINISH -SEE STRUCT. DWGS
- NEW 2x6 STUD WALL FRAMING AT 16"o.c. U.N.O. -SEE NOTES ABOVE.
- NEW 2x8 STUD WALL FRAMING AT 16"o.c. U.N.O. -SEE NOTES ABOVE.
- NEW 2x10 STUD WALL FRAMING AT 16"o.c. U.N.O. -SEE NOTES ABOVE.
- CONCRETE BLOCK WALL

TEALE ARCHITECTURE
2900 Bristol Street
Building A, Suite 203
Costa Mesa, Ca 92626
Tel: 949 . 975 . 0123
Fax: 949 . 274 . 4833
tealearchitecture.com

LICENSED ARCHITECT MARK TEALE No. C 22162 Ren. 7/31/17 STATE OF CALIFORNIA

PROJECT
216 EVENING CANYON
216 EVENING CANYON ROAD
NEWPORT BEACH, CA 92625

SHEET
FIRST FLOOR PLAN
DOOR/WINDOW SCHEDULES

REVISIONS:
1 COASTAL/CLIENT REVISIONS 6/12/17

Plot Date: 06/15/17
START DATE: 1/3/17
SCALE: 1/4" - 1'-0"
SHEET A-2

DOOR SCHEDULE

SYMBOL	WIDTH	HEIGHT	THK.	CORE (S.C. = SOLID CORE, H.C. = HOLLOW CORE)	TYPE: .	EXTERIOR DOOR w/TEMP. GLASS [T]	INTERIOR DOOR -TRUSILE TS1000 MDF DOOR	INTERIOR SLIDING BARN DOOR	SLIDING DOOR w/TEMP. GLASS [T]	GARAGE DOOR, PER OWNER	AREA (SQ. FT.)	DIRECTION		☐	U-FACTOR	SHGC
1	3'-6"	9'-0"				/ 6					32	S		E	.46	.28
2	25'-0"	8'-0"							B / 3,5		200	E		A	.46	.28
3	2'-8"	9'-0"	1 3/4"	S.C.			B /									
4	3'-0"	8'-0"	1 3/4"	S.C.			B / 9									
5	2'-8"	8'-0"	1 3/4"	S.C.			B /									
6	6'-0"	7'-6"							B / 3		45	W			.46	.28
7	2'-6"	8'-0"	1 3/4"	S.C.			B /									
8	2'-10"	8'-0"	1 3/4"	S.C.			B / 7									
9	3'-0"	8'-0"	1 3/4"	S.C.			B /									
10	4'-0"	8'-0"	1 3/4"	S.C.				B /								
11	3'-0"	8'-0"				B / 3					24	E			.46	.28
12	3'-0"	5'-0"	1 3/4"	S.C.			B / 1,4							F		
13	2'-10"	6'-8"	1 3/4"	S.C.			B /									
14	3'-0"	6'-8"	1 3/4"	S.C.			B / 9									
15	3'-0"	6'-8"	1 3/4"	S.C.			B / 4							F		
16	2'-10"	8'-0"	1 3/4"	S.C.			B / 7									
17	3'-0"	6'-8"	1 3/4"	S.C.			B /									
18	16'-8"	8'-0"							B / 3		134				.46	.28
19	...	...														
G1	16'-0"	8'-6"								/ 8						

FINISH / NOTES (A = FINISH / 1 = NOTES)

FINISH:
A.
B. PAINT NEW DOOR. PROVIDE EMTEK OR EQUAL DOOR HARDWARE. STYLE AND FINISH TO BE SELECTED PRIOR TO ORDERING.
C. FACTORY FINISH

NOTES:
1. VERIFY HEIGHT IN FIELD.
2. FIBERGLASS DOOR.
3. PATIO / FRENCH DOORS TO MATCH WINDOW MANUFACTURER.
4. FIRE-RATED DOOR: SEE "F" NOTE BELOW
5. ALL DOOR FROM HOUSE TO POOLYARD MUST BE EQUIPPED WITH AN ALARM
6. FRONT DOOR, PER OWNER.
7. LOUVERED DOOR FOR MAKE-UP AIR TO LAUNDRY ROOM, AND TO PROVIDE AIR TO THE WHOLE HOUSE EXHAUST FAN. PROVIDE 100 SQ. IN. MIN.
8. GARAGE DOOR, VERIFY SIZE WITH CIVIL PRIOR TO ORDERING
9. ELEVATOR DOOR, PER MANUFACTURER.

[E] EGRESS DOOR: 32" MIN. WIDTH, 78" MIN. HEIGHT, WITH THE DOOR OPEN 90 DEGREES. CONTACT ARCHITECT IMMEDIATELY SHOULD THERE BE ANY CONFLICT IN THESE REQUIREMENTS. THANK YOU.

[T] TEMPERED GLASS: VERIFY WITH SCHEDULE. SAFETY GLASS IN HAZARDOUS LOCATION SHALL BE TEMPERED, LAMINATED OR WIRE GLASS. GLASS TO BE ETCH MARKED.

[A] DOOR ALARM: ALL DOORS FROM HOUSE TO POOL YARD MUST BE EQUIPPED WITH AN ALARM PER CBC 3109.4.4.2.

[F] FIRE-RATED DOOR: FOR RESIDENTIAL PROJECTS: DOORS AND FRAMES FROM 1-HOUR RATED GARAGE TO HOUSE WALLS SHALL BE RATED NO LESS THAN 20 MINUTE SMOKE CONTROL ASSEMBLY. (THE SEPARATION MAY BE LIMITED TO THE INSTALLATION OF MATERIALS APPROVED FOR 1-HOUR FIRE RESISTIVE CONSTRUCTION ON THE GARAGE SIDE AND A SELF CLOSING, TIGHT FITTING, 1-3/8" SOLID CORE WOOD DOOR, STEEL HONEYCOMB-CORE DOOR, OR A DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES IS PERMITTED IN LIEU OF 1-HOUR ASSEMBLY. DOORS SHALL BE SELF CLOSING AND LATCHING. PER CRC R302.5.1

GENERAL NOTES
1. ALL NEW DOORS WILL BE TO MATCH EXISTING. AS APPROVED BY OWNER.
2. VERIFY ALL SIZES WITH ARCHITECT PRIOR TO ORDERING.
3. ALL GLASS SHALL BE LOW E.
4. FENESTRATIONS WITH "U" FACTOR LOWER THAN DEFAULT VALUE MUST HAVE PERMANENT LABEL. OTHER FENESTRATIONS MAY HAVE A FACTORY REMOVABLE LABEL.
5. THE CONTRACTOR SHALL PROVIDE AND INSTALL CORROSION RESISTANT PANS BELOW ALL EXTERIOR DOORS. INCLUDE PROTECTION TO PREVENT ELECTROLYSIS BETWEEN DISSIMILAR METALS.

WINDOW SCHEDULE

OA INDICATES OVERALL DIM.

WINDOW SIZE INDICATES FRAME SIZE, NOT R.O.

VERIFY INCREASE SIZE FOR R.O.

SYMBOL	WIDTH x HEIGHT	☐	TYPE: .	FIXED GLASS WINDOW	SLIDING WINDOW	CASEMENT WINDOW	AWNING WINDOW	GLASS: DOUBLE PANE	BUTT-JOINT GLASS	MATERIAL: ALUMINUM	.	TEMPERED GLASS [T]	AREA (SQ. FT.)	DIRECTION		U-FACTOR	SHGC
A	3'-0"x6'-0"					B /		/		/		/	18	W		.46	.28
B	6'-9"x6'-3"			B / 2						/			42	W		.46	.28
~~C~~	~~5'-10"x6'-0"~~			~~B /~~				~~/~~		~~/~~			~~35~~	~~W~~		~~.46~~	~~.28~~
~~D~~	~~5'-10"x6'-0"~~			~~B /~~				~~/~~		~~/~~			~~35~~	~~W~~		~~.46~~	~~.28~~
~~E~~	~~3'-0"x5'-0"~~					~~B /~~		~~/~~		~~/~~			~~15~~	~~N~~		~~.46~~	~~.28~~
F	3'-0"x5'-0"					B / 2		/		/			15	N		.46	.28
G	3'-0"x4'-6"					B /		/		/			14	N		.46	.28
H	3'-0"x5'-0"					B / 2		/		/			15	E		.46	.28
J	2'-6"x3'-0"						B /	/		/			8	S		.46	.28
K	2'-6"x5'-0"	E				B /		/		/			13	S		.46	.28
L	2'-0"x3'-0"						B /	/		/			6	S		.46	.28
M	3'-0"x6'-0"	E				B /		/		/			18	S		.46	.28
N	3'-0"x6'-0"					B /		/		/			18	W		.46	.28
P	3'-0"x5'-0"					B /		/		/			15	W		.46	.28
Q	2'-8"x4'-6"					B / 2		/		/		/	12	N		.46	.28
R	2'-6"x5'-0"					B /		/		/			13	W		.46	.28
S	2'-6"x5'-0"	E				B /		/		/			13	N		.46	.28
T	2'-0"x3'-0"						B /	/		/			6	N		.46	.28
U	2'-0"x3'-0"						B /	/		/			6	N		.46	.28
V	2'-6"x3'-0"						B /	/		/			8	E		.46	.28
W	2'-6"x5'-0"	E				B /		/		/			13	E		.46	.28
X	2'-6"x5'-0"	E				B /		/		/			13	E		.46	.28
Y	2'-0"x3'-0"						B /	/		/			6	S		.46	.28
Z	3'-0"x5'-0"					B /		/		/			15	S		.46	.28
AA	3'-0"x6'-0"						B / 2	/		/		/	18	S		.46	.28
BB	3'-0"x5'-6"	E				B /		/		/			17	S		.46	.28
CC	LEFT 3'-1.75"x5'-6"			B / 2					/	/			17	W		.46	.28
	RIGHT 3'-1.75"x5'-6"			B / 2					/	/			17	S		.46	.28
DD	LEFT 2'-6"x5'-6"					B / 2		/		/			14	W		.46	.28
	MIDDLE 4'-5"x5'-6"			B / 2				/		/			24	W		.46	.28
	RIGHT 2'-6"x5'-6"					B / 2		/		/			14	W		.46	.28
EE	LEFT 3'-1.75"x5'-6"			B / 2					/	/			17	N		.46	.28
	RIGHT 3'-1.75"x5'-6"			B / 2					/	/			17	W		.46	.28

FINISH / NOTES (A = FINISH / 1 = NOTES)

FINISH:
A.
B. NEW ALUMINUM CLAD WOOD WINDOW. COLOR PER SPECIFICATION ON SHEET A-3. PROVIDE INSECT SCREEN AT ALL OPENINGS.

NOTES:
1.
2. MULL" WINDOWS TOGETHER AT FACTORY
3. PROVIDE OBSCURE GLASS.

[E] EGRESS WINDOW: 20" MIN. WIDTH, 36" MIN. HEIGHT, 5.7 SQ. FT. MIN. OPEN AREA, 44" MAX. SILL FROM FINISH FLOOR. CONTACT ARCHITECT IMMEDIATELY SHOULD THERE BE ANY CONFLICT IN THESE REQUIREMENTS. THANK YOU.

[T] TEMPERED GLASS: VERIFY WITH SCHEDULE. SAFETY GLASS IN HAZARDOUS LOCATION SHALL BE TEMPERED, LAMINATED OR WIRE GLASS. GLASS TO BE ETCH MARKED.

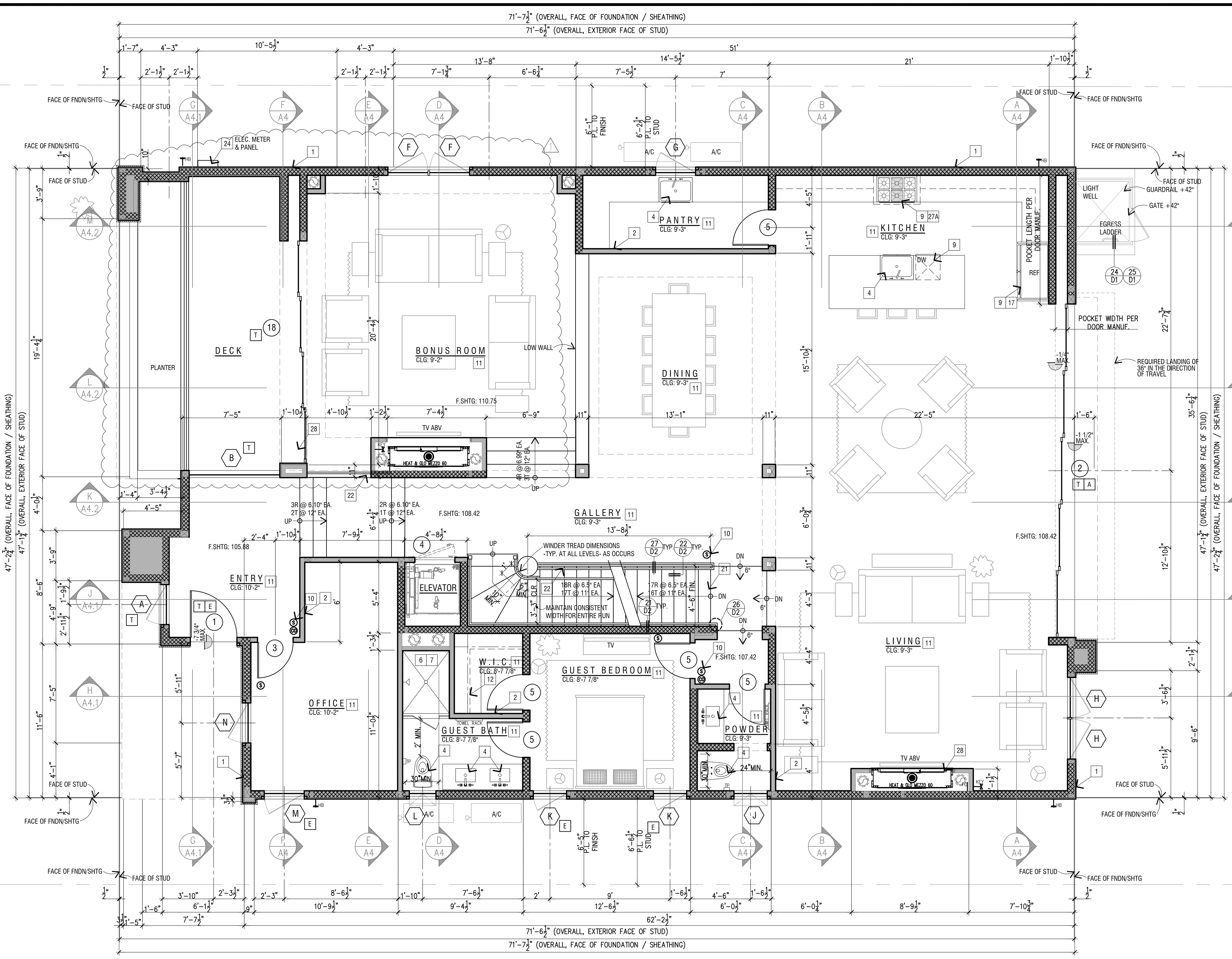
NOTES CAUTION: THE GENERAL CONTRACTOR MUST CONTACT THE OWNER AND ARCHITECT (WITH 48HRS NOTICE) FOR A MEETING WITH THE WINDOW SUPPLIER TO VERIFY EVERY WINDOW AND DOOR PRIOR TO ORDERING. OWNER SIGNED APPROVAL MUST BE OBTAINED PRIOR TO ORDERING. FAILURE TO DO THIS WILL PLACE ALL RESPONSIBILITY FOR THE WINDOW ORDER ON THE CONTRACTOR.

GENERAL NOTES

GENERAL CONTRACTOR AND WINDOW SUPPLIER SHALL VERIFY COMPLIANCE WITH THE FOLLOWING PRIOR TO ORDERING WINDOWS:
1. IN R-3 OCCUPANCY, PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS PER CRC R310. MINIMUM AREA: 5.7 SQ. FT. (MINIMUM AREA: 5.0 SQ. FT. AT GRADE LEVEL), MINIMUM WIDTH: 20", MINIMUM HEIGHT: 24", MAXIMUM SILL HEIGHT TO BE 44". THERE SHALL BE CLEAR ACCESS FROM EMERGENCY ESCAPE OPENING TO A PUBLIC WAY.
2. ALL GLASS WITHIN 18 INCHES OF WALKING SURFACE SHALL BE FULLY TEMPERED. ALL GLASS WITHIN 24" OF EITHER VERTICAL EDGE OF A DOOR IN ITS CLOSED POSITION SHALL BE FULLY TEMPERED. ALL TEMPERED GLASS TO BE ETCH MARKED.
3. ALL WINDOWS SHALL COMPLY WITH ANSI-S-134.1. ALL DOORS SHALL COMPLY WITH ANSI-S-134.2 - 1972.
4. ALL GLASS SHALL COMPLY WITH APPLICABLE FEDERAL CONSUMER SAFETY LAWS.
5. VERIFY ALL WINDOWS WITH ELEVATIONS PRIOR TO ORDERING
6. ALL GLASS SHALL BE LOW E.
7. FENESTRATIONS WITH "U" FACTOR LOWER THAN DEFAULT VALUE MUST HAVE PERMANENT LABEL. OTHER FENESTRATIONS MAY HAVE A FACTORY REMOVABLE LABEL.
8. IN R-3 OCCUPANCY, WHERE THE OPENING OF THE SILL PORTION OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW, THE CLEAR OPENING MUST BE A MIN. 24" ABOVE THE FINISH FLOOR PER CRC R612.2.

MINIMUM EGRESS WINDOW SIZES:
CASEMENT: 2'-6"x4'-0" MIN.
SINGLE/DOUBLE HUNG: 3'-0"x5'-0" MIN.

-IF WINDOWS ARE SMALLER IN ANY DIRECTION, VERIFY EGRESS WITH MANUFACTURER.
-IF USING ABC WINDOW COMPANY DV775 DELUXE VINYL SINGLE HUNG WINDOWS, SEE ARCHITECT BEFORE ORDERING.



FIRST FLOOR PLAN

KEY NOTES -FLOOR PLAN

1. 2x6 WOOD FRAMING AT 16"o.c. PER C.R.C. w/ INTERIOR WALL -5/8" GYPSUM BOARD, SMOOTH FINISH EXTERIOR WALL -7/8" EXTERIOR PLASTER o/METAL LATH o/BUILDING PAPER. PTDF SILL PLATE AT CONCRETE SLAB INSULATION PER T-24 SHEEET. R-13 F.G. BATT INSULATION AT 2x4 WALLS. INSULATION THROUGHOUT ALL INTERIOR WALLS AND FLOOR PLUMBING WALL, AS OCCURS
2. 2x4 WOOD FRAMING AT 16"o.c. PER C.R.C. -SEE NOTE 1 ABOVE.
3. 5/8" TYPE "X" GYPSUM BOARD AT WALLS THROUGHOUT GARAGE TO HOUSE. 5/8" TYPE "X" GYPSUM BOARD AT CEILING. (PROVIDE 2 LAYERS 5/8" TYPE "X" GYPSUM BOARD AT CEILING WHEN TRUSS JOISTS ARE USED.) --NOT USED
4. PLUMBING FIXTURES AS SELECTED BY OWNER OR ARCHITECT. 1.28 GALLONG PER FLUSH W/C -SEE PLUMBING SYMBOLS -A-1.1
5. 30"x30" ATTIC ACCESS WITH 30" MINIMUM HEADROOM ABOVE CEILING --NOT USED
6. TEMPERED GLASS SHOWER ENCLOSURE AND DOOR TO 6'-0" ABOVE THE DRAIN. DOOR SHALL SWING OUT. PROVIDE 22" MINIMUM WIDE DOOR. NET AREA OF SHOWER ENCLOSURE SHALL NOT BE LESS THAN 1,024 SQ. INCH (7.1 SQ. FT.) OF FLOOR AREA, AND A MINIMUM OF 30 INCHES DIAMETER CIRCLE.
7. TUB / SHOWER OR SHOWER SURROUND WITH CERAMIC TILE WALLS "MUDSET" WITH CEMENT PLASTER BACKING o/ WATERPROOF (W/P) MEMBRANE TO +72" MIN. ABOVE THE DRAIN PER TILE COUNCIL OF NORTH AMERICA. INSTALL W/P PER ICC ESR-1058. SHOWER HEAD AT +80" A.F.F. DOOR SHALL SWING OUT. PROVIDE 22" MINIMUM WIDE DOOR. PROVIDE BID FOR ONE SOAP NICHE MINIMUM 18" HIGH 13" WIDE - LOCATION TO BE VERIFIED IN FIELD.
8. TANKLESS WATER HEATER. PROVIDE HORIZONTAL VENT TO OUTSIDE. PROVIDE P & T VALVE WITH DRAIN TO OUTSIDE. EARTQUAKE STRAP. WHEN USING (2) WATER HEATERS, PROVIDE VALVE TO ISOLATE WATER HEATERS. VENT SHALL BE TERMINATED ABOVE THE ROOF LEVEL. --NOT USED
9. APPLIANCES PER OWNER -VENT (HOOD) THROUGH WALL LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS SHALL HAVE A MIN EXHAUST RATE OF 100 CFM
10. HARDWIRED SMOKE DETECTOR w/BATTERY BACKUP BATTERY OPERATED SMOKE DETECTOR. CARBON MONOXIDE DETECTOR - HARDWIRED U.N.O - LOCATE NEAR BEDROOMS & AWAY FROM GAS APPLIANCES AS PER MANUF.'S RECOMMENDATIONS
11. PROVIDE RECEPTACLES AND LIGHTING PER CODE. LOCATIONS SHOWN FOR CONCEPT ONLY. VERIFY WITH OWNER. SEE SHEET A-5 FOR ADD'L INFORMATION.
12. CLOSET SHELF AND POLE -DOUBLE PER OWNER AND SHELVES
13. --NOT USED
14. FORCED AIR UNIT. PROVIDE GAS STUB. SEE DETAIL FOR ADDITIONAL INFO. --NOT USED (14/D1)
15. 4" DIAMETER DRYER VENT VENT TO OUTSIDE AIR w/BACK DRAFT DAMPER --NOT USED
16. WASHER AND DRYER HOOKUP. LEVER FAUCETS --NOT USED
17. COLD WATER STUD-OUT AND SHUT OFF VALVE IN CABINET ADJACENT TO REFRIGERATOR FOR ICE MAKER.
18. 3" DIAMETER GALVANIZED STEEL PIPE POST. 36" HIGH. SEE FOUNDATION PLAN. SEE DETAIL. --NOT USED (21/D1)
19. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD. CRC R302.7 --NOT USED
20. GARAGE DOOR WITH WEATHERSTRIPPING ALL AROUND. AS SELECTED BY OWNER. --NOT USED
21. NEW STAIRS -SEE SYMBOLS -SHEET A-1.1 (22/D2) (27/D2) -WOOD HANDRAIL +36" A.F.F. ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL OF NOT LESS THAN 1 FOOT CANDLE (11 LUX) AT THREADS AND LANDINGS. CRC R303.6
22. GUARD +42" A.F.F. (24/D2) (29/D2)
23. VELUX VS3055 DUAL-PANE SKYLIGHT WITH ELECTRICAL OPERATION. INSTALL PER MANUFACTURER RECOMMENDATIONS --NOT USED
24. 20 FT. CONTINUOUS #4 REBAR UFER GROUND IN FOOTING. STUB OUT 3" ABOVE FINISH SURFACE. MAINTAIN 3 FT. CLEAR FROM FACE OF ELECTRICAL PANEL TO ANY WALL SURFACE OR OBSTRUCTION.
25. DECK: TILE o/MORTAR BED o/ WATERPROOF MEMBRANE PER T.C.N.A. RECOMMENDATIONS. 1/4" PER FOOT MINIMUM SLOPE. (DROP DECK SHT'G 2-1/2" FROM FLOOR SHT'G AT WALL EDGE TO ACCOMODATE FOR 1-1/2" MORTAR BED AND TILE) --NOT USED
26. WATERPROOFING. SEE "WATERPROOF MEMBRANE" SPECIFICATION BELOW TYPICAL INDICATES MIRADRAIN SHORING CONDITION SEE BELOW. FRENCH DRAIN INDICATES TRADITIONAL SLOPE CUT BACK. --NOT USED
27. WHOLE HOUSE VENTILATION. (NEW CONST AND ADDITIONS >1,000 SF) PROVIDE A WHOLE-BUILDING MECHANICAL VENTILATION SYSTEM IN ACCORDANCE WITH THE FAN VENTILATION RATE (ASHRAE SEC. 4.1.1): MECHANICAL VENTILATION MIN REQ'D. 1 CFM PER 100 SF CONDITIONED FLOOR AREA PLUS 7.5 CFM FOR EA. OCCUPANT BEDROOM +1. WHOLE BUILDING VENTILATION SHALL BE PROVIDED BY EXHAUST AIR, SUPPLY AIR OR COMBINED. NATURAL VENTILATION THROUGH DOORS/WINDOWS OR CONTINUOUS OPERATION OF FORCED AIR SYSTEM AIR HANDLERS USED IN CENTRAL FAN INTEGRATED VENTILATIONS SYSTEMS ARE NOT A PERMISSIBLE METHODS OF PROVIDING WHOLE-BUILDING VENTILATION. BEES 150(o), EXC.. 5 TO 152(A) & ASHRAE STD. 62.2
PROVIDE: (2830 / 100 CFM PER SF) + (5 X 7.5 CFM) = 65.80 CFM MIN. EXHAUST FAN, 1 SONE PERMANENTLY ON WITH A NOTE ON THE SWITCH STATING "VENTILATION CONTROL" "CONTINUOUS OPERATION REQUIRED WHEN THE HOUSE IS IN USE." SEE SECOND FLOOR PLAN FOR WHOLE HOUSE VENTILATION FAN. PROVIDE BROAN QTXE80 FAN. --NOT USED
27a. AT KITCHEN VENT. HOOD, LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM. BEES 150(o), EXC. 5 TO 152(a) & ASHRAE STD. 62.2. SEE FIRST FLOOR PLAN FOR KITCHEN VENT. HOOD.
28. PREMANUFACTURED GAS BURNING FIREPLACE. -PROVIDE CLEARANCE TO COMBUSTIBLES PER MANUFACTURER AND CODE. -INSTALL PER MANUFACTURERS INSTALLATION SPECIFICATIONS. -CONTRACTOR TO PROVIDE FIELD INSPECTOR WITH COPY OF LISTING BY APPROVED LISTING AGENCY (ICC-ES, WARNOCK-HERSHEY, INTERTEK) -HEATNGLO 72". CSA LISTED AND TESTED UNDER: ANSI Z21.88-2009 / CSA 2.33-2009 STANDARDS.

SQUARE FOOTAGE

FOR SQUARE FOOTAGES, SEE "PROJECT DATA" ON SHEET A-1.

LIGHT & VENTILATION

NET GLAZING SHALL BE 8% OF THE FLOOR AREA — CRC R303.1
NET VENTILATION SHALL BE 4% OF THE FLOOR AREA

OFFICE 164 S.F.	13.12 S.F. WNDW AREA REQ'D 6.56 OPERABLE WNDW AREA REQ'D	36 S.F. PROVIDED 36 S.F. PROVIDED
GUEST BEDROOM 142 S.F.	11.36 S.F. WNDW AREA REQ'D 5.68 OPERABLE WNDW AREA REQ'D	26 S.F. PROVIDED 26 S.F. PROVIDED
BONUS ROOM 710 S.F.	56.8 S.F. WNDW AREA REQ'D 28.4 OPERABLE WNDW AREA REQ'D	184 S.F. PROVIDED 60 S.F. PROVIDED
LIVING/KIT/DINING 1,124 S.F.	89.92 S.F. WNDW AREA REQ'D 44.96 OPERABLE WNDW AREA REQ'D	200 S.F. PROVIDED 200 S.F. PROVIDED

WALL LEGEND

NOTE: VERIFY OVERALL DIMENSIONS PRIOR TO STARTING WORK. NOTIFY ARCHITECT IMMEDIATELY SHOULD THERE BE ANY DISCREPANCY.

ALL INTERIOR DIMENSIONS SHOWN ARE TO FACE OF STUD U.N.O.
ALL EXTERIOR DIMENSIONS SHOWN ARE TO EXT. FACE OF STUD U.N.O.
OVERALL EXTERIOR DIMENSIONS ARE TO EXT. FACE OF SHTG / FOOTING AS INDICATED

- NEW INTERIOR 2x4 STUD WALL FRAMING AT 16"o.c. U.N.O. -SEE STRUCTURAL DRAWINGS. -5/8" GYPSUM BOARD INTERIOR WALLS, SMOOTH FINISH -PROVIDE, AT MOIST AREAS, WATER RESISTANT "GREEN" GYPSUM BOARD -GREEN BOARD NOT ACCEPTABLE IN SHOWERS OR TUB SURROUNDS. PROVIDE 5/8" TYPE "X" GYPSUM BOARD AT GARAGE TO HOUSE. PROVIDE WATERPROOF MEMBRANE "BUILDING PAPER" BELOW ALL EXTERIOR WALL FINISHES. 2x FRAMING AT 16"o.c. -SEE STRUCTURAL. PROVIDE 8" WOOD TO EARTH SEPARATION OR PRESSURE TREATED WOOD. WOOD LOCATED ON CONCRETE SLAB SHALL BE PRESSURE TREATED.
- NEW EXTERIOR 2x4 STUD WALL FRAMING AT 16"o.c. U.N.O.
  EXTERIOR WALLS (WITH WOOD SIDING) TO HAVE 1/2" PLYWOOD AT EXTERIOR SIDE. PROVIDE TWO LAYERS GRADE D PAPER OVER ALL WOOD BASE SHEATHING. 1" SHOWN FOR EXTERIOR FINISH -SEE STRUCT. DWGS
  EXTERIOR WALLS (WITH EXTERIOR PLASTER) TO HAVE WOOD STRIP FURRING AT EXTERIOR SIDE. PROVIDE TWO LAYERS GRADE D PAPER OVER ALL WOOD BASE SHEATHING. 1" SHOWN FOR EXTERIOR FINISH -SEE STRUCT. DWGS
- NEW 2x6 STUD WALL FRAMING AT 16"o.c. U.N.O. -SEE NOTES ABOVE.
- NEW 2x8 STUD WALL FRAMING AT 16"o.c. U.N.O. -SEE NOTES ABOVE.
- NEW 2x10 STUD WALL FRAMING AT 16"o.c. U.N.O. -SEE NOTES ABOVE.
- CONCRETE BLOCK WALL

TEALE ARCHITECTURE
2900 Bristol Street
Building A, Suite 203
Costa Mesa, Ca 92626
Tel: 949 . 975 . 0123
Fax: 949 . 274 . 4833
tealearchitecture.com

LICENSED ARCHITECT MARK TEALE No. C 22162 Ren. 7/31/17 STATE OF CALIFORNIA

PROJECT
216 EVENING CANYON
216 EVENING CANYON ROAD
NEWPORT BEACH, CA 92625

SHEET
FIRST FLOOR PLAN
DOOR/WINDOW SCHEDULES

REVISIONS:
1 — COASTAL/CLIENT REVISIONS 6/12/17

Plot Date: 06/15/17
START DATE: 1/3/17
SCALE: 1/4" - 1'-0"
SHEET A-2.1

DOOR SCHEDULE

SYMBOL	WIDTH	HEIGHT	THK.	CORE (S.C. = SOLID CORE, H.C. = HOLLOW CORE)	TYPE .	EXTERIOR DOOR w/TEMP. GLASS [T]	INTERIOR DOOR - TRUSILE TS1000 MDF DOOR	INTERIOR SLIDING BARN DOOR	SLIDING DOOR w/TEMP. GLASS [T]	GARAGE DOOR, PER OWNER	AREA (SQ. FT.)	DIRECTION		☐	U-FACTOR	SHGC
1	3'-6"	9'-0"				/6					32	S		E	.46	.28
2	25'-0"	8'-0"							B/3,5		200	E		A	.46	.28
3	2'-8"	9'-0"	1 3/4"	S.C.			B/									
4	3'-0"	8'-0"	1 3/4"	S.C.			B/9									
5	2'-8"	8'-0"	1 3/4"	S.C.			B/									
6	6'-0"	7'-6"							B/3		45	W			.46	.28
7	2'-6"	8'-0"	1 3/4"	S.C.			B/									
8	2'-10"	8'-0"	1 3/4"	S.C.			B/7									
9	3'-0"	8'-0"	1 3/4"	S.C.			B/									
10	4'-0"	8'-0"	1 3/4"	S.C.				B/								
11	3'-0"	8'-0"				B/3					24	E			.46	.28
12	3'-0"	5'-0"	1 3/4"	S.C.			B/1,4							F		
13	2'-10"	6'-8"	1 3/4"	S.C.			B/									
14	3'-0"	6'-8"	1 3/4"	S.C.			B/9									
15	3'-0"	6'-8"	1 3/4"	S.C.			B/4							F		
16	2'-10"	8'-0"	1 3/4"	S.C.			B/7									
17	3'-0"	6'-8"	1 3/4"	S.C.			B/									
18	16'-8"	8'-0"							B/3		134				.46	.28
19	...	...														
G1	16'-0"	8'-6"								/8						

FINISH / NOTES

(A/1 — FINISH / NOTES)

FINISH:
A.
B. PAINT NEW DOOR. PROVIDE EMTEK OR EQUAL DOOR HARDWARE. STYLE AND FINISH TO BE SELECTED PRIOR TO ORDERING.
C. FACTORY FINISH

NOTES:
1. VERIFY HEIGHT IN FIELD.
2. FIBERGLASS DOOR.
3. PATIO / FRENCH DOORS TO MATCH WINDOW MANUFACTURER.
4. FIRE-RATED DOOR: SEE "F" NOTE BELOW
5. ALL DOOR FROM HOUSE TO POOLYARD MUST BE EQUIPPED WITH AN ALARM
6. FRONT DOOR, PER OWNER.
7. LOUVERED DOOR FOR MAKE-UP AIR TO LAUNDRY ROOM, AND TO PROVIDE AIR TO THE WHOLE HOUSE EXHAUST FAN. PROVIDE 100 SQ. IN. MIN.
8. GARAGE DOOR, VERIFY SIZE WITH CIVIL PRIOR TO ORDERING
9. ELEVATOR DOOR, PER MANUFACTURER.

[E] EGRESS DOOR: 32" MIN. WIDTH, 78" MIN. HEIGHT, WITH THE DOOR OPEN 90 DEGREES. CONTACT ARCHITECT IMMEDIATELY SHOULD THERE BE ANY CONFLICT IN THESE REQUIREMENTS. THANK YOU.

[T] TEMPERED GLASS: VERIFY WITH SCHEDULE. SAFETY GLASS IN HAZARDOUS LOCATION SHALL BE TEMPERED, LAMINATED OR WIRE GLASS. GLASS TO BE ETCH MARKED.

[A] DOOR ALARM ALL DOORS FROM HOUSE TO POOL YARD MUST BE EQUIPPED WITH AN ALARM PER CBC 3109.4.4.2.

[F] FIRE-RATED DOOR: FOR RESIDENTIAL PROJECTS: DOORS AND FRAMES FROM 1-HOUR RATED GARAGE TO HOUSE WALLS SHALL BE RATED NO LESS THAN 20 MINUTE SMOKE CONTROL ASSEMBLY. (THE SEPARATION MAY BE LIMITED TO THE INSTALLATION OF MATERIALS APPROVED FOR 1-HOUR FIRE RESISTIVE CONSTRUCTION ON THE GARAGE SIDE AND A SELF CLOSING, TIGHT FITTING, 1-3/8" SOLID CORE WOOD DOOR, STEEL HONEYCOMB-CORE DOOR, OR A DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES IS PERMITTED IN LIEU OF 1-HOUR ASSEMBLY. DOORS SHALL BE SELF CLOSING AND LATCHING. PER CRC R302.5.1

GENERAL NOTES
1. ALL NEW DOORS WILL BE TO MATCH EXISTING. AS APPROVED BY OWNER.
2. VERIFY ALL SIZES WITH ARCHITECT PRIOR TO ORDERING.
3. ALL GLASS SHALL BE LOW E.
4. FENESTRATIONS WITH "U" FACTOR LOWER THAN DEFAULT VALUE MUST HAVE PERMANENT LABEL. OTHER FENESTRATIONS MAY HAVE A FACTORY REMOVABLE LABEL.
5. THE CONTRACTOR SHALL PROVIDE AND INSTALL CORROSION RESISTANT PANS BELOW ALL EXTERIOR DOORS. INCLUDE PROTECTION TO PREVENT ELECTROLYSIS BETWEEN DISSIMILAR METALS.

WINDOW SCHEDULE

OA INDICATES OVERALL DIM.

WINDOW SIZE INDICATES FRAME SIZE, NOT R.O.

VERIFY INCREASE SIZE FOR R.O.

SYMBOL	WIDTH x HEIGHT	☐	TYPE .	FIXED GLASS WINDOW	SLIDING WINDOW	CASEMENT WINDOW	AWNING WINDOW	GLASS: DOUBLE PANE	BUTT-JOINT GLASS	MATERIAL: ALUMINUM	.	TEMPERED GLASS [T]	AREA (SQ. FT.)	DIRECTION		U-FACTOR	SHGC
A	3'-0"x6'-0"					B/		/		/		/	18	W		.46	.28
B	6'-9"x6'-3"			B/2						/			42	W		.46	.28
~~C~~	~~5'-10"x6'-0"~~			~~B/~~				~~/~~		~~/~~			~~35~~	~~W~~		~~.46~~	~~.28~~
~~D~~	~~5'-10"x6'-0"~~			~~B/~~				~~/~~		~~/~~			~~35~~	~~W~~		~~.46~~	~~.28~~
~~E~~	~~3'-0"x5'-0"~~					~~B/~~		~~/~~		~~/~~			~~15~~	~~N~~		~~.46~~	~~.28~~
F	3'-0"x5'-0"					B/2		/		/			15	N		.46	.28
G	3'-0"x4'-6"					B/		/		/			14	N		.46	.28
H	3'-0"x5'-0"					B/2		/		/			15	E		.46	.28
J	2'-6"x3'-0"						B/	/		/			8	S		.46	.28
K	2'-6"x5'-0"	E				B/		/		/			13	S		.46	.28
L	2'-0"x3'-0"						B/	/		/			6	S		.46	.28
M	3'-0"x6'-0"	E				B/		/		/			18	S		.46	.28
N	3'-0"x6'-0"					B/		/		/			18	W		.46	.28
P	3'-0"x5'-0"					B/		/		/			15	W		.46	.28
Q	2'-8"x4'-6"					B/2		/		/		/	12	N		.46	.28
R	2'-6"x5'-0"					B/		/		/			13	W		.46	.28
S	2'-6"x5'-0"	E				B/		/		/			13	N		.46	.28
T	2'-0"x3'-0"						B/	/		/			6	N		.46	.28
U	2'-0"x3'-0"						B/	/		/			6	N		.46	.28
V	2'-6"x3'-0"						B/	/		/			8	E		.46	.28
W	2'-6"x5'-0"	E				B/		/		/			13	E		.46	.28
X	2'-6"x5'-0"	E				B/		/		/			13	E		.46	.28
Y	2'-0"x3'-0"						B/	/		/			6	S		.46	.28
Z	3'-0"x5'-0"					B/		/		/			15	S		.46	.28
AA	3'-0"x6'-0"						B/2	/		/		/	18	S		.46	.28
BB	3'-0"x5'-6"	E				B/		/		/			17	S		.46	.28
CC	LEFT 3'-1.75"x5'-6"			B/2					/	/			17	W		.46	.28
	RIGHT 3'-1.75"x5'-6"			B/2					/	/			17	S		.46	.28
DD	LEFT 2'-6"x5'-6"					B/2		/		/			14	W		.46	.28
	MIDDLE 4'-5"x5'-6"			B/2				/		/			24	W		.46	.28
	RIGHT 2'-6"x5'-6"					B/2		/		/			14	W		.46	.28
EE	LEFT 3'-1.75"x5'-6"			B/2					/	/			17	N		.46	.28
	RIGHT 3'-1.75"x5'-6"			B/2					/	/			17	W		.46	.28

FINISH / NOTES

(A/1 — FINISH / NOTES)

FINISH:
A.
B. NEW ALUMINUM CLAD WOOD WINDOW. COLOR PER SPECIFICATION ON SHEET A-3. PROVIDE INSECT SCREEN AT ALL OPENINGS.

NOTES:
1.
2. MULL" WINDOWS TOGETHER AT FACTORY
3. PROVIDE OBSCURE GLASS.

[E] EGRESS WINDOW: 20" MIN. WIDTH, 36" MIN. HEIGHT, 5.7 SQ. FT. MIN. OPEN AREA, 44" MAX. SILL FROM FINISH FLOOR. CONTACT ARCHITECT IMMEDIATELY SHOULD THERE BE ANY CONFLICT IN THESE REQUIREMENTS. THANK YOU.

[T] TEMPERED GLASS: VERIFY WITH SCHEDULE. SAFETY GLASS IN HAZARDOUS LOCATION SHALL BE TEMPERED, LAMINATED OR WIRE GLASS. GLASS TO BE ETCH MARKED.

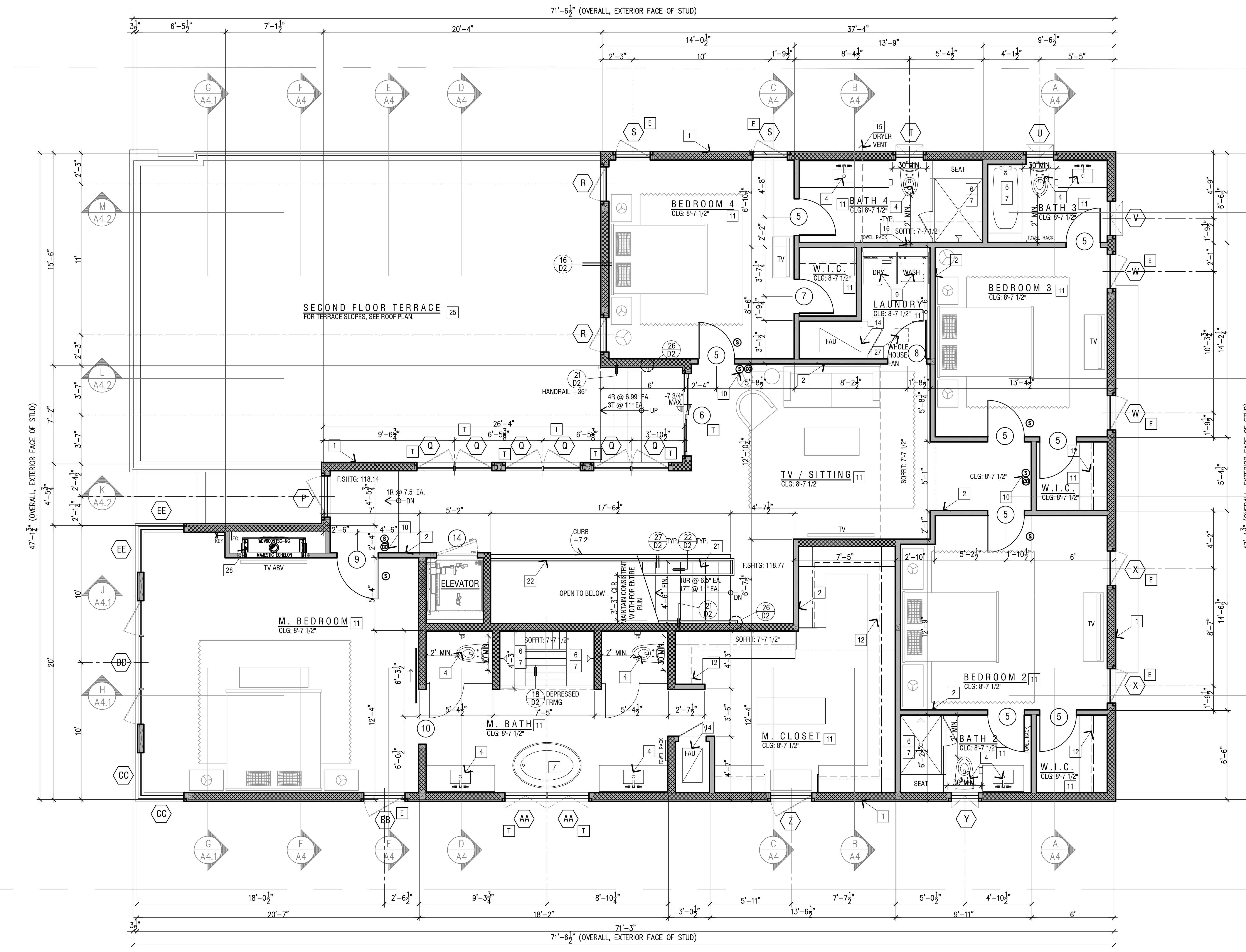
NOTES CAUTION: THE GENERAL CONTRACTOR MUST CONTACT THE OWNER AND ARCHITECT (WITH 48HRS NOTICE) FOR A MEETING WITH THE WINDOW SUPPLIER TO VERIFY EVERY WINDOW AND DOOR PRIOR TO ORDERING. OWNER SIGNED APPROVAL MUST BE OBTAINED PRIOR TO ORDERING. FAILURE TO DO THIS WILL PLACE ALL RESPONSIBILITY FOR THE WINDOW ORDER ON THE CONTRACTOR.

GENERAL NOTES

GENERAL CONTRACTOR AND WINDOW SUPPLIER SHALL VERIFY COMPLIANCE WITH THE FOLLOWING PRIOR TO ORDERING WINDOWS:
1. IN R-3 OCCUPANCY, PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS PER CRC R310. MINIMUM AREA: 5.7 SQ. FT. (MINIMUM AREA: 5.0 SQ. FT. AT GRADE LEVEL), MINIMUM WIDTH: 20", MINIMUM HEIGHT: 24", MAXIMUM SILL HEIGHT TO BE 44". THERE SHALL BE CLEAR ACCESS FROM EMERGENCY ESCAPE OPENING TO A PUBLIC WAY.
2. ALL GLASS WITHIN 18 INCHES OF WALKING SURFACE SHALL BE FULLY TEMPERED. ALL GLASS WITHIN 24" OF EITHER VERTICAL EDGE OF A DOOR IN ITS CLOSED POSITION SHALL BE FULLY TEMPERED. ALL TEMPERED GLASS TO BE ETCH MARKED.
3. ALL WINDOWS SHALL COMPLY WITH ANSI-S-134.1. ALL DOORS SHALL COMPLY WITH ANSI-S-134.2 - 1972.
4. ALL GLASS SHALL COMPLY WITH APPLICABLE FEDERAL CONSUMER SAFETY LAWS.
5. VERIFY ALL WINDOWS WITH ELEVATIONS PRIOR TO ORDERING
6. ALL GLASS SHALL BE LOW E.
7. FENESTRATIONS WITH "U" FACTOR LOWER THAN DEFAULT VALUE MUST HAVE PERMANENT LABEL. OTHER FENESTRATIONS MAY HAVE A FACTORY REMOVABLE LABEL.
8. IN R-3 OCCUPANCY, WHERE THE OPENING OF THE SILL PORTION OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW, THE CLEAR OPENING MUST BE A MIN. 24" ABOVE THE FINISH FLOOR PER CRC R612.2.

MINIMUM EGRESS WINDOW SIZES:
CASEMENT: 2'-6"x4'-0" MIN.
SINGLE/DOUBLE HUNG: 3'-0"x5'-0" MIN.

-IF WINDOWS ARE SMALLER IN ANY DIRECTION, VERIFY EGRESS WITH MANUFACTURER.
-IF USING ABC WINDOW COMPANY DV775 DELUXE VINYL SINGLE HUNG WINDOWS, SEE ARCHITECT BEFORE ORDERING.



SECOND FLOOR PLAN

KEY NOTES -FLOOR PLAN

1. 2x6 WOOD FRAMING AT 16"o.c. PER C.R.C. w/ INTERIOR WALL -5/8" GYPSUM BOARD, SMOOTH FINISH EXTERIOR WALL -7/8" EXTERIOR PLASTER o/METAL LATH o/BUILDING PAPER. PTDF SILL PLATE AT CONCRETE SLAB INSULATION PER T-24 SHEEET. R-13 F.G. BATT INSULATION AT 2x4 WALLS. INSULATION THROUGHOUT ALL INTERIOR WALLS AND FLOOR PLUMBING WALL, AS OCCURS
2. 2x4 WOOD FRAMING AT 16"o.c. PER C.R.C. -SEE NOTE 1 ABOVE.
3. 5/8" TYPE "X" GYPSUM BOARD AT WALLS THROUGHOUT GARAGE TO HOUSE. 5/8" TYPE "X" GYPSUM BOARD AT CEILING. (PROVIDE 2 LAYERS 5/8" TYPE "X" GYPSUM BOARD AT CEILING WHEN TRUSS JOISTS ARE USED.) --NOT USED
4. PLUMBING FIXTURES AS SELECTED BY OWNER OR ARCHITECT. 1.28 GALLONG PER FLUSH W/C -SEE PLUMBING SYMBOLS -A-1.1
5. 30"x30" ATTIC ACCESS WITH 30" MINIMUM HEADROOM ABOVE CEILING --NOT USED
6. TEMPERED GLASS SHOWER ENCLOSURE AND DOOR TO 6'-0" ABOVE THE DRAIN. DOOR SHALL SWING OUT. PROVIDE 22" MINIMUM WIDE DOOR. NET AREA OF SHOWER ENCLOSURE SHALL NOT BE LESS THAN 1,024 SQ. INCH (7.1 SQ. FT.) OF FLOOR AREA, AND A MINIMUM OF 30 INCHES DIAMETER CIRCLE.
7. TUB / SHOWER OR SHOWER SURROUND WITH CERAMIC TILE WALLS "MUDSET" WITH CEMENT PLASTER BACKING o/ WATERPROOF (W/P) MEMBRANE TO +72" MIN. ABOVE THE DRAIN PER TILE COUNCIL OF NORTH AMERICA. INSTALL W/P PER ICC ESR-1058. SHOWER HEAD AT +80" A.F.F. DOOR SHALL SWING OUT. PROVIDE 22" MINIMUM WIDE DOOR. PROVIDE BID FOR ONE SOAP NICHE MINIMUM 18" HIGH 13" WIDE - LOCATION TO BE VERIFIED IN FIELD.
8. TANKLESS WATER HEATER. PROVIDE HORIZONTAL VENT TO OUTSIDE. PROVIDE P & T VALVE WITH DRAIN TO OUTSIDE. EARTQUAKE STRAP. WHEN USING (2) WATER HEATERS, PROVIDE VALVE TO ISOLATE WATER HEATERS. VENT SHALL BE TERMINATED ABOVE THE ROOF LEVEL. --NOT USED
9. APPLIANCES PER OWNER -VENT (HOOD) THROUGH WALL LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS SHALL HAVE A MIN EXHAUST RATE OF 100 CFM
10. HARDWIRED SMOKE DETECTOR w/BATTERY BACKUP BATTERY OPERATED SMOKE DETECTOR. CARBON MONOXIDE DETECTOR - HARDWIRED U.N.O - LOCATE NEAR BEDROOMS & AWAY FROM GAS APPLIANCES AS PER MANUF.'S RECOMMENDATIONS
11. PROVIDE RECEPTACLES AND LIGHTING PER CODE. LOCATIONS SHOWN FOR CONCEPT ONLY. VERIFY WITH OWNER. SEE SHEET A-5 FOR ADD'L INFORMATION.
12. CLOSET SHELF AND POLE -DOUBLE PER OWNER AND SHELVES
13. --NOT USED
14. FORCED AIR UNIT. PROVIDE GAS STUB. SEE DETAIL FOR ADDITIONAL INFO: 14/D1
15. 4" DIAMETER DRYER VENT VENT TO OUTSIDE AIR w/BACK DRAFT DAMPER
16. WASHER AND DRYER HOOKUP. LEVER FAUCETS
17. COLD WATER STUD-OUT AND SHUT OFF VALVE IN CABINET ADJACENT TO REFRIGERATOR FOR ICE MAKER. --NOT USED
18. 3" DIAMETER GALVANIZED STEEL PIPE POST. 36" HIGH. SEE FOUNDATION PLAN. SEE DETAIL: 21/D1 --NOT USED
19. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD. CRC R302.7 --NOT USED
20. GARAGE DOOR WITH WEATHERSTRIPPING ALL AROUND. AS SELECTED BY OWNER. --NOT USED
21. NEW STAIRS -SEE SYMBOLS -SHEET A-1.1 22/D2 27/D2 -WOOD HANDRAIL +36" A.F.F. ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL OF NOT LESS THAN 1 FOOT CANDLE (11 LUX) AT THREADS AND LANDINGS. CRC R303.6
22. GUARD +42" A.F.F. 24/D2 29/D2
23. VELUX VS3055 DUAL-PANE SKYLIGHT WITH ELECTRICAL OPERATION. INSTALL PER MANUFACTURER RECOMMENDATIONS --NOT USED
24. 20 FT. CONTINUOUS #4 REBAR UFER GROUND IN FOOTING. STUB OUT 3" ABOVE FINISH SURFACE. MAINTAIN 3 FT. CLEAR FROM FACE OF ELECTRICAL PANEL TO ANY WALL SURFACE OR OBSTRUCTION. --NOT USED
25. DECK: TILE o/MORTAR BED o/ WATERPROOF MEMBRANE PER T.C.N.A. RECOMMENDATIONS. 1/4" PER FOOT MINIMUM SLOPE. (DROP DECK SHT'G 2-1/2" FROM FLOOR SHT'G AT WALL EDGE TO ACCOMODATE FOR 1-1/2" MORTAR BED AND TILE)
26. WATERPROOFING. SEE "WATERPROOF MEMBRANE" SPECIFICATION BELOW TYPICAL INDICATES MIRADRAIN SHORING CONDITION SEE BELOW. FRENCH DRAIN INDICATES TRADITIONAL SLOPE CUT BACK. --NOT USED
27. WHOLE HOUSE VENTILATION. (NEW CONST AND ADDITIONS >1,000 SF) PROVIDE A WHOLE-BUILDING MECHANICAL VENTILATION SYSTEM IN ACCORDANCE WITH THE FAN VENTILATION RATE (ASHRAE SEC. 4.1.1): MECHANICAL VENTILATION MIN REQ'D. 1 CFM PER 100 SF CONDITIONED FLOOR AREA PLUS 7.5 CFM FOR EA. OCCUPANT BEDROOM +1. WHOLE BUILDING VENTILATION SHALL BE PROVIDED BY EXHAUST AIR, SUPPLY AIR OR COMBINED. NATURAL VENTILATION THROUGH DOORS/WINDOWS OR CONTINUOUS OPERATION OF FORCED AIR SYSTEM AIR HANDLERS USED IN CENTRAL FAN INTEGRATED VENTILATIONS SYSTEMS ARE NOT A PERMISSIBLE METHODS OF PROVIDING WHOLE-BUILDING VENTILATION. BEES 150(o), EXC.. 5 TO 152(A) & ASHRAE STD. 62.2

    PROVIDE: (7039 / 100 CFM PER SF) + (6 X 7.5 CFM) = 115.39 CFM MIN. EXHAUST FAN, 1 SONE PERMANENTLY ON WITH A NOTE ON THE SWITCH STATING "VENTILATION CONTROL" "CONTINUOUS OPERATION REQUIRED WHEN THE HOUSE IS IN USE." SEE SECOND FLOOR PLAN FOR WHOLE HOUSE VENTILATION FAN. PROVIDE BROAN QTXE80 FAN.

27a. AT KITCHEN VENT. HOOD, LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM. BEES 150(o), EXC. 5 TO 152(a) & ASHRAE STD. 62.2. SEE FIRST FLOOR PLAN FOR KITCHEN VENT. HOOD. --NOT USED

28. PREMANUFACTURED GAS BURNING FIREPLACE. -PROVIDE CLEARANCE TO COMBUSTIBLES PER MANUFACTURER AND CODE. -INSTALL PER MANUFACTURERS INSTALLATION SPECIFICATIONS. -CONTRACTOR TO PROVIDE FIELD INSPECTOR WITH COPY OF LISTING BY APPROVED LISTING AGENCY (ICC-ES, WARNOCK-HERSHEY, INTERTEK) -ECHELON. CSA LISTED AND TESTED UNDER: ANSI Z21.88-2009 / CSA 2.33-2009 STANDARDS.

SQUARE FOOTAGE

FOR SQUARE FOOTAGES, SEE "PROJECT DATA" ON SHEET A-1.

LIGHT & VENTILATION

NET GLAZING SHALL BE 8% OF THE FLOOR AREA — CRC R303.1
NET VENTILATION SHALL BE 4% OF THE FLOOR AREA

M. BEDROOM 354 S.F.	28.32 S.F. WNDW AREA REQ'D 14.16 OPERABLE WNDW AREA REQ'D	137 S.F. PROVIDED 45 S.F. PROVIDED
BEDROOM 2 208 S.F.	16.64 S.F. WNDW AREA REQ'D 8.32 OPERABLE WNDW AREA REQ'D	26 S.F. PROVIDED 26 S.F. PROVIDED
BEDROOM 3 173 S.F.	13.84 S.F. WNDW AREA REQ'D 6.92 OPERABLE WNDW AREA REQ'D	26 S.F. PROVIDED 26 S.F. PROVIDED
BEDROOM 4 196 S.F.	15.68 S.F. WNDW AREA REQ'D 7.84 OPERABLE WNDW AREA REQ'D	52 S.F. PROVIDED 52 S.F. PROVIDED
TV / SITTING 222 S.F.	17.76 S.F. WNDW AREA REQ'D 8.88 OPERABLE WNDW AREA REQ'D	45 S.F. PROVIDED 23 S.F. PROVIDED

WALL LEGEND

NOTE: VERIFY OVERALL DIMENSIONS PRIOR TO STARTING WORK. NOTIFY ARCHITECT IMMEDIATELY SHOULD THERE BE ANY DISCREPANCY.

ALL INTERIOR DIMENSIONS SHOWN ARE TO FACE OF STUD U.N.O.
ALL EXTERIOR DIMENSIONS SHOWN ARE TO EXT. FACE OF STUD U.N.O.
OVERALL EXTERIOR DIMENSIONS ARE TO EXT. FACE OF SHTG / FOOTING AS INDICATED

- NEW INTERIOR 2x4 STUD WALL FRAMING AT 16"o.c. U.N.O. -SEE STRUCTURAL DRAWINGS. -5/8" GYPSUM BOARD INTERIOR WALLS, SMOOTH FINISH -PROVIDE, AT MOIST AREAS, WATER RESISTANT "GREEN" GYPSUM BOARD -GREEN BOARD NOT ACCEPTABLE IN SHOWERS OR TUB SURROUNDS. PROVIDE 5/8" TYPE "X" GYPSUM BOARD AT GARAGE TO HOUSE. PROVIDE WATERPROOF MEMBRANE "BUILDING PAPER" BELOW ALL EXTERIOR WALL FINISHES. 2x FRAMING AT 16"o.c. -SEE STRUCTURAL. PROVIDE 8" WOOD TO EARTH SEPARATION OR PRESSURE TREATED WOOD. WOOD LOCATED ON CONCRETE SLAB SHALL BE PRESSURE TREATED.
- NEW EXTERIOR 2x4 STUD WALL FRAMING AT 16"o.c. U.N.O.

  EXTERIOR WALLS (WITH WOOD SIDING) TO HAVE 1/2" PLYWOOD AT EXTERIOR SIDE. PROVIDE TWO LAYERS GRADE D PAPER OVER ALL WOOD BASE SHEATHING. 1" SHOWN FOR EXTERIOR FINISH -SEE STRUCT. DWGS

  EXTERIOR WALLS (WITH EXTERIOR PLASTER) TO HAVE WOOD STRIP FURRING AT EXTERIOR SIDE. PROVIDE TWO LAYERS GRADE D PAPER OVER ALL WOOD BASE SHEATHING. 1" SHOWN FOR EXTERIOR FINISH -SEE STRUCT. DWGS
- NEW 2x6 STUD WALL FRAMING AT 16"o.c. U.N.O. -SEE NOTES ABOVE.
- NEW 2x8 STUD WALL FRAMING AT 16"o.c. U.N.O. -SEE NOTES ABOVE.
- NEW 2x10 STUD WALL FRAMING AT 16"o.c. U.N.O. -SEE NOTES ABOVE.
- CONCRETE BLOCK WALL

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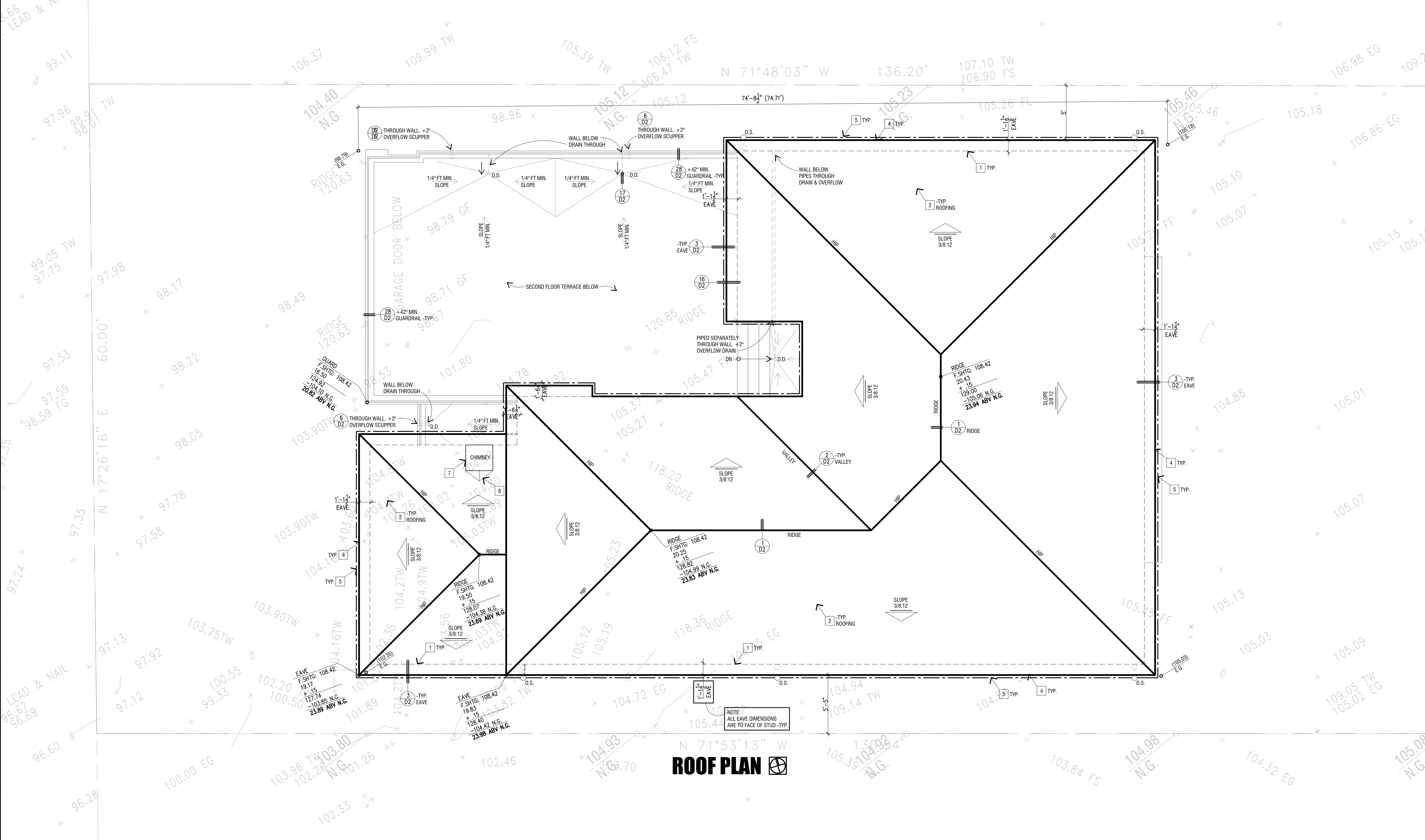
LICENSED ARCHITECT MARK TEALE No. C 22162 Ren. 7/31/17 STATE OF CALIFORNIA

PROJECT
216 EVENING CANYON
216 EVENING CANYON ROAD
NEWPORT BEACH, CA 92625

SHEET
SECOND FLOOR PLAN
DOOR/WINDOW SCHEDULES

REVISIONS:
1 COASTAL/CLIENT REVISIONS 6/12/17

Plot Date: 06/15/17
START DATE: 1/3/17
SCALE: 1/4" - 1'-0"
SHEET **A-2.2**



ROOF PLAN

LEGEND

Symbol	Description
D.D.	DECK DRAIN. SEE DETAIL 17/D2 & 19/D2
+2" OVERFLOW	DECK DRAIN OVERFLOW, TO BE PIPED SEPARATELY FROM DECK DRAIN. SEE DETAIL 16/D2
	ROOF VENT. SEE KEYNOTE 9, THIS SHEET.
D.S.	GUTTER AND DOWNSPOUT

KEY NOTES -ROOF PLAN

1. LINE OF WALL BELOW
2. NEW ROOFING o/30# FELT o/ROOF SHEATHING -SEE MATERIAL SPECIFICATIONS, SHEET A-3
3. EXTERIOR PLASTER o/METAL LATH o/BUILDING PAPER STUCCO FINISH AS INDICATED ON ELEVATIONS BITUTHENE WATERPROOF MEMBRANE UNDER BUILDING PAPER ON HORIZONTAL (OR NOT VERTICAL) PLASTER PLANES --NOT USED
4. WOOD FASCIA -PAINT
5. CORROSION RESISTANT SHEET METAL GUTTER AND DOWNSPOUT
6. DECORATIVE ATTIC VENTILATION -SEE LEGEND A-1 -SEE DETAILS --NOT USED
7. DECORATIVE CHIMNEY CAP AND SPARK ARRESTOR PER MANUFACTURER RECOMMENDATIONS. SEE A-1 FOR CITY HEIGHT REQUIREMENTS.
8. CORROSION RESISTANT SADDLE FLASHING INSTALL PER SMACNA RECOMMENDATIONS -PAINT 9/D2
9. ROOF VENT(S) (O'HAGIN'S TEMPERED FLAT OR EQUAL) REQUIRED ROOF VENTILATION -SEE CALCULATIONS BELOW. ROOF VENT: CORROSION REISTANT METAL -PAINT TO MATCH ROOFING BACKED WITH 1/4" MESH GALV. WIRE CLOTH. 1/8" MINIMUM OPENINGS. --NOT USED

ROOFING

SEE "MATERIALS SPECIFICATIONS" AT SHEET A-3 FOR ROOFING MATERIAL

CHIMNEY

CHIMNEY (AND CHIMNEY CAPS, ETC.) HEIGHTS PERMITTED ONLY AS REQUIRED BY C.R.C. OR MANUFACTURER SPECIFICATIONS PLUS ADDITIONAL 12" MAXIMUM FOR CAP/SPARK ARRESTOR.

THE PORTION THAT EXCEEDS THE C.B.C./C.R.C. MINIMUM IS LIMITED NOT ONLY TO 12 INCHES IN HEIGHT BUT ALSO TO 2 FEET BY 4 FEET IN WIDTH AND DEPTH (N.B.M.C.)

ROOF VENT

REQUIRED ROOF VENTILATION -SEE CALC'S
ROOF VENT(S) O'HAGIN'S TAPERED ROOF VENT 72.00 SQ. IN. F.A.M. LOUVER: GALV. STEEL -PAINT TO MATCH ROOFING. BACKED WITH 1/4" MESH GALV. WIRE CLOTH

REQUIRED ROOF VENTILATION

NOTE:
NOT REQUIRED, PER C.N.B. POLICY NO. 1505.3

ROOF HEIGHT LEGEND

(EXAMPLE NUMBERS BELOW. SEE PLAN FOR ACTUAL HEIGHTS)

RIDGE..........	ROOF LOCATION
103.43 F.SLAB.......	FINISH SLAB
23.99.........	SHEATHING HEIGHT ABOVE FINISH SLAB
+ .33.........	ROOF MATERIAL THICKNESS
127.75.........	TOTAL ROOF HEIGHT ABOVE FINISH SLAB
-104.73 AVG. N.G......	AVERAGE NATURAL GRADE (SEE CALCULATION BELOW)
23.02 ABV AVG N.G.....	TOTAL ROOF HEIGHT ABOVE AVERAGE NATURAL GRADE

CORROSION RESISTANT SHEET MTL

WHERE INDICATED ON THE DRAWINGS AS "CORROSION RESISTANT SHEET METAL" THE CONTRACTOR SHALL PROVIDE GALV STEEL OR CORROSION RESISTANT FLASHING. PROVIDE BACKPRIME AT DISSIMILAR METALS, INSTALL PER S.M.A.C.N.A.

SITE SLOPE CALCULATION

105.18 - 98.79 = 6.39
6.39 / 74.71' = 0.0855
0.0855 x 100= 8.55 = GREATER THAN 5%

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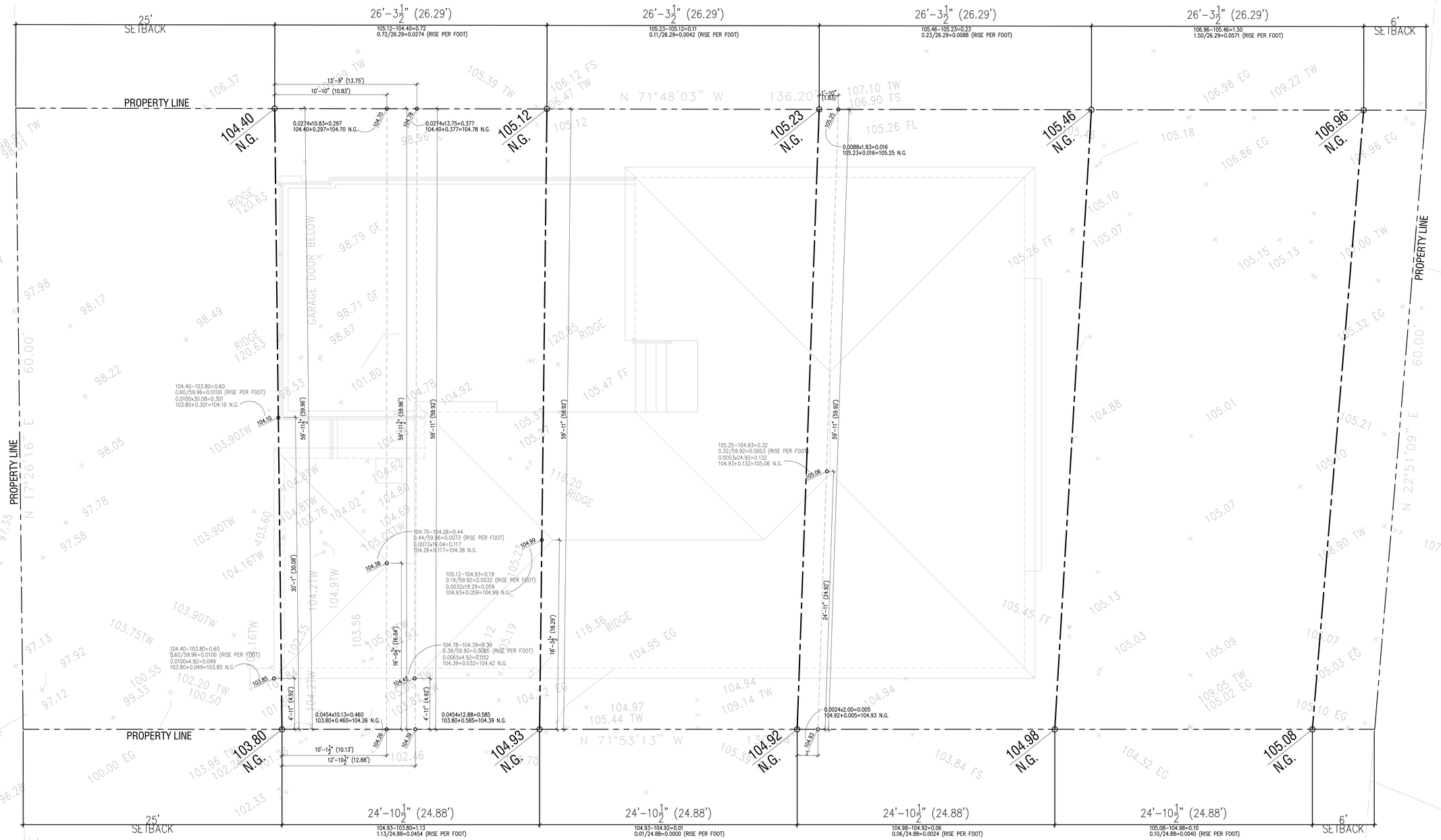
PROJECT
216 EVENING CANYON
216 EVENING CANYON ROAD
NEWPORT BEACH, CA 92625

SHEET
ROOF PLAN

REVISIONS:

Plot Date: 06/08/17
START DATE: 1/3/17
SCALE: 1/4" - 1'-0"
SHEET **A-2.3**



NATURAL GRADE CALCULATIONS

NOTE: SEE SHEET A-2.3 FOR SITE SLOPE CALCULATION (1)

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LICENSED ARCHITECT
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PROJECT
216 EVENING CANYON
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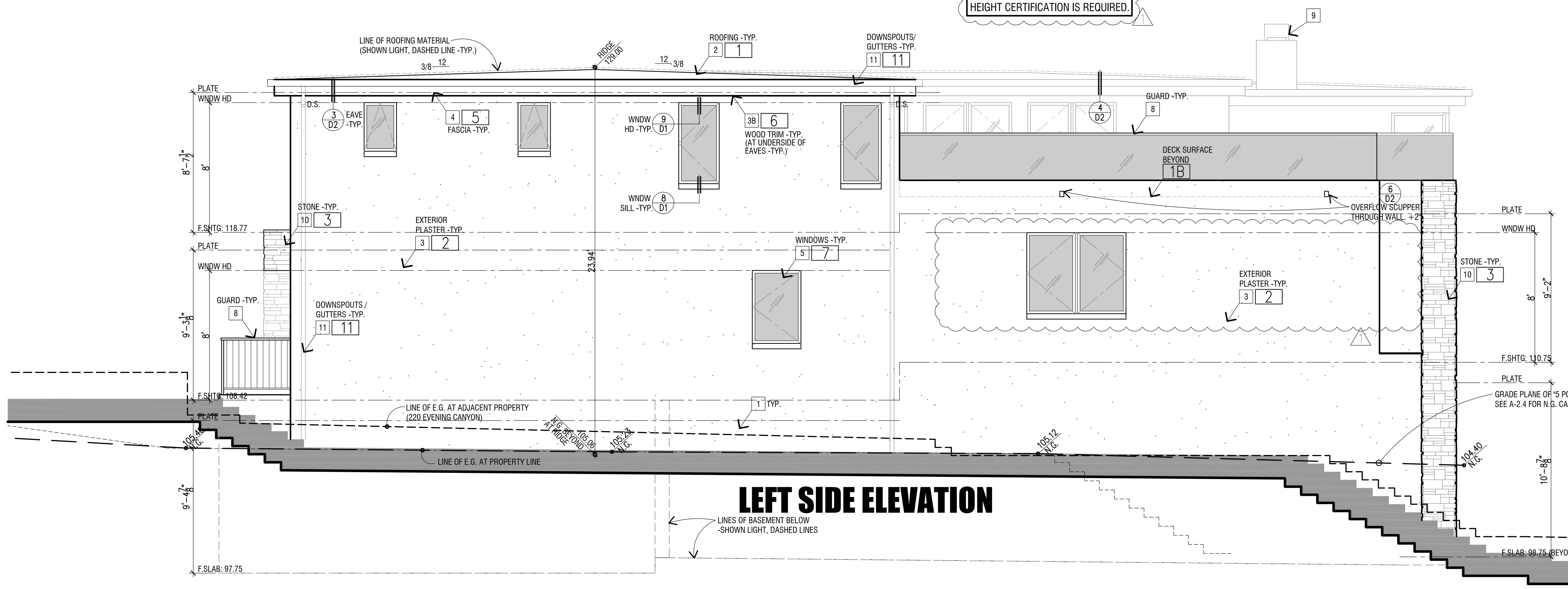
SHEET
NATURAL GRADE CALCULATIONS

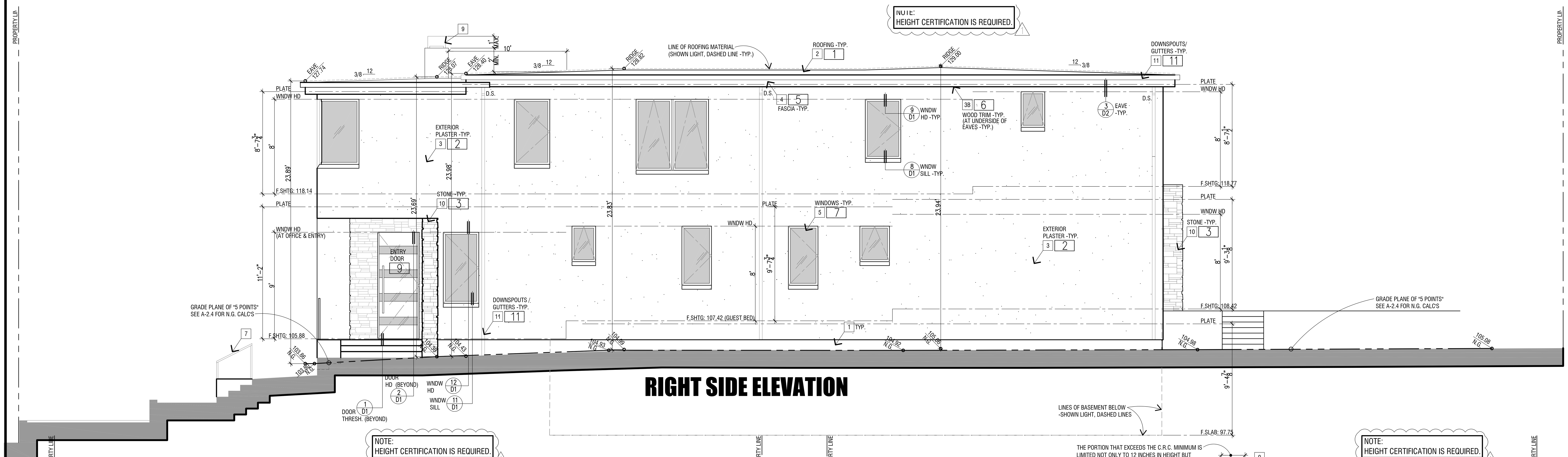
REVISIONS:
1 COASTAL/CLIENT REVISIONS 6/12/17

Plot Date: 06/08/17
START DATE: 1/3/17
SCALE: 1/4" - 1'-0"
SHEET
A-2.4

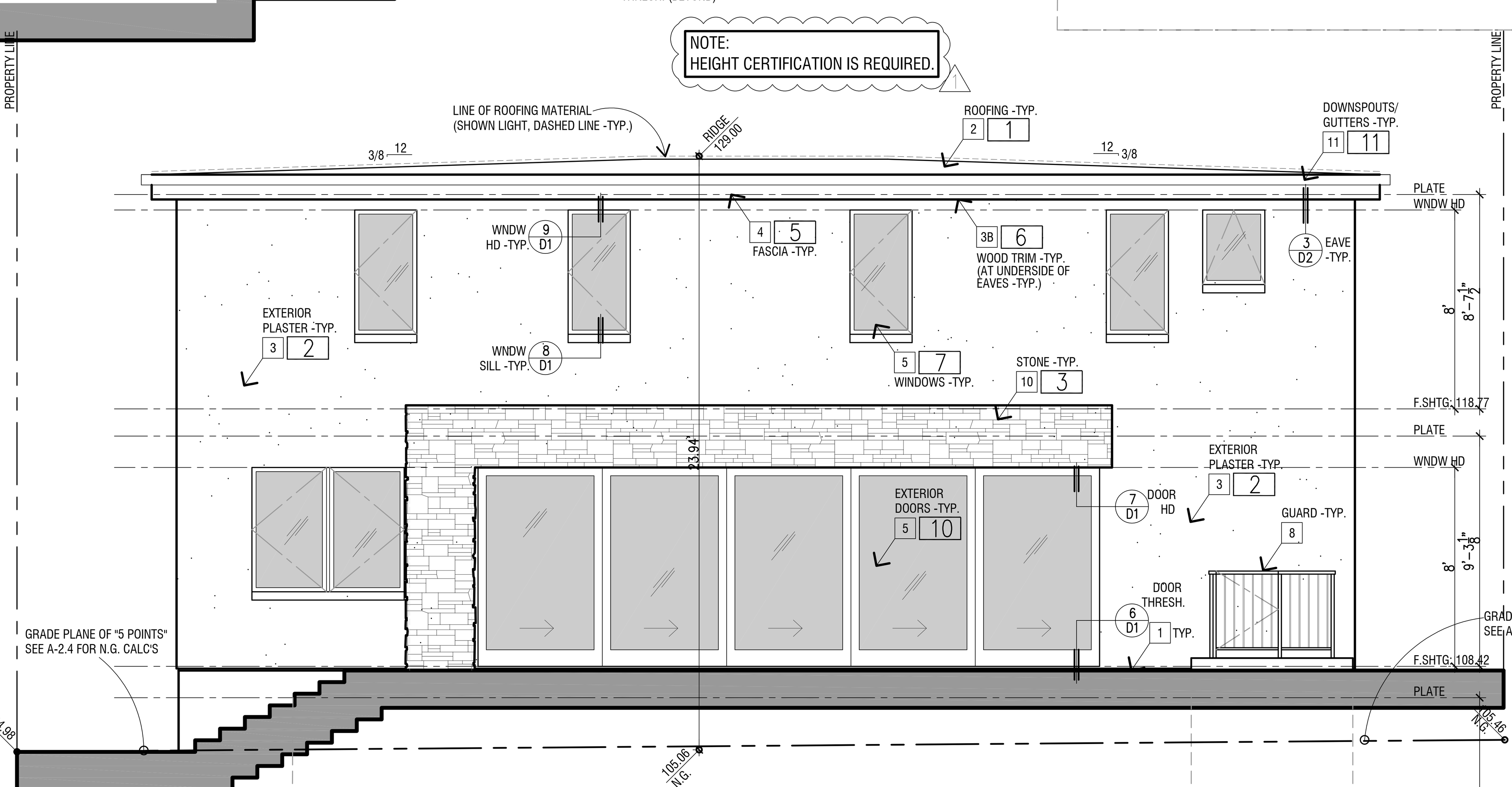
IMAGINE THAT



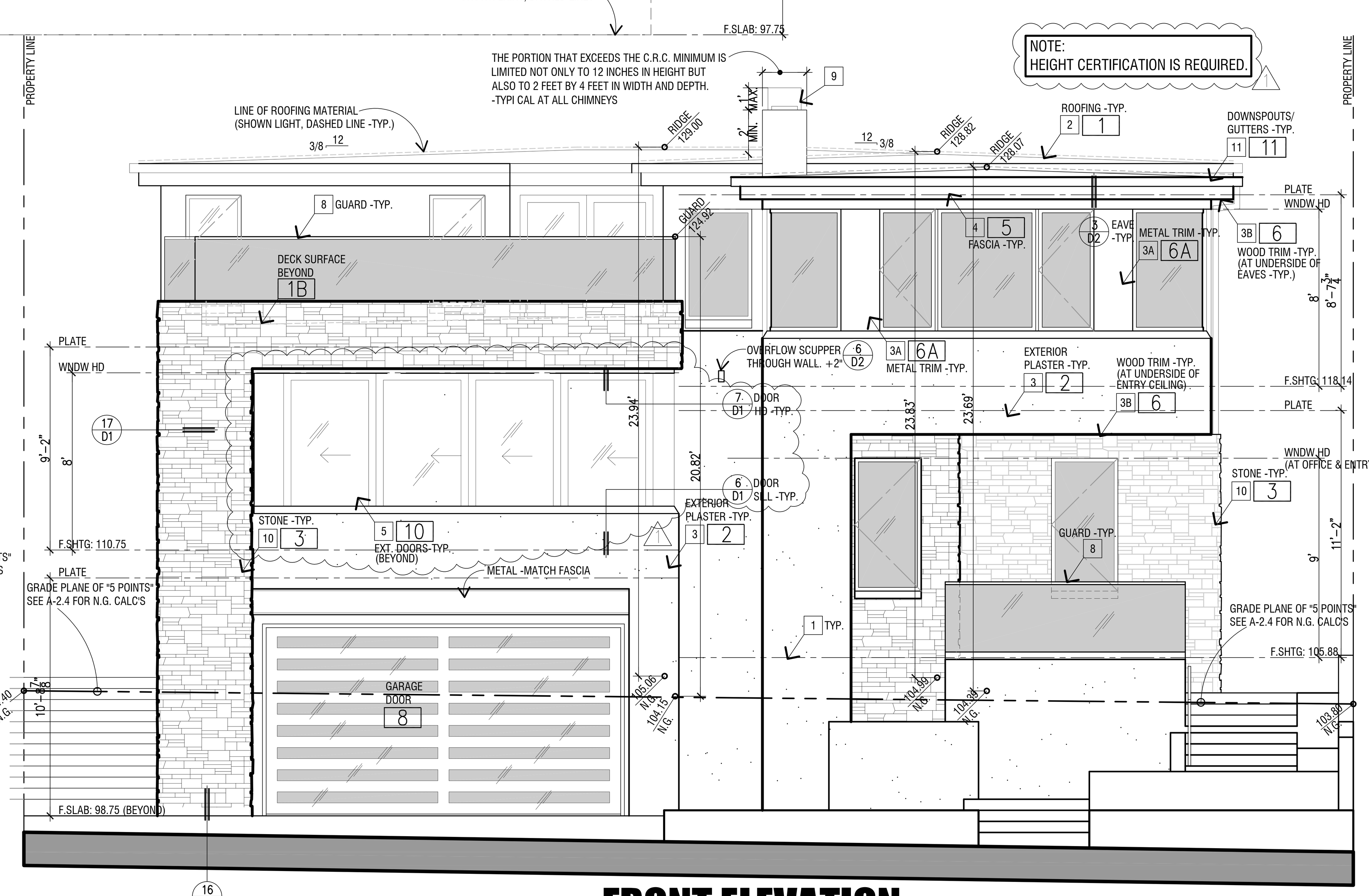
LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



FRONT ELEVATION

MATERIAL AND COLORS LEGEND FOR BUILDING AND HARDSCAPE

NO.	ITEM	MATERIAL	MANUFACTURER	COLOR NAME	COLOR NUMBER	COMMENTS
1	ROOF	45 MIL TPO MEMBRANE	EVER GUARD	ENERGY GRAY	....	....
1B	SECOND FLOOR TERRACE	DESERTCRETE CMFPS	DESERT BRAND	BUCKSKIN	....	....
2	WALLS -FIELD	EXTERIOR PLASTER	MERLEX	....	P-100	....
3	WALLS -STONE	DIMENSIONAL LIMESTONE	SALADO STONE	SONOMA WHITE	....	THOMPSON BUILDING MATERIALS (SUPPLIER)
4	WALLS -ACCENT	N/A	....	....	....	....
5	FASCIA	CORROSION RESIST. METAL	....	MATCH (7) WINDOWS	....	
6	WOOD TRIM	....	BEHR	COFFEE	ST-103	....
6A	METAL TRIM	CORROSION RESIST. METAL	....	MATCH (7) WINDOWS	....	....
7	WINDOWS	ALUMINUM	SIERRA PACIFIC	MEDIUM BRONZE	....	....
8	GARAGE DOOR	PAINT GRADE WOOD	RANCH HOUSE DOORS	MATCH (6) WOOD TRIM	....	RHD 705
9	ENTRY DOOR	GLASS AND WOOD	FORET DOORS	MATCH (6) WOOD TRIM	S004-2	....
10	EXTERIOR DOORS	SEE (7) WINDOWS	....	....	....	....
11	GUTTERS	GALV. ALUMINUM	....	MATCH (7) WINDOWS	....	....
12	GARDEN WALLS	N/A	....	....	....	....
13	FRONT GATES	WOOD	RANCH HOUSE DOORS	MATCH (6) WOOD TRIM	....	RHD 915
14	DRIVEWAY	COLORED CONCRETE	DAVIS COLORS	SILVERSMOKE	8084	....
15	WALLS -CAP	PRECAST CONCRETE	PACIFIC STONE DESIGN	....	#30	....
16	HARDSCAPE	N/A				

KEY NOTES -ELEVATIONS

1. MAINTAIN FINISH SLAB TO FINISH GRADE OR FINISH SURFACE MIN. CLEARANCES PER CRC R317. SLOPE FINISH GRADE OR FINISH SURFACE AWAY FROM BUILDING. SEE DETAIL 30/D1
2. NEW ROOFING o/30# FELT o/ROOF SHEATHING -SEE MATERIAL & COLORS LEGEND, THIS SHEET
3. EXTERIOR PLASTER o/METAL LATH o/BUILDING PAPER STUCCO STEEL TROWEL FINISH -TYP. -SEE MATERIAL & COLORS LEGEND, THIS SHEET. 2 LAYER GRADE D PAPER (FELT) o/PLYWOOD SHEAR WALLS.

3A. METAL TRIM. -SEE MATERIAL & COLORS LEGEND, THIS SHEET

3B. WOOD TRIM. PROVIDE TREATED WOOD -SEE MATERIAL & COLORS LEGEND, THIS SHEET

4. FASCIA. -SEE MATERIAL & COLORS LEGEND, THIS SHEET
5. DOORS AND WINDOWS -TYP. -SEE MATERIAL & COLORS LEGEND, THIS SHEET
6. DECORATIVE ATTIC VENTILATION -SEE ROOF PLAN --NOT USED
7. HANDRAIL +36" ABOVE ADJACENT SURFACE PICKETS -MAX. SPACE 3-7/8" BETWEEN
8. GUARDRAIL +42" ABOVE ADJACENT SURFACE PICKETS -MAX. SPACE 3-7/8" BETWEEN
9. DECORATIVE CHIMNEY CAP -AS SELECTED BY ARCHITECT AMERICAN CHIMNEY SHROUD #S11 -CORROSION RESIST. SHEET METAL. (949) 364-5118
10. STONE 1 1/2" MAX. THICKNESS -SEE MATERIAL & COLORS LEGEND, THIS SHEET
11. CONNECT DOWNSPOUTS TO SUBDRAIN SYSTEM -SEE CIVIL PLANS 16/D1 17/D1

[1] MATERIAL CALLOUT -SEE MATERIALS AND COLORS LEGEND -THIS SHEET

GENERAL NOTES -ELEVATIONS

1. PROVIDE ADDRESS ON BUILDING PER N.B.M.C. 13.12.210
2. SEE ROOF PLAN SHEET FOR ROOF VENTILATION CALCULATIONS.

MATERIAL SPECIFICATIONS

ROOFING

WHERE "ROOFING" IS INDICATED ON THE DRAWINGS PROVIDE:

CLASS A CAP SHEET ROOFING BY: GAF MATERIALS CORPORATION.
SPEC T-MA OR FA-T-I-80 ICC ESR-1597
DECK: ONE LAYER 1 /4" DENS-DECK PRIME ROOF BOARD. ATTACH PER MANUF.
EVERGUARD TPO 80 MIL ASTM D-6878
DRILLTEC HD FASTENERS PER GAF
EVERGUARD TPO BONDING ADHESIVE
CONTACT:
ARCHITECTURAL INFORMATION SERVICES
P.O. BOX 2845
PORT ARTHUR, TX 77643
1-800-522-9224, EXT. 1410
COLOR: SEE MATERIAL AND COLORS LEGEND, THIS SHEET

EXTERIOR PLASTER

WHERE "EXTERIOR PLASTER" IS INDICATED ON THE DRAWINGS PROVIDE:

EXTERIOR PLASTER o/METAL LATH o/BLDG PAPER
STEEL TROWEL FINISH
- UNLESS NOTED OTHERWISE.
PROVIDE CORROSION RESISTANT WEEP/DRIP SCREEDS, AND CORNER BEADS AT ALL LOCATIONS PER PLASTER INSTITUTE STANDARDS.

PROVIDE MESH IN FINISH COAT WHERE STEEL TROWEL FINISH IS USED.

MERLEX INTEGRAL COLOR COAT
COLOR: SEE MATERIAL AND COLORS LEGEND, THIS SHEET
AS SELECTED BY ARCHITECT AND APPROVED BY NEIGHBORHOOD ASSOCIATION. PROVIDE COLOR SAMPLE PRIOR TO INSTALLATION.

GARAGE DOOR

WHERE "GARAGE DOOR" IS INDICATED ON THE DRAWINGS PROVIDE:

STAIN GRADE
SEE MATERIAL AND COLORS LEGEND, THIS SHEET

WOOD TRIM

WHERE "WOOD TRIM" IS INDICATED ON THE DRAWINGS PROVIDE:

FOR PAINTED WOOD TRIM PROVIDE TREATED MATERIAL.
SEE MATERIAL AND COLORS LEGEND, THIS SHEET

WINDOWS

WHERE "WINDOWS" IS INDICATED ON THE DRAWINGS PROVIDE WINDOWS AND DOORS:

ALUMINUM
SEE MATERIAL AND COLORS LEGEND, THIS SHEET

STONE

WHERE "STONE" IS INDICATED ON THE DRAWINGS PROVIDE:

COLOR: LIMESTONE AS SELECTED BY OWNER

C.R.C. R703.7 Stone and masonry veneer, general. Stone masonry veneer shall be installed in accordance with this chapter, Table R703.4 and Figure R703.7. These veneers installed over a backing of wood or cold-formed steel shall be limited to the first story above-grade and shall not exceed 5 inches (127mm) in thickness.

Exceptions:
1. for all buildings in Seismic Design Categories A, B and C, exterior stone or masonry veneer, as specified in Table R703.7(1), with a backing of wood or steel framing shall be permitted to the height specified in Table R703.7(1) above a noncombustible foundation.
2. For detached one- or two-family dwellings in Seismic Design Categories D0, D1 and D2, exterior stone masonry veneer, as specified in Table R703.7(2), with a backing of wood framing shall be permitted to the height specified in Table R703.7(2) above a noncombustilbe foundation.

R703.7.2 Exterior veneer support. Except in Seismic Design Categories D0, D1 and D2, exterior masonry veneers having an installed weight of 40 pounds per square foot (195 kg/m²) or less shall be permitted to be supported on wood or cold-formed steel construction. When masonry veneer supported on wood or cold-formed steel construction adjoins masonry veneer supported by the foundation, there shall be a movement joint between the veneer supported by the wood or cold-formed steel construction and the veneer supported by the foundation. The wood or cold-formed steel construction supporting the masonry veneer shall be designed to limit the deflection to 1/600 of the span for the supporting members. The design of the wood or cold-formed steel construction shall consider the weight of the veneer and any other loads.

R703.7.2.1 Support by steel angle. A minimum 6 inches by 4 inches by 5/16 inch (152mm by 102mm by 8mm) steel angle, with the long leg placed vertically, shall be anchored to double 2 inches by 4 inches (51mm by 102mm) wood studs at a maximum on-center spacing of 16 inches (406mm). Anchorage of the steel angle at every double stud spacing shall be a minimum of two 7/16 inch (11mm) diameter by 4 inch (102mm) lag screws. The steel angle shal have a minimum clearance to underlying construction of 1/16 inch (2mm). A minimum of two-thirds the width of the masonry veneer thickness shall bear on the steel angle. Flashing and weep holes shall be located in the masonry veneer wythe in accordance with Figure R703.7.2.1. The maximum height of the masonry veneer above the steel angle support shall be 12 feet, 8 inches (3861mm). The air space separating the masonry veneer from the wood backing shall be in accordance with Sections R703.7.4 and R703.7.4.2. The method of support for the masonry veneer on wood construction shall be constructed in accordance with Figure R703.7.2.1.

TEALE ARCHITECTURE
2900 Bristol Street
Building A, Suite 203
Costa Mesa, Ca 92626
Tel: 949 . 975 . 0123
Fax: 949 . 274 . 4833
tealearchitecture.com

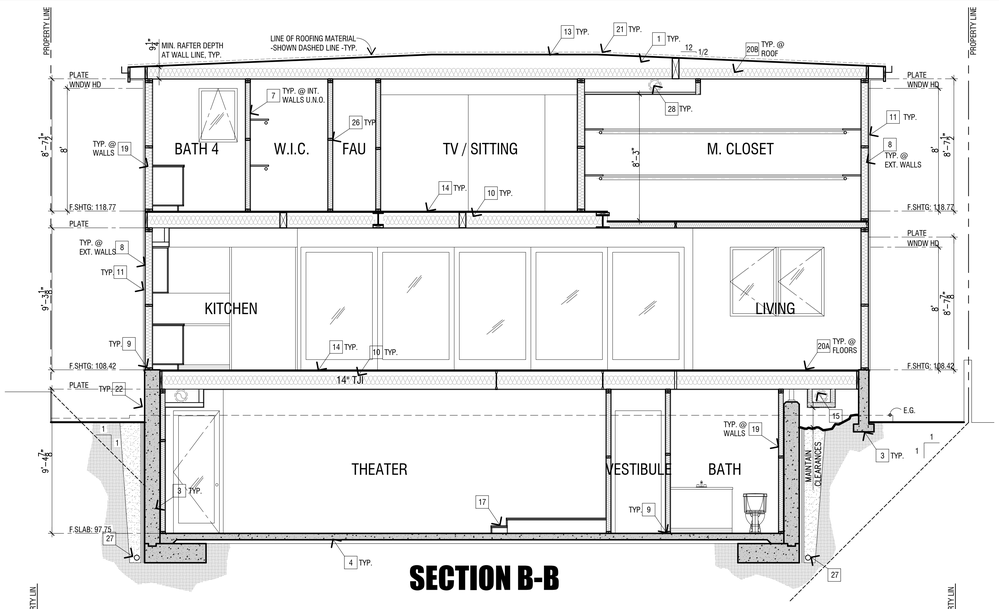
LICENSED ARCHITECT MARK TEALE No. C 22162 Ren. 7/31/17 STATE OF CALIFORNIA

PROJECT
216 EVENING CANYON
216 EVENING CANYON ROAD
NEWPORT BEACH, CA 92625

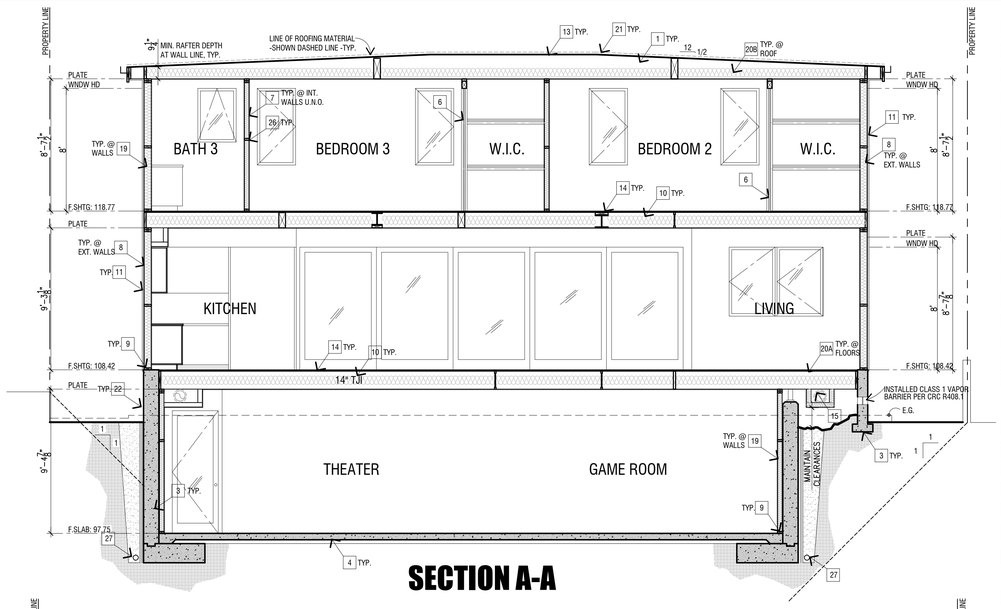
SHEET
EXTERIOR ELEVATIONS

REVISIONS:
1 COASTAL/CLIENT REVISIONS 6/12/17

Plot Date: 06/13/17
START DATE: 1/3/17
SCALE: 1/4" - 1'-0"
SHEET A-3



SECTION B-B



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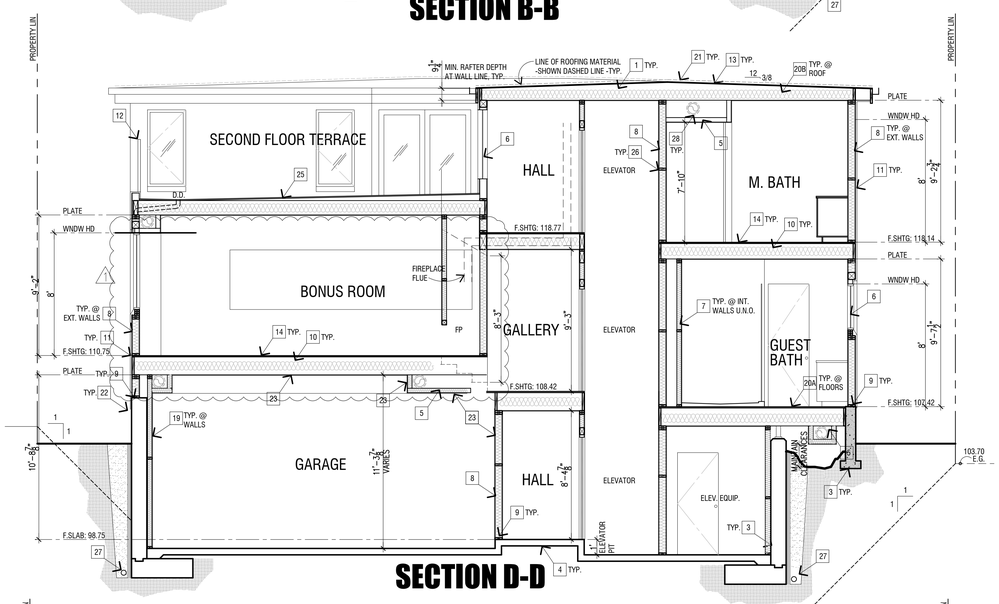

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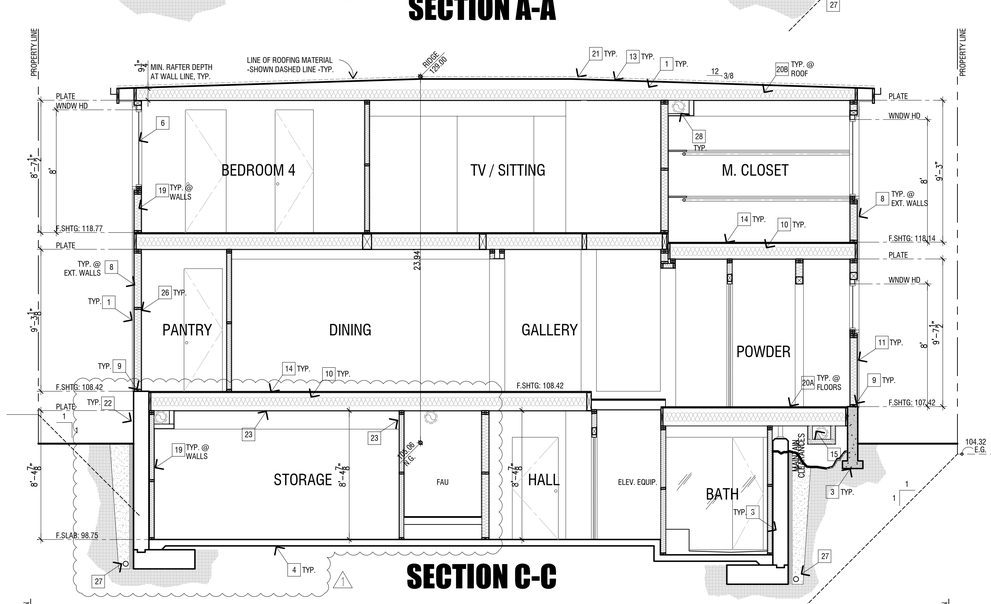
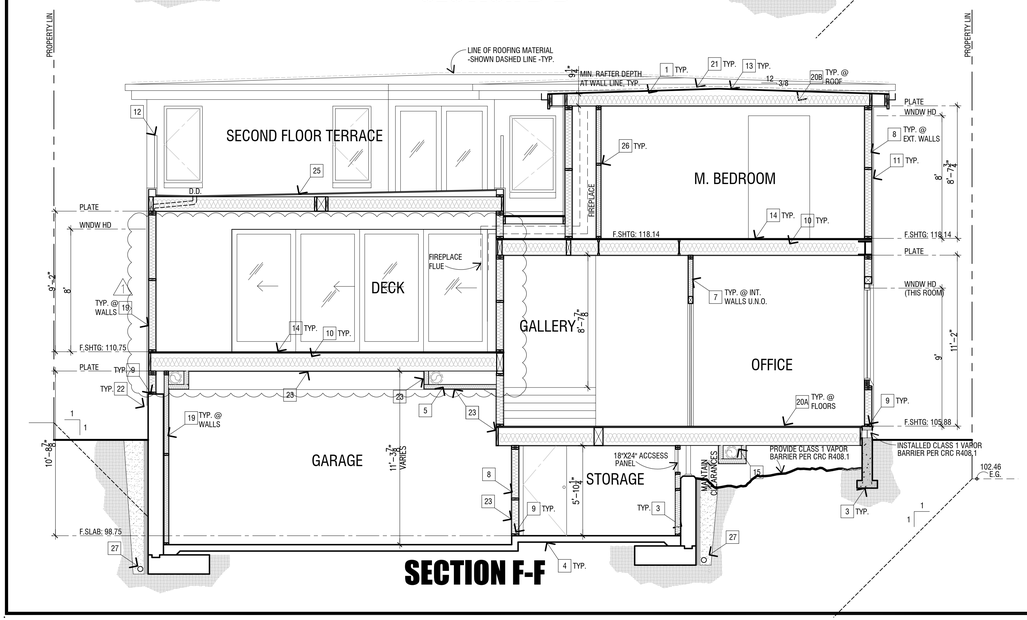


SECTION C-C



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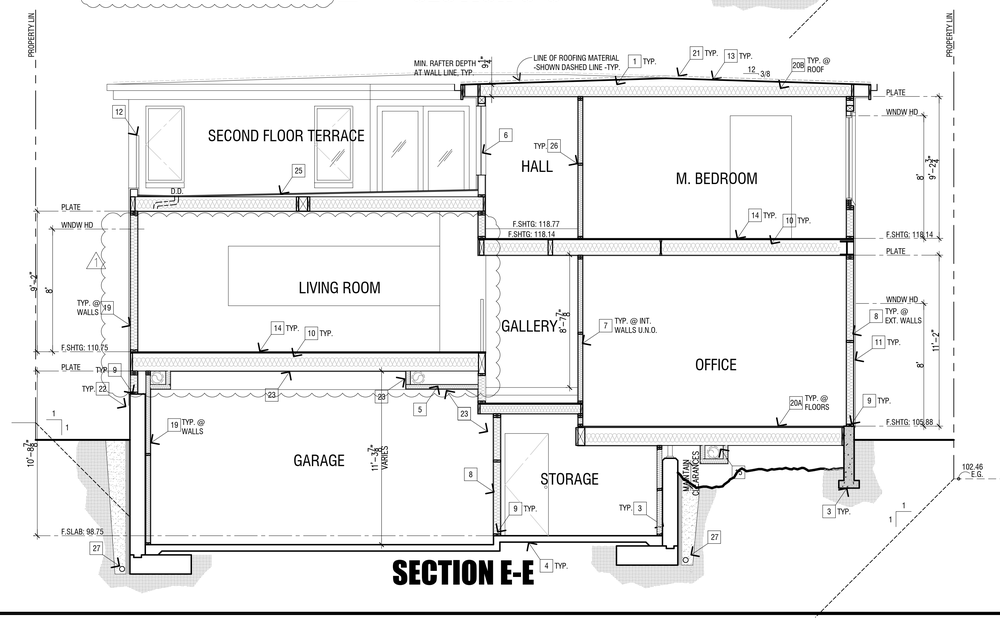

SECTION E-E

KEY NOTES -SECTIONS

1. 2x RAFTERS / ROOF JOISTS -SEE FRAMING PLAN
2. BEAM PER STRUCTURAL
3. CONCRETE FOUNDATION AND FOOTINGS -SEE FOUNDATION PLAN
4. CONCRETE SLAB w/ REINFORCING STEEL o/ W/P MEMBRANE. SEE A-1 AND STRUCT. FOR SLAB INFO.
5. 2x4 CEILING JOISTS @ 16"o.c.
6. DOORS AND WINDOWS -SEE PLAN -TYPICAL
7. 2x4 STUDS @ 16"o.c. (TYPICAL U.N.O.)
8. 2x6 STUDS @ 16"o.c.
9. 2x P.T.D.F. MUD SILL
10. FLOOR JOISTS @ 16"o.c. -SEE FRAMING PLAN
11. EXTERIOR PLASTER o/ METAL LATH o/ BUILDING PAPER COLOR COAT. -SEE SPECIFICATIONS -SHT A-3
11A. EXTERIOR WOOD SIDING o/ BUILDING PAPER SEE SPECIFICATIONS -SHT A-3
12. GUARD - +42" ABOVE ADJACENT SURFACE PICKETS -MAX. SPACE 3-7/8" BETWEEN
13. 5/8" PLYWOOD ROOF SHEATHING SEE TITLE 24 FOR RADIANT BARRIER -AS OCCURS.
14. 1-1/8" T&G PLYWOOD SUBFLOOR
15. WHERE DUCTING CAN NOT BE WITHIN AN INSULATED ENVELOPE PROVIDE SOFFIT FRAMING AND R VALUES PER T24 TO MAINTAIN DUCTS WITHIN CONDITIONED SPACE - TYPICAL
16. LIGHTING -SEE PLAN --NOT USED
17. STAIRS. SEE PLAN FOR RISE AND RUN HANDRAIL - 34" TO 38" ABOVE NOSING
18. 2x SOLID BLOCKING
19. R-13 F.G. BATT. WALL INSULATION AT 2x4 WALLS ADJACENT TO CONCRETE WALL R-19 F.G. BATT. WALL INSULATION AT 2x6 WALLS. SEE TITLE 24.
20A. R-19 INSULATION AT UNDERFLOOR.
20B. R-30 INSULATION PROVIDE GREATER THAN 10-1/2" JOIST SPACE.
21. ROOFING OVER WATERPROOF MEMBRANE SEE ROOF PLAN AND ELEVATIONS
22. MAINTAIN FINISH SLAB TO FINISH GRADE OR FINISH SURFACE MIN. CLEARANCES PER CRC R317. SLOPE FINISH GRADE OR FINISH SURFACE AWAY FROM BUILDING. SEE DETAIL 30/01
23. 5/8" TYPE "X" GYPSUM BOARD AT WALLS THROUGHOUT GARAGE TO HOUSE. 5/8" TYPE "X" GYPSUM BOARD AT CEILING. (PROVIDE 2 LAYERS 5/8" TYPE "X" GYPSUM BOARD AT CEILING WHEN TRUSS JOISTS ARE USED.) -W/P GYPSUM BOARD ENTIRE GARAGE WHERE TYPE "X" NOT REQUIRED BY CODE.
24. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD. CRC R302.7
25. DECK: SEE "DECK MATERIAL" NOTE ON SHEET A-2.2.
26. FIRE BLOCK @ 10'-0"o.c. HORIZONTAL AND VERTICAL, PER CRC R302.11
27. WATERPROOFING. INSTALL BELOW-GRADE WATERPROOF MEMBRANE PER MANUFACTURERS RECOMMENDATIONS. PROVIDE PROTECTION BOARD FROM BACKFILL. INSTALL FRENCH DRAIN BEHIND RETAINING WALL PER SOILS REPORT. SEE DETAIL: 22/01, 23/01
28. PROVIDE DUCT ID AND INSULATION PER T-24 AND MECH CODE. PROVIDE DUCTING IN CONDITIONED SPACE PER T-24 CALCS

GENERAL NOTES -SECTIONS

1. PROVIDE FIRE BLOCKS @ 10'-0"o.c. BOTH VERTICALLY AND HORIZONTALLY PER CRC R302.11
2. CONCEALED WALL SPACE NOT TO EXCEED 10 FEET INTERVAL HORIZONTALLY. CRC R302.11
3. WHERE "LIGHT-WEIGHT CONC" IS CALLED OUT, INSTALL o/ WATERPROOF MEMBRANE o/ PLYWOOD SHEATHING.

NOTE TO STRUCT. ENG'R

PROVIDE 1 1/8" FLOOR SHEATHING UNLESS NOTED OTHERWISE.

FOR SHEAR WALLS GREATER THAN 5FT LONG USE 6" LESS THAN THE MEASURED LENGTH FOR CALCULATION PURPOSES WHEREVER POSSIBLE.

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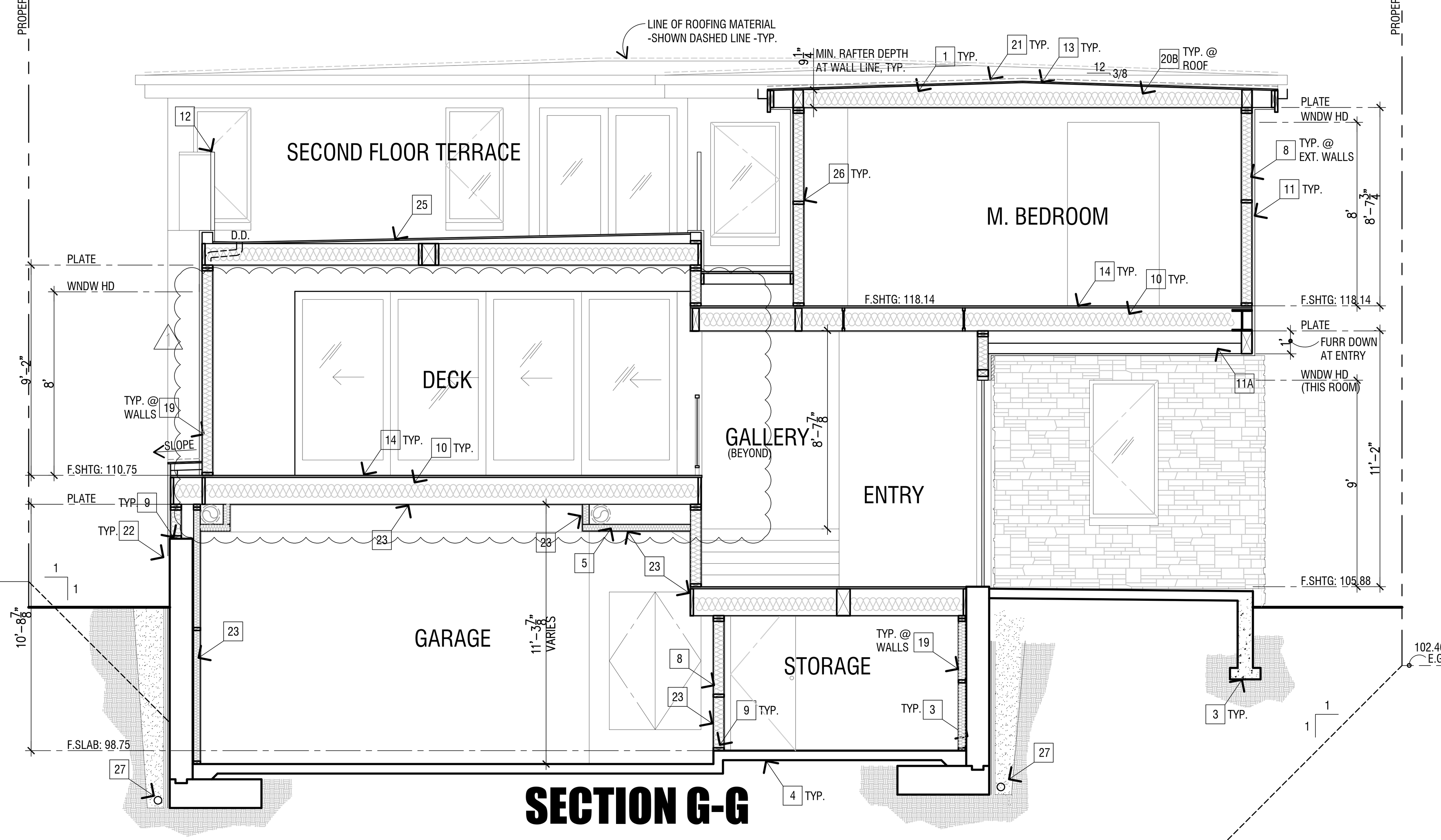
PROJECT
216 EVENING CANYON
216 EVENING CANYON ROAD
NEWPORT BEACH, CA 92625

SHEET
BUILDING SECTIONS

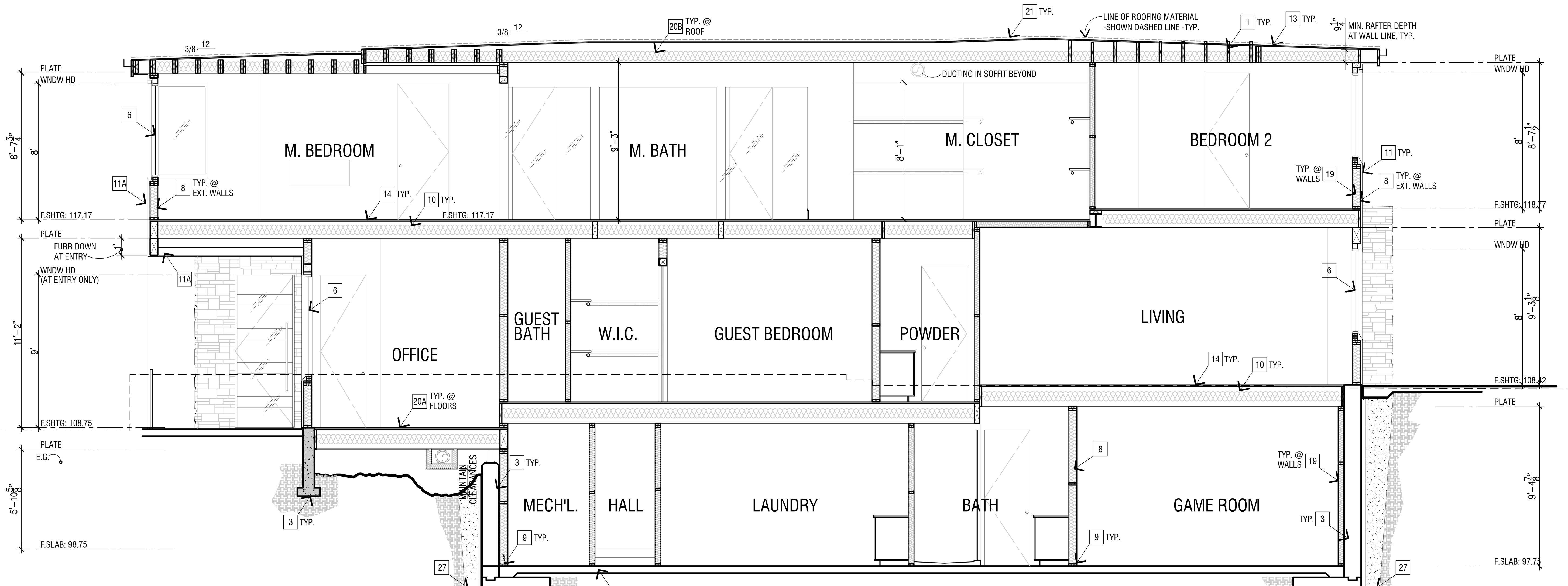
REVISIONS:
1 COASTAL /CLIENT REVISIONS 6/12/17

Plot Date: 06/15/17
START DATE: 1/3/17
SCALE: 1/4" - 1'-0"
SHEET
A-4

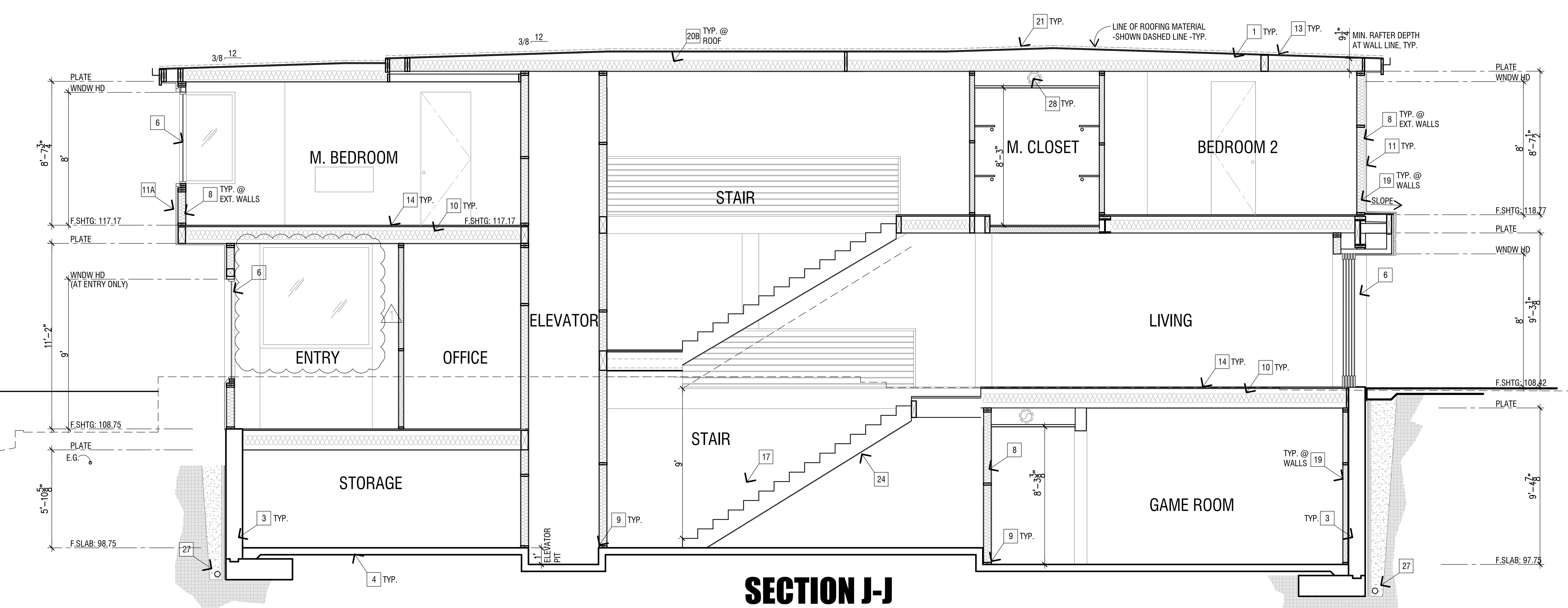
IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT *



SECTION G-G



SECTION H-H



SECTION J-J

KEY NOTES -SECTIONS

1. 2x RAFTERS / ROOF JOISTS -SEE FRAMING PLAN
2. BEAM PER STRUCTURAL
3. CONCRETE FOUNDATION AND FOOTINGS -SEE FOUNDATION PLAN
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10. FLOOR JOISTS @ 16"o.c. -SEE FRAMING PLAN
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- 11A EXTERIOR WOOD SIDING o/ BUILDING PAPER SEE SPECFICATIONS -SHT A-3
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13. 5/8" PLYWOOD ROOF SHEATHING SEE TITLE 24 FOR RADIANT BARRIER -AS OCCURS.
14. 1-1/8" T&G PLYWOOD SUBFLOOR
15. WHERE DUCTING CAN NOT BE WITHIN AN INSULATED ENVELOPE PROVIDE SOFFIT FRAMING AND R VALUES PER T24 TO MAINTAIN DUCTS WITHIN CONDITIONED SPACE - TYPICAL
16. LIGHTING -SEE PLAN --NOT USED
17. STAIRS. SEE PLAN FOR RISE AND RUN HANDRAIL - 34" TO 38" ABOVE NOSING
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- 20A R-19 INSULATION AT UNDERFLOOR.
- 20B R-30 INSULATION PROVIDE GREATER THAN 10-1/2" JOIST SPACE.
21. ROOFING OVER WATERPROOF MEMBRANE SEE ROOF PLAN AND ELEVATIONS
22. MAINTAIN FINISH SLAB TO FINISH GRADE OR FINISH SURFACE MIN. CLEARANCES PER CRC R317. SLOPE FINISH GRADE OR FINISH SURFACE AWAY FROM BUILDING. SEE DETAIL 30/D1
23. 5/8" TYPE "X" GYPSUM BOARD AT WALLS THROUGHOUT GARAGE TO HOUSE. 5/8" TYPE "X" GYPSUM BOARD AT CEILING. (PROVIDE 2 LAYERS 5/8" TYPE "X" GYPSUM BOARD AT CEILING WHEN TRUSS JOISTS ARE USED.) -W/P GYPSUM BOARD ENTIRE GARAGE WHERE TYPE "X" NOT REQUIRED BY CODE.
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26. FIRE BLOCK @ 10'-0"o.c. HORIZONTAL AND VERTICAL, PER CRC R302.11
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28. PROVIDE DUCT ID AND INSULATION PER T-24 AND MECH CODE. PROVIDE DUCTING IN CONDITIONED SPACE PER T-24 CALCS

GENERAL NOTES -SECTIONS

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NOTE TO STRUCT. ENG'R

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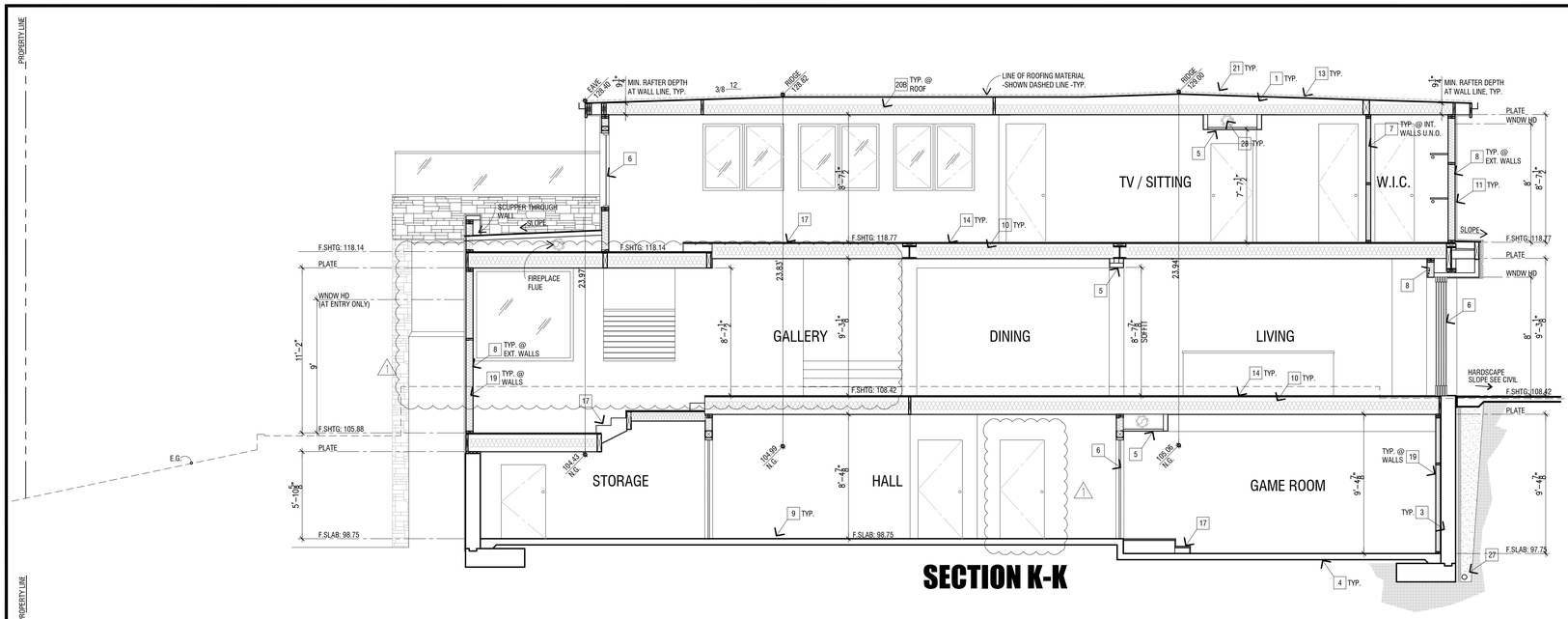
LICENSED ARCHITECT MARK TEALE
No. C 22162
Ren. 7/31/17
STATE OF CALIFORNIA

PROJECT
216 EVENING CANYON
216 EVENING CANYON ROAD
NEWPORT BEACH, CA 92625

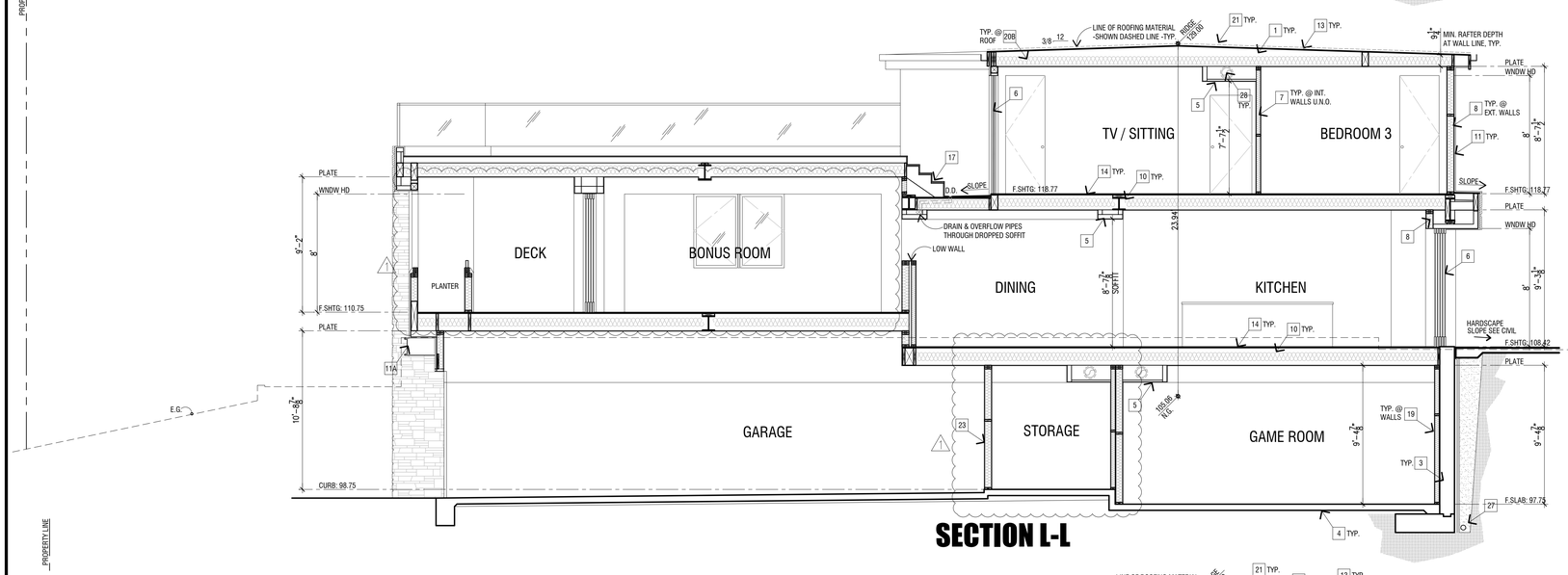
SHEET
BUILDING SECTIONS

REVISIONS:
1 COASTAL/CLIENT REVISIONS 6/12/17

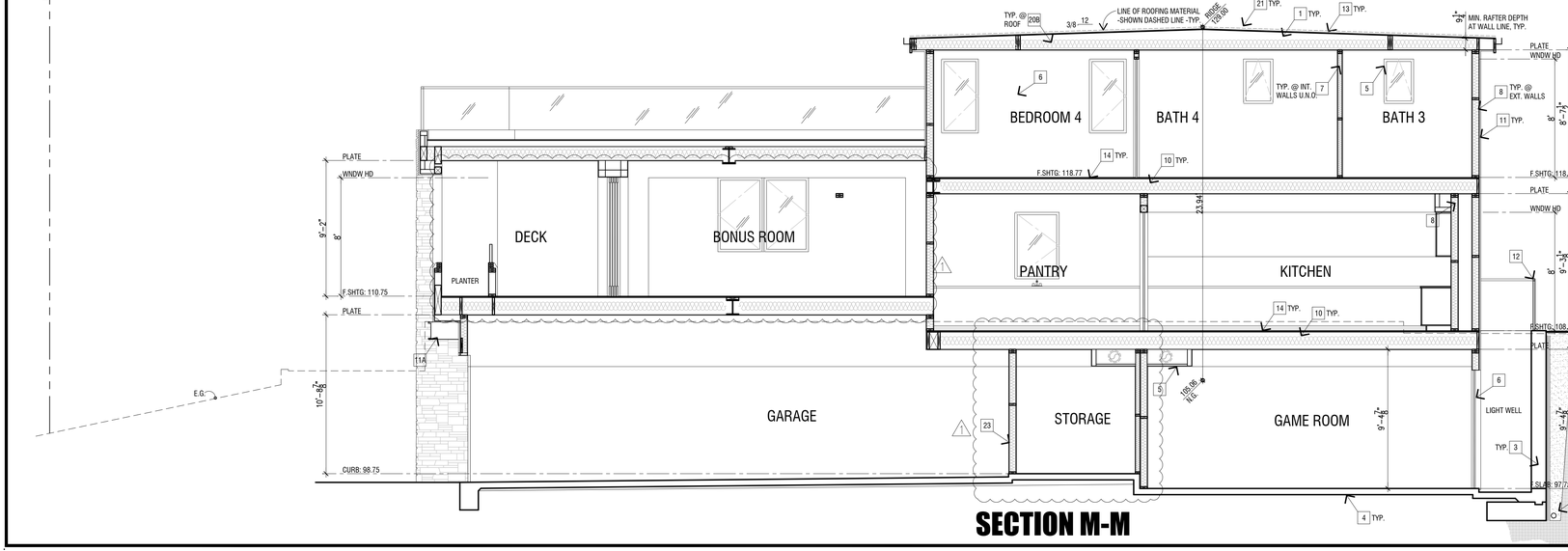
Plot Date: 06/08/17
START DATE: 1/3/17
SCALE: 1/4" - 1'-0"
SHEET
A-4.1



SECTION K-K



SECTION L-L



SECTION M-M

KEY NOTES -SECTIONS

1. 2x RAFTERS / ROOF JOISTS -SEE FRAMING PLAN
2. BEAM PER STRUCTURAL
3. CONCRETE FOUNDATION AND FOOTINGS -SEE FOUNDATION PLAN
4. CONCRETE SLAB w/ REINFORCING STEEL o/ W/P MEMBRANE. SEE A-1 AND STRUCT. FOR SLAB INFO.
5. 2x4 CEILING JOISTS @ 16"o.c.
6. DOORS AND WINDOWS -SEE PLAN -TYPICAL
7. 2x4 STUDS @ 16"o.c. (TYPICAL U.N.O.)
8. 2x6 STUDS @ 16"o.c.
9. 2x P.T.D.F. MUD SILL
10. FLOOR JOISTS @ 16"o.c. -SEE FRAMING PLAN
11. EXTERIOR PLASTER o/ METAL LATH o/ BUILDING PAPER COLOR COAT - SEE SPECIFICATIONS -SHT A-3
11A. EXTERIOR WOOD SIDING o/ BUILDING PAPER SEE SPECIFICATIONS -SHT A-3
12. GUARD +42" ABOVE ADJACENT SURFACE PICKETS -MAX. SPACE 3-7/8" BETWEEN
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14. 1-1/8" T&G PLYWOOD SUBFLOOR
15. WHERE DUCTING CAN NOT BE WITHIN AN INSULATED ENVELOPE PROVIDE SOFFIT FRAMING AND R VALUES PER T24 TO MAINTAIN DUCTS WITHIN CONDITIONED SPACE - TYPICAL
16. LIGHTING SEE PLAN --NOT USED
17. STAIRS. SEE PLAN FOR RISE AND RUN HANDRAIL - 34" TO 38" ABOVE NOSING
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GENERAL NOTES -SECTIONS

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3. WHERE "LIGHT-WEIGHT CONC" IS CALLED OUT, INSTALL o/ WATERPROOF MEMBRANE o/ PLYWOOD SHEATHING.

NOTE TO STRUCT. ENG'R

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LICENSED ARCHITECT
MARK TEALE
No. C 22162
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216 EVENING CANYON
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SHEET
BUILDING SECTIONS

REVISIONS:

1 COASTAL/CLIENT REVISIONS 6/12/17

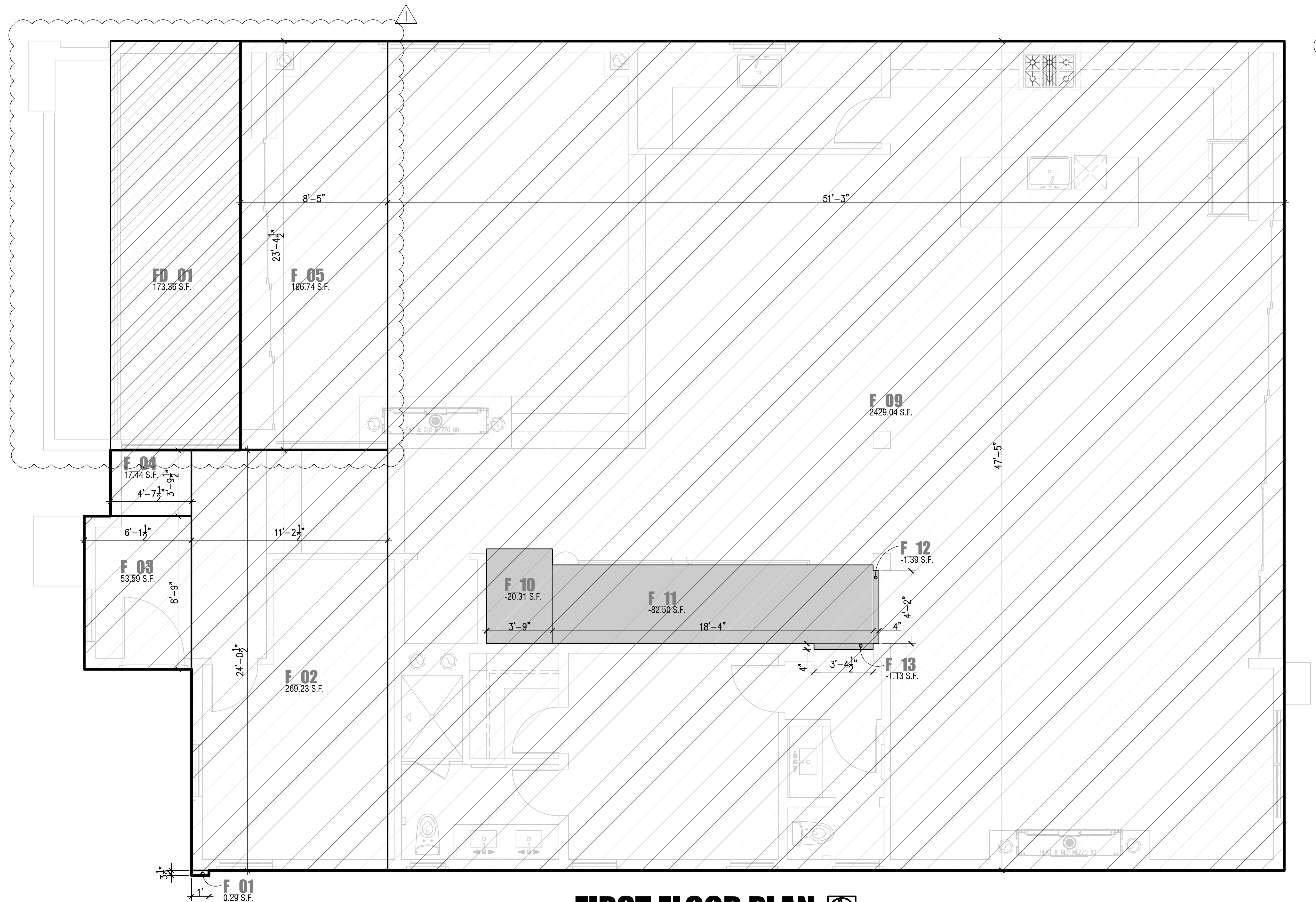
Plot Date: 06/15/17

START DATE: 1/3/17

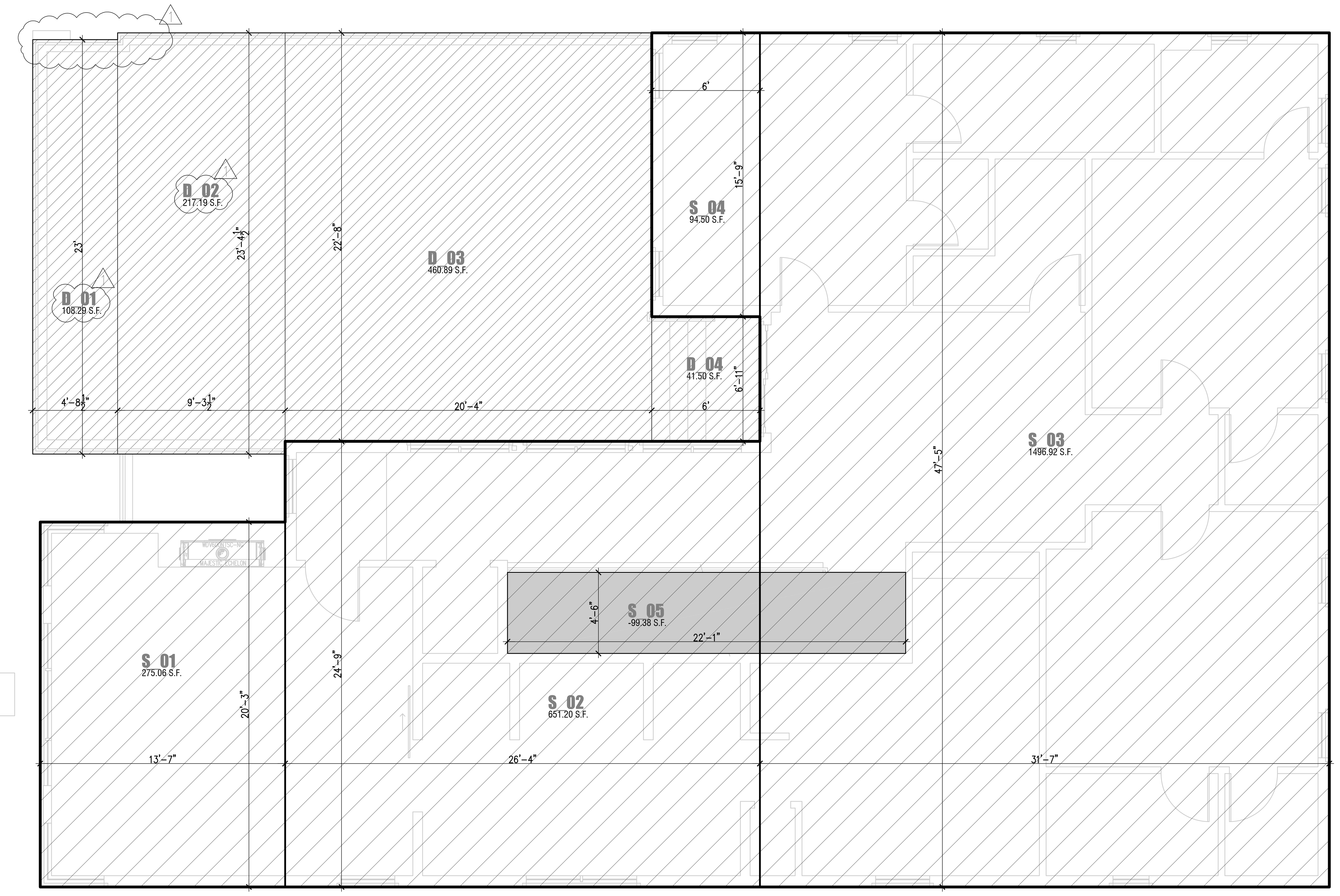
SCALE: 1/4" - 1'-0"

SHEET
A-4.2

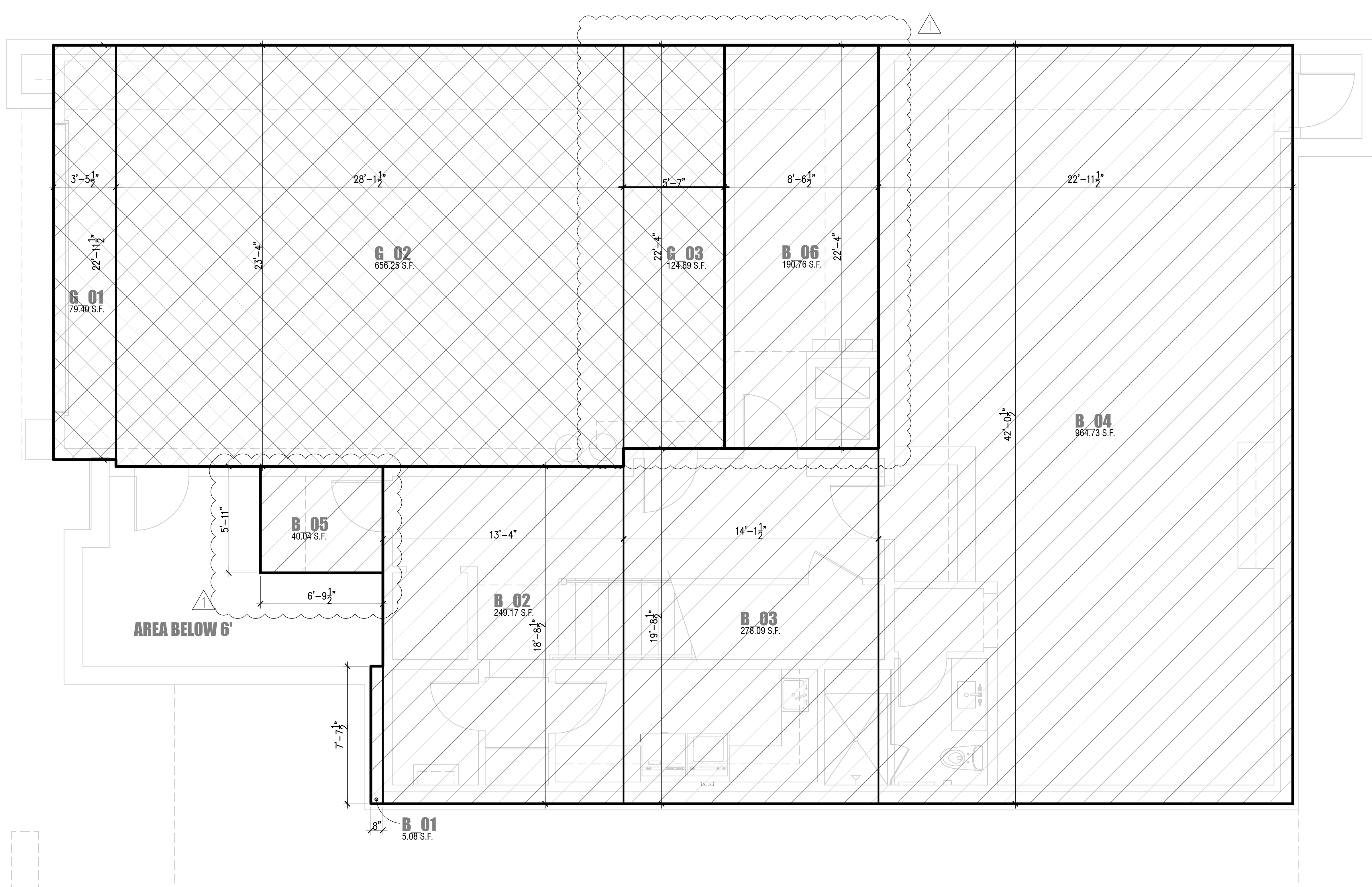
IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT * IMAGINE THAT *



FIRST FLOOR PLAN



SECOND FLOOR PLAN



BASEMENT FLOOR PLAN

NOTE:
ANY DIMENSIONS PROVIDED ON THESE SQUARE FOOTAGE CALCULATION SHEETS SHALL BE USED FOR SQUARE FOOTAGE CALCULATION PURPOSES ONLY.

SECOND FLOOR

SECOND FLOOR		DECK	
S_01	275.06 S.F.	D_01	108.29 S.F.
S_02	651.20 S.F.	D_02	217.19 S.F.
S_03	1496.92 S.F.	D_03	460.89 S.F.
S_04	94.50 S.F.	D_04	41.50 S.F.
S_05	-99.38 S.F.		827.87 S.F.
	2418.3 S.F.		828 S.F.
	2,418 S.F.		

FIRST FLOOR

FIRST FLOOR		DECK	
F_01	0.29 S.F.	FD_01	173.36 S.F.
F_02	269.23 S.F.		173 S.F.
F_03	53.59 S.F.		
F_04	17.44 S.F.		
F_05	196.74 S.F.		
~~F_06~~	~~2.52 S.F.~~		
~~F_07~~	~~2.52 S.F.~~		
~~F_08~~	~~14.72 S.F.~~		
F_09	2429.04 S.F.		
F_10	-20.31 S.F.		
F_11	-82.50 S.F.		
F_12	-1.39 S.F.		
F_13	-1.13 S.F.		
	2,861 S.F.		

BASEMENT FLOOR

BASEMENT FLOOR		GARAGE	
B_01	5.08 S.F.	G_01	79.40 S.F.
B_02	249.17 S.F.	G_02	656.25 S.F.
B_03	278.09 S.F.	G_03	124.69 S.F.
B_04	964.73 S.F.		860.34 S.F.
B_05	40.04 S.F.		860 S.F.
B_06	190.76 S.F.		
	1727.87 S.F.		
	1,728 S.F.		

LEGEND

HABITABLE AREA
GARAGE AREA
DECK
ROOF DECK
(NOT APPLICABLE)

AREA TOTALS

BASEMENT FLOOR	1,728 S.F.
FIRST FLOOR	2,861 S.F.
SECOND FLOOR	2,418 S.F.
GARAGE	860 S.F.
DECK	994 S.F.

SEE "PROJECT DATA" ON SHEET A-1 FOR SQUARE FOOTAGE CALCULATIONS.

TEALE ARCHITECTURE
2900 Bristol Street
Building A, Suite 203
Costa Mesa, Ca 92626
Tel: 949 . 975 . 0123
Fax: 949 . 274 . 4833
tealearchitecture.com

LICENSED ARCHITECT
MARK TEALE
No. C 22162
Ren. 7/31/17
STATE OF CALIFORNIA

PROJECT
216 EVENING CANYON
216 EVENING CANYON ROAD
NEWPORT BEACH, CA 92625

SHEET
SQUARE FOOTAGE CALCULATIONS

REVISIONS:
1 COASTAL/CLIENT REVISIONS 6/12/17

Plot Date: 06/15/17
START DATE: 1/3/17
SCALE: 1/4" - 1'-0"
SHEET
A-6

CITY OF NEWPORT BEACH

P.O. BOX 1768, NEWPORT BEACH, CA 92659-1768

CITY OF NEWPORT BEACH - BUILDING DEPARTMENT

GENERAL GRADING SPECIFICATIONS

GENERAL

1. ALL WORK SHALL CONFORM TO CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (NBMC), THE PROJECT SOILS REPORT AND SPECIAL REQUIREMENTS OF THE PERMIT.
2. DUST SHALL BE CONTROLLED BY WATERING AND/OR DUST PALLIATIVE.
3. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE DURING THE CONSTRUCTION PERIOD.
4. WORK HOURS ARE LIMITED FROM 7:00 AM TO 6:30 PM MONDAY THROUGH FRIDAY; 8:00 AM TO 6:00 PM SATURDAYS; AND NO WORK ON SUNDAYS AND HOLIDAYS PER SECTION 10-28 OF THE NBMC.
5. NOISE, EXCAVATION, DELIVERY AND REMOVAL SHALL BE CONTROLLED PER SECTION 10-28 OF THE NBMC.
6. THE STAMPED SET OF APPROVED PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
7. PERMITTEE AND CONTRACTOR ARE RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES.
8. APPROVED DRAINAGE PROVISIONS AND PROTECTIVE MEASURES MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING OPERATION.
9. CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE AND APPROVED BY THE BUILDING OFFICIAL.
10. HAUL ROUTES FOR IMPORT OR EXPORT OF MATERIALS SHALL BE APPROVED BY THE CITY TRAFFIC ENGINEER AND PROCEDURES SHALL CONFORM WITH CHAPTER 15 OF THE NBMC.
11. POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM ALL BUILDING AND SLOPE AREAS.
12. FAILURE TO REQUEST INSPECTIONS AND/OR HAVE REMOVABLE EROSION CONTROL DEVICES ON-SITE AT THE APPROPRIATE TIMES SHALL RESULT IN FORFEITURE OF THE CONSTRUCTION SITE CLEANUP DEPOSIT.
13. ALL PLASTIC DRAINAGE PIPE SHALL CONSIST OF PVC OR ABS PLASTIC AND EITHER ASTM 2751, ASTM D1527, ASTM D3034 OR ASTM D1785.
14. NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER STREETS, CURBS, GUTTERS OR STOP DRAINS. ALL MATERIAL AND WASTE SHALL BE REMOVED FROM THE SITE. NBMC 17.32.020.

EROSION CONTROL

1. TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO MAY 15.
2. EROSION CONTROL DEVICES SHALL BE AVAILABLE ON SITE BETWEEN OCTOBER 15 AND MAY 15.
3. BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT. DURING THE REMAINDER OF THE YEAR, THEY SHALL BE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT.
4. LANDSCAPING PLANS SHALL BE SUBMITTED FOR APPROVAL, WORK COMPLETED AND A CERTIFICATE OF CONFORMANCE RECEIVED BY THE CITY GRADING ENGINEER PRIOR TO CLOSURE OF PERMIT, UNLESS WAIVED BY THE CITY GRADING ENGINEER.
5. TEMPORARY DESILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.

REQUIRED INSPECTIONS

1. A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY GRADING ENGINEER OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.
2. A PRE-PAVING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF THE SUB-GRADE PREPARATION FOR THE PAVING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, PAVING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, CITY GRADING ENGINEER OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.

SUPPLEMENTAL NOTE

IF THIS PROJECT IS STAKED BY SURVEY CREWS OTHER THAN THOSE CREWS UNDER THE DIRECT SUPERVISION OF THE SIGNATORY ENGINEER, THE SIGNATORY ENGINEER WILL NO LONGER BE THE ENGINEER OF RECORD AND WILL HAVE NO RESPONSIBILITY AS TO THE FINAL CONSTRUCTED PROJECT. THE SIGNATORY ENGINEER WILL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS THAT COULD HAVE BEEN CORRECTED DURING THE CONSTRUCTION OF THIS PROJECT, IF THE STAKING HAD BEEN DONE BY SURVEY CREWS UNDER HIS DIRECT SUPERVISION.

CALIFORNIA COUNCIL OF CIVIL ENGINEERS AND LAND SURVEYORS

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

GRADING NOTES

(1) ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE COUNTY OF ORANGE AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS. WHEN REFERENCED ON THE PLANS, A COPY OF PFRD STANDARD PLANS SHALL BE RETAINED ON THE SITE.

(2) GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE DISTRICT GRADING INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, GEOLOGIST, DISTRICT GRADING INSPECTOR AND WHEN REQUIRED THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING.

(3) ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.

(4) THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.

(5) PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY PDSD, GRADING SECTION, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.

NOTE:

SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.SURVEYOR TO FILE A CORNER RECORD OR RECORDS OF SURVEY WITH THE OFFICE OF THE COUNTY SURVEYOR. EVIDENCE OF FILING SHALL BE SUBMITTED TO THE BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.

TREES IN PUBLIC RIGHT-OF-WAY

ADDING TREES:
PROVIDE STREET TREES IN THE EXISTING PARKWAY ADJOINING THIS SITE TO THE SATISFACTION OF "THE GENERAL PLAN SERVICES DEPT." (949) 644-3083
APPROVAL FROM GENERAL SERVICES DEPT. IS REQUIRED ON INSPECTION CARD PRIOR TO FINAL INSPECTION
TREES ARE REQUIRED TO BE PLANTED IN PARKWAY ABUTTING BUILDING SITE IF:
- NEW BUILDING IS CONSTRUCTED
- BUILDING IS MOVED ONTO A VACANT LOT
- AREA OF BUILDING IS INCREASED BY 50%

REMOVING TREES:
REMOVAL OF ANY CITY TREES REQUIRES PRIOR APPROVAL FROM GENERAL PLAN SERVICES DEPT.

GRADING FILLS/CUTS

1. GRADED SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
2. FILL SLOPES SHALL BE COMPACTED TO NO LESS THAN 90 PERCENT RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.
3. ALL FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION AS DETERMINED BY ASTM TEST METHOD 1557. SAND REPLACEMENT TESTS SHALL BE PERFORMED APPROXIMATELY EVERY TWO FEET IN VERTICAL HEIGHT AND OF SUFFICIENT QUANTITY TO ATTEST TO THE OVERALL COMPACTION EFFORT APPLIED TO THE FILL AREAS.
4. AREAS TO RECEIVE FILL SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING OF THE FILL.
5. FILLS SHALL BE KEYED OR BENCHED INTO COMPETENT MATERIAL.
6. ALL EXISTING FILLS SHALL BE APPROVED BY THE SOILS ENGINEER OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE ADDED.
7. ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND BACKFILLED AND APPROVED BY THE SOILS ENGINEER.
8. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND DETERMINE THE PRESENCE OF, OR POSSIBILITY OF FUTURE ACCUMULATION OF, SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, DRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
9. THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE AND GRADE.
10. ALL TRENCH BACKFILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION, AND APPROVED BY THE SOILS ENGINEER. THE BUILDING DEPARTMENT MAY REQUIRE CORING OF CONCRETE FLAT WORK PLACED OVER UNTESTED BACKFILLS TO FACILITATE TESTING.
11. THE STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE CITY GRADING ENGINEER.
12. LANDSCAPING OF ALL SLOPES AND PADS SHALL BE IN ACCORDANCE WITH CHAPTER 15 OF THE NBMC.
13. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND AND SUBMIT NECESSARY TREATMENT TO THE CITY GRADING ENGINEER FOR APPROVAL.
14. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL OBTAIN APPROVAL OF DESIGN, LOCATION AND CALCULATIONS FROM THE CITY GRADING ENGINEER PRIOR TO CONSTRUCTION.
15. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL INSPECT AND TEST THE CONSTRUCTION OF ALL BUTTRESS FILLS AND ATTEST TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
16. WHEN CUT PADS ARE BROUGHT TO NEAR GRADE THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
17. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS DURING GRADING.
18. NOTIFICATION OF NONCOMPLIANCE: IF, IN THE COURSE OF FULFILLING THEIR RESPONSIBILITY, THE CIVIL ENGINEER, THE SOILS ENGINEER, THE ENGINEERING GEOLOGIST OR THE TESTING AGENCY FINDS THAT THE WORK IS NOT BEING DONE IN CONFORMANCE WITH THE APPROVED GRADING PLANS, THE DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE PERSON IN CHARGE OF THE GRADING WORK AND TO THE CITY GRADING ENGINEER. RECOMMENDATIONS FOR CORRECTIVE MEASURES, IF NECESSARY, SHALL BE SUBMITTED TO THE CITY GRADING ENGINEER FOR APPROVAL.

DOCUMENTATION

1. AN AS-BUILT GRADING PLAN SHALL BE PREPARED BY THE CIVIL ENGINEER INCLUDING ORIGINAL GROUND SURFACE ELEVATIONS, AS-GRADED GROUND SURFACE ELEVATIONS, LOT DRAINAGE PATTERNS AND LOCATIONS, AND ELEVATIONS OF ALL SURFACE AND SUBSURFACE DRAINAGE FACILITIES. HE SHALL PROVIDE WRITTEN APPROVAL THAT THE WORK WAS DONE IN ACCORDANCE WITH THE FINAL APPROVED GRADING PLAN AND STATE THE NUMBER OF YARDS OF CUT AND/OR FILL MOVED DURING THE OPERATION.
2. A SOILS GRADING REPORT PREPARED BY THE SOILS ENGINEER, INCLUDING LOCATIONS AND ELEVATION OF FIELD DENSITY TESTS, SUMMARIES OF FIELD AND LABORATORY RESULTS AND OTHER SUBSTANTIATED DATA AND COMMENTS ON ANY CHANGES MADE DURING GRADING AND THEIR EFFECT ON THE RECOMMENDATIONS MADE IN THE SOILS ENGINEERING INVESTIGATION REPORT. HE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AND COMPLETION OF WORK IN ACCORDANCE WITH THE JOB SPECIFICATIONS.
3. A GEOLOGIC GRADING REPORT PREPARED BY THE ENGINEERING GEOLOGIST, INCLUDING A FINAL DESCRIPTION OF THE GEOLOGY OF THE SITE, INCLUDING ANY NEW INFORMATION DISCLOSED DURING THE GRADING AND THE EFFECT OF SAME ON RECOMMENDATIONS INCORPORATED IN THE APPROVED GRADING PLAN. HE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AS AFFECTED BY GEOLOGIC FACTORS.

NOTE:

1. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND GENERAL SITE DIMENSIONS.
2. REFER TO ARCHITECTURAL PLANS FOR ANY SECTIONS SHOWN HEREON.
3. MAINTAIN A MIN. OF 1% FALL AWAY FROM BUILDING ON CONC., 2% MIN. ON FINISH GRADE.

NOTICE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND, THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE CIVIL ENGINEER.

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, CONDUITS OR OTHER STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE ENGINEER ASSUMES NO LIABILITY WHATSOEVER FOR THE ACCURACY OR COMPLETENESS OF SUCH DATA. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ALL UTILITY LINES, CONDUITS OR STRUCTURES WHETHER OR NOT SHOWN ON THESE PLANS AND BY ACCEPTING AND UTILIZING THESE PLANS, ASSUMES ALL RESPONSIBILITY FOR THE PROTECTION OF, AND ANY DAMAGE TO, SAID FACILITIES. THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT (800) 422-4133 FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.

CIVIL ENGINEERS NOTES :

1. THE DISTINCTIVE BOUNDARY SHOWN HEREON WAS PLOTTED PER ON-SITE FIELD OBSERVATIONS, ALL BEARINGS AND DISTANCES ARE MEASURED, UNLESS NOTED OTHERWISE.
2. LICENSED CIVIL ENGINEER OF RECORD SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.

PLEASE CALL THE LICENSED CIVIL ENGINEER OF RECORD.....PETE DUCA @ 949-675-4487 TO SCHEDULE CONSTRUCTION STAKING AND ALL CERTIFICATIONS

3. THE LICENSED CIVIL ENGINEER OF RECORD TO SUBMIT A "RECORD OF SURVEY" OR "CORNER RECORD" TO THE COUNTY SURVEYOR. EVIDENCE OF SUBMITTAL TO BE SUBMITTED TO THE BUILDING INSPECTOR AT OR PRIOR TO FOUNDATION INSPECTION.

DIRT QUANTITY ESTIMATE:

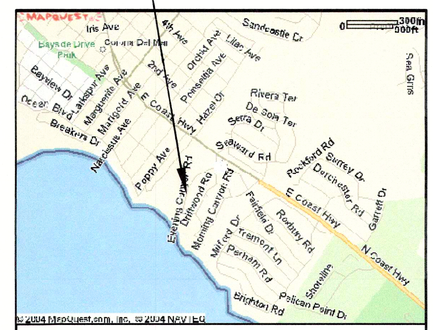
(FOR PERMIT PURPOSES ONLY)

CUT 480 CU. YDS. OVEREX 90 CU. YDS.

FILL 170 CU. YDS.

NOTE: ANY EXCAVATION FOR WALL FOOTINGS HAS NOT BEEN CALCULATED. SHRINKAGE AND/OR SUBSIDENCE HAS NOT BEEN CALCULATED.

SITE



VICINITY MAP

NO SCALE

REGISTERED PROFESSIONAL ENGINEER
PETE J. DUCA
No. 24668
Exp. 12-31-17
CIVIL
STATE OF CALIFORNIA

5-19-17

SOILS ENGINEER :	PROPERTY OWNER :	BENCHMARK :	PREPARED BY :
PETRA GEOTECHNICAL, INC. 3190 AIRWAY LOOP DRIVE, SUITE J-1 COSTA MESA, CA. 92626 PH. # (714) 549-8921	216 EVENING CANYON, LLC. 1 CORPORATE PLAZA, SUITE 110 NEWPORT BEACH, CA. 92660 (949) 756-8393	ESTABLISHED TOP OF CURB ELEVATION ON EVENING CANYON ROAD AT THE NORTHWESTERLY CORNER OF THIS PROPERTY. ELEVATION = 101.40 T.C. TBM	DUCA-McCOY, INC. 3840 E. COAST HIGHWAY CORONA DEL MAR, CA 92625 (949) 675 4487 PETE J. DUCA R.C.E. 24668 DATE

GRADING PLAN

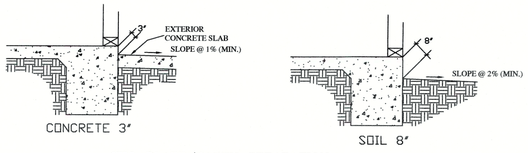
FOR

216 EVENING CANYON

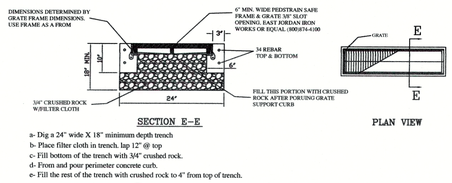
NEWPORT BEACH, CA

LOT 51 OF TRACT MAP NO. 1116; 368/19-20

SHEET 1 OF 4



SILL PLATE/EARTH SEPARATION

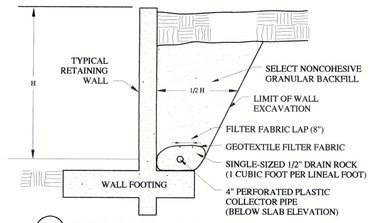


SECTION E-E

PLAN VIEW

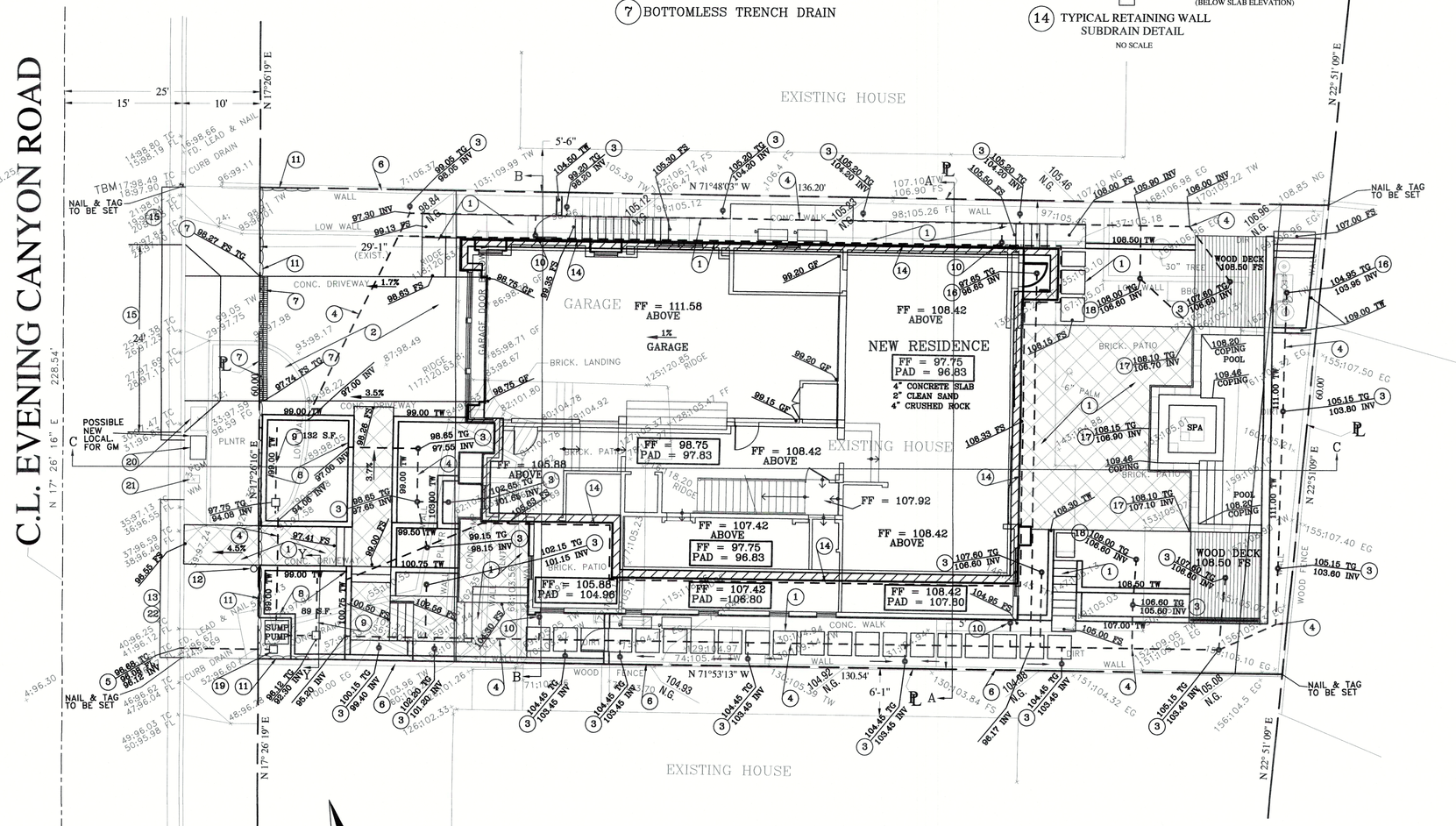
a- Dig a 24" wide X 18" minimum depth trench
b- Place filter cloth in trench, lap 12" @ top
c- Fill bottom of the trench with 3/4" crushed rock.
d- From and pour perimeter concrete curb.
e- Fill the rest of the trench with crushed rock to 4" from top of trench.

(7) BOTTOMLESS TRENCH DRAIN



(14) TYPICAL RETAINING WALL SUBDRAIN DETAIL

NO SCALE



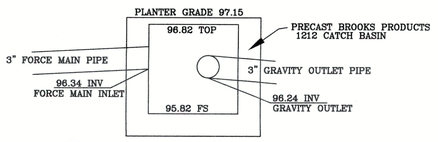
DIRT QUANTITY ESTIMATE:

(FOR PERMIT PURPOSES ONLY)

CUT 480 CU. YDS. OVEREX. 90 CU. YDS.

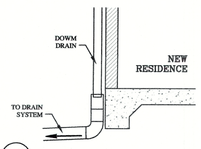
FILL 170 CU. YDS.

NOTE: ANY EXCAVATION FOR WALL FOOTINGS HAS NOT BEEN CALCULATED. SHRINKAGE AND/OR SUBSIDENCE HAS NOT BEEN CALCULATED.



(19) FORCE MAIN DISSIPATOR DETAIL

NO SCALE



(10) DOWNSPOUT CONNECTION

NO SCALE

CONSTRUCTION NOTES :

1. CONSTRUCT ON-SITE PATIO/WALKWAY, SEE LANDSCAPE ARCH. PLANS FOR MATERIAL TYPE.
2. CONSTRUCT ON-SITE DRIVEWAY. SEE LANDSCAPE ARCH. PLANS FOR MATERIAL TYPE, SUBGRADE SHALL BE SOIL ENGINEER'S RECOMMENDATIONS.
3. CONSTRUCT 6" DIA. AREA DRAIN INLET (DOMED GRATE). NDS MODEL 80.
4. CONSTRUCT 4" DIA. P.V.C. (SDR-35 OR SCH. 40) DRAIN PIPE AT 1.0% MIN. SLOPE. ONLY USE SCH. 40 PIPE UNDER BUILDING
5. CONSTRUCT 4" CURB DRAIN PER CITY OF NEWPORT BEACH STD. 184-L (PUBLIC WORK PERMIT REQD.)
6. PROTECT EXIST. PROPERTY LINE WALL IN PLACE. CONTRACTOR TO VERIFY WALL WILL SUPPORT ADDITIONAL LOAD
7. CONSTRUCT BOTTOMLESS TRENCH DRAIN USE "GRATING PACIFIC MODEL TH-6-EZ" OR APPROVED EQUAL.
8. CONSTRUCT BIORETENTION BASIN PER DETAILS HERE ON. FOR WATER QUALITY
9. CONSTRUCT 4" DIA. PERFORATED P.V.C. (SDR-35 OR SCH.40) DRAIN PIPE AT 1% MIN. SLOPE IN 12" MIN. DRAINAGE GRAVEL AROUND PIPE
10. CONNECT ROOF DOWNSPOUT TO UNDERGROUND STORM DRAIN SYSTEM PER DETAIL SHOWN HEREON.
11. INSTALL SINGLE ROW OF GRAVEL BAGS (2 BAGS HIGH) FOR EROSION CONTROL.
12. INSTALL NEW SEWER CLEANOUT WITH TRAFFIC RATED COVER ON EXISTING SEWER LATERAL PER CITY STD. 406-L
13. SAWCUT AND REMOVE EXIST. CURB AND GUTTER
14. CONSTRUCT 4" PERF. P.V.C. SUBDRAIN PIPE SEE DETAIL HEREON.
15. CONSTRUCT RESIDENTIAL DRIVEWAY APPROACH TYPE I PER CITY STD 162-L (W = 18', X = 4') PLUG THE UNUSED PORTION OF THE EXIST. DRIVE APPROACH PER CITY STD. 165-L. (NEW TO MATCH EXIST. PARKWAY)
16. CONSTRUCT 3" DIA. DECK DRAIN INLET (FLAT GRATE).
17. CONSTRUCT 2" WIDE SLOT DRAIN
18. CONSTRUCT 4" DIA. AREA DRAIN INLET (FLAT GRATE).
19. CONSTRUCT ENERGY DISSIPATER BOX PER DETAIL HEREON
20. REMOVE AND RELOCATE (BY OTHERS)
21. PROTECT IN PLACE
22. CONSTRUCT NEW CURB & GUTTER PER CITY STD. 182-L (TYPE A) NEW PARKWAY TO MATCH EXISTING

NOTES:

AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.

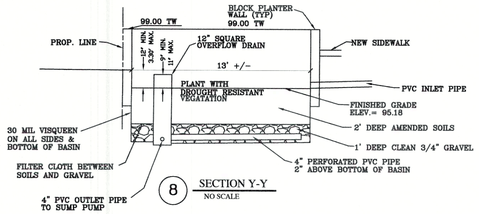
A PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING DEPARTMENT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED BY THE PRIVATE WORK, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEY/STREET PAVEMENT WILL BE REQUIRED AND 100% PAID BY THE OWNER. SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.

A SEPARATE PERMIT IS REQUIRED FOR SPA, FENCE, WALL AND DETACHED STRUCTURES

NEW CONCRETE SIDEWALK, CURB AND GUTTER, CURB ACCESS RAMP, AND ALLEY/STREET PAVEMENT MAY BE REQUIRED BY THE CITY AT THE TIME OF CONSTRUCTION. SAID DETERMINATION SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.

PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.

ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.



(8) SECTION Y-Y

NO SCALE

LEGEND:

	---- P.C.C. CONCRETE	T.W.	---- TOP OF WALL
	---- BLOCK RETAINING WALL	T.F.C.	---- TOP OF FOUND. CURB
	---- DIRECTION OF FLOW	F.L.	---- FLOW LINE
249.23	---- PROPOSED ELEVATION	G.B.	---- GRADE BREAK
F.S.	---- FINISH SURFACE ELEV.	F.F.	---- FINISH FLOOR
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×56; 98.90 TC — ELEVATION OF SHOT / SURVEY PT. REF. NO.

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PROPERTY CORNERS TO BE MONUMENTED BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AUTHORIZED TO PERFORM SURVEYING BY THE STATE BOARD OF CIVIL ENGINEERS AND LAND SURVEYORS.

NOTE:

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CIVIL ENGINEERS NOTES :

1. THE DISTINCTIVE BOUNDARY SHOWN HEREON WAS PLOTTED PER ON-SITE FIELD OBSERVATIONS, ALL BEARINGS AND DISTANCES ARE MEASURED, UNLESS NOTED OTHERWISE.
2. LICENSED CIVIL ENGINEER OF RECORD SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.

PLEASE CALL THE LICENSED CIVIL ENGINEER OF RECORD....PETE DUCA @ 949-675-4487 TO SCHEDULE CONSTRUCTION STAKING AND ALL CERTIFICATIONS

3. THE LICENSED CIVIL ENGINEER OF RECORD TO SUBMIT A "RECORD OF SURVEY" OR "CORNER RECORD" TO THE COUNTY SURVEYOR. EVIDENCE OF SUBMITTAL TO BE SUBMITTED TO THE BUILDING INSPECTOR AT OR PRIOR TO FOUNDATION INSPECTION.

LOT AREA = 7,988.01 S.F.
= 0.18 AC.

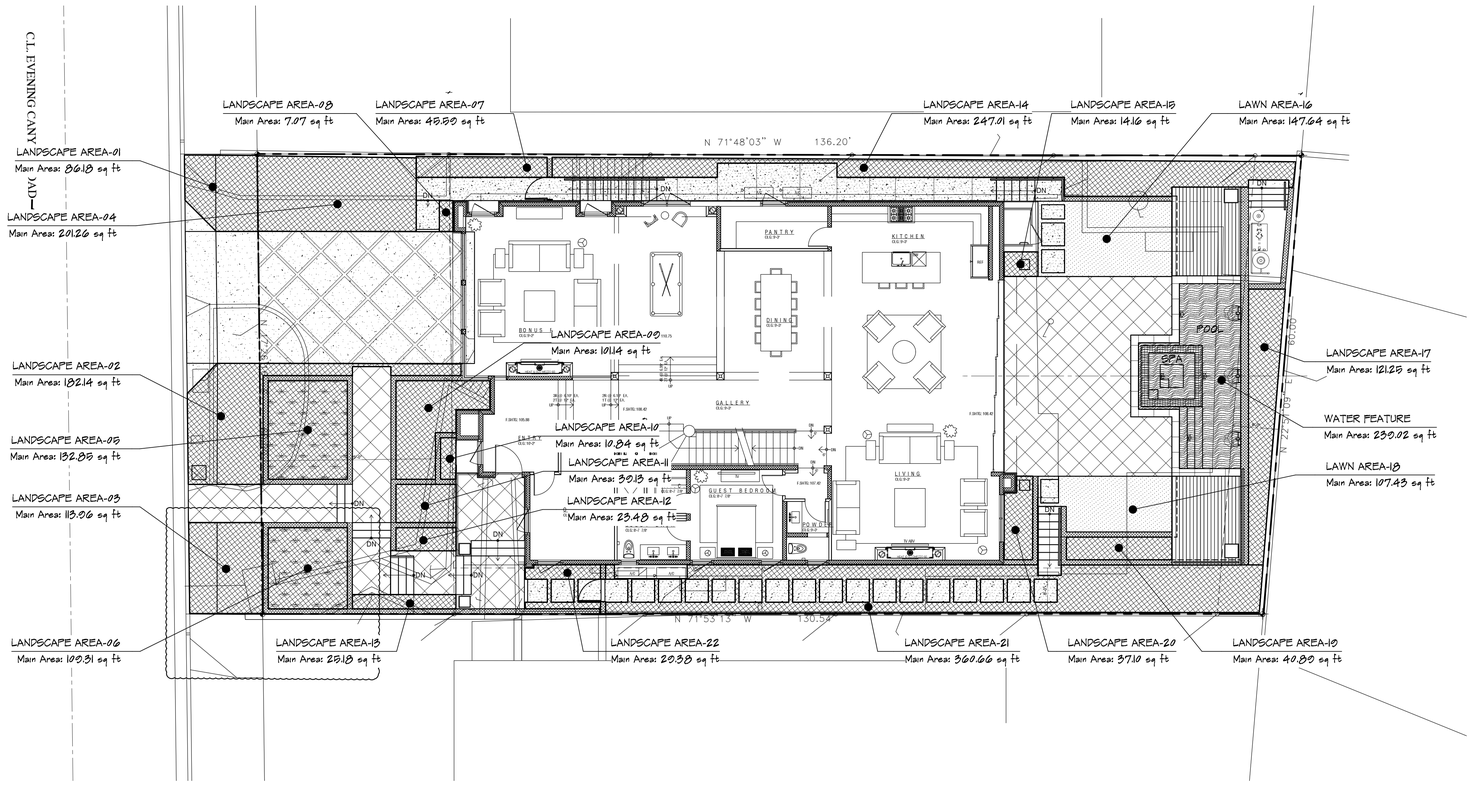
PROPERTY OWNER :	BENCHMARK :	PREPARED BY :
NICHOLSON CONSTRUCTION 1 CORPORATE PLAZA, SUITE 110 NEWPORT BEACH, CA 92660 (949) 756-8393	ESTABLISHED A T.B.M. AT THE TOP OF CURB ON EVENING CANYON AT THE N.W'ly CORNER OF THIS PROPERTY ELEVATION = 98.49 TC TBM	DUCA-McCOY, INC. 3840 E. COAST HIGHWAY CORONA DEL MAR, CA 92625 (949) 675 4487 PETE J. DUCA R.C.E. 24668 DATE

Pete Duca 6.14.17

REGISTERED PROFESSIONAL ENGINEER
PETE J. DUCA
No. 24668
Exp. 12-31-17
CIVIL
STATE OF CALIFORNIA

GRADING PLAN
OF
216 EVENING CANYON
CORONA DEL MAR, CA

LOT 51 OF TRACT NO. 1116



PROJECT INFORMATION

DATE:
6-6-17

PROJECT APPLICANT:
216 Evening Canyon, LLC

PROJECT ADDRESS:
216 Evening Canyon
Newport Beach, CA 92625

TOTAL LANDSCAPE AREA (SQUARE FEET):
TOTAL LANDSCAPE AREA; 1,928.59 SQ. FT.
TOTAL LAWN AREA; 255.08 SQ. FT.
TOTAL WATER FEATURE AREA; 239.02 SQ.FT.

PROJECT TYPE:
NEW

WATER SUPPLY TYPE:
POTABLE.
CITY OF NEWPORT BEACH WATER SYSTEM SERVICES.
WATER SYSTEM SERVICES SUPERVISOR, CHRIS AUGER (949) 644-3019

CONTACT INFORMATION FOR THE PROJECT APPLICANT AND PROPERTY OWNER:
216 Evening Canyon, LLC
1 Corporate Plaza Dr.
Suite 110
Newport Beach, CA 92660
949-756-8393

APPLICANT SIGNATURE DATE

"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION TO THE MWELO"

WELO PRESCRIPTIVE COMPLIANCE NOTES:

INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF SIX INCHES INTO LANDSCAPE AREA (UNLESS CONTRA-INDICATED BY A SOIL TEST);

PLANT MATERIAL SHALL COMPLY WITH ALL OF THE FOLLOWING:
(A) FOR RESIDENTIAL AREAS, INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE WUCOLS PLAN FACTOR 0.3) FOR 75% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER; FOR NON-RESIDENTIAL AREAS, INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE WUCOLS PLAN FACTOR 0.3) FOR 100% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER;
(B) A MINIMUM THREE INCH (3") LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

IRRIGATION SYSTEMS SHALL COMPLY WITH THE FOLLOWING:
(A) AUTOMATIC IRRIGATION CONTROLLERS ARE REQUIRED AND MUST USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA.
(B) IRRIGATION CONTROLLERS SHALL BE OF A TYPE WHICH DOES NOT LOSE PROGRAMMING DATA IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED.
(C) PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURERS RECOMMENDED PRESSURE RANGE.
(D) MANUAL SHUT-OFF VALVES (SUCH AS A GATE VALVE, BALL VALVE, OR BUTTERFLY VALVE) SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
(E) ALL IRRIGATION EMISSION DEVICES MUST MEET THE REQUIREMENTS SET I N THE ANSI STANDARD, ASABE/ICC802-2014, "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD." ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.65 OR HIGHER USING THE PROTOCOL DEFINED IN ASABE/ICC 802-2014.

AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND A SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

Irrigated Landscaped Area

	LANDSCAPE	LAWN	WATER FEATURE		LOT S.F.
TOTAL PROPOSED	1,928.59sq ft	255.08sq ft	239.02sq ft		7,988.01sq ft
TOTAL PROPOSED %	24.14%	2.99%	3.19%		
TOTAL IRRIGATED LANDSCAPE + WATER FEATURE	**2,422.69sq ft**				

REVISIONS	BY

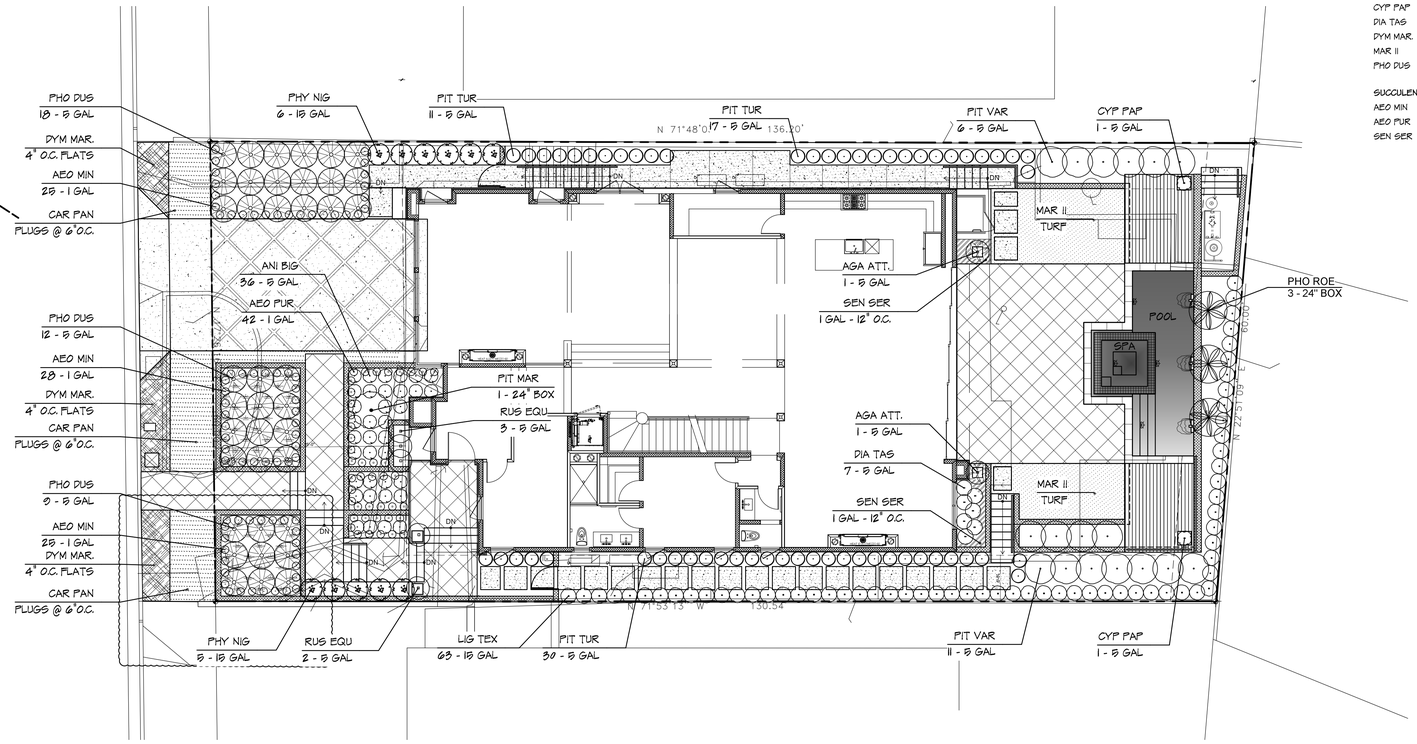
ENVIRONMENTAL DESIGNS
1278 Glenneyre St.
#106
Laguna Beach
California 92651
Tel: 800 811-3010
Fax: 800 811-3014
Environmental Designs Landscape.com

216 EVENING CANYON, LLC.
216 EVENING CANYON
CORONA DEL MAR, CA

LICENSED LANDSCAPE ARCHITECT
CRAIG de PFYFFER 3894
Signature 01-30-2018
Renewal Date 2-6-2017
Date
STATE OF CALIFORNIA

WELO - PRESCRIPTIVE COMPLIANCE PLAN

DRAWN: CRAIG DE PFYFFER
CHECKED: C.D.
DATE: APRIL 21, 2017
SCALE:
FILE NAME: 216 EC_Preliminary_6-6-17.vwx
SHEET: L-1
OF 2 SHEETS



PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE SIZE
TREES			
LIG TEX	Ligostrum japonicum 'Texanum'	Wax-Leaf Privet	5'-6"H x 5'W MAINTAINED
PHO ROE	Phoenix roebelinu	Pygmy Date Palm	8'H x 5'W
PIT MAR	Pittosporum tenuifolium 'Marjorie Channon'	Marjorie Channon Kohuhu	10'HxG'W
SHRUBS			
AGA ATT.	Agave attenuata 'Boston Blue' aka 'Nova'	Blue Mextail Agave	3'Hx3'W
PHY NIG	Phylleatachys Nigra	Black Bamboo	5'H x 2'W MAINTAINED
PIT TUR	Pittosporum tobira 'Turner's Variegated Dwarf'	Turner's Pitt Mock Orange	2'Hx2'W
PIT VAR	Pittosporum tobira 'Variegata'	Variegated Mock Orange	4'H x 4'W
RUS EQU	Russelia equisetiformis	Firecracker Plant	3'H x 3'W
GROUNDCOVERS / PERENNIALS			
ANI BIG	Anigozanthos 'Big Red'	Big Red Kangaroo Paws	4'Hx2'W
CAR PAN	Carex panea	California Meadow Sedge	6" H
CYP PAP	Cyperus papyrus	Papyrus	5'H x 2'W
DIA TAS	Dianella tasmanica 'Variegata'	Variegated Flax Lily	2'H x 2'W
DYM MAR.	Dymondia margaretae	Silver Carpet	2"H x 6"W
MAR II	Festuca elatior 'Marathon II'	Tall Fescue	TURF
PHO DUS	Phormium 'Dusky Chief'	Dusky Chief New Zealand Flax	6'Hx3'W
SUCCULENTS			
AEO MIN	Aeonium 'Mint Saucer'	Dinner Plate	1'H x 1'W
AEO PUR	Aeonium arboreum 'Electra'	Purple Pinwheel Aeonium	1'H x 2'W
SEN SER	Senecio serpens	Blue Chalksticks	1'H x 1'W

LANDSCAPE GENERAL NOTE:

- ALL TREES WITHIN THE PROPERTY INDUDING NEW/PROPOSED AND EXISTING TO REMAIN, ARE TO BE MAINTAINED (TRIMMED, PRUNED, LACED, ETC.) AT A HEIGHT SO AS NOT TO DETRACT OR IMPEDE ANY NEIGHBORING OCEAN VIEWS. SHOULD THE MAINTAINING OF THE TREE HEIGHTS (AS DESCRIBED HEREIN) NOT BE FEASIBLE, THE TREES IMPACTING THE NEIGHBORING OCEAN VIEWS WILL BE REQUIRED TO BE REMOVED.
- ALL HEDGES MUST BE PLANTED AND MAINTAINED AT HEIGHTS AS REQUIRED PER THE CCRRS AS FOLLOWS; (A) FRONT SETBACK 3'-0" ABOVE EXISTING ADJACENT GRADE AND (B) SIDE AND REAR YARDS BEHIND THE FRONT YARD SETBACK 8'-6" ABOVE EXISTING ADJACENT GRADE.

8 0 4 8

NORTH
TRUE NORTH

REVISIONS	BY

ENVIRONMENTAL DESIGNS
1278 Glenneyre St.
#196
Laguna Beach
California 92651
Tel:800 811-3010
Fax:800 811-3014
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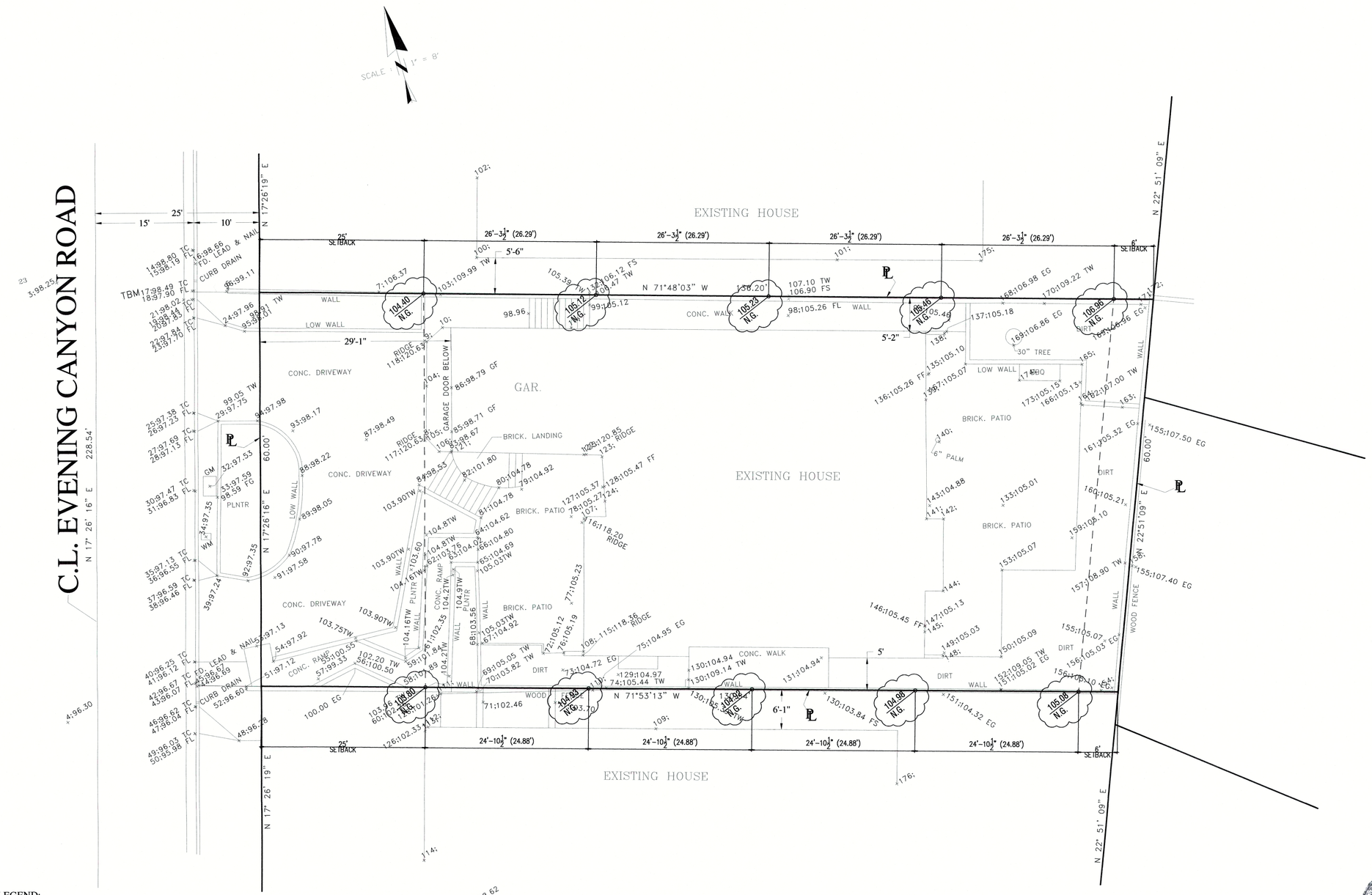
216 EVENING CANYON, LLC.
216 EVENING CANYON
CORONA DEL MAR, CA

LICENSED LANDSCAPE ARCHITECT
CRAIG A. DE PFYFFER 3982
Signature
01.30.2015
Renewal Date
1-31-2017
Date
STATE OF CALIFORNIA

PRELIMINARY PLANTING PLAN

DRAWN: CRAIG DE PFYFFER
CHECKED: C.D.
DATE: APRIL 21, 2017
SCALE: 1/8" = 1'-0"
FILE NAME: 216 EC_Preliminary_4-3-17.mvx
SHEET: L-2



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= 0.18 AC.

PROPERTY OWNER :

NICHOLSON CONSTRUCTION
1 CORPORATE PLAZA, SUITE 110
NEWPORT BEACH, CA 92660
(949) 756-8393

BENCHMARK :

ESTABLISHED A T.B.M. AT THE TOP OF CURB ON EVENING CANYON AT THE N.W'ly CORNER OF THIS PROPERTY

ELEVATION = 98.49 TC TBM

PREPARED BY :
DUCA-McCOY, INC.
3840 E. COAST HIGHWAY
CORONA DEL MAR, CA 92625
(949) 675 4487
PETE J. DUCA R.C.E. 24668 DATE

REGISTERED PROFESSIONAL ENGINEER
PETE J. DUCA
No. 24668
Exp. 12-31-17
CIVIL
STATE OF CALIFORNIA

12-20-17

TOPOGRAPHIC SURVEY
OF
216 EVENING CANYON
CORONA DEL MAR, CA

LOT 51 OF TRACT NO. 1116 SHEET 1 OF 1

COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
(949) 644-3200
www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER

APPLICATION:	Staff Approval No. SA2017-005 (PA2017-119)
APPLICANT:	VeloTera Services, Inc.
CARRIER:	TelePacific Communications (TelePacific)
LOCATION:	1 Hoag Drive
LEGAL DESCRIPTION	Irvine Subdivision, Block 1, Portion of Lot 172

On **July 28, 2017** the Community Development Director approved Staff Approval No. SA2017-005. This approval is based on the findings and subject to the following conditions attached to this report (Attachment No. CD 1).

In approving this application, the Community Development Director analyzed issues regarding compliance with Chapter 20.49 of the Newport Beach Municipal Code and determined in this case that the proposed wireless telecommunications facility ("telecom facility") meets the provisions of Chapter 20.49.

PROJECT SUMMARY

VeloTera Services, Inc. has submitted an application on behalf of TelePacific Communications requesting approval for TelePacific to operate its communication antennas atop of the West Tower of Hoag Hospital. The proposed project includes the removal of existing antennas and equipment belonging to various carriers that are no longer in service and replacement of ten (10) panel antennas and five (5) dish antennas with the associated equipment cabinets being operated by the applicant. The proposed project does not substantially change the existing facility from the original permit for the facility and is thereby eligible for an administrative review and approval of a zoning clearance, in accordance with Section 20.49.90 (Modification and Collocation of Existing Telecom Facilities) of Municipal Code.

ZONING DISTRICT/GENERAL PLAN

- **Zone:** PC-38 (Hoag Hospital)
- **General Plan:** PI (Private Institution)

BACKGROUND

On October 14, 2010, the Community Development Director approved Telecommunication Permit No. TP2009-012 for Clearwire to operate its communication antennas as a co-located use atop of the West Tower of Hoag Hospital. The installation includes three (3) panel antennas, three (3) parabolic antennas, a Global Positioning System antenna, and modification to an existing equipment room to house the associated equipment cabinets.

On February 10, 2012, the Community Development Director approved Telecommunication Permit No. TP2011-019 for Metro PCS to operate its communication antennas as a co-located use atop of the West Tower of Hoag Hospital. The installation includes six (6) panel antennas, three (3) parabolic antennas, and four (4) equipment cabinets on the eleventh floor.

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

On behalf of Kimberly Brandt, Community Development Director

By:

Rosalinh Ung
Associate Planner

JC/ru

Attachments: CD 1 Findings and Conditions of Approval
CD 2 Vicinity Map
CD 3 Site Plan & Elevations

Attachment No. CD 1

Findings and Conditions of Approval

FINDINGS AND
CONDITIONS OF APPROVAL
TELECOMMUNICATIONS PERMIT NO. SA2017-005
(PA2017-119)

FINDINGS

1. The telecommunications facility as proposed meets the intent of Chapter 20.49 of the Newport Beach Municipal Code (NBMC), that is consistent with State and federal law while ensuring public safety, minimizing the visual effects of telecom facilities on public streetscapes, protecting public views, and otherwise avoiding and mitigating the visual impacts of such facilities for the following reasons:

    - The proposed telecom facility is consistent with Section 20.49.90 (Modification and Collocation of Existing Telecom Facilities) of Municipal Code as the request is to modify an existing facility that involves the removal and replacement of existing transmission equipment operated by Metro PCS and Clearwire with new transmission equipment to be operated by TelePacific.

    - The proposed telecom facility will not be detrimental to public health or safety because it is required to comply with the applicable rules, regulations and standards of the Federal Communications Commission (FCC) and the California Public Utilities Commission (CPUC).

    - The telecom facility approved under this permit utilizes the most efficient and diminutive available technology in order to minimize the number of facilities and reduce the visual impact.

    - The telecom facility approved by the permit does not exceed the maximum building height limit of 235 feet AMSL allowed in the PC-38 (Hoag Hospital) Planned Community, as specified in the Planned Community Development Standards. The antennas will be mounted to existing structures located on top of the tower and the associated equipment will be located inside the existing building structure. Additionally, due to the height of existing hospital tower, the antennas will not have adverse impacts to views from land or adjacent buildings.

2. This project has been reviewed, and it has been determined that it is categorically exempt from the requirements of the California Environmental Quality Act under Section 15303 Class 3 (New Construction or Conversion of Small Structures) for the following reason(s):

    - Class 3 allows the installation of small new equipment and facilities in small structures. The proposed project involves the installation of 15 new antennas of the similar size and to be located in the same location as the existing ones. The associated equipment cabinets will be located inside the existing mechanical penthouse and will not be visible to the public.

CONDITIONS

1. The development shall be in substantial conformance with the approved plot plan, antenna and equipment plans, and elevations, except as noted in the following conditions.

2. A total of ten (10) panel and five (5) microwave dish antennas shall be permitted as depicted on the approved plans and photographic simulations. The antennas shall be mounted on the existing mounts within the existing mechanical penthouse roof and shall be painted to match the exterior color of the building. No external (visible) wiring or conduit shall be permitted on the building.

3. The associated equipment cabinets shall be located inside the mechanical penthouse and shall not be visible to the public.

4. Anything not specifically approved by this Staff Approval is not permitted and must be addressed in a separate and subsequent Telecom Permit review.

5. The telecom facility approved by this permit shall comply with all applicable rules, regulations and standards of the Federal Communications Commission (FCC) and the California Public Utilities Commission (CPUC).

6. Any future facilities proposed by other carriers to be located within 1,000 feet from the subject property shall be approved to co-locate at the same site by the property owner or authorized agent, unless otherwise approved by the Planning Division.

7. The applicant shall not prevent the City of Newport Beach from having adequate spectrum capacity on the City's 800 MHz radio frequencies at any time. Should interference with the City's Public Safety radio equipment occur, use of the telecom facility authorized by this permit shall be suspended until the radio frequency interference is corrected and verification of the compliance is reported.

8. The facility shall transmit at the approved frequency ranges established by the FCC. The applicants shall inform the City, in writing, of any proposed changes to the frequency range in order to prevent interference with the City's Public Safety radio equipment.

9. The applicant recognizes that the frequencies used by the cellular facility are extremely close to the frequencies used by the City of Newport Beach for public safety. This proximity will require extraordinary "comprehensive advanced planning and frequency coordination" engineering measures to prevent interference, especially in the choice of frequencies and radio ancillary hardware. This is encouraged in the "Best Practices Guide" published by the Association of Public-safety Communications Officials-International, Inc. (APCO), and as endorsed by the Federal Communications Commission (FCC).

10. The applicant shall provide a "single point of contact" in its Engineering and Maintenance Departments that is monitored 24 hours per day to insure continuity

on all interference issues, and to which interference problems may be reported. The name, telephone number, fax number and e-mail address of that person shall be provided to the Planning Division and Newport Beach Police Department's Support Services Commander prior to activation of the facility.

11. Appropriate information warning signs or plates shall be posted at the access locations and each transmitting antenna. In addition, contact information (e.g. a telephone number) shall be provided on the warning signs or plates to arrange for access to the roof top area. The location of the information warning signs or plates shall be depicted on the plans submitted for construction permits.

12. No advertising signage or identifying logos shall be displayed on the telecom facility except for small identification, address, warning and similar information plates. A detail of the information plates depicting the language on the plate shall be included in the plans submitted for issuance of building permits.

13. The operator of the telecom facility shall maintain the facility in a manner consistent with the original approval of the facility.

14. At all times, the operators shall ensure that its telecom facilities comply with the most current regulatory operations standards, and radio frequency emissions standards adopted by the FCC. The operator shall be responsible for obtaining and maintaining the most current information from the FCC regarding allowable radio frequency emissions and all other applicable regulations and standards. Said information shall be made available by the operator upon request at the discretion of the Community Development Director.

15. The Telecom Facility shall not be externally illuminated except for permitted night lighting only used when the site is being actively serviced by the applicant or as deemed necessary by the Newport Beach Police Department for security lighting. Tower lights and tower warning lights shall not be permitted unless specifically required by the FCC or the FAA and shown on the plans as approved by the City. The permitted night lighting shall be at the lowest intensity necessary for that purpose and such lighting shall be shielded so that the permitted night lighting does not shine on any nearby properties.

16. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the applicant, current property owner or leasing agent.

17. The applicant shall ensure that lessee or other user(s) shall comply with the terms and conditions of this permit, and shall be responsible for the failure of any lessee or other users under the control of the applicant to comply.

18. Any operator who intends to abandon or discontinue use of a telecom facility must notify the Planning Division by certified mail no less than 30 days prior to such action. The operator or property owner shall have 90 days from the date of abandonment or discontinuance to reactivate use of the facility, transfer the rights

to use the facility to another operator, or remove the telecom facility and restore the site.

19. The City reserves the right and jurisdiction to review and modify any telecom permit approved pursuant to Chapter 20.49 of the Newport Beach Municipal Code, including the conditions of approval, based on changed circumstances. The operator shall notify the Planning Division of any proposal to change the height or size of the facility; increase the size, shape or number of antennas; change the facility's color or materials or location on the site; or increase the signal output above the maximum permissible exposure (MPE) limits imposed by the radio frequency emissions guidelines of the FCC. Any changed circumstance shall require the operator to apply for a modification of the original telecom permit and obtain the modified telecom permit prior to implementing any change.

20. This permit may be modified or revoked by the City should they determine that the facility or operator has violated any law regulating the telecom facility or has failed to comply with the requirements of Chapter 20.49 of the NBMC.

21. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 Planning and Zoning of the Newport Beach Municipal Code.

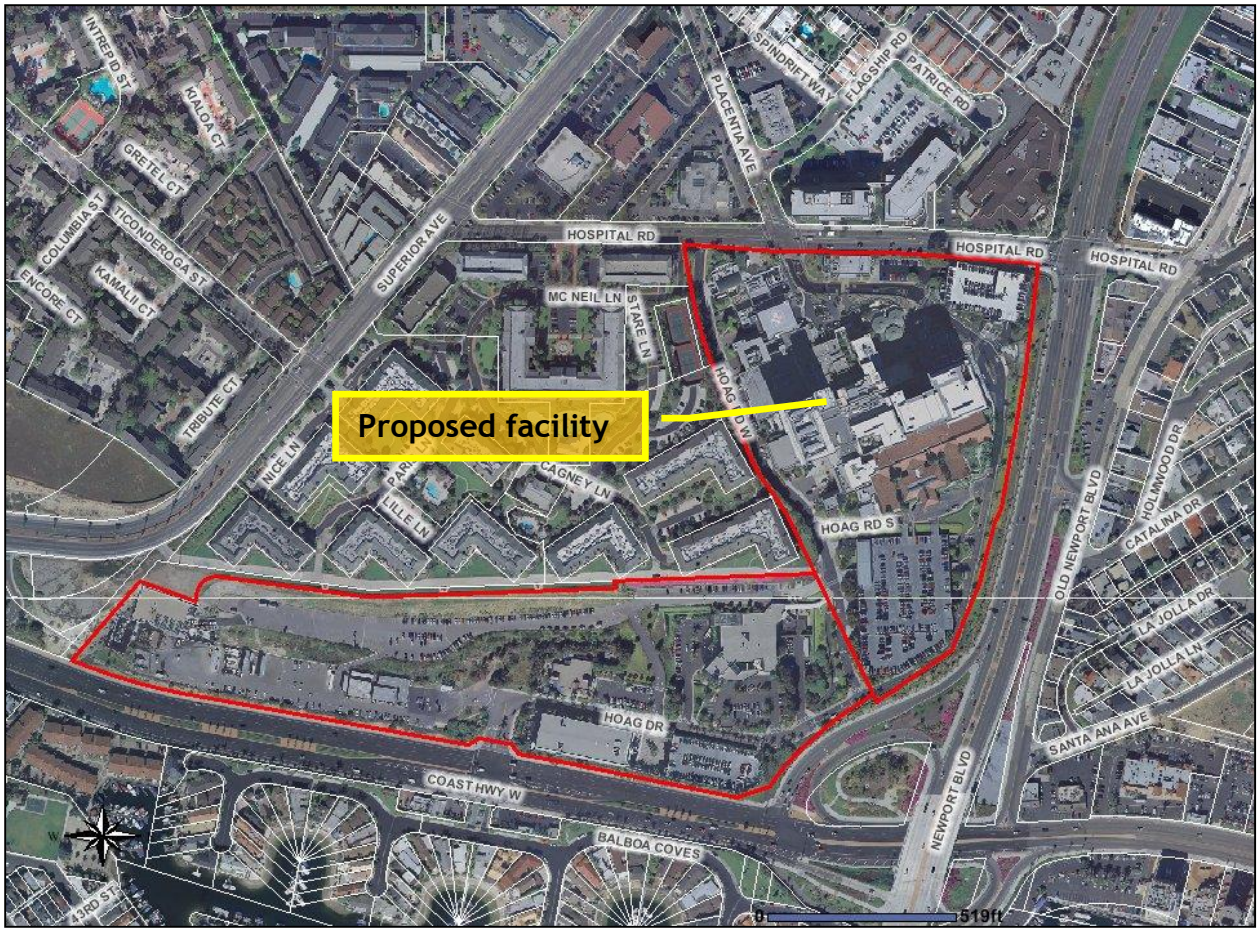
22. *To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of this permit including, but not limited to, Staff Approval No. SA2017-005 (PA2017-119). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.*

Attachment No. CD 2

Vicinity Map

VICINITY MAP

1 Hoag Drive



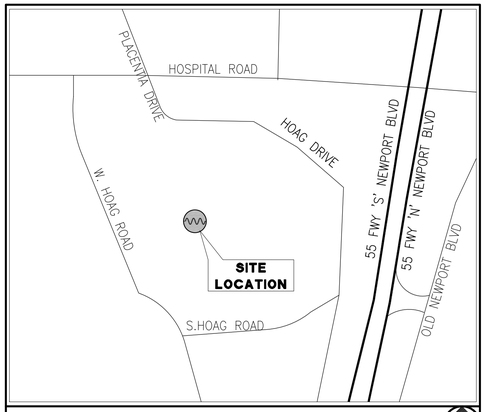
Staff Approval No. SA2017-005
(PA2017-119)

Attachment No. CD 3

Site Plan & Elevations

HOAG HOSPITAL

1 HOAG DRIVE
NEWPORT BEACH, CA 92663



VICINITY MAP

THIS PROJECT ENTAILS:

- INSTALLATION OF (2) EQUIPMENT CABINETS INSIDE (E) MECHANICAL/ELECTRICAL PENTHOUSE
- INSTALLATION OF ANTENNA'S AND MICROWAVE DISH ASSEMBLIES AT ROOF LEVEL
- INSTALLATION OF: (6) NEW RADWIN ANTENNAS
  (5) NEW ANDREW MICROWAVE DISHES
  (4) NEW CBNL MICROWAVE DISHES
- REMOVAL OF THE FOLLOWING EQUIPMENT BY OTHERS:
  METRO PCS: (6) PANEL ANTENNAS
  (3) MICROWAVE DISH ANTENNAS
  (4) CABINETS
  CLEARWIRE: (2) PANEL ANTENNAS
  (3) MICROWAVE DISH ANTENNAS
  MISCELLANEOUS ANTENNAS:
  (3) MICROWAVE DISH ANTENNAS: (1) MUZAK, (2) PRIMEDIA
  (2) PANEL ANTENNAS (UNKNOWN USERS)
  (3) WHIP ANTENNAS (UNKNOWN USERS)

PROJECT DESCRIPTION

START AT 151 KALMUS DRIVE, COSTA MESA, CA.

- START OUT GOING WEST ON KALMUS DR. TOWARD'S PULLMAN ST.
- TURN RIGHT ONTO PULLMAN ST.
- TURN LEFT ONTO BAKER ST.
- MERGE ONTO CA-55 'S' VIA THE RAMP ON THE LEFT.
- TURN RIGHT ONTO HOSPITAL RD.
- TAKE THE 2nc LEFT ONTO HOAG DR.
- 1 HOAG DR. IS ON THE LEFT

SITE DIRECTIONS

PROPERTY OWNER

OWNER:	HOAG MEMORIAL HOSPITAL
ADDRESS:	500 SUPERIOR AVENUE, SUITE 300 NEWPORT BEACH, CA 92663
CONTACT:	KAREN TORRES, RPA DIRECTOR
PHONE:	(949) 764-4451
EMAIL:	N/A

PARCEL INFORMATION:

A.P.N.:	423-011-30
OCCUPANCY:	MIXED (I, B, S-2)
CONSTRUCTION TYPE:	I-A
CURRENT ZONING:	PC38 HOAG MEMORIAL/PRESBYTERIAN PLANNED COMMUNITY DISTRICT
ZONING APPLICATION #:	-
ACCESSIBILITY REQ'D:	NO

PROJECT SUMMARY

ARCHITECT:

DCI PACIFIC
32 EXECUTIVE PARK, SUITE 110
IRVINE, CA 92614
CONTACT: D.K. DO
PHONE: (949) 475-1000
E-MAIL: DK@DCIPACIFIC.COM
FAX: (949) 475-1001

APPLICANT REPRESENTATIVE:

SCOTT M. SUTHERLAND
VELOTERA SERVICES, INC.
151 KALMUS DRIVE, STE E-220
COSTA MESA, CA 92626
PHONE: (858) 774-4004
(714) 209-7499

PROJECT TEAM

POWER:

COMPANY: N/A
PHONE:

TELCO:

COMPANY: N/A
PHONE:

UTILITY PROVIDERS

1. 2013 CALIFORNIA ADMINISTRATIVE CODE (CAC)
2. 2013 CALIFORNIA BUILDING CODE (CBC), VOLUMES 1, AND 2
(2012 EDITION INTERNATIONAL BUILDING CODE WITH 2013 CALIFORNIA AMENDMENTS)
3. 2013 CALIFORNIA ELECTRICAL CODE
(2011 EDITION NATIONAL ELECTRICAL CODE WITH 2013 CALIFORNIA AMENDMENTS)
4. 2013 CALIFORNIA MECHANICAL CODE (CMC)
(2012 EDITION IAPMO UNIFORM MECHANICAL CODE WITH 2013 CALIFORNIA AMENDMENTS)
5. 2013 CALIFORNIA ENERGY CODE
(2008 EDITION CALIFORNIA ENERGY COMMISSION BUILDING ENERGY EFFICIENCY STANDARDS)
6. 2013 CALIFORNIA FIRE CODE (CFC)
(2012 EDITION OF INTERNATIONAL FIRE CODE WITH 2010 CALIFORNIA AMENDMENTS)
7. 2013 CALIFORNIA GREEN CODE
8. 2013 CALIFORNIA REFERENCES STANDARDS CODE

CODE COMPLIANCE

SHEET	DESCRIPTION	ISSUE LEVEL
T1	TITLE SHEET	--
A1	SITE PLAN	--
A2	NEW ANTENNA/MICROWAVE AND EQUIPMENT LAYOUT PLANS	--
A2.1	DEMOLITION ANTENNA/MICROWAVE PLAN	--
A3	ELEVATIONS	--
A4	MT-463013 ANTENNA SPECIFICATIONS	--
A5	VECTASTAR GIGABIT ODU-S SPECIFICATIONS	--
A6	CBNL ODU-2 HORN ANTENNA SPECIFICATIONS	--
A7	RADWIN HPMP HBS SPECIFICATIONS	--
A8	VHLP2-18 ANTENNA SPECIFICATIONS	--
A9	VHLP4-18 ANTENNA SPECIFICATIONS	--
11	SHEETS TOTAL	

SHEET INDEX

ISSUED FOR: ZONING
JURISDICTION: OSHPD

DO NOT SCALE DRAWINGS

GENERAL CONTRACTOR NOTES

DCI PACIFIC
A|E|C WORKS
ARCHITECTURE | ENGINEERING | CONSULTING
32 EXECUTIVE PARK | SUITE 110
IRVINE | CA 92614

PROJECT IDENTIFICATION:
HOAG HOSPITAL
1 HOAG DRIVE
NEWPORT BEACH, CA 92663

CURRENT ISSUE DATE:
07/06/17

ISSUED FOR:
ZONING

APPROVALS:

APPROVED BY:	INITIALS:	DATE:
LANDLORD		
LEASING		
ZONING		
RF		
CM		

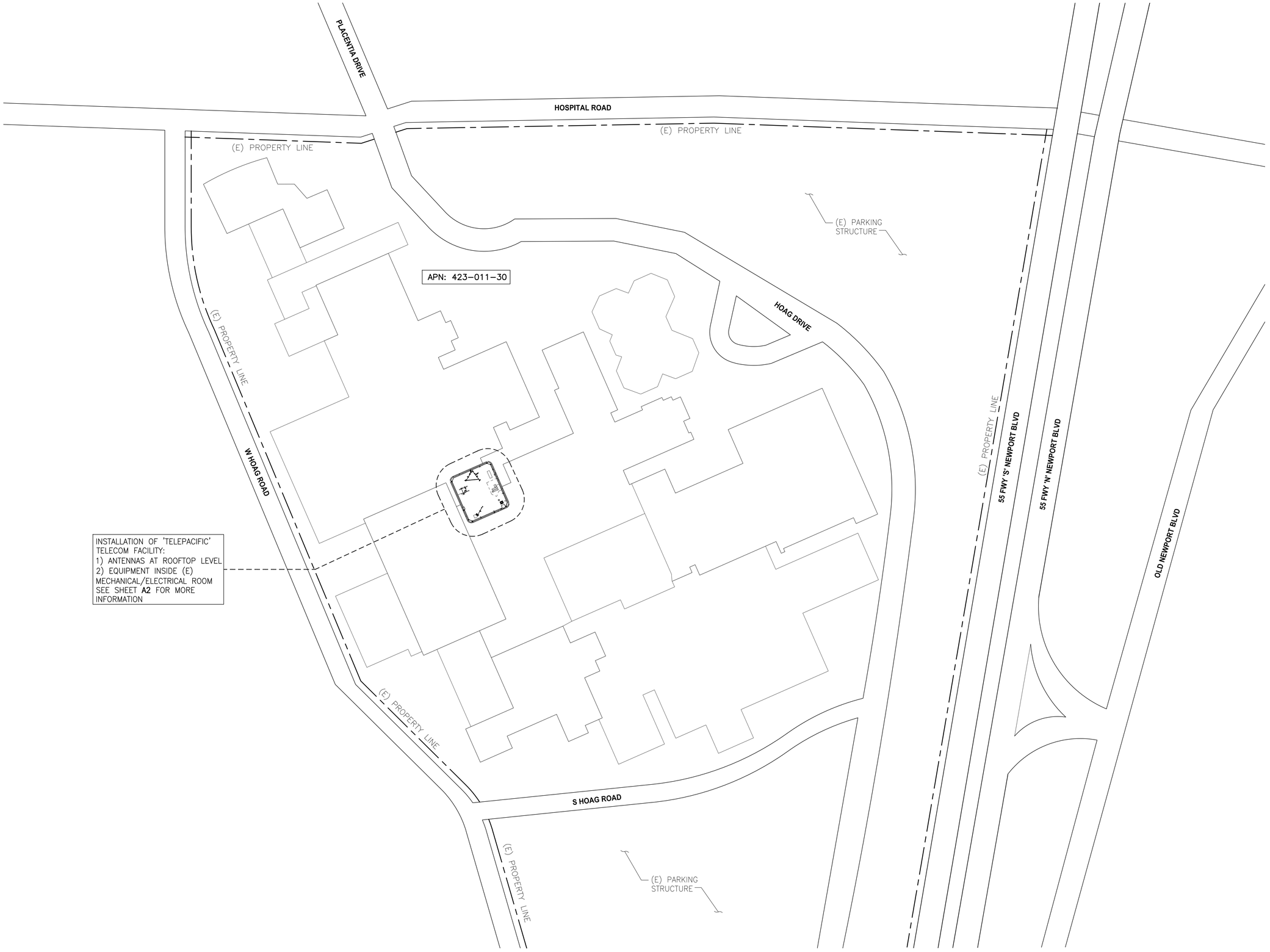
DRAWN BY:	CHK:	APV:
MG	BOK	DKD

ISSUE STATUS:

△	DATE:	DESCRIPTION:	BY:
___	03/31/16	90% ZD	MG
___	05/06/16	100% ZD	HH
___	05/11/16	REVISED ZD	HH
___	12/23/16	REVISED ZD PER COMMENTS	TN
___	07/06/17	REVISED ZD PER COMMENTS	TN

SHEET TITLE:
TITLE SHEET

SHEET NUMBER: T1
ISSUE LEVEL:
HOAG MEMORIAL HOSPITAL



SITE PLAN

NORTH | SCALE: 1"=50'-0" | 0 10' 30' 50' | 1

DCI PACIFIC
A|E|C WORKS
ARCHITECTURE | ENGINEERING | CONSULTING
32 EXECUTIVE PARK | SUITE 110
IRVINE | CA 92614

TelePacific COMMUNICATIONS

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HOAG HOSPITAL
1 HOAG DRIVE
NEWPORT BEACH, CA 92663

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ZONING

APPROVALS:

APPROVED BY:	INITIALS:	DATE:
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LEASING		
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RF		
CM		

DRAWN BY:	CHK:	APV:
MG	BOK	DKD

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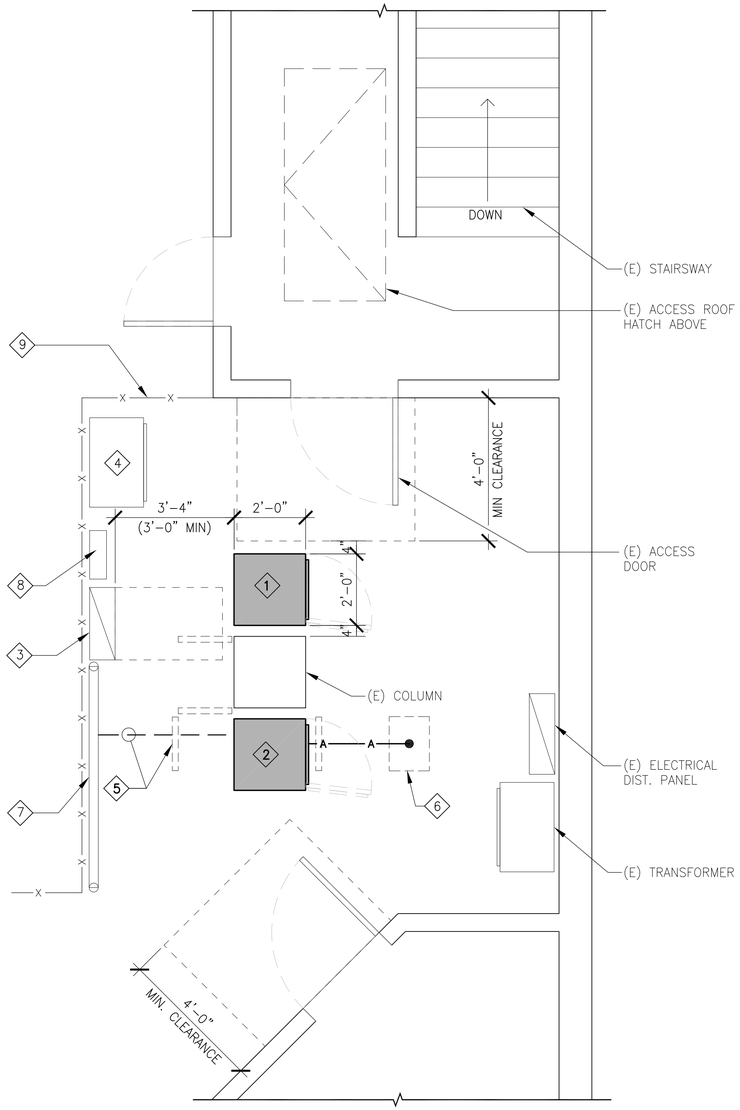
SHEET TITLE:
SITE PLAN

SHEET NUMBER:	ISSUE LEVEL:
A1	HOAG MEMORIAL HOSPITAL

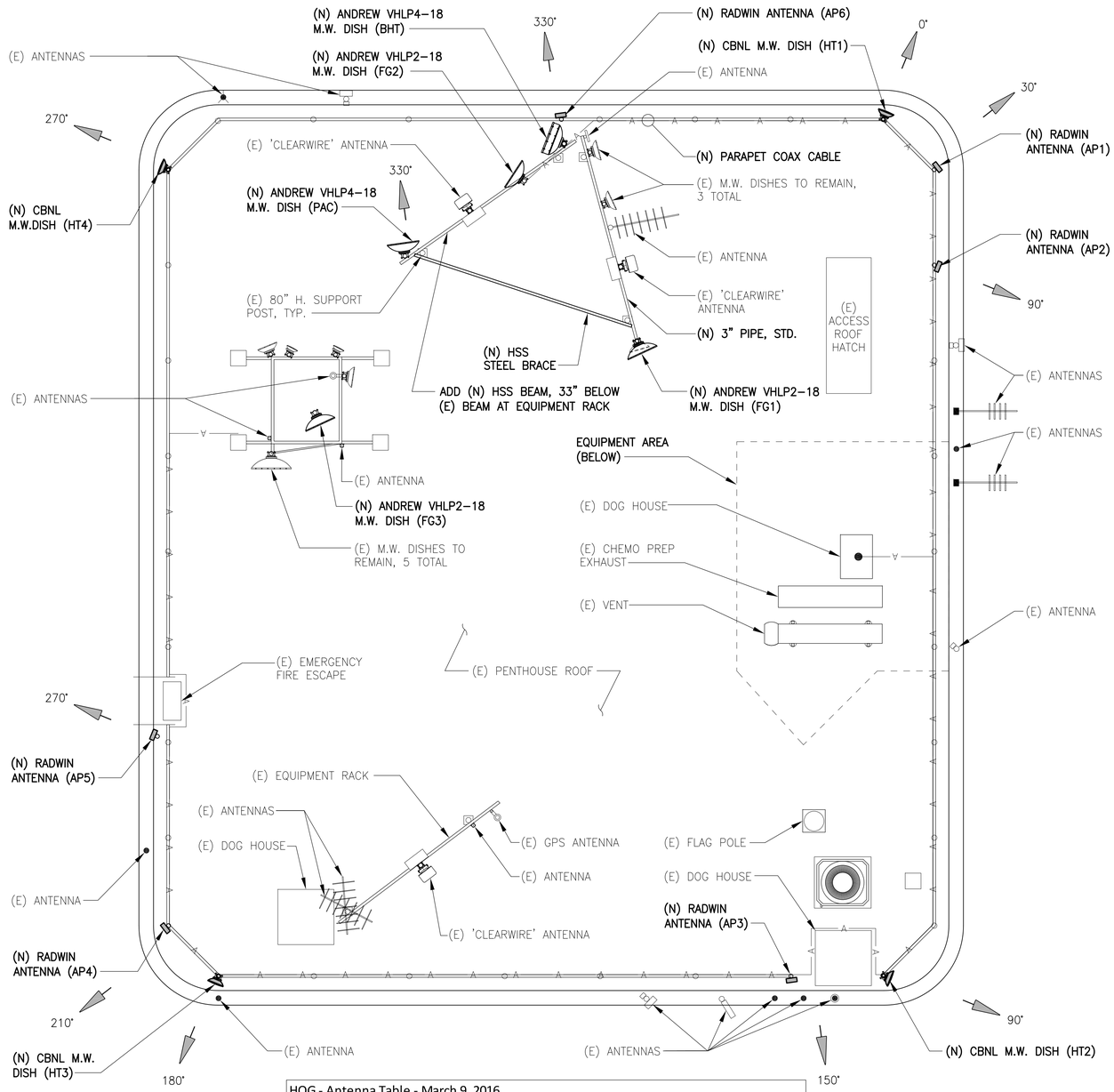


EQUIPMENT KEYNOTES:

1. (N) BATTERY CABINET/RACK (MAX HT. = 5'-0")
2. (N) RADIO CABINET/RACK (MAX HT = 7'-0")
3. UTILIZE (E) ABANDONED 200A, 120/240V POWER PROTECTION CABINET
4. UTILIZE (E) ABANDONED 50 KVA TRANSFORMER
5. RUN (N) CAT 5 AND COAX CABLES ON (E) TRAPEZE MOUNT
6. (E) CABLE HATCH ABOVE (V.I.F.)
7. (E) TELCO BOARD
8. (E) DISCONNECT SWITCH
9. (E) CHAIN LINK FENCE

EQUIPMENT LAYOUT PLAN

NORTH | SCALE: 1/2"=1'-0" | 0 1' 2' | 2



NOTE: CAT5 WILL BE BUNDLED, NOT IN CONDUIT.

HOG - Antenna Table - March 9, 2016

Identifier	Antenna Manufacturer	Antenna Model	Azimuth (degrees)
1 Backhaul1	Andrew	VHLP4-18	?
2 Backhaul2	Andrew	VHLP4-18	?
3 AP1	Radwin	60 degree sector	30
4 AP2	Radwin	60 degree sector	90
5 AP3	Radwin	60 degree sector	150
6 AP4	Radwin	60 degree sector	210
7 AP5	Radwin	60 degree sector	270
8 AP6	Radwin	60 degree sector	330
9 HT1	CBNL	90 degree sector	0
10 HT2	CBNL	90 degree sector	90
11 HT3	CBNL	90 degree sector	180
12 HT4	CBNL	90 degree sector	270
13 Future Growth1	Andrew	VHLP2-18	?
14 Future Growth2	Andrew	VHLP2-18	?
15 Future Growth3	Andrew	VHLP2-18	?

NEW ANTENNA/MICROWAVE LAYOUT PLAN

NORTH | SCALE: 1/4"=1'-0" | 0 1' 2' 4' | 1

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32 EXECUTIVE PARK | SUITE 110
IRVINE | CA 92614

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NEWPORT BEACH, CA 92663

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ZONING

APPROVALS:

APPROVED BY:	INITIALS:	DATE:
LANDLORD		
LEASING		
ZONING		
RF		
CM		

DRAWN BY:	CHK:	APV:
MG	BOK	DKD

ISSUE STATUS:

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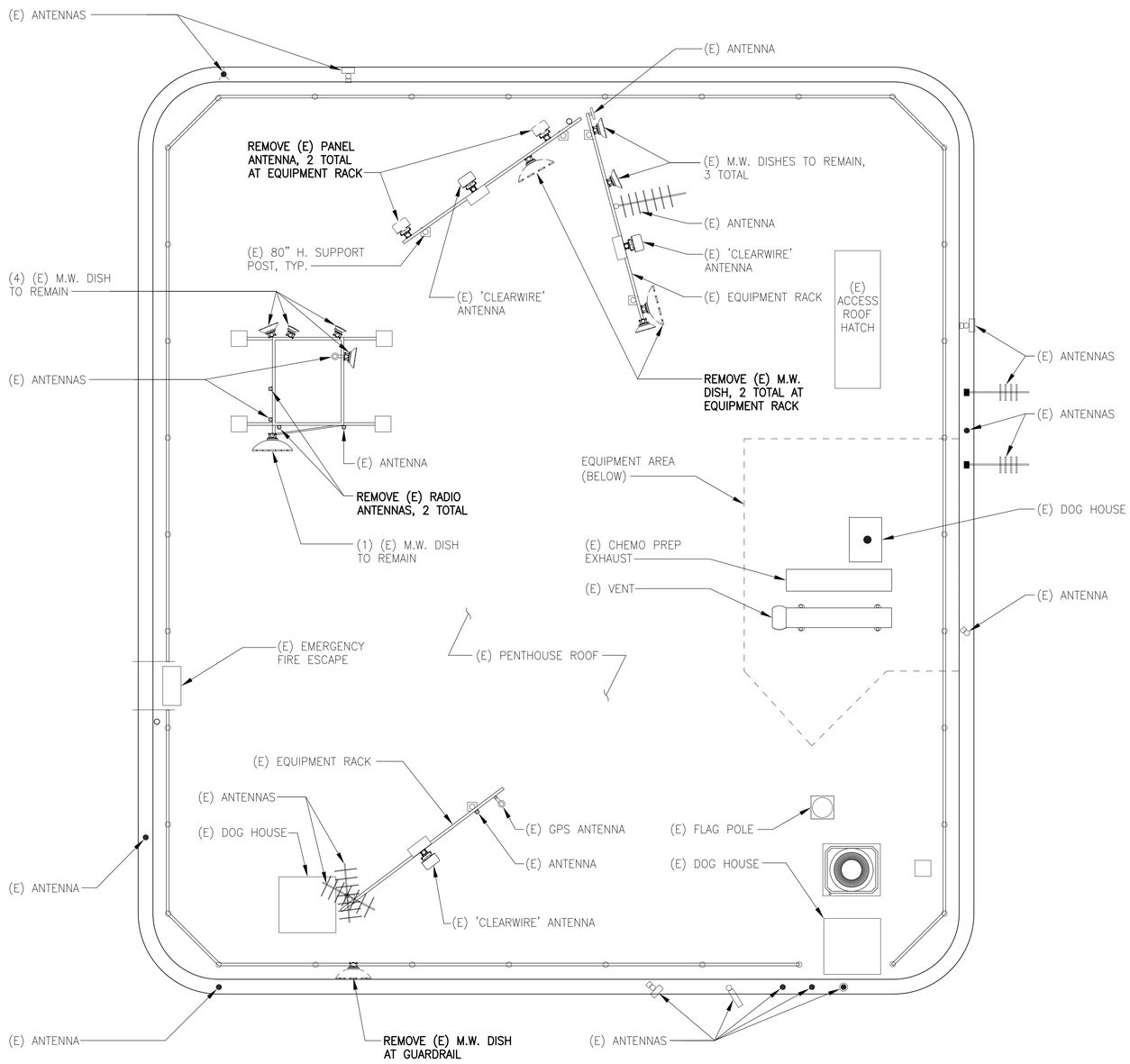
___	05/11/16	REVISED ZD	HH
___	12/23/16	REVISED ZD PER COMMENTS	TN
___	07/06/17	REVISED ZD PER COMMENTS	TN

SHEET TITLE:
NEW ANTENNA/MICROWAVE AND EQUIPMENT LAYOUT PLANS

SHEET NUMBER:	ISSUE LEVEL:
A2	HOAG MEMORIAL HOSPITAL



2 DEMOLITION ANTENNA/MICROWAVE PLAN

NORTH SCALE: 1/4"=1'-0" 0 1' 2' 4' 1

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IRVINE | CA 92614

TelePacific COMMUNICATIONS

PROJECT IDENTIFICATION:
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1 HOAG DRIVE
NEWPORT BEACH, CA 92663

CURRENT ISSUE DATE:
07/06/17

ISSUED FOR:
ZONING

APPROVALS:

APPROVED BY:	INITIALS:	DATE:
LANDLORD		
LEASING		
ZONING		
RF		
CM		

DRAWN BY:	CHK:	APV:
MG	BOK	DKD

ISSUE STATUS:

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___	05/11/16	REVISED ZD	HH
___	12/23/16	REVISED ZD PER COMMENTS	TN
___	07/06/17	REVISED ZD PER COMMENTS	TN

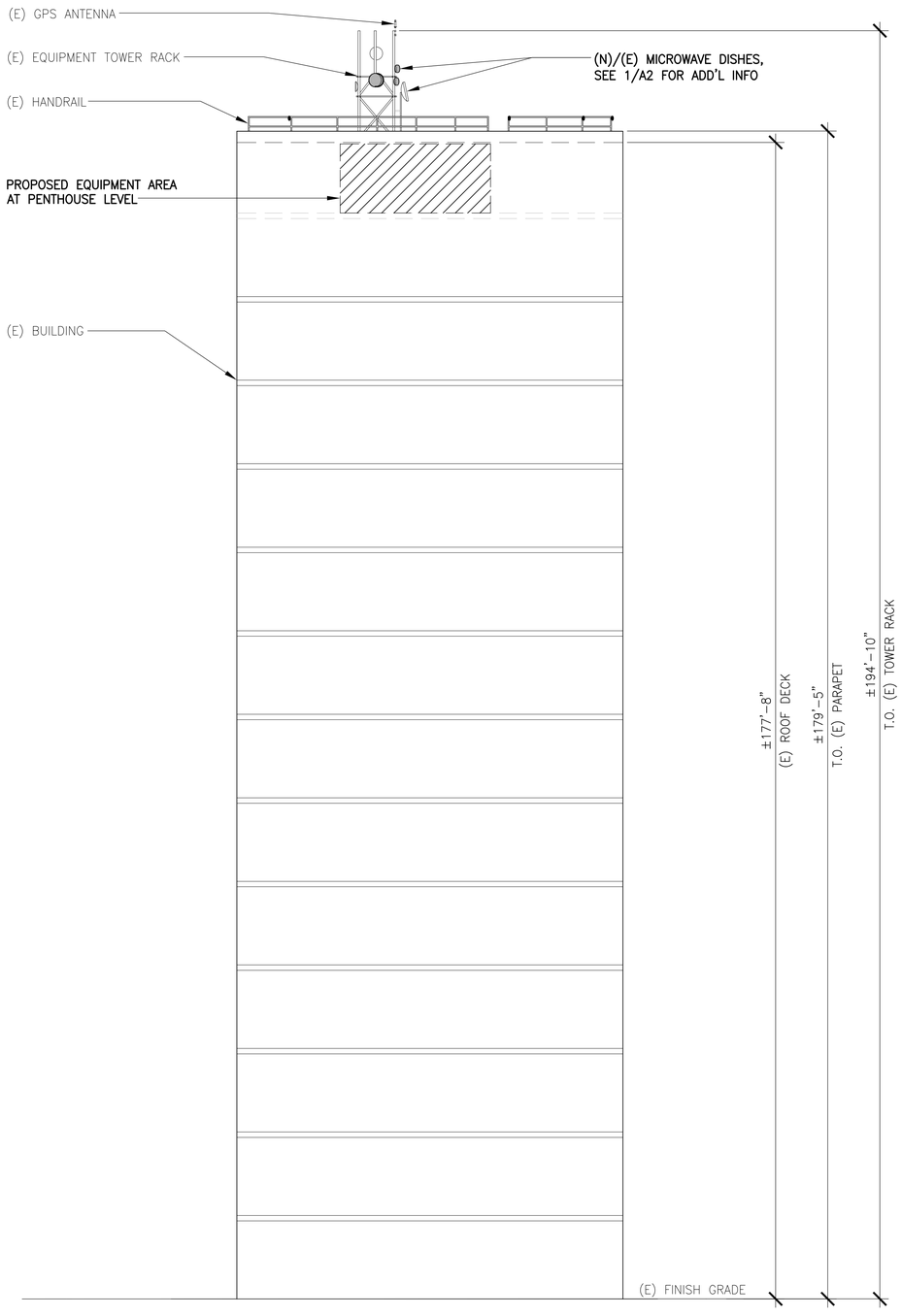
SHEET TITLE:
DEMOLITION
ANTENNA/MICROWAVE PLANS

SHEET NUMBER: A2.1

ISSUE LEVEL:

HOAG MEMORIAL HOSPITAL

NOTE:
OTHER (E) ANTENNAS NOT SHOWN FOR CLARITY

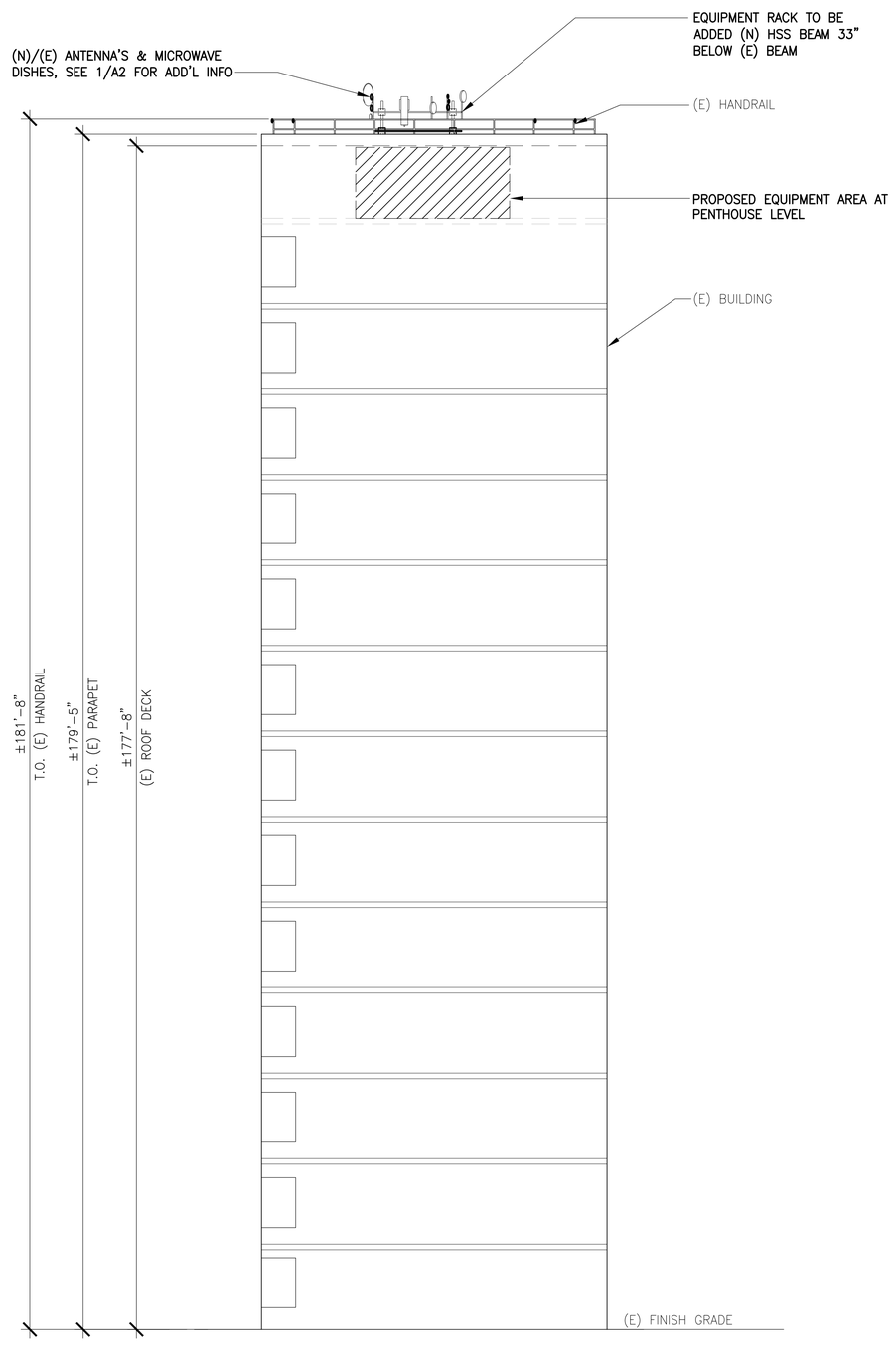


WEST ELEVATION

SCALE: 3/32"=1'-0" (0 2' 5' 10')

2

NOTE:
OTHER (E) ANTENNAS NOT SHOWN FOR CLARITY



SOUTH ELEVATION

SCALE: 3/32"=1'-0" (0 2' 5' 10')

1

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IRVINE | CA 92614

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RF		
CM		

DRAWN BY:	CHK:	APV:
MG	BOK	DKD

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SHEET TITLE:
ELEVATIONS

SHEET NUMBER: A3

ISSUE LEVEL:

HOAG MEMORIAL HOSPITAL

WIRELESS EDGE LTD.

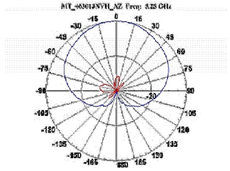
MT-463013/NVH
4.9-5.95 GHz 15.5 dBI 60° DUAL POLARITY SECTOR ANTENNA

ELECTRICAL	
REGULATORY COMPLIANCE	RoHS, CE 0682
FREQUENCY RANGE	4.9 – 5.95 GHz
GAIN	15 dBi (min) 15.5 dBi (typ)
VSWR	1.7 : 1 (typ), 2 : 1 (max)
POLARIZATION	Dual Linear Vertical + Horizontal
3DB ELEVATION BEAMWIDTH	8° (typ)
3DB AZIMUTH BEAMWIDTH	60° (typ)
ELEVATION SIDELOBE LEVEL	-12 dB (typ.)
F/B RATIO	20dB (typ)
CROSS POLARIZATION	-15 dB (typ.)
PORT TO PORT ISOLATION	22 dB (min) 25 dB (typ)
POWER	20W (max)
INPUT IMPEDANCE	50 (ohm)
LIGHTNING PROTECTION	DC Grounded
MECHANICAL	
DIMENSIONS (LXWXD)	500X200x30 mm (max)
CONNECTOR	2 xN-Type Female
WEIGHT	1.5 (kg) (max)
MOUNTING KIT	MT-120025
RADOME MATERIAL	Plastic
RADOME THICKNESS	2.0 ± 0.2 mm
BASE PLATE MATERIAL	Aluminum with chemical conversion coating

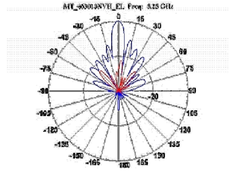
ADD TO COMPARISON | COMPARE

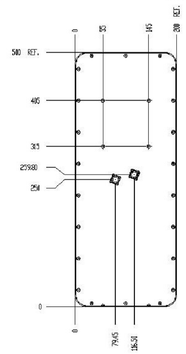
ENVIRONMENTAL				
TEST	STANDARD	DURATION	TEMPERTURE	NOTES
LOW TEMPERATURE	IEC 68-2-1	72 h	-55°C	
HIGH TEMPERATURE	IEC 68-2-2	72 h	+71°C	
TEMP. CYCLING	IEC 68-2-14	1 h	-45°C +70°C	3 Cycles
VIBRATION	IEC 60721-3-4	30 min/axis		Random4M5
SHOCK MECHANICAL	IEC 60721-3-4			4M5
HUMIDITY	ETSI EN300-2-4 T4.1E	144 h		95%
WATER TIGHTNESS	IEC 529			IP67
SOLAR RADIATION	ASTM G53	2000h		
FLAMMABILITY	UL 94			Class HB
SALT SPRAY	IEC 68-2-11 Ka	500h		
ICE AND SNOW				25mm Radial
WIND SPEED SURVIVAL OPERATION				220 Km/h 160 Km/h

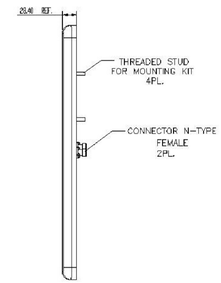
AZIMUTH RADIATION PATTERN MIDBAND FREQ. 5.25 GHZ



ELEVATION RADIATION PATTERN MIDBAND FREQ. 5.25 GHZ







WAIVER!

While the information contained in this document has been carefully compiled to the best of our present knowledge, it is not intended as presentation or warranty of any kind on our part regarding the fitness of the products concerned for any particular use or purpose and neither shall any statement contained herein be construed as a recommendation to infringe any industrial property rights or as a license to use any such rights. The fitness of each product for any particular purpose must be checked beforehand with our specialists.

MTI Wireless Edge Ltd.
11 Hamelacha St. Afek Industrial Park Rosh Ha'ayin 48091, Israel
Tel: +972-3-9008900 | Fax: +972-3-9008901 | www.mtiwe.com

DCI PACIFIC
A|E|C WORKS
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32 EXECUTIVE PARK | SUITE 110
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TelePacific COMMUNICATIONS

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1 HOAG DRIVE
NEWPORT BEACH, CA 92663

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APPROVALS:

APPROVED BY:	INITIALS:	DATE:
LANDLORD		
LEASING		
ZONING		
RF		
CM		

DRAWN BY:	CHK:	APV:
MG	BOK	DKD

ISSUE STATUS:

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SHEET TITLE:
MT-463013/NVH
ANTENNA SPECIFICATIONS

SHEET NUMBER: A4

ISSUE LEVEL:

HOAG MEMORIAL HOSPITAL

VectaStar Gigabit ODU-S

System datasheet (10.5, 26, 27 & 28GHz)

The VectaStar Gigabit ODU-S is a range of outdoor units for use as Access Points (APs) and Remote Terminals (RTs), which forms part of the wider family of Carrier Class VectaStar Gigabit point-to-multi-point products. ODU-S offers a compelling alternative to point to point, with up to 700 Mbps gross throughput per sector (2+0) and operating in the 10.5, 26, 27 and 28 GHz frequency bands.

ODU-S has a small form factor and weighs only 4kg, making it easy to install and maintain while providing logistics benefits for the operator. ODU-S 10.5 GHz systems are offered with +23dBm of output power for increased range. ODU-S employs a slip-fit waveguide antenna interface which supports vertical and horizontal polarization by simply rotating the ODU-S to suit the required polarization. No mechanical changes are required. A growing range of antennas includes vertically and horizontally polarized 90° sector horn antennas for APs and 20cm*, 30cm, 60cm and 90cm* parabolic antennas for RTs.

VectaStar Gigabit ODU-S deployments can vary from single sector outdoor-only deployments to multi-sector protected radio hubs (1+1 and 2+0) with a Radio Controller (RC) providing aggregation and a single interface to the core network. Traffic from the network edge (e.g. NodeB, eNodeB, WiMAX BS, etc.) is backhauled by the connected RT to the sector AP. Within each sector, bandwidth is statistically multiplexed across multiple RTs in accordance with operator-defined QoS parameters. This dynamic allocation avoids the wasteful spectrum usage associated with PtP links. VectaStar systems support 7-state adaptive modulation for superior performance in all weather conditions.

ACCESS POINT (AP-S)

The VectaStar Gigabit ODU-S AP (AP-S) is an integrated radio, modem and network interface unit, connecting directly to a sector antenna. An AP-S can operate a single sector without any additional indoor equipment (Zero-footprint mode), backhauling traffic from up to 8 RTs and terminating it on a single GigE interface. Up to 30 RTs per AP-S can be supported with the addition of the Radio Controller. Power and data are provided to the AP-S over a single CAT-5e cable or by 2-core cable for power and a single mode fibre for data.

ODU-S AP-S & Sector Antenna

REMOTE TERMINAL (RT-S)

The VectaStar Gigabit ODU-S RT (RT-S) offers class-leading full duplex throughput up to the available sector capacity of 350Mbps gross (300Mbps net Ethernet) at 256QAM in a 28MHz channel. Power and data are provided over a single CAT-5e cable. Alignment of the RT-S to the sector AP-S can be performed using the dedicated alignment interface (BNC) and a standard voltmeter.

ODU-S RT-S & 30cm Antenna

SERVICES

VectaStar Gigabit ODU-S supports Ethernet services. Support for TDM E1 services is provided via the use of a 1U indoor unit at the RT. At a multi-sector radio hub with RC, up to 126 E1's can be terminated to the core over channelized STM-1 on a Multi- Protocol Aggregator (MPA). Up to 8 co-located E1s can be accommodated via an E1 Concentrator*.

ODU-S 10.5, 26 & 28 GHZ TECHNICAL SPECIFICATIONS

General	10.5 GHz	26 GHz	28 GHz
Standards conformance	ITU-R F.1568 & CEPT ERC 12.05E	ITU-R F.748-4 Annex 1 & CEPT ERC 13.02E	ITU-R F.748-4 Annex 2 & CEPT ERC 13.02E
Duplexer Tx/Rx bands	10.15 – 10.3GHz / 10.5 – 10.65GHz	24.549 – 25.445GHz / 25.557 – 26.453GHz	27.5485 – 28.4445GHz / 28.5565 - 29.4525GHz
Duplex spacing	350MHz	1008MHz	
Radio access method	Single Carrier FDD Full Duplex, TDMA uplink and downlink		
Radio transmit power	+23dBm	+18dBm	
Channel sizes	7, 14 and 28 MHz		
Modulation	Hitless Adaptive Modulation (ACM) and fixed mode, 7 states, QPSK up to 256QAM with Trellis Coding		
Latency (Typical)	Average < 0.6ms with 99.9% < 1.0ms at <=98% rated sector throughput		
Synchronisation	1588V2, NTPv4, External Clock input option (with Radio Controller), E1 clocking** and SyncE*		
Sector throughput per Access Point	1+0: Up to 350Mbps Gross, 300Mbps Ethernet (28MHz channel at 256QAM)		
	1+1: Up to 350Mbps Gross, 300Mbps Ethernet (28MHz channel at 256QAM)		
	2+0: Up to 700Mbps Gross, 600Mbps Ethernet (2x28MHz channel at 256QAM)		
Range	Up to 28.6 km†	Up to 7.4 km†	Up to 6.9 km†

Access Point (AP-S)

AP Antenna*** gain	15 dBi (beamwidth: 90° x 8°)	18 dBi (beamwidth: 90° x 6°)
Network interfaces	1 x 100/1000BaseT Ethernet or 1 x 1000BaseLX (LC connector, single mode short haul 1310nm laser). Both VLAN capable.	
Power Consumption per AP	38W typical	35W typical
Power Input Requirement	–48V DC, (Optional 100-240V AC converter****)	
AP weight and dimensions (excluding antenna)	309x289x110mm (HxWxD), 4.8kg	309x289x100mm (HeightxWidthxDepth), 4.0kg

Remote Terminal (RT-S)

Antenna*** gain (beamwidth: horizontal x vertical)	0.3m dish: 26.8 dBi (6° x 6°) 0.6m dish: 33.7 dBi (3° x 3°)	0.3m dish: 35.3 dBi (2.5° x 2.5°) 0.6m dish: 40.7 dBi (1.4° x 1.4°)	0.3m dish: 35.8 dBi (2.2 ° x 2.2°) 0.6m dish: 41.8 dBi (1.3° x 1.3°)
Network interfaces	1 x 10/100/1000BaseT (VLAN capable)		
Alignment Interface	Single BNC connector for use with a standard Voltmeter		
Power Consumption per RT	38W typical	38W typical	
Power Input Requirement	–48V DC, (Optional 100-240V AC converter ****)		
RT Throughput	Up to 350Mbps Gross, 300Mbps Ethernet (28MHz channel)		
RT outdoor unit weights and dimensions (excl. ant.)	309x289x110mm (HxWxD), 4.8kg	309x289x100mm (HxWxD), 4.0kg	

Services

Ethernet	Native Ethernet, 802.1D MAC Switching with RC, 802.1Q (VLAN tagging), 802.1p (Class of Service), 802.1ad (QinQ).
E1 **	Optimised E1 (for ASiS, IuB, CDMA and IMA), E1 structured (G.704) and unstructured (G.703)
ATM **	ATM/IMA, RFC1483, E1CES
Scalability	AP in Zero-footprint mode: Up to 8 RT's in a sector, up to 256 services in a sector (up to 64 services per RT) AP with Radio Controller: Up to 30 RT's per sector. Radio Controller supports up to 8 APs

Standards Compliance ****

Radio & Antenna	Radio: R&TTE Compliance based on ETSI EN 302 326-2. Antenna: ETSI EN 302 326-3. (See CBNL representative for details.)
EMC	ETSI EN 301 489
Environmental	Class of indoor equipment is 3.1 (temperature range: +5°C to +40°C), as defined in ETSI EN 300 019-1-3. Class of outdoor equipment is 4.1E and 4.2H (temperature range: –45°C to +55°C), as defined in ETSI EN 300 019-1-4.
Safety	EN 60950-1 and 60950-22
Storage	Class of storage of equipment is 1.2 , as defined in ETSI EN 300 019-1-1
Transportation	Class of transportation of equipment is 2.2, as defined in ETSI EN 300 019-1-2
DC power supply	ETSI EN 300 132-2
RoHS and WEEE	VectaStar is compliant with RoHS and WEEE directives (see http://www.cbnl.com/support/recycling.html)

ODU-S 27 TECHNICAL SPECIFICATIONS

General	27 GHz			
Sub Band	Band 1*	Band 2*	Band 3*	Band 4*
Duplexer Tx/Rx bands	26.352 – 26.842GHz / 26.350 – 26.850GHz	25.850 – 26.340GHz / 26.858 – 27.348GHz	26.352 – 26.842GHz / 27.350 – 27.850GHz	26.850 – 27.340GHz / 27.858 – 28.348GHz
Duplex spacing	1008MHz			
Radio access method	Single Carrier FDD Full Duplex, TDMA uplink and downlink			
Radio transmit power	+18dBm			
Channel sizes	7, 14 and 28 MHz			
Modulation	Hitless Adaptive Modulation (ACM) and fixed mode, 7 states, QPSK up to 256QAM with Trellis Coding			
Latency (Typical)	Average < 0.6ms with 99.9% < 1.0ms at <=98% rated sector throughput			
Synchronisation	1588V2, NTPv4, External Clock input option (with Radio Controller), E1 clocking** and SyncE*			
Sector throughput per Access Point	1+0: Up to 350Mbps Gross, 300Mbps Ethernet (28MHz channel at 256QAM)			
	1+1: Up to 350Mbps Gross, 300Mbps Ethernet (28MHz channel at 256QAM)			
	2+0: Up to 700Mbps Gross, 600Mbps Ethernet (2x28MHz channel at 256QAM)			
Range	Up to 7.4 km†		Up to 6.9 km†	

Access Point (AP-S)

AP Antenna*** gain	16 dBi (beamwidth: 90° x 6°)	17 dBi (beamwidth: 90° x 6°)
Network interfaces	1 x 100/1000BaseT Ethernet or 1 x 1000BaseLX (LC connector, single mode short haul 1310nm laser). Both VLAN capable.	
Power Consumption per AP	35W typical	
Power Input Requirement	–48V DC, (Optional 100-240V AC converter ****)	
AP weight and dimensions (excluding antenna)	309x289x100mm (Height x Width x Depth), 4.0kg	

Remote Terminal (RT-S)

RT Antenna*** gain (beamwidth: horizontal x vertical)	0.3m dish: 34 dBi (2.5° x 2.5°) 0.6m dish: 40.7 dBi (1.4° x 1.4°)	0.3m dish: 34 dBi (2.2° x 2.2°) 0.6m dish: 41 dBi (1.3° x 1.3°)
Network interfaces	1 x 10/100/1000BaseT (VLAN capable)	
Alignment Interface	Single BNC connector for use with a standard Voltmeter	
Power Consumption per RT	36W typical	
Power Input Requirement	–48V DC, (Optional 100-240V AC converter ****)	
RT Throughput	Up to 350Mbps Gross, 300Mbps Ethernet (28MHz channel)	
RT outdoor unit weights and dimensions (excl. ant.)	309x289x100mm (Height x Width x Depth), 4.0kg	

Services

Ethernet	Native Ethernet, 802.1D MAC Switching with RC, 802.1Q (VLAN tagging), 802.1p (Class of Service), 802.1ad (QinQ).
E1 **	Optimised E1 (for ASiS, IuB, CDMA and IMA), E1 structured (G.704) and unstructured (G.703)
ATM **	ATM/IMA, RFC1483, E1CES
Scalability	AP in Zero-footstint mode. Up to 8 RTs in a sector, up to 256 services in a sector (up to 64 services per RT) AP with Radio Controller: Up to 30 RTs per sector. Radio Controller supports up to 8 APs

Standards Compliance ****

Radio & Antenna	Anatel Resolution 561 of 28 January 2011. Undergoing Type Approval Tests.
EMC	ETSI EN 301 489
Environmental	Class of indoor equipment is 3.1 (temperature range: +5°C to +40°C), as defined in ETSI EN 300 019-1-3. Class of outdoor equipment is 4.1E and 4.2H (temperature range: –45°C to +55°C), as defined in ETSI EN 300 019-1-4.
Safety	EN 60950-1 and 60950-22
Storage	Class of storage of equipment is 1.2 , as defined in ETSI EN 300 019-1-1
Transportation	Class of transportation of equipment is 2.2, as defined in ETSI EN 300 019-1-2
DC power supply	ETSI EN 300 132-2
RoHS and WEEE	VectaStar is compliant with RoHS and WEEE directives (see http://www.cbnl.com/support/recycling.html)

† Link ranges basis: 99.99% reliability, 1E-6 BER, Vertical polarised 60cm RT antennas, R0.01 = 28.3 mm/h Cambridge, 14 MHz channel, AP at 100m AGL, RT at 20m AGL

* Subject to roadmap. Consult CBNL Sales representative for availability. ** Consult CBNL Representative for full hardware and software requirements.

*** Typical antennas shown. **** CBNL will be pleased to discuss specific local approval standard requirements.

To confirm the latest product information and to find your nearest CBNL representative, please contact our head office sales@cbnl.com

Version A03. **About CBNL:** Pioneering the development and deployment of next generation microwave transmission equipment since 2000, CBNL is the global market leader in multipoint microwave backhaul and access solutions. Our carrier-class VectaStar platform serves over 70 communication providers across 40 countries, including 7 of the top 10 world's largest mobile operators. +44 1223 703000 www.cbnl.com

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LEASING		
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RF		
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MG	BOK	DKD

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SHEET TITLE:
VECTASTAR GIGABIT ODU–S SPECIFICATIONS

SHEET NUMBER: A5

ISSUE LEVEL:

HOAG MEMORIAL HOSPITAL

CBNL
Cambridge Broadband Networks

CBNL ODU-S 26/27/28GHz Wideband Vertical and Horizontal Polarisation Horn Antennas

Datasheet

The CBNL ODU-S 26/27/28GHz Wideband Vertical and Horizontal Polarisation Horn antennas are for use with ODU-S 26GHz, 27GHz and 28GHz Remote Terminals. The antennas cover 24.50 – 29.50GHz and are for use in the standard ETSI 26 and 28GHz bands and in other regulatory regime spectrum allocations such as Brazil Anatel Resolution 581 Blocks A-H (referred to as 27GHz by CBNL).

ODU-S 26/27/28GHZ WIDEBAND HORN ANTENNAS – TECHNICAL SPECIFICATIONS

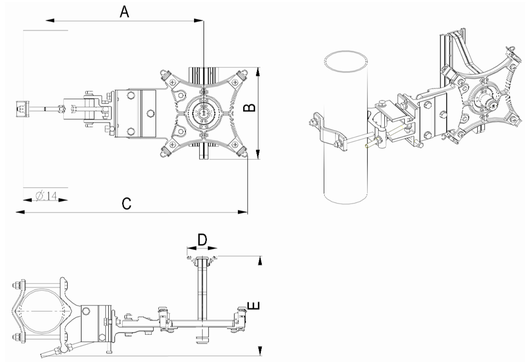
Ultra High Performance, Single-Polarised, 24.50 ~ 29.50GHz		
CBNL Order Code	ANT-26/27/28GS-AP-V	ANT-26/27/28GS-AP-H
Electrical Specifications*		
Frequency (GHz)	24.50 ~29.50	24.50 ~29.50
Polarisations supported	Vertical	Horizontal
Gain, Min (dBi)	18	18
Beam Width Azimuth (deg)	90	90
Beam Width Elevation (deg)	8	8
Cross-Pol. Discrimination – XPD (dB)	26	26
F/B Ratio (dB) Typical	40	40
VSWR (max)	1.5	1.5
Regulatory Compliance	ETSI EN 302 326-3 SS3 Anatel Resolution 581 Blocks A-H. Envelope for Anatel SS3	ETSI EN 302 326-3 SS3 Anatel Resolution 581 Blocks A-H. Envelope for Anatel SS3
Mechanical Specifications		
Antenna Colour	Aluminium	Aluminium
Wave-guide Size	ODU-S	ODU-S
Azimuth Adjustment	Coarse : 360° Fine : ±30°	Coarse : 360° Fine : ±30°
Elevation Adjustment	Maximum -30° to +30° Fine : ±15°	Maximum -30° to +30° Fine : ±15°
Diameter of Mounting Pole (mm)	ø61~ø114	ø61~ø114
Wind Velocity Survival Rating (m/s)	67	67
Wind Velocity Operational (m/s)	55	55
Operational Temperature (°C)	-45 ~+60	-45 ~+60
Operating Power (dBm)	20	20
Axial Force (N)	394	394
Side Force (N)	194	194
Twisting Moment (N-m)	155	155
Gross Weight (kg)	7.3	7.8
Net Weight (kg)	6.0	6.5
Packaging Carton: LxWxH (mm)	360X340X280	380X340X280

* Typical antenna performance shown.

Dimensions (mm) - ANT-26/27/28GS-AP-V					
Antenna Size (m)	A	B	C	D	E
0.3	394	236	581	54	238

Dimensions (mm) - ANT-26/27/28GS-AP-H					
Antenna Size (m)	A	B	C	D	E
0.3	394	236	581	76	259

Note: All size data above applies when the pole diameter is 114mm.



To confirm the latest product information and to find your nearest Cambridge Broadband Networks representative, please contact our head office on sales@cbnl.com or visit http://www.cbnl.com

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CB-003203-DS Issue 5

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SHEET TITLE:
CBNL ODU-2 HORN ANTENNAS SPECIFICATIONS

SHEET NUMBER: A6

ISSUE LEVEL:

HOAG MEMORIAL HOSPITAL

RADWIN HPMP HBS 5200 Series

Sector Base Station - Data Sheet

RW-5200-0250

Product Description

RW-5200-0250 is a sector Base Station radio unit (HBS) that provides up to 250 Mbps net aggregate throughput while delivering access connectivity for up to 32 Subscriber Units (HSU).
RW-5200-0250 supports 4.9 to 6 GHz and complies with FCC/IC, Universal, IC, WPC & MII regulations.
The radio is Connectorized for external antenna (2 xN-type).

Product Highlights

- Up to 250 Mbps net aggregated throughput
- Long range – up to 40 km/25 miles
- Supports up to 32 HSUs
- Guaranteed Service level Agreement (SLA) per HSU
- Exceptional short and constant latency
- Single radio supporting multiple bands
- Advanced MIMO, OFDM and Diversity technologies
- Robust and reliable operation in harsh conditions, extreme temperatures and non-line-of-sight scenarios
- Ease of operation and maintenance

RADWIN

Product Specifications:

CONFIGURATION					
Architecture	Outdoor Unit Connectorized for external antenna (2 xN-type)				
PoE to ODU Interface	Outdoor CAT-5e; Maximum cable length: 100m for 10/100BaseT and 75m for 1000BaseT				
RADIO					
Max Capacity	250 Mbps net aggregate throughput				
Subscriber Units (HSUs) support	Up to 32 HSUs				
Range	Up to 40 km / 25 miles				
Channel Bandwidth	Configurable: 5, 10, 20, 40 MHz (for the default band)				
Modulation	2x2 MIMO-OFDM (BPSK/QPSK/16QAM/64QAM)				
Adaptive Modulation & Coding	Supported				
DFS	Not Supported (for the default band)				
Diversity	Supported				
Max Tx Power	25 dBm				
Duplex Technology	TDD				
Error Correction	FEC x = 1/2, 2/3, 3/4, 5/6				
Encryption	AES 128; FIPS 197; AES 256 optional (via Software License Key)				
Support Indoor units	RADWIN PoE devices (RW-9921-101X)				
Bandwidth Allocation	Configurable: Symmetric or Asymmetric				
End to End Latency	Typical: 3.5msec @ 2 HSUs; 20msec @ 32 HSUs				
Layer 2	Bridging learning of SK MAC addresses				
QoS	Packet classification to 4 priority queues according to 802.1P or Diffserv				
VLAN Support	802.1Q, QinQ, 4094 VLANs				
TDD Intra Site Synchronization	Supported				
TDD Inter Site Synchronization	Supported through common GPS receiver per site				
SUPPORTED BANDS					
Band	**Channel BW 5MHz**	**Channel BW 10MHz**	**Channel BW 20MHz**	**Channel BW 40MHz**	**Radio Compliance**
4.9 GHz FCC/IC	4.9425-4.9875	4.940-4.990	4.940-4.990	-	FCC 47CFR Part 90 Subpart Y; IC RSS-111
4.9 GHz Universal	4.8975-4.9925	4.895-4.995	4.890-5.000	4.880-5.000	Universal
5.1 GHz Universal	5.1475-5.1375	5.145-5.340	5.140-5.345	5.130-5.355	Universal
5.2 GHz FCC/IC	5.2525-5.3475	5.255-5.345	5.255-5.345	5.255-5.345	FCC 47CFR Part 15.407; IC RSS-210
5.4 GHz FCC/IC	5.4775-5.7175	5.480-5.715	5.480-5.715	5.480-5.715	FCC 47CFR Part 15.407; IC RSS-210
5.4 GHz IC	5.4775-5.7175	5.480-5.715	5.480-5.715	5.480-5.715	IC RSS-210
5.4 GHz Universal	5.4725-5.7225	5.470-5.725	5.465-5.730	5.455-5.740	Universal
5.8 GHz FCC/IC (default)	5.7275-5.8475	5.725-5.850	5.725-5.850	5.725-5.850	FCC 47CFR Part 15.247; IC RSS-210
5.8 GHz WPC	5.8275-5.8725	5.825-5.875	5.825-5.875	5.815-5.885	WPC (India) G.S.R 38(E) dated 19 January, 2007 Notification
5.9 GHz Universal	5.7275-5.9525	5.725-5.955	5.720-5.960	5.710-5.970	Universal
6.0 GHz Universal	5.9975-6.0525	5.995-6.055	5.990-6.060	5.980-6.070	Universal
5.8 GHz MII	5.7375-5.8375	5.735-5.940	5.730-5.845	5.720-5.855	CMIIT RTA
5.0 GHz Universal	4.9975-5.1525	4.995-5.155	4.990-5.160	4.980-5.170	Universal
MECHANICAL					
ODU Dimensions	28(w) x 19.5(h) x 8(d) cm				
ODU Weight	2.4 kg / 5.28 lbs				
POWER					
Power Feeding	Power provided over ODU-IDU cable				
Power Consumption	<20W				
ENVIRONMENTAL					
Operating Temperatures	-35°C to 60°C / -31°F to 140°F				
Humidity	100% condensing, IP67 (totally protected against dust and against immersion up to 1m)				
SAFETY					
FCC/IC (cTUVus)	UL 60950-1, UL 60950-22, CAN/CSA C22.2 60950-1, CAN/CSA C22.2 60950-22				
ETSI	EN 300 386, EN 301 489-1, EN 301 489-4				
EMC					
FCC	47 CFR Class B, Part15, Subpart B				
CAN/CSA-CEI/IEC	CISPR 22-04 Class B				
AS/NZS	CISPR 22-2004 Class B				

Ordering info
Part Number: RW-5200-0250
Description: RADWIN HBS 5200 ODU, Connectorized for external antenna (2 xN-type), supporting multi frequency bands at 5.x GHz, factory default 5.8 GHz FCC/IC.

Corporate Headquarters, T. +972.3.766.2900, E. sales@radwin.com, www.radwin.com

DS RW-5200-0250/2.14

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CM		

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SHEET TITLE:
RADWIN HPMP HBS SPECIFICATIONS

SHEET NUMBER: A7
ISSUE LEVEL:
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Product Specifications

ANDREW A CommScope Company

VHLP2-18-2WH

0.6 m | 2 ft ValuLine® High Performance Low Profile Antenna, single-polarized, 17.700–19.700 GHz, PBR220, white antenna, polymer white radome without flash, standard pack—one-piece reflector

CHARACTERISTICS

General Specifications

Antenna Input	PBR220
Packing	Standard pack
Radome Color	White
Radome Material	Polymer
Reflector Construction	One-piece reflector
Antenna Color	White
Antenna Type	VHLP - ValuLine® High Performance Low Profile Antenna, single-polarized
Diameter, nominal	0.6 m | 2 ft
Flash Included	No
Polarization	Single

Electrical Specifications

Beamwidth, Horizontal	2.1 °
Beamwidth, Vertical	2.1 °
Cross Polarization Discrimination (XPD)	30 dB
Electrical Compliance	Brazil Anatel Class 2 | Canada SRSP 317.8 Part A | ETSI 302 217 Class 3 | US FCC Part 101A
Front-to-Back Ratio	67 dB
Gain, Low Band	38.3 dBi
Gain, Mid Band	38.7 dBi
Gain, Top Band	39.1 dBi
Operating Frequency Band	17.700 – 19.700 GHz
Radiation Pattern Envelope Reference (RPE)	7012A
Return Loss	17.7 dB

Product Specifications

ANDREW A CommScope Company

VSWR	1.30

Mechanical Specifications

Fine Azimuth Adjustment	±10°
Fine Elevation Adjustment	±25°
Mounting Pipe Diameter	48 mm–115 mm | 1.9 in–4.5 in
Net Weight	14 kg | 31 lb
Side Struts, Included	0
Side Struts, Optional	0
Wind Velocity Operational	110 km/h | 68 mph
Wind Velocity Survival Rating	250 km/h | 155 mph

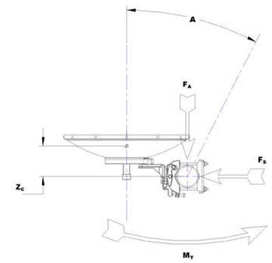
Wind Forces At Wind Velocity Survival Rating

Axial Force (FA)	1066 N | 240 lbf
Side Force (FS)	496 N | 112 lbf
Twisting Moment (MT)	382 N•m
Weight with 1/2 in (12 mm) Radial Ice	25 kg | 54 lb
Zcg with 1/2 in (12 mm) Radial Ice	178 mm | 7 in
Zcg without Ice	125 mm | 5 in

Product Specifications

ANDREW A CommScope Company

Wind Forces At Wind Velocity Survival Rating Image



Packed Dimensions

Gross Weight, Packed Antenna	14.0 kg | 30.9 lb
Height	540.0 mm | 21.3 in
Length	700.0 mm | 27.6 in
Volume	0.3 m^3
Width	700.0 mm | 27.6 in

VHLP2-18 ANTENNA | 1

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SHEET TITLE:
VHLP2–18 ANTENNA SPECIFICATIONS

SHEET NUMBER: A8

ISSUE LEVEL:

HOAG MEMORIAL HOSPITAL

ANDREW®
Wireless Solutions

NEW PRODUCT ANNOUNCEMENT

ValuLine® III Next Generation Antennas VHLP4

SPECIFICATIONS

	VHLP4-6W	VHLP4-7W	VHLP4-10W	VHLP4-11	VHLP4-13	VHLP4-15	VHLP4-18	VHLP4-23	VHLP4-26
Frequency Band, GHz	5.925-7.125	7.125-8.5	10.0-10.7	10.7-11.7	12.7-13.25	14.25-15.35	17.7-19.7	21.2-23.6	24.25-26.5
Bottom Band Gain, dBi	34.0	36.8	39.6	40.0	41.9	42.7	44.2	46.0	47
Mid Band Gain, dBi	35.0	37.3	40.0	40.4	42.0	42.9	44.7	46.7	47.4
Top Band Gain, dBi	36.0	37.7	40.4	40.8	42.1	43.1	45.1	47.0	47.8
Beamwidth, degrees	2.9	2.2	1.6	1.5	1.3	1.2	0.9	0.8	0.6
Front/Back, dB	61	63	66	67	68	7	72	74	75
XPD, dB	32	32	30	30	30	30	30	30	30
Return Loss, dB	17.7	17.7	17.7	17.7	17.7	17.7	17.7	17.7	17.7
Regulatory Compliance									
ETSI Class	R1 C3	R1 C3	R1 C3	R1 C3	R1 C3	R2 C3	R2 C3	R3 C3	R4 C3
FCC Part 101	N/A	N/A	Cat A	Cat A	Cat B	N/A	Cat A	Cat A	Cat A
Brazil Anatel	N/A	C2	C2	C2	C2	C1	C2	C2	C2
Canada SRSP	N/A	N/A	310.5	N/A	312.7B	314.5A	317.8A	321.8A	N/A
Andrew RPE Number	7136	7079	7088	7043A	7049	7055	7061	7067	7073

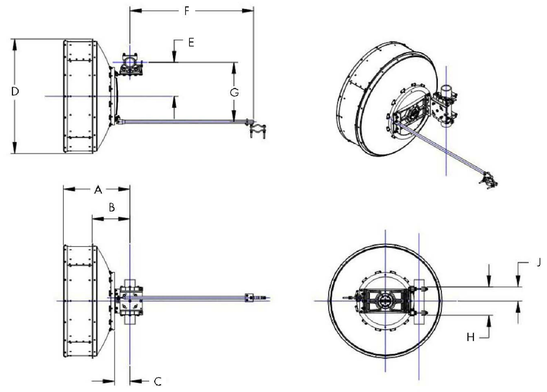
VHLP4-7W SUB-BAND PERFORMANCE

Band	7.125–7.75	7.425–7.9	7.75–8.5
Bottom Band Gain, dBi	36.8	37.0	37.3
Mid Band Gain, dBi	37.0	37.2	37.5
Top Band Gain, dBi	37.3	37.3	37.7

CommScope®

SPECIFICATIONS

ValuLine® III Next Generation Antenna—VHLP4



Antenna Dimensions, mm (in)

A	751 (29.5)
B	427 (16.8)
C	176 (6.9)
D	1291 (50.8)
E	382 (15)
F	1395 (54.9)
G	670 (26.4)
H	320 (12.6)
J	160 (6.3)

Antenna Fine Adjustment

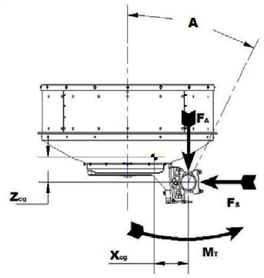
Fine Azimuth	±12°
Fine Elevation	±15°

SPECIFICATIONS

ValuLine® III Next Generation Antenna—VHLP4

Wind Loading

The axial, side, and twisting moment forces stated below are the maximum loads applied to the tower by the antenna at a survival windspeed of 250 km/h (155 mph). They are the result of wind from the most critical direction for each parameter. The individual maximums may not occur simultaneously. All forces are referenced to the antenna mounting pipe.



Axial force	F_A	4394 N (988 lbf)
Side force	F_S	2176 N (489 lbf)
Moment	M_T	1749 N-m
Angle A for M_T maximum		–130°

Where side struts are fitted, the loads carried by the side struts are components of, not in addition to F_A, F_S, and M_T.

Z_{cg}* Without Ice, mm (in)	170.6 (6.7)
X_{cg} Without Ice, mm (in)	242.7 (9.5)

*Z_{cg} is the axial distance from the center of gravity to the mounting pipe.

Antenna Weights Including Mount

Antenna Without Ice, kg (lb)	46 (101.4)
Antenna with 25 mm (1 in) Radial Ice, kg (lb)	115 (253.5)

Antenna Packed Weights (Gross)

Weight, kg (lb)	102 (224.9)

Packed Antenna Dimensions (Single Unit Pack)

Dimensions, cm (in)	137 x 137 x 82 (54 x 54 x 323)

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TelePacific® COMMUNICATIONS

PROJECT IDENTIFICATION:
HOAG HOSPITAL
1 HOAG DRIVE
NEWPORT BEACH, CA 92663

CURRENT ISSUE DATE:
07/06/17

ISSUED FOR:
ZONING

APPROVALS:

APPROVED BY:	INITIALS:	DATE:
LANDLORD		
LEASING		
ZONING		
RF		
CM		

DRAWN BY:	CHK:	APV:
MG	BOK	DKD

ISSUE STATUS:

△	DATE:	DESCRIPTION:	BY:
___	03/31/16	90% ZD	MG
___	05/06/16	100% ZD	HH
___	05/11/16	REVISED ZD	HH
___	12/23/16	REVISED ZD PER COMMENTS	TN
___	07/06/17	REVISED ZD PER COMMENTS	TN

SHEET TITLE:
VHLP4–18 ANTENNA SPECIFICATIONS

SHEET NUMBER: A9

ISSUE LEVEL:

HOAG MEMORIAL HOSPITAL