



**CITY OF NEWPORT BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION ACTION REPORT**

**TO:** CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION  
**FROM:** Seimone Jurjis, Community Development Director  
Brenda Wisneski, Deputy Community Development Director  
**SUBJECT:** Report of actions taken by the Planning Division staff for the week ending September 1, 2017.

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**COMMUNITY DEVELOPMENT DIRECTOR  
OR PLANNING DIVISION STAFF ACTIONS**  
(Non-Hearing Items)

- Item 1: Comprehensive Sign Program No. CS2017-007 (PA2017-109)  
Site Address: 2500 San Joaquin Hills Road  
Action: Approved Council District 7
- Item 2: Comprehensive Sign Program No. CS2017-008 (PA2017-130)  
Site Address: 401 Old Newport Boulevard  
Action: Approved Council District 2

**APPEAL PERIOD:** An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949-644-3200.



## COMMUNITY DEVELOPMENT DEPARTMENT

### PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915  
949-644-3200

[www.newportbeachca.gov](http://www.newportbeachca.gov)

## **ZONING ADMINISTRATOR ACTION LETTER**

**Application No.** Comprehensive Sign Program No. CS2017-007 (PA2017-109)

**Applicant** Sorin Enache

**Site Location** 2500 San Joaquin Hills Road  
Harbor View Mobil Service Station  
Comprehensive Sign Program

**Legal Description** Parcel 3 of Resubdivision No. 0284, being a portion of Block 93, or Irvine's subdivision per map recorded in Book 1, Page 88, Miscellaneous Record Maps, Records of Orange County, California.

On **September 1, 2017**, the Zoning Administrator approved Comprehensive Sign Program No. CS2017-007. This approval is based on the following findings and subject to the following conditions.

### **PROJECT SUMMARY**

A request to modify Comprehensive Sign Program No. CS2015-136 (PA2015-136), to allow additional service station signage for Exxon Mobil. The proposed application would add two blade signs and four pump number wedges at the fuel dispensers. Additionally, two existing monument signs already authorized by the sign program would be refaced.

### **ZONING DISTRICT/GENERAL PLAN**

- **Zone:** CN (Commercial Neighborhood)
- **General Plan:** CN (Neighborhood Commercial)

### **I. PROJECT DESCRIPTION**

Signage for all of Harbor View Shopping Center was originally approved under Comprehensive Sign Program No. CS2013-013 and Modification Permit No. MD2013-018 (PA2013-201). Additional signage for the service station was added through an amendment under Comprehensive Sign Program No. CS2015-009 (PA2015-136).

The existing sign program allows for two freestanding monument signs, two canopy signs, two building wall signs to identify the service station, three walls signs over the service

bays to identify the services offered on the south elevation, where the Zoning Code limits the number of wall signs to one per building frontage.

## **II. FINDINGS**

In accordance with Section 20.42.120 (Comprehensive Sign Program Standards) of the Newport Beach Municipal Code, the following standards and facts in support of such standards are set forth:

### Standard:

- A. *The proposed sign program shall comply with the purpose and intent of this Chapter [Chapter 20.42], any adopted sign design guidelines and the overall purpose and intent of this Section [Section 20.42.120].*

### Facts in Support of Standard:

1. The proposed Comprehensive Sign Program complies with the purpose and intent of the Newport Beach Municipal Code Chapter 20.42 (Sign Standards) because it provides the service station with adequate identification while guarding against an excessive sign proliferation. The proposed project is in compliance with the service station sign guidelines (Section 20.42.080.K.3), with the exception of the number of signs approved through the Comprehensive Sign Program. The Comprehensive Sign Program preserves and enhances community appearance by regulating the type, size, location, quantity, and illumination of signs.
2. The purpose of a comprehensive sign program is to integrate all of a project's signs. A comprehensive sign program provides a means for the flexible application of sign regulations for projects that require multiple signs in order to provide incentive and latitude in the design and display of signs, and to achieve, not circumvent, the purpose of Chapter 20.42. A comprehensive sign program can authorize more than three (3) signs for a single-tenant development. This approval integrates all of the signs for the service station while meeting the purpose and intent of Chapter 20.42.
3. The wall signs for tenant identification are located above the windows and doors on the tower element of the building where the architectural design of the building suggests placement of a sign. The wall signs over the service bays provide for identification of services offered on the south elevation.
4. The proposed fuel pump blade and wedge signs will help to identify the fuel type and pump numbers for customer's convenience.
5. The Comprehensive Sign Program is consistent with the Citywide Sign Design Guidelines because the proposed signs are designed to be compatible with the building design in terms of scale, size, and materials. The proposed signs are designed to effectively communicate a commercial message without creating sign clutter through the use of legible text that contrasts with the background. The location

and relative size of the signs do not dominate, but rather are consistent with the proportions of the façade and pumps on which they are located.

Standard:

- B. The proposed signs shall enhance the overall development, be in harmony with, and relate visually to other signs included in the Comprehensive Sign Program, to the structures and/or developments they identify, and to surrounding development when applicable.*

Facts in Support of Standard:

1. The service station is located on a corner parcel within the Harbor View Shopping Center (Center). The Zoning Administrator previously approved a Comprehensive Sign Program and Modification Permit to regulate the signs for the Center on December 12, 2013 and amended the Comprehensive Sign Program on August 27, 2015. The number and location of the proposed additional fuel pump blade and wedge signs will not create an overabundance of signage that would have a detrimental effect on the neighborhood.
2. All proposed signage will integrate well with the character and architectural style of the recently remodeled building by maintaining complementary sign location, size, color, and materials. The building paint colors include beige and tan, and the proposed signs are blue with red accents.

Standard:

- C. The sign program shall address all signs, including permanent, temporary, and exempt signs.*

Facts in Support of Standard:

1. The proposed Comprehensive Sign Program addresses all project signage for the service station. The signs for the other tenants within the shopping center are authorized under the previously approved Comprehensive Sign Program and Modification Permit.
2. Temporary and exempt signs not specifically addressed in the sign program shall be regulated by the provisions of Chapter 20.42 (Sign Standards) of the Zoning Code, and are included in the sign program.

Standard:

- D. The sign program shall accommodate future revisions that may be required because of changes in use or tenants.*

Facts in Support of Standard:

1. The sign program has been designed to be effective for the service station by establishing allowed type, number, location, design, and size of signage, with flexibility to accommodate any existing and future tenants. Proposed signs for a change of tenant or use from the service station could be approved pursuant to the sign provisions within Chapter 20.42.
2. It is not anticipated that future revisions of the Comprehensive Sign Program will be necessary to accommodate changes in tenants or uses. However, the Community Development Director may approve signs that substantially conform to the sign program if the intent of the original approval is not affected and said signs conform to the Zoning Code.

Standard:

- E. The program shall comply with the standards of this Chapter, except that deviations are allowed with regard to sign area, total number, location, and/or height of signs to the extent that the Comprehensive Sign Program will enhance the overall development and will more fully accomplish the purposes and intent of this Chapter.*

Facts in Support of Standard:

1. The Comprehensive Sign Program allows for deviations with regard to the number and location of wall signs. The approval conforms to the intent of Chapter 20.42, and enhances the overall development by integrating all of the service station signs with the building design into a unified architectural statement.
2. The requested deviation to the sign type allows for fuel pump blade and wedge signs to better identify fuel type and pump numbers.
3. The location of wall signs allow placement of the tenant identification signs on the tower element of the building where the architectural design of the building suggests placement of a sign instead of centered on the elevation. The number and location of signs provide consistent design to enhance the use identification and customer experience.

Standard:

- F. The Approval of a Comprehensive Sign Program shall not authorize the use of signs prohibited by this Chapter [Chapter 20.42].*

Facts in Support of Standard:

1. The program does not authorize the use of prohibited signs.

Standard:

- G. *Review and approval of a Comprehensive Sign Program shall not consider the signs' proposed message content.*

Facts in Support of Standard:

1. The content of the signs was not considered and the proposed Program does not contain any regulations regarding sign message content.

**III. CONDITIONS**

1. The development shall be in substantial conformance with the approved sign matrix and plans stamped and dated with the date of this approval, except as modified by applicable conditions of approval.
2. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
3. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Comprehensive Sign Program.
4. This Comprehensive Sign Program may be modified or revoked by the Zoning Administrator if determined that the proposed project or conditions under which it is being operated or maintained is detrimental to the public health, welfare, or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
5. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner, or the leasing agent.
6. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 Planning and Zoning of the Newport Beach Municipal Code.
7. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Harbor**

**View Mobil Service Station Comprehensive Sign Program** including, but not limited to, the **CS2017-007 (PA2017-109)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

**APPEAL PERIOD:** An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

On behalf of Patrick J. Alford, Zoning Administrator

By:



Makana Nova  
Associate Planner

JWC/mkn

- Attachments:
- ZA 1 Vicinity Map
  - ZA 2 Sign Program Matrix
  - ZA 3 Project Plans
  - ZA 4 Plans for PA2015-136 that show previously approved service station signs
  - ZA 5 Excerpt from Plans for PA2013-201 that show previously approved service station signs

# **Attachment No. ZA 1**

Vicinity Map



## VICINITY MAP



Comprehensive Sign Program No. CS2017-007  
PA2017-109

**2500 San Joaquin Hills Road**

# **Attachment No. ZA 2**

Sign Program Matrix



# Comprehensive Sign Program Matrix Worksheet

Community Development Department  
 Planning Division  
 100 Civic Center Drive / P.O. Box 1768 / Newport Beach, CA 92658-8915  
 (949)644-3204 Telephone / (949)644-3229 Facsimile  
[www.newportbeachca.gov](http://www.newportbeachca.gov)

Mobil Service Station Sign Program CS2017-007 (PA2017-109)

This Sign Matrix supersedes the service station signs requirements from the PA2015-136 and PA2013-201 Sign Matrices. All other provisions shall remain in full effect.

Building Address	Primary Frontage Sign Regulations	Secondary Frontage Sign Regulations
2500 San Joaquin Hills Road  Canopy Signs	<i>Regulations carried over from PA2013-201</i> Facing East Maximum number of signs: 1 (one) Maximum area: 1.5 square feet/linear foot of canopy length or max area of 75 sq ft, whichever is less. Maximum letter/logo height: 24 inches	<i>Regulations carried over from PA2013-201</i> Facing South Maximum number of signs: 1 (one) Maximum area: 1.5 square feet/linear foot of canopy length or max area of 75 sq ft, whichever is less. Maximum letter/logo height: 24 inches
2500 San Joaquin Hills Road  Wall Signs	<i>Regulations carried over from PA2015-136</i> Facing South Maximum number of signs: 1 (one) Maximum area: 1.5 square feet/linear foot of tower element frontage or max area of 75 sq ft, whichever is less. Maximum letter/logo height: 36 inches	<i>Regulations carried over from PA2015-136</i> Facing San Joaquin Hills Road Maximum number of signs: 1 (one) Maximum area: 1 square foot/linear foot of tower element frontage or max area of 37.5 sq ft, whichever is less. Maximum letter/logo height: 36 inches
2500 San Joaquin Hills Road  Service Bay Wall Signs	<i>Regulations carried over from PA2015-136</i> Facing South Maximum number of signs: 3 (three) Maximum area: 10 square feet Maximum letter/logo height: 12 inches	

Sign Type	Sign Regulations
Service Station Freestanding (Fuel Price Sign)  On San Miguel Drive	<i>Regulations carried over from PA2013-201</i> Maximum number of signs: 1 (one) Maximum area: 37 square feet Maximum height: 8 feet 7.25 inches Maximum average height: 8 feet Maximum width: 4 feet 7 inches Maximum letter/logo height: 36 inches
Service Station Freestanding (Fuel Price Sign)  On San Joaquin Hills Road	<i>Regulations carried over from PA2013-201</i> Maximum number of signs: 1 (one) Maximum area: 34 square feet Maximum height: 7 feet 4 inches Maximum width: 4 feet 7 inches Maximum letter/logo height: 36 inches
Service Station Fuel Pump Blade Sign	Maximum number of signs: 2 (two) Maximum area: 4 square feet Maximum height: 1-foot Maximum width: 4 feet

	Maximum letter/logo height: 36 inches
Number Wedge	Maximum number of signs: 4 (four) Maximum area: 1-square-foot Maximum height: 1-foot 3 inches Maximum width: 10 inches Maximum letter/logo height: 12 inches
Temporary	<i>Regulations carried over from PA2015-136</i> Shall be regulated by the provisions of Chapter 20.42.090 (Standards for Temporary Signs)
Exempt	<i>Regulations carried over from PA2015-136</i> Shall be regulated by the provisions of Chapter 20.42.100 B (Exemptions to sign permit requirement)

NOTE: Minor changes in sign type, location, and sizes specified in this matrix may be approved by the Community Development Director.

# **Attachment No. ZA 3**

Project Plans

# Sign Program

2500 San Joaquin Hills Rd  
Corona Del Mar, CA 92625



# Purpose

## 1. Purpose and Intent

The purpose of this sign program is to ensure that the signage at **2500 San Joaquin Hills Road** reflects the integrity and overall aesthetic values of the Landlord and the **City of Corona Del Mar**. Conformity with this program will be strictly enforced, and any non-conforming signs will be removed by the Landlord at the expense of the tenant.

## 2. General Landlord / Tenant Requirements

Prior to manufacture of any sign in **2500 San Joaquin Hills Road**, the Tenant shall submit to Landlord for written approval, two copies of the detailed sign drawings. These drawings shall include the building elevation to which the signs are to be attached, sign dimensions, graphics, location, colors, and method of attachment. This approval by Landlord must be obtained prior to submittal to the **City of Corona Del Mar**. A copy of Landlord approval of requested tenant sign shall be turned in to the City in addition to the required City application for approval of signage.

All signs shall be reviewed for conformance with this criteria and overall design quality. Approval or disapproval of sign submittals based on aesthetics of design shall remain the sole right of the Landlord.

## 3. Permit

Prior to the manufacturing and installation of any sign, the Tenant shall obtain a sign permit from the **City of Corona Del Mar**.

## 4. After the Project is Approved

The tenant shall pay for all signs, related materials, and installation fees (including final inspection costs). It is the responsibility of the tenant's sign company to verify all conduit and transformer locations and service access prior to fabrication. All tenant signs shall be installed after City permits are secured, within 30 days of permitting.

## 5. Upon Tenant Vacating/Leaving Property

In the event a tenant vacates his/her premise, it is his/her responsibility to patch all holes and paint surface(s) to match existing color of fascia. In addition, the tenant shall provide a blank panel for any freestanding sign he occupies. Landlord reserves the right to periodically hire an independent electrical engineer, at Tenant's sole expense, to inspect the installation of all Tenant's signs. Tenants will be required to have any discrepancies and/or code violations corrected at Tenant's expense. Any code violations, requests for sign removals, or discrepancies not corrected within fifteen (15) days of notice, may be corrected by the Landlord at Tenant's expense

## 6. General Specifications

Tenant fascia signs will be limited to tenant's name & Logo. Sign widths shall be limited to 70 percent of tenant's leasehold width, and also shall not exceed the general sizes outlined.

Signs shall be fabricated per the specifications shown. All signs and their installation shall comply with all local building and electrical codes.

All electrical signs will be fabricated by a U.L. approved sign company, according to U.L. specifications. Sign company to be fully licensed with the City and State and shall have full workman's compensation and 1 million dollar general liability insurance. All penetrations of exterior fascia are to be sealed watertight (color and finish to match existing building exterior).

All conduits, transformers, junction boxes and openings in building surfaces shall be fully concealed within the interior walls of the building. Exposed hardware shall be finished in a manner consistent with quality fabrication practices. All signs shall have its sign permit number, name of fabricator, date of installation and voltage in a visible location.

Any tenant sign left thirty (30) days after vacating premises shall become the property of the Landlord unless previous arrangements have been agreed upon by Landlord and tenant.

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(P) 818.993.5406 (F) 818.993.3174

State Licence 853228 

### Job Location

2500 San Joaquin Hills Rd  
Corona Del Mar, CA 92625

### Owner Information

Circle K Stores, Inc  
Jorge Prieto  
255 E Rincon St, Suite 100  
Corona, CA 92879  
951-270-5118

### Project Information

Project — SIGN PROGRAM  
Designed by — CP  
Date — 7.3.2017

SIGN PROGRAM

# Guidelines

## 1. Signage Allowed

**Building Fascias:** Electrical signs such as freestanding channel lettering are allowed. Both frontal illuminated and reverse illuminated Channel lettering. Logo cans are also allowed. Non-Illuminated channel lettering can be used as well. Banners are only allowed during a soft rebrand and are permitted subject to an approved Temporary Sign Permit from the City of Laguna Hills.

**Refueling Station Elements:** Pump imaging including graphics, illuminated valances, and architectural accents are allowed. Accents can not exceed 40 sqft per side. An accent can include a standalone decorative unit, spanner, advertisement frame and or payment kiosk. Column signs that do not exceed 20% of the column height and regulatory signs required by the state are also allowed. All illuminated elements must use energy efficient LED's.

**Windows:** Window wraps and decals are allowed. No window decal shall exceed 20% of the visible windows square footage.

**Freestanding Signs:** A maximum of three freestanding signs are allowed on the site at one time. One for each side elevation and one for the street corner. Signage must display state required information and not exceed 37.5 sq feet in any dimension. Pole Signs are prohibited.

## 2. Signage Not Allowed

**Building Fascias:** Painted signs are not allowed. Neon or signs with exposed lightbulbs/LED's are prohibited. Boxes, cloud/contour can, and fluorescent bulb/tube illuminated signs are prohibited. Signage that is too low or exceeds the designated area are prohibited. Hanging Signage is prohibited. Signs that have not been permitted by the city or meet building safety codes are strictly prohibited.

**Walls and Roof:** Signage is prohibited where it is not designated by this guide with the exception of signage required by building & safety codes.

**Windows:** Window wraps and decals that exceed 20% of the visible windows square footage.

**Floor Signs:** Floor Signs of any type such as a freestanding flag are prohibited.

**Additional Rules:** There shall be no flashing, moving, or audible signs. Signs that interfere with traffic or any sign which simulates or imitates in size, color, lettering or design any traffic sign or signal, or which makes use of the words "STOP", "LOOK", "DANGER" or any other words, phrases, symbols or characters in such a manner as to interfere with, mislead, or confuse traffic are prohibited. Signs must be architecturally compatible with the site and receive approval of Landlord and City

## 2. Signage Not Allowed CTD.

zoning/planning and building departments.

## 3. Signage Construction

All signage must be manufactured to conform to local electrical & building codes and must be manufactured to U.L. Standards by a U.L. approved vendor. All signs must be colored with durable outdoor paint and use high quality materials.

## 4. Signage Maintenance

All signage must be periodically maintained and upkept. Signage with burnt-out lights must be repaired within 30 days of failure. Signs that have cracked vinyl or paint must be refaced and repainted promptly. Electrical must be observed to be safe and up to current building codes.

## 5. Permit

All signage in this program are to be permitted through the city and approved by the property owner prior to manufacture. Electrical or freestanding signage that does not have a permit is prohibited.

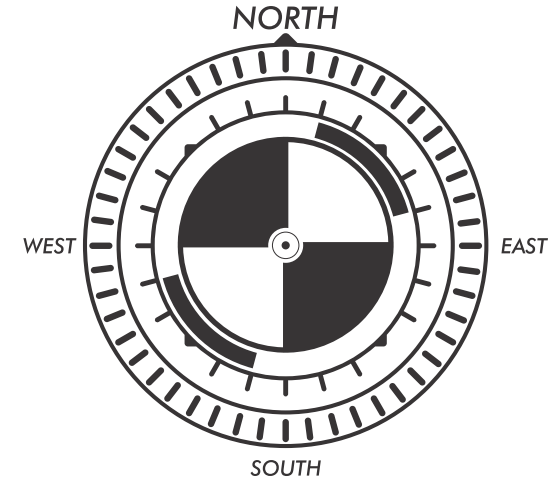
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SIGN CO., INC Family  
**21034 Osborne St. Canoga Park, CA 91304**  
**(P) 818.993.5406 (F) 818.993.3174**  
State Licence 853228 

Job Location	Owner Information	Project Information
2500 San Joaquin Hills Rd Corona Del Mar, CA 92625	Circle K Stores, Inc Jorge Prieto 255 E Rincon St, Suite 100 Corona, CA 92879 951-270-5118	Project — SIGN PROGRAM Designed by — CP Date — 7.3.2017

SIGN PROGRAM



# Site Plan



**LEGEND**

- A** Canopy  
— No Signage
- B.1** Dispensers  
— No Signage
- B.2** Under Canopy Elements  
— 9.18 sqft total. See pg 12.
- C.1** Street Side Freestanding Signs (EXISTING)  
— 22.01 sqft per elevation 44.02 sqft total. See pg 15.
- C.2** Corner Freestanding Sign (EXISTING)  
— No Signage
- D** Convenience Store Channel Letters (Existing)  
— 23.28 sqft total. See page 15

76.48 Sqft Total

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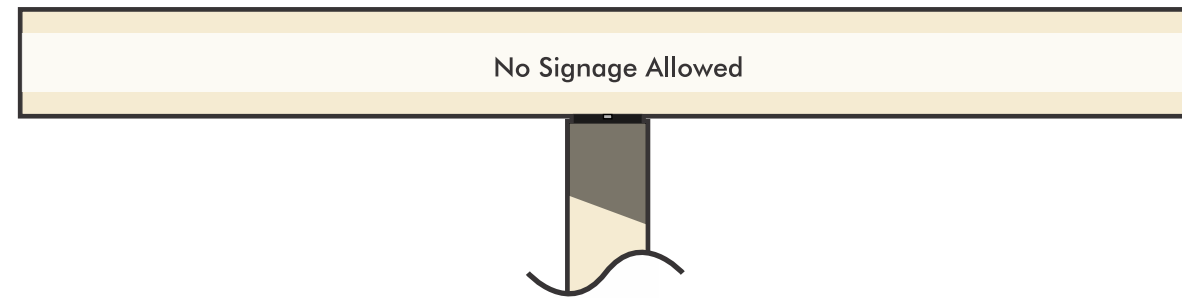
**Owner Information**  
 Circle K Stores, Inc  
 Jorge Prieto  
 255 E Rincon St, Suite 100  
 Corona, CA 92879  
 951-270-5118

**Project Information**  
 Project — SIGN PROGRAM  
 Designed by — CP  
 Date — 7.3.2017

SIGN PROGRAM

# Canopy

## North Elevation



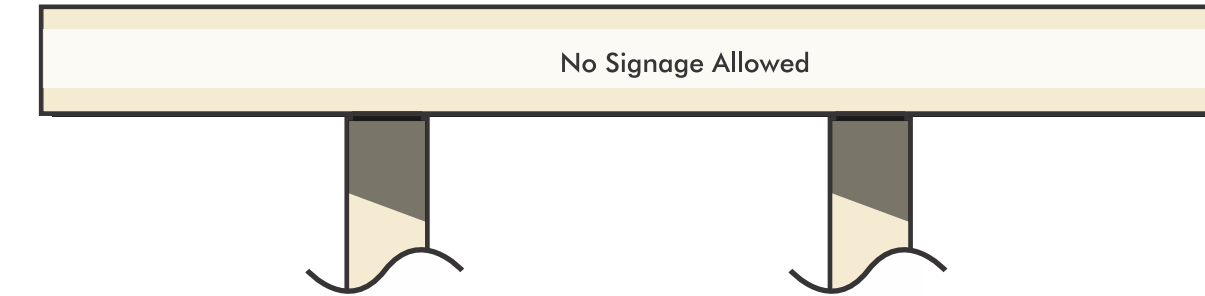
## South Elevation



## East Elevation



## West Elevation



Quantity: Maximum number of Canopy signs: one (1) per allowed side.

Size: The maximum area for Canopy signs is 1.5 square feet per linear foot of canopy length or max area of 75 square feet, whichever is less. Max letter/logo height is 24 inches.

All signs must be approved by Landlord and City of Corona Del Mar Prior To Installation


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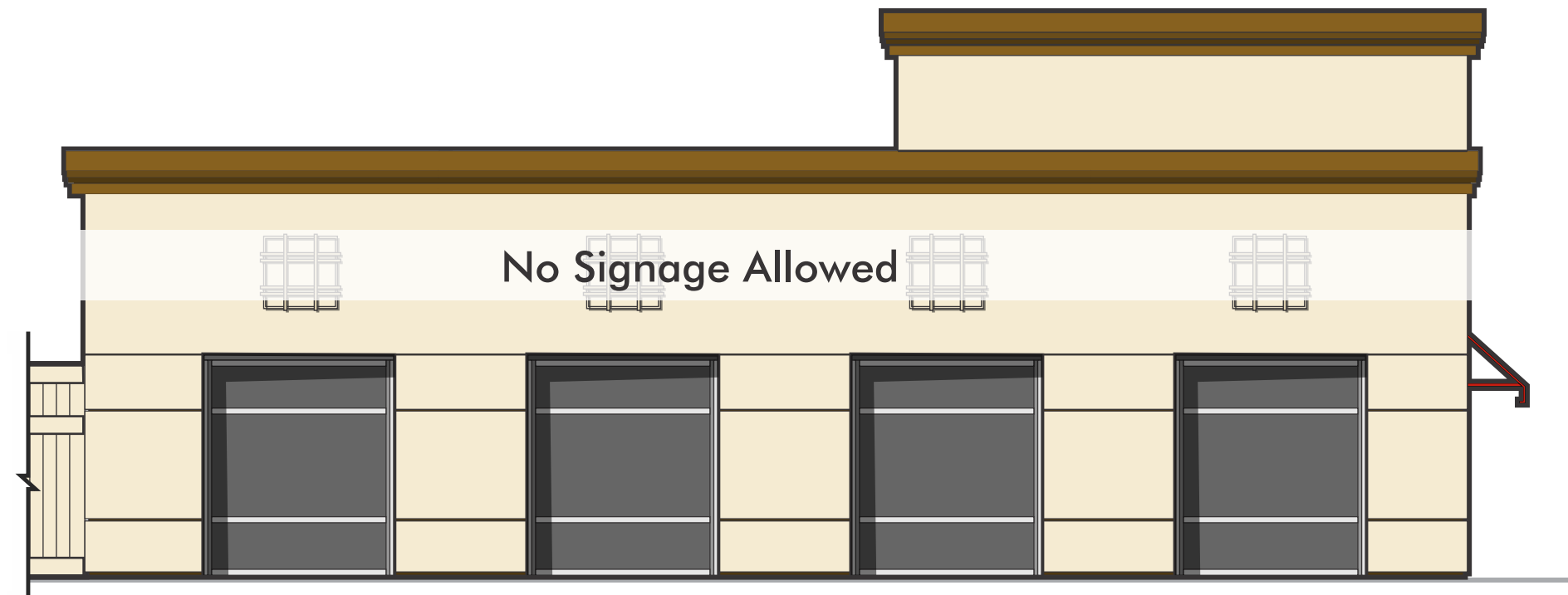
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Jorge Prieto  
255 E Rincon St, Suite 100  
Corona, CA 92879  
951-270-5118

### Project Information

Project — SIGN PROGRAM  
Designed by — CP  
Date — 7.3.2017

SIGN PROGRAM

# North Elevation



## Sign Details

Quantity: No Illuminated Signage Allowed. Only safety and emergency shutoff switch signs allowed. Safety signs to be aluminum with vinyl or screenprint graphics.

All signs must be approved by Landlord and City of Corona Del Mar Prior To Installation


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SIGN PROGRAM

# South Elevation



## Sign Details

**Quantity:** Maximum number of Store wall signs: one (1).  
Maximum number of Service Bay wall signs: three (3).

**Size:** The maximum area for primary wall signs is 1.5 square feet per linear foot of tower element frontage or max area of 75 square feet, whichever is less. Max letter/logo height is 36 inches.

Maximum area of Service Bay wall signs is 10 square feet total. Maximum letter/logo height is 12 inches.

**Depth:** Maximum depth of 6". Illuminated channel letters must have 5" return. Reverse illuminated channel letters have a maximum depth of 3" and can mounted no more than 3" from the wall.

**Installation:** Front lit channel letters are to be installed flush to the wall. Letters are required to have a self contained electrical systems, disconnect switch and be connected to a U.L. approved transformer.

**Construction:** Channel letters should be fabricated from aluminum, with .063" thick returns, 3/16" acrylic faces, and 3/4"-1" trimcaps.

All signs must be approved by Landlord and City of Corona Del Mar Prior To Installation


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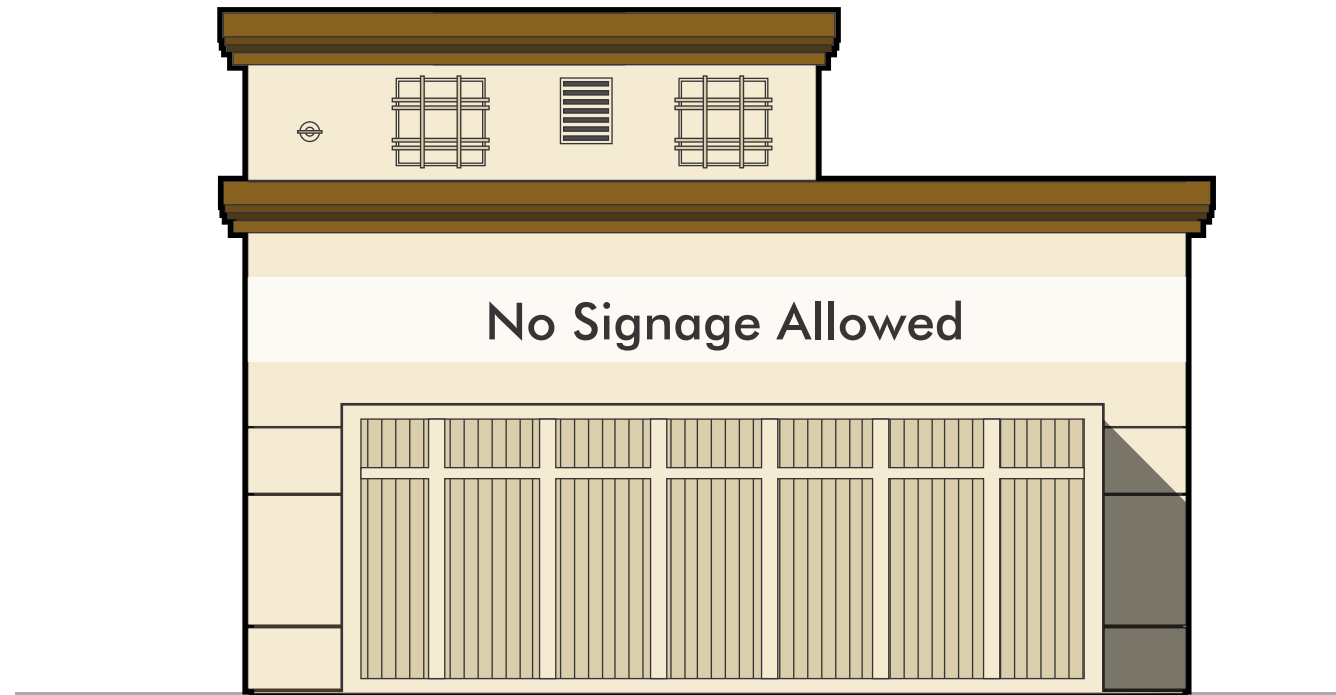
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SIGN PROGRAM

# East Elevation



## Sign Details

Quantity: No Illuminated Signage Allowed. Only safety and emergency shutoff switch signs allowed. Safety signs to be aluminum with vinyl or screenprint graphics.

All signs must be approved by Landlord and City of Corona Del Mar Prior To Installation


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SIGN PROGRAM

# West Elevation



## Sign Details

**Quantity:** Maximum number of Store wall signs: one (1).

**Size:** The maximum area for secondary wall signs is 1 square feet per linear foot of tower element frontage or max area of 37.5 square feet, whichever is less. Max letter/logo height is 36 inches.

**Depth:** Maximum depth of 6". Illuminated channel letters must have 5" return. Reverse illuminated channel letters have a maximum depth of 3" and can mounted no more than 3" from the wall.

**Installation:** Front lit channel letters are to be installed flush to the wall. Letters are required to have a self contained electrical systems, disconnect switch and be connected to a U.L. approved transformer.

**Construction:** Channel letters should be fabricated from aluminum, with .063" thick returns, 3/16" acrylic faces, and 3/4"-1" trimcaps.

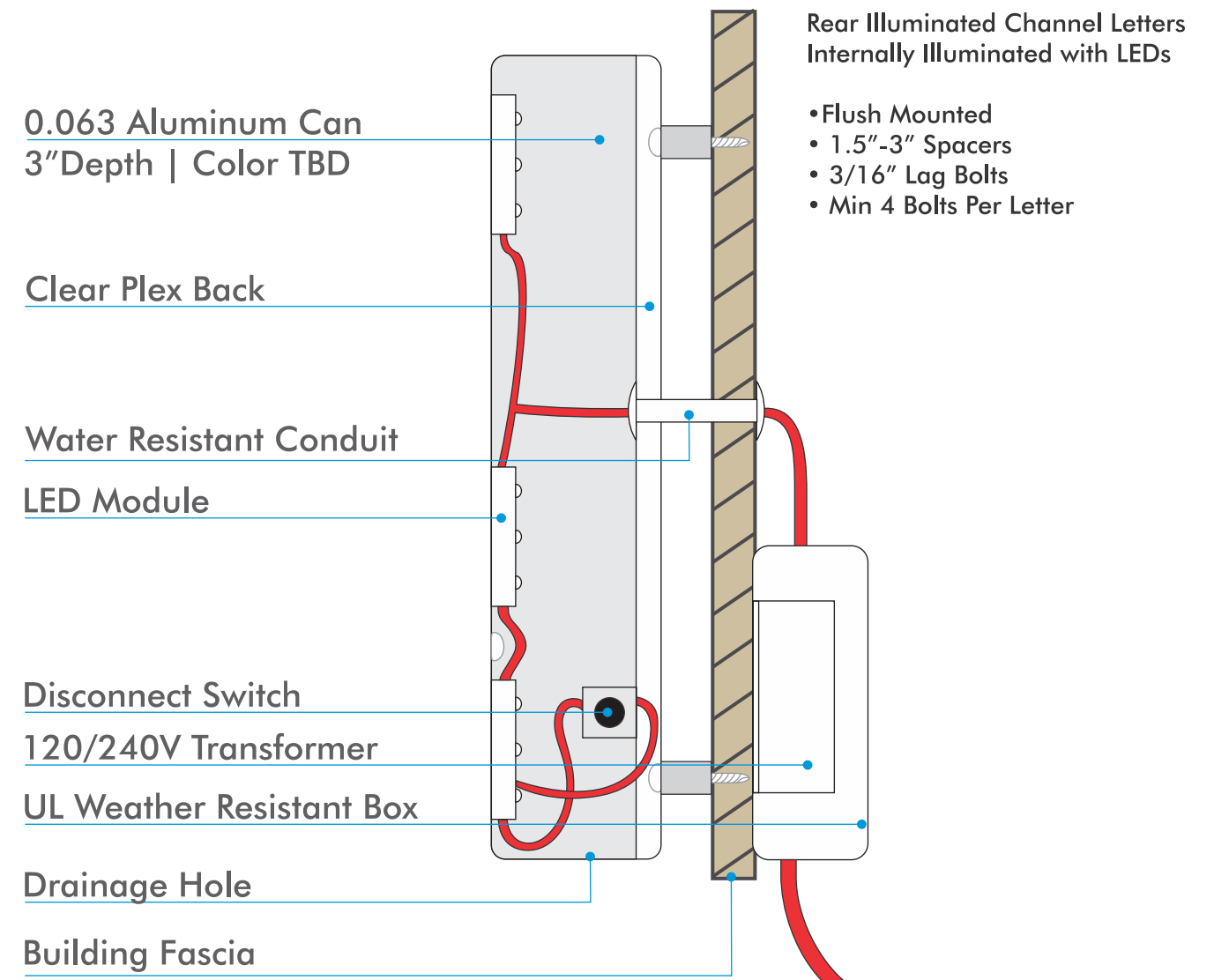
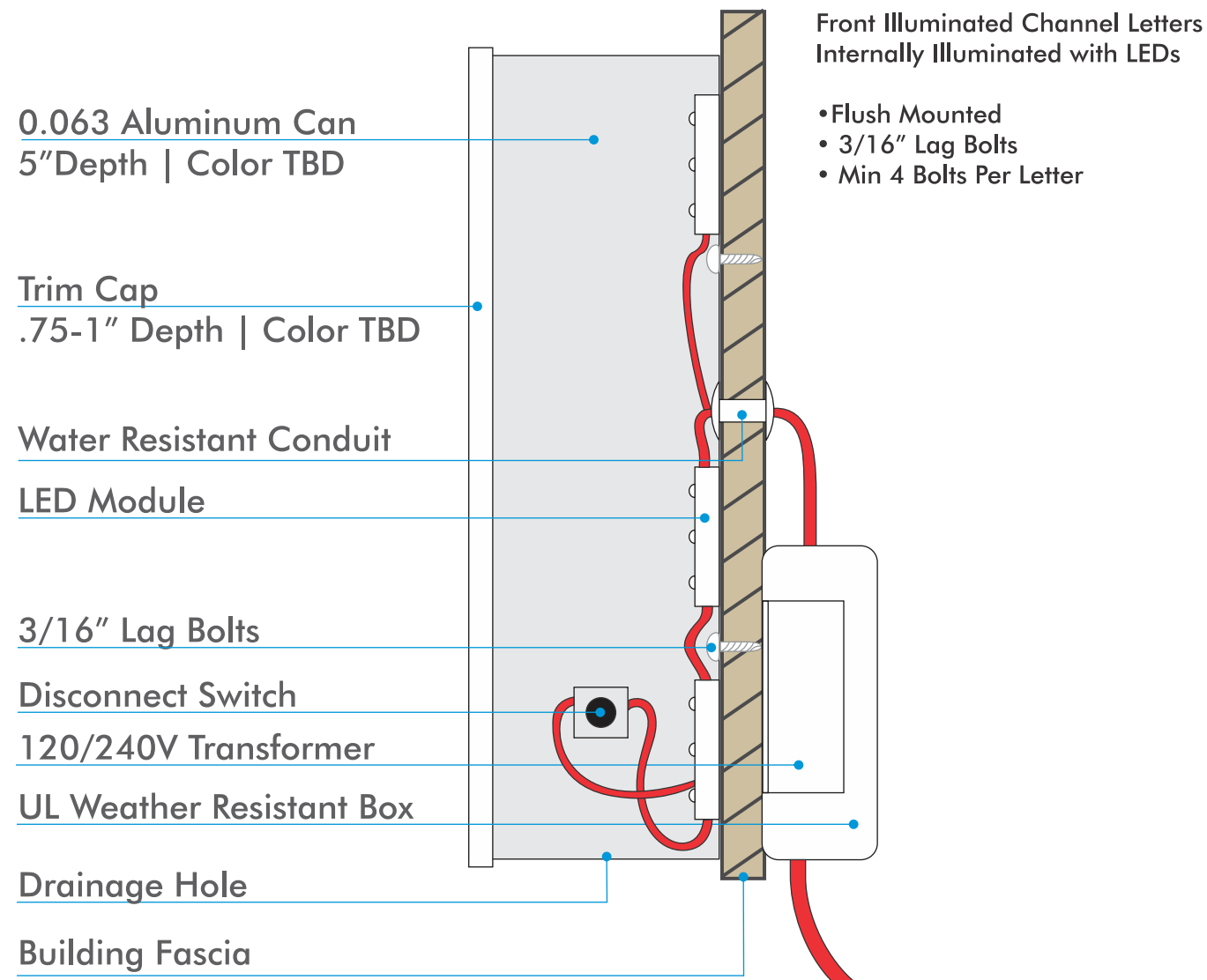
All signs must be approved by Landlord and City of Corona Del Mar Prior To Installation


**PROMOTION PLUS  
SIGN CO., INC.**  
*"The Imaging Experts"*  
Now part of the PROMOTION PLUS SIGN CO., INC Family  
*O'Connor Electric*  
 21034 Osborne St. Canoga Park, CA 91304  
 (P) 818.993.5406 (F) 818.993.3174  
 State Licence 853228

Job Location	Owner Information	Project Information
2500 San Joaquin Hills Rd Corona Del Mar, CA 92625	Circle K Stores, Inc Jorge Prieto 255 E Rincon St, Suite 100 Corona, CA 92879 951-270-5118	Project — SIGN PROGRAM Designed by — CP Date — 7.3.2017

SIGN PROGRAM

## Channel Letter/Box Sign Construction



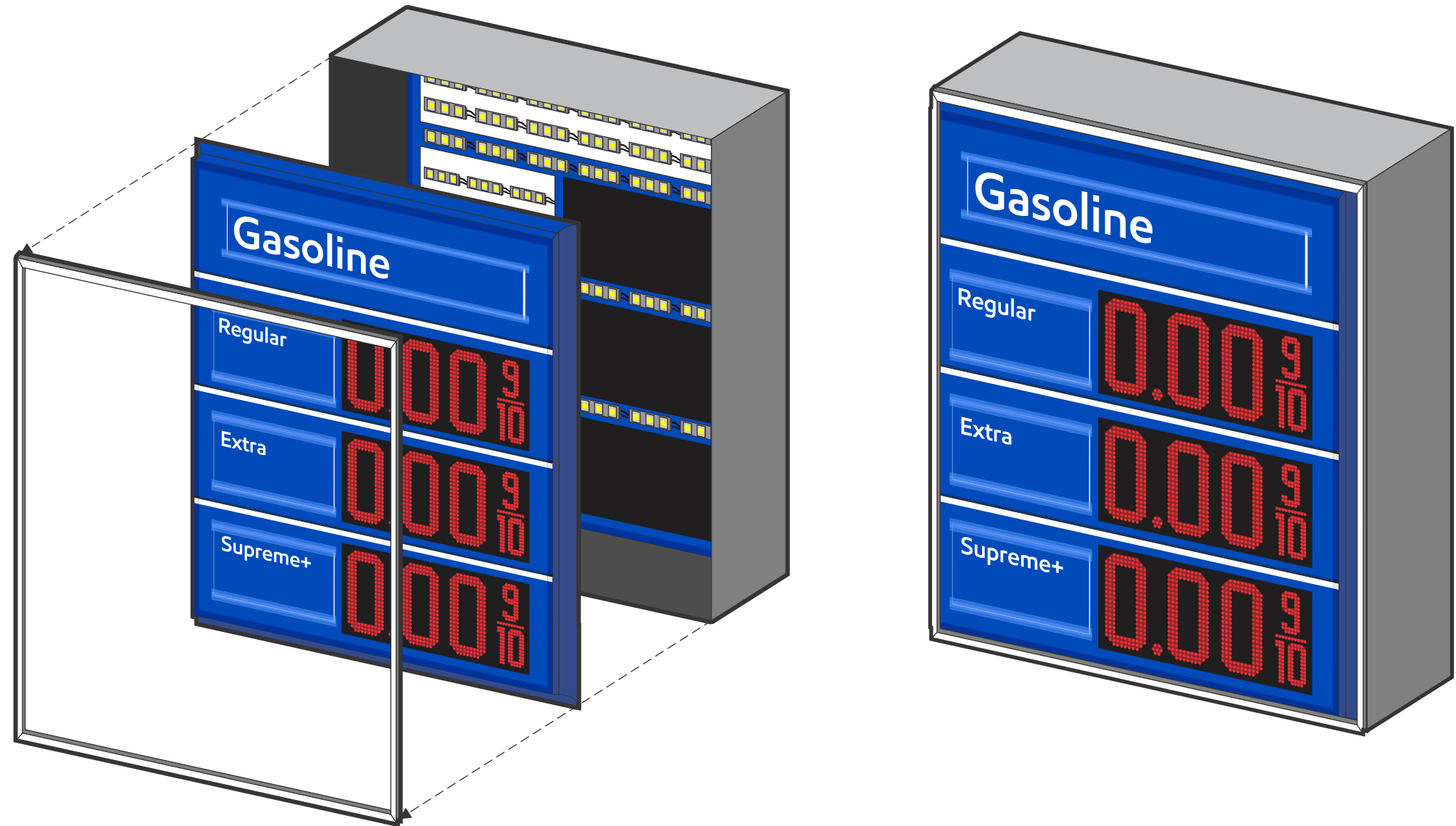
# Sign Construction

## Cabinet Pricer Sign

This is the current Sign construction for the street side freestanding signs (C.1)  
The Signs are existing.



Refacing existing signs/faces within same cabinet for both signs on site.



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*McDonnell Electric* Now part of the PROMOTION PLUS SIGN CO., INC Family

21034 Osborne St. Canoga Park, CA 91304  
(P) 818.993.5406 (F) 818.993.3174

State Licence 853228

**Job Location**  
2500 San Joaquin Hills Rd  
Corona Del Mar, CA 92625

**Owner Information**  
Circle K Stores, Inc  
Jorge Prieto  
255 E Rincon St, Suite 100  
Corona, CA 92879  
951-270-5118

**Project Information**  
Project — SIGN PROGRAM  
Designed by — CP  
Date — 7.3.2017

SIGN PROGRAM



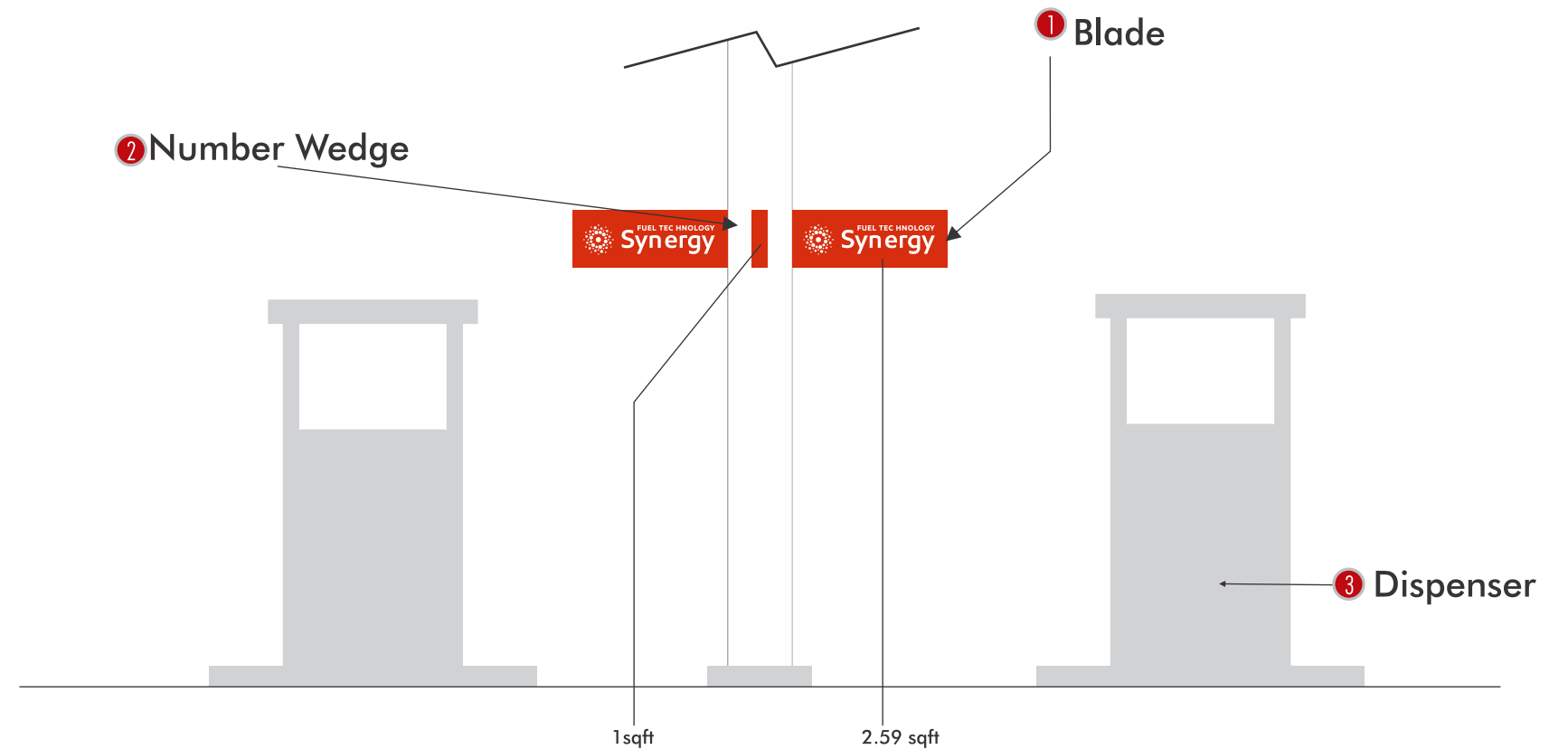
# Architectural Accents

The proposed is part of the Synergy imaging program by ExxonMobil. The program includes 3 elements which will be displayed on both column elevations.

The Synergy Fuels Program apertures are based on five key elements:

- 1 Blade:** A horizontal element which communicates the new Synergy Fuels brand. This serves as a visual continuation of the Wave and is located over the second tier of dispensers. The Blade includes a molded Brand Logo at the end of the Blade.  
 Maximum number signs: two(2)  
 Maximum area: 4 square feet  
 Maximum height: 1 foot  
 Maximum width: 4 feet  
 Maximum letter/logo height: 36 inches
- 2 Number Wedges:** These are simple wedges which are mounted on every canopy column above a dispenser, and clearly communicate the dispenser number.  
 Maximum number signs: four(4)  
 Maximum area: 1 square foot  
 Maximum height: 1 foot 3 inches  
 Maximum width: 10 inches  
 Maximum letter/logo height: 12 inches
- 3 Dispenser:** These are the units where Gasoline is dispensed from. No signage is to be installed on these.

## SOUTH ELEVATION

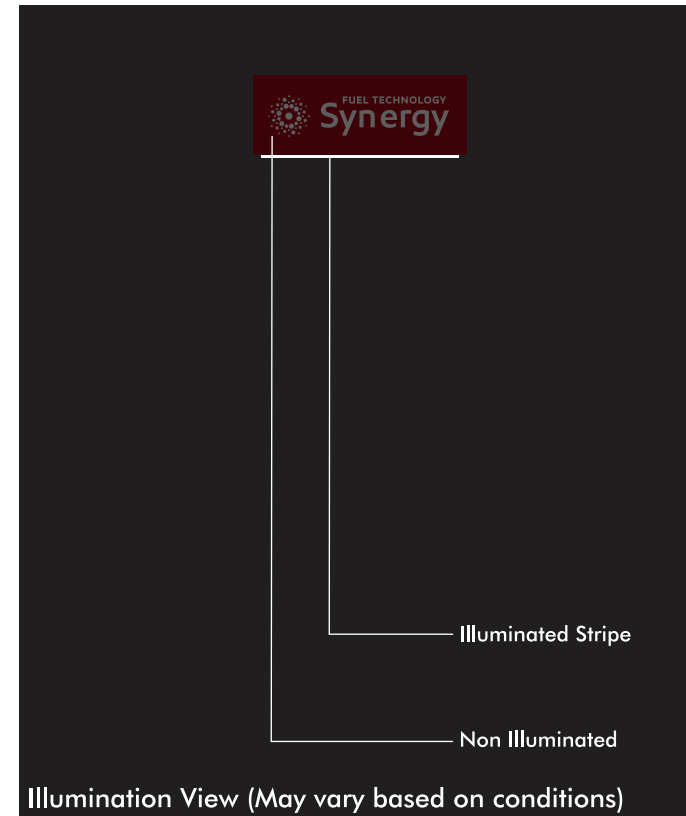
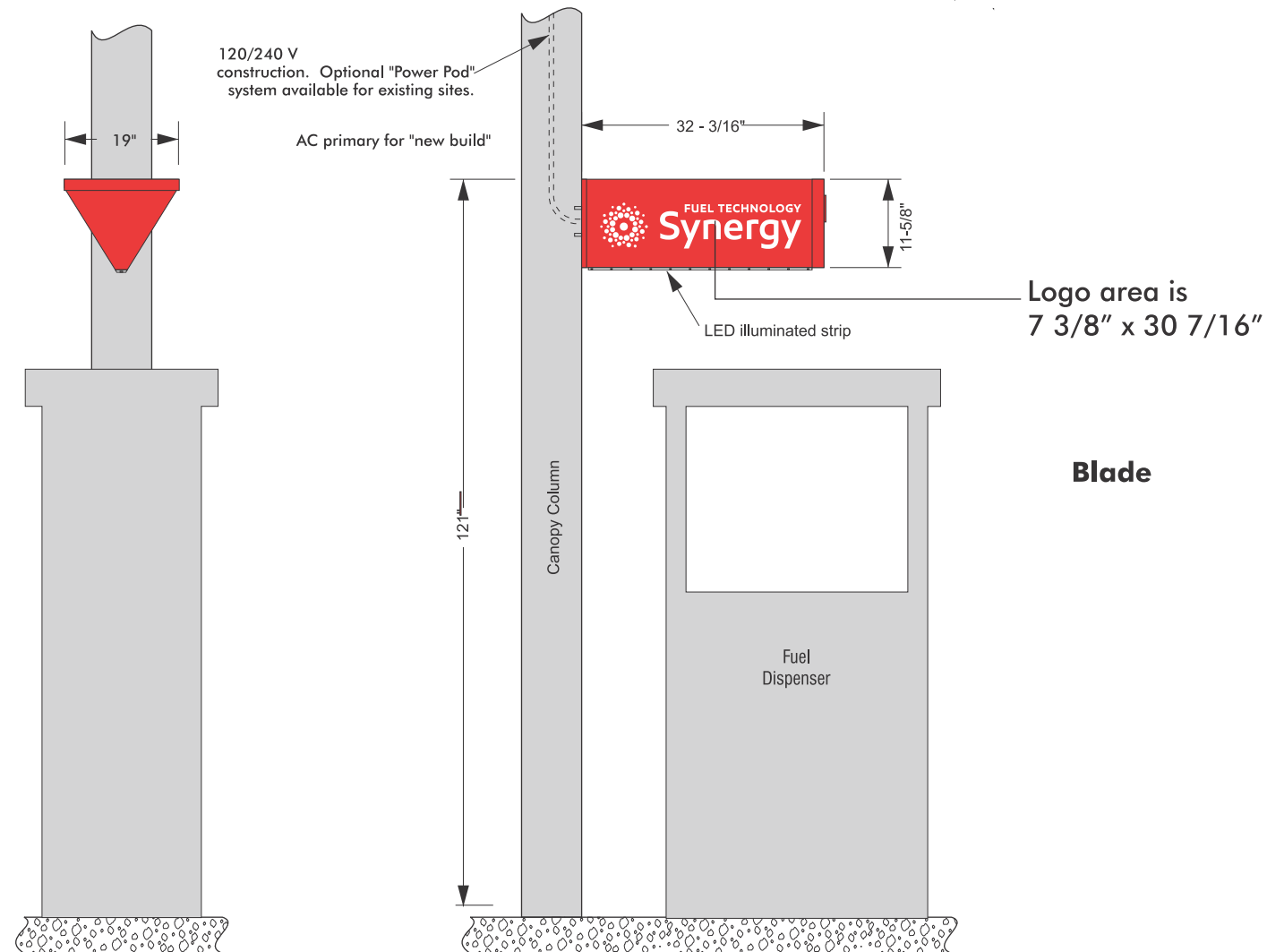



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**21034 Osborne St. Canoga Park, CA 91304**  
 (P) 818.993.5406 (F) 818.993.3174  
 State Licence 853228 

<b>Job Location</b> 2500 San Joaquin Hills Rd Corona Del Mar, CA 92625	<b>Owner Information</b> Circle K Stores, Inc Jorge Prieto 255 E Rincon St, Suite 100 Corona, CA 92879 951-270-5118	<b>Project Information</b> Project — SIGN PROGRAM Designed by — CP Date — 7.3.2017	SIGN PROGRAM

# Mobil Synergy Elements

## Blade



Blade

Approx 2.59 Sq Ft.

Details | Qty 2

Electrical Spec:

- Power supply Input 100-240VAC, 50/60Hz
- Output to LED's - 8.56 Watts or .071 Amps
- 544 lumen output
- IP68 rating
- -40c to +70c operating temp.
- White illumination

Structural Spec:

- Low density polyethylene (LDPE) frame around steel tube
- Acrylonitrile butadiene styrene (ABS) outer skin
- 50lbs total weight
- Structure rated at 120mph windload

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*"The Imaging Experts"*

*McDonner Electric* Now part of the PROMOTION PLUS SIGN CO., INC Family

21034 Osborne St. Canoga Park, CA 91304  
 (P) 818.993.5406 (F) 818.993.3174

State Licence 853228

**Job Location**

2500 San Joaquin Hills Rd  
 Corona Del Mar, CA 92625

**Owner Information**

Circle K Stores, Inc  
 Jorge Prieto  
 255 E Rincon St, Suite 100  
 Corona, CA 92879  
 951-270-5118

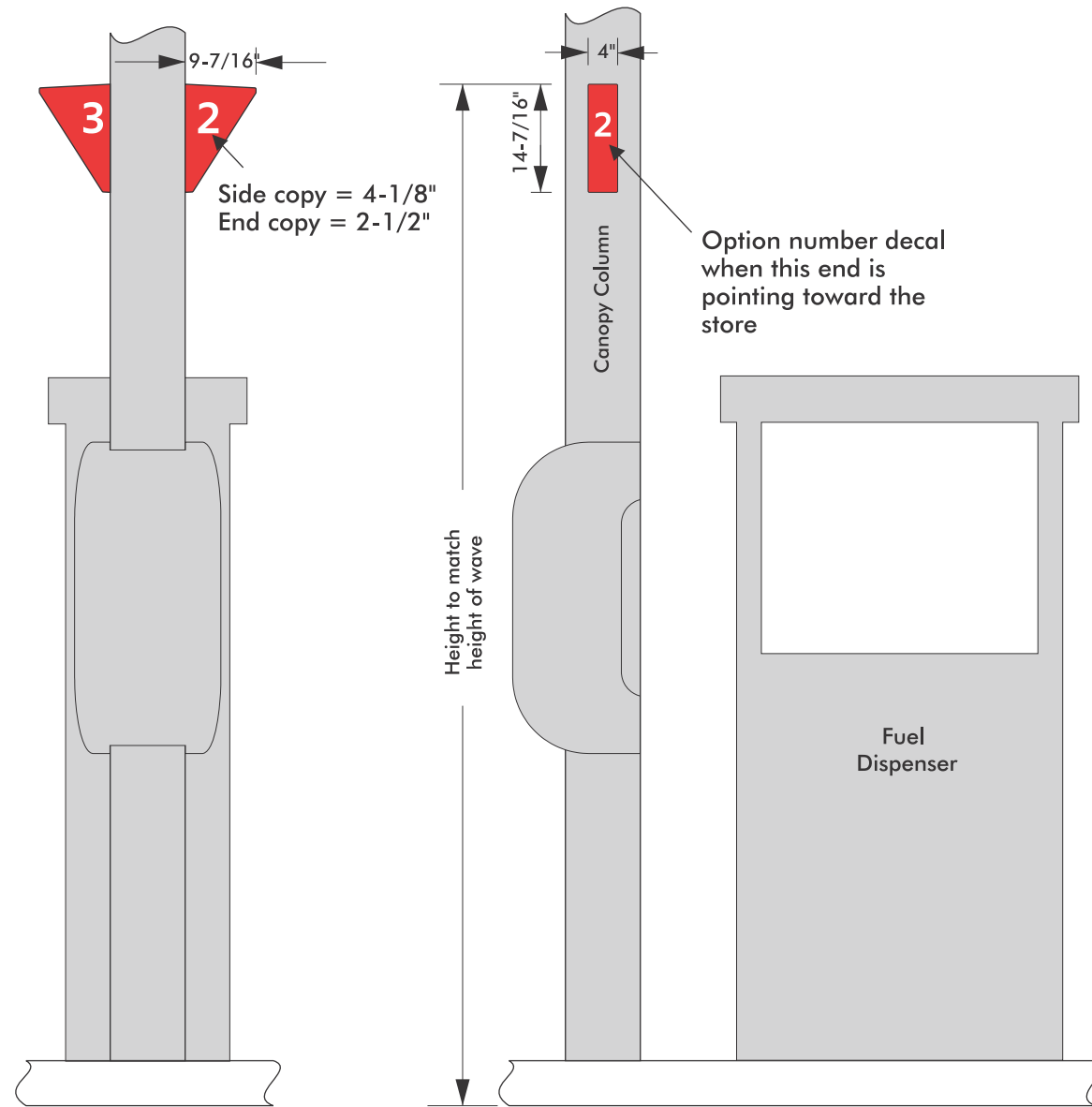
**Project Information**

Project — SIGN PROGRAM  
 Designed by — CP  
 Date — 7.3.2017

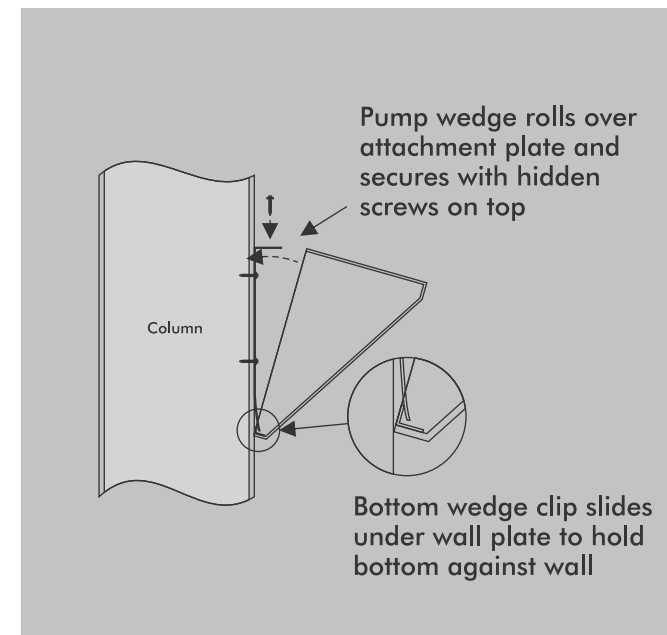
SIGN PROGRAM

# Mobil Synergy Elements

## Number Wedge - Detail/Installation components



### Mounting Detail



### Pump Number Wedge

1 sqft

#### Details | Qty 4

- Structural Spec:**
- Wedges are 2 sided, non-illuminated, with white vinyl graphics
  - Acrylonitrile butadiene styrene (ABS) skin with aluminum mounting plate
  - 2 lbs total weight
  - Structure rated at 120 mph wind load

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 21034 Osborne St. Canoga Park, CA 91304  
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#### Owner Information

Circle K Stores, Inc  
 Jorge Prieto  
 255 E Rincon St, Suite 100  
 Corona, CA 92879  
 951-270-5118

#### Project Information

Project — SIGN PROGRAM  
 Designed by — CP  
 Date — 7.3.2017

# Existing Signs

## Freestanding Signs



**Internally Illuminated**  
 Logo face 9" x 2'-4 3/4" 1.79ft<sup>2</sup>  
 Pricer Face 4'-4" x 4'-8" 20.22ft<sup>2</sup>



**Internally Illuminated**  
 Logo face 9" x 2'-4 3/4" 1.79ft<sup>2</sup>  
 Pricer Face 4'-4" x 4'-8" 20.22ft<sup>2</sup>

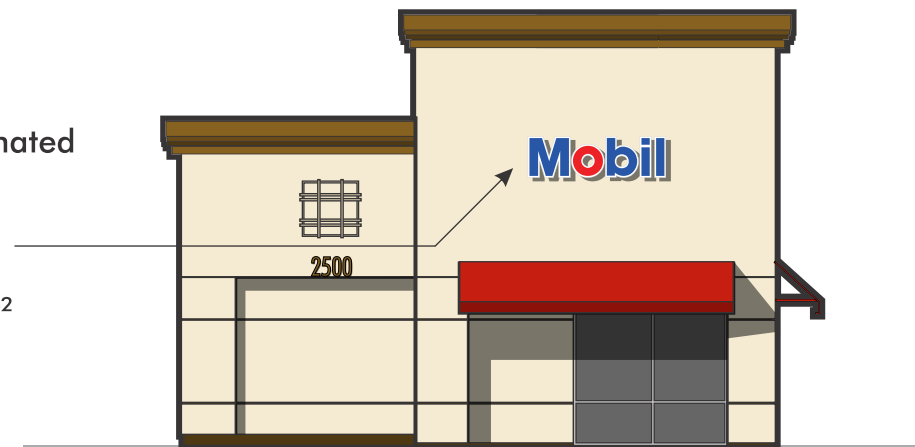
## Building Signs

Internally Illuminated  
 Channel Letters  
**Mobil Mart**  
 1'-4" x 8'-2" 10ft<sup>2</sup>



**Auto Service**  
 8" x 4'-8" 3.11ft<sup>2</sup>  
**Tires**  
 8" x 1'-9" 1.17ft<sup>2</sup>  
**Smog Check**  
 8" x 4'-9" 3.17ft<sup>2</sup>

Internally Illuminated  
 Channel Letters  
**Mobil**  
 1'-4" x 4'-4 1/2" 5.83ft<sup>2</sup>



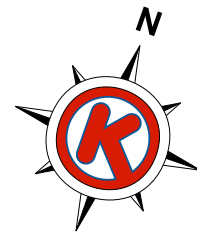
**PROMOTION PLUS SIGN CO., INC.**  
 "The Imaging Experts"  
*McDonner Electric* Now part of the PROMOTION PLUS SIGN CO., INC Family  
 21034 Osborne St. Canoga Park, CA 91304  
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Job Location	Owner Information	Project Information
2500 San Joaquin Hills Rd Corona Del Mar, CA 92625	Circle K Stores, Inc Jorge Prieto 255 E Rincon St, Suite 100 Corona, CA 92879 951-270-5118	Project — SIGN PROGRAM Designed by — CP Date — 7.3.2017

SIGN PROGRAM

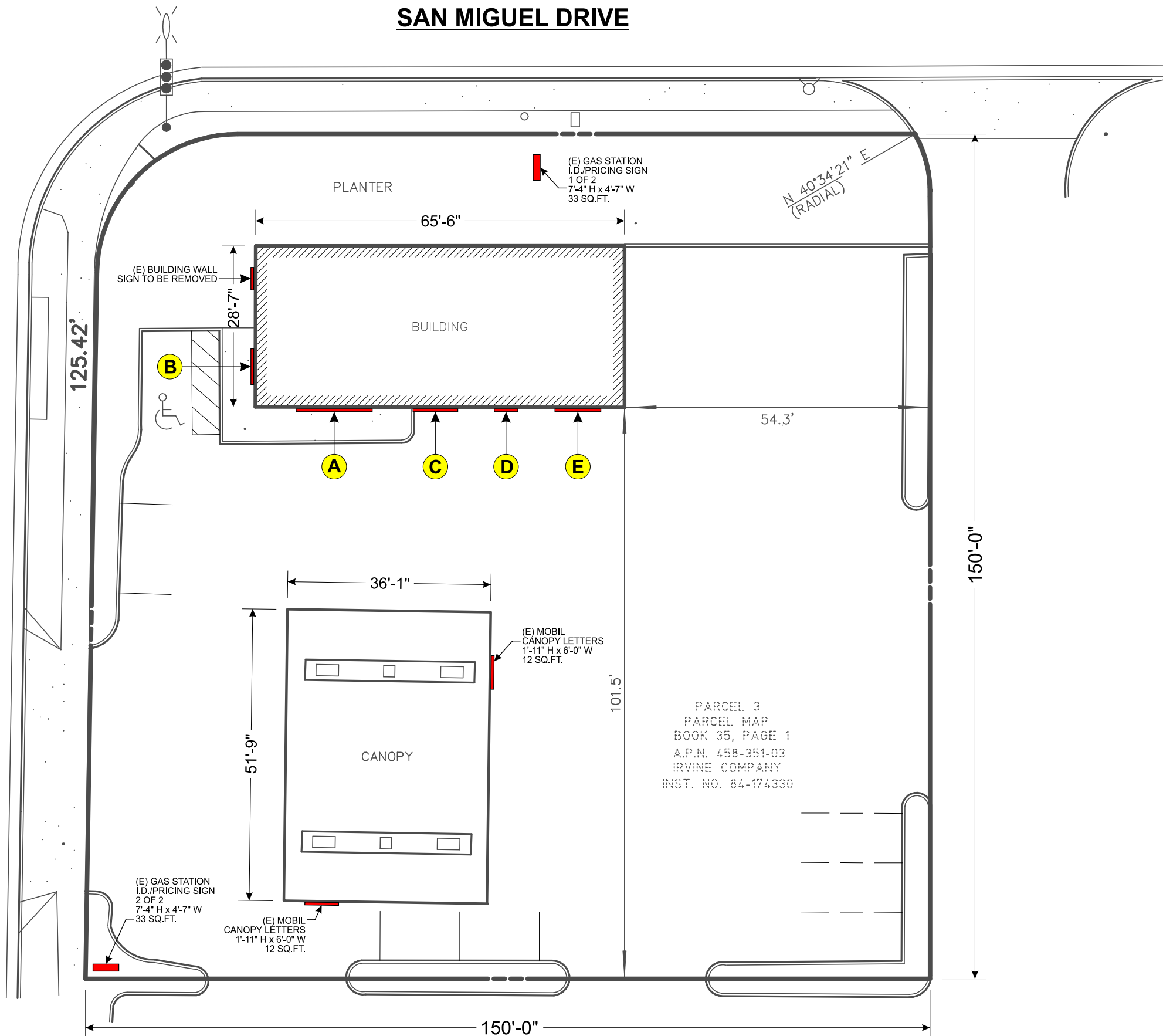
## **Attachment No. ZA 4**

Plans for PA2015-136 that show previously approved service station signs



**SAN MIGUEL DRIVE**

**SAN JOAQUIN HILLS ROAD**



**Donco & Sons, Inc.**  
Signs • Lighting • Electrical

4582 E. Eisenhower Cir., Anaheim, CA 92807  
Ph: (714) 779-0099 Fx: (714) 779-0198  
CA St. Lic. #435616 C10-C45-C61

CUSTOMER:



**CIRCLE K STORES, INC.**  
255 E. RINCON ST., SUITE 100  
CORONA, CA 92879  
(951) 273-1175

**SITE PLAN**

PROJECT ADDRESS:

CIRCLE K #2211285  
2500 SAN JOAQUIN HILLS RD.  
NEWPORT BEACH, CA

DATE: 7-7-15

REVISION	DATE
1	
2	
3	
4	

SCALE: 1" = 20'

SHEET NUMBER

1 OF 2

DRAWN: A.S.

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EXISTING SIGNS	SIZE	COLORS	ILLUMINATED	QTY.	SQ.FT. EA.	TOTAL SQ.FT.
(E) GAS STATION I.D./PRICING SIGN	7'-4" H x 4'-7" W	BLUE - PMS 293C & RED - PMS 485C	YES	2	33	66
(E) "MOBIL" CANOPY LETTERS	1'-11" H x 6'-0" W	BLUE - PMS 293C & RED - PMS 485C	YES	2	12	24
(E) BUILDING WALL SIGN	4'-0" H x 4'-0" W	RED - PMS 485C & WHITE	YES	1	16	16
<b>TOTAL EXISTING SQ.FT.:</b>						<b>106</b>

PROPOSED SIGNS	SIZE	COLORS	ILLUMINATED	QTY.	SQ.FT. EA.	TOTAL SQ.FT.
(E) GAS STATION I.D./PRICING SIGN	7'-4" H x 4'-7" W	BLUE - PMS 293C & RED - PMS 485C	YES	2	33	66
(E) "MOBIL" CANOPY LETTERS	1'-11" H x 6'-0" W	BLUE - PMS 293C & RED - PMS 485C	YES	2	12	24
(A) (N) "MOBIL MART" LETTERS	2'-0" H x 13'-6" W	BLUE - PMS 293C & RED - PMS 485C	YES	1	27	27
(B) (N) "MOBIL" LETTERS	2'-0" H x 6'-4" W	BLUE - PMS 293C & RED - PMS 485C	YES	1	13	13
(C) (N) "AUTO SERVICE" LETTERS	1'-0" H x 8'-0" W	BLUE - PMS 293C	NO	1	8	8
(D) (N) "BRAKES" LETTERS	1'-0" H x 4'-2" W	BLUE - PMS 293C	NO	1	4	4
(E) (N) "SMOG CHECK" LETTERS	1'-0" H x 8'-2" W	BLUE - PMS 293C	NO	1	8	8

TOTAL SITE SQ.FT. PROPOSED: 150

- NOTES:  
 1. ALL U.L. AND MANUFACTURER'S LABELS MUST BE PLACED OUT OF PUBLIC VIEW  
 2. ELECTRICAL CIRCUIT TO BE FIELD VERIFIED BY CONTRACTOR  
 3. ALL SIGN SCREWS, BOLTS AND CONDUIT ARE TO BE PAINTED TO MATCH THE ADJACENT SIGN SURFACE.  
 4. ALL DISCONNECT SWITCHES MUST BE PLACED WHERE THEY ARE NOT VISIBLE TO PEDESTRIANS.  
 5. SIGNS TO BE PIN OFF A MINIMUM 1/2" OFF BUILDING.  
 6. INSTALLATION WILL BE COORDINATED 1 WEEK IN ADVANCE. CONTACT JULIE HARCHAR AT (949) 720-3160 FOR COORDINATION OF INSTALLATION AND DELIVERY OF LANDLORD'S REQUIRED BARRICADES. NO CONES OR CAUTION TAPE ARE TO BE USED DURING INSTALLATION.



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 Signs • Lighting • Electrical  
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 Ph: (714) 779-0099 Fx: (714) 779-0198  
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CUSTOMER:



**CIRCLE K STORES, INC.**  
 255 E. RINCON ST, SUITE 100  
 CORONA, CA 92879  
 (951) 273-1175

**SIGN PLAN**

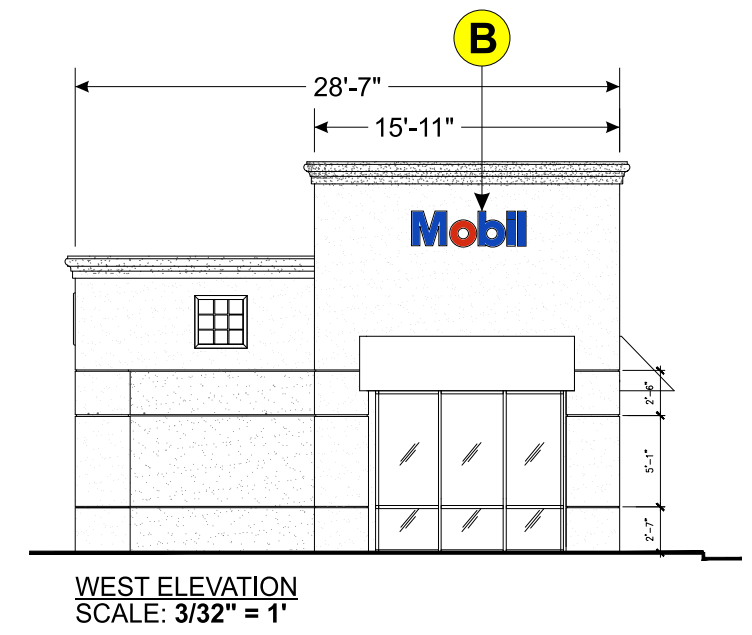
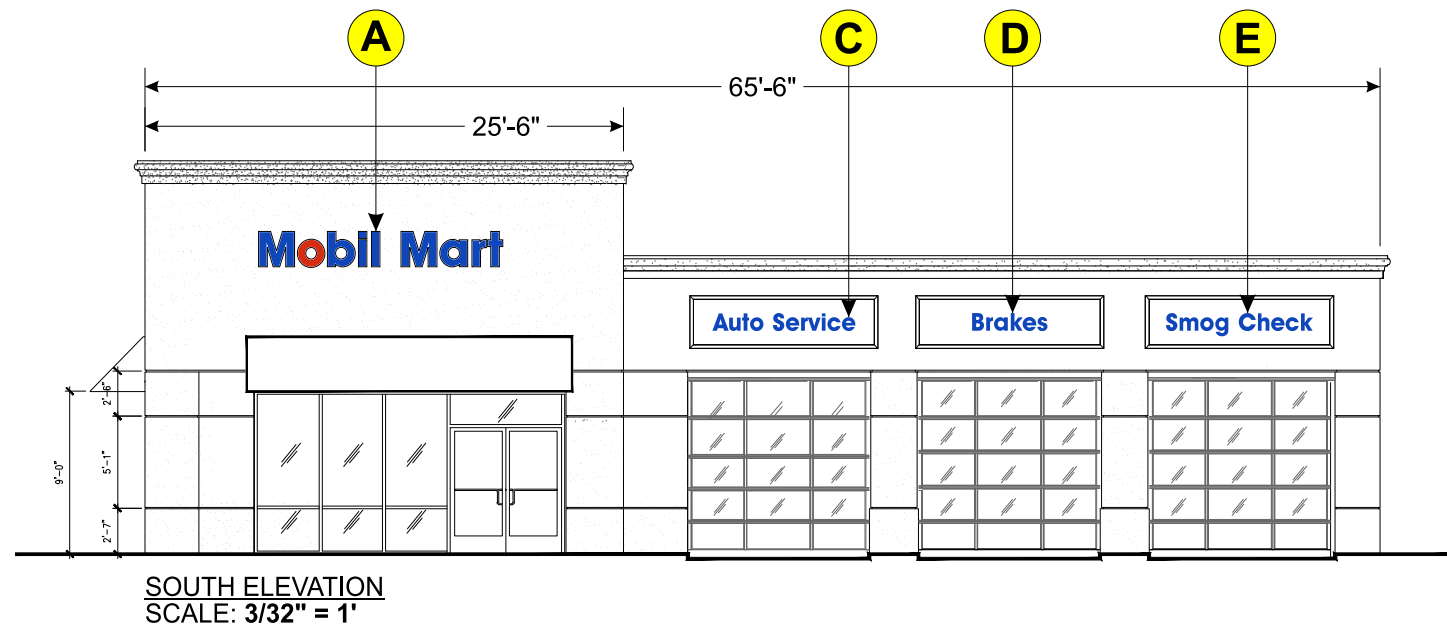
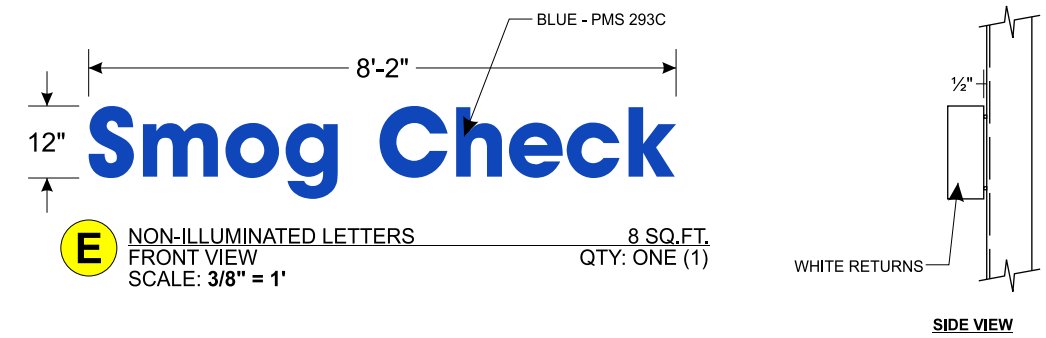
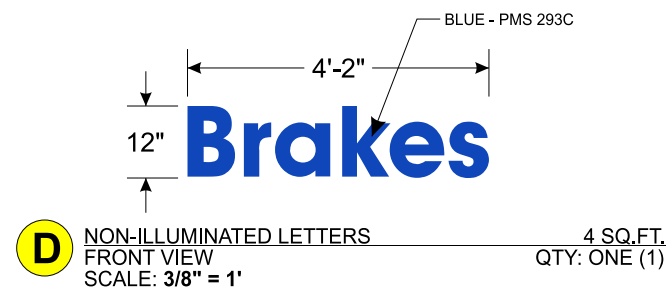
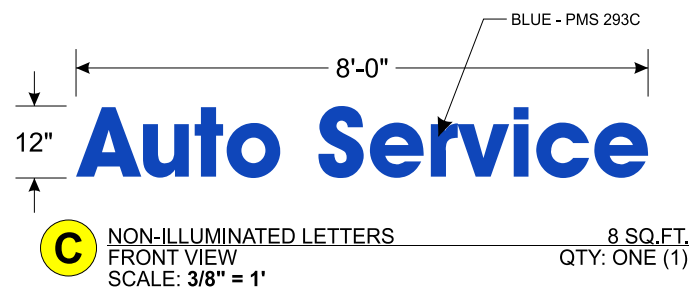
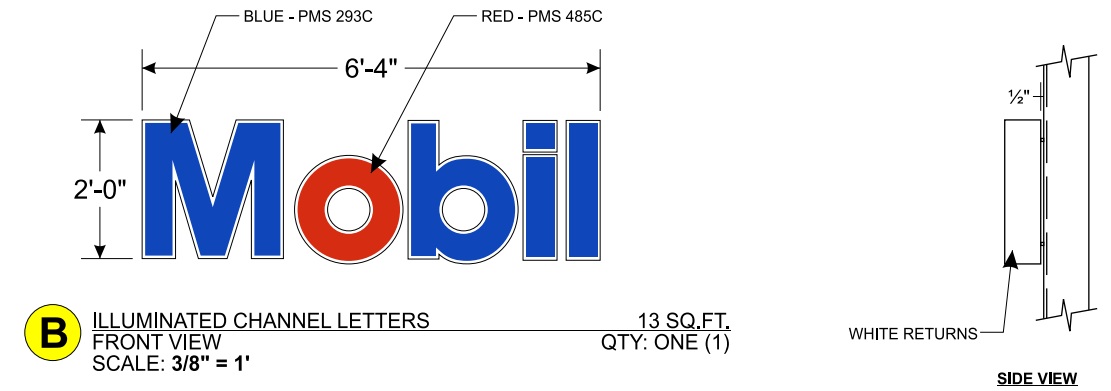
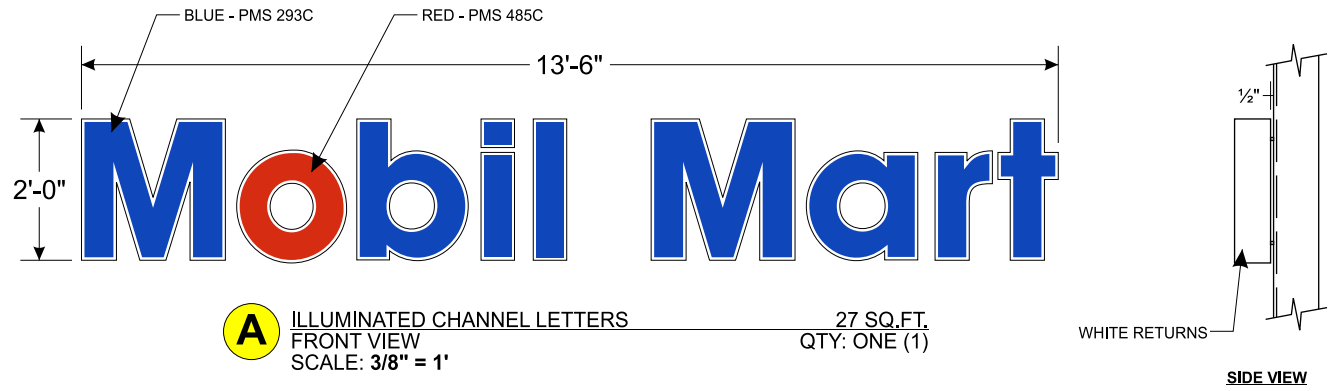
PROJECT ADDRESS:  
 CIRCLE K #2211285  
 2500 SAN JOAQUIN HILLS RD.  
 NEWPORT BEACH, CA

DATE: 7-7-15

REVISION	DATE
1	
2	
3	
4	

SCALE: SEE DWG.  
 SHEET NUMBER  
 2 OF 2  
 DRAWN: A.S.

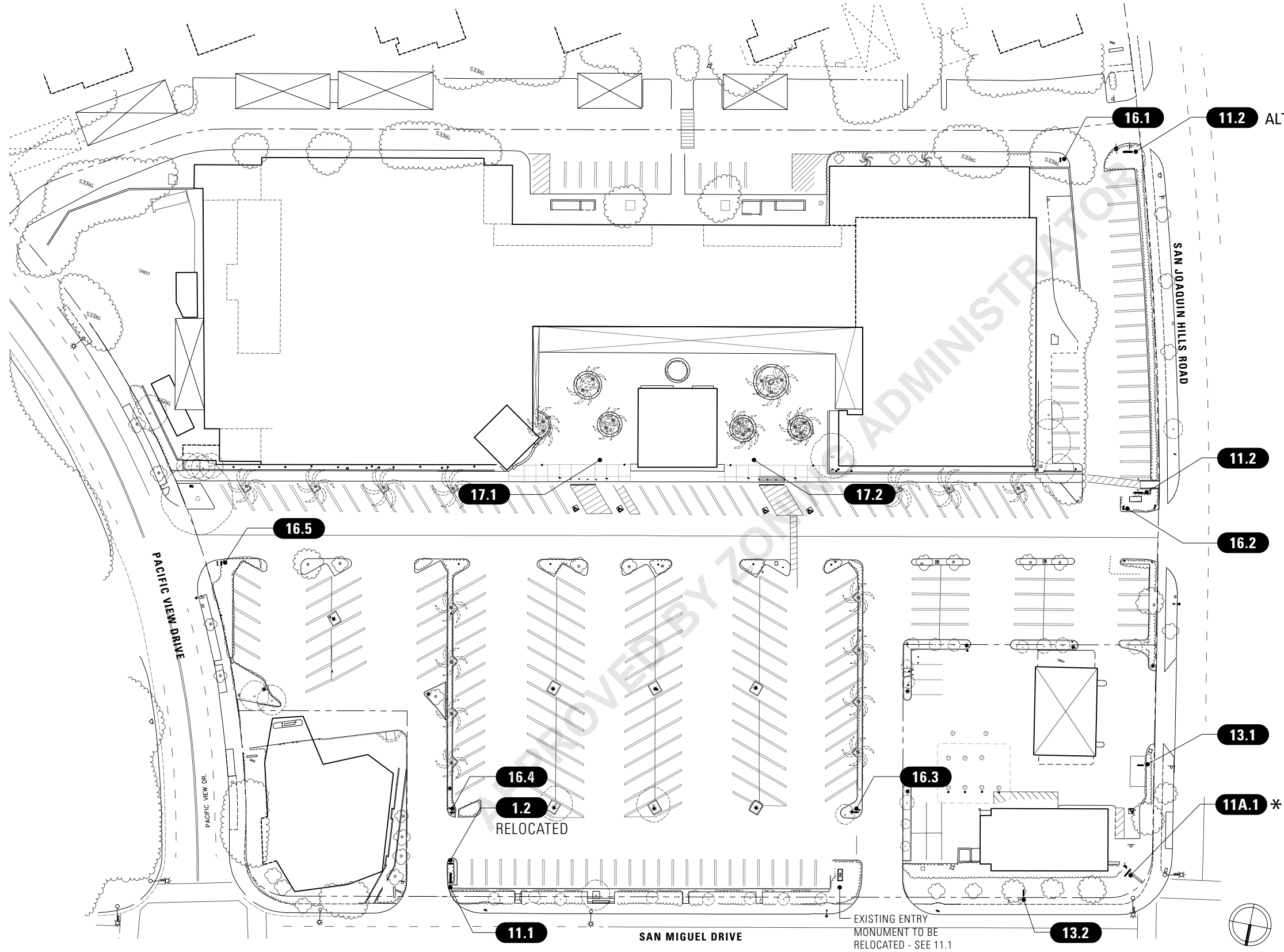
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## **Attachment No. ZA 5**

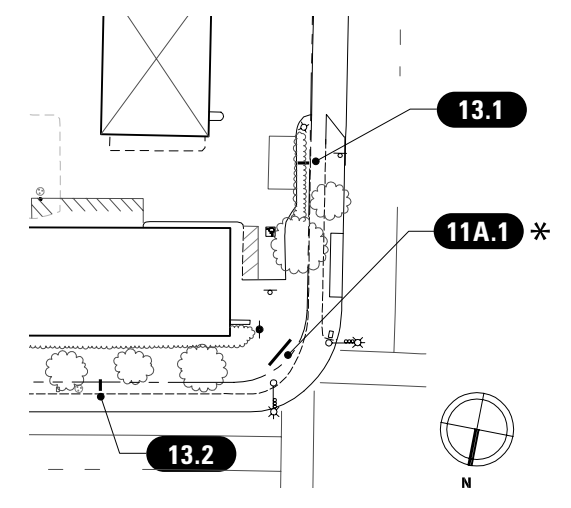
Excerpt from Plans for PA2013-201 that show previously approved service station signs





SIGN LEGEND		QTY	HVC_SLP Modif&AdditSigns.ai
11	PROJECT/TENANT I.D. MONUMENT (DOUBLE-SIDED)	2	
11A	PROJECT/TENANT I.D. MONUMENT	1	
13	GAS STATION ID/PRICING SIGN	2	
16	VEHICULAR DIRECTIONAL SIGNS	5	
17	RESTAURANT TENANT DIRECTORY	2	

\* EXISTING MOBIL GAS SIGN TO BE REMOVED



**1** SIGN LOCATION PLAN - MODIFIED & ADDITIONAL SIGNS  
NTS

**2** SIGN LOCATION PLAN - ALTERNATE  
NTS



**Davies Associates**  
Environmental Graphics  
Davies Associates, Inc.  
9424 Dayton Way  
Suite 217  
Beverly Hills, CA 90210  
tel 310.247.9572  
fax 310.247.9590  
www.daviesla.com

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**Harbor View Center**  
Signage Enhancement Program

Signage and Graphics Program  
Newport Beach, California  
Project No. 10035

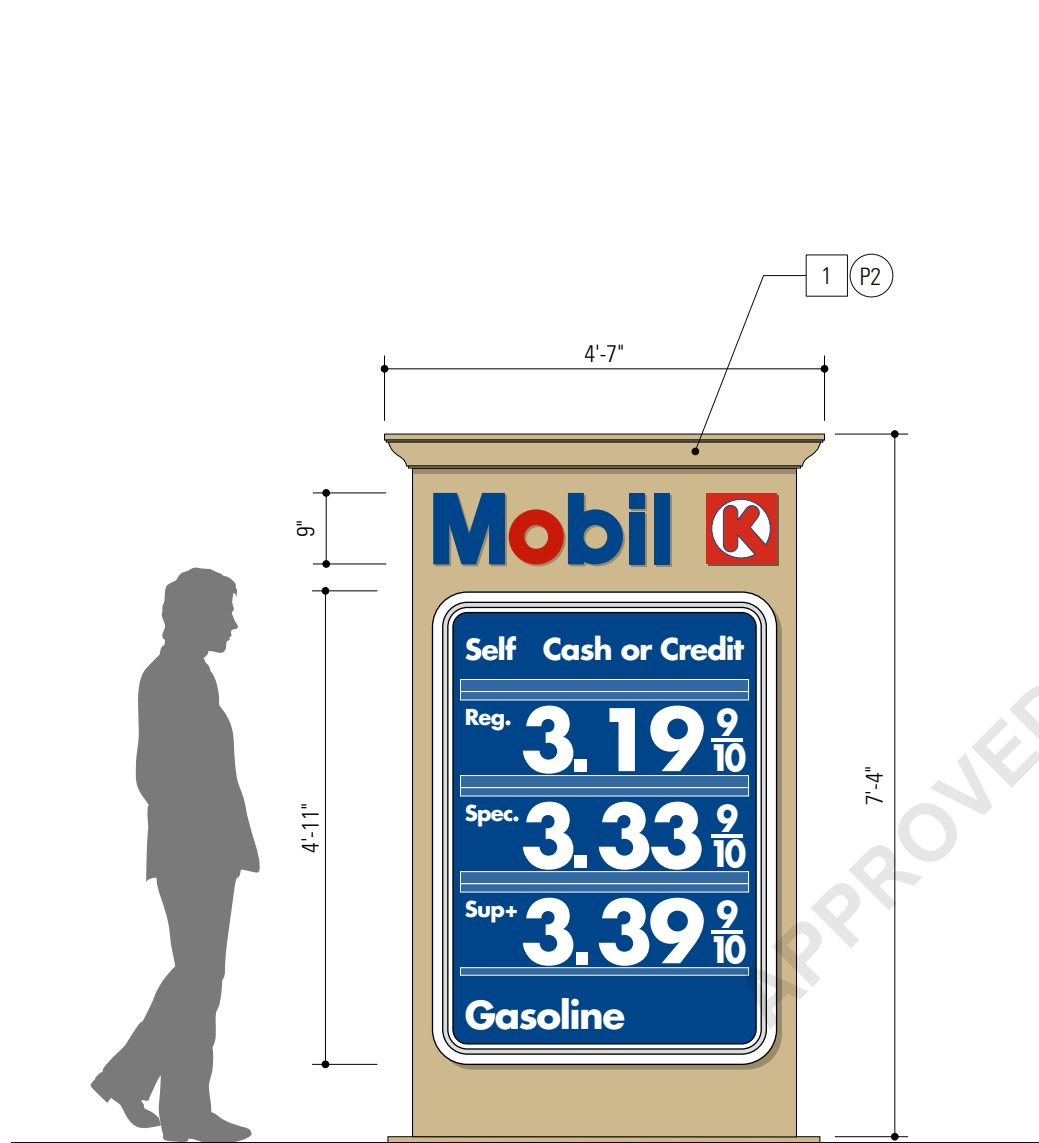
Irvine Company  
Retail Properties

Conceptual Design 06.10.13 KK  
Revised 06.11.13 KK  
Revised 06.25.13 KK  
Revised 07.26.13 KK  
Revised 08.29.13 KK  
Revised 09.03.13 KK  
Revised 09.04.13 KK  
Revised 09.24.13 KK

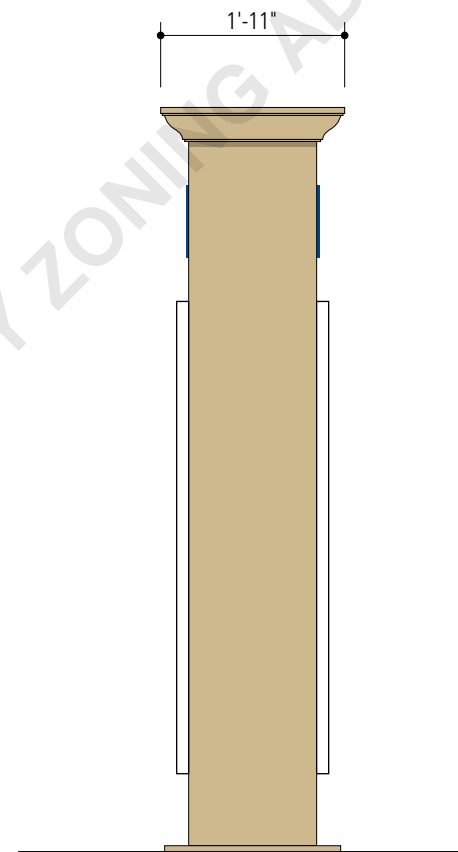
**Sign Location Plan - Existing, Modified & Additional Signs**

**G1**

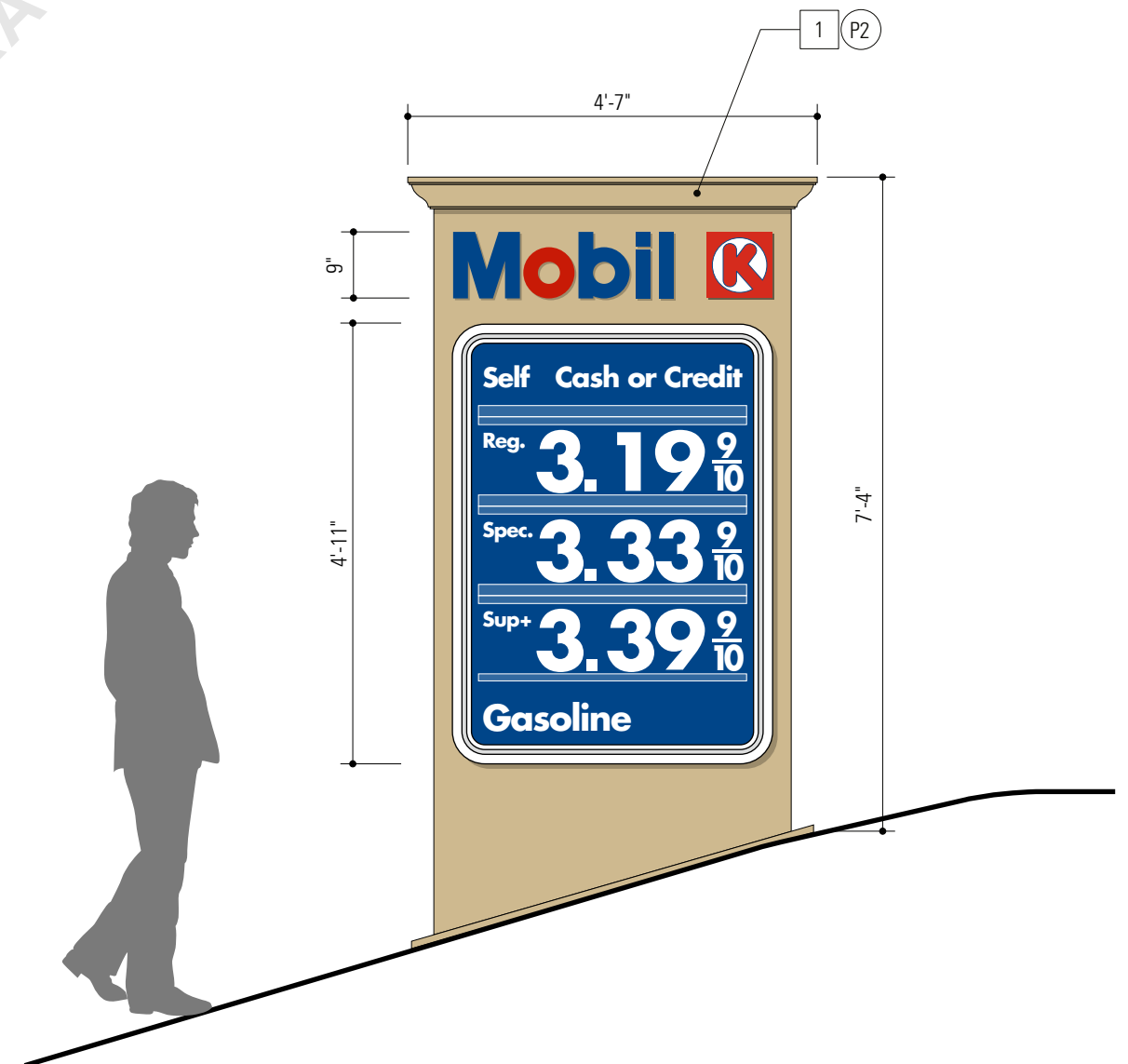
- 1 NEW INTERNALLY ILLUMINATED CABINET WITH ROUTED ACRYLIC PUSH THRU COPY AND VACUUM-FORMED GAS PRICING COMPONENT.
- P2 MATTHEW'S PAINT MP04850 - "WHEAT BERRY" - SATIN GLOSS FINISH



**1** ELEVATION - SIGN TYPE 13 - PROPOSED SIGN ON SAN JOAQUIN - SIGN NO. 13.1  
SCALE: 1/2" = 1'-0"



**2** SIDE ELEVATION - DOUBLE SIDED  
SCALE: 1/2" = 1'-0"



**3** ELEVATION - SIGN TYPE 13 - PROPOSED SIGN ON SAN MIGUEL - SIGN NO. 13.2  
SCALE: 1/2" = 1'-0"



**Davies Associates**

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Davies Associates, Inc.  
9424 Dayton Way  
Suite 217  
Beverly Hills, CA 90210  
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**Harbor View Center**  
Signage Enhancement Program

Signage and Graphics Program  
Newport Beach, California  
Project No. 10035

Irvine Company  
Retail Properties

Conceptual Design 06.10.13 KK  
Revised 06.11.13 KK  
Revised 06.25.13 KK  
Revised 07.26.13 KK  
Revised 08.29.13 KK  
Revised 09.03.13 KK  
Revised 09.04.13 KK  
Revised 09.24.13 KK

06.10.13 KK  
06.11.13 KK  
06.25.13 KK  
07.26.13 KK  
08.29.13 KK  
09.03.13 KK  
09.04.13 KK  
09.24.13 KK

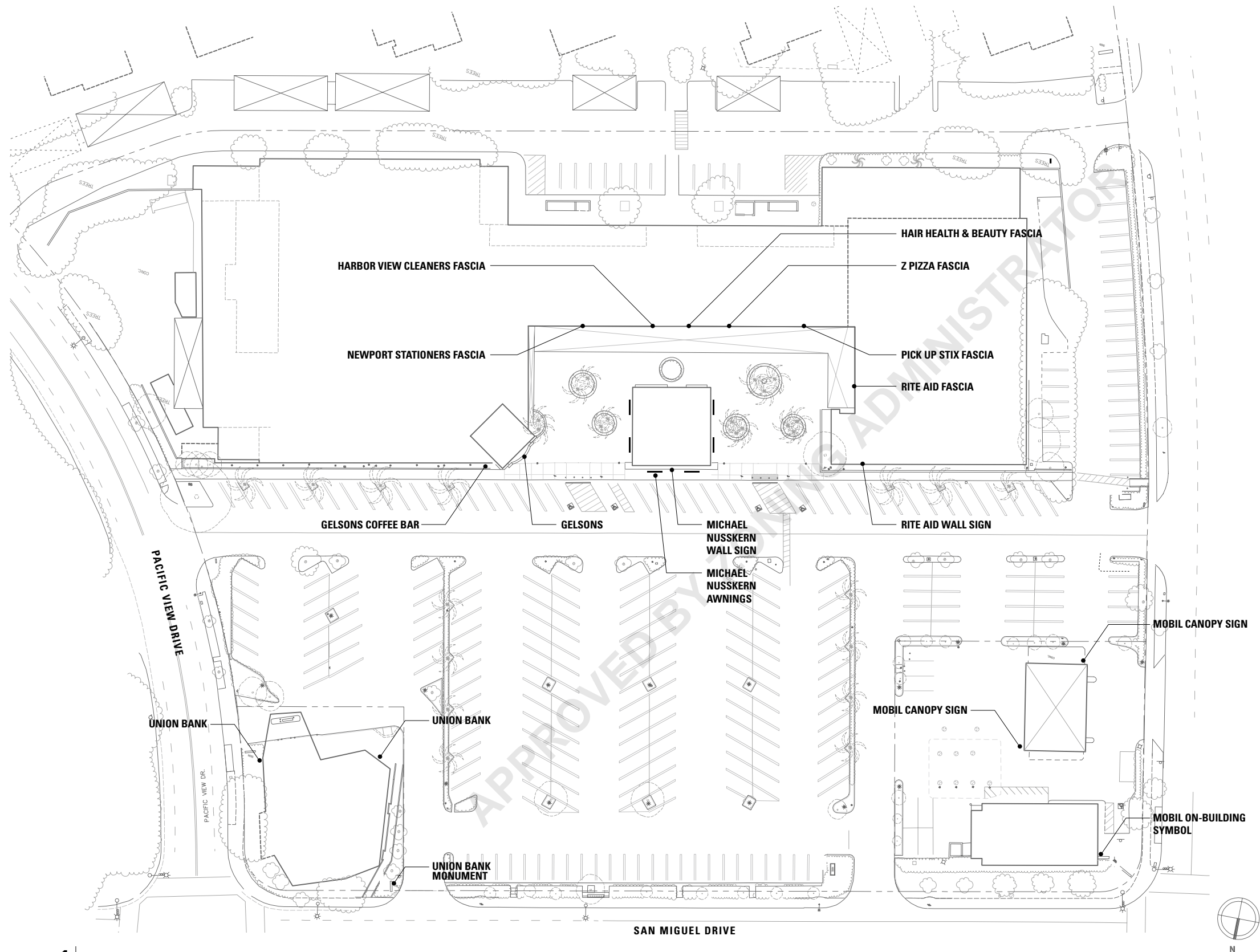
**Sign Type 13 - Gas Station I.D./ Pricing Sign**

Elevations and Details

**G11**

SIGN LEGEND

TENANT SIGNAGE ON BUILDING FASCIAS



1 SIGN LOCATION PLAN - ON-BUILDING TENANT SIGNAGE

NTS



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 Environmental Graphics  
 Davies Associates, Inc.  
 9424 Dayton Way  
 Suite 217  
 Beverly Hills, CA 90210  
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**Harbor View Center**  
 Signage Enhancement  
 Program

Signage and Graphics Program  
 Newport Beach, California  
 Project No. 10035

Irvine Company  
 Retail Properties

Conceptual Design	06.10.13	KK
Revised	06.11.13	KK
Revised	06.25.13	KK
Revised	07.26.13	KK
Revised	08.29.13	KK
Revised	09.03.13	KK
Revised	09.04.13	KK
Revised	09.24.13	KK

**Sign Location**  
**Plan - Tenant**  
**Signage**

Elevations and Details

**G14**

- 1 INTERNALLY ILLUMINATED FACE LIT SYMBOL WITH TRANSLUCENT FACES AND COLORS TO MATCH TENANTS CORPORATE STANDARDS.
- 2 INTERNALLY ILLUMINATED CHANNEL LETTERS WITH TRANSLUCENT FACES AND COLORS TO MATCH TENANTS CORPORATE STANDARDS.



**1** EXISTING CONDITION - MOBIL ON-BUILDING SYMBOL

SCALE: N.T.S.



**2** EXISTING CONDITION - MOBIL CANOPY SIGN

SCALE: N.T.S.



**Davies Associates**

Environmental Graphics  
 Davies Associates, Inc.  
 9424 Dayton Way  
 Suite 217  
 Beverly Hills, CA 90210  
 tel 310.247.9572  
 fax 310.247.9590  
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**Harbor View Center  
 Signage Enhancement  
 Program**

Signage and Graphics Program  
 Newport Beach, California  
 Project No. 10035

Irvine Company  
 Retail Properties

Conceptual Design	06.10.13	KK
Revised	06.11.13	KK
Revised	06.25.13	KK
Revised	07.26.13	KK
Revised	08.29.13	KK
Revised	09.03.13	KK
Revised	09.04.13	KK
Revised	09.24.13	KK

**Tenant Signage  
 Mobil**

Elevations and Details

**G27**



**CITY OF NEWPORT BEACH**

100 Civic Center Drive  
Newport Beach, California 92660

949 644-3200

[newportbeachca.gov/communitydevelopment](http://newportbeachca.gov/communitydevelopment)

**VIA EMAIL**

September 1, 2017

Alan Limon  
NRM Real Estate Advisers  
115 22nd Street  
Newport Beach, CA 92663  
[alan@nrmservice.com](mailto:alan@nrmservice.com)

**Subject: Comprehensive Sign Program No. CS2017-008  
(PA2017-130)  
401 Old Newport Boulevard**

Dear Mr. Limon,

It was a pleasure working with you on the above referenced application. Please be advised that the subject application was approved by the Zoning Administrator on September 1, 2017 and **effective on September 15, 2017**. A copy of the approved action letter with findings and conditions is attached. If you have any questions, please do not hesitate to contact me directly. Thank you and I look forward to working with you again in the future.

Sincerely,

---

Jaime Murillo  
Senior Planner  
JM

**cc:**  
Newport Beach Association of  
Realtors  
401 Old Newport Boulevard #100  
Newport Beach, CA 92663  
[tricia@nbaor.com](mailto:tricia@nbaor.com)

Rush Hill  
115 22nd Street  
Newport Beach, CA 92663  
[rush@nrmservice.com](mailto:rush@nrmservice.com)



## COMMUNITY DEVELOPMENT DEPARTMENT

### PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915

949-644-3200

[www.newportbeachca.gov](http://www.newportbeachca.gov)

## **ZONING ADMINISTRATOR ACTION LETTER**

<b>Application No.</b>	<b>Comprehensive Sign Program No. CS2017-008 (PA2017-130)</b>
<b>Applicant</b>	<b>NRM Real Estate Advisers</b>
<b>Site Location</b>	<b>401 Old Newport Boulevard</b>
<b>Legal Description</b>	<b>Parcel 1 of Resubdivision 438</b>

On **September 1, 2017**, the Zoning Administrator approved Comprehensive Sign Program No. CS2017-008. The approval amends and supersedes Staff Approval No. SA2005-013, previously approved on December 16, 2005, which established a comprehensive sign program for the commercial office building and established parameters for maximum number, sign, and locations of project identification, tenant signs (monument and walls signs) and address signs (monument).

This approval is in accordance to the provisions of Chapter 20.42 (Sign Standards) of the Newport Beach Municipal Code and amends the previously approved sign matrix to allow for the installation of one additional wall sign and an increase in sign area for the tenant directory sign. As conditioned, the approval will supersede Staff Approval No SA2005-013.

The property is located within the Office General (OG) zone. The General Plan Land Use Element category is General Commercial Office (CO-G). The property is not located in the Coastal Zone. This approval is based on the following findings and standards and subject to the following conditions.

### **FINDINGS AND STANDARDS FOR APPROVED SIGNS**

#### Finding

- A. *The project is exempt from environmental review under the requirements of the California Environmental Quality Act pursuant to Section 15311, Class 11 (Accessory Structures).*

Facts in Support of Finding:

1. Class 11 exempts minor structures accessory to existing commercial facilities, including signs. The proposed signs are incidental and accessory to the principal commercial use of the property and do not intensify or alter the use.

Standard

- B. The proposed sign program shall comply with the purpose and intent of this Chapter [Chapter 20.42], any adopted sign design guidelines, and the overall purpose and intent of this Section [Section 20.42.120 – Comprehensive Sign Program].*

Facts in Support of Standard

1. A Comprehensive Sign Program is required whenever three or more tenant spaces are created on the same lot and whenever signs are proposed to be located on or above the second story of a multi-tenant building. The request is for four wall signs located on an aluminum-mounting bar with an allowance to be located on the second story, one monument sign, one vehicle directional sign, and one multi-tenant directory sign.
2. The Comprehensive Sign Program complies with the purpose and intent of Newport Beach Municipal Code Chapter 20.42 (Sign Standards). The increased number and area of the wall signs provide necessary identification for motorists travelling on Newport Boulevard, Hospital Road, and Old Newport Boulevard. Since the office building is located on a corner lot between three streets, the proposed signage is necessary to identify the major office tenants to vehicles traveling from multiple directions of the intersection.
3. The purpose of a comprehensive sign program is to integrate all of a project's signs. It provides a means for the flexible application of sign regulations for projects that require multiple signs. The font, colors, and materials of both the wall and ground signs will complement the architecture and colors of the building. The proposed signage provides incentive and latitude in the design and display of signs.
4. No deviations in sign height or sign area are requested, with the exception of increased sign area for the tenant directory sign. The tenant directory sign area is proposed to be increased from 8 square feet to 10.4 square feet (30 percent increase) to allow for greater flexibility and legibility of tenant identification.
5. Wall signs will be located outside the middle 50 percent of the tenant frontages to allow placement where the architectural design of the building suggests. Proposed signs employ a consistent sign pattern in location and are designed to fit with the overall scale of the building and its orientation to the adjacent rights-of-way.

6. The Comprehensive Sign Program is consistent with the Citywide Sign Design Guidelines Manual. The proposed signs are designed to be compatible with the building in terms of size, location, legibility, and materials. The wall signs will effectively identify the two primary office tenants without creating sign clutter by using legible text, restricting the sign area, and maintaining adequate separation between signs. The wall sign lettering will match the architectural aluminum finish of the building trim and railings. The size of the signs does not dominate the facades, but are appropriately located to identify the building to vehicles traveling towards the property.

#### Standard

- C. *The proposed signs shall enhance the overall development, be in harmony with, and relate visually to other signs included in the Comprehensive Sign Program, to the structures and/or developments they identify, and to surrounding development when applicable.*

#### Facts in Support of Standard

1. The site is developed as a multi-tenant office building. Four wall signs, one monument sign, a vehicle directional sign, and a multi-tenant building directory sign are part of the comprehensive sign program to allow for adequate identification to visitors.
2. Building signage will be limited to one wall sign on the Old Newport Boulevard frontage and one wall sign on the Newport Boulevard frontage. The wider Hospital Road frontage allows two wall signs.
3. All proposed signage will integrate well with the character and architectural style of the building by maintaining consistency in location, sign height, and materials across the street frontage.
4. Cabinet sign designs are prohibited and future wall signs are required to be constructed of individual, freestanding letters attached to mounting bar to maintain the compatibility with the architectural eyebrow projection on the building.
5. Proposed signs will not obstruct public views from adjacent roadways because there are no public views through or across the subject property.
6. The signs are sited to not interfere with sight distance from any street, driveway, or parking area.

#### Standard

- D. *The sign program shall address all signs, including permanent, temporary, and exempt signs.*



Facts in Support of Standard

1. The Comprehensive Sign Program addresses all project signage. Temporary and exempt signs not specifically addressed in the sign program shall be regulated by the provisions of Chapter 20.42 (Sign Standards) of the Zoning Code.

Standard

*E. The sign program shall accommodate future revisions that may be required because of changes in use or tenants.*

Facts in Support of Standard

1. The Comprehensive Sign Program is designed to be effective for the multi-tenant office use by providing additional sign opportunities.
2. The Comprehensive Sign Program establishes allowed type, number, location, and area of signage with flexibility to accommodate any existing and future office tenants.
3. It is not anticipated that future revisions to the Comprehensive Sign Program will be necessary to accommodate a change in tenants or use. However, the Community Development Director may approve minor revisions to the Comprehensive Sign Program if the intent of the original approval is not affected.

Standard

*F. The program shall comply with the standards of this Chapter [Chapter 20.42], except that deviations are allowed with regard to sign area, total number, location, and/or height of signs to the extent that the Comprehensive Sign Program will enhance the overall development and will more fully accomplish the purposes and intent of this Chapter [Chapter 20.42].*

Facts in Support of Standard

1. The Comprehensive Sign Program allows for deviations regarding location of signs. The approval conforms to all other standards of Zoning Code Chapter 20.42, and enhances the overall development by integrating all of the project's signs with the overall site and structure design into a unified statement.
2. Allowing deviation from the Zoning Code for the wall signs to be located outside of the middle 50 percent and on the second floor level is appropriate given the architectural design of the building. The wall signs are placed above the architectural eyebrow element that is integrated into the overall building design.

3. Allowing deviation from the Zoning Code for the sign area of the business directory sign is appropriate to allow for increased flexibility with tenant identification and does not necessitate alterations or an increase in overall dimensions to the existing sign structure itself.

#### Standard

- G. The approval of a Comprehensive Sign Program shall not authorize the use of signs prohibited by this Chapter [Chapter 20.42].*

#### Facts in Support of Standard

1. The Comprehensive Sign program does not authorize the use of prohibited signs.

#### Standard

- H. Review and approval of a Comprehensive Sign Program shall not consider the signs' proposed message content.*

#### Facts in Support of Standard

1. The Comprehensive Sign Program contains no regulations affecting sign message content.

### **CONDITIONS**

1. The approval of Comprehensive Sign Program No. CS2017-008 shall supersede Staff Approval No. SA2015-013.
2. All proposed signs shall be in substantial conformance with the approved plans, Comprehensive Sign Program Matrix Table, and provisions of Chapter 20.42 (Sign Standards) of the Newport Beach Municipal Code, unless otherwise indicated in the following conditions.
3. Anything not specifically approved by this Comprehensive Sign Program is prohibited.
4. A building permit and/or sign permit shall be obtained prior to commencement of installation or demolition of signs.
5. Illuminated signs shall be regulated in accordance with the provisions of Section 20.42.070 of the Newport Beach Municipal Code. If, in the opinion of the Community Development Director, existing illumination creates an unacceptable negative impact on surrounding land uses or sensitive habitat areas the Director may order the dimming of light sources or other remediation upon finding that the site is excessively illuminated.

6. Signs shall be maintained in a clean and orderly condition.
7. The landscaping around the base of the ground signs shall be maintained.
8. The Community Development Director may approve revisions to the Comprehensive Sign Program if the intent of the original approval is not affected. Revisions that would substantially deviate from the original approval shall require approval of a new/revised comprehensive sign program by the Zoning Administrator.
9. Any future revisions or changes to the signs approved by this Comprehensive Sign Program due to a change in the use or tenants of the building shall be reviewed and approved by the Planning Division, so long as the sign size, copy configuration, and number of signs authorized by this approval does not substantially change or increase. The mandatory reduction or elimination of signs shall be exercised as necessary.
10. The Zoning Administrator may add to or modify conditions of this approval, or revoke this approval upon a determination that any sign that is authorized by this approval has been altered beyond the parameters of the authorization and therefore beyond the justification.
11. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20, Planning and Zoning, of the Newport Beach Municipal Code.
12. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the 401 Old Newport Boulevard Comprehensive Sign Program including, but not limited to, Comprehensive Sign Program No. CS2017-008 (PA2017-130). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

**APPEAL PERIOD**

An appeal or call for review may be filed with the Director of Community Development within 14 days following the date of action. For additional information on filing an appeal, contact the Planning Division at (949) 644-3200.

On behalf of Patrick J. Alford, Zoning Administrator

By:



---

Jaime Murillo, Senior Planner

JM

Attachments:   ZA 1 Vicinity Map  
                  ZA 2 Comprehensive Sign Program Matrix  
                  ZA 3 Project Plans

# **Attachment No. ZA 1**

Vicinity Map

## VICINITY MAP



Comprehensive Sign Program No. CS2017-008  
PA2017-130

**401 Old Newport Boulevard**

# **Attachment No. ZA 2**

Comprehensive Sign Program Matrix

## Exhibit “B”

### 401 OLD NEWPORT BOULEVARD

#### COMPREHENSIVE SIGN PROGRAM MATRIX

<b><u>Sign Type</u></b>	<b><u>Suite Number</u></b>	<b><u>Primary Frontage &amp; Size Limitation</u></b>	<b><u>Secondary Frontage &amp; Size Limitation</u></b>
<b>Wall Signs</b>	Suite 100	<i>Type: Sign B 01 Frontage: Hospital Road Placement: First or Second Story Maximum Area: 27 square feet Letter /Logo Height: 12 inches</i>	<i>Type: Sign B 02 Frontage: Parking Lot Placement: First or Second Story Maximum Area: 27 square feet Letter /Logo Height: 12 inches</i>
	Suite 101	None	None
	Suite 102	None	None
	Suite 201	<i>Type: Sign A 01 Frontage: Hospital Road Placement: First or Second Story Maximum Area: 60 square feet sf Letter /Logo Height: 30 inches</i>	<i>Type: Sign A02 Frontage: Newport Boulevard Placement: First or Second Story Maximum Area: 37.5 square feet Letter /Logo Height: 24 inches</i>
<b>Site Monument Sign (Sign D 01)</b>		<i>Location: Corner of Hospital Road &amp; Old Newport Blvd. Maximum Area: 20 square feet Height: 4 feet Maximum Letter Height: 12-inch</i>	None
<b>Vehicle Directional Sign (Sign E 01)</b>		None	<i>Frontage: Old Newport Blvd. Maximum Area: 12 square feet Height: 4 feet Letter Height: 6-inch maximum</i>
<b>Business (Tenant) Directory Signs (Sign F 01)</b>		None	<i>Frontage: Parking Lot Placement: Ground floor only Maximum Area: 10.4 square feet Letter Height: 4- inch maximum Height: 6 feet</i>

#### NOTES/REQUIREMENTS

- a) Requirements for all signs per Municipal Code Chapter 20.42, except as provided in this sign matrix.
- b) Sign designs shall be consistent with Citywide Sign Design Guidelines Manual.
- c) Pursuant to Section 20.42.120.F of the Zoning Code, the Community Development Director may approve minor revisions to this approval if the intent of the original approval is not affected.
- d) Minimum linear distance between primary and secondary signs is 30 feet.
- e) Wall signs shall be constructed of individual, freestanding letters attached to architectural mounting bar.



# **Attachment No. ZA 3**

Project Plans



# UC IRVINE HEALTH - EXTERIOR BUILDING SIGNAGE

## UC IRVINE HEALTH

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DESIGN PACKAGE

03.18.2017

16-138-0  
16-138-1 (04.25.2017)



204-A W Carleton Ave.  
Orange, CA 92867  
714-979-9979  
signsource.com

# EXTERIOR SIGNAGE

WORK PACKAGE					<input checked="" type="checkbox"/> APPROVED SIGN <input type="checkbox"/> WAITING FOR APPROVAL <input type="checkbox"/> DELETED SIGN	CUSTOMER APPROVAL DATE	FOR SIGNSOURCE USE ONLY Approved by:	
Sign Type/ Location #	Name	Pg.#	Qty.	Electrical Required	SIGN STATUS		Drafting Dept.	Operations Manager
X	SITE PLAN	A	N/A	N/A	<input type="checkbox"/>			
A	EYEBROW BUILDING SIGN	Pg. 1 thru 1.1	2	N/A	<input type="checkbox"/>			
B	EYEBROW BUILDING SIGN	Pg. 2 thru 2.2	2	N/A	<input type="checkbox"/>			
F	MONUMENT SIGN	Pg. 3	1	N/A	<input type="checkbox"/>			
G	INTERIOR DIRECTORY SIGN	Pg. 4	1	N/A	<input type="checkbox"/>			

**CLIENT**  
 UC IRVINE HEALTH  
 101 HE CITY DRIVE  
 BLDG. 27, RTE 131  
 ORANGE, CA 92868

**PROJECT**  
 UC IRVINE HEALTH  
 EXTERIOR BUILDING SIGNAGE  
 401 OLD NEWPORT BLVD.  
 NEWPORT BEACH, CA 92663

**JOB NO.** 16-138-0

**DATE** 03.18.2017

**QUANTITY** ( ) xxxxxx

**SCALE** AS NOTED

**DRAWN BY:** MIKE N.

**JOB NOTES :**

1.	
2.	

**SUBMITTALS TO CLIENT :**

1.	<b>SHOP DRAWINGS:</b> To be approved, signed and returned prior to fabrication
2.	<b>PROJECT COLOR BOARD:</b> Use approved color board from previous project.

- SPECIFICATIONS :**
- ① 3/4" THICK ACRYLIC LETTERS ATTACHED TO FABRICATED ALUMINUM CARRIER PLATE WITH 5/16" DIA. ALUMINUM ROD. PAINT FINISH PER SPECIFICATIONS.
  - ② 2" x 1/4" ALUMINUM FLAT BAR WITH WELDED 5/16" ALUMINUM ROD FOR LETTER ATTACHMENT. CARRIER ATTACHED TO BUILDING OVERHANG WITH #12 DRILL FLEX SCREWS. PAINT FINISH PER SPECIFICATIONS.
  - ③ FIRST SURFACE DIGITAL PRINT GRAPHICS.
  - ⑥ 1/8" ALUMINUM BACKER PANEL WITH 1/8" ALUMINUM FACE PANEL AND 1/4" ALUMINUM SPACERS. ALL PIECES ADHERED TOGETHER WITH LORDS ADHESIVE. SIGN ATTACHED TO WALL WITH STUDS, DOUBLE SIDED TAPE AND SILICONE. PAINT FINISH PER SPECIFICATIONS.
  - ⑧ FIRST SURFACE APPLIED VINYL. VINYL COLOR PER SPECIFICATIONS.
  - ⑪ 1/8" ALUMINUM PANEL WITH PAINTED NUMERALS AND COPY. ATTACHED TO MAIN SIGN WITH SCREWS. PAINT FINISH PER SPECIFICATIONS.

- REVISIONS**
- △ \_\_\_\_\_
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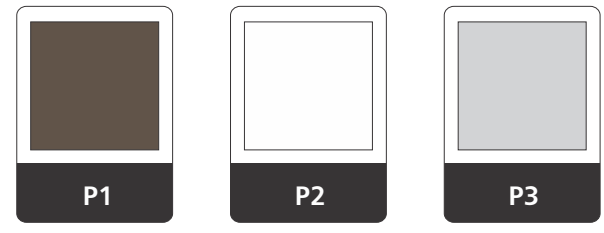
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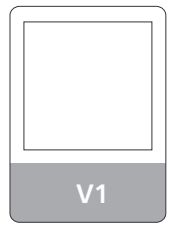
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**PAINT COLORS**

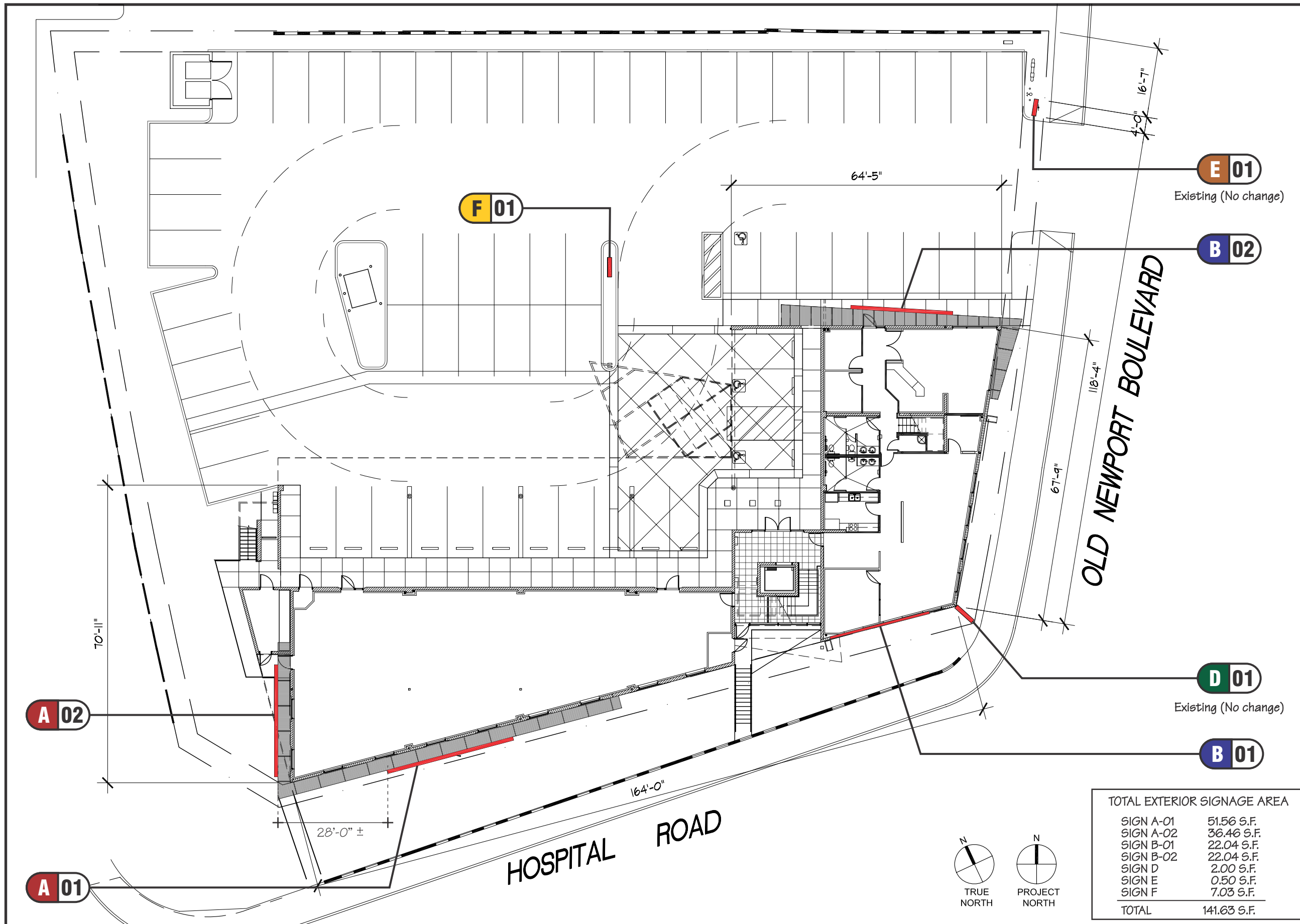


MATTHEWS #41-313 DARK BRONZE  
 MATTHEWS #42-202 NATURAL WHITE  
 MATTHEWS #42-209 GRAY

**VINYL COLORS**



ARLON REFLECTA-CAL #02 WHITE



**CLIENT**  
 UC IRVINE HEALTH  
 101 HE CITY DRIVE  
 BLDG. 27, RTE 131  
 ORANGE, CA 92868

**PROJECT**  
 UC IRVINE HEALTH  
 EXTERIOR BUILDING SIGNAGE  
 401 OLD NEWPORT BLVD.  
 NEWPORT BEACH, CA 92663

**JOB NO.** 16-138-0

**DATE** 03.18.2017

**QUANTITY** ( ) xxxxxx

**SCALE** AS NOTED

**DRAWN BY:** MIKE N.

**REVISIONS**

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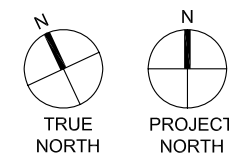
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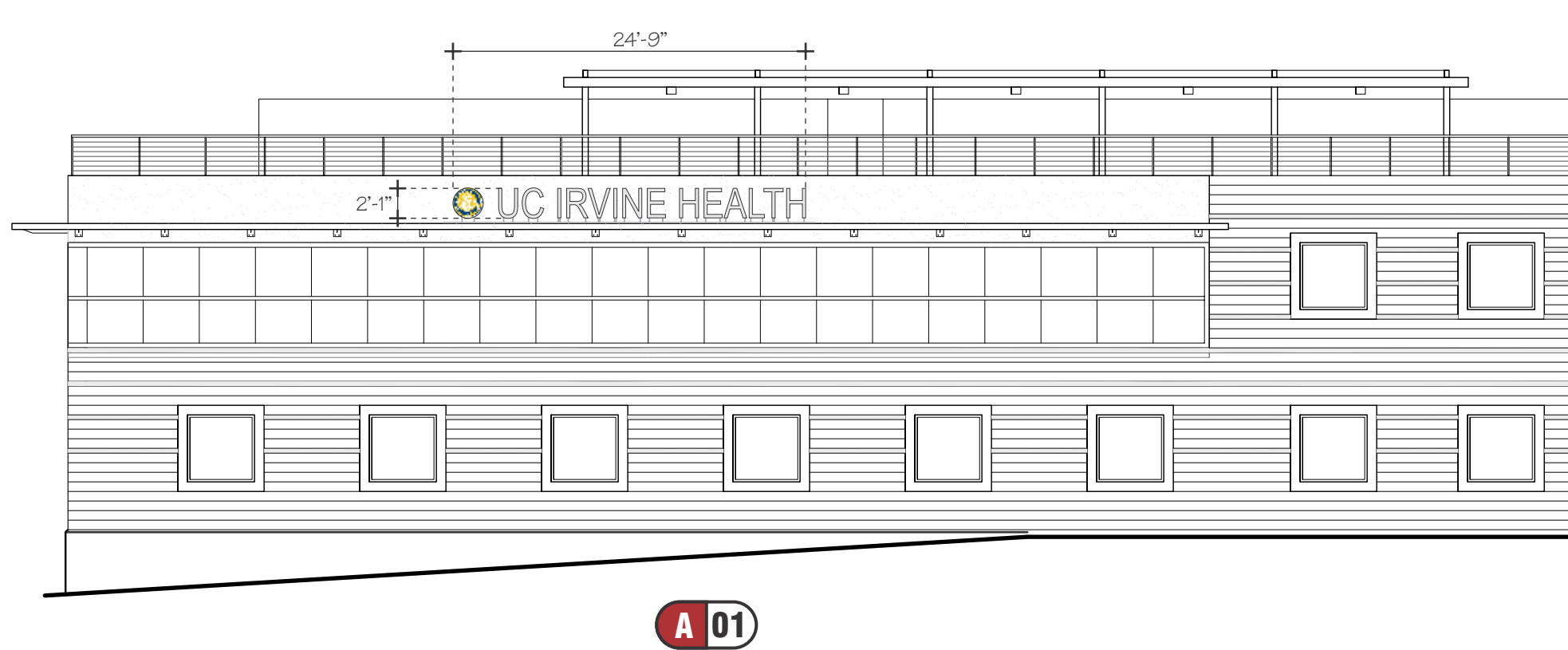
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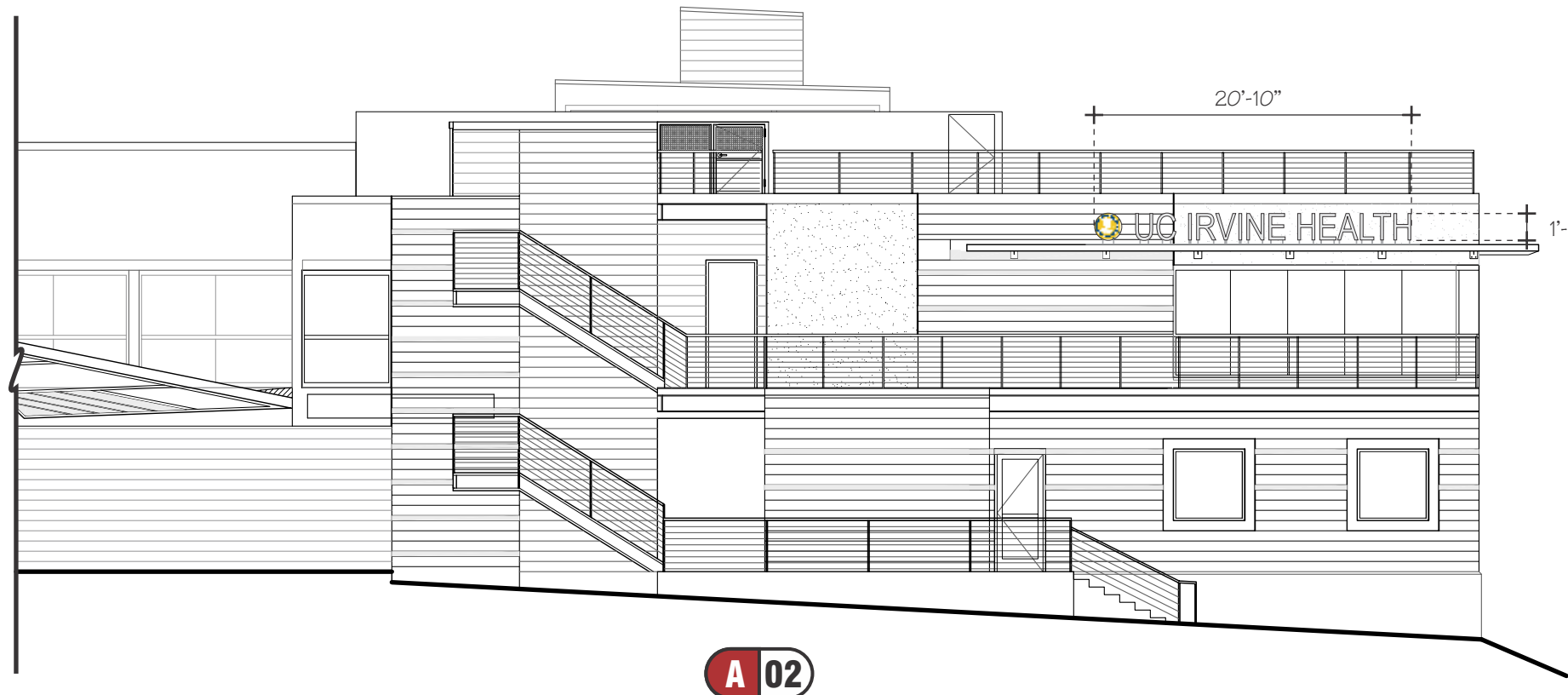
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TOTAL EXTERIOR SIGNAGE AREA	
SIGN A-01	51.56 S.F.
SIGN A-02	36.46 S.F.
SIGN B-01	22.04 S.F.
SIGN B-02	22.04 S.F.
SIGN D	2.00 S.F.
SIGN E	0.50 S.F.
SIGN F	7.03 S.F.
<b>TOTAL</b>	<b>141.63 S.F.</b>





1 SOUTH ELEVATION VIEW  
SCALE: 3/32" = 1'-0"



2 WEST ELEVATION VIEW  
SCALE: 3/32" = 1'-0"

**CLIENT**  
UC IRVINE HEALTH  
101 HE CITY DRIVE  
BLDG. 27, RTE 131  
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NEWPORT BEACH, CA 92663

**JOB NO.** 16-138-0

**DATE** 03.18.2017

**QUANTITY** (2) TOTAL

**SCALE** AS NOTED

**DRAWN BY:** MIKE N.

**REVISIONS**

- △ \_\_\_\_\_
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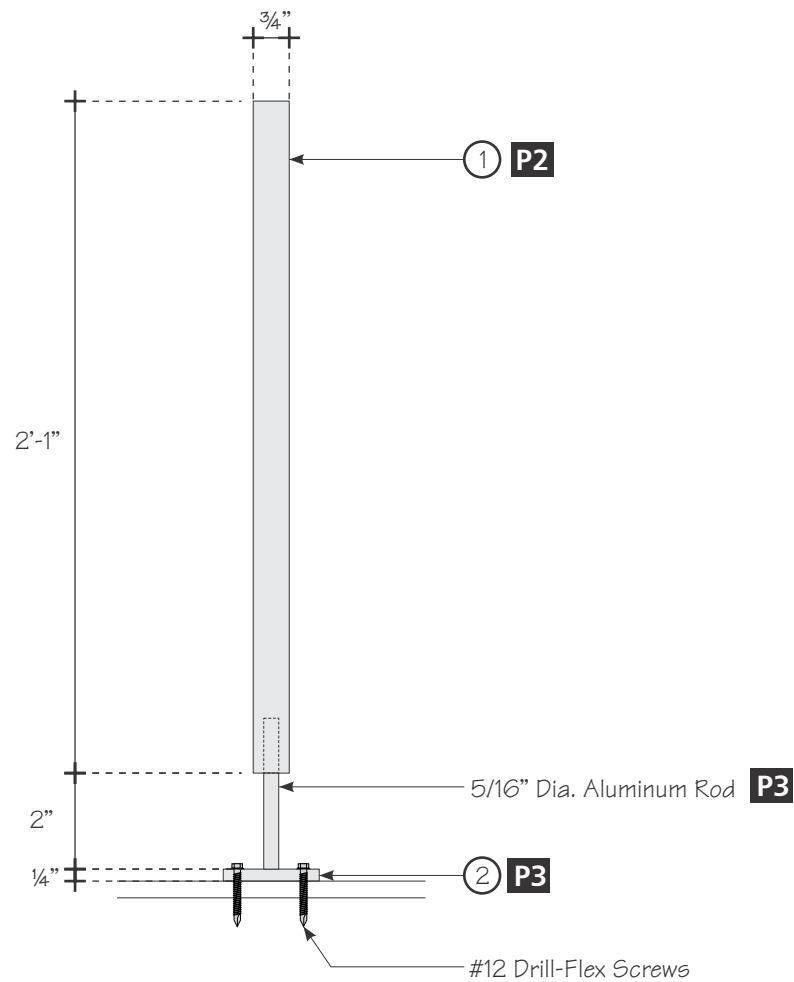


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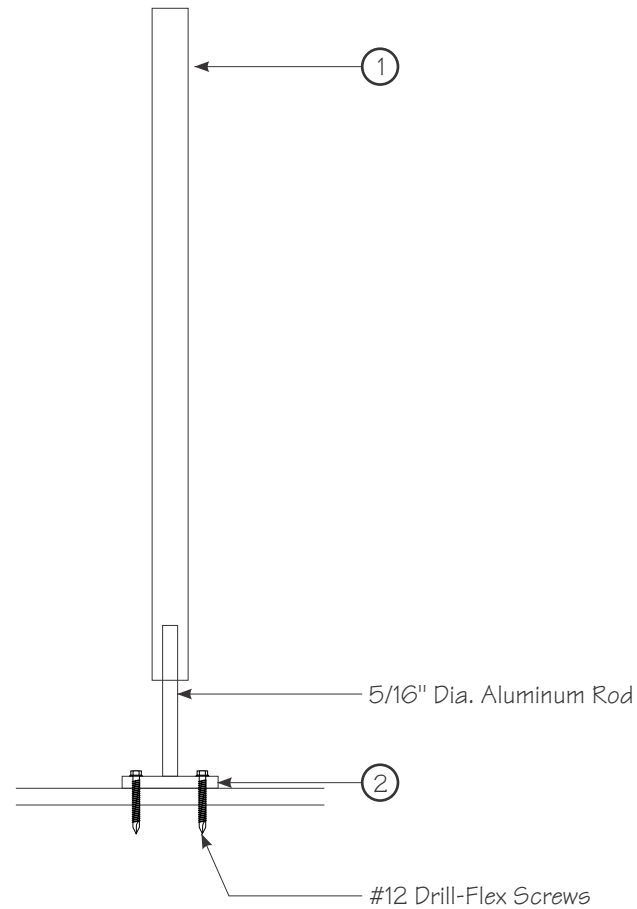
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1 SIDE VIEW  
SCALE: 3" = 1'-0"



A SECTION DETAILS  
SCALE: 3" = 1'-0"

**SCOPE OF WORK:**

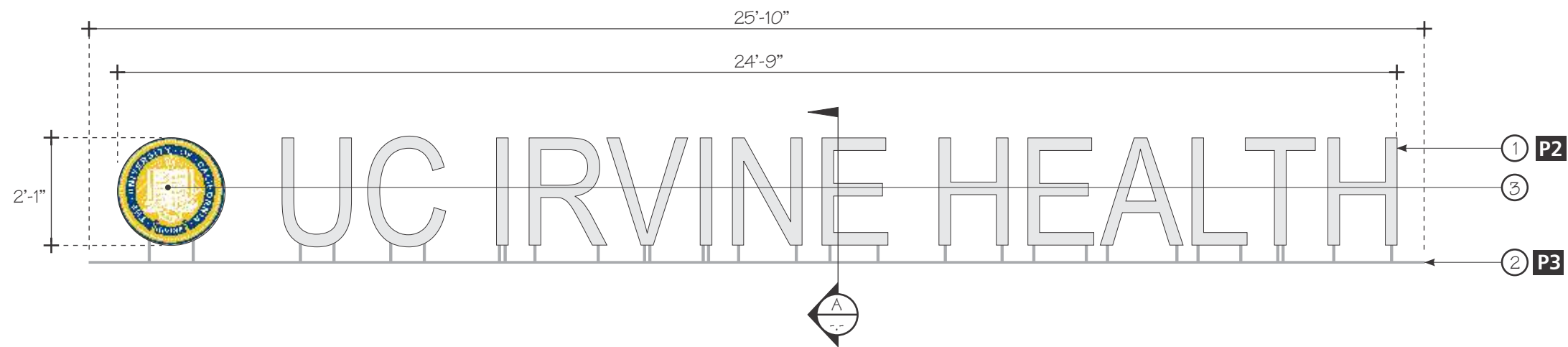
FABRICATE NEW PRIMARY FRONTAGE TENANT SIGN PER SPECIFICATIONS.

**SPECIFICATIONS:**

- ① 3/4" THICK ACRYLIC LETTERS ATTACHED TO FABRICATED ALUMINUM CARRIER PLATE WITH 5/16" DIA. ALUMINUM ROD. PAINT FINISH PER SPECIFICATIONS.
- ② 2" x 1/4" ALUMINUM FLAT BAR WITH WELDED 5/16" ALUMINUM ROD FOR LETTER ATTACHMENT. CARRIER ATTACHED TO BUILDING OVERHANG WITH #12 DRILL FLEX SCREWS. PAINT FINISH PER SPECIFICATIONS.
- ③ FIRST SURFACE DIGITAL PRINT GRAPHICS.

COLOR KEY

<b>P2</b>	MATTHEWS #42-202 NATURAL WHITE	
<b>P3</b>	MATTHEWS #42-209 GRAY	



2 FRONT VIEW  
SCALE: 3/8" = 1'-0"

51.5625 Sq. Ft.

**CLIENT**  
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101 HE CITY DRIVE  
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401 OLD NEWPORT BLVD.  
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**JOB NO.** 16-138-0

**DATE** 03.18.2017

**QUANTITY** (1) EACH  
(2) TOTAL

**SCALE** AS NOTED

**DRAWN BY:** MIKE N.

**REVISIONS**




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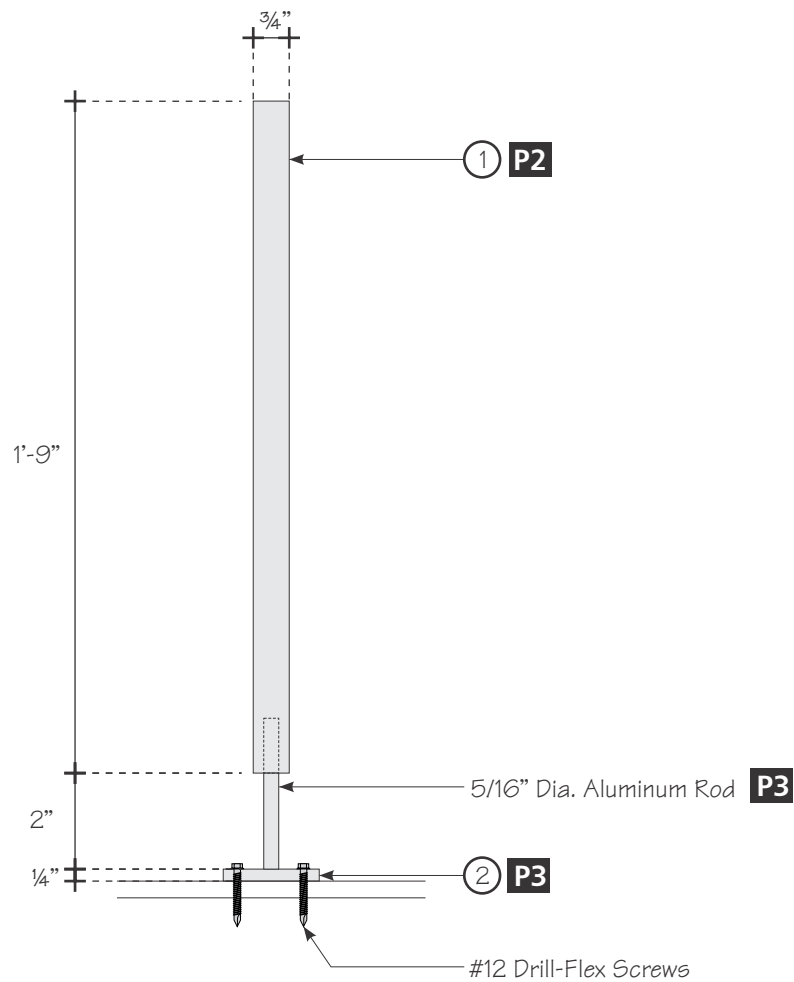
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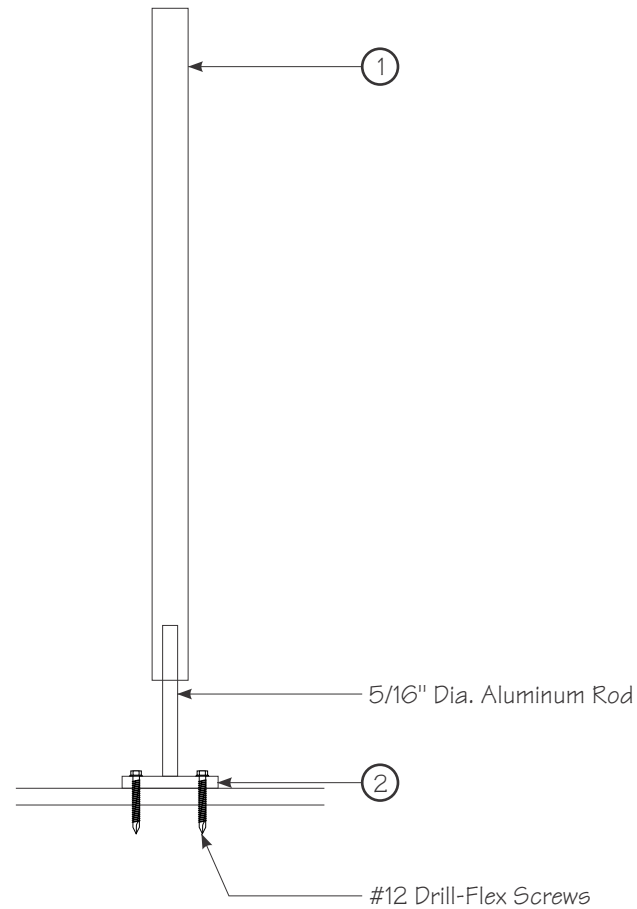
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**PAGE 1.1**  
SIGN TYPE A.01  
Front & Side Views



1 SIDE VIEW  
SCALE: 3" = 1'-0"



A SECTION DETAILS  
SCALE: 3" = 1'-0"

**SCOPE OF WORK:**

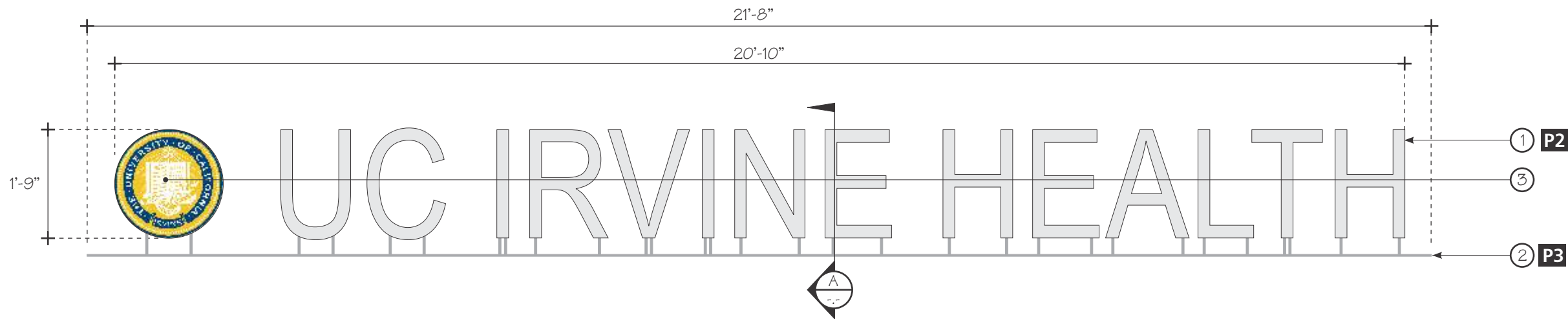
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**SPECIFICATIONS:**

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- ③ FIRST SURFACE DIGITAL PRINT GRAPHICS.

COLOR KEY

<b>P2</b>	MATTHEWS #42-202 NATURAL WHITE	
<b>P3</b>	MATTHEWS #42-209 GRAY	



2 FRONT VIEW  
SCALE: 1/2" = 1'-0"

36.46 Sq. Ft.

**CLIENT**  
UC IRVINE HEALTH  
101 HE CITY DRIVE  
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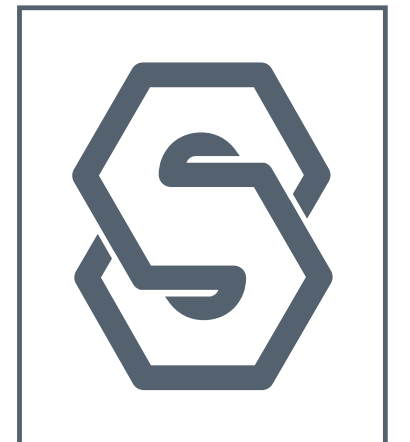
**DATE** 03.18.2017

**QUANTITY** (1) EACH  
(2) TOTAL

**SCALE** AS NOTED

**DRAWN BY:** MIKE N.

**REVISIONS**

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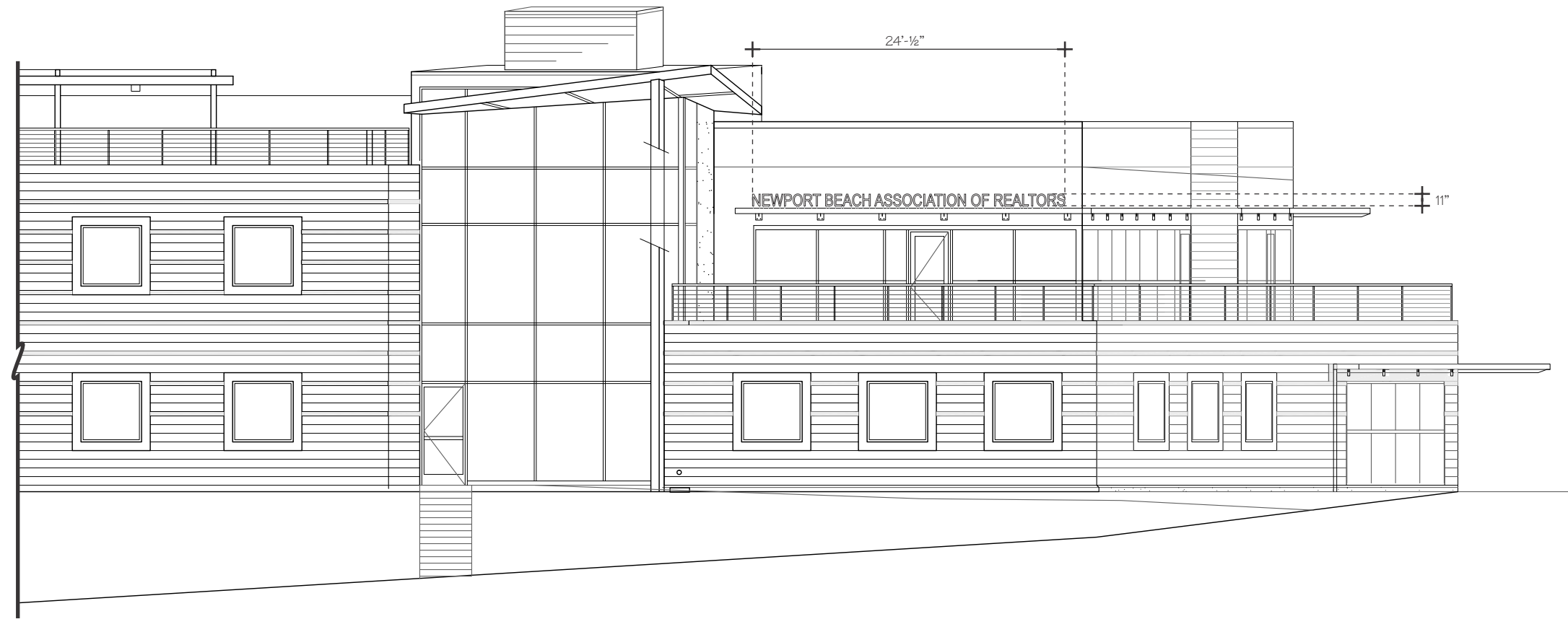
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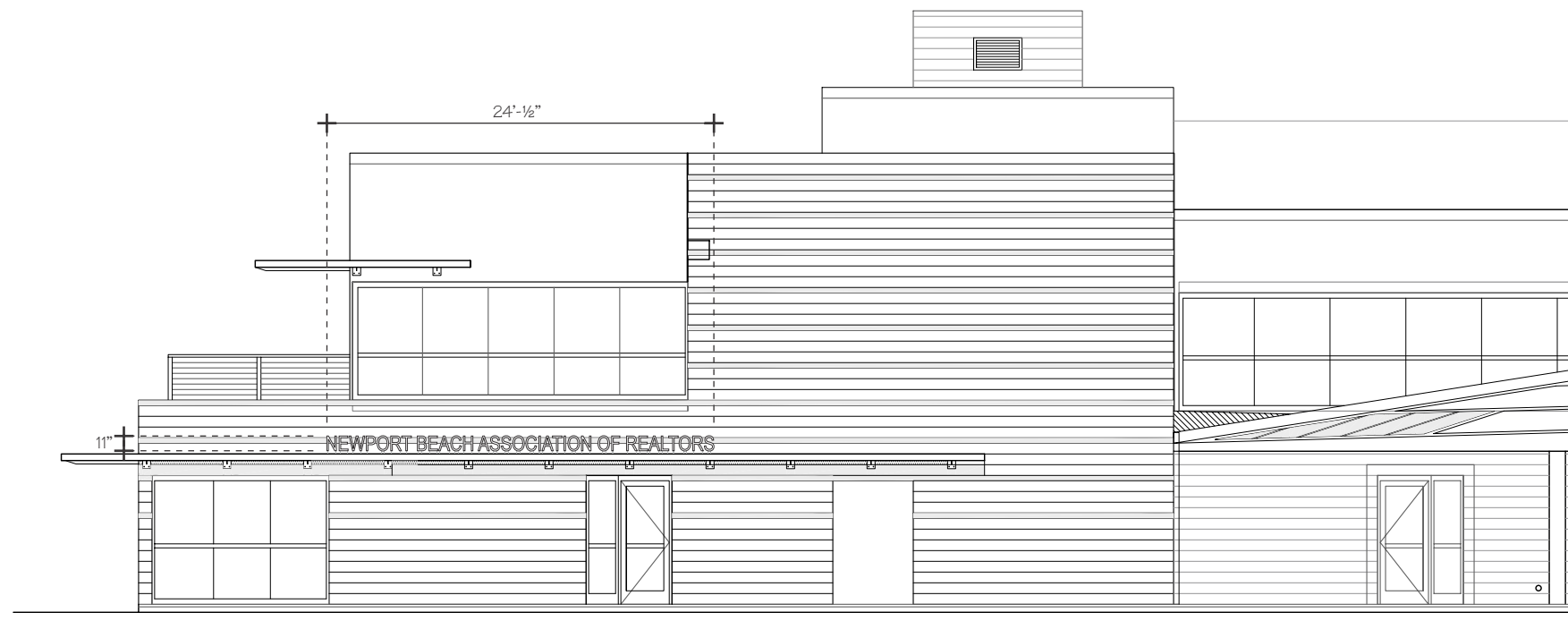
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**PAGE 1.2**  
SIGN TYPE A.02  
Front & Side Views



1 SOUTH ELEVATION VIEW  
SCALE: 3/32" = 1'-0"



2 NORTH ELEVATION VIEW  
SCALE: 3/32" = 1'-0"

**CLIENT**  
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**QUANTITY** (2) TOTAL

**SCALE** AS NOTED

**DRAWN BY:** MIKE N.

**REVISIONS**

- △ \_\_\_\_\_
- △ \_\_\_\_\_
- △ \_\_\_\_\_



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ARCHITECTURAL FABRICATORS

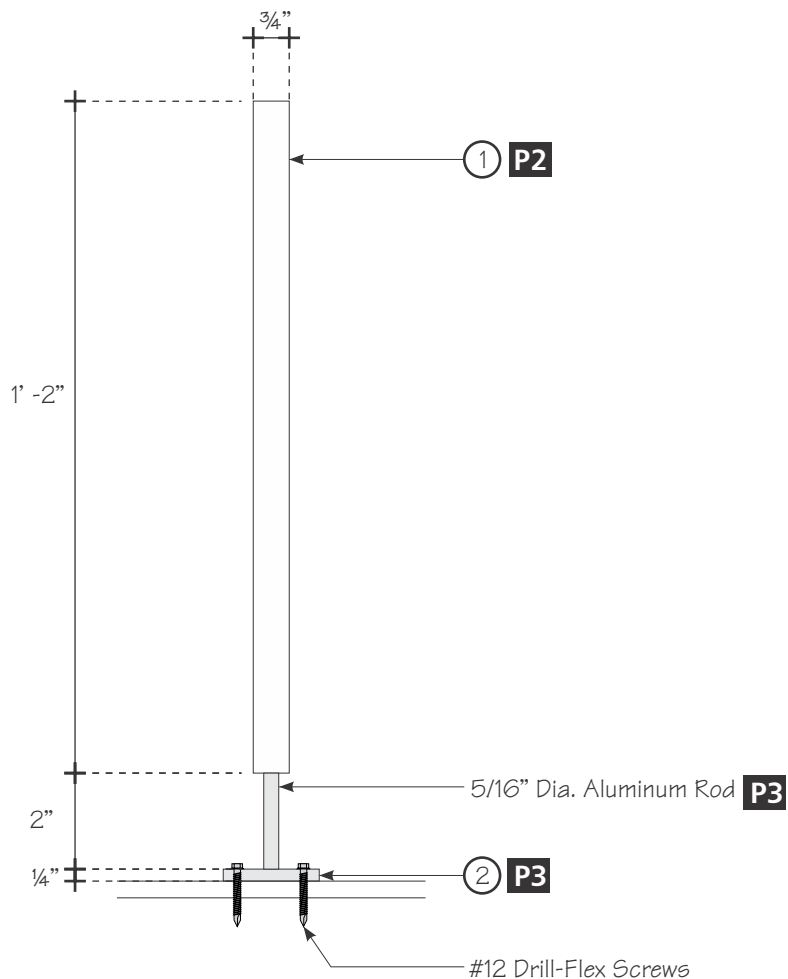
204-A W Carleton Ave.  
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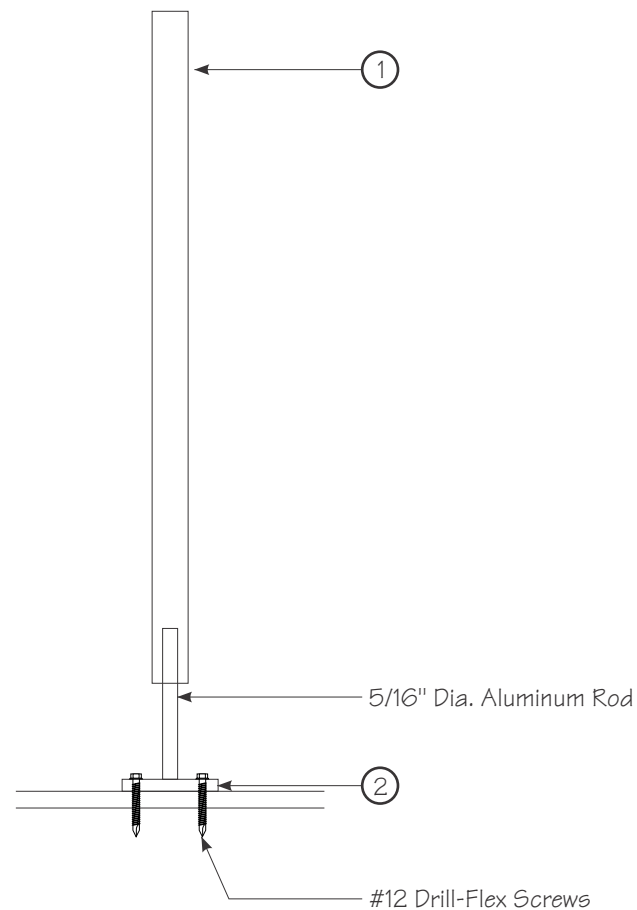
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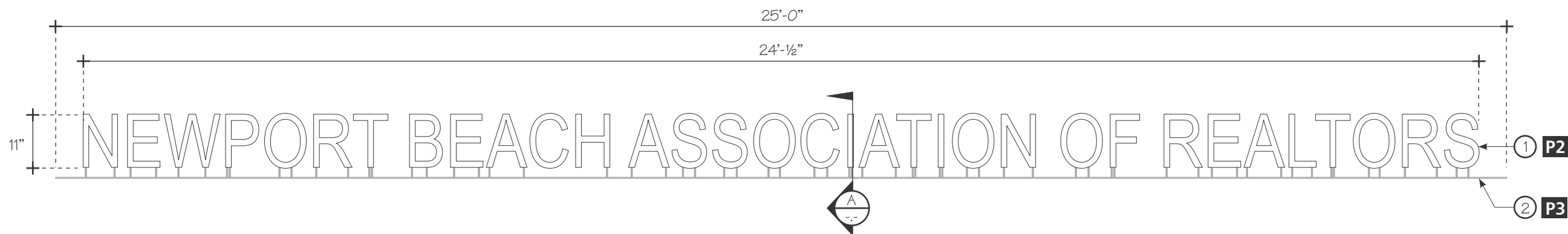




1 SIDE VIEW  
SCALE: 3/4" = 1'-0"



A SECTION DETAILS  
SCALE: 3/4" = 1'-0"



2 FRONT VIEW  
SCALE: 3/4" = 1'-0"

22.04 Sq. Ft.

**SCOPE OF WORK:**

FABRICATE NEW SECONDARY FRONTAGE TENANT SIGN PER SPECIFICATIONS.

**SPECIFICATIONS:**

- ① 3/4" THICK ACRYLIC LETTERS ATTACHED TO FABRICATED ALUMINUM CARRIER PLATE WITH 5/16" DIA. ALUMINUM ROD. PAINT FINISH PER SPECIFICATIONS.
- ② 2" x 1/4" ALUMINUM FLAT BAR WITH WELDED 5/16" ALUMINUM ROD FOR LETTER ATTACHMENT. CARRIER ATTACHED TO BUILDING OVERHANG WITH #12 DRILL FLEX SCREWS. PAINT FINISH PER SPECIFICATIONS.

COLOR KEY

P2	MATTHEWS #42-202 NATURAL WHITE	
P3	MATTHEWS #42-209 GRAY	

**NOTE:**

- Fabricate (1) new sign only.
- The other sign is existing and will be brought back to SignSource to be re-furbish.

**CLIENT**

UC IRVINE HEALTH  
101 HE CITY DRIVE  
BLDG. 27, RTE 131  
ORANGE, CA 92868

**PROJECT**

UC IRVINE HEALTH  
EXTERIOR BUILDING SIGNAGE  
401 OLD NEWPORT BLVD.  
NEWPORT BEACH, CA 92663

JOB NO. 16-138-0

DATE 03.18.2017

QUANTITY (2) ONLY

SCALE AS NOTED

DRAWN BY: MIKE N.

**REVISIONS**



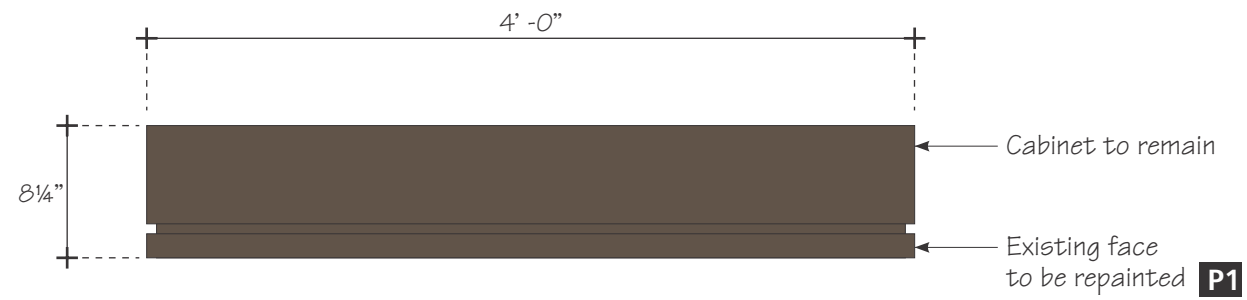

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1 TOP VIEW  
SCALE: 1" = 1'-0"

**SCOPE OF WORK:**

REFURBISH EXISTING S/F TENANT DIRECTORY SIGN PER SPECIFICATIONS.

**SPECIFICATIONS:**

- 8 FIRST SURFACE APPLIED VINYL. VINYL COLOR PER SPECIFICATIONS.

COLOR KEY

P1	MATTHEWS #41-313 DARK BRONZE	
V1	ARLON REFLECTA-CAL #02 WHITE	

**\*NOTE:**

COPY LAYOUT TO BE VERIFIED BY CUSTOMER PRIOR TO FABRICATION.

**CLIENT**

UC IRVINE HEALTH  
101 HE CITY DRIVE  
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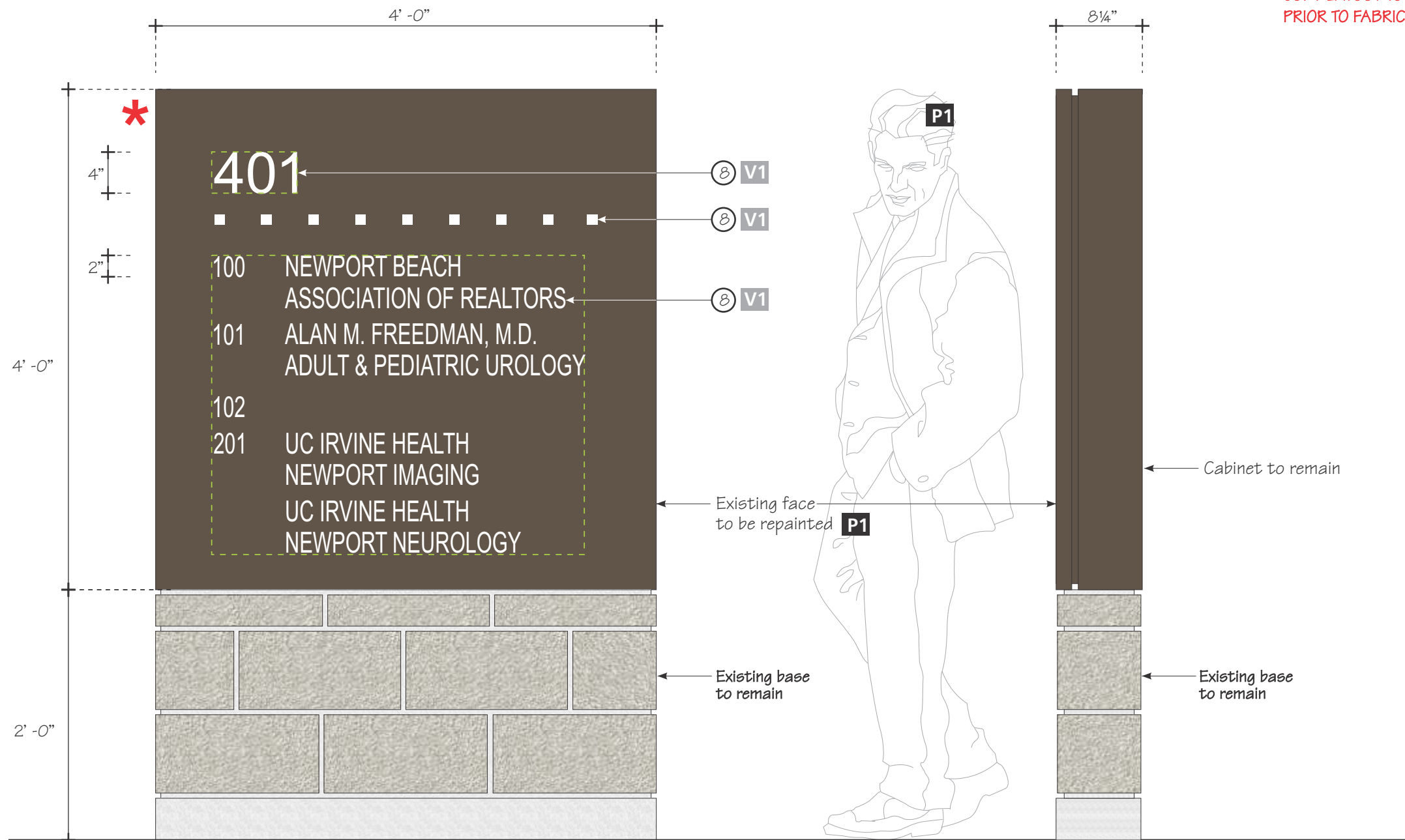
QUANTITY (1) ONLY

SCALE AS NOTED

DRAWN BY: MIKE N.

**REVISIONS**

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_



7.03 Sq. Ft.

2 FRONT VIEW  
SCALE: 1" = 1'-0"

3 SIDE VIEW  
SCALE: 1" = 1'-0"



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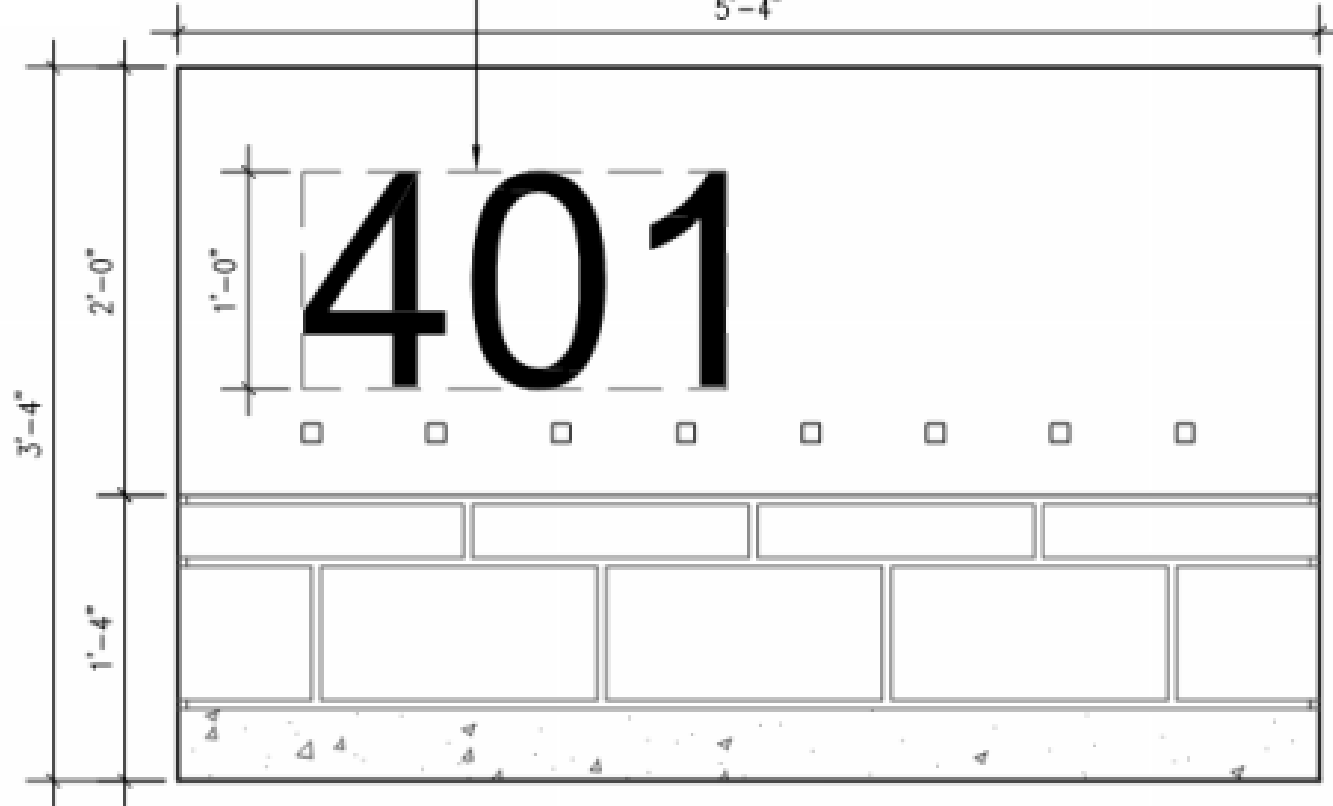
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SITE MONUMENT SIGN

Two-sided, concrete masonry base with an internally illuminated, fabricated aluminum sign cabinet with a polyurethane painted face and routed, push-thru, acrylic backed numerals and lower rule line blocks.

SIGN AREA = 2 S.F.

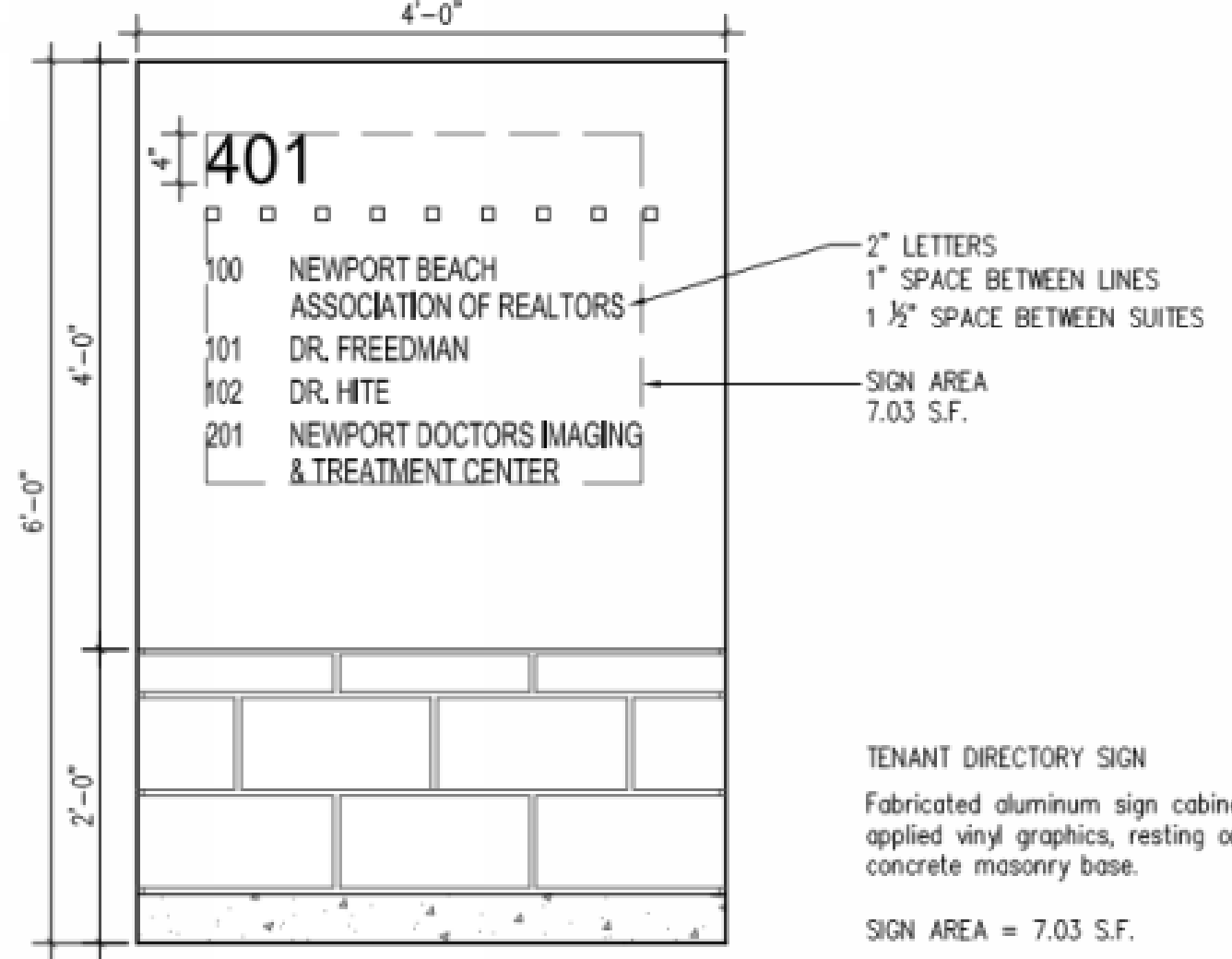
5'-4"



SIGN D01

NTS

4'-0"



2" LETTERS  
1" SPACE BETWEEN LINES  
1 1/2" SPACE BETWEEN SUITES

SIGN AREA  
7.03 S.F.

TENANT DIRECTORY SIGN

Fabricated aluminum sign cabinet with applied vinyl graphics, resting on a concrete masonry base.

SIGN AREA = 7.03 S.F.

SIGN F01

NTS