



## **CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION ACTION REPORT**

**TO:** CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

**FROM:** Seimone Jurjis, Community Development Director  
Brenda Wisneski, Deputy Community Development Director

**SUBJECT:** Report of actions taken by the Hearing Officer and Planning Division staff for the week ending October 6, 2017.

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### **HEARING OFFICER ACTIONS OCTOBER 1, 2017**

**Item 1:** DeLormier Abatement Extension (PA2017-143)  
Site Address: 1441 Superior Avenue

Action: Approved by Resolution No. HO2017-001

Council District 2

### **COMMUNITY DEVELOPMENT DIRECTOR OR PLANNING DIVISION STAFF ACTIONS (Non-Hearing Items)**

**Item 1:** Fletcher Jones Limited Term Permit No. XP2017-005 (PA2017-196)  
Site Address: 3300 Jamboree Road

Action: Approved

Council District 3

**APPEAL PERIOD:** An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

## **RESOLUTION NO. HO2017-001**

### **A RESOLUTION OF THE HEARING OFFICER OF THE CITY OF NEWPORT BEACH APPROVING AN ABATEMENT PERIOD EXTENSION FOR THE PROPERTY LOCATED AT 1441 SUPERIOR AVENUE (PA2017-143)**

THE HEARING OFFICER OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

WHEREAS, Chapter 20.38.100 of the Newport Beach Municipal Code (NBMC) requires nonconforming nonresidential uses in residential zoning districts to be abated and terminated upon a specified period of time unless that period of time is extended by a resolution from the Hearing Officer after a noticed public hearing to allow the property owner to amortize the owner's investment in the nonconforming property or to avoid an unconstitutional taking of property; and

WHEREAS, an application was filed by Lisa DeLormier, with respect to property located at 1441 Superior Avenue, and legally described as a Portion of Lot 819, First Addition to Newport Mesa Tract. The applicant requests approval of an abatement period extension to 2045, a lengthening of the abatement period for 24 years in addition to a previous extension ending December 15, 2021. The subject property is located within the RM (Multi-Unit Residential) Zoning District and the General Plan Land Use Element category is RM (Multiple-Unit Residential). The subject property is not located within the coastal zone; and

WHEREAS, the applicant proposes an extension of the required abatement period specified by Section 20.38.100 (Abatement Periods) of the Newport Beach Municipal Code as previously extended as noted above. The property is now, and at all times since 1959 been improved with an approximately 8,233 square-foot office building. The applicant requests to allow the existing nonresidential use to continue to December 15, 2045, without abatement; and

WHEREAS, a properly noticed public hearing was held on September 27, 2017, in the Crystal Cove Conference Room (Bay D-2<sup>nd</sup> Floor) of the Newport Beach City Hall facility located at 100 Civic Center Drive, Newport Beach, CA. Evidence, both written and oral, including a written staff report and testimony from the property owner was presented and considered by the Hearing Officer, William B. Conners; and

WHEREAS, the findings and considerations required to be considered by the Hearing Officer pursuant to NBMC Section 20.38.100.C.4.c. together with facts and information in support of such findings are set forth following:

A. Is the length of the abatement period appropriate considering the owner's investment in the use?

Finding: Yes. The office building has occupied the site for the past 58 years. The property owner also owns the building and adjacent property at 1445 Superior Avenue which is occupied by a convalescent hospital and is a conforming use. The lease of the convalescent hospital expires on December 31, 2045. The uses at 1441 Superior Avenue have the benefit of using parking spaces at 1445 Superior Avenue pursuant to the existing lease.

Facts in Support of Finding:

1. The property owner has considered redevelopment of the property with a conforming use. The irregular size, the access, and the shared parking creates Building Code and parking issues preventing viable re-use or redevelopment of the property. The most viable solution would be to combine the three adjacent properties (1441 Superior Avenue, 1445 Superior Avenue, and 1455F Superior Avenue) into one development. The property owner's ability to fund this potential future project could be affected by the loss of income resulting from the abatement of any of the uses that currently occupy the subject property.

2. Based on the information submitted, an extension of an additional 24 years for the abatement of the current uses is necessary to avoid the economic hardship that would otherwise result.

3. The abatement extension of an additional 24 years to December 15, 2045, is appropriate in this case since it will afford the property owner the ability to amortize the value of the future redevelopment of their three adjacent properties at 1441 Superior Avenue, 1455 Superior Avenue and 1455F Superior Avenue.

B. Does the length of time the use was operating prior to the date of nonconformity justify the extension of the abatement period beyond the code specified one year?

Finding: Yes. The property has been used as a commercial office building since 1959 when the use conformed to then current zoning. There is no evidence of any negative impact to the surrounding areas and in the context of surrounding uses, and has the support of a number of neighbors.

Facts in Support of Finding:

1. The property conformed to zoning when it was improved with the existing office building in 1959, but became nonconforming with the General Plan and Zoning Code in 2006, 11 years ago. The existing structure and use conformed to the Land Use Element of the General Plan for 47 years prior to the 2006 update, and was not subject to abatement until 2008. At all relevant times, the commercial office use has been compatible with the surrounding residential and non-residential land uses and there is no evidence of any nuisance arising from such use.

2. The substantial period of time of use without noted problems underscores a high probability of continued successful integration into the surrounding environs, supporting the extension sought.

C. Would the existing structure be suitable for an alternative use?

Finding: No. current building is not suitable for conversion from the existing commercial use to a residential building without demolishing and building new, or major renovation to provide

adequate living areas and residential parking. The size and access to the property do not allow for a viable project.

Facts in support of finding:

1. The existing building fronts on Superior Avenue, and 1441 Superior Avenue shares a driveway with 1445 Superior Avenue, which provides services that lend themselves to the use by elderly clients, customers, and/or patients such as a conforming adult day care use which is ideal. However, after years of extensive due diligence to repurpose the building for such use, all efforts were unsuccessful. All potential tenants cited limited access and parking as factors to not pursue occupancy of the building. The current building is not suitable for conversion from the existing commercial use to a residential building without demolishing and building new, or major renovation to provide adequate living areas and residential parking. The subject property is too small for an apartment or condominium project, would share a driveway with the convalescent hospital, and would have to comply with all current Newport Beach Code requirements.

D. Would remaining at this site beyond the abatement period result in any public harm?

Finding: No. There is no evidence that extending the nonconforming use will result in any negative impact or harm to the public. There is no evidence that the continued commercial office use will result in any change whatsoever, and the evidence presented is that the use is appropriate and acceptable to the surrounding neighborhoods at the current time. In fact there is evidence that the current use supports and enhances the surrounding elder care uses.

Facts in support of finding:

1. The subject property is in an area that is occupied by other nonresidential uses; including office, medical office (across the street) and a convalescent hospital. Furthermore, the property owner has reached out to stakeholders in the area (most notably the four assisted living facilities within one mile of the subject property) and the need for support services was expressed such as behavioral health services for seniors, physical therapy for seniors and a local pharmacy that will make deliveries. The subject property has a physical therapy tenant, psychologists and a pharmacist who are looking for leases greater than 10 years. These uses are the least impactful to parking which has always been an issue in this area.

2. The existing office building has not posed a negative impact on the neighboring uses, including the adjacent apartment residents to the west.

E. Would relocation of the facility to another site be overly costly and infeasible?

Finding: Yes. The property owner does not have any other properties to which the tenants could relocate.

Facts in support of finding:



1. The relocation of the proposed use is difficult since the property owner only owns buildings within the immediate vicinity that are also zoned residential.

2. The property owner's investment into the redevelopment of their other properties into conforming uses (1455G Superior and 1455F Superior) was already costly. Abatement of the existing uses would result in additional revenue loss and could impact the future redevelopment. This would be an unreasonable expenditure to expect the owner to shoulder.

F. This project has been determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Title 14 of the California Code of Regulations (Section 15315, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act) under Class 1 (Existing Facilities)), and furthermore this abatement period extension has been determined not to have a significant effect on the environment and not subject to the provisions of CEQA. This activity is also covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment (Section 15061(b) (3) of the CEQA Guidelines and it can be seen with relative certainty that there is no possibility that this activity will have a significant effect on the environment and therefore it is not subject to CEQA; and

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Hearing Officer of the City of Newport Beach hereby conditionally grants and approves the requested Abatement Period Extension (PA2017-143) for the subject property located at 1441 Superior Avenue, Newport Beach, CA, subject to the findings and considerations set forth above and the conditions set forth following.

2. The evidence presented in support of the matter, including the staff report, and all oral testimony presented at the hearing, along with this Resolution, are hereby accepted into and shall constitute the record in this matter.

3. The Abatement Period Extension for the subject property located at 1441 Superior Avenue, and legally described as a Portion of Lot 819, First Addition to Newport Mesa Tract, is hereby extended for an additional 24 years, expiring on December 15, 2045, at which time all nonresidential uses of the property shall cease or the building be demolished unless an additional extension of the abatement period is granted or an appropriate change in the Zoning District and the General Plan Land Use Designation are approved and adopted, or a change to the Zoning Regulations pertaining to nonconforming uses or their abatement are approved and adopted prior to that date.

4. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal is filed with the City Clerk in accordance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

5. This resolution is intended to operate in an additive manner at the conclusion of the current extension previously granted by Hearing Officer Resolution No. HO2011-006 (PA2011-032), and does not in any way nullify or void that decision. The extension shall be automatic

5. This resolution is intended to operate in an additive manner at the conclusion of the current extension previously granted by Hearing Officer Resolution No. HO2011-006 (PA2011-032), and does not in any way nullify or void that decision. The extension shall be automatic in nature and no further action or operation shall be required to implement this further extension of the abatement period now in effect.

**PASSED, APPROVED, AND ADOPTED THIS 1st DAY OF OCTOBER, 2017.**



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William B. Connors, Hearing Officer



## COMMUNITY DEVELOPMENT DEPARTMENT

### PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915

949-644-3200

[www.newportbeachca.gov](http://www.newportbeachca.gov)

## **ZONING ADMINISTRATOR ACTION LETTER**

**Application No.**      **Limited Term Permit No. XP2017-005 (PA2017-196)**

**Applicant**            **Skender Construction**

**Site Location**        **3300 Jamboree Road**  
                              **Fletcher Jones Temporary Trailer**

**Legal Description**   **Irvine Sub Blk 51 Lot 146 Por of Lot**

On **October 6, 2017**, the Zoning Administrator approved a Limited Term Permit for a duration of less than 90 days for a temporary trailer for Fletcher Jones Motorcars employees to relocate during remodeling of the car dealership. The property is located in the San Diego Creek North Planned Community. This approval is based on the following findings and subject to the following conditions.

### **FINDINGS**

#### **Finding:**

- A.      *This project has been reviewed, and it has been determined that it is categorically exempt from the requirements of the California Environmental Quality Act under Class 11 (Accessory Structures)*

#### **Facts in Support of Finding:**

1.      Class 11 exempts the placement of seasonal or temporary use of items such as lifeguard towers, mobile food units, portable restrooms, or similar items. The proposed temporary trailer will be placed within the rear of the car dealership for a temporary time period and will be ancillary to an existing commercial development under renovation.

#### **Finding:**

- B.      *The operation of the limited duration use at the location proposed and within the time period specified would not be detrimental to the harmonious and orderly growth of the City, nor endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the requested limited duration use;*

Facts in Support of Finding:

1. The limited term permit will allow one temporary trailer for employees to relocate during the construction of the car dealership.
2. The operation of the temporary trailer is limited to 90 days from the date of permit issuance and has been reviewed and conditioned to preclude any detriment to the general welfare of the area.

Finding:

- C. *The subject lot is adequate in size and shape to accommodate the limited duration use without material detriment to the use and enjoyment of other properties located adjacent to and in the vicinity of the lot;*

Facts in Support of Finding:

1. The subject lot is approximately 8.5 acres in size. Based upon the site plan, there is adequate area to accommodate the proposed trailer and existing uses without impacting vehicle circulation. The trailer will be located in the parking lot behind the existing car dealership.
2. The lot is bounded by Jamboree Road to the north and west, a freeway ramp to the east, and Bayview Way to the South. The temporary trailer will not affect any of the surrounding uses.
3. The temporary trailer will be erected on private property.
4. The placement of the temporary trailer has been conditioned to ensure that it will not negatively impact on-site circulation.

Finding:

- D. *The subject lot is adequately served by streets or highways having sufficient width and improvements to accommodate the kind and quantity of traffic that the limited duration use would or could reasonably be expected to generate;*

Facts in Support of Finding:

1. The subject lot has direct driveway approaches taken from Jamboree Road and Bayview Way. The temporary trailer's location in the rear parking lot will not impede access to the existing car dealership. There are no traffic issues anticipated.

Finding:

- E. Adequate temporary parking to accommodate vehicular traffic to be generated by the limited duration use would be available either on-site or at alternate locations acceptable to the Zoning Administrator; and*

Facts in Support of Finding:

1. The proposed temporary trailer will not create additional parking demand since it will be utilized as a workspace for employees displaced during the renovation of the existing car dealership.
2. Adequate parking will be provided by way of the existing Fletcher Jones car dealership parking lot.

Finding:

- F. The limited duration use is consistent with all applicable provisions of the General Plan, any applicable specific plan, the Municipal Code, and other City regulations.*

Facts in Support of Finding:

1. The temporary trailer is conditioned to comply with all applicable provisions of the General Plan, Municipal Code, and other City regulations.
2. The site is not located within a specific plan area.

**CONDITIONS**

1. The development shall be in substantial conformance with the approved site plan except as noted in the following conditions.
2. Anything not specifically approved by this limited term permit is prohibited and must be addressed by a separate and subsequent review.
3. All temporary structures shall be anchored and a building permit shall be secured for those structures as required by the Building Division.
4. All temporary structures are required to be inspected by a Building Division Inspector. The applicant shall comply with all lawful orders and requirements of the Building Inspector.
5. The operator of the limited duration use shall be responsible for the control of noise generated by the subject facility including, but not limited to, noise generated by patrons and equipment. All noise generated by the proposed use shall comply with

the provisions of Chapter 10.26 and other applicable noise control requirements of the Newport Beach Municipal Code. If noise generation does not comply with the aforementioned provisions, the Community Development Director may require remediation measures which may include relocation of equipment.

6. No outdoor sound system, loudspeakers, or paging system shall be permitted in conjunction with the facility.
7. Lighting shall be in compliance with applicable standards of the Zoning Code. Exterior on-site lighting shall be shielded and confined within site boundaries. No direct rays or glare are permitted to shine onto public streets or adjacent sites or create a public nuisance. "Walpak" type fixtures are not permitted. If in the opinion of the Community Development Director the existing illumination creates an unacceptable negative impact on surrounding land uses or sensitive habitat areas, the dimming of light sources or other remediation may be ordered. An electrical permit shall be secured for lighting as required by the Building Division.
8. All electrical shall be in good working order and shall be protected from pedestrian traffic. An electrical permit shall be obtained and the site inspected by the Building Division.
9. The existing accessible parking stall and path of travel adjacent to the temporary trailer must be maintained.
10. Prior to permit issuance, approval for the temporary trailer shall be obtained from the Metropolitan Water District for placement on their easement.
11. Operation of the temporary trailer shall comply with all conditions from the Metropolitan Water District.
12. The drive aisle adjacent to the ramp of the trailer shall be closed to vehicular traffic.
13. The dead-end drive aisle shall be accompanied by a 5-foot hammerhead/drive aisle extension
14. The applicant shall provide a 24-hour contact number for emergencies to Code Enforcement and interested parties upon request during the time period the trailers are authorized.
15. The trailers shall not block any firefighting equipment such as fire hydrants, standpipe connections, or fire department connections.
16. The Limited Term Permit is for the operation of one temporary trailer on-site for 90 days after the final inspection of the building permit is issued and does not authorize the use or operation of additional storage trailers on-site.

17. Should the temporary trailer become a detriment to the public health, comfort, convenience, safety, and general welfare of the peace and quiet of the neighboring properties and their inhabitants, this permit may be revoked.
18. The approval of the requested limited term permit is contingent upon compliance with applicable provisions of the Municipal Code and the successful granting of all required permits from any other department or governing agency.
19. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Fletcher Jones Temporary Trailer** including, but not limited to, **Limited Term Permit No. XP2017-005 (PA2017-196)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

### **APPEAL PERIOD**

An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

On behalf of Patrick J. Alford, Zoning Administrator

By:

  
David S. Lee, Planning Technician

JM/dl

Attachments:   ZA 1 Vicinity Map  
                  ZA 2 Plans



# **Attachment No. ZA 1**

Vicinity Map

# VICINITY MAP



Limited Term Permit No. XP2017-005  
PA2017-196

**3300 Jamboree Road**

# **Attachment No. ZA 2**

Plans

FINISH SCHEDULE		
	INTERIOR	REMARKS
FLOOR	1. 1/8" V.C.T. (RESTROOMS) COLOR: COOL WHITE	
	2. 20oz. CARPET (REMAINDER OF BUILDING) COLOR: OCEANWAVE	
BASE	1. 1 1/4" PREFINISHED WOODGRAIN TRIM (REMAINDER)	
	1. 6" VINYL COVE (RESTROOMS) COLOR: GREY	
WALLS	1. 1/2" V.C.G. (THRU-OUT) COLOR: SNOWDRIFT	
	2. FRPBOARD (R.R.'S ONLY) 4'-0" HIGH AS PER CODE COLOR: WHITE	
TRIM	1. PREFINISHED WOODGRAIN TRIM (THRU-OUT) COLOR:	
CEILING	1. 2x4 SUSPENDED CEILING @ 7'-10" A.F.F. ARMSTRONG CORTEGA 769A (OR EQUAL) COLOR: WHITE	

CONSTRUCTION NOTES											
CHASSIS			FLOOR			EXTERIOR WALLS			INTERIOR WALLS		
DIMENSION	(2) 11'-8" x 60'-0"		JOISTS	2x8x133 3/4" HF #2		STUDS	2x4" HF STUD GRD		STUDS	2x4x92 5/8" HF STUD GRD	
DIMENSION	N/A		JOISTS	N/A		STUDS	N/A		STUDS	N/A	
FRAME	BASEMENT (CH-2)		SPACING	16" o.c.		SPACING	N/A		T-T-P	N/A	
I-BEAM	12"		SPACING	8" o.c. (SEE HATCHING)		SPACING	16" o.c.		SPACING	16" o.c.	
OR/CM/MC	8/8/8		DECKING	5/8" T&G PLYWOOD		BALLOON	SIDEWALLS		FULL HT.	N/A	
HATCH	DETACHABLE		INSULATION	R-11 UNFACED		TOP PLATE	ENDWALLS		FLAT	ALL WALLS	
AXLE	TRIPLE (NEW)		BTM. CLDS	REINFORCED PLASTIC		INSULATION	R-11 FACED		INSULATION	R-11 UNFACED 16/R ONLY	
W-B	ALL W-B					SIDING	7/16" SMART PANEL		SPECIAL	NOTES	
TILES	800 NEW 12"-PLY					GROOVES	8" o.c. (8' SHEETS)				
SPECIAL NOTES	UPGRADE FRONT & REAR MEMBERS TO I-BEAMS					SPECIAL NOTES	1 1/2" OVERLAP AT RIM JOIST. ADD Z-BAR FLASHING TO BOTTOM OF SIDING (SEE DETAIL)		ACCESSORIES		
									CABINET - 4 LF. OF BASE & UPPER		
ROOF			RIDGEBEAM			CLEAR SPAN			SKIRTING		
ROOF CVR	0.045 EPDM w/ 1/2" GYP.		LAYERS	N/A		LOAD	120#		COLOR:	STD. OAK	
COLOR:	BLACK		MATERIAL	N/A		CENTER HT.	128"		COUNTER:	4 LF OF 22 1/2" STD.	
RAFTER	2x6x133 1/4" HF #2		CENTER HT.	N/A		HEEL HT.	120 1/2"		EDGE TYPE:	ROLLED	
RAFTER	N/A		HEEL HT.	N/A		POST SIZE	4x6 WOOD POST		COLOR:	FROSTY WHITE	
RAFTER	N/A					TOP OF I-BEAM TO BOT. OF TRUSS			SHELVING:	N/A	
ROOF SLOPE	1/4" TO 12" (COMPLEX)								TYPE:	N/A	
SPACING	16" o.c.								COLOR:	N/A	
SPACING	N/A								COLOR:	N/A	
SHEATHING	1/2" 24/D SHEATHING								EDGE TYP.	N/A	
INSULATION	R-19 UNFACED								COLOR:	N/A	
OVERHANG	N/A										
WANSARD	N/A										

DOOR SCHEDULE											
SYM	SIZE	THK.	DOOR		JAMB		JAMB	FIN HRD GRP	QTY	ROUGH OPENING	REMARKS
			MAT'L	TYPE	MAT'L	TYPE					
(A)	3068	1 3/4"	24ga.	H.M.	ALUM	ACTIVE	4 1/2"	1	1	2	37 1/2" x 81 1/4" RLC-1 DOOR
(B)	3068	1 3/8"	WOOD	H.C.	20ga.	TIMELY	4 1/2"	2	2	4	37 1/2" x 81 1/4"
(C)	3068	1 3/8"	WOOD	H.C.	20ga.	TIMELY	4 1/2"	2	3	2	37 1/2" x 81 1/4"
HARDWARE GROUP						FINISH GROUP					
NOTE DOOR HANDLES TO BE HANDICAP ACCESSIBLE.						1. SEMI GLOSS INTERIOR COLOR : NEUTRAL GROUND EXTERIOR COLOR : NEUTRAL GROUND JAMB COLOR : BRONZE					
2. PASSAGE LV(GRADE 2), SGL. CYL. DEADBOLT, CLOSURE, DRIP CAP, (2) STD. (1) NRP HINGE, WEATHERSTRIPPING, THRESHOLD, DOOR SWEEP.						2. PREFINISHED WOODGRAIN w/ MATCHING CASING JAMB COLOR : BROWN TONE					
3. PRIVACY w/ PUSH BUTTON, HINGES, WALL MNT'D DOOR STOP.											
DOORS KEYED ALIKE: YES											

WINDOW SCHEDULE							
SYM	SIZE	WINDOW TYPE	FRAME	GLASS	QTY	ROUGH OPENING	REMARKS
(1)	4030	HORIZ. SLIDER	BRONZE	DUAL GLAZE CLEAR	8	48" x 36"	INTERNATIONAL 2200
HEADER HEIGHT				MISCELLANEOUS			
81 1/4" A.F.F.				1. HORIZONTAL ALUMINUM MINI BLINDS (4030) (8) COLOR: FAWN 2. INTERIOR SECURITY BARS w/ FASTENERS COLOR: BLACK			

GENERAL NOTES -CALIFORNIA-	
1.	B OCCUPANCY AND TYPE V-N CONSTRUCTION.
2.	PROVIDE SIGN ADJACENT TO ENTRANCE STATING: "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS."
3.	THIS STRUCTURE IS NOT TO BE LOCATED LESS THAN 20 FEET FROM PROPERTY.
4.	OCCUPANCY LOAD SHALL BE UNDER 12 MAXIMUM. WILL HAVE EXIT(S) AS INDICATED.
5.	EXIT DOOR SHALL BE OPENABLE FROM THE INSIDE WITHOUT USE OF KEY OR ANY SPECIAL KNOWLEDGE.
6.	LANDINGS AT EXIT DOORWAYS SHALL COMPLY WITH #3306 (G) UBC 1991 EDITION.
7.	INSTALL A MECHANICALLY OPERATED VENTILATING SYSTEM PROVIDING A MINIMUM OF 15 CFM PER OCCUPANT WITH 5 CFM OF OUTSIDE AIR.
8.	ROOF COVERING SYSTEM SHALL BE PER CHAPTER 32 OF THE 1991 UBC.
9.	GLAZING SHALL COMPLY WITH CHAPTER 54 OF THE 1991 UBC.
10.	SYSTEM TO BE USED FOR PLUMBING: AS SHOWN
11.	BUILDING IN ACCORDANCE WITH 1991 UBC, 1991 UMC, 1991 UPC, AND 1993 NEC.
12.	DESIGN LOADS: LIVE FLOOR 50 LBS/SQ. FT. LIVE ROOF 20 LBS/SQ. FT. WIND 22.3 LBS/SQ. FT. SEISMIC ZONE 4
13.	SEPARATE TOILET FACILITIES TO BE PROVIDED FOR EACH SEX IN ADJACENT BUILDING(S) ON SAME PROPERTY IF ADEQUATE TOILET FACILITIES ARE NOT PROVIDED IN BUILDING.
14.	BUILDING IS FOR OFFICE USE.
15.	THIS PLAN MAY BE REVISED AND OR MIRRORED.

ELECTRICAL SCHEDULE				
SYMBOL	DESCRIPTION	CLR	QTY	REMARKS
⊕	GROUND FAULT CIRCUIT INTERRUPT RCPT. W/ COVER PLATE @42" A.F.F. U.N.O. (NO BRAND SPECIFIED)	IVORY	3	
⊕	GFCI DUPLEX RCPT. W/ WEATHER PROOF COVER PLATE @16" A.F.F. U.N.O. (NO BRAND SPECIFIED)	IVORY	1	
⊕	DUPLEX RECEPTACLE w/ COVER PLATE @16" A.F.F. U.N.O. (NO BRAND SPECIFIED)	IVORY	20	
\$	SINGLE POLE SWITCH w/COVER PLATE @ 46" A.F.F. U.N.O. (NO BRAND SPECIFIED)	IVORY	6	@42" A.F.F. IN R.R.'S ONLY!
\$3	THREE-WAY & SINGLE POLE SWITCH w/ COVER PLATE @46" A.F.F. U.N.O. (NO BRAND SPECIFIED)	IVORY	2	
⊕	70 CFM FAN/LIGHT COMBO BRAND: BROAN 679	N/A	2	
⊕	THERMOSTAT @46" A.F.F. U.N.O. BRAND: WHITE ROGERS IF56W444	N/A	2	
⊕	2x4-4 TUBE FLUORESCENT FIXTURE, RECESSED, DIFFUSED. (NO BRAND SPECIFIED)	N/A	16	
⊕	125 AMP 1 PHASE 120/240 W/ 125 AMP MAIN. 36" A.F.F. TO TOP OF PANEL/EXT. SURFACE (N.B.S.)	N/A	2	
⊕	2x4 J-BOX @16" A.F.F. w/3/4" CONDUIT STUBBED TO CEILING CAVITY W/COVER PLATE U.N.O.	N/A	8	FOR FUTURE TELEPHONE
⊕	6x6x6 NEMA 3R J-BOX SEMI-RECESSED MNT'D @16" A.F.F. w/3/4" CONDUIT STUBBED TO CEILING CAVITY	N/A	1	FOR FUTURE INLET w/ COVER PLATE
⊕	HARD WIRED SINGLE GANGED J-BOX FOR WATER HEATER @16" A.F.F. w/ COVER PLATE (NO BRAND SPECIFIED)	N/A	2	
⊕	PORCH LIGHTS @64" A.F.F. U.N.O. BRAND: VANGUARD	N/A	2	
RACEWAY ROMEX				
NOTE: 1. ALL MEASUREMENTS FOR DEVICES WHICH REQUIRE A HEIGHT ARE TO THE CENTER LINE OF DEVICE UNLESS NOTED OTHERWISE. 2. ALL EXTERIOR ELECTRICAL DEVICES TO BE WEATHERPROOF. 3. FIRE ALARM SYSTEM PROVIDED AND INSTALLED ON SITE BY OTHERS. (WHEN APPLICABLE.)				

PLUMBING SCHEDULE		
SYMBOL	DESCRIPTION	QTY
⊕	FLOOR MNT'D ELONGATED BOWL FOR THE HANDICAPPED W/ STANDARD TANK (NO BRAND SPECIFIED)	2
⊕	ONE SET GRAB BARS. INCLUDES: (1) 36" LONG & (1) 48" LONG. MOUNTED @ 34" A.F.F.	2 SETS
⊕	WALL HUNG LAVATORY W/ 29" SPACE UNDERNEATH RIM FOR HANDICAPPED W/ STANDARD FAUCETS (NO BRAND SPECIFIED)	2
⊕	TOILET PAPER HOLDER (NO BRAND SPECIFIED)	2
⊕	24"x36" MIRROR @ 38" A.F.F. (NO BRAND SPECIFIED)	2
⊕	CHRONOMITE S-30 INSTANT WATER HEATER (OR EQUAL) (CHRONOMITE S30LMB120V)	1
⊕	CHRONOMITE S-70 INSTANT WATER HEATER (OR EQUAL) (CHRONOMITE S70WMD240V)	1
⊕	15"x15" BAR SINK w/ GOOSENECK FAUCET (NO BRAND SPECIFIED)	1
NOTE: MAY 27 2005		

HVAC SCHEDULE		
SYM	DESCRIPTION	QTY
⊕	3 TON AC W/ 10kw HEAT STRIP (F.A.D.) BRAND: (BARD WA36-A10)	2
⊕	28"x8" GALV. SLEEVE 12" LONG	2
⊕	30"x16" STAMP FACED THRU WALL RETURN AIR GRILL NO BRAND SPECIFIED.	2
⊕	28"x8" x10'-0" FIBERGLASS DUCT.	6
⊕	20"x8" x10'-0" FIBERGLASS DUCT.	4
⊕	24"x24" 4-WAY THROW DIFFUSER. 8" COLLAR W/ SCOOP & DAMPER 8" FLEX. 8" START COLLAR.	11
⊕	(2) 24"x24" RETURN AIR GRILLS w/ 10" COLLAR, 10" FLEX.	4
NOTE:		

APPROVED  
These plans have been approved and sealed in the California Code of Regulations Title 25, Chapter 3, Subchapter 2. This approval does not constitute an endorsement or deviations from state laws or local ordinances.

Plan Approval No.

Expires

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CUSTOMER SIGN OFF AREA  
☐ APPROVED WITHOUT MODIFICATION  
☐ APPROVED WITH MODIFICATION  
DATE: 5/17/05  
SIGNATURE: FRED

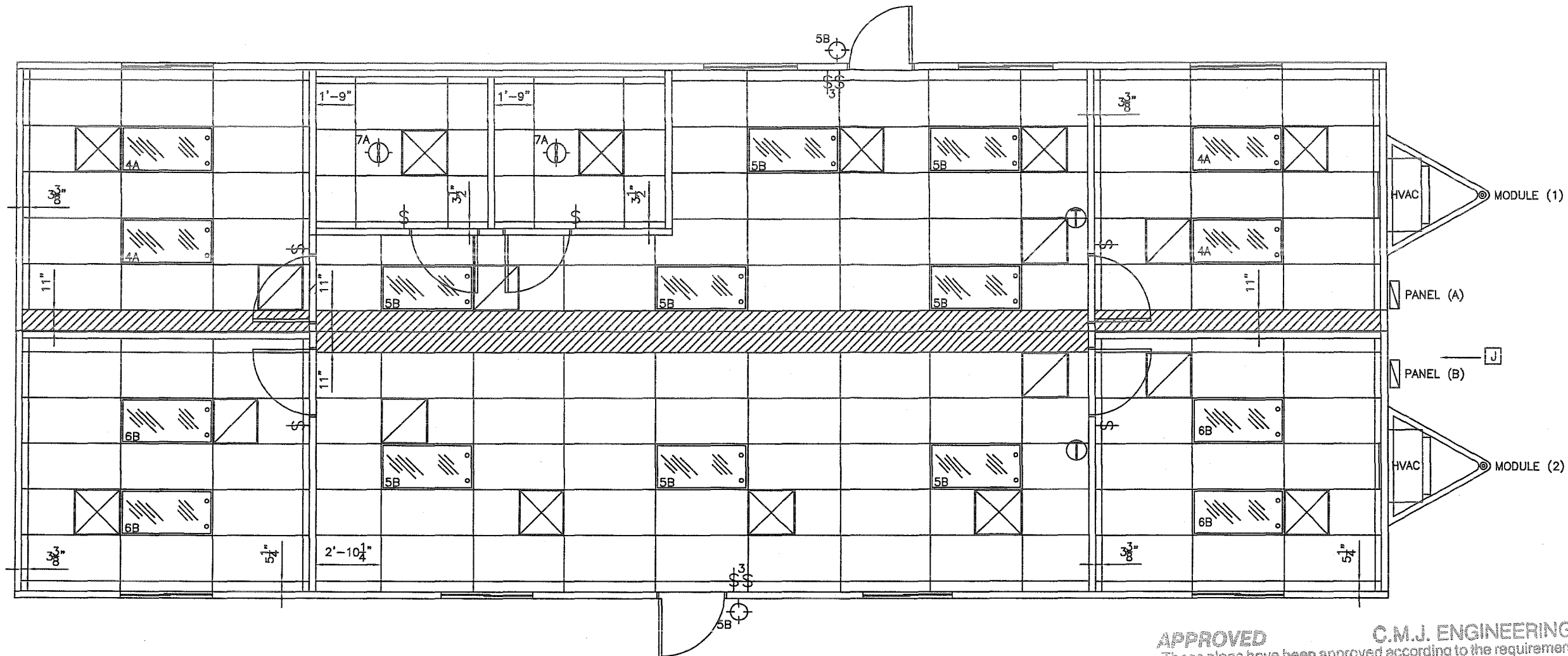
PHOENIX MODULAR  
1635 S. 43rd Ave. #300  
PHOENIX, AZ 85009  
PHONE: (602) 442-9298

MOBILE MINI  
7420 S. KYRENE RD. STE. 101  
PHOENIX, AZ 85044  
(602) 894-6311 FAX (602) 894-6433  
PMI-0273 TO 0274-2460  
PMI-MM-2460-03

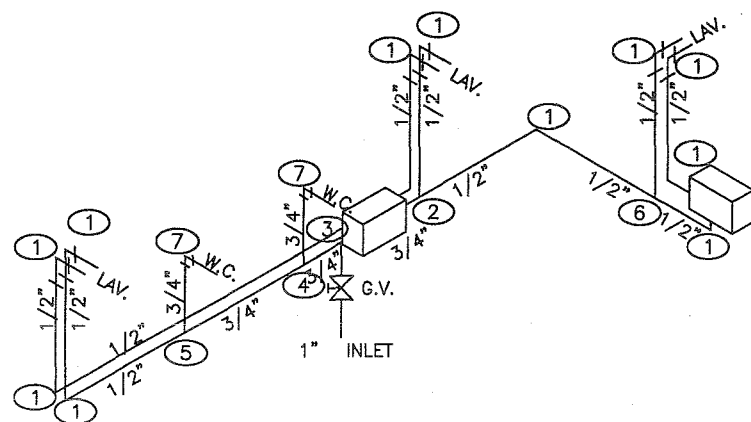
ENGINEER'S SEAL  
SHEET NUMBER  
1







REFLECTIVE CEILING PLAN

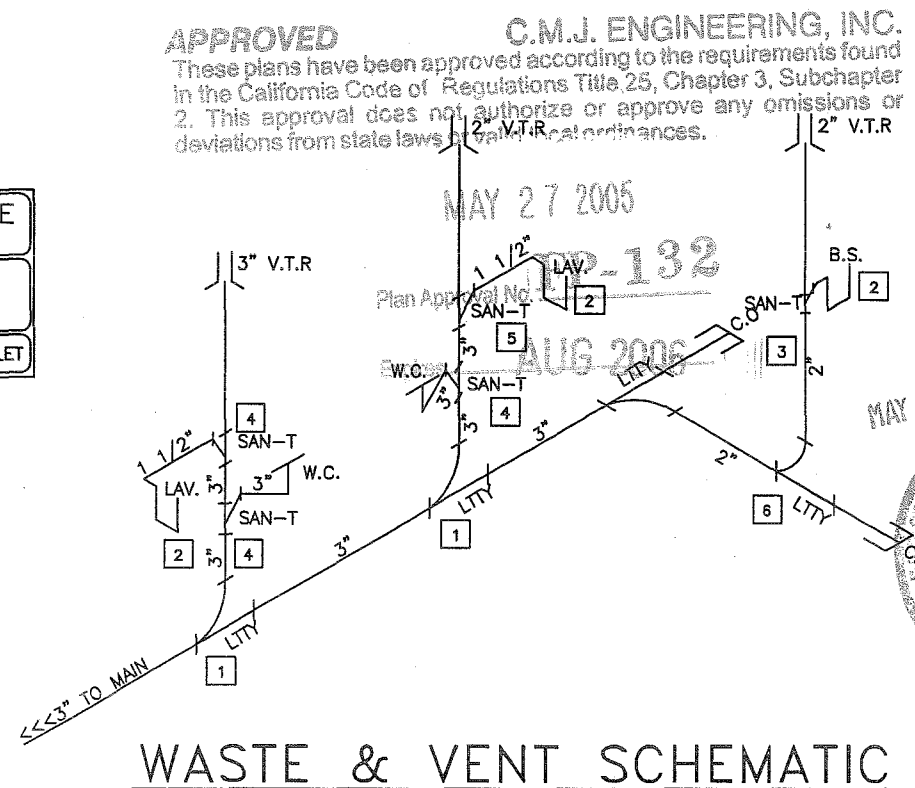


COLD & HOT SCHEMATIC  
MAXIMUM PRESSURE RANGE @ POINT OF CONNECTION 30 TO 45 PSI  
GREATEST DEVELOPED LENGTH 100'  
SUPPLY: COPPER (TYPE M)

COPPER FIXTURE SIZES	
①	1/2" EL
②	3/4"x1/2"x1/2" TEE
③	3/4"x1"x3/4" TEE
④	3/4" TEE
⑤	3/4"x3/4"x1/2" TEE
⑥	1/2" TEE
⑦	3/4" EL

DESCRIPTION	QTY	FIXTURE UNITS
BAR SINK	1	2
LAVATORY	2	4
WATER CLOSET	2	10
TOTAL F.U. =	16 =	1 INLET

WASTE FIXTURE SIZES	
①	3" LTTY
②	1 1/2" P-TRAP
③	2" SAN-T
④	3" SAN-T
⑤	3"x3"x2" SAN-T
⑥	2" LTTY



WASTE & VENT SCHEMATIC  
ALL PIPE TO BE ABS SCHEDULE 40  
AND WILL SLOPE 1/4" PER FOOT  
NOTE: PLUMBING MANIFOLD TO BE SUPPLIED  
AND INSTALLED ON SITE BY OTHERS.

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PHOENIX MODULAR  
1635 S. 43rd Ave. #300  
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7420 S. KYRIE RD. STE. 101  
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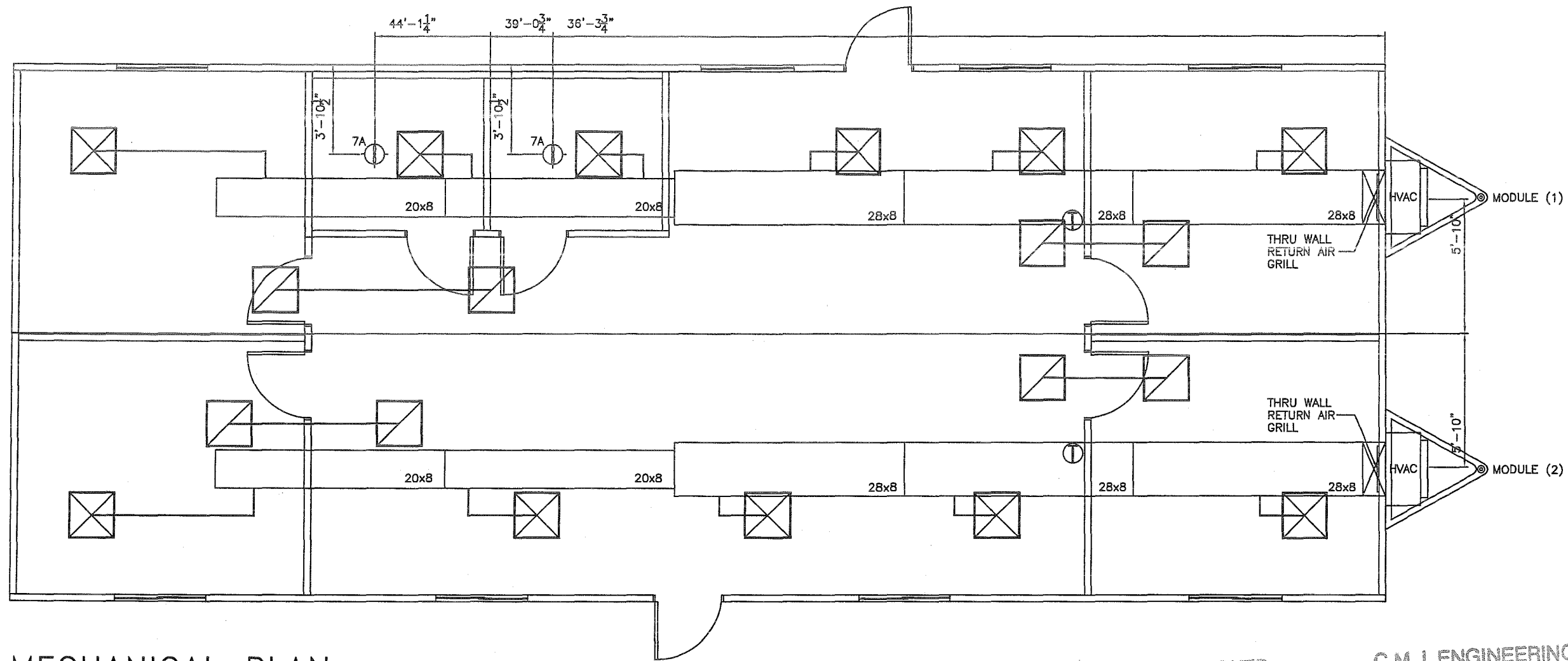
ENGINEER'S SEAL  
R. MARK STEELE  
P.E. 08/30/2005  
CIVIL  
ALPHABET

SHEET NUMBER  
3

CUSTOMER SIGN OFF AREA  
☐ APPROVED WITHOUT MODIFICATION  
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SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

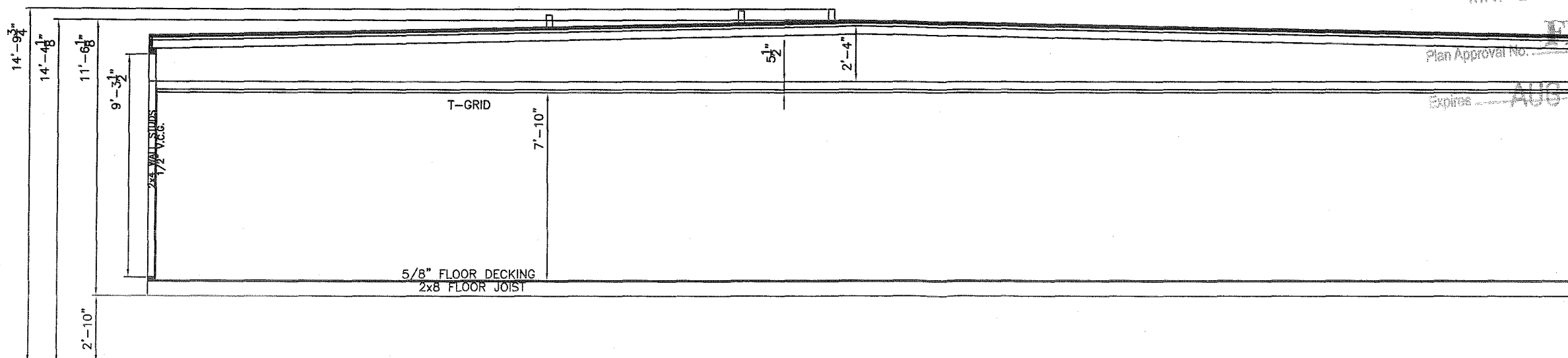
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DRAWER: FRED

PMI-0273 TO 0274-2460  
PMI-MM-2460-03



MECHANICAL PLAN

**APPROVED** C.M.J. ENGINEERING, INC.  
 These plans have been approved according to the requirements found  
 in the California Code of Regulations Title 25, Chapter 3, Subchapter  
 2. This approval does not authorize or approve any omissions or  
 deviations from state laws or valid local ordinances.



CROSS SECTION

**PHOENIX MODULAR**

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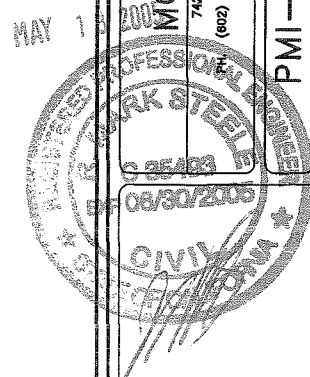
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DATE 5/17/05

DRAWER: FRED

PMI-0273 TO 0274-2460

PMI-MM-2460-03



ENGINEER'S SEAL

SHEET NUMBER

4

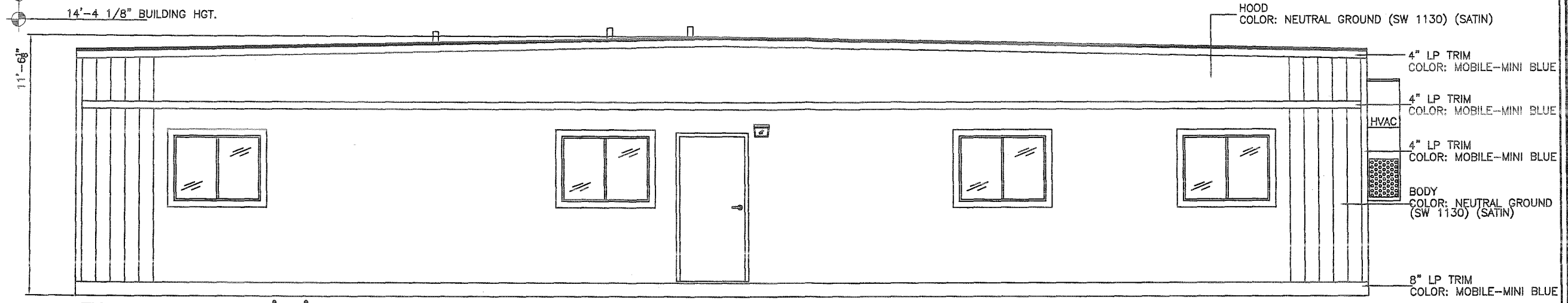
MAY 27 2005

EP-132

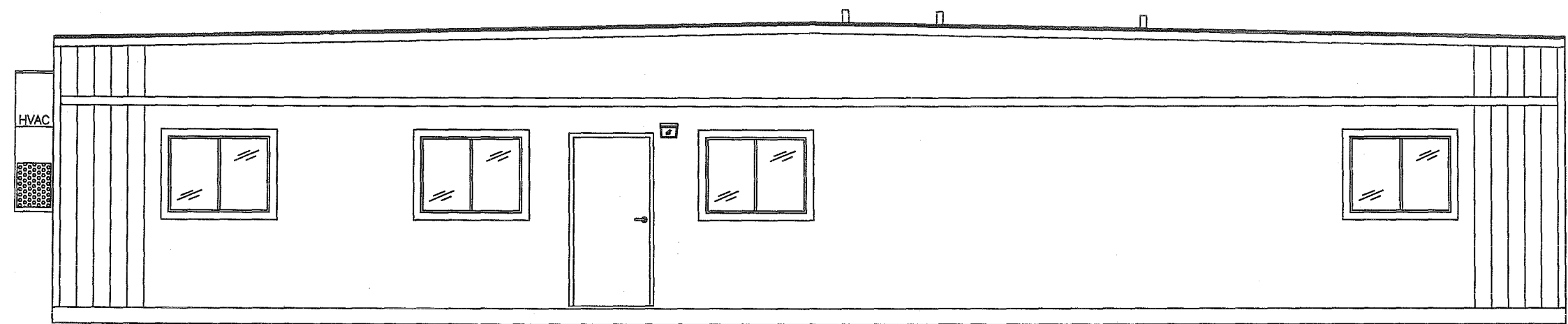
Plan Approval No. \_\_\_\_\_

Expires AUG 2006

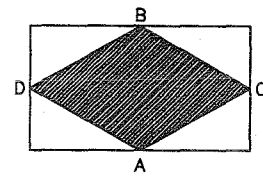
14'-9 3/4" TOTAL SHIPPING HGT. w/ PLUMBING VENTS.  
14'-4 1/8" BUILDING HGT.



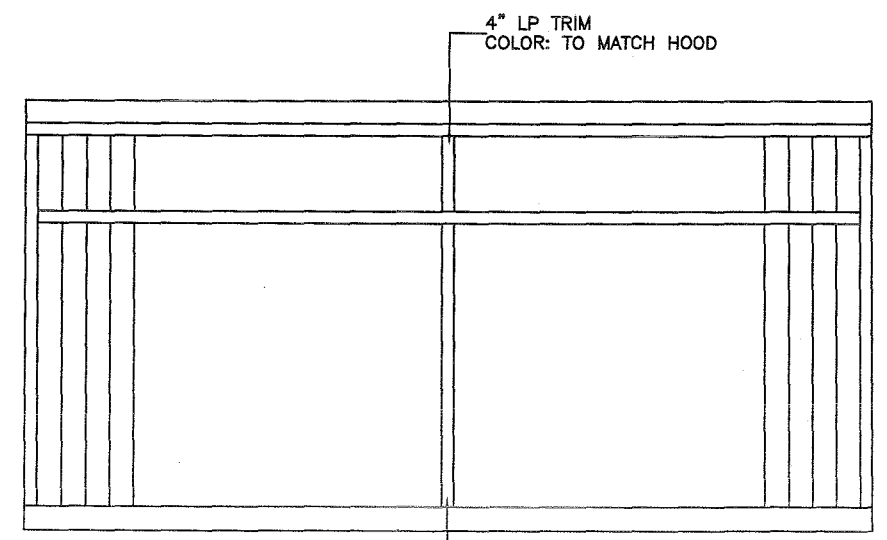
ELEVATION 'A'



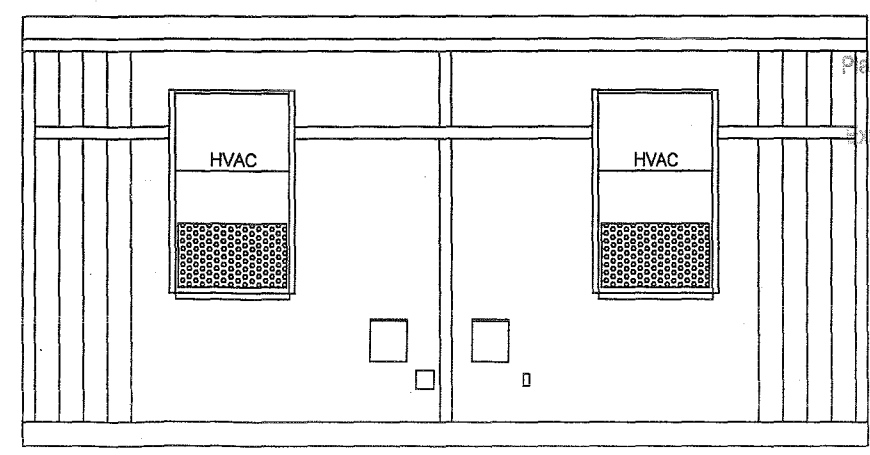
ELEVATION 'B'



PROVIDE DEALER SIGNS



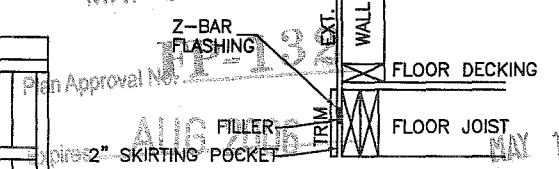
ELEVATION 'C'



ELEVATION 'D'

**APPROVED**  
C.M.J. ENGINEERING, INC.  
These plans have been approved according to the requirements found in the California Code of Regulations Title 25, Chapter 3, Subchapter 2. This approval does not authorize or approve any omissions or deviations from state laws or valid local ordinances.

MAY 27 2005



Z-BAR DETAIL

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CUSTOMER SIGN OFF AREA

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**PHOENIX MODULAR**

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PHOENIX, AZ 85009  
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**MOBILE MINI**

7420 S. WYOMING DR. STE 101  
TEMPE, AZ 85283  
PH. (602) 884-6311 FAX (602) 884-6433

PMI-0273 TO 0274-2460

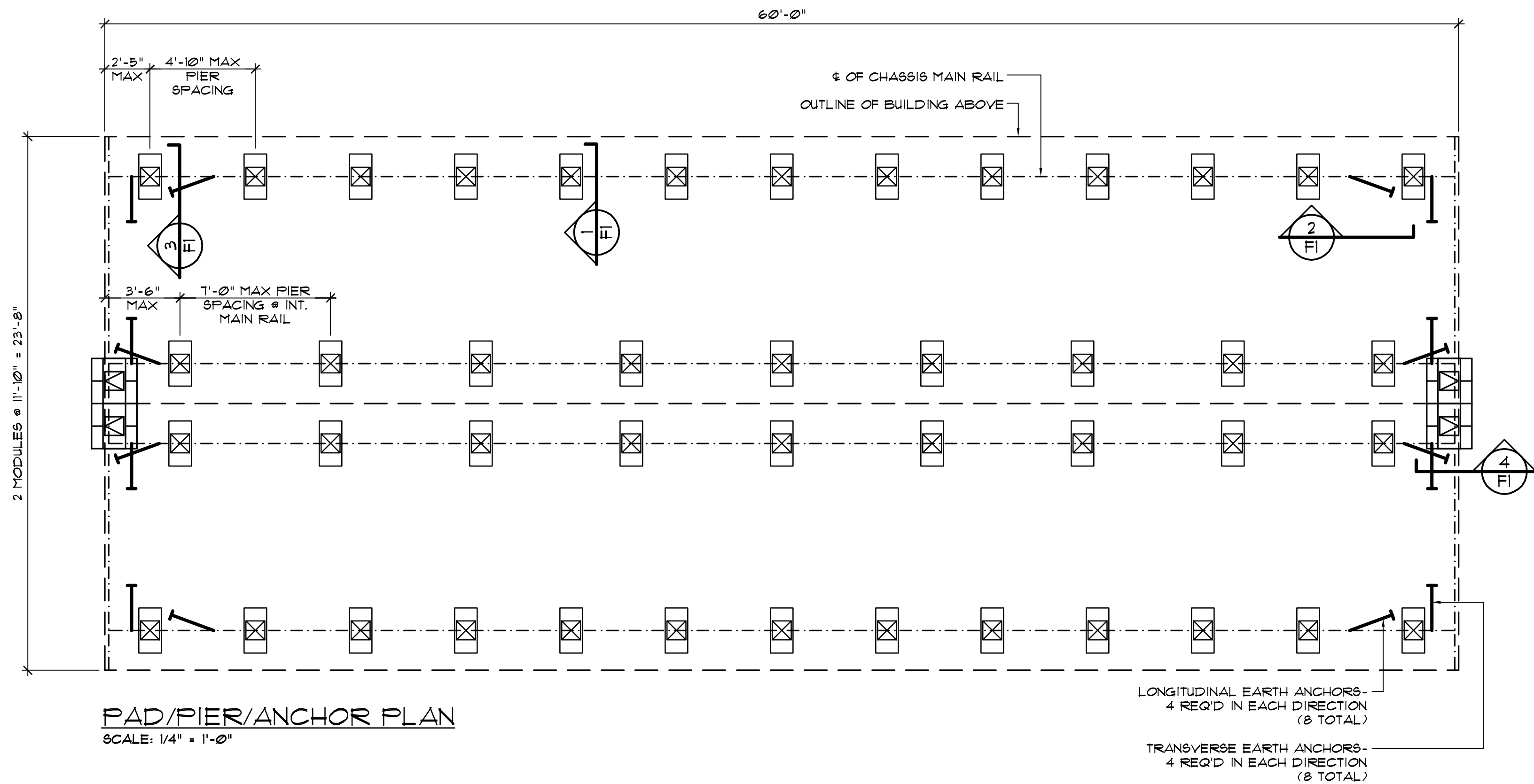
PMI-MM-2460-03

ENGINEER'S SEAL

SHEET NUMBER

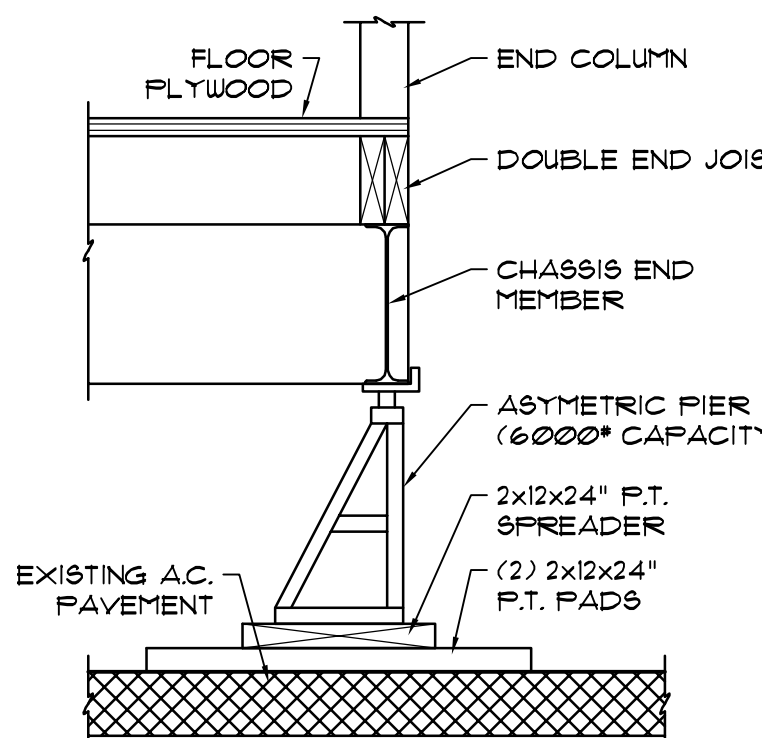
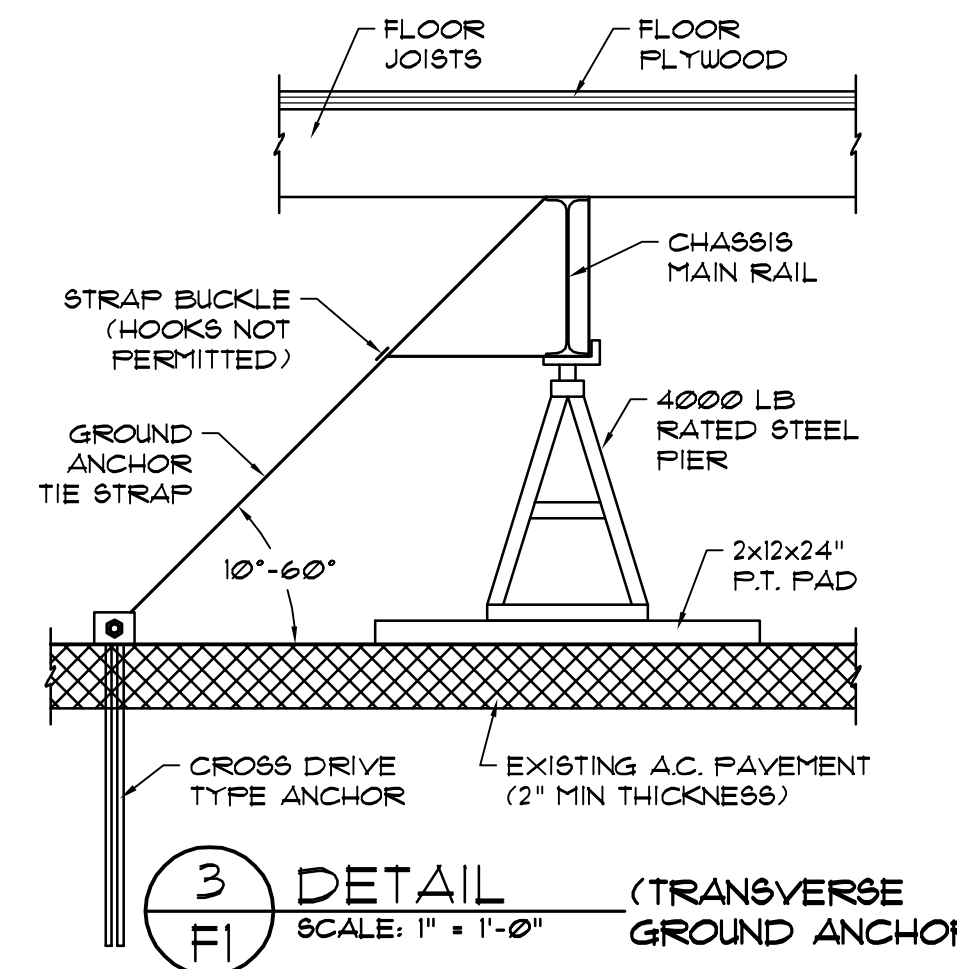
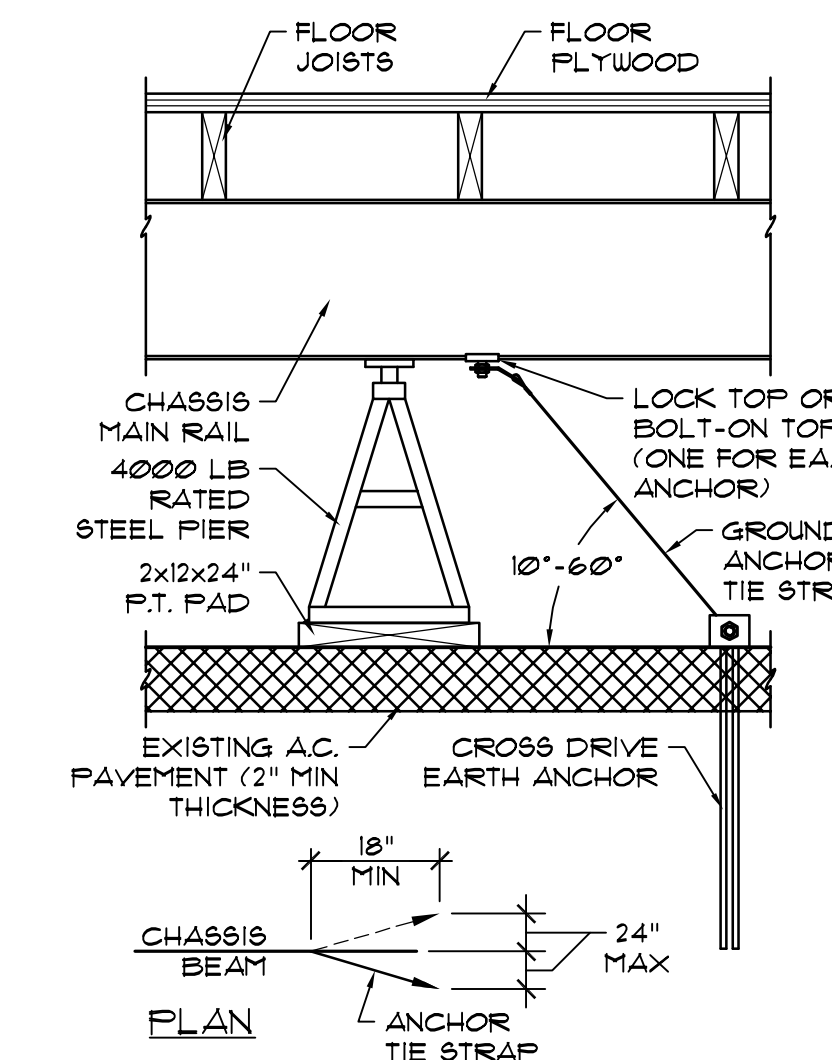
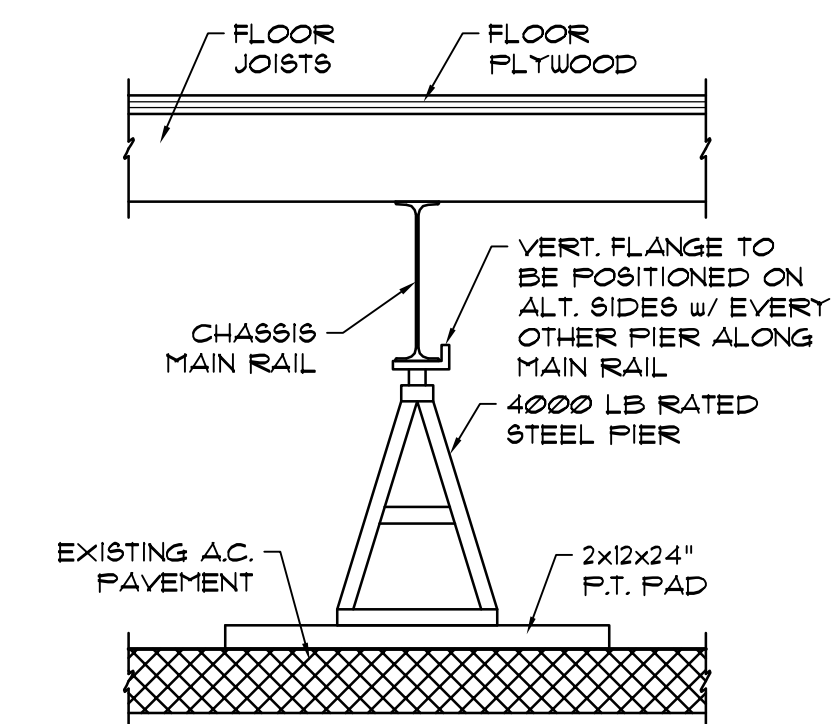
5





#### CONSTRUCTION NOTES:

- FOUNDATION DESIGN LOADS:  
ROOF LIVE LOAD = 20 PSF  
FLOOR LIVE LOAD = 50 PSF  
ULT. WIND SPEED = 110 MPH, EXP'C  
EARTHQUAKE DESIGN DATA:  
a.) SEISMIC IMPORTANCE FACTOR: 1.00  
RISK CATEGORY: II  
b.) MAPPED SPECTRAL RESPONSE ACCELERATIONS:  $S_s = 1.500g$  (PER ASCE 7-10)  
 $S_1 = 0.600g$  SECTION 12.8.13  
c.) SITE CLASS: D  
d.) SPECTRAL RESPONSE COEFFICIENTS:  $RSDS = 1.0$   
 $SD1 = 0.6$   
e.) SEISMIC DESIGN CATEGORY: D  
f.) BASIC SEISMIC FORCE RESISTING SYSTEM: LIGHT FRAMED WALL SYSTEM USING FLAT STRAP BRACING  
g.) DESIGN BASE SHEAR:  $V = 0.350$   
h.) SEISMIC RESPONSE COEFFICIENT:  $C_s = 0.250$   
i.) RESPONSE MODIFICATION FACTOR:  $R = 4$   
j.) ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE ANALYSIS  
k.) REDUNDANCY FACTOR USED: 1.3
- ALL WORK SHALL CONFORM TO 2016 CBC AND/OR LOCAL BUILDING CODES.
- ACUMEN ENGINEERING HAS NOT INVESTIGATED THE SOILS SUPPORTING THIS BUILDING. THE ALLOWABLE BEARING CAPACITY IS ASSUMED TO BE 1500 PSF & THE ALLOWABLE ANCHOR PULLOUT CAPACITY IS ASSUMED TO BE 2962 LBS. IF ACTUAL SOIL CONDITIONS AT THIS SITE ARE KNOWN TO VARY FROM THESE ASSUMPTIONS, THEN ACUMEN ENGINEERING MUST BE NOTIFIED IMMEDIATELY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON PLANS. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- THIS DESIGN IS BASED ON THE FLOOR 4 ROOF ASSEMBLIES ACTING AS CONTINUOUS DIAPHRAGMS TO DISTRIBUTE LATERAL LOADS. REFER TO BUILDING MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR PROPER INTER-MODULE CONNECTIONS.
- ALL LUMBER IN CONTACT WITH OR WITHIN 8" OF SOIL TO BE PRESERVATIVE TREATED.
- ALL FASTENERS USED IN FOUNDATION MUST BE CORROSION RESISTANT.
- SKIRTING (IF USED) MUST BE SELF SUPPORTING AND MAY NOT TRANSFER ANY LOAD.
- IF SKIRTING IS USED, UNDER FLOOR AREA MUST BE VENTILATED AT 1 SQ. FT. FOR EACH 1500 SQ. FT. OF FLOOR AREA. OPENING MUST BE COVERED W/ CORROSION RESISTANT MESH WITH OPENINGS OF 1/4 INCH.
- IF SKIRTING IS USED, AN ACCESS OPENING WITH DIMENSIONS NOT LESS THAN 18"x24" SHALL BE PROVIDED WITH HASP AND LOCK.
- HEIGHT OF FINISHED FLOOR ABOVE GRADE SHALL NOT EXCEED 36".
- ALL UTILITY/RAMP/STAIR DESIGN AND SITE/UTILITY/GRADING DESIGN BY OTHERS.
- ALL EARTH ANCHORS SHALL HAVE A TOLERANCE OF 10 DEGREES (VERTICALLY AND HORIZONTALLY).
- EARTH ANCHORS TO BE MANUFACTURED BY 'ABESCO' OR APPROVED EQUAL. (STATE OF CALIFORNIA PLAN APPROVAL NUMBER -106C)
- EARTH ANCHOR TIE STRAP MUST CONFORM TO ANSI STD. \*A225.1.
- STEEL PIERS MUST BE 'TIE DOWN ENGINEERING-SERIES MPP' OR APPROVED EQUAL. (PIER DESIGN CAPACITY TO BE 4000# UNLESS NOTED)
- THE MANUFACTURER'S INSTRUCTIONS MUST BE STRICTLY ADHERED TO WHEN INSTALLING PIERS, EARTH ANCHORS, TIE STRAPS, ETC.
- MODULAR BUILDING TO BE CALIFORNIA HCD APPROVED COMMERCIAL MODULAR.
- ACUMEN ENGINEERING WILL NOT INSPECT THE INSTALLED FOUNDATION SYSTEM. THE OWNER OF THIS BUILDING AGREES TO INDEMNIFY ACUMEN ENGINEERING FOR DAMAGES ARISING FROM IMPROPER INSTALLATION.



REVISIONS	
DATE	BY

12808 SOUTH 6000 EAST  
DRAFTER: UT. 84020  
(800) 511 - 9811  
FAX (800) 511 - 9951

**ACUMEN**  
Engineering, Inc.

**ACTION MOBILE**

28111 McLAUGHLIN ROAD  
ROMOLAND, CA 92585  
PHONE: (800) 251-1600

**PAD/PIER/ANCHOR DESIGN**

(2) 24' x 60' MODULAR OFFICE BUILDINGS  
FLETCHER JONES MERCEDES  
3300 JAMBOREE ROAD  
NEWPORT BEACH, CALIFORNIA 92660

SEAL

DATE: 5/11  
SCALE: SHOWN  
DWN: A.D.  
JOB: 170517  
SHEET

OF 1 SHEET

STRUCTURAL STEEL

- 1. ALL STRUCTURAL STEEL CONSTRUCTION SHALL CONFORM TO: SPECIFICATION FOR STRUCTURAL STEEL BUILDING - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN" OF A.I.S.C. LATEST EDITION.
- 2. ALL FABRICATION SHALL COMPLY WITH "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", LATEST EDITION, AS PUBLISHED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
- 3. UNLESS NOTED OTHERWISE, STRUCTURAL STEEL SHALL CONFORM TO ASTM A992/A572/A572-50 OR ASTM A500 GRADE B. MIN Fy = 50 ksi
- 4. STEEL BASE PLATES SHALL CONFORM TO ASTM A36. MIN Fy = 36 ksi
- 5. BEAMS WITHOUT SPECIFIED CAMBER ARE TO BE FABRICATED SUCH THAT AFTER ERECTION ANY CAMBER DUE TO ROLLING OR SHOP FABRICATION IS UPWARD AT MID-SPAN.

STRUCTURAL WELDING

- 1. ALL STRUCTURAL WELDING MUST BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE AMERICAN WELDING SOCIETY.
- 2. THE FABRICATOR/CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALIFICATION OF WELDERS, WELDING OPERATORS AND TACK WELDERS.
- 3. EACH WELDER'S QUALIFICATION RECORD SHALL BE KEPT BY THE FABRICATOR/CONTRACTOR AND AVAILABLE FOR IMMEDIATE VERIFICATION.
- 4. WELDING PROCEDURES SHALL BE FORMULATED FOR ALL TYPES OF WELDS.
- 5. ALL WELDING ELECTRODES MUST BE PROPERLY PACKAGED AND STORED PRIOR TO USAGE. UPON REMOVAL FROM PACKAGE/STORAGE, ELECTRODES MUST BE PROPERLY HANDLED AND USED DURING THEIR PERMISSIBLE EXPOSURE TIME.
- 6. WELDING CONDITIONS MUST MEET ALL AWS SPECIFICATIONS FOR EACH WELD PROCEDURE AND WELD TYPE, INCLUDING BUT NOT LIMITED TO: AMBIENT TEMPERATURE, EXPOSED SURFACES, HIGH WIND AREAS AND ALL OTHER INCLEMENT CONDITIONS.
- 7. STEEL MUST BE PREPARED AS PER THE WRITTEN WELD PROCEDURES: SMOOTH, UNIFORM, FREE FROM ALL FINES, GREASE, MOISTURE, RUST AND FOREIGN MATERIAL.
- 8. WELDS SHALL CONFORM TO "STRUCTURAL WELDING CODE" OF THE AMERICAN WELDING SOCIETY, AWS D1.1. USE E70XX ELECTRODES. ALL WELDERS TO BE CERTIFIED BY AWS STANDARDS.
- 9. GRIND EXPOSED FULL PENETRATION WELDS SMOOTH TO MATCH AND BLEND WITH ADJOINING SURFACE.

GENERAL NOTES

- 1. APPLICABLE CODES ARE AS FOLLOWS:
  - 1.1. INTERNATIONAL BUILDING CODE (IBC) DATED 2012
  - 1.2. IBC/ANSI A1171.1 DATED 2003
  - 1.3. ADAAG 2010 STANDARDS: TITLE II AND III
  - 1.4. NFPA 101 DATED 2012
  - 1.5. CALIFORNIA BUILDING CODE DATED 2013
  - 1.6. LOS ANGELES BUILDING CODE DATED 2014
- 2. THE DRAWINGS SUBMITTED ARE REPRESENTATIVE OF THE "QUICK-DECK" TEMPORARY MODULAR PLATFORM SYSTEM. THE SYSTEM PROVIDES ACCESS TO TEMPORARY CONSTRUCTION TRAILERS AND/OR TEMPORARY MODULAR BUILDINGS. QUICK-DECK IS A PATENTED (#4598510), PRE-ENGINEERED SYSTEM OF DECKING, RAMPS, STAIRS AND RAILINGS. QUICK-DECK IS DESIGNED TO BOLT TOGETHER IN THE FIELD WITH NO ELECTRICAL POWER OR CONCRETE POURING.
- 3. ALL STRUCTURAL, RAIL AND DECK COMPONENTS WILL BE GALVANIZED STEEL.
- 4. STRUCTURAL LOADS
  - 4.1. LIVE LOAD MINIMUM 100 PSF.
  - 4.2. HANDRAILS AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OR 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE. THIS LOAD NEED NOT TO BE ASSUMED TO ACT CONCURRENTLY WITH THE OTHER LOADS SPECIFIED.
  - 4.3. INTERMEDIATE RAILS (ALL THOSE EXCEPT HANDRAIL), BALUSTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT, INCLUDING OPENINGS AND SPACE BETWEEN RAILS. THIS LOAD NEED NOT TO BE ASSUMED TO ACT CONCURRENTLY WITH THE OTHER LOADS SPECIFIED.
- 5. ELECTRICAL GROUNDING - BY OTHERS AS REQUIRED BY CODE OR LOCAL REQUIREMENTS
- 6. HANDRAILS
  - 6.1. 5/8" BALUSTERS @ 4" OC AND 1-1/4" SQUARE NEWEL POSTS RESULT IN THE HANDRAIL OBSTRUCTION BEING LESS THAN 17%, LESS THAN THE 20% MAXIMUM OBSTRUCTION REQUIRED BY ANSI A-117.1.
  - 6.2. THE 1-1/4"x1-1/4" SQUARE HANDRAIL COMPLIES WITH THE CODE MINIMUM 1-1/4" DIMENSION AND HAS A PERIMETER OF 5" WHICH IS LESS WITHIN THE CODE REQUIRED PERIMETER RANGE OF 4" TO 6-1/4".
  - 6.3. HANDRAIL EXTENSIONS FOR RAMPS AND STAIRS TO BE 12" MINIMUM AT TOP AND BOTTOM OF RUNS. EXTENSION ANGLE AT BOTTOM OF STAIRS AND LANDING TO FOLLOW THE SLOPE PER CODE REQUIREMENTS.

TABLE OF CONTENTS

- S1 GENERAL NOTES AND TABLE OF CONTENTS
- S2 GENERIC PLAN AND PLAN OPTIONS
- S2 ELEVATIONS
- S4 SECTIONS
- S5 BASE PLATE OPTIONS
- S6 MATERIAL INDEX



QUICK-DECK, INC.  
131 PINE FOREST DRIVE  
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146 Lee Road 2012  
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Phone: (800) 367-3121  
Fax: (800) 115-4182  
Cell: (256) 212-1181  
Toll Free: (877) 546-5726

QUICK-DECK  
California

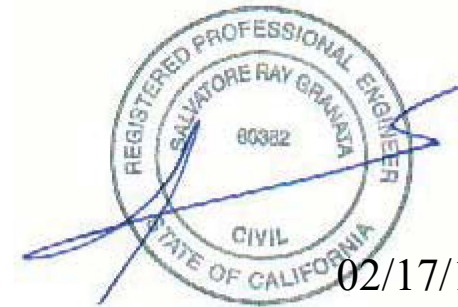
Proj. No.:  
Date: 1/26/17

Sheet Name:  
GENERAL NOTES &  
TABLE OF CONTENTS

BUILDING DOOR THRESHOLD BY OTHERS - LANDING SET TO FINISHED FLOOR OR ADJUSTED TO ASSURE MAXIMUM THRESHOLD HEIGHT IS NOT MORE THAN 1/2" HIGH

SITE ACCESS/GRADING TO STEPS BY OTHERS - HEIGHT OF FIRST RISER TO BE 7" (+/- 3/8")

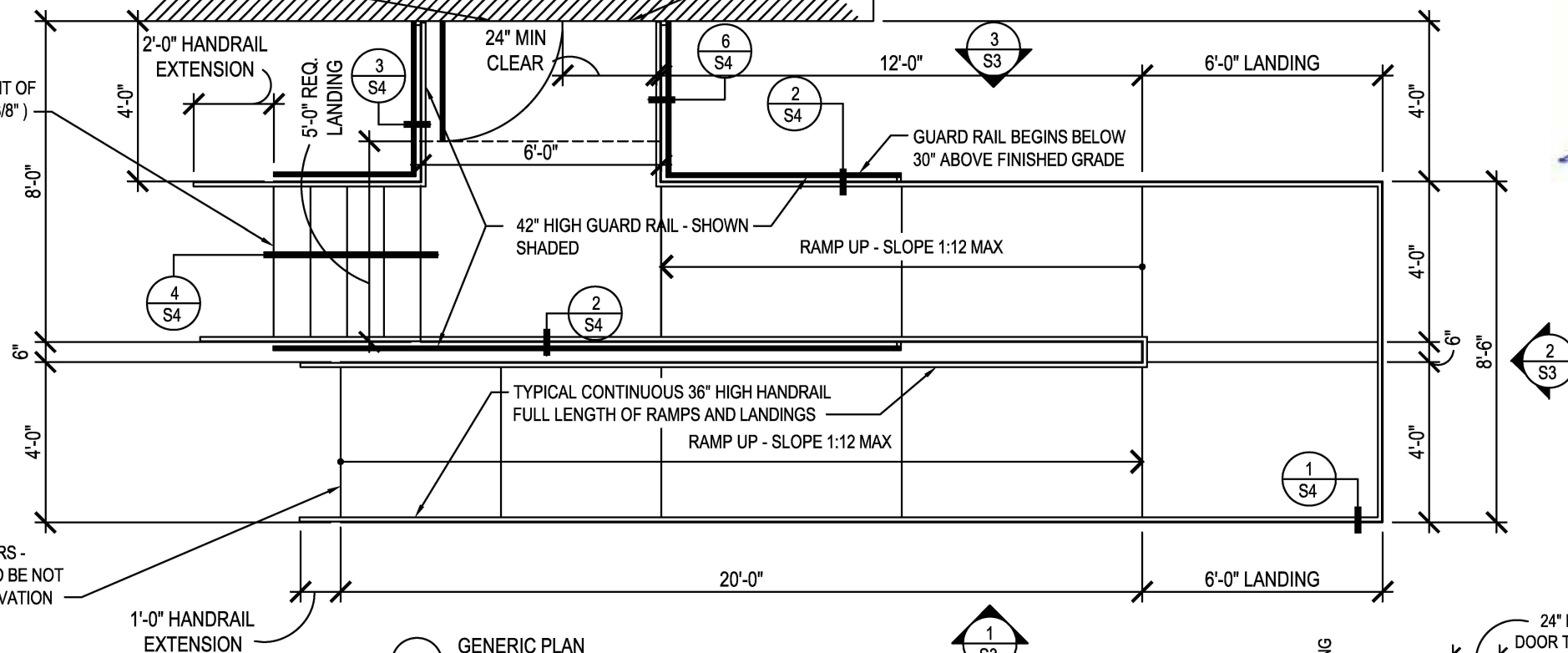
LANDING ASSEMBLY TO BE SECURED TO THE BUILDING/TRAILER WITH MINIMUM #8 WOOD SCREWS @ 2'-0" O.C.



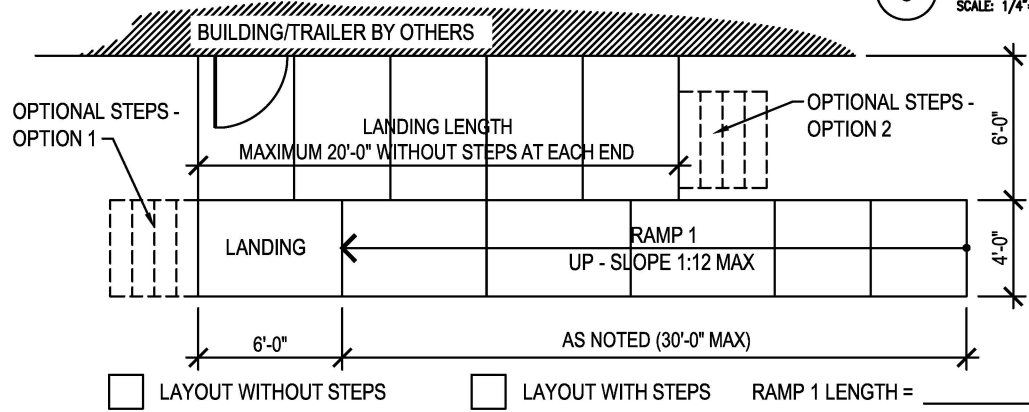
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HANDRAIL, RAMP, GUARD RAIL, STEP AND RAMP DIMENSIONS AND NOTES TYPICAL FOR ALL RAMP LAYOUT OPTIONS SHOWN ON DRAWING S-2 AND S-4.

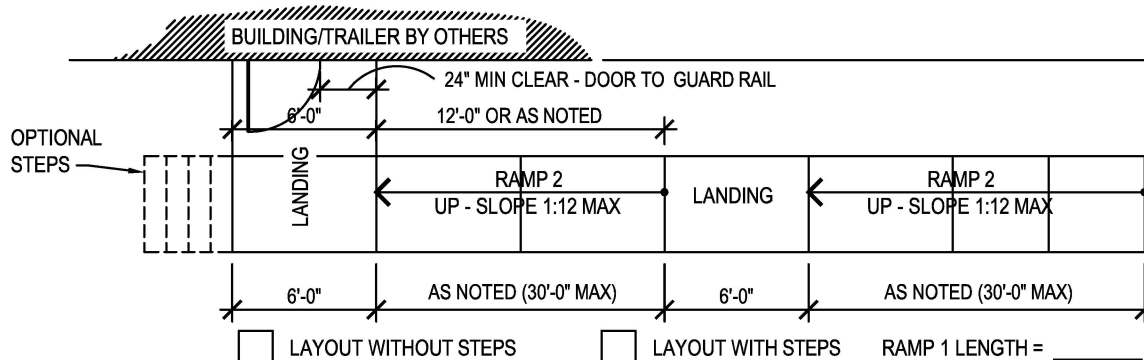
SITE ACCESS/GRADING TO RAMP BY OTHERS - CHANGE FROM RAMP TO SITE SURFACE TO BE NOT MORE THAN 1/2" VERTICAL CHANGE IN ELEVATION



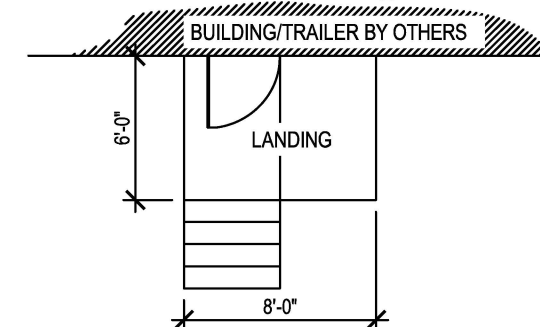
6 GENERIC PLAN  
SCALE: 1/4"=1'-0"



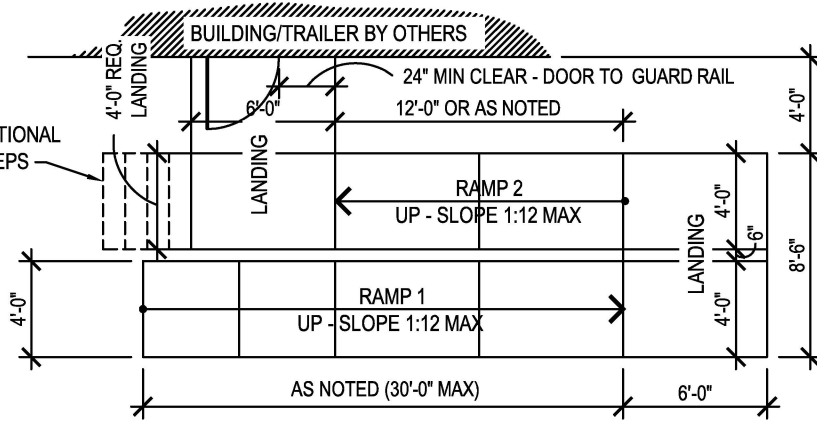
5 RAMP LAYOUT 5  
SCALE: 1/8"=1'-0"



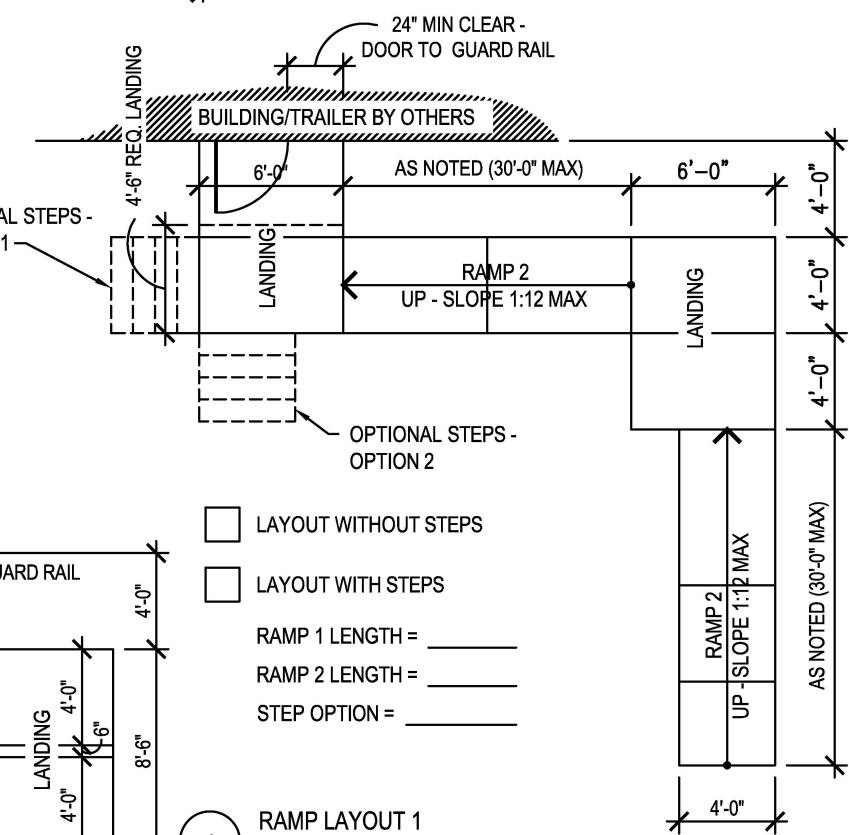
4 RAMP LAYOUT 4  
SCALE: 1/8"=1'-0"



3 RAMP LAYOUT 3  
SCALE: 1/8"=1'-0"



2 RAMP LAYOUT 2  
SCALE: 1/8"=1'-0"



1 RAMP LAYOUT 1  
SCALE: 1/8"=1'-0"

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LOCUST, NC  
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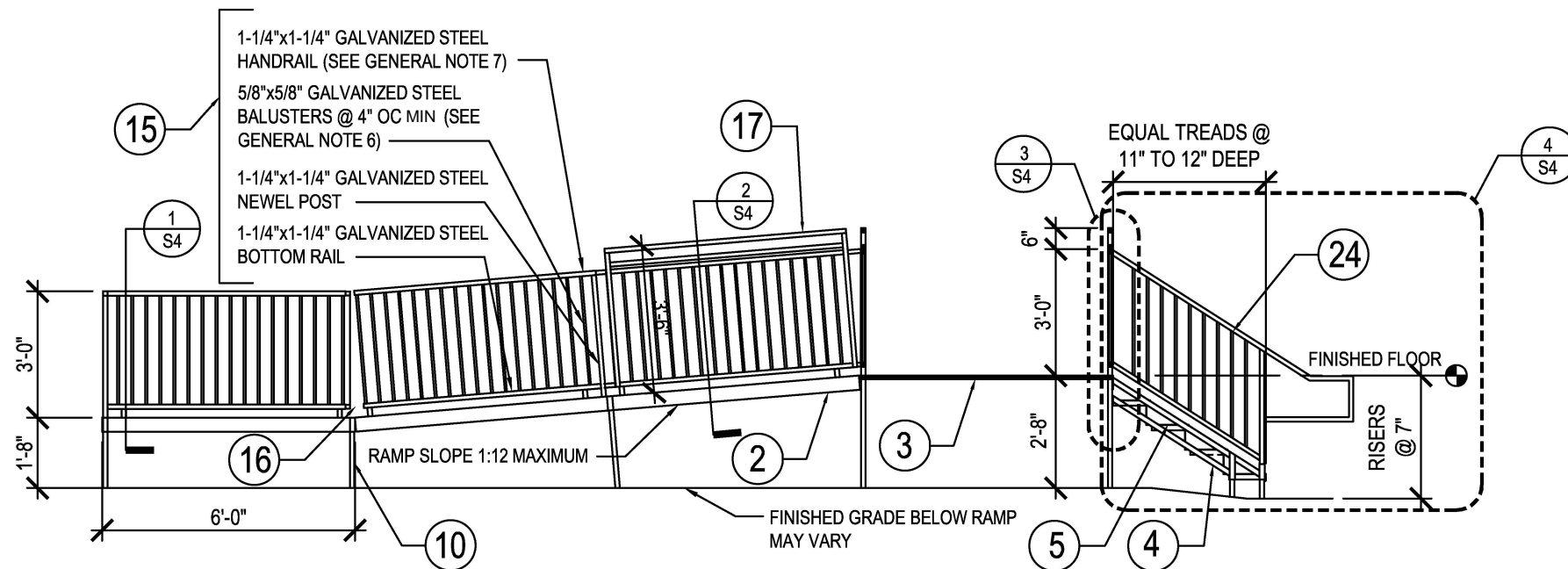
Sheet Name:  
GENERIC PLAN &  
PLAN OPTIONS

S2

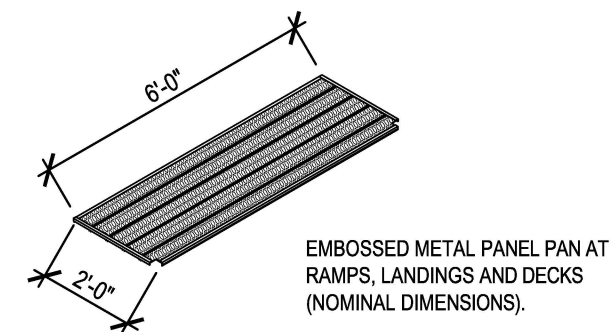




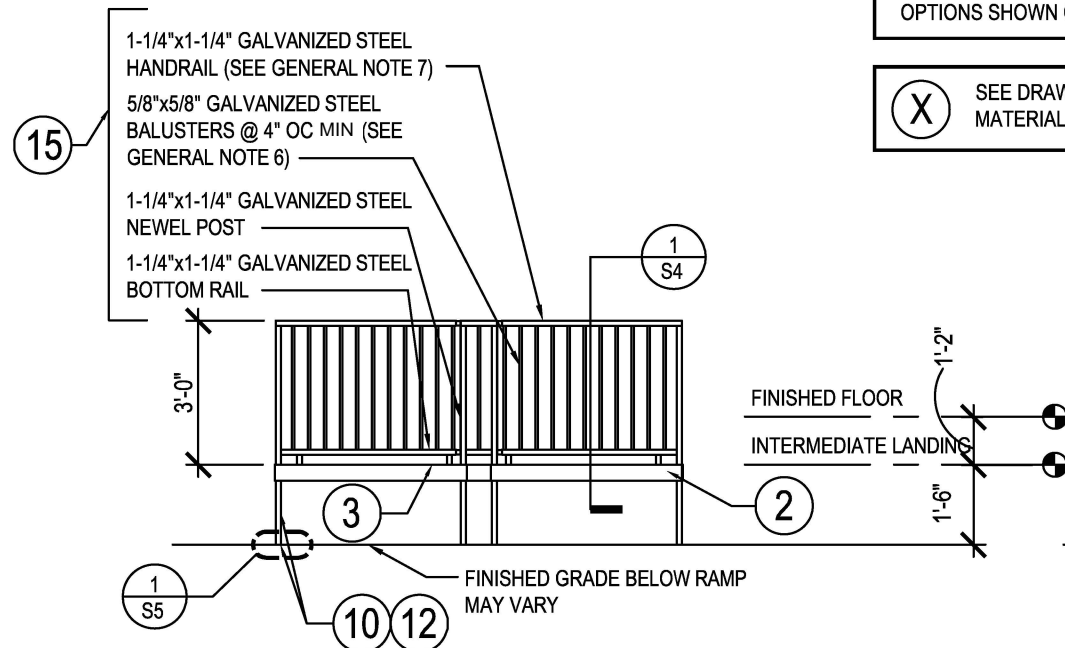
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3 ELEVATION  
SCALE: 1/4"=1'-0"



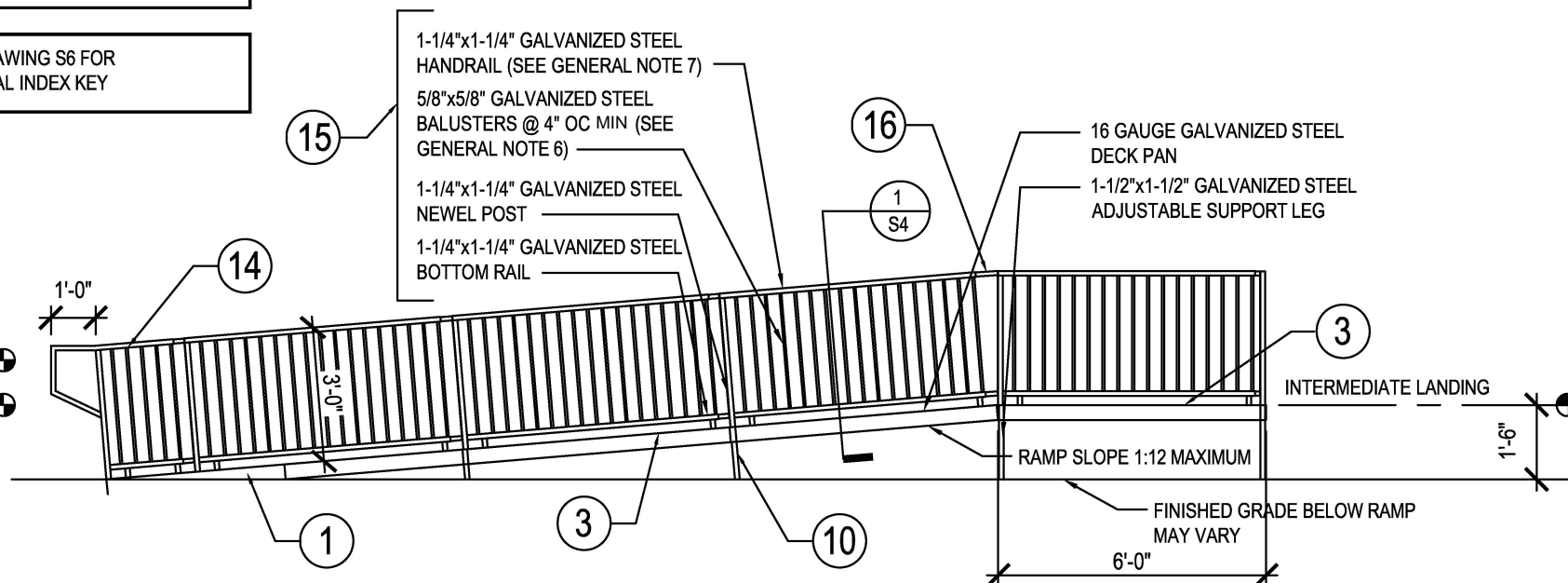
4 METAL SURFACE PANEL - MATERIAL INDEX ITEM 3  
SCALE: 1/4"=1'-0"



2 ELEVATION  
SCALE: 1/4"=1'-0"

HANDRAIL, RAMP, GUARD RAIL, STEP  
AND RAMP DIMENSIONS AND NOTES  
TYPICAL FOR ALL RAMP LAYOUT  
OPTIONS SHOWN ON DRAWING S-2.

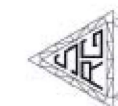
X SEE DRAWING S6 FOR  
MATERIAL INDEX KEY



1 ELEVATION  
SCALE: 1/4"=1'-0"

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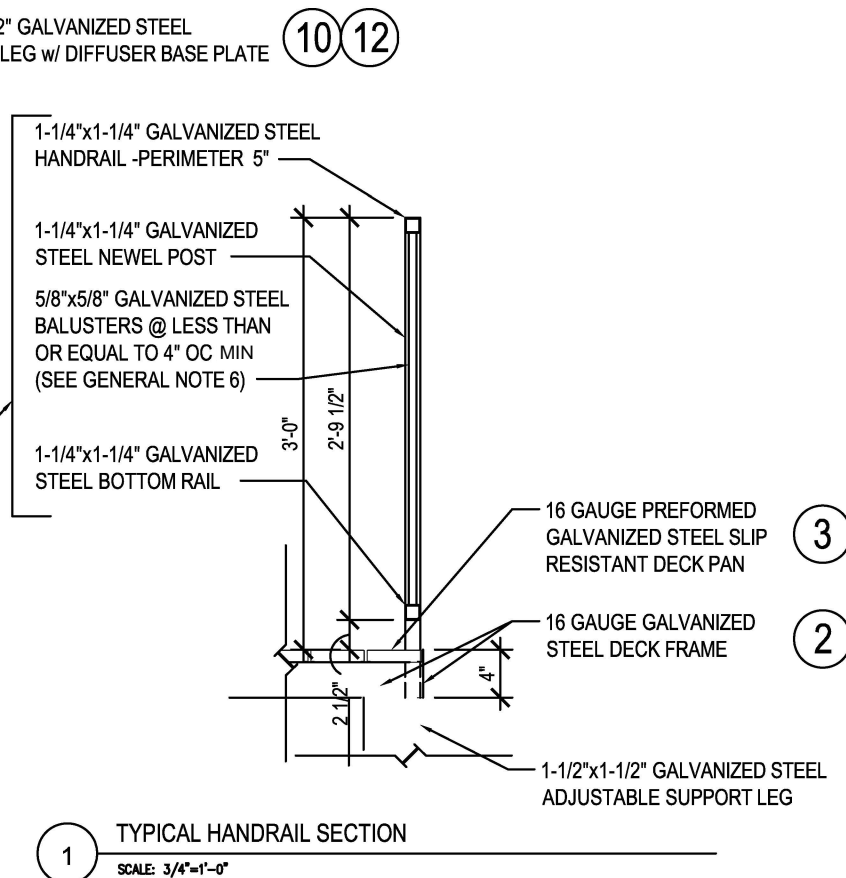
Proj. No.:  
Date: 1/26/17

Sheet Name:  
ELEVATIONS

S3

ALL STAIR TREADS TO HAVE SMOOTH, ROUNDED OR CHAMFERED EXPOSED EDGES AT NOSING. THE RADIUS CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN 1/2" (PER CBC 11B-504.5). THE NOSING SHALL NOT PROJECT MORE THAN 1-1/4" PAST THE FACE OF THE RISER BELOW (PER CBC 11B-504.5). RISERS SHALL BE SLOPED OR THE UNDERSIDE OF THE NOSING SHALL HAVE AN ANGLE NOT LESS THAN 30 DEGREES FROM THE VERTICAL (PER CBC 11B-504.5)

(X) SEE DRAWING S6 FOR  
MATERIAL INDEX KEY





PLASTIC GROUND PAD CUT SHEET



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SPECIFICATIONS

Table 1: Footing Pad Allowable Loads

Pad Identification	Nominal Pad Diameter (in.)	Pad Capacity <sup>1</sup> 1500 psf soil (lbf)	Pad Capacity <sup>1</sup> 3000 psf soil (lbf)
Model #10	10	810 <sup>2</sup>	1622 <sup>2</sup>
Model #16	16	2100 <sup>2</sup>	4200 <sup>2</sup>

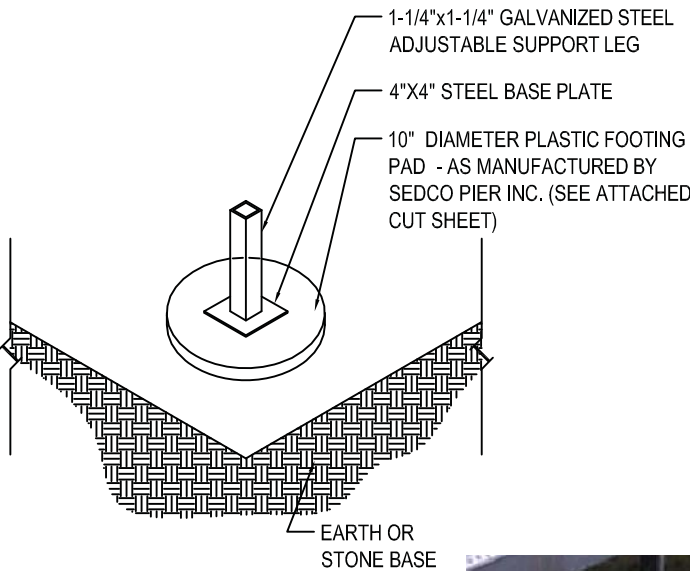
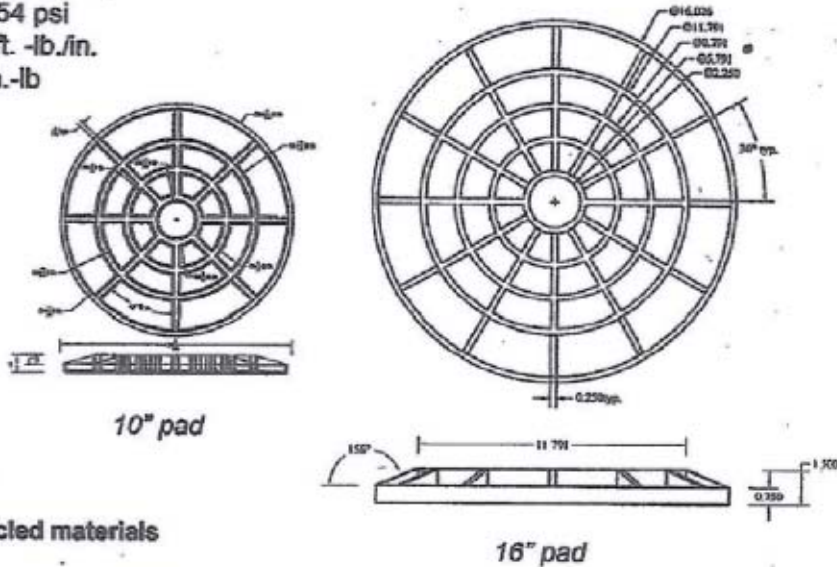
<sup>1</sup> Pad capacity is limited by the lesser of the following criteria; the peak load divided by a safety factor of 3, the soil capacity, load at 3/4-in. deflection  
<sup>2</sup> Pad capacity is limited to soil capacity

Characteristics

Density 1.13g/cm<sup>3</sup>  
Stiffness 535,054 psi  
Izod Impact 0.95 ft.-lb./in.  
Gardner Impact 164 in.-lb

Benefits:

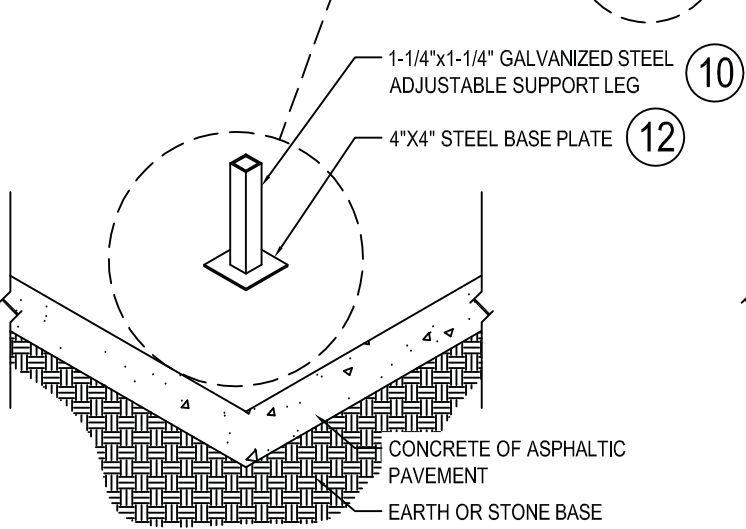
- UV Stable
- Easy Installation
- Saves time & labor
- Strong and durable
- Eliminates deflection
- Made from 100% recycled materials
- Resists most herbicides and pesticides
- Replaces concrete
- Light weight saves on shipping & handling



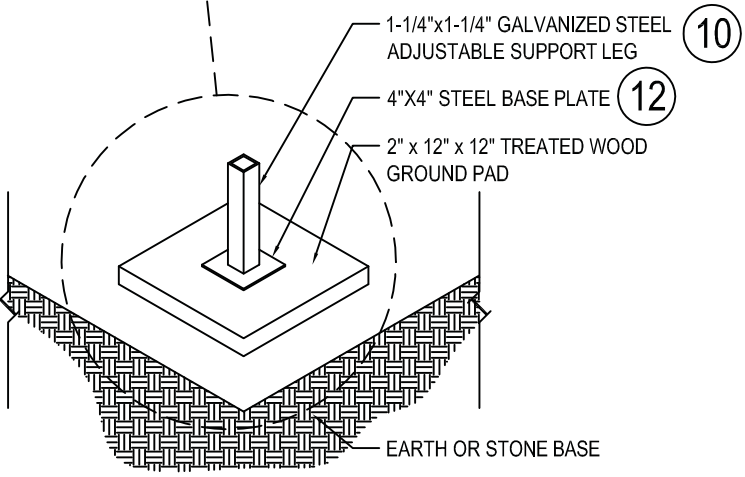
BASE OPTION C



X SEE DRAWING S6 FOR MATERIAL INDEX KEY



BASE OPTION A



BASE OPTION B

2 LEG BASE PLATE DETAIL  
SCALE: 3/4"=1'-0"

REGISTERED PROFESSIONAL ENGINEER  
SALVATORE RAY GRANATA  
80382  
CIVIL  
STATE OF CALIFORNIA  
02/17/17  
Expires: 06-30-18

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









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





QUICK-DECK  
California

Proj. No.:  
Date: 1/26/17  
Sheet Name:  
BASE PLATE  
OPTIONS

MATERIAL INDEX: COMPONENTS AND SPECIFICATIONS

	1	WEDGE	48"Lx48"W	12 GA Hot Rolled Steel
	2	MAINFRAME	48"Lx48"W 72"Lx48"W	16 GA Hot Rolled Galvanized Steel
	3	SURFACE PANEL – EMBOSSED	72"Lx27"W 48"Lx27"W	16 GA Hot Rolled Galvanized Steel, 1/2" #16 Standard Expanded Metal
	4	STRINGER SECTION		1 1/2"x1 1/2"x.063 Steel Tube, 7/16–14 Nut
	5	STAIR TREAD	44" W 12" Depth	12 GA Hot Rolled Steel
	6	STANCHION	48"H 42"H 36"H	1 1/2"x1 1/2"x.063 Steel Tube
	7	GUARDRAIL STANCHION	42"H 1 1/2" W Spacer	1 1/2"x1 1/2"x.063 Steel Tube
	8	STANCHION EXTENSION	16"H Total 6"H Extension	1 1/2"x1 1/2"x.063 Steel Tube, 1"x1"x.063 Steel Tube
	9	SCREW JACK LEG	36"H	1 1/2"x1 1/2"x.063 Steel Tube
	10	SPEED LEG	34"H 22"H 10"H	1 1/2"x1 1/2"x.063 Steel Tube, 7/16–14 Nut
	11	TUBE LEG	16"H 13"H 8"H 6"H	1 1/2"x1 1/2"x.063 Steel Tube
	12	DIFFUSER	4"Lx4"W 4"Lx2"W	12 GA Hot Rolled Steel
	13	JACK SCREW	9"H 5"H 3"H	1" Diameter Stainless All-Thread Screw
	14	ENTRY RAIL	35" Rail Length 36" Height	1 1/2"x1 1/2"x.063 Steel Tube, 3/8"x3/8"x.063 Steel Tube, 7/16–14 Nut
	15	HANDRAIL	21" Length 45" Length 69" Length All 36" Height	1 1/2"x1 1/2"x.063 Steel Tube, 3/8"x3/8"x.063 Steel Tube, 7/16–14 Nut
	16	RAIL RAM	33 1/2"Lx15"L	12 GA Hot Rolled Steel, 1"x1"x.063 Steel Tube
	17	GUARDRAIL	16"Lx16"H 21"Lx16"H 45"Lx16"H 69"Lx16"H	1 1/2"x1 1/2"x.063 Steel Tube, 1"x1"x.063 Steel Tube, 7/16–14 Nut

	18	GUARDRAIL RAM	6"Hx15"L	12 GA Hot Rolled Steel, 1"x1"x.063 Steel Tube
	19	FRAME SPACER	72"Lx6"Wx4"H 48"Lx6"Wx4"H	16 GA Hot Rolled Galvanized Steel
	20	BOLT SET	6 3/4" 3" 2" 1"	3/16" Stainless Steel
	21	GROUND PAD	11"Wx11"L	Greenwood
	22	GROUND SPIKE	12" Length	1/2" Steel Rebar
	23	POST CAP	1 1/2"Wx1 1/2"L	Plastic Polymer
	24	STAIR RAIL	36" Height	1 1/2"x1 1/2"x.063 Steel Tube, 3/8"x3/8"x.063 Steel Tube, 7/16–14 Nut
	25	SURFACING CORNER CAP	2 1/2"Wx2 1/2"L	16 GA Hot Rolled Steel, 1 1/2"x1 1/2"x.063 Steel Tube
	26			

SYSTEM COMPONENTS

**LEG FOOTINGS**  
If ramp/deck is to be placed on 3" thick (or thicker) asphalt, or 2" (or thicker) concrete slab, then the 4"x4" diffuser is sufficient. When footings are put on soft dirt or unstable material, the 4"x4" diffusers are placed on 2"x8"x8" wooden blocks. Diffusers are 4"x4" square 12 gauge hot rolled steel pads with cups to receive any leg. It conforms to irregularities in the ground to provide support for the platform while also providing electrical grounding.

**LEGS**  
Legs come in increments of 12" up to 8 ft. and have 12" of adjustability. Legs are 1 1/2"x1 1/2" tubing with a .063 wall. The legs lock into the frame and adjust to the ground or slope required using a pressure lock system.

**SCREW JACK LEGS**  
Screw Jack Legs are adjustable and require no safety features. Used for decking under 8" high.

**FRAMES**  
Frames are welded together. Multiple frames are bolted together to create a ramp segment and/or deck. Frames come in three sizes: 48"x48", 48"x72", and 72"x72". Parts are pre-galvanized 16 gauge. Cross beam centers are 30" or less.

**SPACERS**  
Spacers bolt to the main frame. Pre-galvanized 16 gauge. Spacers come in two sizes: 6"x48" and 6"x72". Spacers make it possible to separate the leg in a switchback configuration and create odd size landings.

MATERIAL SPECIFICATIONS

**STEEL**  
Tubing ASTM 500.  
Flat, hot rolled, both clean and galvanize washed.


**PLYWOOD**  
3/4" APA rated, structural 3/4". Surfaced with a two part epoxy and .030 silica sand.

**FASTENERS**  
1/16"x1"x2" Grade #2 plated.

**PAINT (RAIL/FRAME)**  
Ellis industrial enamel. Used as protective coating on rails and frames.

**PAINT (SURFACING)**  
Devon 2 part epoxy (#2901)

**WELDS**  
All welds conform to criteria set forth by the American Welding Society.



02/17/17  
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**HANDRAILS & GUARDRAILS**  
Rails come in 2', 4', and 6' lengths. All railing is designed to take 200 lb. lateral load in any direction. Handrails are fastened 36" above the finished ramp/deck surface. Guardrails are fastened 42" above the finished ramp/deck surface. Guardrails are to be installed at all locations where the ramp, landing, or deck is more than 30" above grade.

**WEDGE**  
The wedge is a 12 gauge steel transition piece between the ground and the first mainframe. It has a non-slip surface composed of a two-part epoxy and .030 silica sand.

**STAIRS**  
All steel components. Stair sections are 44" wide. Each riser is 7" high. Each tread is 12" deep. 36" high handrails are provided with a lambs-tongue return at the entrance. All treads are surfaced with a non-slip surfacing. The only tread that is adjustable is the bottom tread. If closures for the step are needed, please specify prior to installation. Ideally, the height of the structure would be a multiple of 7". Thus, a platform height of 42"=6 risers & 5 treads.

**BOTTOM RISER**  
Customer is responsible for the height of the bottom tread of the Quick-Deck stair system. If the height doesn't fall as a multiple of 7" (ex: 14", 21", 28"), you will have to dig away or build up the ground to make the bottom tread 7" high.





keyed notes:

- general single-line diagram notes:

- KARL SANDMAN - SKENDER CONSTRUCTION

existing partial single-line diagram for temp power

Project:  
Fletcher Jones  
Mercedes-Benz of  
Newport Beach

3300 Jamboree Rd.  
Newport Beach, CA 92660

**Scale**

## E-1.0

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