

CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION ACTION REPORT

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

FROM: Seimone Jurjis, Community Development Director

SUBJECT: Report of actions taken by the Zoning Administrator and/or Planning Division staff for the

week ending July 13, 2018.

ZONING ADMINISTRATOR ACTIONS JULY 12, 2018

Item 1: Elkayam Residence Coastal Development Permit No. CD2018-047 (PA2018-105)

Site Address: 1801 East Balboa Boulevard

Action: Approved by Resolution No. ZA2018-083 Council District 1

Item 2: Taormina Mixed-Use Development Coastal Development Permit No. CD2017-094 (PA2017-217)

Site Address: 424 31st Street

Action: Approved by Resolution No. ZA2018-084 Council District 1

COMMUNITY DEVELOPMENT DIRECTOR OR PLANNING DIVISION STAFF ACTIONS

(Non-Hearing Items)

Item 1: Uptown Newport Phase 1 Park Minor Site Development Review No. SD2018-002 (PA2018-107)

Site Address: 4311 Jamboree Road

Action: Approved Council District 3

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

RESOLUTION NO. ZA2018-083

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2018-047 TO DEMOLISH AN EXISTING SINGLE-FAMILY RESIDENCE AND CONSTRUCT A NEW SINGLE-FAMILY RESIDENCE WITH ATTACHED GARAGE LOCATED AT 1801 EAST BALBOA BOULEVARD (PA2018-105)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

- 1. An application was filed by Oldham Architects, with respect to property located at 1801 East Balboa Boulevard, and legally described as Lot 22 of Block L of Tract 518, requesting approval of a coastal development permit.
- 2. The applicant proposes the demolition of an existing single-family residence and the construction of a new 3,489-square-foot, single-family residence with an attached garage. The proposed development also includes additional appurtenances such as walls, fences, patios, hardscape, drainage devices, and landscaping.
- The subject property is located within the Single-Unit Residential (R-1) Zoning District and the General Plan Land Use Element category is Single-Unit Residential Detached (RS-D).
- 4. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Single-Unit Residential (10.0 19.9 DU/AC) (RSD-C) and the Coastal Zoning District is Single-Unit Residential (R-1).
- 5. A public hearing was held on July 12, 2018, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the hearing was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

- 1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations (Section 15315, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment.
- Class 3 exempts the construction of limited numbers of new, small structures, including one single-family residence. The proposed project is a new single-family residence located in the R-1 Coastal Zoning District.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Findings and Decision) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

A. Conforms to all applicable sections of the certified Local Coastal Program.

Facts in Support of Finding:

- 1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
 - a. The maximum floor area limitation is 3,828 square feet and the proposed floor area is 3,489 square feet.
 - b. The proposed development complies with the required setbacks, which are nine feet along the property line abutting East Balboa Boulevard and three feet along each side property line. There is no required setback abutting the alley.
 - c. The highest guardrail/parapet is 24 feet from established grade and the highest ridge is 29 feet from established grade. The proposed development complies with all height requirements.
 - d. The proposed development provides a two-car garage, meeting the minimum parking requirement for a single-family residence.
 - e. The proposed development exceeds the minimum 9.0 feet (NAVD88) top of slab elevation requirement for interior living areas of new structures.
- 2. The neighborhood is predominantly developed with two- and three-story single-family residences. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development.
- 3. The development is set back approximately 270 feet from the nearest bulkhead. Due to the large distance from coastal waters, a Water Quality Management Plan (WQMP) and a Construction Pollution Prevention Plan (CPPP) are not required. A post-construction drainage system will be installed that includes drainage and percolation features designed to retain dry weather and minor rain run-off on-site to ensure the project does not impact water quality. Any water not retained on-site is directed to the City's storm drain system.
- 4. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation

identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.

Finding:

B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.

Fact in Support of Finding:

- 1. The project site is located on the Balboa Peninsula between the nearest public road and the sea. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project replaces an existing single-family residence located on an inland lot with a new single-family residence. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Furthermore, the project is designed and sited so as not to block or impede existing public access opportunities. Vertical access to the bay front is available near the site on J Street where there is a public beach with access to the water.
- 2. The project site is not located adjacent to a coastal view road, public viewpoint, public park or beach, or public accessway, as identified in the Coastal Land Use Plan. Furthermore, an investigation of the project site and surrounding area did not identify any other public view opportunities. The project site may be located within the viewshed of distant public viewing areas. However, the project is located on an inland lot and will replace an existing single-family home with a new single-family home that complies with all applicable Local Coastal Program (LCP) development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

- 1. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2018-047, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
- 2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section

21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 12TH DAY OF JULY, 2018.

Jaime Murillo

Zoning Administrator

EXHIBIT "A"

CONDITIONS OF APPROVAL

- 1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
- 2. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new Coastal Development Permit.
- Coastal Development Permit No. CD2018-047 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
- 4. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
- 5. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.
- 6. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
- 7. Prior to issuance of the building permits, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.
- 8. Prior to issuance of building permits, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Coastal Development file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Coastal Development Permit.
- 9. Prior to the issuance of building permits, the applicant shall submit a final construction erosion control plan. The plan shall be subject to the review and approval by the Building Division.
- 10. Prior to the issuance of building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.

- 11. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner, or the leasing agent.
- 12. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 21 Planning and Zoning of the Newport Beach Municipal Code.
- 13. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Elkayam Residence Coastal Development Permit including, but not limited to. Coastal Development Permit No. CD2018-047 (PA2018-105). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs. attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

RESOLUTION NO. ZA2018-084

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2017-094 TO DEMOLISH AN EXISTING SINGLE-STORY COMMERCIAL OFFICE BUILDING AND CONSTRUCT A NEW THREE-STORY MIXED USE DEVELOPMENT LOCATED AT 424 31st STREET (PA2017-217)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

- 1. An application was filed by Ball Architecture, with respect to property located at 424 31st Street, requesting approval of a coastal development permit.
- 2. The lot at 424 31st Street is legally described as Lot 19 of Block 331 of Lancasters Addition.
- 3. The applicant proposes to demolish an existing single-story office building and construct a three-story, mixed-use development. The proposed structure includes 745 square feet of commercial space at the ground floor and a 2,378-square-foot, single-family residential unit on the second and third floors. The development also includes a 400-square-foot, two-car tandem garage for the residential use and three uncovered parking spaces for the commercial use. The project includes hardscape, landscape, and subsurface drainage facilities. The design complies with all applicable development standards and no deviations are requested.
- 4. The subject property is designated MU-H4 (Mixed Used Horizontal) by the General Plan Land Use Element and is located within the MU-CV/15th Street (Mixed-Use Cannery Village/15th Street) Zoning District.
- 5. The subject property is located within the coastal zone. The Coastal Land Use Plan category is MU-H (Mixed Used Horizontal) and it is located within the MU-CV/15th Street (Mixed-Use Cannery Village/15th Street) Coastal Zone District.
- 6. At a public hearing on December 15, 2016, the Zoning Administrator approved a Minor Site Development Review No. SD2016-008 for the project.
- 7. A public hearing was held on July 12, 2018, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the hearing was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

- 1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15303, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment.
- 2. The Class 3 exemption applies to the construction of apartments, duplexes, and similar structures designed for not more than six dwelling units in urbanized areas. The proposed mixed-use development is consistent with all requirements of the Class 3 exemption, as it contains one commercial tenant space and one residential unit on an existing nonresidential site.
- 3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Coastal Development Permits, Findings and Decision) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

A. Conforms to all applicable sections of the certified Local Coastal Program.

Facts in Support of Finding:

- 1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
 - a. The maximum floor area limitation for residential uses is 2,785.8 square feet (i.e. floor area ratio [FAR] of 1.0.) The proposed gross floor area for residential use is 2,778 square feet.
 - b. The minimum gross floor area allowable for nonresidential uses is 696 square feet (i.e. FAR of 0.25). The maximum gross floor area limitation for commercial is 1,393 (0.5 FAR). The proposed gross floor area of the nonresidential use is 745 square feet (0.27 FAR).
 - c. The proposed development provides the minimum required setbacks, which are 0 feet along the front property line abutting 31st Street, 0 feet along each side property line, and 10 feet along the rear property line abutting the alley.

- d. The highest guardrail is less than 26 feet from established grade (9.00 feet NAVD88) and the highest ridge is no more than 31 feet from established grade, which comply with the maximum height requirements.
- e. The project includes a two-car tandem garage for residential use, and three uncovered guest/commercial parking spaces for the commercial component at a ratio of one space for every 250 square feet of gross floor area. Therefore, the project will comply with the minimum parking requirements.
- 2. The neighborhood is predominantly developed with one- and two-story, commercial and mixed-use structures. There are several structures in the immediate area that are similar in height at two-stories. Additionally, the Cannery Lofts development consisting of three-story mixed-use buildings is located near the project to the southeast. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development in the Cannery Village area.
- 3. The project design includes second- and third-floor decks, which serve to set back the second- and third-floor living areas from the street. This feature serves to remove some of the massing keeping the project at a pedestrian scale, which will helps maintain compatibility with the neighborhood.
- 4. The project has been designed such that it will be compatible with the scale of expected future development based on allowable development standards and recent pattern of construction in the neighborhood.
- 5. The development is located on an inland property in a developed area more than 500 feet from the bay. The project site is separated from the bay (the nearest body of water) by Villa Way, Lafayette Avenue, and a few blocks of mainly mixed use and commercial uses. The finished floor elevation of the first floor for the proposed structure is 9.00 feet based on the North American Vertical Datum of 1988 (NAVD88), which complies with the minimum 9.00-foot (NAVD88) elevation standard for new structures. The identified distances from the coastal hazards areas coupled with the 9.00-foot (NAVD88) finish floor elevation, will help to ensure the project is reasonably safe for the economic life of the structure.
 - 6. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.
- 7. The project site is located more than 500 feet from the bay. The project design addresses water quality with a construction erosion control plan and a post construction drainage system that includes drainage and percolation features designed to retain dry weather and

- minor rain event run-off on-site. Any water not retained on-site is directed to the City's storm drain system.
- 8. Proposed landscaping complies with Implementation Plan Section 21.30.075. A condition of approval is included that requires drought-tolerant species. Prior to issuance of building permits, the final landscape plans will be reviewed to verify invasive species are not planted.

Finding:

B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.

Fact in Support of Finding:

- The project site is located on the Balboa Peninsula within the Cannery Village area. The project site is not located between the nearest public road and the sea or shoreline. The site is developed with a single-story commercial building and private parking lot. The site does not currently provide any views or access to/along the shoreline. Vertical access to the bay front is available along 31st Street in front of the project site. Lateral access along the bay is available via the Rhine.
- 2. The project site is not located adjacent to a coastal view road, public viewpoint, public park or beach, or public accessway, as identified in the Coastal Land Use Plan. Furthermore, an investigation of the project site and surrounding area did not identify any other public view or access opportunities on the site. The project site is not located within the viewshed of distant public viewing areas. The project is located on an inland lot and will replace an existing nonresidential structure with a new mixed-use structure (i.e., nonresidential) that complies with all applicable Local Coastal Program (LCP) development standards and maintains a building envelope consistent with the existing and anticipated future neighborhood pattern of development. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.
- 3. The project will improve an underutilized property in a predominately mixed-use area, which will in turn help to enhance the visual quality of the Coastal Zone for visitors and residents.
- 4. The entire frontage of the project site is currently utilized for vehicular access to the existing parking lot and no street parking is provided. Therefore, construction of the project would not result in a loss of street parking for public use.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

- 1. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2017-094, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
- 2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. The project site is not located within the appeal area of the coastal zone; therefore, final action by the City may not be appealed to the California Coastal Commission.

PASSED, APPROVED, AND ADOPTED THIS 12TH DAY OF JULY, 2018.

Jaime Murillo

Zoning Administrator

EXHIBIT "A"

CONDITIONS OF APPROVAL

- 1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
- No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers.
- 3. This approval does not authorize any new or existing improvements (including landscaping) on State tidelands, public beaches, or the public right-of-way.
- 4. Best Management Practices (BMP's) and Good Housekeeping Practices (GHP's) shall be implemented prior to and throughout the duration of construction activity as designated in the Construction Pollution Prevention Plan (CPPP).
- 5. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
- 6. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stock piles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
- 7. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
- 8. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
- 9. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
- 10. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.
- 11. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious

- to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
- 12. Prior to the issuance of building permits, the applicant shall submit a final construction erosion control plan. The plan shall be subject to the review and approval by the Building Division.
- 13. Prior to the issuance of building permits, the applicant shall submit a final drainage and grading plan. The plan shall be subject to the review and approval by the Building Division.
- 14. Prior to issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.
- 15. Prior to issuance of a building permit, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Coastal Development file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Coastal Development Permit.
- 16. Prior to the issuance of building permits, the applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought tolerant plantings, non-invasive plant species and water efficient irrigation design. The plans shall be approved by the Planning Division.
- 17. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
- 18. Prior to the issuance of building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
- 19. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
- 20. This Coastal Development Permit No. CD2017-094 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
- 21. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents

from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Taormina Mixed Use Development including, but not limited to, Coastal Development Permit No. CD2017-094 (PA2017-217). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915 (949) 644-3200 www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER

Application No. Minor Site Development Review No. SD2018-002 (PA2018-107)

Applicant TSG – Parcel 1, LLC

Site Address 4311 Jamboree Road

Uptown Newport Phase 1 Park

Legal Description Lot A of Tract Map No. 17763

On <u>July 13, 2018</u>, the Community Development Director approved Minor Site Development Review No. SD2018-002. This approval is based on the following findings and subject to the following conditions.

PROJECT SUMMARY

A Minor Site Development Review for the construction of a 1.03-acre neighborhood park within the Uptown Newport mixed-use residential development.

ZONING DISTRICT/GENERAL PLAN

• **Zone:** PC-58 (Uptown Newport)

• General Plan: MU-H2 (Mixed Use Horizontal)

I. <u>BACKGROUND</u>

On February 26, 2013, the City Council approved the zoning entitlements and certified the environmental impact report for the Uptown Newport project, which consists of a mixed use planned community of up to 1,244 residential units, 11,500 square feet of neighborhood-serving retail space, and two acres of public park space in two primary phases.

The approved zoning documents for Uptown Newport consisted of: (1) Land Uses, Development Standards & Procedures, (2) Phasing Plan, and (3) Design Guidelines. These documents set forth the development standards with procedures for project implementation, phasing requirements, and design framework. These documents, together, are called Planned Community Development Plan (PCDP).

The Land Uses, Development Standards & Procedures provides land use development regulations, site development standards, and implementation process by requiring a

master site development review approval by the Planning Commission for the entire Uptown Newport project; and a minor site development review approval by the Community Development Director for the individual buildings and construction of the two neighborhood parks.

On September 5, 2013, the Planning Commission approved the Master Site Development Review (MSDR) application for the Uptown Newport project. The Planning Commission also approved prototypical architectural building elevations, master landscape plan and plant palette, preliminary public parks and paseo plans, preliminary master wall/fence plans, master signage plans, and preliminary site improvement plans for the entire development. The purpose of this approval is to ensure that the project will be developed in a cohesive manner in phases consistent with the Planned Community Development Plan, Development Agreement, environmental mitigation measures required by Environmental Impact Report (EIR), and applicable City codes and standards.

On October 1, 2013, the Parks, Beaches & Recreation Commission reviewed and approved park amenities on the two public park concepts for the Uptown Newport project.

Phase 1 construction is underway. Phase I site improvements which include dry utilities, curb and gutter, and street paving are 90 percent installed with the anticipated completion by November 2018. Building permits for the construction of the Picerne Group's apartment project in Phase 1 were issued on May 18, 2017. It is anticipated that the South building will be completed by December 2018, and the North building to be completed by April 2019. Street lights and Phase I landscaping will commence near the completion of the Picerne Group's apartment buildings together with the median improvements, median landscaping, and traffic signal modifications. All this work is anticipated to begin in July 2018 and conclude by December 2018.

II. PROJECT DESCRIPTION

The applicant is proposing to construct a 1.03-acre neighborhood park. The park is part of Phase 1 development of the Uptown Newport Planned Community. Proposed amenities for the park include an activity lawn and concert green, outdoor stage, open-air pavilion, barbecue and fireplace courtyard, children's play area, and art promenade. A water fountain structure acts as an accent element and is proposed at the southern entrance of the park. A restroom structure is proposed near the courtyard area and will be accessible to the residents and public. A total of 5 parking spaces will be available for the park users.

The construction of the neighborhood park proposed by the applicant requires the approval of a Minor Site Development Review.

III. <u>FINDINGS</u>

Consistent with the general purposes set forth in Section 4.2 of the Land Uses, Development Standards & Procedures of the PCDP, the Community Development Director may approve or conditionally approve a Site Development Review application, only after first making the following findings:

A. The development shall be in compliance with all provisions of the Uptown Newport Planned Community Development Plan Land Uses, Development Standards & Procedures

Facts in Support of Finding:

- 1. The proposed neighborhood park, which is located within Phase 1 and is accessible to the public and the residents of Uptown Newport Village, is consistent with the following park standards stated in the Uptown Newport Planned Community Development Plan Land Uses, Development Standards & Procedures, including but not limited to the location, size, and pedestrian connections:
 - a. The size of the proposed park is 1.03 acres.
 - b. The park is approximately 300 feet wide and 150 feet deep.
 - c. The proposed park is surrounded on two sides by Uptown Newport Drive and Half Dome Place, which are internal streets of the Uptown Newport development. The park includes 5 parking spaces, including one handicap accessible space, located adjacent to Uptown Newport Drive.
 - d. The proposed park provides a connection to the paseo and planned residential parcels by streets and pedestrian walkways.

Finding:

B. The development shall be consistent with the Uptown Newport Design Guidelines, Phasing Plan and Master Site Development Plan.

Facts in Support of Finding:

- 1. The proposed park is centrally located within Phase 1 and will provide a connection to the surrounding residential uses by interior streets, sidewalks, and pedestrian walkways.
- 2. The proposed park will provide amenities that are recommended in the Uptown Newport Design Guidelines including an activity lawn and concert green, outdoor stage, open-air pavilion, barbecue and fireplace courtyard, children's play area, and art promenade. A water fountain structure acts as an accent element at the southern entrance of the park.
- Park furnishings, including benches, tables, barbecues, bike racks, and drinking fountains, will be unified in form and color and support a consistent design within Uptown Newport Village.
- 4. The Phasing Plan identified the necessary implementation steps for the Phases 1 and 2 developments which include the demolition, on-site improvements, off-site improvements and actual construction of each individual pad building including the park parcels. Approval of the application is in the proper sequence and will occur only after

- completion of the Phase 1 infrastructure, including the interior streets that abut the proposed project. The proposed project is located within Phase 1 of the Uptown Newport Planned Community and is consistent with the anticipated phasing arrangements.
- 5. The proposed project is a neighborhood park located in the parcel permitted by the PCDP and MSDP. As stated above, the proposed development is in substantial conformance with the MSDP as it is consistent with the conceptual park plans that were approved as a part of the master site development plan for the Uptown Newport Planned Community.

Finding:

C. Substantial Conformance with the Master Site Development Plans approved by the Planning Commission pursuant to Section 4.1.

Facts in Support of Finding:

1. See Response B.5.

Finding:

D. On-site landscaping that is not part of the Master Site Improvements shall be consistent with the master landscape plant palette.

Facts in Support of Finding:

1. The landscape plans for the proposed park include primarily drought tolerant plant materials taken from the master plant palette, as proposed in the Master Site Development Review application, thus ensuring a consistent planting scheme.

Finding:

- E. The following criteria shall be considered during the review of a Site Development Review application:
 - 1. Compliance with the Site Development Review Section, the General Plan, the Newport Beach Municipal Code, and other applicable criteria and policies related to the use or structure:
 - 2. The compatibility in terms of bulk, scale, and aesthetic treatment of structures on the site and adjacent developments and public areas;
 - 3. The adequacy, efficiency, and safety of pedestrian and vehicular access, including drive aisles, driveways, and parking and loading spaces;
 - 4. The adequacy and efficiency of landscaping and open space areas and the use of water efficient plant and irrigation materials;

5. Not detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the proposed development.

Facts in Support of Finding:

- 1. The proposed project is consistent with the Newport Beach General Plan, Municipal Code, Uptown Newport zoning documents, and applicable building and safety codes. The landscaping, amenities and furnishings will be compatible with the scale, bulk and architectural design with the overall design of the Uptown Newport Planned Community. The proposed project is therefore consistent with the development standards permitted by the General Plan and Uptown Newport Planned Community Development Plan.
- 2. The proposed project is consistent with the conceptual park design and plan that was reviewed and approved by the Parks, Beaches, and Recreation Commission.
- 3. Appropriate vehicular access points for the park will be provided along two interior streets (Uptown Newport Drive and Half Dome Place). Pedestrian access points for the park are designed to connect the park to the planned residential parcels. The Public Works Department and the Building Division have reviewed and approved the site plan and parking configuration and found them to be consistent with applicable standards and regulations subject to the conditions of approval.
- 4. Detailed landscape planting and irrigation plans have been prepared and submitted by a licensed landscape architect for the proposed park. Drought tolerant planting and water efficient irrigation practices are incorporated into the plans.
- 5. The project has been conditioned to ensure that potential conflicts with surrounding land uses are minimized to the lowest extent possible to maintain a healthy environment for both businesses and residents.

IV. CONDITIONS

- 1. The development shall be in substantial conformance with the approved construction and landscape plans stamped and dated with the date of this approval, except as modified by applicable conditions of approval.
- 2. Any substantial modification to the approved Site Development Review plans, as determined by the Community Development Director, shall require an amendment to this Site Development Review application or the processing of a new application.
- 3. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the property owner or the leasing agent.

- 4. Minor Site Development Review No. SD2018-002 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.54.060 of the Newport Beach Municipal Code, unless an extension is otherwise granted.
- 5. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Uptown Park Project including, but not limited to, Minor Site Development Review No. SD2018-002. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.
- 6. Prior to issuance of building permits, the applicant shall submit to the Planning Division an additional copy of the approved architectural and landscape plans for inclusion in the Minor Site Development Review file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Minor Site Development Review and shall highlight the approved elements such that they are readily discernible from other elements of the plans.
- 7. Prior to the issuance of building permits, the applicant shall submit a detailed landscape and irrigation plan prepared by a licensed landscape architect for the paseo, private recreational areas, and private courtyards. These plans shall incorporate drought tolerant plantings and water efficient irrigation practices, and the plans shall be approved by the Planning Division.
- 8. The proposed park shall have posted a notification to users regarding proximity to John Wayne Airport and related aircraft overflight and noise.
- 9. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.

- 10. The site shall not be excessively illuminated based on the luminance recommendations of the Illuminating Engineering Society of North America, or, if in the opinion of the Director of Community Development, the illumination creates an unacceptable negative impact on surrounding land uses or environmental resources. The Director may order the dimming of light sources or other remediation upon finding that the site is excessively illuminated.
- 11. <u>Prior to the issuance of a building permit</u>, the applicant shall prepare a photometric study in conjunction with a final lighting plan for approval by the Planning Division. The survey shall show that lighting values are "1" foot candles or less at all property lines.
- 12. <u>Prior to the issuance of a building permit</u>, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
- 13. The proposed project shall be in compliance with all applicable conditions identified in City Council Resolution No. 2013-24 (Uptown Newport Tentative Tract Map No. NT2012-002) and mitigation measure contained in the Uptown Newport Environmental Impact Report No. ER2012-001.
- 14. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 and other applicable noise control requirements of the Newport Beach Municipal Code. The maximum noise shall be limited to no more than depicted below for the specified time periods unless the ambient noise level is higher:

	Between 7:00AM and	the hours of 10:00PM	Between the 10:00PM and 7	hours of :00AM
Location	Interior	Exterior	Interior	Exterior
Residential Property	45dBA	55dBA	40dBA	50dBA
Residential Property located within 100 feet of a commercial property	45dBA	60dBA	45dBA	50dBA
Mixed Use Property	45dBA	60dBA	45dBA	50dBA
Commercial Property	N/A	65dBA	N/A	60dBA

- 15. Construction activities shall comply with Section 10.28.040 of the Newport Beach Municipal Code, which restricts hours of noise-generating construction activities that produce noise between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday and 8:00 a.m. and 6:00 p.m. on Saturday. Noise-generating construction activities are not allowed on Sundays or Holidays.
- 16. Landscape/trees shall not obstruct firefighting laddering opportunities to any structures. Tree placement shall be reviewed and approved by the Fire Department.
- 17. The applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, Cityadopted version of the California Building Code. The construction plans must meet all applicable State Disabilities Access requirements.

18. The applicant shall employ the following best available control measures ("BACMs") to reduce construction-related air quality impacts:

Dust Control

- Water all active construction areas at least twice daily.
- Cover all haul trucks or maintain at least two feet of freeboard.
- Pave or apply water four times daily to all unpaved parking or staging areas.
- Sweep or wash any site access points within two hours of any visible dirt deposits on any public roadway.
- Cover or water twice daily any on-site stockpiles of debris, dirt or other dusty material.
- Suspend all operations on any unpaved surface if winds exceed 25 mph.

Emissions

- Require 90-day low-NOx tune-ups for off road equipment.
- Limit allowable idling to 30 minutes for trucks and heavy equipment

Off-Site Impacts

- Encourage car-pooling for construction workers.
- Limit lane closures to off-peak travel periods.
- Park construction vehicles off traveled roadways.
- Wet down or cover dirt hauled off-site.
- Sweep access points daily.
- Encourage receipt of materials during non-peak traffic hours.
- Sandbag construction sites for erosion control.

Fill Placement

- The number and type of equipment for dirt pushing will be limited on any day to ensure that SCAQMD significance thresholds are not exceeded.
- Maintain and utilize a continuous water application system during earth placement and compaction to achieve a-10 percent soil moisture content in the top six-inch surface layer, subject to review/discretion of the geotechnical engineer.
- 19. A list of "good house-keeping" practices will be incorporated into the long-term post-construction operation of the site to minimize the likelihood that pollutants will be used, stored or spilled on the site that could impair water quality. These may include frequent parking area vacuum truck sweeping, removal of wastes or spills, limited use of harmful fertilizers or pesticides, and the diversion of storm water away from potential sources of pollution (e.g., trash receptacles and parking structures). The Stage 2 WQMP shall list and describe all structural and non-structural BMPs. In addition, the WQMP must also identify the entity responsible for the long-term inspection, maintenance, and funding for all structural (and if applicable Treatment Control) BMPs.

APPEAL PERIOD: An appeal may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

On behalf of Seimone Jurjis, Community Development Director

By:

David S. Lee, Assistant Planner

RU/dl

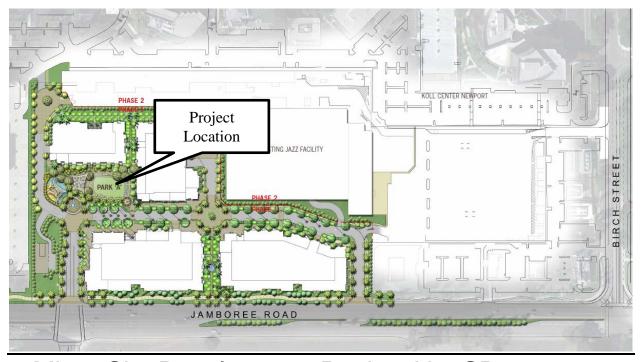
Attachments: CD 1 Vicinity Map

CD 2 Project Plans

Attachment No. CD 1

Vicinity Map

VICINITY MAP



Minor Site Development Review No. SD2018-002 PA2018-107

4311 Jamboree Road

Attachment No. CD 2

Project Plans

UPTOWN NEWPORT, LP. UPTOWN NEWPORT, LP.

CONTRACTOR SHOULD NOTIFY THE OWNER IF HE CONSIDERS ANY OF THE

RECOMMENDED ACTIONS PRESENTED HEREIN TO BE UNSAFE.

CITY PARK PHASE 1 LANDSCAPE DEVELOPMENT PLANS TRACT # 177663

NEWPORT BEACH, CALIFORNIA



ABBREVIATIONS

PA PLANTING AREA
TP TOP OF PILASTER

TW TOP OF WALL FG FINISH GRADE HP HIGH POINT

NIC NOT IN CONTRACT
TYP TYPICAL
FLOW LINE 2% MIN.

← SHEET FLOW 2% MIN.

SUBMITTAL LOG

SUBMITTAL

DATE

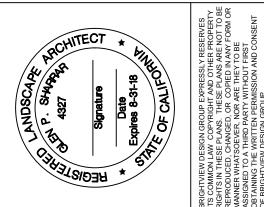
BrightView Parion Group

Decing Group

06-18-2018

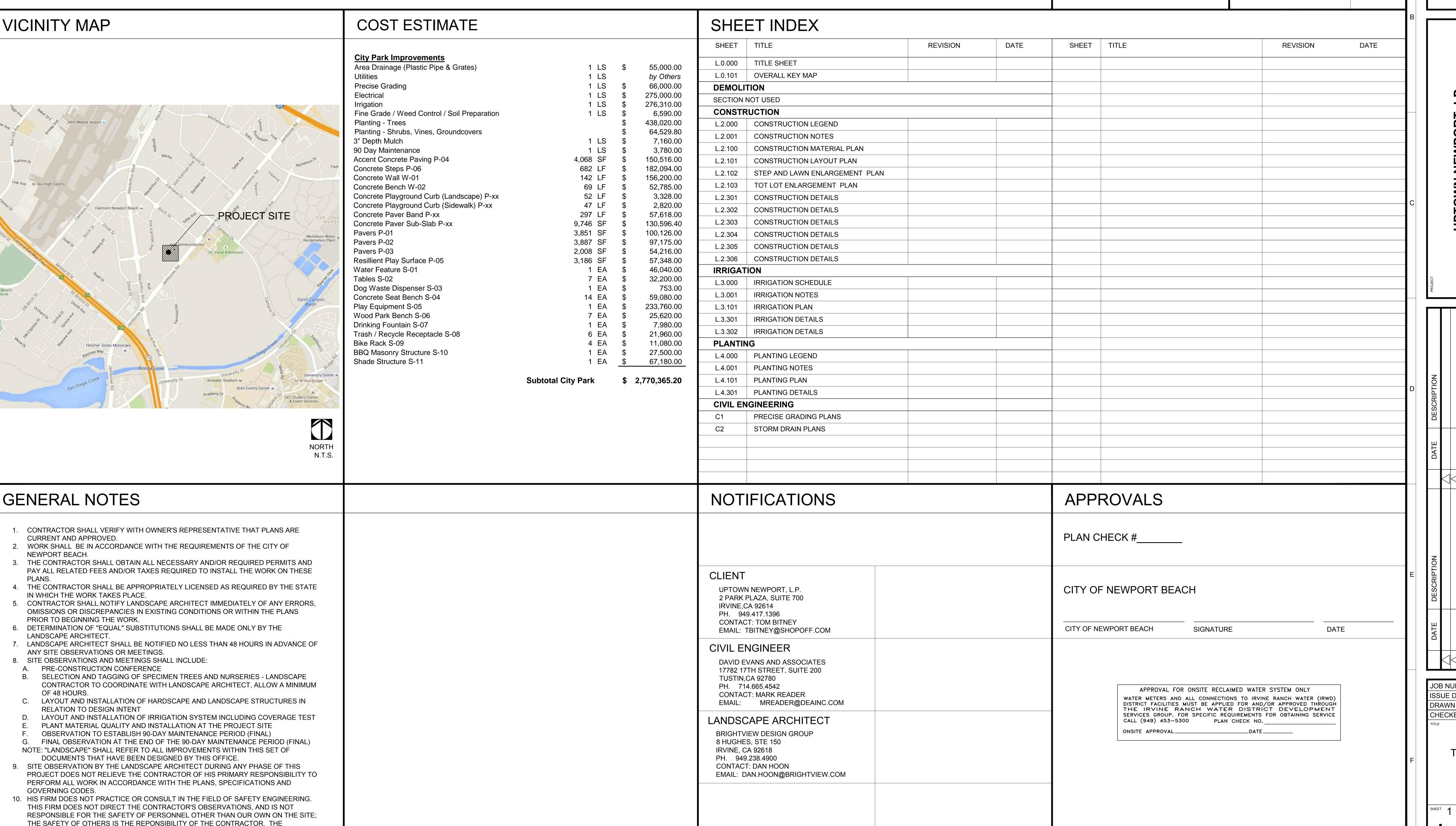
AGENCY SUBMITTAL 1

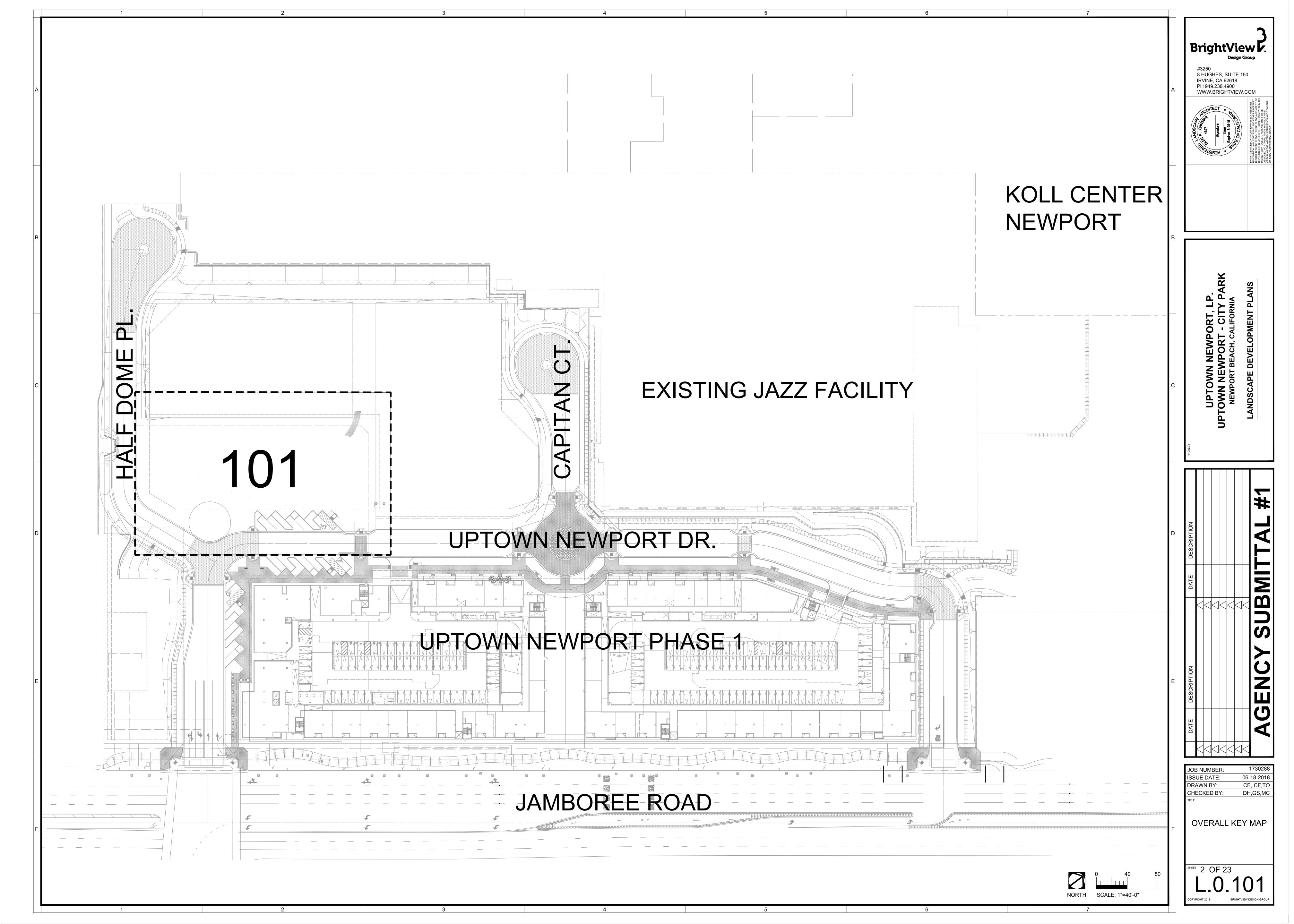
#3250 8 HUGHES, SUITE 150 IRVINE, CA 92618 PH 949.238.4900 WWW.BRIGHTVIEW.COM



UPTOWN NEWPORT, LP.
UPTOWN NEWPORT - CITY PARK
NEWPORT BEACH, CALIFORNIA
LANDSCAPE DEVELOPMENT PLANS

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					PARK HARDS	SCAPE LEGE	ND			
WALL	SCHEDULE									
CODE	DESCRIPTION	DETAIL	MATERIAL	PATTERN/FINISH	COLOR	HEIGHT	MANUFACTURER	REMARKS		
W-01	LOW WALL	G / L.2.301	PRE-CAST CONCRETE	LIGHT ETCHED/ TOP CAST 3	DAVIS: OUTBACK #677	24"	THE DAVIS COLORS CONCRETE WWW.DAVISCOLORS.COM	PRE-CAST MANUFACTURI ADD ALTERNATIVE TO PR		ODUCTS) http://qcp-corp.com/ .
W-02	PRE-CAST WALL W/ WOOD BENCH ON TOP	B,C / L.2.302	PRE-CAST CONCRETE	LIGHT ETCHED/ TOP CAST 3	DAVIS: OUTBACK #677	24"	THE DAVIS COLORS CONCRETE WWW.DAVISCOLORS.COM		R: QCP (QUICKCRETE PR	ODUCTS) http://qcp-corp.com/.
FENCE	E, GATE, RAIL SCHEDULE							•		
CODE	DESCRIPTION	DETAIL	MATERIAL	FINISH	COLOR	HEIGHT	MANUFACTURER	REMARKS		
R-01	HANDRAIL	H/ L.2.301	TUBULAR STEEL	POWDER COAT	MATTE BLACK	36"	NA	NA		
PAVIN	G SCHEDULE									
CODE	DESCRIPTION	DETAIL	MATERIAL		PATTERN/FINISH		COLOR	MANUFACTURER		REQUIRED SAMPLES
P-01	LINEAR PAVERS 3X18"	E / L.2.301	NARROW MODULAR PA	/ER'S	50% 3"X12", 50% 3"X18"		25% GRANADA WHITE LIGHT SANDBLAST 25%GRANADA WHITE MEDIUM SANDBLAST 25% PORCELAIN LIGHT SANDBLAST 25% PORCELAIN MEDIUM SANDBLAST	STEPSTONE, INC. WWW.STEPSTONEINC.COM		SUBMIT SAMPLES FOR APPROVAL
P-02	PEDESTRIAN INTERLOCKING PAVERS	E / L.2.301	PALAZZO 12" X 24" 60 Mľ	И	CONTEMPO		NATURAL PEWTER	ACKERSTONE - WWW.ACKER CONTACT: FELIX NEGRETE 9		SUBMIT SAMPLES FOR APPROVAL
P-03	PEDESTRIAN COBBLESTONE PAVERS	E / L.2.301	HOLLAND II PLAZA 60MM	1	GRIND AND CALIBRATE		CA DEL MAR	ACKERSTONE - WWW.ACKER CONTACT: FELIX NEGRETE 9		SUBMIT SAMPLES FOR APPROVAL
P-04	COLORED PAVING	A / L.2.301	INTEGRAL COLORED CO	NCRETE	SCORE PER PLAN/ TOPO	CAST 3	DAVIS COLORS: OUTBACK #677	THE DAVIS COLORS CONCRI WWW.DAVISCOLORS.COM	TE	SUBMIT SAMPLES FOR APPROVAL
P-05	RESILIENT MULTI-COLOR SURFACE	A / L.2.305	RESILIENT SURFACING		REFER TO SHEET L.2.30	5 FOR PATTERN	REFER TO SHEET L.2.305	USSA, INC - POLYSTAR WWW.SIGNATURESURFACIN	G.COM	PROVIDE SAMPLES OF EACH COLOR FOR APPROVAL
P-06	PRE-CAST CONCRETE STEPS	C / L.2.301	PRE-CAST CONCRETE		TOPCAST 3		DAVIS COLORS: OUTBACK #677	PRE-CAST MANUFACTURER: PRODUCTS) http://qcp-corp.co	•	SAMPLE OF PRE-CAST FOR APPROVAL
P-07	CONCRETE MOW CURB	C / L.2.302	INTEGRAL COLORED CO	NCRETE	TOPCAST 3		DAVIS COLORS: OUTBACK #677	THE DAVIS COLORS CONCRI WWW.DAVISCOLORS.COM	TE	NA
P-08	CONCRETE BAND	F / L.2.301	INTEGRAL COLORED CO	NCRETE	TOPCAST 3		DAVIS COLORS: OUTBACK #677	THE DAVIS COLORS CONCRI WWW.DAVISCOLORS.COM	TE	NA
P-09	COLORED PAVING	A / L.2.301	INTEGRAL COLORED CO	NCRETE	SCORE PER PLAN/ TOPO	CAST 7	DAVIS COLORS: OUTBACK #677	THE DAVIS COLORS CONCRI WWW.DAVISCOLORS.COM	TE	SUBMIT SAMPLES FOR APPROVAL
SITE E	LEMENT SCHEDULE							•		
CODE	DESCRIPTION	DETAIL	MATERIAL/SPECIFICATION	ON	FINISH		COLOR		MANUFACTURER	
S-01	PARK FOUNTAIN	A/ L.2.304	PRE-CAST CONCRETE		VARIES, REFER TO DETA	AILS	VARIES, REFER TO DETAILS		PRE-CAST MANUFACT PRODUCTS) http://qcp	TURER: QCP (QUICKCRETE b-corp.com/.
		1								

TABLETOP/SEATS

TABLETOP/SEATS

POWDER COAT

POWDER COAT

POWDER COAT

POWDER COAT

POWDER COAT

POWDER COAT

POLISHED TOP

SMOOTH

MADE FOR IPE WOOD

OIL FINISH. USE OIL SPECIFICALLY

MANUFACTURER'S STANDARD FINISH

STUCCO, WOOD SIDING AND STEEL

FABRIC MEMBRANE: MONOTEC 370 HDPE SHADE CLOTH

LIGHT ETCH

POLISHED

POWDER COAT SILVER TEXTURE

POWDER COAT SILVER TEXTURE

MANUFACTURER'S COOL SILVER

MANUFACTURER'S GREEN

MANUFACTURER'S DENIM

STAINLESS STEEL

REFERENCE

REFER TO DETAIL FOR COLOR

STAINLESS STEEL / DIAMOND PATTERN

STAINLESS STEEL / DIAMOND PATTERN

MATCH DAVIS COLORS: LIGHT GRAY #860

WOODS NATURAL COLOR AFTER OILED

MANUFACTURER'S "SILVER TEXTURE" COLOR

MANUFACTURER'S "SILVER TEXTURE" COLOR

DAVIS COLORS: DARK GRAY (IRON OXIDE) #860

LA HABRA STUCCO: HACIENDA #82 (59) BASE 200

METALLIC-SILVER TEXTURE (TO BE APPROVED BY BRIGHTVIEW)

MANUFACTURER'S "GRAY" COLOR

MATCH DAVIS COLORS: DARK GRAY (CARBON) #8084

S-11	SHADE STRUCTURE
S-12	PREFABRICATED RESTROOM

S-02

S-05

S-05B

S-06

S-09

S-10

TABLES

DOG WASTE DISPENSER

CONCRETE SEAT BENCH

TOT LOT BOOGIE BOARD

DRINKING FOUNTAIN WITH ADA ACCESS

TRASH/RECYCLE RECEPTACLE

TOT LOT SHIP

TOT LOT DOLPHIN

WOOD PARK BENCH

BIKE RACK

BARBEQUE

L.2.000

A / L.2.302

E / L.2.302

C / L.2.302

GFRC

TANGENT 4 SEAT BACKLESS- SEYAH-4LA, 4LW, 4LS

TANGENT 6 SEAT BACKLESS- SETAH-6LA, 6LW, 6LS

DOG WASTE DISPENSER- PBARK-490

PB MOBIUS NAVIGATOR SHIP- CL192479

GFRC HALF JUMPING DOLPHIN- CL192481

SBHUD-96S,BEN,HUD,96",SFM - 96"L x 20.09"D x

33.12"H - SLAT MATERIAL: IPE WOOD SLATS -

EZH20 BOTTLE FILLING STATION- LK4420BFIU

DISPATCH 45 GALLON SPLIT STREAM- SLD15-220

BIKE GARDEN BIKE RACK- CONFIGURATION B-CIP

BOOGIE BOARD MODEL #194704

MOUNTING: SURFACE MOUNT

CONCRETE COUNTER TOP

PGS T 30" GRILL / MODEL # S27T

DOUBLE RESTROOM WITH UTILITY CHASE

STUCCO

SEQUOIA

CUSTOM HUDSON BENCH W/ BACK -

ALL CALLOUTS AND DIMENSIONS ONCE TYPICAL PER SHEET.

CONSTRUCTION NOTES:

DESCRIPTION

WALL TYPE

RAIL TYPE

PAVING TYPE

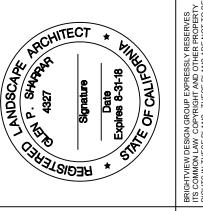
SITE ELEMENT TYPE

R-00

- 2. GRADES ARE BASED ON THE CIVIL ENGINEERS' GRADING PLAN.
- 3. THIS PLAN IS FOR THE PURPOSE OF HORIZONTAL CONTROL (STAKING) OF CONSTRUCTION FEATURES NOT LOCATED BY THE CIVIL ENGINEERING PLANS; AND THE CONSTRUCTION REFERENCE OF SITE CONSTRUCTION FEATURES DETAILED HEREIN.
- 4. REFER TO THE CIVIL ENGINEER PLANS HEREIN FOR ALL FINISH GRADING, ALL HORIZONTAL AND VERTICAL CONTROL OF PROPOSED CONSTRUCTION FEATURES, AND ALL UNDERGROUND DRAINAGE SHOWN HERE ON.
- CONTRACTOR SHALL WORK WITH THE OWNER / DEVELOPER TO ADJUST ANY/ALL EXISTING UTILITY BOXES FLUSH WITH FINISH GRADE. REFER TO CIVIL ENGINEER'S PLAN FOR ALL FINISH GRADE ELEVATIONS.
- 6. CONTRACTOR SHALL WORK WITH THE OWNER / DEVELOPER TO IDENTIFY STAKING FOR ALL LIMIT OF WORK AND PROPERTY LINES.
- 7. CONTRACTOR SHALL HAVE CONCRETE FLATWORK FORMS REVIEWED/ APPROVED BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- 8. ALL AREA DRAINS SHALL BE PERPENDICULAR AND 2'-0" CLR. FROM BACK OF WALK

BrightView V...
Design Group

#3250 8 HUGHES, SUITE 150 IRVINE, CA 92618 PH 949.238.4900 WWW.BRIGHTVIEW.COM



REMARKS

OR OWNER APPROVED EQUAL

OR OWNER APPROVED

PROJ. REF#

10421-2/26/2018-1

EQUAL. 26 WEEK LEAD TIME

CONTACT: CHRIS GAUGHAN

PROVIDE SAMPLE FOR APPROVAL

POURED IN PLACE

SCORE 10'-0" O.C.

SCORE PER PLAN

REMARKS

FORMS + SURFACES

FORMS + SURFACES

888.458.5872

763.972.3183

763.972.3183

WWW.ELKAY.COM

FORMS + SURFACES

FORMS + SURFACES

949.474.3070

888.888.2060

WWW.FORMS-SURFACES.COM

WWW.FORMS-SURFACES.COM

PRODUCTS) http://qcp-corp.com/.

PRODUCTS) http://qcp-corp.com/.

KELLY MCKEOWN P.805-755-2606

WWW.FORMS-SURFACES.COM

WWW.FORMS-SURFACES.COM
THE DAVIS COLORS CONCRETE

WWW.DAVISCOLORS.COM

TENSION STRUCTURES -

WWW.TENSIONSTRUCTURES.COM

PUBLIC RESTROOM COMPANY -

WWW.PublicRestroomCompany.com

BARK PARK - WWW.DOGPARKPRODUCT.COM

PRE-CAST MANUFACTURER: QCP (QUICKCRETE

LANDSCAPE STRUCTURES - WWW.PLAYLSI.COM

PRE-CAST MANUFACTURER: QCP (QUICKCRETE

LANDSCAPE STRUCTURES - WWW.PLAYLSI.COM

LA HABRA STUCCO WWW.LAHABRASTUCCO.COM

AEI CORPORATION - WWW.AEICORPORATION.COM

FORMS + SURFACES - WWW.FORMS-SURFACES.COM

ADD ALTERNATIVE TO PRE-CAST,

ARK

UPTOWN NEWPORT, LP.
UPTOWN NEWPORT - CITY PARP
NEWPORT BEACH, CALIFORNIA

			AGENCY SUBMITTAL #1

JOB NUMBER: 1730288
ISSUE DATE: 06-18-2018
DRAWN BY: CE, CF,TO
CHECKED BY: DH,GS,MC

CONSTRUCTION LEGEND

SHEET 3 OF 23

L.2.000

PYRIGHT 2018

BRIGHTVIEW DESIGN GRO

CONTRACTOR'S CONSTRUCTION WORK RESPONSIBILITIES:

- SCOPE OF WORK: THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION AND SERVICES NECESSARY TO FURNISH AND INSTALL ALL CONSTRUCTION ELEMENTS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- CONFORMANCE: ALL CONSTRUCTION WORK SHALL CONFORM TO APPLICABLE LOCAL, COUNTY AND/OR STATE CODES, REGULATIONS AND RULES, INCLUDING BUT NOT LIMITED TO THE 2013 CALIFORNIA BUILDING CODE.
- LICENSE: ALL WORK SHALL BE PERFORMED BY A C-27 CALIFORNIA LICENSED CONTRACTOR.
- PERMITS AND INSPECTIONS: THE CONTRACTOR SHALL OBTAIN, COORDINATE AND PAY FOR ANY AND ALL PERMITS, FEES AND AGENCY INSPECTIONS AS REQUIRED.
- INSURANCE: THE CONTRACTOR SHALL CARRY ALL WORKMEN'S COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE INSURANCE AS REQUIRED BY ALL APPLICABLE CODES. REGULATIONS AND BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- SITE VERIFICATION: PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL VERIFY, AT THE JOB SITE, ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AFFECTING THE INTENDED DESIGN OF THE LANDSCAPE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY.
- LIABLE FOR ENCROACHMENT: THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ENCROACHMENT ONTO ADJACENT PROPERTY, RIGHT-OF-WAYS, EASEMENTS, SET-BACKS OR ANY OTHER LEGAL PROPERTY RESTRICTIONS EITHER MARKED OR UNMARKED
- COORDINATION OF ACTIVITIES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF HIS **ACTIVITIES WITH ALL OTHER TRADES**
- FIELD STAKING: PRIOR TO INSTALLATION, THE CONTRACTOR SHALL SURVEY AND LOCATE ALL HARDSCAPE **ELEMENTS AND TREE LOCATIONS.**
- NOTIFICATION OF DISCREPANCIES: ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THE CONTRACT DOCUMENTS AND/OR THE DESIGN INTENT AFFECTING THE SUCCESSFUL COMPLETION AND COST OF THE PROJECT SHALL BE REPORTED TO THE OWNER'S AUTHORIZED REPRESENTATIVE AND RESOLVED BY THE DESIGN/BUILD TEAM.
- LIABLE FOR DAMAGE: THE CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ALL UTILITIES, CONSTRUCTION, IRRIGATION AND PLANTING ELEMENTS, EXISTING OR NEW, THAT HAVE BEEN MARKED BY USA ALERT OR LOCATED AND IDENTIFIED AS EXISTING, AND SHALL REPAIR OR REPLACE ANY DAMAGED IMPROVEMENTS IN A MANNER ACCEPTABLE TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- LIABLE FOR LOSS: THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY LOSS TO HIS EQUIPMENT PARTS AND MATERIALS ON THIS PROJECT UNTIL COMPLETION AND ACCEPTANCE OF THE JOB IN WRITING BY THE OWNER'S AUTHORIZED REPRESENTATIVE
- WRITTEN GUARANTEE: ALL WORK SHALL BE GUARANTEED BY CONTRACTOR AS TO THE MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF PROJECT. THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE ON HIS LETTERHEAD AT THE TIME OF THE FINAL INSPECTION.
- WRITTEN CERTIFICATION: THE CONTRACTOR SHALL PROVIDE A WRITTEN CERTIFICATION THAT THE CONSTRUCTION WORK IS INSTALLED IN FULL COMPLIANCE WITH THE CONTRACT DOCUMENTS. ANY APPROVED SUBSTITUTIONS OR DEVIATIONS FROM THE PLANS OR SPECIFICATIONS SHALL BE NOTED. THIS CERTIFICATION SHALL BE ON THE CONTRACTOR LETTERHEAD WITH HIS SIGNATURE AND CALIFORNIA CONTRACTOR'S LICENSE
- **STATE CIVIL CODE TITLE 7**: TO THE EXTENT THAT THIS PROJECT IS GOVERNED BY TITLE 7 OF THE STATE CIVIL CODE, THE CONTRACTOR SHALL CONFORM TO THE FUNCTIONALITY REQUIREMENT OF TITLE 7 OF THE CIVIL CODE.

II. OWNER'S CONSTRUCTION WORK RESPONSIBILITIES:

- CONSTRUCTION RESPONSIBILITIES: THE OWNER WILL BE DIRECTLY RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING ALL CONSTRUCTION INSPECTIONS. ALL FIELD MEETINGS SHALL BE INITIATED BY THE CONTRACTOR AND COORDINATED WITH THE OWNER'S AUTHORIZED REPRESENTATIVE. CONTRACTOR SHALL BE IN A SUPPORT OBSERVATION ROLE TO THE OWNER PROVIDING INTERPRETIVE ADVICE ONLY IN ACCORDANCE WITH THE OBSERVATION SCHEDULE AS NOTED.
- DETERMINING LEGAL AND PHYSICAL ELEMENTS: OWNER SHALL BE RESPONSIBLE FOR DETERMINING PROPERTY LINES, RIGHT-OF-WAYS, TRACT BOUNDARIES, GRADES, EASEMENTS, UTILITY LOCATIONS (ABOVE AND BELOW GRADE) ANY OTHER LEGAL OR PHYSICAL ELEMENTS, AS REQUIRED, FOR THE SUCCESSFUL COMPLETION OF THE WORK. CONTRACTOR SHALL NOT BE PERMITTED TO PROCEED WITH ANY WORK WITHOUT DETERMINATION OF THE ABOVE INFORMATION.
- ROUGH GRADE: OWNER SHALL PROVIDE ROUGH GRADE TO WITHIN 1/10TH OF ONE FOOT OF FINISH GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADE AND DRAINAGE OF ALL CONSTRUCTION ELEMENTS AT SPECIFIED GRADIENT.
- SITE DISCREPANCIES: ALL DISCREPANCIES IN SITE CONDITIONS, DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IT IS THE OWNER'S RESPONSIBILITY TO CONSULT THE CONTRACTOR PRIOR TO ANY FURTHER WORK IN THAT AREA. ANY UNREPORTED DISCREPANCY AND CONTINUED WORK WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL BE AT THE CONTRACTOR'S RISK AND EXPENSE

III. REQUIRED FIELD OBSERVATION WORK

REQUIRED FIELD OBSERVATION WORK: THESE PLANS WERE PREPARED WITH THE UNDERSTANDING THAT THE OWNER OF SAID PLANS WILL USE VALLEYCREST DESIGN GROUP TO PROVIDE 'FULL' CONTRACT SERVICES INCLUDING FIELD OBSERVATION SERVICES DURING CONSTRUCTION. FAILURE TO USE VALLEYCREST DESIGN GROUP TO PROVIDE AND COMPLETE THE FIELD OBSERVATION SERVICES SET FORTH HEREIN WILL SIGNIFICANTLY INCREASE THE RISK OF LOSS RESULTING, AMONG OTHER CAUSES, FROM MISINTERPRETATION OF THE INTENT OF THE DESIGN, UNAUTHORIZED MODIFICATIONS THERETO, AND FAILURE TO DETECT ERRORS AND OMISSIONS IN THE PLANS AND SPECIFICATIONS BEFORE THEY BECOME COSTLY MISTAKES BUILT INTO THE PROJECT THEREFORE, IN THE EVENT THAT VALLEYCREST DESIGN GROUP IS OTHERWISE PRECLUDED FROM COMPLETING THE FIELD OBSERVATION SERVICES SET FORTH HEREIN, THE OWNER, OR SUBSEQUENT OWNER (INDIVIDUALS OR CORPORATIONS WHO HAVE PURCHASED THESE PLANS WITH THE PROJECT), AGREES TO HOLD HARMLESS, INDEMNIFY, AND DEFEND VALLEYCREST DESIGN GROUP AND THEIR CONSULTANTS FROM AND AGAINST ANY AND ALL CLAIMS.

IV. LANDSCAPE ARCHITECT'S CONSTRUCTION FIELD OBSERVATION SCHEDULE:

- FIELD OBSERVATION COORDINATION: THE FOLLOWING OBSERVATIONS SHALL BE INITIATED BY CONTRACTOR AND COORDINATED THROUGH THE OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE NOT LESS THAN FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY OBSERVATION. CONTINUED WORK WITHOUT OBSERVATION OF THESE PHASES OF WORK IS AT THE CONTRACTOR RISK, WITH ANY REQUIRED CHANGE OR MODIFICATIONS AT THE CONTRACTOR EXPENSE
- CONTRACTOR ORIENTATION/PRECONSTRUCTION MEETING: THIS MEETING SHALL BE CONDUCTED TO DISCUSS THE SPECIFICATIONS, POSSIBLE DISCREPANCIES, SITE CONDITIONS AND OTHER ASPECTS OF THE PROJECT CONSTRUCTION WORK SUCH AS PERSONNEL. SCHEDULE AND REQUIREMENTS FOR STARTING WORK.
- CONSTRUCTION STAKING AND LAYOUT OBSERVATION: THIS OBSERVATION SHALL BE PERFORMED AFTER ALL
- D. ROUGH CONSTRUCTION PROGRESS OBSERVATION: THIS OBSERVATION SHALL BE PERFORMED AFTER ALL FORMING, EXCAVATION, REINFORCING STEEL AND STRUCTURAL STEEL WORK HAS BEEN COMPLETED. BUT PRIOR TO PLACEMENT OF ANY CONCRETE.

FLOW LINES AND FINISH GRADES HAVE BEEN LOCATED IN THE FIELD, BUT PRIOR TO FORMING OR EXCAVATING.

- PROGRESS/INSTALLATION INSPECTIONS: PERIODIC INSPECTIONS SHALL BE PERFORMED BY THE OWNER'S AUTHORIZED REPRESENTATIVE DURING CONSTRUCTION OPERATIONS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.
- F. FINAL OBSERVATION/PROJECT CERTIFICATION: THIS OBSERVATION VISIT WILL BE PERFORMED TO REVIEW ALL ASPECTS OF THE CONTRACTED WORK PRIOR TO RELEASING THE PROJECT TO THE OWNER.

V. SCOPE OF LANDSCAPE CONSTRUCTION

A. BASE SHEETS: BASE SHEETS WERE DERIVED FROM BASE DATA:

PREPARED BY: DAVID EVANS AND ASSOCIATES DATED: JULY 16, 2015

COPIES AVAILABLE FROM OWNER UPON REQUEST

B. GEOTECHNICAL REPORT: THE GEOTECHNICAL REPORT UTILIZED IN PREPARATION OF THE CONSTRUCTION PLANS AND DETAILS:

PREPARED BY: GINTER & ASSOCIATES

TITLED PRELIMINARY GEOLOGIC & GEOTECHNICAL ENGINEERING INVESTIGATION UPTOWN NEWPORT 4321 JAMBOREE RD. NEWPORT BEACH, CALIFORNIA

DATED **NOVEMBER 2011**

REVISED:

COPIES AVAILABLE FROM OWNER UPON REQUEST

C. CONCRETE AND MASONRY NOTES:

- 1. **DISCREPANCIES**: THE CONTRACTOR SHALL NOTIFY THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PLANS, DETAILS AND NOTES
- 2. NOTES AND DETAIL REFERENCES: THE FOLLOWING NOTES TYPICAL DETAILS REFERENCE APPLY TO ALL DRAWINGS UNLESS NOTED OTHERWISE:
- 3. LICENSE: THE CONCRETE CONTRACTOR SHALL BE A C-8 CALIFORNIA LICENSED CONCRETE CONTRACTOR. THE MASONRY CONTRACTOR SHALL BE A C-29 CALIFORNIA LICENSED MASONRY CONTRACTOR.
- 4. BUILDING CODE: ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE 2013 CALIFORNIA **BUILDING CODE**
- 5. FIELD VERIFICATION: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. OWNER AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES **IMMEDIATELY**
- 6. METHODS OF CONSTRUCTION: THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES
- 7. SAFETY PROCEDURES: OBSERVATION VISITS TO THE SITE FIELD REPRESENTATIVES OF THE LANDSCAPE ARCHITECT WILL NOT INCLUDE REVIEW OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR THE FINISHED STRUCTURE.
- 8. GEOTECHNICAL REPORTS: ALL EXCAVATION, GRADING, COMPACTION, ETC. SHALL BE ACCOMPLISHED AND PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. THE GEOTECHNICAL REPORT IS HEREBY MADE A PART OF THESE DRAWINGS AND THE RECOMMENDATIONS CONTAINED THEREIN ARE TO BE FOLLOWED AND CONSIDERED AS MINIMUM UNLESS MORE STRINGENT REQUIREMENTS ARE NOTED OR DETAILED IN THE DRAWINGS OR SPECIFICATIONS
- 9. SOILS COMPACTION: ALL EXISTING FILL SOIL AND DISTURBED NATURAL SOILS ARE TO BE OVER-EXCAVATED AND PROPERLY COMPACTED FILL PER THE GEOTECHNICAL REPORT. ALL FILLING, BACKFILLING, RE-COMPACTION, ETC., IS TO BE ACCOMPLISHED ONLY UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.
- 10. INSPECTIONS: ALL EXCAVATIONS ARE TO BE INSPECTED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF ANY FILL OR REINFORCING STEEL
- 11. SLEEVE COORDINATION: ALL PIPE SLEEVING FOR DRAINAGE, IRRIGATION AND ELECTRICAL SERVICE, BENEATH OR EMBEDDED IN CONCRETE OR MASONRY WALLS SHALL BE COORDINATED WITH THE APPROPRIATE SUBCONTRACTORS.
- 12. ROCK AND SAND SPECIFICATIONS: AGGREGATES FOR CONCRETE SHALL BE NATURAL SAND AND ROCK CONFORMING TO ASTM C33.
- 13. AGGREGATES: AGGREGATES FOR MORTAR AND GROUT SHALL BE NATURAL SAND AND ROCK CONFORMING TO ASTM C-144 AND C-404.
- 14. CEMENT: CEMENT SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C-150, TYPE AS REQUIRED TO SATISFY SITE SOIL CONDITIONS AS DETERMINED BY THE PROJECT SOILS ENGINEER.
- 15. CONCRETE BLOCK: ALL CONCRETE BLOCK SHALL CONFORM TO ASTM C-90, GRADE N1. MASONRY SHALL BE MEDIUM WEIGHT UNIT FM = 1500 PSI
- 16. MORTAR: MORTAR SHALL BE TYPE 'S' MIXED IN THE PROPORTIONS OF 1 PART PORTLAND CEMENT TO 1/2 TO 1/4 PARTS LIME PUTTY TO 2-1/4 TO 3 TIMES THE QUANTITY OF THE CEMENT PLUS LIME PUTTY PARTS OF
- 17. GROUT: GROUT SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI AT 28 DAYS AND SHALL BE MIXED IN PROPORTIONS OF 1 PART PORTLAND CEMENT TO 1/10 PART LIME PUTTY TO 2 TO 3 PARTS SAND TO A MAXIMUM OF 2 PARTS GRAVEL. ALL REINFORCEMENT, BOLTS, ETC. SHALL HAVE A MIN GROUT COVERAGE OF 3/4".
- 18. TESTING: ALL CEMENT, AGGREGATE, REINFORCING STEEL, STRUCTURAL STEEL, ETC. SHALL BE FROM TESTED STOCK. COPIES OF TEST REPORTS SHALL BE FURNISHED TO THE OWNER'S AUTHORIZED REPRESENTATIVE UPON REQUEST.
- 19. COMPRESSIVE STRENGTH OF CONCRETE: ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI OR HIGHER AT 28 DAYS UNLESS NOTED OTHERWISE, MAX W/C=0.45, (5.2 SK/YD). MAX. SLUMP IN ALL FLATWORK SHALL BE 4" (CONCRETE DESIGN STRENGTH = 2,500 PSI)
- 20. REBARS: LAP ALL BARS IN CONCRETE A MINIMUM OF FORTY EIGHT (48) TIMES THE DIAMETER OF THE REINFORCING BAR (2'-6" MINIMUM) AT ALL SPLICES. LAP ALL BARS IN MASONRY A MINIMUM OF FORTY-EIGHT (48) TIMES THE DIAMETER OF THE REINFORCING BAR (2'-6" MINIMUM) AT ALL SPLICES UNLESS NOTED OTHERWISE. SPLICES OF HORIZONTAL REBAR IN WALLS SHALL BE STAGGERED 48" MIN. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 40, #4 AND SMALLER AND ASTM 1615, GRADE 60, #5 AND LARGER. ALL BENDING OF REINFORCING STEEL SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE.
- 21. DOWELS: DOWELS FOR WALLS SHALL BE SAME SIZE AND SPACING AS THE WALL REINFORCEMENT AND SHALL LAP WITH THE REINFORCING BAR AS NOTED ABOVE UNLESS NOTED OTHERWISE.
- 22. SECURE INSERTS: ANCHOR BOLTS, DOWELS, INSERTS, ETC., SHALL BE SECURELY TIED IN PLACE PRIOR TO THE POURING OF ANY CONCRETE OR GROUT. ALL EXPOSED STEEL SHALL BE HOT DIPPED GALVANIZED.
- 23. WELDING: WELDING OF REINFORCING STEEL SHALL CONFORM TO AWS D12-1 USING PROPER LOW HYDROGEN ELECTRODES.
- 24. MINIMUM CONCRETE COVERAGE: THE FOLLOWING MINIMUM CLEAR DISTANCES BETWEEN REINFORCING

STEEL AND FACE OF CONCRETE SHALL BE MAINTAINED UNLESS NOTED OTHERWISE: **CENTER OF SLAB SLAB ON EARTH** CONCRETE BELOW GRADE, FORMED

CONCRETE BELOW GRADE, UNFORMED

CONCRETE EXPOSED TO WEATHER

- 25. GROUTING: ALL MASONRY SHALL BE REINFORCED GROUTED SOLID MASONRY UNLESS NOTED OTHERWISE. GROUT SOLID ALL CELLS WHICH CONTAIN REBAR, BOLTS, ETC. GROUT SOLID ALL CELLS BELOW GRADE. ALL REINFORCEMENT, BOLTS, ETC. IN MASONRY SHALL HAVE A MINIMUM GROUT COVERAGE OF 3/4".
- 26. FIELD TESTING: CONTINUOUS INSPECTION SHALL BE BY A TESTING LABORATORY FOR ALL FIELD WELDING, CONCRETE WITH SPECIFIED COMPRESSIVE STRENGTH GREATER THAN 2.500 PSI OR GREATER AND CAISSONS. ALL MASONRY CONSTRUCTION REQUIRES LEVEL 2 PERIODIC AND / OR CONTINUOUS INSPECTION PER 2013 CALIFORNIA BUILDING CODE TABLE 1704A.5.3
- 27. FOOTINGS: FOOTINGS SHALL BE OF THE SIZE AND TYPE AS INDICATED ON THE DRAWINGS.
- 28. BACKFILL: MASONRY CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING ALL WALLS TO GRADES PER PLAN, FINISH GRADING FOR RUNOFF SWALE BEHIND ALL WALLS, PERFORATED DRAIN LINES COMPLETE, WATERPROOFING ALL WALLS BELOW GRADE AND ALL EXCAVATION NECESSARY FOR THE EXECUTION OF MASONRY WORK. NON-EXPANSIVE FILL SHALL BE USED IN BACKFILLING BEHIND WALLS. ALL RETAINING WALLS SHALL BE ADEQUATELY SHORED DURING THE BACKFILL OPERATION.

29. PLASTER: PRECISION BLOCK WALLS AS NOTED ON THE PLANS AND DETAILS SHALL RECEIVE BROWN COAT (3/8" THICK MIN.) APPLIED AS NOTED:

PORTLAND CEMENT: 1 PART 1/4 PART **HYDRATED LIME:** 4 PARTS SAND 16/20:

ANTI-SHRINKAGE AGENT: 3 OZ. BY WEIGHT PER SACK

- 30. PLASTER FINISH: ALL PLASTER FINISHES AND COLORS SHALL MATCH REFERENCED ARCHITECTURE OR AS DIRECTED BY OWNER. APPLY A SAMPLE AREA FINISH PLASTER COAT OF 4' X 4' FOR OWNER APPROVAL PRIOR TO PROCEEDING WITH BALANCE OF PLASTER WORK. PLASTER TEXTURES, TO MATCH FINISH ON BUILDINGS IN APPEARANCE AND COLOR. VERIFY WITH OWNER FOR PLASTER COLOR AND FINISH.
- 31. WATER SEAL: APPLY NON-YELLOWING WATER SEALER TO ALL PLASTER SURFACES PER PLANS AND SPECIFICATIONS.
- 32. FINISH: CONCRETE COLORS AND FINISHES SHALL BE PER CONSTRUCTION PLANS. COLORS AS SPECIFIED ON THE CONSTRUCTION PLAN SHALL BE OF THE INTEGRAL TYPE UNLESS NOTED OTHERWISE.
- 33. SAMPLES: PROVIDE THE OWNER (JOB SUPERINTENDENT) WITH A 2' X 2' SAMPLE OF ALL CONCRETE FINISHES AS NOTED ON THESE PLANS. SAMPLES SHALL BE APPROVED BY THE OWNER AND CONTRACTOR AT THE SITE PRIOR TO POURING FLATWORK.
- 34. THICKNESS OF CONCRETE: ALL CONCRETE FLATWORK SHALL BE A MINIMUM OF 4" THICK. NOSE ALL EDGES AS SHOWN ON THE DETAILS.
- 35. SLOPE WALKS TO DRAIN: ALL CONCRETE FLATWORK SHALL SLOPE TO DRAIN AT A MINIMUM OF 1% IN THE DIRECTION OF SITE DRAINAGE AS INDICATED ON THE CONSTRUCTION PLAN.
- **36. COLD JOINTS:** CONCRETE CONSTRUCTED FROM THESE PLANS SHALL MEET ALL ENGINEER'S OR ARCHITECT'S WALKS, DRIVEWAYS, CONCRETE DECKS AND PADS, AND TOPS OF CURBS, ETC. FLUSH.
- 37. EXPANSION JOINTS: EXPANSION JOINT SPACING IN CONCRETE WALKS OCCURS AT ALL CHANGES IN DIRECTION AND SHALL NOT EXCEED A MAXIMUM SPACING OF 10' ON CENTER. EXPANSION JOINT MATERIAL PER PLANS AND SPECIFICATIONS.

D. METAL WORK NOTES:

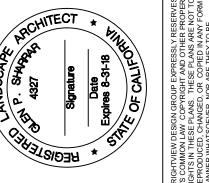
- DISCREPANCIES: THE CONTRACTOR SHALL NOTIFY THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PLANS, DETAILS AND NOTES.
- 2. BUILDING CODE: ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE 2013 EDITION OF THE CALIFORNIA BUILDING CODE.
- 3. LICENSE: THE TUBULAR STEEL FENCE CONTRACTOR SHALL BE A C-23 CALIFORNIA LICENSED TUBULAR STEEL FENCE CONTRACTOR.
- 4. MATERIAL STANDARDS: ALL STEEL TUBING SHALL BE ASTM 500 GRADE 'B' (46 KSI), OR ASTM A501 SEAMLESS.
- STATE AND LOCAL CODES: ALL FENCING AS SHOWN ON THE PLANS AND DETAILS IS INTENDED TO MEET THE MINIMUM STATE AND LOCAL CODES. ALL CONDITIONS THAT DO NOT CONFORM SHALL BE BROUGHT TO THE CONTRACTORS ATTENTION PRIOR TO FABRICATION AND INSTALLATION AND CEMENT IN PLACE WITH SIMPSON SET-XP BRAND EPOXY.
- PRIMER PAINT: PRIMER-COAT PAINT SHALL CONFORM TO MANUFACTURER'S SPECIFICATIONS.
- 7. REPAIR OF GALVANIZED SURFACES: TO TOUCH-UP GALVANIZED SURFACES, USE `ALL-STATE' 321 GALVANIZING POWDER AS MANUFACTURED BY 'ALL-STATE' WELDING ALLOYS COMPANY OR EQUAL
- 8. QUALITY CONTROL: MISCELLANEOUS METAL WORK SHALL BE FREE OF DEFECTS WHICH IMPAIR STRENGTH. DURABILITY AND APPEARANCE.
- 9. INSTALLATION: ERECT PLUMB. STRAIGHT. TRUE AND ACCURATELY FIX IN PLACE. BRACE. REINFORCE. AND ANCHOR IN PLACE. GRIND ALL FIELD WELDS SMOOTH.
- 10. SLEEVES: SET RAILING STANDARDS TRUE AND PLUMB IN PROPERLY POSITIONED SLEEVES, THEN BRACE
- 11. CORROSION PREVENTION: PROTECT ALL DISSIMILAR METALS FROM GALVANIC CORROSION BY PRESSURE
- 12. CLEANING: AFTER ERECTION, CLEAN OFF ALL RUST, SCALE AND OIL. CLEAN FIELD WELDS, BOLTS AND ABRADED AREAS. TOUCH UP ALL AREAS WITH THE SAME MATERIAL AS USED FOR THE SHOP COAT LEAVING ALL SURFACES READY TO RECEIVE FINISH COATS.
- 13. GALVANIZED METAL: ALL GALVANIZED METAL SHALL BE HOT DIPPED GALVANIZED

TAPES, COATINGS OR ISOLATORS.

14. PAINTING: APPLY ONE (1) PRIMER COAT PER NOTE (6) ABOVE AND TWO (2) COATS OF EXTERIOR METAL PAINT. PAINT AND PAINT COLOR TO BE APPROVED BY THE OWNER.

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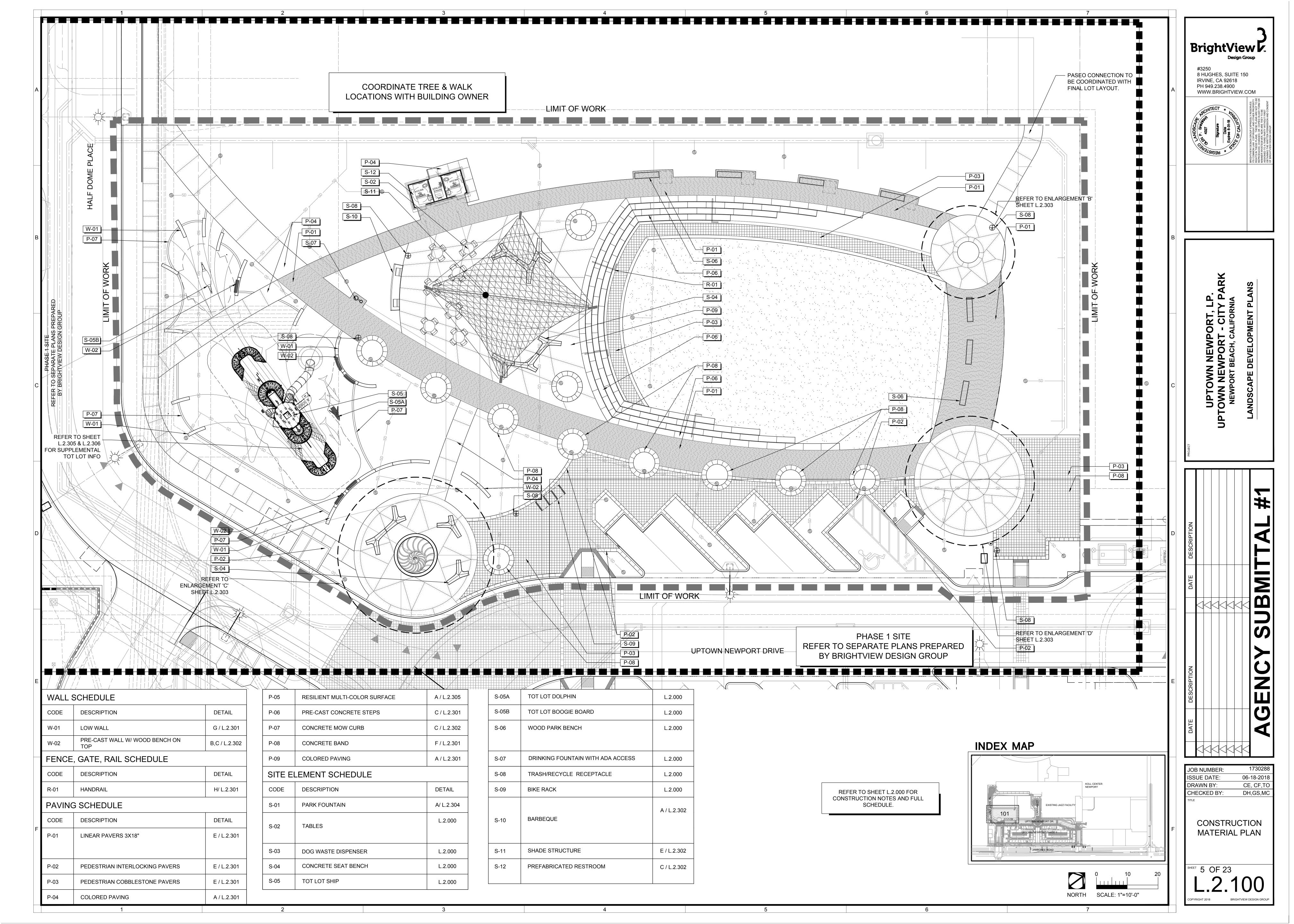
8 HUGHES, SUITE 150 **IRVINE**, CA 92618 PH 949.238.4900 WWW.BRIGHTVIEW.COM

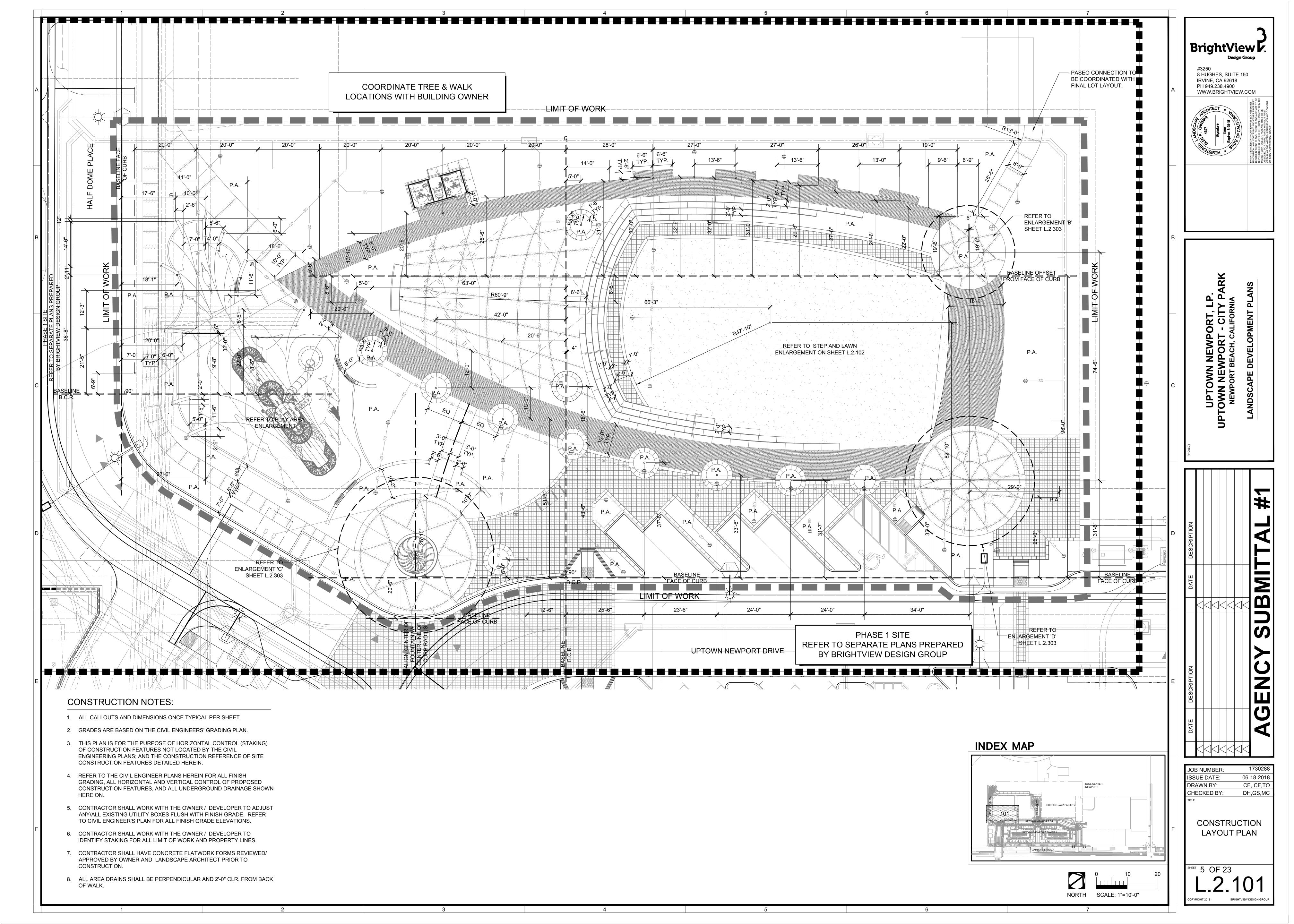


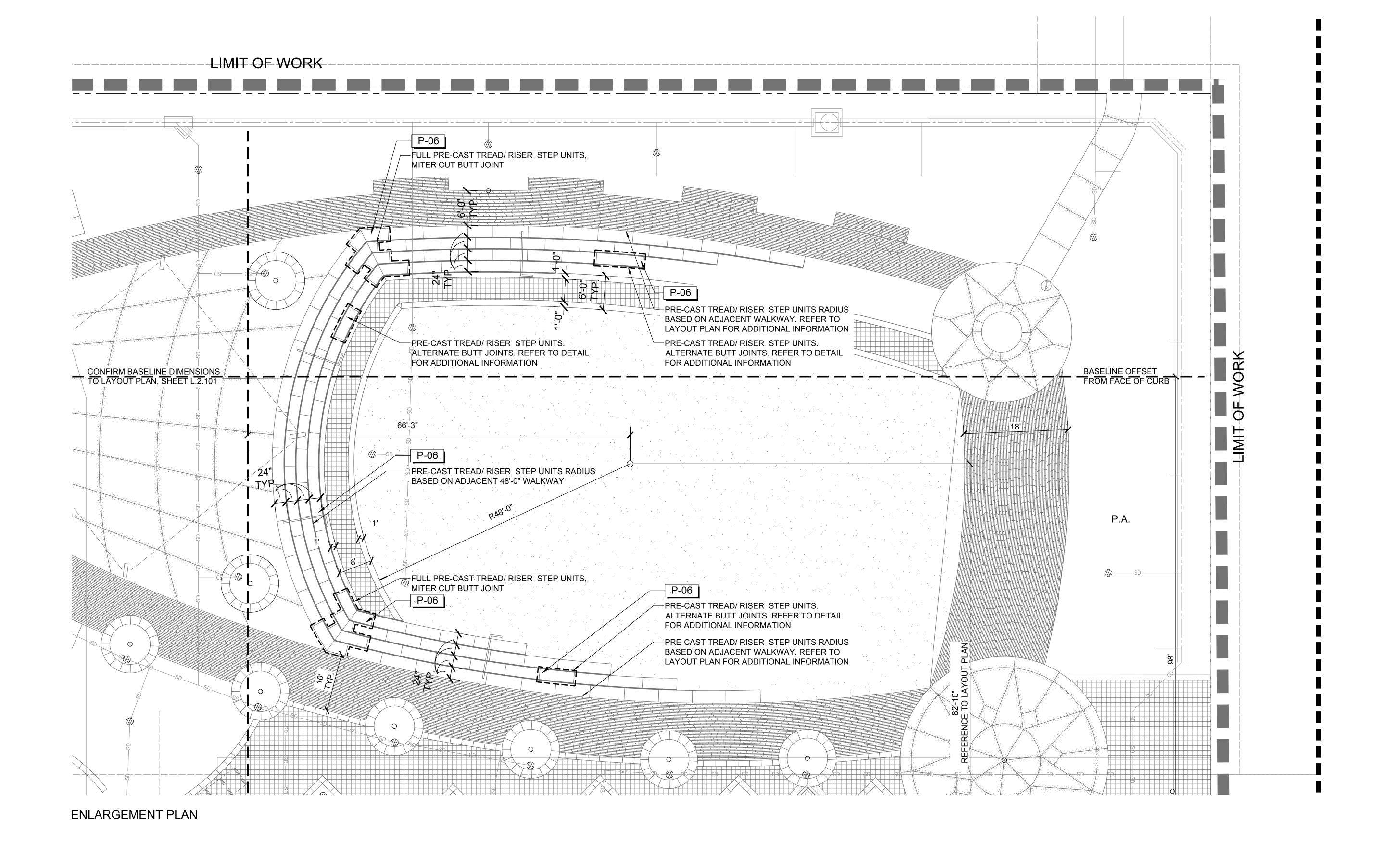
JOB NUMBER: 1730288 **ISSUE DATE:** 06-18-2018 **DRAWN BY:** CE, CF,TC **CHECKED BY:** DH,GS,MC

> CONSTRUCTION NOTES

SHEET 4 OF 23







WALL S	SCHEDULE	
CODE	DESCRIPTION	DETAIL
W-01	LOW WALL	G / L.2.301
W-02	PRE-CAST WALL W/ WOOD BENCH ON TOP	B,C / L.2.302
FENCE	, GATE, RAIL SCHEDULE	
CODE	DESCRIPTION	DETAIL
R-01	HANDRAIL	H/ L.2.301
PAVINO	SCHEDULE	
CODE	DESCRIPTION	DETAIL
P-01	LINEAR PAVERS 3X18"	E / L.2.301
P-02	PEDESTRIAN INTERLOCKING PAVERS	E / L.2.301
P-03	PEDESTRIAN COBBLESTONE PAVERS	E / L.2.301
P-04	COLORED PAVING	A / L.2.301

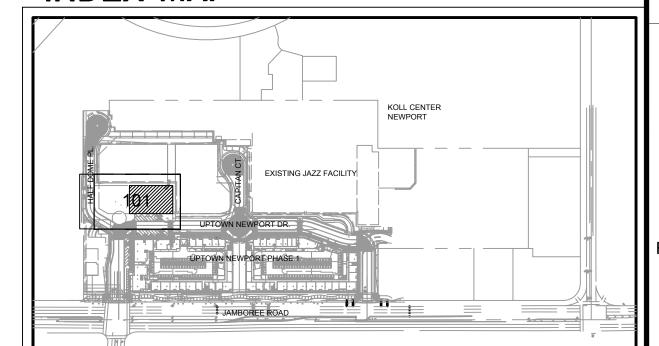
P-05	RESILIENT MULTI-COLOR SURFACE	A / L.2.305
P-06	PRE-CAST CONCRETE STEPS	C / L.2.301
P-07	CONCRETE MOW CURB	C / L.2.302
P-08	CONCRETE BAND	F / L.2.301
P-09	COLORED PAVING	A / L.2.301
SITE EI	LEMENT SCHEDULE	
CODE	DESCRIPTION	DETAIL
S-01	PARK FOUNTAIN	A/ L.2.304
S-02	TABLES	L.2.000
S-03	DOG WASTE DISPENSER	L.2.000
S-04	CONCRETE SEAT BENCH	L.2.000
S-05	TOT LOT SHIP	L.2.000

TOT LOT DOLPHIN	L.2.000
TOT LOT BOOGIE BOARD	L.2.000
WOOD PARK BENCH	L.2.000
DRINKING FOUNTAIN WITH ADA ACCESS	L.2.000
TRASH/RECYCLE RECEPTACLE	L.2.000
BIKE RACK	L.2.000
BARBEQUE	A / L.2.302
SHADE STRUCTURE	E / L.2.302
PREFABRICATED RESTROOM	C / L.2.302
	TOT LOT BOOGIE BOARD WOOD PARK BENCH DRINKING FOUNTAIN WITH ADA ACCESS TRASH/RECYCLE RECEPTACLE BIKE RACK BARBEQUE SHADE STRUCTURE

CONSTRUCTION NOTES:

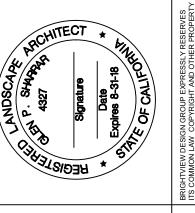
- 1. ALL CALLOUTS AND DIMENSIONS ONCE TYPICAL PER SHEET.
- 2. GRADES ARE BASED ON THE CIVIL ENGINEERS' GRADING PLAN.
- 3. THIS PLAN IS FOR THE PURPOSE OF HORIZONTAL CONTROL (STAKING) OF CONSTRUCTION FEATURES NOT LOCATED BY THE CIVIL ENGINEERING PLANS; AND THE CONSTRUCTION REFERENCE OF SITE CONSTRUCTION FEATURES DETAILED HEREIN.
- 4. REFER TO THE CIVIL ENGINEER PLANS HEREIN FOR ALL FINISH GRADING, ALL HORIZONTAL AND VERTICAL CONTROL OF PROPOSED CONSTRUCTION FEATURES, AND ALL UNDERGROUND DRAINAGE SHOWN HERE ON.
- 5. CONTRACTOR SHALL WORK WITH THE OWNER / DEVELOPER TO ADJUST ANY/ALL EXISTING UTILITY BOXES FLUSH WITH FINISH GRADE. REFER TO CIVIL ENGINEER'S PLAN FOR ALL FINISH GRADE ELEVATIONS.
- 6. CONTRACTOR SHALL WORK WITH THE OWNER / DEVELOPER TO IDENTIFY STAKING FOR ALL LIMIT OF WORK AND PROPERTY LINES.
- 7. CONTRACTOR SHALL HAVE CONCRETE FLATWORK FORMS REVIEWED/ APPROVED BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- 8. ALL AREA DRAINS SHALL BE PERPENDICULAR AND 2'-0" CLR. FROM BACK OF WALK.

INDEX MAP



BrightView V...
Design Group

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NEWPORT - CITY PARK
PORT BEACH, CALIFORNIA

APE DEVELOPMENT PLANS

DATE DESCRIPTION

STEP AND LAWN ENLARGEMENT LAYOUT PLAN

06-18-2018

CE, CF,TO DH,GS,MC

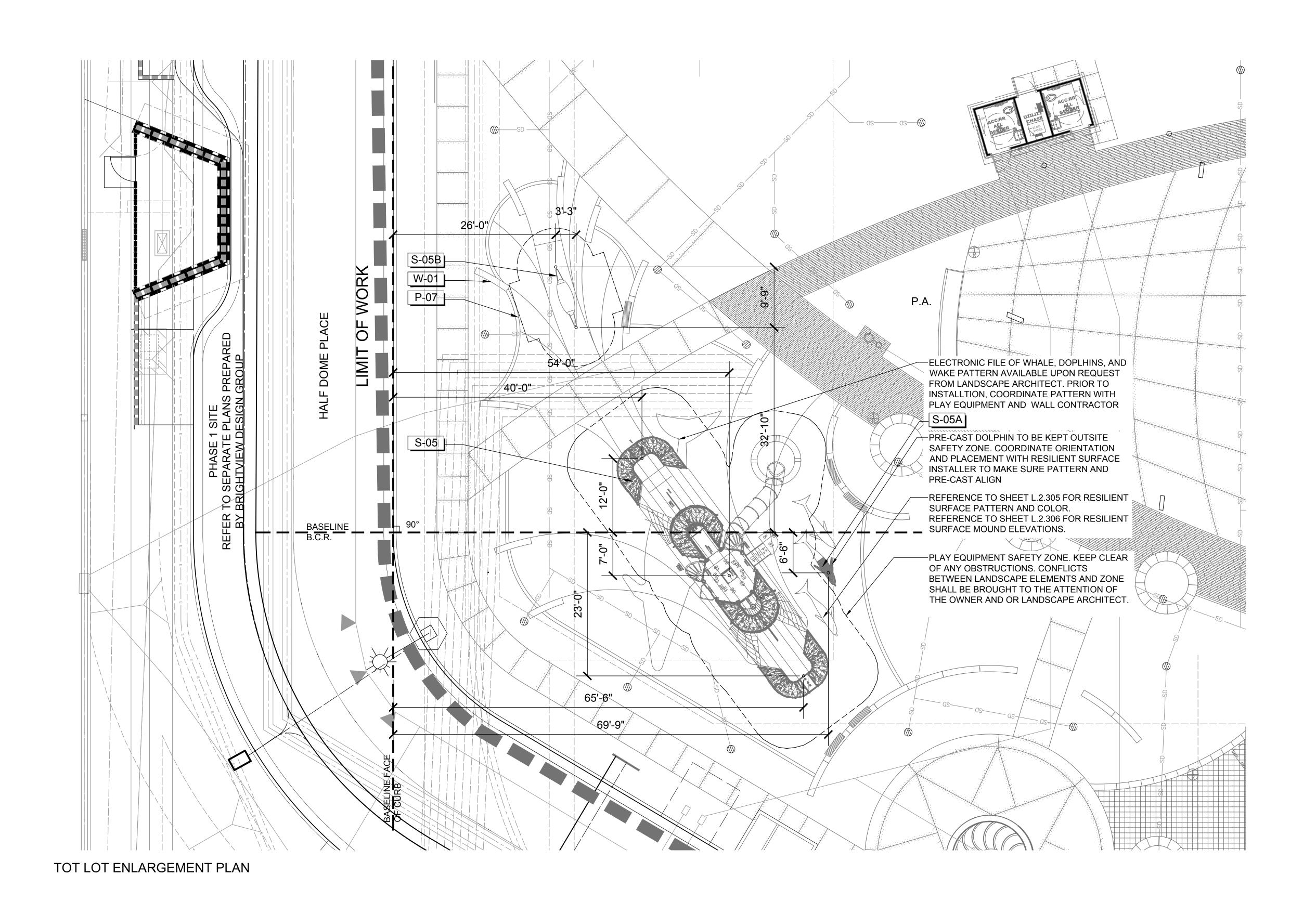
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ISSUE DATE:

CHECKED BY:

DRAWN BY:

5 OF 23
L.2.102



RESILIENT SURFACING

PRE-CAST CONCRETE

WALL S	SCHEDULE	
CODE	DESCRIPTION	DETAIL
W-01	LOW WALL	G / L.2.301
W-02	PRE-CAST WALL W/ WOOD BENCH ON TOP	B,C / L.2.302
FENCE	, GATE, RAIL SCHEDULE	
CODE	DESCRIPTION	DETAIL
R-01	HANDRAIL	H/ L.2.301
PAVING	SCHEDULE	
CODE	DESCRIPTION	DETAIL
P-01	LINEAR PAVERS 3X18"	E / L.2.301

PEDESTRIAN INTERLOCKING PAVERS

PEDESTRIAN COBBLESTONE PAVERS

COLORED PAVING

E / L.2.301

E / L.2.301

A / L.2.301

P-07	CONCRETE MOW CURB	C / L.2.302	INTEGRAL COLORED CONCRETE
P-08	CONCRETE BAND	F / L.2.301	INTEGRAL COLORED CONCRETE
P-09	COLORED PAVING	A / L.2.301	INTEGRAL COLORED CONCRETE
SITE EI	LEMENT SCHEDULE		
CODE	DESCRIPTION	DETAIL	MATERIAL/SPECIFICATION
S-01	PARK FOUNTAIN	A/ L.2.304	PRE-CAST CONCRETE
S-02	TABLES	L.2.000	TANGENT 4 SEAT BACKLESS- SEYAH-4LA, 4LW, 4LS
			TANGENT 6 SEAT BACKLESS- SETAH-6LA, 6LW, 6LS
S-03	DOG WASTE DISPENSER	L.2.000	DOG WASTE DISPENSER- PBARK-490
S-04	CONCRETE SEAT BENCH	L.2.000	GFRC
S-05	TOT LOT SHIP	L.2.000	PB MOBIUS NAVIGATOR SHIP- CL192479
S-05A	TOT LOT DOLPHIN	L.2.000	GFRC HALF JUMPING DOLPHIN- CL192481
2		3	4

A / L.2.305

C / L.2.301

RESILIENT MULTI-COLOR SURFACE

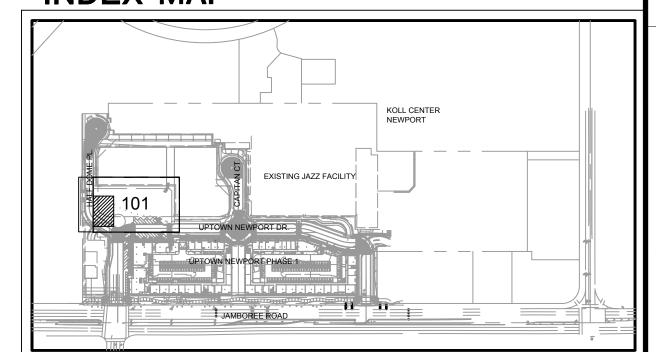
PRE-CAST CONCRETE STEPS

S-05B	TOT LOT BOOGIE BOARD	L.2.000
S-06	WOOD PARK BENCH	L.2.000
S-07	DRINKING FOUNTAIN WITH ADA ACCESS	L.2.000
S-08	TRASH/RECYCLE RECEPTACLE	L.2.000
S-09	BIKE RACK	L.2.000
S-10	BARBEQUE	A / L.2.302
S-11	SHADE STRUCTURE	E / L.2.302
S-12	PREFABRICATED RESTROOM	C / L.2.302
		1

CONSTRUCTION NOTES:

- 1. ALL CALLOUTS AND DIMENSIONS ONCE TYPICAL PER SHEET.
- 2. GRADES ARE BASED ON THE CIVIL ENGINEERS' GRADING PLAN.
- 3. THIS PLAN IS FOR THE PURPOSE OF HORIZONTAL CONTROL (STAKING) OF CONSTRUCTION FEATURES NOT LOCATED BY THE CIVIL ENGINEERING PLANS; AND THE CONSTRUCTION REFERENCE OF SITE CONSTRUCTION FEATURES DETAILED HEREIN.
- 4. REFER TO THE CIVIL ENGINEER PLANS HEREIN FOR ALL FINISH GRADING, ALL HORIZONTAL AND VERTICAL CONTROL OF PROPOSED CONSTRUCTION FEATURES, AND ALL UNDERGROUND DRAINAGE SHOWN HERE ON.
- 5. CONTRACTOR SHALL WORK WITH THE OWNER / DEVELOPER TO ADJUST ANY/ALL EXISTING UTILITY BOXES FLUSH WITH FINISH GRADE. REFER TO CIVIL ENGINEER'S PLAN FOR ALL FINISH GRADE ELEVATIONS.
- 6. CONTRACTOR SHALL WORK WITH THE OWNER / DEVELOPER TO IDENTIFY STAKING FOR ALL LIMIT OF WORK AND PROPERTY LINES.
- 7. CONTRACTOR SHALL HAVE CONCRETE FLATWORK FORMS REVIEWED/ APPROVED BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- 8. ALL AREA DRAINS SHALL BE PERPENDICULAR AND 2'-0" CLR. FROM BACK OF WALK.

INDEX MAP

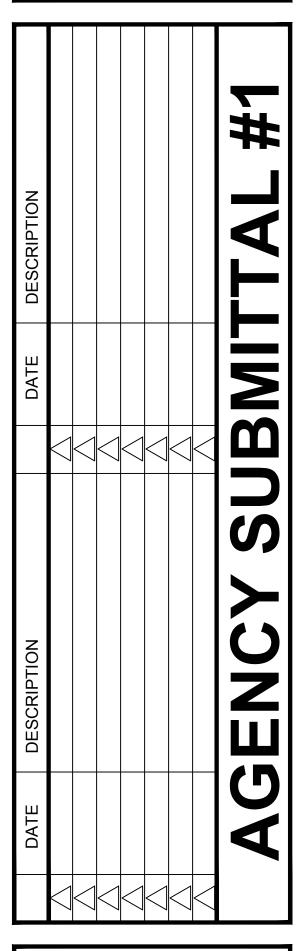


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NEWPORT BEACH, CALIFORNIA
LANDSCAPE DEVELOPMENT PLANS



JOB NUMBER: 1730288
ISSUE DATE: 06-18-2018
DRAWN BY: CE, CF, TO
CHECKED BY: DH,GS,MC
TITLE

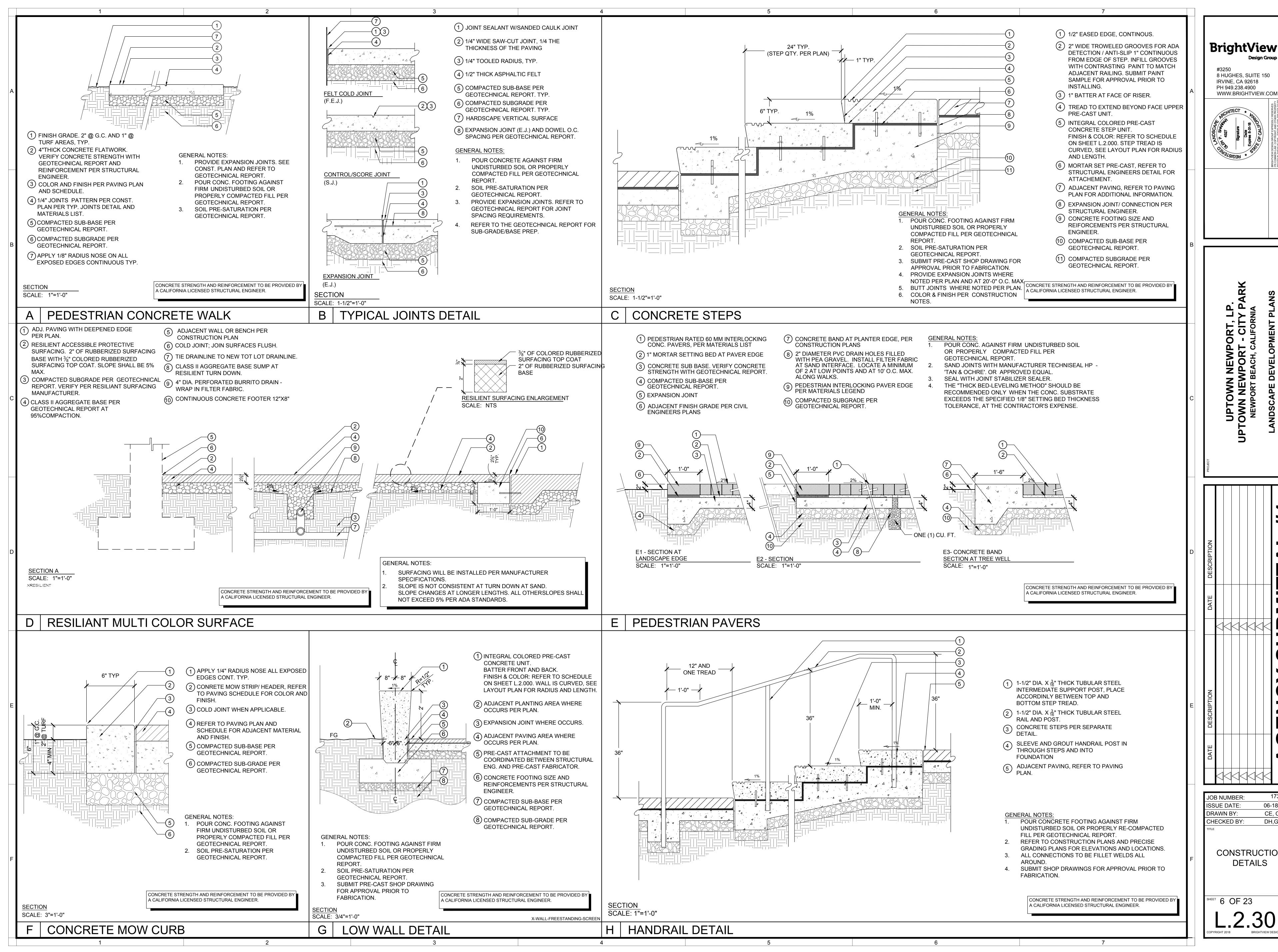
TOT LOT
ENLARGEMENT
LAYOUT PLAN

SHEET 5 OF 23

L.2.103

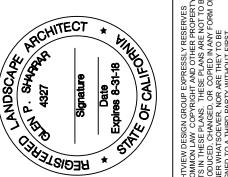
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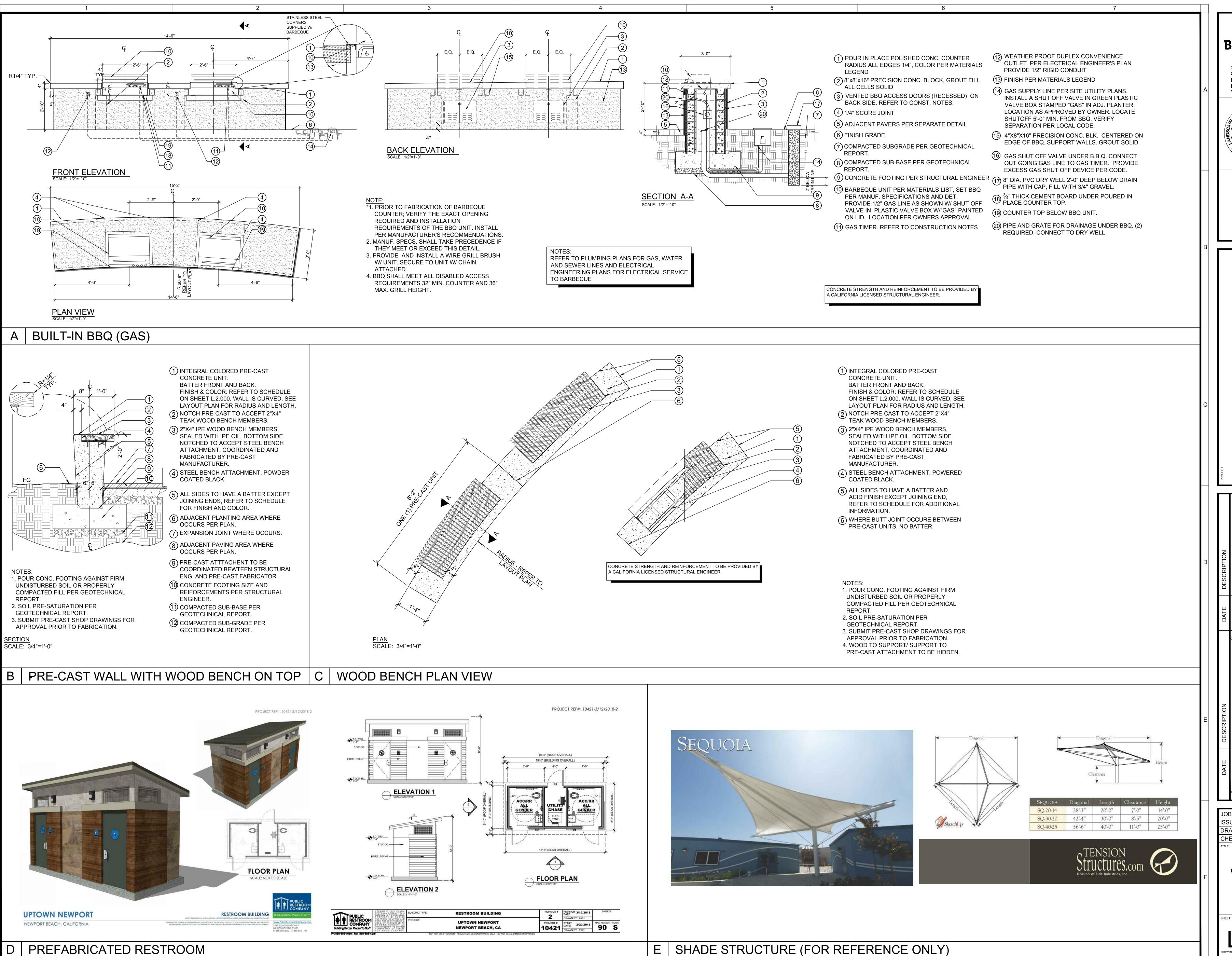
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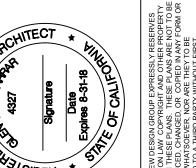
> CONSTRUCTION **DETAILS**

6 OF 23



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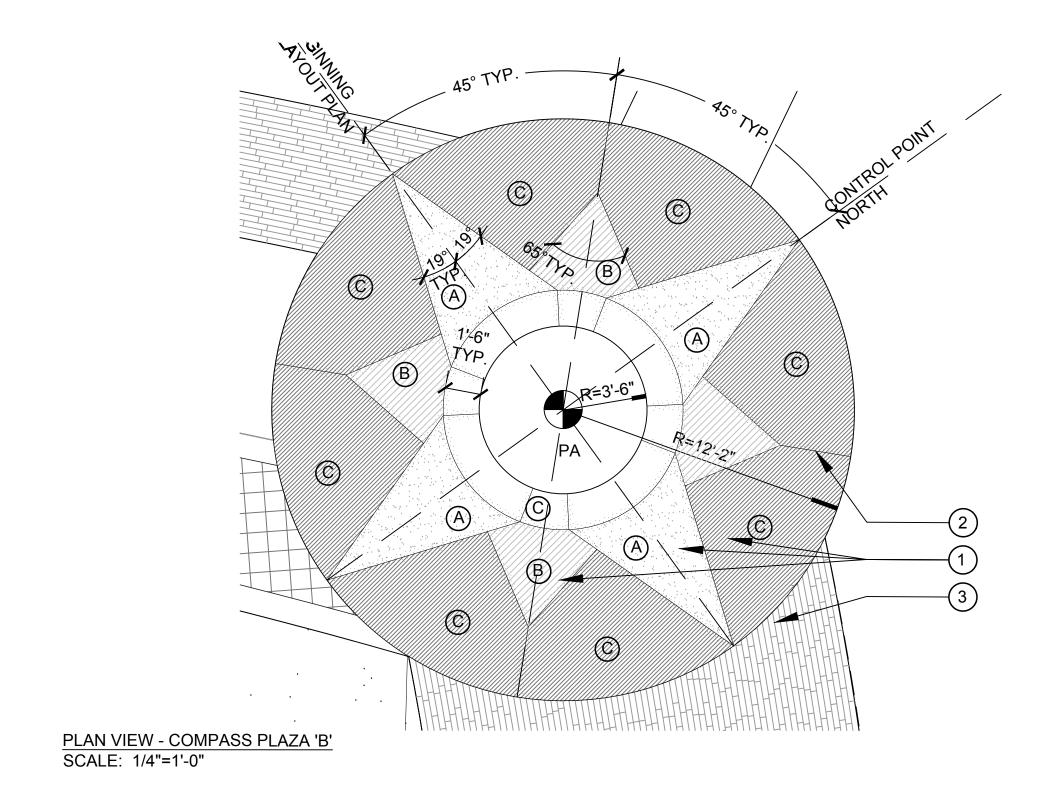


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> CONSTRUCTION **DETAILS**

^{SHEET} 7 OF 23

SHADE STRUCTURE (FOR REFERENCE ONLY)



 OUTER CIRCULAR BAND TO ALIGN WITH BACK OF CURB. LAYOUT CIRCLE PRIOR TO INSTALLING TO ENSURE ALIGNMENT IS CORRECT.

- 1 INTERGRAL COLORED CONCRETE AND FINISH PER LEGEND
- 2 1/4" SCORE JOINT
- 3 ADJACENT PAVERS PER SEPARATE DETAIL

NOTES

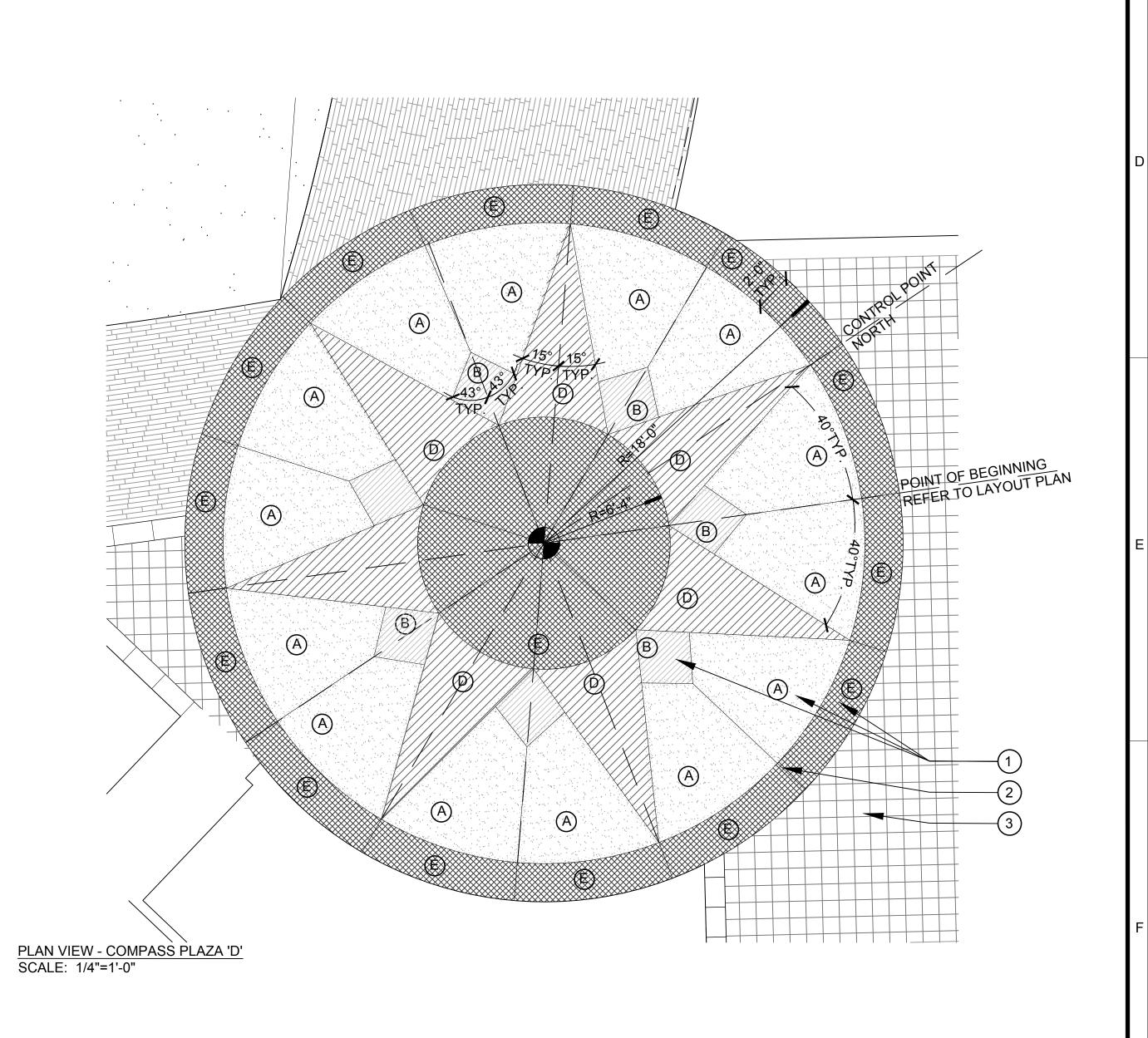
1. POUR CONCRETE AGAINST FIRM UNDISTURBED SOIL OR PROPERLY COMPACTED FILL PER GEOTECHNICAL REPORT.

2 SOIL PRE-SATURATION PER GEOTECHNICAL REPORT.

3. REFER TO THE GEOTECHNICAL REPORT FOR SUB-GRADE/BASE PREP.

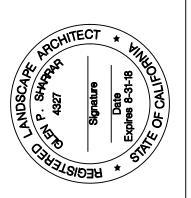
CONCRETE LEGEND							
AREA	COLOR	FINISH					
А	DAVIS COLORS: OUTBACK #677	TOP CAST 3					
В	DAVIS COLORS: OUTBACK #677	TOP CAST 15					
С	DAVIS COLORS: DARK GRAY #860	TOP CAST 3					
D	DAVIS COLORS: PEBBLE #641	TOP CAST 3					
E	DAVIS COLORS: PEBBLE #641	TOP CAST 15					
F	DAVIS COLORS: HARVEST GOLD #584	TOP CAST 3					
G	DAVIS COLORS: HARVEST GOLD #584	TOP CAST 15					

GENERAL NOTE: SUBMIT SAMPLES FOR REVIEW AND APPROVAL PRIOR TO POURING



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UPTOWN NEWPORT - CITY PAR

NEWPORT BEACH, CALIFORNIA

LANDSCAPE DEVELOPMENT PLANS

AGENCY SUBMITTAL #1							
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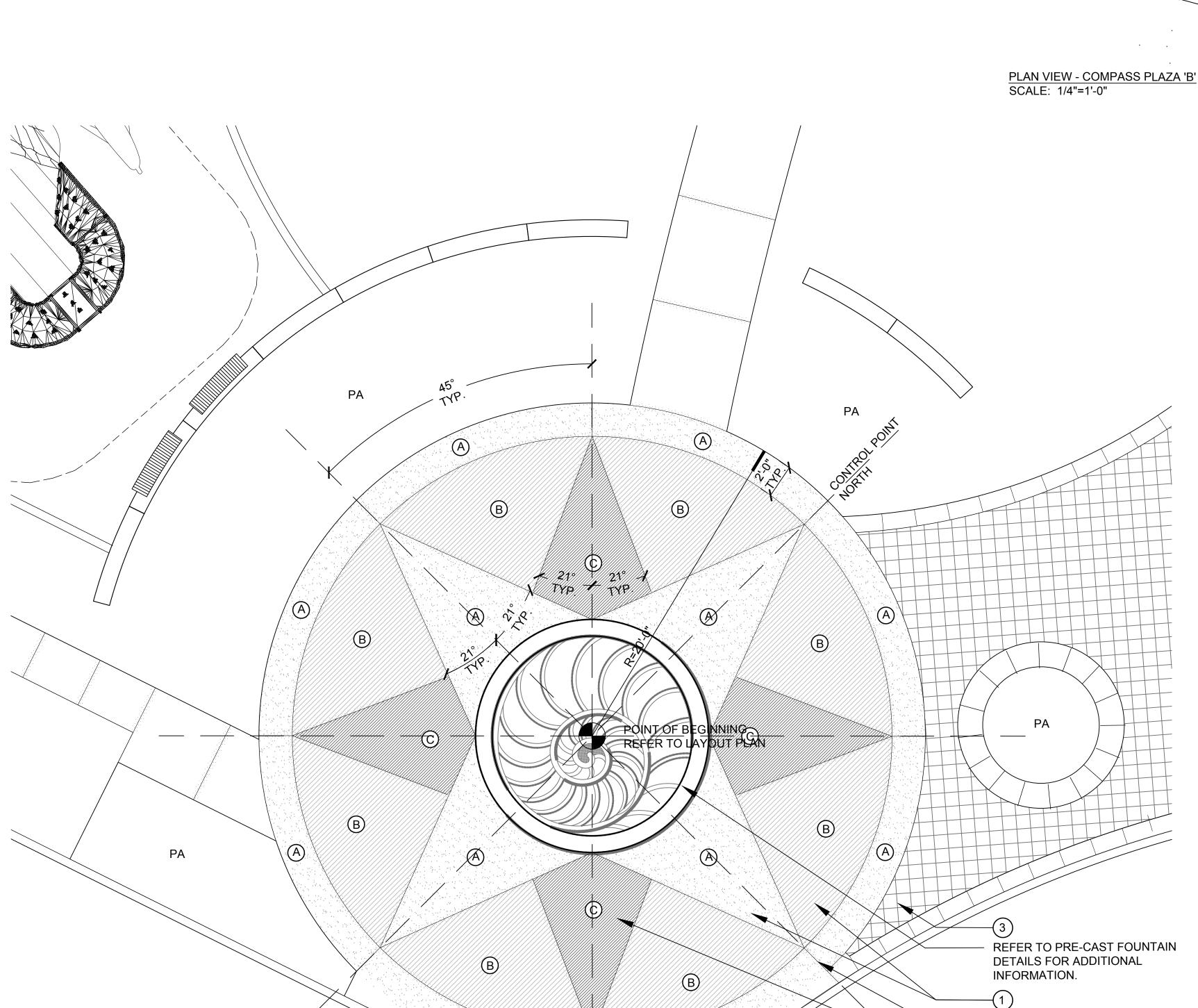
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CONSTRUCTION DETAILS

SHEET 8 OF 23

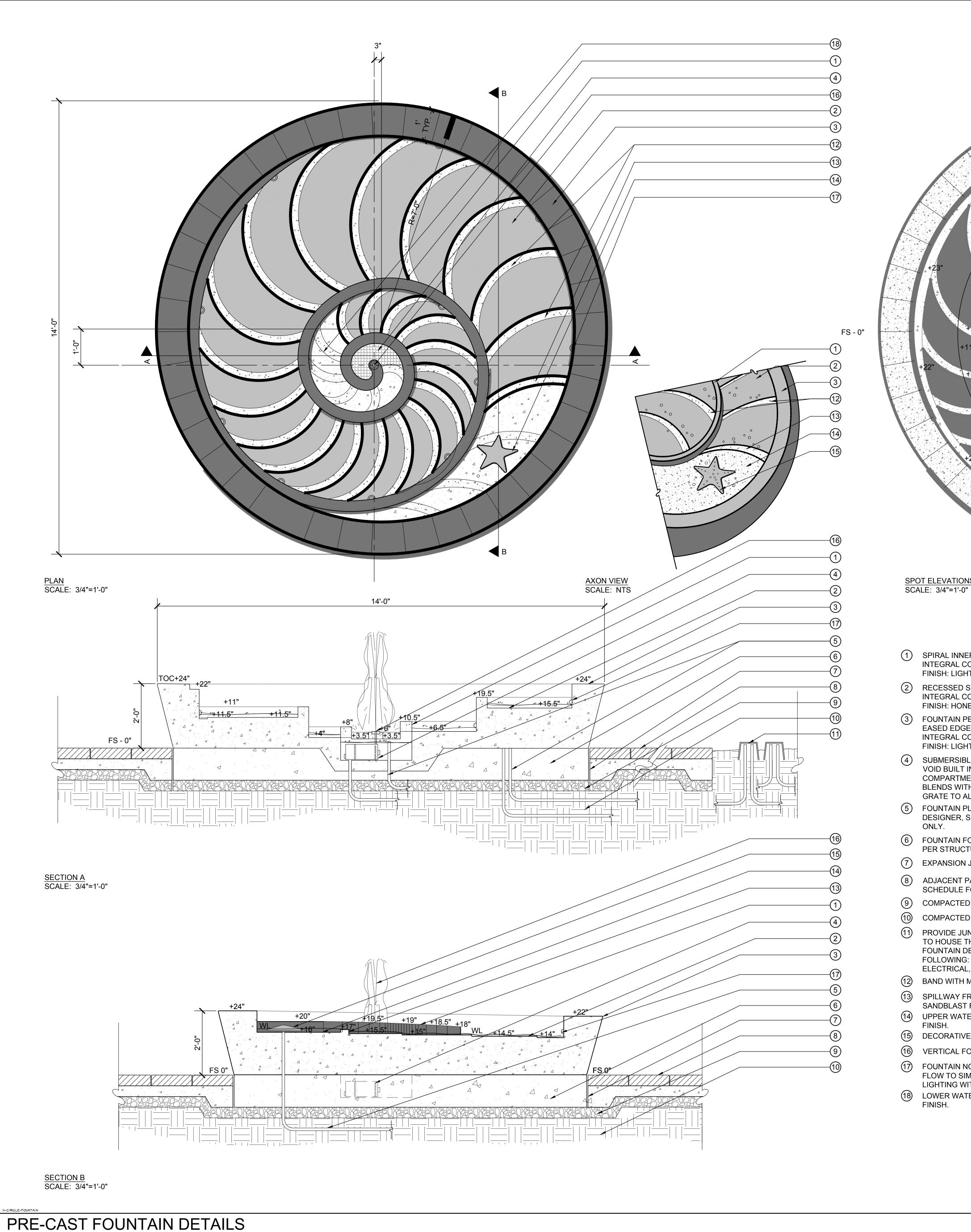
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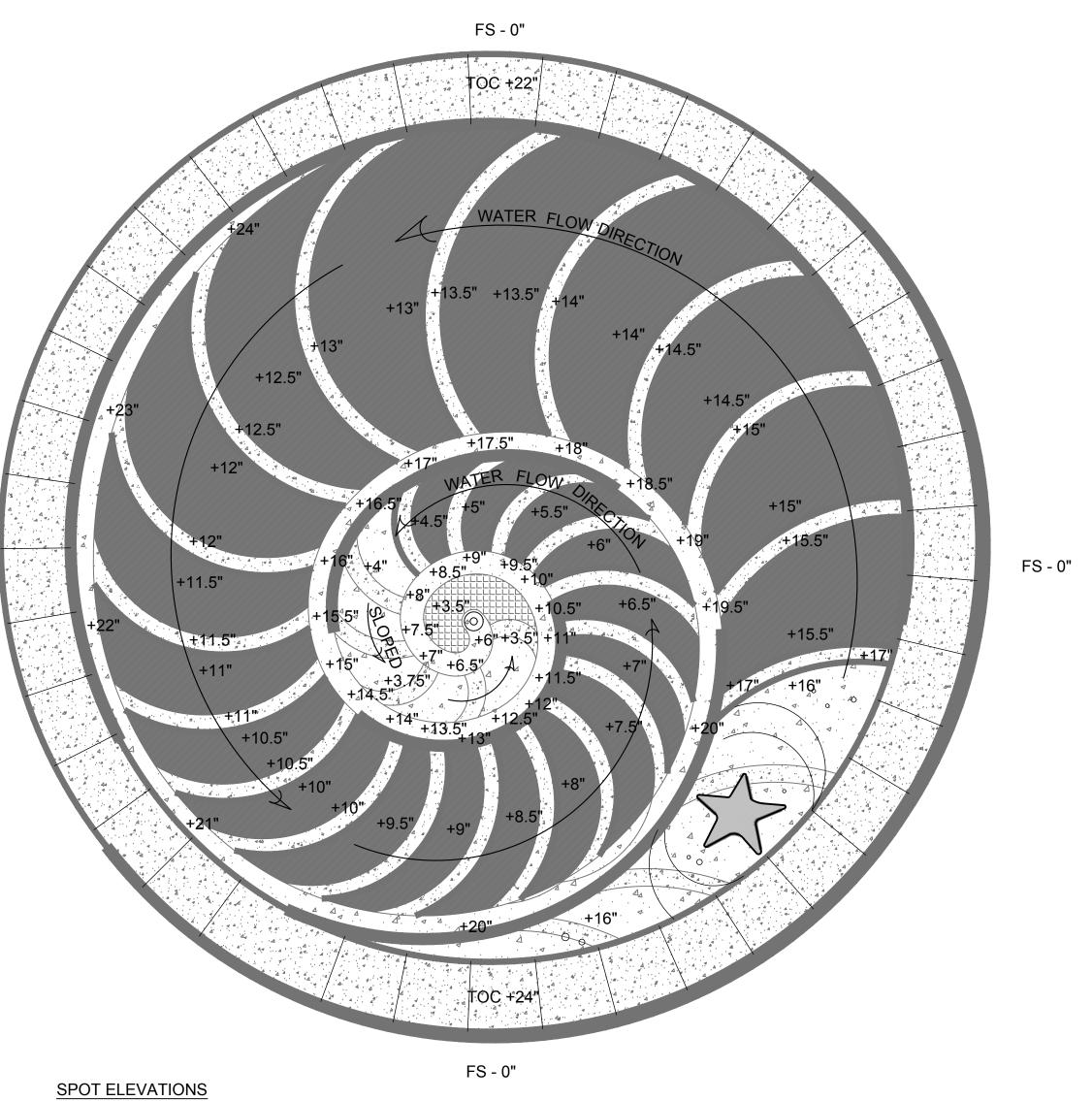
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UPTOWN NEWPORT DRIVE

PLAN VIEW - COMPASS PLAZA 'C' SCALE: 1/4"=1'-0"





1 SPIRAL INNER SIDE WALL.
INTEGRAL COLOR: DAVIS COLORS: OUTBACK #677
FINISH: LIGHT SAND BLAST FINISH

2 RECESSED SPIRAL TROUGH.
INTEGRAL COLOR: DAVIS COLORS: OUTBACK #677
FINISH: HONED FINISH

(3) FOUNTAIN PERIMETER COPING WITH 1/2" CONTINUOUS EASED EDGE.
INTEGRAL COLOR: DAVIS COLORS: OUTBACK #677
FINISH: LIGHT SANDBLAST FINISH

4 SUBMERSIBLE PUMP SET INTO A RECESSED VOID BUILT INTO PRE-CAST. LID TO COVER COMPARTMENT SHALL HAVE A PRE-CAST LID THAT BLENDS WITH THE PATTERN/ COLOR/ AND FINISH. GRATE TO ALLOW WATER TO PASS THROUGH.

5 FOUNTAIN PLUMBING AND EQUIPMENT PER FOUNTAIN DESIGNER, SHOWN FOR DIAGRAMATIC PURPOSES ONLY.

6 FOUNTAIN FOOTING AND CONNECTION TO PRE-CAST PER STRUCTURAL ENGINEER.

7 EXPANSION JOINT WHERE APPLICABLE.

8 ADJACENT PAVING, REFER TO PAVING PLAN AND SCHEDULE FOR ADDITIONAL INFORMATION.

COMPACTED SUB-BASE PER GEOTECHNICAL REPORT.

(10) COMPACTED SUB-GRADE PER GEOTECHNICAL REPORT.

PROVIDE JUNCTION BOXES IN ADJACENT PLANTING AREA TO HOUSE THE NECESSARY FOUNTAIN EQUIPMENT PER FOUNTAIN DESIGNER, SUCH AS BUT NOT LIMITED TO THE FOLLOWING: FOUNTAIN CONTROLLER, FILTER, ELECTRICAL, AND PLUMBING.

12) BAND WITH MEDIUM SANDBLAST FINISH.

(13) SPILLWAY FROM TROUGH TO FIRST STEP WITH MEDIUM SANDRI AST FINISH

(14) UPPER WATER TROUGH WITH WITH MEDIUM SANDBLAST FINISH.

(15) DECORATIVE (STARFISH) WATER DIFFUSER/ PLATE

(16) VERTICAL FOUNTAIN NOZZLE WITH LED LIGHTING.

FOUNTAIN NOZZLE TO BE FAN JET FOR THE HORIZONTAL FLOW TO SIMULATE WAVES/ WHITE WATER. INCLUDE LED LIGHTING WITH NOZZLES.

(18) LOWER WATER BASIN WITH WITH MEDIUM SANDBLAST FINISH.

FOUNTAIN PERFORMANCE GENERAL NOTES:

1. CONTRACTOR TO PROVIDE THE FOLLOWING ITEMS:

a. FOUNTAIN SHOP DRAWINGS FOR APPROVAL.
b. SUBMERSIBLE PUMP(S) ADEQUATE FOR THE PROPOSED APPLICATION WITH THE FLOW AND PRESSURE TO BE CALCULATED BY THE DESIGN/BUILD CONTRACTOR. SUBMERSIBLE PUMP TO BE LOCATED IN THE FOUNTAIN BASIN AS SHOWN ON THE PLANS.

c. PIPELINE SIZE AND LOCATIONS TO BE PROVIDED.

d. FOUNTAIN NOZZLES TO BE PROVIDED BY THE CONTRACTOR FOR APPROVAL. FOUNTAIN NOZZLES TO BE FAN JETS FOR THE HORIZONTAL FLOWS TO SIMULATE WAVES. VERTICAL FOUNTAIN NOZZLES TO BE COORDINATED WITH LANDSCAPE ARCHITECT AND APPROVED.

e. ALL FINISH MATERIALS PER THE LANDSCAPE ARCHITECT PLANS. f. CARTRIDGE FILTER TO BE PROVIDED. 100% OF THE FLOWS FOR THE FOUNTAIN

TO BE FILTERED PRIOR TO DISCHARGE. A 30 TO 60 MINUTE TURNOVER FOR FILTERS ARE REQUIRED.

g. AN EROSION FEEDER USING SODIUM HYPOCHLORITE TO BE PROVIDED.

h. BOTH THE CARTRIDGE FILTER AND EROSION FEEDER SHALL BE LOCATED IN A

SHALLOW VAULT OR LANDSCAPE VALVE BOX READILY ACCESSIBLE FOR

MAINTENANCE.

i. AN INDUSTRIAL CONTROL PANEL TO BE PROVIDED PER TOTAL CONTROL IN LAKE FOREST, CA (949)380-7878. CONTROL PANEL SHALL BE A COMPLETE UL APPROVED PANEL SUITABLE FOR THE FOUNTAIN THAT INCLUDE BUT NOT

LIMITED TO THE FOLLOWING:

i. A PROGRAMMABLE LOGIC CONTROLLER

i. A PROGRAMMABLE LOGii. HOA SWITCHE(S),

iii. WEATHER PROOF LOCKED ENCLOSURE SUITABLE FOR OUTDOOR INSTALLATION

j. THE FOUNTAIN CONTROL PANEL SHALL BE SUPPLIED WITH 3
PRE-PROGRAMMED SHOWS TO BE COORDINATED WITH THE LANDSCAPE
ARCHITECT. PROGRAMMING TO BE INCLUDED AS PART OF THE COST FOR THE

FOUNTAIN.

2. CONTRACTOR TO COORDINATE THE FABRICATION OF THE PRE-CAST CONCRETE BASIN TO INTEGRATE THE FOUNTAIN COMPONENTS INCLUDING THE SUBMERSIBLE

PUMP, VALVES, NOZZLES, ETC.

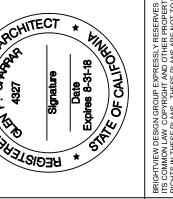
3. CONTRACTOR TO COORDINATE THE UTILITIES REQUIRED FOR THE FOUNTAIN.

4. THE FOUNTAIN DATA CONTAINED ON THE DETAILS, AND NOTES HEREIN FOR THE PURPOSE OF SPECIFYING THE FINISH PHYSICAL APPEARANCE OF THESE IMPROVEMENTS ONLY.

CONCRETE STRENGTH AND REINFORCEMENT TO BE PROVIDED BY A CALIFORNIA LICENSED STRUCTURAL ENGINEER.

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NEWPORT - CITY PARK
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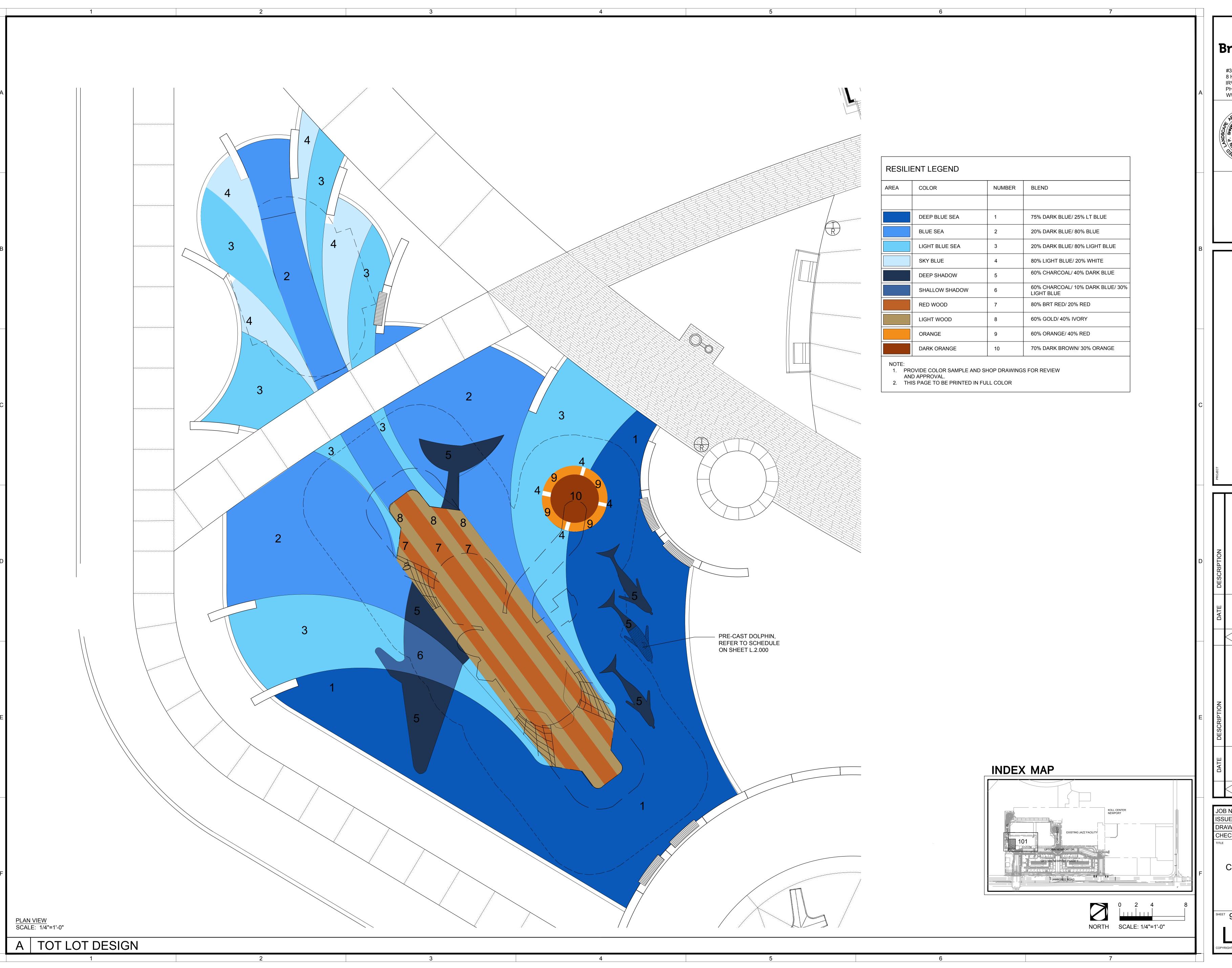
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CONSTRUCTION DETAILS

SHEET 7 OF 23

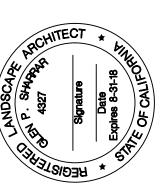
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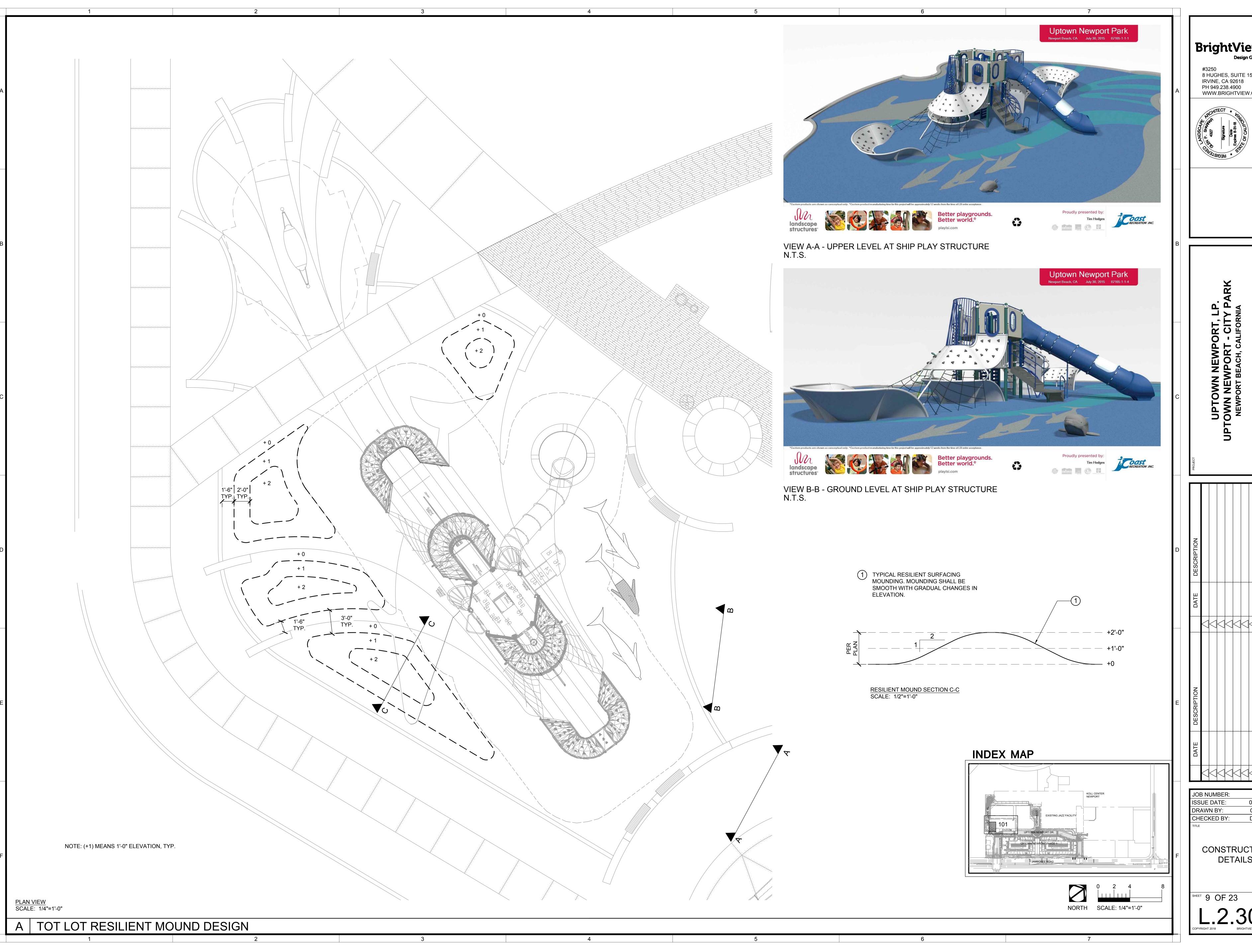
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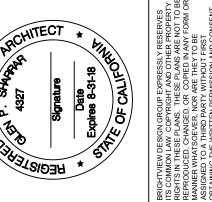
CONSTRUCTION DETAILS

SHEET 9 OF 23





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SHEET 9 OF 23

WATER EFFICIENT WORK SHEET

Reference Evapot	transpira	tion (Eto)	49.73				Non-Residen
	Plant		Irrigation				
Hydrozone # /	Factor	Irrigation	Efficency	ETAF	Landscape Area		Estimated Tota
Planting descriptions	(PF)	Method	(IE)	(PF/IE)	(Sq.Ft.)	ETAF x Area	Waer Use (ETV
		1		ar Landsc	ı		ı
LOW	0.3	DRIP	0.81	0.37	15,302	5,667	174,
			1	0.00		-	
			1	0.00		-	
			1	0.00		-	
			1	0.00			
			1	0.00		-	
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			1	0.00		_	
			1	0.00		_	
			1	0.00		_	
	l	Pogulor L	ı <u>'</u> andscape A		15,302	- - -	
	1	Regulai La		al Landsc		5,667	
	DEODEA	TIONALLAN		Lanusc	i .	0.000	105
	RECREA	TIONAL LAI	WNAREA	1	6020	6,020	185,
				1		-	
				1		-	
	:	Special La	andscape A	rea Totals:	6020	6020	
						ETWU Total:	360,3
		Max	imum Allow	ed Water A	Allowance (MAWA	4)	
		Over All La	andscape A	rea Totals:	21,322	MAWA Total:	397,9
Hydrozone #/ Planting Description E.g 1.) front lawn 2.) low water use planting		^b Irrigatio overhead or drip	on M ethod I spray	^c Irrigation 0.75 for sp 0.81 for dr	n Efficiency oray	d ETWU (Annual G Eto x 0.62 x ETAF x w here 0.62 is a con inches per acre per square foot per yea	c Area nversion factor that a ryear to gallons per
3.) medium water use pla							
MAWA (Annual Gallo	ns Allowe	d) = (Eto) (0.62) [(ETAF	x LA) + ((1-	ETAF) x SLA)1	450,000	
w here 0.62 is a conversi						400,000	
foot per year, LA is the to	otal landsca	pe area in s	quare feet, SI	_A is the total		350,000	
area in square feet, and E	EIAFIS .55	or residentia	ai areas and u	0.40		300,000	
	-	TAE Cal	oulations			,,	
Regular Landscape		TAF Cal	culations All Landso	cano Arco	(Including	250,000	
negular Lanuscape	e Alea		special la	•		200,000	
			special ia	пизсаре а	 	150,000	cal:
Total ETAF x Area		5,667	Total ETAF	x Area	11,687	100,000	AWA Total: 397,922 ' ' ' ' WU Total: 360,353
Total Area		15 302	Total Area		21.322	50,000	39 39 360

0.37 Sitewide ETAF

MAWA VS. ETWU

Average ETAF for Regular Landscape Areas must be 0.55 or below for

residential areas, and 0.45 or below for non-residential areas.

NOTE:

THE LANDSCAPE DESIGN AND WATER USE CALCULATIONS HAVE BEEN PREPARED BY OF UNDER THE SUPERVISION OF A LICENSED LANDSCAPE PROFESSIONAL AND ARE CERTIFIED TO BE IN COMPLIANCE WITH THE PROVISIONS OF CHAPTER 14.17 WATER-EFFICIENT LANDSCAPING AND THE DESIGN STANDARDS.

IRRIGATION SPECIAL PROVISIONS

- 1. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVERSPRAY ONTO WALKS, STREETS, WALLS, ETC. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC AND/OR RADIUS OF NOZZLE AND/OR PRESSURE COMPENSATING SCREEN TO FIT EXISTING SITE CONDITIONS.
- 2. IRRIGATION SYSTEM IS TO BE INSTALLED AS FUTURE RECLAIMED. REFER TO RECLAIMED IRRIGATION STANDARD

IRRIGATION EQUIPMENT LEGEND

			REFER	RENCES
SYMBOL	MANUFACTURER AND MODEL SHEET	DETAILS L3.301	DETAILS L3.302	NOTES L3.002
W	WATER METER, SIZE PER PLAN - PROVIDED BY OWNER. VERIFY SERVICE, PRESSURE AND LOCATION IN FIELD.	-	-	V
E	ELECTRIC SERVICE FOR IRRIGATION CONTROLLER, INSTALL PER ELECTRICAL PLANS COORDINATE WITH ELECTRICAL CONTRACTOR	-	-	V
M	WATTS 009 QTSPC REDUCED PRESSURE TYPE BACKFLOW DEVICE. INSTALL BALL VALVE BEFORE BACKFLOW ASSEMBLY.	C,E	-	V
	RAINBIRD EFB-CP SERIES BRASS REMOTE CONTROL VALVE WITH TWO WIRE DECODER. SIZE PER PLAN. WITH RFD-101 DECODER	F	C,E	V
	RAINBIRD MODEL #33DLRC QUICK COUPLER. INSTALL ON MAINLINE AT 200' ON CENTER PER PLAN.	Н	С	V
F	CST FLOW SENSORS SERIES FSI-T WITH RAINBIRD SENSOR DECODER, SIZE PER PLAN	G	C,D	V
\oplus	NIBCO T-113 GATE VALVE. SIZE PER MAINLINE.	I	С	V
	RAINBIRD ESP-LXD TWO WIRE CONTROLLER (50 STATIONS), WITH ET MANAGER CARTRIDGE & RAIN SENSOR, INSIDE THE STAINLESS ENCLOSURE.	A,B	-	V
•	RAINBIRD PESB-R REMOTE CONTROL VALVE, SIZE PER PLAN	L	C,E	V
	IRRIGATION SYSTEM-MAIN LINE (BURY 24" BELOW FINISH GRADE), SCH. 40 PVC-1 1/2" AND SMALLER, CLASS 315 PVC-2" AND LARGER. * PURPLE PIPE, SEE NOTE BELOW	К	-	V
	SCH 40 PVC LATERAL LINE (BURY 24" BELOW FINISH GRADE) * PURPLE PIPE, SEE NOTE BELOW	К	-	V
	SCHEDULE 40 PVC MAINLINE, LATERAL LINE AND WIRE SLEEVES-BURY 24" BELOW FINISH GRADE. * PURPLE PIPE, SEE NOTE BELOW	К	-	V
(S) NOT SHOWN	RAIN BIRD INLINE SURGE PROTECTION. INSTALL ONE EVERY 500' OR LESS, OR FOR EVERY EIGHT DECODERS ON TWO-WIRE PATH PER MANUFACTURE'S SPECIFICATION INSIDE A VALVE BOX.	D	D,E	V
NOT SHOWN	WATTS 009 SERIES BACKFLOW DEVICES SHALL BE ENCLOSED IN A STRONG BOX SBBC-45CR (COLD ROLLED STEEL) PAINTED BLACK THAT CAN BE LOCKED.	E	-	V
NOT SHOWN	#14 AWG MAXI WIRE TWO-WIRE DECODER CABLE INSTALLED INSIDE 1 1/4" PVC CONDUIT CABLE SHALL BE CONTINUOUS (NO FIELD SPLICES ALLOWED) FROM VALVE BOX TO VALVE BOX	D	-	V
NOT SHOWN	ALL VALVE BOXES SHALL BE GREEN PLASTIC BOX, FROM BROOKS, CARSON, AMATEK OR APPROVED EQUAL WITH LOCKING COVER IRRIGATION STANDARD.	-	-	V
NOT SHOWN	SWING JOINT ASSEMBLY - 1/2", 3/4" OR 1" MARLEX STREET ELL & PVC NIPPLE W/ TEFLON TAPE	-	-	V
NOT SHOWN	LATERAL FITTINGS - ALL LATERAL FITTINGS TO BE SCHEDULE 40 FITTINGS.	-	-	V

* FOR FUTURE RECLAIMED WATER USE, ALL PIPES NEED TO BE PURPLE PIPE LETTERED "RECLAIMED WATER" OR LABEL WITH PURPLE STICKER TAPE "RECLAIMED WATER".

IRRIGATION HEAD LEGEND

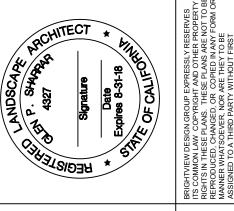
			S.I.	SE SE SE PATTERN & GPM						REFERENCES			
SYMBOL	MANUFACTURER A	ND MODEL	۵	RAM WAX	PRI INCH	F	Н	Q	٧	REMARKS	SHEET	DETAIL L3.302	NOTES L3.002
	RAIN BIRD 5000 - MPR - 25 - Q,H,F	TURF POP-UP	45	35	1.83	3.82	1.98	1.00	ı	RED MPR NOZZLE	NOTE 1,2	В	V
F 2	RAIN BIRD 5000 - MPR - 30 - F	TURF POP-UP	45	30	1.83	5.78	-	1	ı	GREEN MPR NOZZLE	NOTE 1,2	В	V
3	RAIN BIRD 5000 - MPR - 35 - Q	TURF POP-UP	45	35	1.98	-	-	1.92	ı	BROWN MPR NOZZLE	NOTE 1,2	В	V
NOTE 1	USE ANTI-DRAIN DEVICES ON ALL SHRUB HEADS TO PREVENT LOW HEAD DRAINAGE PER FIELD CONDITION - KINGS BROTHERS UCV SERIES CHECK VALVE.												
NOTE 2	IN PLANTING AREAS LESS THAN 15' THE CONTRACTOR SHALL INSTALL PCS SCREENS PER THE LEGEND.												

IRRIGATION DRIP SYSTEM LEGEND

		REFERENCES
SYMBOL	MANUFACTURER AND MODEL SHEET	DETAIL L3.302
▼	MANUAL FLUSH VALVE - 3/4" FULL PORT PVC BALL VALVE . INSTALL PER FLUSH VALVE DETAIL	Н
igoremsize	AG PRODUCTS AIR VACUUM RELIEF VALVE MODEL APV-BK-1".	G
	NETAFIM PURPLE TLCV6-1210 5/8" INLINE DRIP LINE. 0.6 GPH TURF AREAS - BURY DRIP LINE 4" BELOW FINISH GRADE SHRUB AREAS - SET DRIP LINE ON-GRADE COVER WITH MULCH	ı
	DRIP SYSTEM SCH. 40 PVC SUPPLY LINE (BURY 4" BELOW FINISH GRADE).	1
②	RAINBIRD XCZ-100-PRBR (1"), XCZ-150-PRBR (1 1/2" CONTROL ZONE KITS WITH PR FILTER INSTALL W/ STATION I.D. TAG FOR ALL VALVES	F
(PALM IRRIGATION - BUBBLERS - SEE DETAIL AND LEGEND	А
NOT SHOWN	NETAFIM COMPRESSION FITTINGS FOR 5/8" TUBING.	-



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PARK
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UPTOWN NEWPORT - CITY PA NEWPORT BEACH, CALIFORNIA LANDSCAPE DEVELOPMENT PLAN

AGENCY SUBMITTAL #1

JOB NUMBER: 1730288
ISSUE DATE: 06-18-2018
DRAWN BY: CE, CF,TO
CHECKED BY: DH,GS,MC

IRRIGATION SCHEDULE

SHEET 10 OF 23

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I. CONTRACTOR'S IRRIGATION WORK RESPONSIBILITIES

- SCOPE OF WORK: THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS TRANSPORTATION, AND SERVICES NECESSARY TO FURNISH AND INSTALL A COMPLETE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- CONFORMANCE: ALL IRRIGATION WORK SHALL CONFORM TO APPLICABLE LOCAL COUNTY AND/OR STATE CODES, REGULATIONS AND RULES.
- LICENSE: ALL WORK SHALL BE PERFORMED BY A C-27 CALIFORNIA LICENSED LANDSCAPE IRRIGATION CONTRACTOR.
- PERMITS AND INSPECTIONS: THE CONTRACTOR SHALL OBTAIN COORDINATE AND PAY FOR ANY AND ALL PERMITS, FEES AND AGENCY INSPECTIONS AS REQUIRED. INSURANCE: THE CONTRACTOR SHALL CARRY ALL WORKMAN'S COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE INSURANCE AS REQUIRED BY ALL
- APPLICABLE CODES, REGULATIONS AND BY THE OWNER (JOB SUPERINTENDENT). SITE VERIFICATION: PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL VERIFY, AT THE SITE, ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS NECESSARY TO ACHIEVE THE INTENDED DESIGN OF THE IRRIGATION SYSTEM. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER (JOB SUPERINTENDENT)
- LIABLE FOR ENCROACHMENT: THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY ENCROACHMENT INTO ADJACENT PROPERTY, RIGHTS-OF-WAYS, EASEMENTS, SET-BACKS OR ANY OTHER LEGAL PROPERTY RESTRICTIONS EITHER MARKED OR
- POINT OF CONNECTION VERIFICATION: THE CONTRACTOR SHALL VERIFY THE STATIC PRESSURE, METER SIZE AND SIZE OF SERVICE TO METER (P.O.C.) AT EACH POINT OF
- FIELD STAKING: PRIOR TO INSTALLATION, THE CONTRACTOR SHALL LOCATE BY STAKES OR OTHER MEANS ALL PRESSURE SUPPLY LINES, CONTROL EQUIPMENT, GROUND COVER DELINEATIONS AND HEADS FOR APPROVAL BY THE OWNER (JOB
- COORDINATION OF ACTIVITIES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF HIS ACTIVITIES WITH ALL OTHER TRADES THROUGH THE OWNER
- INTENDED DESIGN COVERAGE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETION, MODIFICATION OR REVISIONS OF THE SYSTEMS AS NECESSARY TO MAINTAIN THE CONSISTENT COVERAGE DESIGN OF THE CONTRACT DOCUMENTS. ANY DEVIATION FROM THE CONTRACT DOCUMENTS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT
- NOTIFICATION OF DISCREPANCIES: ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THE CONTRACT DOCUMENTS AND/OR THE DESIGN INTENT AFFECTING THE SUCCESSFUL COMPLETION AND COST OF THE PROJECT SHALL BE REPORTED TO THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT IMMEDIATELY. ALL WORK RELATED TO THE PROBLEM AREA SHALL CEASE UNTIL THE DISCREPANCIES HAVE BEEN RESOLVED BY THE OWNER (JOB SUPERINTENDENT) OR LANDSCAPE ARCHITECT IN WRITING. ANY CONTINUATION OF WORK IS AT THE CONTRACTOR'S RISK
- IRRIGATION PLANS: THE IRRIGATION PLANS, INCLUDING PIPING AND EQUIPMENT LOCATIONS, ARE DRAWN DIAGRAMMATICALLY. THE CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO THE SYSTEM AS REQUIRED TO AVOID PHYSICAL ELEMENTS AND CONFORM TO THE SITE CONDITIONS. IN ALL CASES, THE CONTRACTOR SHALL INSURE THAT THERE ARE NO CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING AND
- CONSTRUCTION ELEMENTS, AND EXISTING UTILITIES. ELECTRICAL CONNECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL ELECTRICAL CONNECTION FROM POWER SOURCE TO CONTROLLERS AS INDICATED ON
- THE PLANS WHERE APPLICABLE. LIABLE FOR DAMAGE: THE CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ALL UTILITIES, CONSTRUCTION, IRRIGATION AND PLANTING ELEMENTS, EITHER MARKED OR UNMARKED, AND SHALL REPAIR OR REPLACE DAMAGE TO ITS ORIGINAL CONDITION IN A
- MANNER ACCEPTABLE TO THE OWNER (JOB SUPERINTENDENT). LIABLE FOR LOSS: THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY LOSS TO HIS EQUIPMENT, PARTS AND MATERIALS ON THIS PROJECT UNTIL COMPLETION AND ACCEPTANCE OF THE JOB IN WRITING FROM THE OWNER (JOB
- SUPERINTENDENT) AS BUILTS: THE CONTRACTOR SHALL PROVIDE AND KEEP UP TO DATE A COMPLETE 'AS BUILT' RECORD SET OF PRINTS WHICH SHALL BE CORRECTED DAILY AND SHOW EVERY CHANGE FROM THE ORIGINAL DRAWINGS. DRAWINGS SHALL SHOW APPROVED SUBSTITUTIONS AND FINAL CHANGES, IF ANY, OF MATERIAL INCLUDING MANUFACTURER'S NAME AND CATALOG NUMBER. BEFORE THE TIME OF THE FINAL INSPECTION, THE CONTRACTOR SHALL TRANSFER ALL INFORMATION FROM THE 'AS BUILT' SET AND FIELD STAKING OF ALL EQUIPMENT LOCATED ON THE MAINLINE AND CONTROL WIRE LOCATION TO A REPRODUCIBLE SEPIA, PROCURED FROM THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT. ALL WORK SHALL BE NEAT AND LEGIBLE. THE CONTRACTOR SHALL CERTIFY REPRODUCIBLES AS TO ACCURACY AND COMPLETENESS. ALL WORK SHALL BE NEAT AND LEGIBLE IN INK AND SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT AND APPROVED OF BY THE OWNER.
- THE CONTRACTOR SHALL DIMENSION FROM 2 PERMANENT POINTS OF REFERENCE, IE: BUILDING CORNERS, SIDEWALK OR ROAD INTERSECTIONS, ECT.) THE LOCATION OF THE FOLLOWING ITEMS:
 - a. POINT OF CONNECTION.
 - b. ELECTRICAL SERVICE CONNECTION. c. GATE VALVES.
 - d. ROUTING OF SPRINKLER PRESSURE LINES (DIMENSION AT EVERY CHANGE IN DIRECTION / FITTING LOCATION.
 - e. SPRINKLER CONTROL VALVES. ROUTING OF CONTROL WIRING
 - g. QUICK COUPLING VALVES.
- CONTROLLER CHARTS: PROVIDE 2 CONTROLLER CHARTS FOR EACH CONTROLLER. THE CHART SHALL BE A REDUCED DRAWING OF THE APPROVED AS-BUILT AND SHALL SHOW THE AREA CONTROLLED BY THE CONTROLLER. THE CHART SHALL INDICATE WITH A DIFFERENT COLOR THE AREA OF COVERAGE FOR EACH STATION. WHEN COMPLETED AND APPROVED BY THE OWNER, THE CHART SHALL BE HERMETICALLY SEALED BETWEEN 2 PIECES OF 10 MIL PLASTIC AND TURNED OVER TO THE OWNER WHO WILL PLACE ONE (1) COPY INSIDE THE
- CONTROLLER DOOR. WRITTEN GUARANTEE: ALL IRRIGATION WORK SHALL BE GUARANTEED BY THE CONTRACTOR AS TO MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE ON HIS LETTERHEAD AT THE TIME OF THE FINAL

INSPECTION. GUARANTEE FOR SPRINKLER IRRIGATION SYSTEM

- We hereby guarantee that the sprinkler irrigation system we have furnished and installed is free from defects in materials and workmanship, and the work has been completed in accordance with the drawings and specifications, ordinary wear and tear and unusual or neglect excepted. We agree to repair or replace any defects in material or workmanship, including settling of backfilled areas below grade, which may develop during the period of one year from date of acceptance and also to repair or replace any damage resulting from the repairing or replacing of such defects at no additional cost to the Owner. We shall make such repairs or replacements within 72 hours of notification that repair work is necessary. In the event of our failure to make such repairs or replacements made at our expense and we will pay the costs and charges therefore upon demand.
- WRITTEN CERTIFICATION: THE CONTRACTOR SHALL PROVIDE A WRITTEN CERTIFICATION THAT THE IRRIGATION SYSTEM IS INSTALLED FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP AND IN FULL COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS. THIS SHALL BE ON THE CONTRACTOR'S LETTERHEAD WITH HIS IRRIGATION AND CALIFORNIA C-27 CONTRACTOR'S LICENSE NUMBER.
- TURNOVER ITEMS: THE CONTRACTOR SHALL SUPPLY TO THE OWNER (JOB SUPERINTENDENT), AS A PART OF THIS CONTRACT, THE FOLLOWING ITEMS PRIOR TO THE
 - TIME OF THE FINAL SITE OBSERVATION: A REPRODUCIBLE SET OF `AS BUILT' DRAWINGS AS PER NOTE `Q' ABOVE.
 - THE ORIGINAL OF THE GUARANTEE LETTER.
 - THE ORIGINAL OF THE CERTIFICATION LETTER.
 - TWO (2) 5' KEYS FOR EACH AUTOMATIC CONTROLLER. TWO (2) SETS OF ANY SPECIAL EQUIPMENT REQUIRED FOR OPERATING, ADJUSTING, ASSEMBLING AND REMOVING EACH TYPE OF EQUIPMENT SUPPLIED ON THIS PROJECT AS REQUESTED BY THE OWNER.
- 6. TWO (2) QUICK COUPLER QUILLS AND HOSE SWIVEL.
- OPERATION AND MAINTENANCE MANUALS: PRIOR TO COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PREPARE TWO (2) HARD COVER BINDERS WITH THREE (3) RINGS CONTAINING THE FOLLOWING INFORMATION:
- INDEX SHEET STATING CONTRACTOR'S ADDRESS AND TELEPHONE NUMBER, LIST OF EQUIPMENT WITH NAME AND ADDRESSES OF LOCAL MANUFACTURER'S REPRESENTATIVES. CATALOG AND PARTS SHEET ON EVERY TYPE OF MATERIAL AND EQUIPMENT INSTALLED. COMPLETE OPERATING AND MAINTENANCE INSTRUCTION ON ALL MAJOR EQUIPMENT.

II. OWNER'S IRRIGATION WORK RESPONSIBILITIES

- CONSTRUCTION RESPONSIBILITIES: THE OWNER WILL BE DIRECTLY RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING ALL IRRIGATION INSPECTIONS. ALL FIELD MEETINGS SHALL BE INITIATED BY THE CONTRACTOR AND COORDINATED THROUGH THE OWNER (JOB SUPERINTENDENT) TO THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL BE IN A SUPPORT OBSERVATION ROLE TO THE OWNER (JOB SUPERINTENDENT) PROVIDING INTERPRETIVE ADVICE ONLY IN ACCORDANCE WITH THE OBSERVATION SCHEDULE AS NOTED.
- DETERMINING LEGAL AND PHYSICAL ELEMENTS: THE OWNER (JOB SUPERINTENDENT) SHALL BE RESPONSIBLE FOR DETERMINING PROPERTY LINES, RIGHTS-OF-WAYS, TRACT BOUNDARIES. GRADES, EASEMENTS, UTILITY LOCATIONS (ABOVE AND BELOW GRADE) AND ANY OTHER LEGAL OR PHYSICAL ELEMENTS AS REQUIRED FOR THE SUCCESSFUL COMPLETION OF THE WORK. THE CONTRACTOR SHALL NOT BE PERMITTED TO PROCEED WITH ANY WORK WITHOUT DETERMINATION OF THE ABOVE INFORMATION.

- C. SITE DISCREPANCIES: ALL DISCREPANCIES IN SITE CONDITIONS, DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT IMMEDIATELY. IT IS THE OWNER'S (JOB SUPERINTENDENT'S) RESPONSIBILITY TO CONSULT THE LANDSCAPE ARCHITECT PRIOR TO ANY FURTHER WORK IN THAT AREA. ANY UNREPORTED DISCREPANCY AND CONTINUED WORK WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT SHALL BE AT THE
- CONTRACTOR'S RISK AND EXPENSE. CONTRACT FULFILLMENT: ALL QUESTIONS RELATING TO INTERPRETATION OF THE DRAWINGS AND SPECIFICATIONS, QUALITY OF WORK AND ACCEPTABLE FULFILLMENT OF INTENT OF THE CONTRACT DOCUMENT SHALL BE DECIDED BY THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT CONCURRENTLY.

III. REQUIRED FIELD OBSERVATION WORK

A. REQUIRED FIELD OBSERVATION WORK: THESE PLANS WERE PREPARED WITH THE UNDERSTANDING THAT THE OWNER OF SAID PLANS WILL USE VALLEYCREST DESIGN GROUP TO PROVIDE 'FULL' CONTRACT SERVICES INCLUDING FIELD OBSERVATION SERVICES DURING CONSTRUCTION. FAILURE TO USE VALLEYCREST DESIGN GROUP TO PROVIDE AND COMPLETE THE FIELD OBSERVATION SERVICES SET FORTH HEREIN WILL SIGNIFICANTLY INCREASE THE RISK OF LOSS RESULTING, AMONG OTHER CAUSES, FROM MISINTERPRETATION OF THE INTENT OF THE DESIGN, UNAUTHORIZED MODIFICATIONS THERETO, AND FAILURE TO DETECT ERRORS AND OMISSIONS IN THE PLANS AND SPECIFICATIONS BEFORE THEY BECOME COSTLY MISTAKES BUILT INTO THE PROJECT. THEREFORE, IN THE EVENT THAT VALLEYCREST DESIGN GROUP IS OTHERWISE PRECLUDED FROM COMPLETING THE FIELD OBSERVATION SERVICES SET FORTH HEREIN, THE OWNER, OR SUBSEQUENT OWNER (INDIVIDUALS OR CORPORATIONS WHO HAVE PURCHASED THESE PLANS WITH THE PROJECT), AGREES TO HOLD HARMLESS, INDEMNIFY, AND DEFEND VALLEYCREST DESIGN GROUP FROM AND AGAINST ANY AND ALL CLAIMS.

IV. LANDSCAPE ARCHITECT'S IRRIGATION FIELD OBSERVATION SCHEDULE

- A. FIELD OBSERVATION COORDINATION: THE FOLLOWING OBSERVATIONS SHALL BE INITIATED BY THE CONTRACTOR AND COORDINATED THROUGH THE OWNER (JOB SUPERINTENDENT). THE CONTRACTOR SHALL NOTIFY THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT NOT LESS THAN FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY OBSERVATION. CONTINUED WORK WITHOUT OBSERVATION AT THESE PHASES OF WORK IS AT THE CONTRACTOR'S RISK, WITH ANY REQUIRED CHANGE OR MODIFICATION AT THE CONTRACTOR'S EXPENSE. THE OWNER (JOB SUPERINTENDENT) SHALL INFORM THE LANDSCAPE ARCHITECT AS TO THE PURPOSE AND TIME OF THE OBSERVATION FORTY-EIGHT (48) HOURS IN ADVANCE.
- CONTRACTOR ORIENTATION/PRE-CONSTRUCTION MEETING: THIS MEETING SHALL BE CONDUCTED TO DISCUSS THE PLANS AND SPECIFICATIONS, POSSIBLE DISCREPANCIES, SITE CONDITIONS AND OTHER ASPECTS OF THE PROJECT IRRIGATION WORK SUCH AS PERSONNEL, SCHEDULE AND REQUIREMENTS FOR STARTING WORK. PRIOR TO THE MEETING, THE CONTRACTOR SHALL THOROUGHLY ACQUAINT HIMSELF WITH SITE CONDITIONS AND THE PLANS, DETAILS AND SPECIFICATIONS.
- IRRIGATION MAINLINE AND EQUIPMENT LAYOUT: THIS OBSERVATION SHALL BE PERFORMED BY THE OWNER (JOB SUPERINTENDENT) FOLLOWING STAKING OF ALL PRESSURE MAINLINE AND CONTROL EQUIPMENT, VERIFICATION OF ALL SITE CONDITIONS AND PRIOR TO ANY TRENCHING. ANY DISCREPANCIES NOT PREVIOUSLY NOTED SHALL BE CORRECTED AT THIS TIME TO THE SATISFACTION OF THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT AT THE
- CONTRACTOR'S EXPENSE. IRRIGATION MAINLINE AND PRESSURE TEST: THIS OBSERVATION IS FOR THE PURPOSE OR REVIEWING ALL MAINLINE LAYOUT FOR CONFORMANCE TO SPECIFICATIONS AND VERIFYING THE WATER TIGHTNESS OF PRESSURE SYSTEMS PRIOR TO BACKFILLING TRENCHES. PRESSURE TESTS MUST CONFORM TO MANUFACTURER'S SPECIFICATIONS. ALL PRESSURE LINES SHALL BE TESTED UNDER A SUSTAINED HYDROSTATIC PRESSURE OF 150 POUNDS PER SQUARE INCH FOR A PERIOD OF NOT LESS THAN FOUR (4) HOURS. THIS TEST SHALL BE PERFORMED IN THE PRESENCE OF THE OWNER (JOB SUPERINTENDENT) TO MANUFACTURER'S ACCEPTED TESTING PROCEDURES AND APPROVED IN WRITING BY THE OWNER (JOB SUPERINTENDENT), PRIOR TO BACKFILLING ANY TRENCHES. CONTRACTOR SHALL FURNISH NECESSARY FORCE PUMP AND ALL OTHER NECESSARY TESTING EQUIPMENT.
- PROGRESS INSPECTIONS: PERIODIC INSPECTIONS SHALL BE PERFORMED BY OWNER (JOB

SUPERINTENDENT) DURING THE LAYOUT OF ALL LATERAL LINE SYSTEMS, WITH TRENCHES OPEN TO

VERIFY CONFORMANCE TO DETAILS, DEPTH OF PIPE AND EQUIPMENT ASSEMBLIES. IRRIGATION COMPLETION/COVERAGE TEST: THIS OBSERVATION IS TO INSURE CONFORMANCE OF ALL IRRIGATION EQUIPMENT WITH IRRIGATION CONTRACT DOCUMENTS AND WILL CONSIST OF OPERATION OF EACH SYSTEM TO INSURE INTENDED COVERAGE. THE CONTRACTOR SHALL FLUSH AND ADJUST ALL HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVERSPRAY ONTO WALKS, ROADWAYS AND BUILDINGS, ETC. PRIOR TO THIS OBSERVATION, THIS MAY INCLUDE CHANGES IN NOZZLE SIZES AND DEGREE OF ARC TO OPTIMIZE OPERATION.

V. SCOPE OF IRRIGATION WORK

- A. BASE SHEETS WERE DERIVED FROM PLANS:
- PREPARED BY: DAVID EVANS AND ASSOCIATES
- TITLED: UPTOWN NEWPORT PHASE 1 SITE IMPROVEMENT PLANS
- DATED: JULY 16, 2015 REVISED:
- WATER INFORMATION WAS OBTAINED FROM: MR.: MIKE CHANDLER
- WATER OPERATIONS, IRWD PHONE: (949) 453-5300 ____ DATE: <u>MARCH 19, 2015</u>

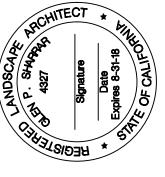
C. GENERAL IRRIGATION NOTES:

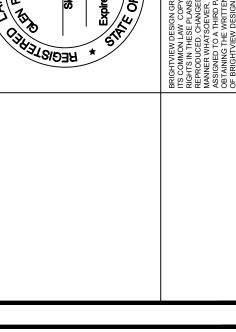
JOINTS.

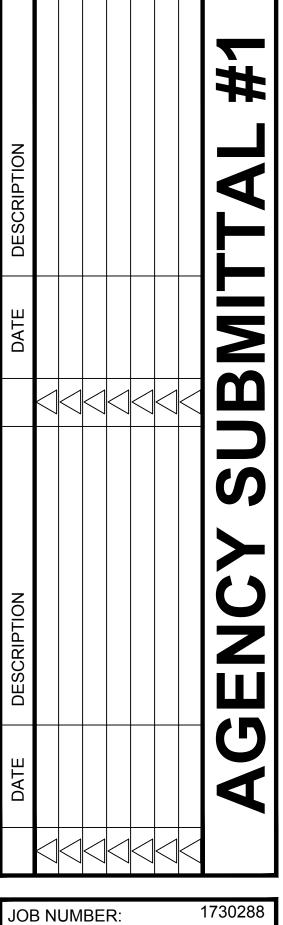
- SPECIFIED EQUIPMENT: ALL EQUIPMENT SHALL BE AS LISTED IN THE LEGEND AND INSTALLED AS PER DETAILS AND SPECIFICATIONS, OR MANUFACTURER'S RECOMMENDATION. ANY SUBSTITUTIONS SHALL BE APPROVED IN WRITING BY OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT. ANY UNAPPROVED EQUIPMENT SHALL BE REPLACED AT THE
- ALTERNATE ITEMS: APPROVAL OF ANY ITEM OR ALTERNATE ITEM INDICATES ONLY THAT IT APPARENTLY MEETS THE REQUIREMENTS OF THE DRAWINGS ON THE BASIS OF THE INFORMATION SUBMITTED, AND DOES NOT RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY FOR THE EQUIPMENT'S SUCCESSFUL OPERATION.
- CONTRACTOR'S GUARANTEE: MANUFACTURER'S WARRANTIES SHALL NOT RELIEVE THE CONTRACTOR OF THIS LIABILITY UNDER THE GUARANTEE. SUCH WARRANTIES WILL ONLY
- SUPPLEMENT THE GUARANTEE SOLVENT WELD MAINLINE PIPE: PRESSURE MAINLINE PIPE SIZED 1-1/2" AND SMALLER SHALL BE IPS PRESSURE RATED PVC 1120 SCHEDULE 40 RATED PIPE. PRESSURE MAINLINE PIPE SIZED TWO INCHES (2") AND LARGER SHALL BE IPS PRESSURE RATED PVC 1120 SDR 13.5 315 PSI RATED PIPE PVC (CLASS 315) CONFORMING TO MATERIALS ASTM D1784 AND PRODUCT DESIGN ASTM D2214 FOR SDR 315 AND ASTM 1784 FOR SCHEDULE 40 PIPE, BURIED A MINIMUM OF TWENTY-FOUR INCHES (24") DEEP WITH SOLVENT WELD JOINTS MADE FROM NSF APPROVED, TYPE 1, GRADE 1 (PVC COMPOUND CONFORMING TO ASTM RESIN SPECIFICATION D1784).
- 5. LATERAL LINE PIPE: NON-PRESSURE BURIED LATERAL LINE PIPE SHALL BE PRESSURE RATED PVC 1120 SDR 21 200 PSI RATED PIPE CONFORMING TO MATERIALS ASTM D1784 AND PRODUCT DESIGN ASTM D2214 FOR SDR 21 PIPE 200 PSI RATED PIPE CONFORMING TO MATERIALS ASTM D1784 AND PRODUCTS DESIGN ASTM D2214 FOR SDR 21 PIPE 200, BURIED A MINIMUM OF 12" DEEP WITH SOLVENT WELD JOINTS MADE FROM NSF APPROVED, TYPE 1, GRADE II PVC COMPOUND CONFORMING TO ASTM RESIN SPECIFICATION D1784.
- GASKET SEAL MAINLINE PIPE: PRESSURE MAINLINE PIPE SIZED TWO INCHES (2") AND LARGER SHALL BE IPS PRESSURE RATED PVC 1120 SDR 21 200 PSI RATED PIPE, CONFORMING TO MATERIALS ASTM D1784, PRODUCT DESIGN ASTM D2214, GASKET JOINT ASTM DB139, GASKET ASTM F477, CELL CLASS ASTM 1245A, BURIED A MINIMUM OF EIGHTEEN INCHES (18") BELOW FINISH GRADE WITH THRUST BLOCKS PER MANUFACTURER'S INSTRUCTIONS.
- SOLVENT CEMENT: SOLVENT PRIMER SHALL CONFORM TO ASTM D-2564. SOLVENT CEMENT SHALL CONFORM TO ASTM D2564.
- SOLVENT FITTINGS: SOLVENT FITTINGS SHALL BE SCHEDULE 40 PRODUCED FROM PVC TYPE 1 CELL
- THREADED FITTINGS: THREADED FITTINGS SHALL BE SCHEDULE 40 AND THREADED NIPPLES SHALL BE SCHEDULE 80, PRODUCED FROM PVC TYPE 1 CELL CLASSIFICATION 12454-B. USE PERMATEX #51/TEFLON TAPE OR APPROVED PIPE JOINT COMPOUND PER FITTINGS MANUFACTURER'S RECOMMENDATIONS.
- STEEL PIPE: GALVANIZED STEEL PIPE SHALL BE ASA SCHEDULE 40 MILLED STEEL SCREWED PIPE WITH MEDIUM GALVANIZED SCREWED BEADED MALLEABLE IRON FITTINGS.
- STEEL PIPE BELOW GRADE: ALL GALVANIZED PIPE AND FITTINGS INSTALLED BELOW GRADE SHALL BE COATED WITH TWO (2) COATS OF KOPPERS #50 BITUMASTIC.
- BRASS PIPE AND FITTINGS: BRASS PIPE SHALL BE 85% RED BRASS, AMERICAN NATIONAL STANDARD INSTITUTE (ANSI), SCHEDULE 40 SCREWED PIPE. FITTINGS SHALL BE MEDIUM BRASS, SCREWED, 125 POUND CLASS.
- 13. COPPER PIPE AND FITTINGS: COPPER PIPE SHALL BE TYPE K, (HARD) ASTM B88 SOLDER FITTINGS IN ACCORDANCE WITH ANSI B16.22. SOLDER JOINTS SHALL BE 45% SILVER, 15% COPPER, 16% ZINC, 24% CADMIUM AND SOLIDUS AS 1125OF AND LIQUIDS AT 1145OF., CONFORMING TO ASTM B206 AND
- METAL PIPE JOINTS: ALL CONNECTIONS TO BE SEALED WITH PIPE JOINT COMPOUND FOR METAL
- CONTROL WIRE: CONNECTIONS BETWEEN THE AUTOMATIC CONTROLLERS AND THE ELECTRIC CONTROL VALVES SHALL BE MADE WITH DIRECT BURIAL COPPER WIRE AWG-U.F. 600 VOLT UL APPROVED. MINIMUM SIZE IS #14 AWG, BURIED EIGHTEEN (18") INCHES BELOW GRADE. USE DIFFERENT COLOR CONTROL WIRE FOR EACH CONTROLLER. COMMON WIRES SHALL BE WHITE OR A DIFFERENT COLOR FROM THE CONTROL WIRES FOR EACH OF AUTOMATIC CONTROLLER ON

- 16. SPARE CONTROL WIRE: PROVIDE FOUR (4) UNUSED #14 AWG WIRES FROM EACH CONTROLLER TO THE LAST VALVE ON EACH SYSTEM. WHEN THE SYSTEM SPLITS INTO DIFFERENT DIRECTIONS WITHIN 100 FEET OF THE CONTROLLER PROVIDE FOUR (4) SPARE #14 AWG WIRES FROM THE CONTROLLER FOLLOWING EACH DIRECTION OF THE IRRIGATION MAINLINE. PROVIDE A THIRD (3rd)
- COLOR WIRE OR MARK THE WIRES "SPARE" IN THE CONTROLLER CABINET. WIRE TRENCH: WIRING SHALL OCCUPY THE SAME TRENCH AND SHALL BE INSTALLED ALONG THE SAME ROUTE AS PRESSURE SUPPLY OR LATERAL LINES WHEREVER POSSIBLE. THE WIRES SHALL BE TAPED TOGETHER AT INTERVALS NOT EXCEEDING TEN (10) FEET.
- 18. EXPANSION CURL: A TWELVE INCH (12") EXPANSION CURL SHOULD BE PROVIDED WITHIN THREE (3) FEET OF EACH WIRE CONNECTION AND AT LEAST EVERY ONE HUNDRED (100) FEET OF WIRE LENGTH. AT STREET CROSSINGS AND GATE VALVE LOCATIONS THE CONTRACTOR SHALL BRING ALL THE WIRES TO GRADE AND PROVIDE A 12" EXPANSION CURL COVERED BY A RECTANGULAR
- VALVE BOX MARKED 'IRRIGATION WIRE'. 19. WIRE SPLICES: ALL SPLICES SHALL BE MADE WITH SCOTCH-LOK #3577 CONNECTOR SEALING PACKS, PEN-TITE WIRE CONNECTOR, OR APPROVED EQUAL. USE ONE SPLICE PER CONNECTOR. ALL SPLICES SHALL BE MADE AT VALVES OR CONTROLLER. NO OTHER SPLICES WILL BE ALLOWED UNLESS APPROVED BY THE OWNER (JOB SUPERINTENDENT). ALL SPLICES NOT AT VALVES, SHALL
- BE MADE IN A RECTANGULAR VALVE BOX MARKED 'IRRIGATION WIRE' TRENCHES: DIG TRENCHES STRAIGHT AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF
- TRENCH. LAY PIPE TO AN EVEN GRADE. 21. BACKFILL: THE TRENCHES SHALL NOT BE BACKFILLED UNTIL ALL REQUIRED TESTS ARE PERFORMED. TRENCHES SHALL BE CAREFULLY BACKFILLED WITH APPROVED MATERIALS, FREE FROM CLODS OF EARTH OR STONES TWO INCHES (2") OR LARGER. BACKFILL SHALL BE MECHANICALLY COMPACTED TO A DRY DENSITY EQUAL TO ADJACENT UNDISTURBED SOIL AND
- SHALL CONFORM TO ADJACENT SURFACE GRADES WITHOUT IRREGULARITIES. 22. LINES UNDER PAVING: ALL IRRIGATION LINES, VALVES AND WIRING RUNS SHOWN ON PLANS IN THE STREET, PAVED AREAS AND UNDER HARDSCAPING ARE DIAGRAMMATIC. INSTALL THESE LINES, VALVES AND WIRING RUNS IN PLANTING AREAS EXCEPT WHERE IT IS OBVIOUS THAT THEY MUST CROSS THAT PAVED AREA TO GET FROM ONE PLANTING AREA TO ANOTHER OR UNLESS NOTED
- 23. STREETS: WHERE ANY CUTTING OR BREAKING OF CONCRETE OR OTHER PAVING SURFACE IS
- NECESSARY, IT SHALL BE DONE AND REPLACED TO MATCH THE EXISTING WORK TO THE OWNER'S (JOB SUPERINTENDENT'S) SATISFACTION, BY THE CONTRACTOR, AS PART OF THE CONTRACT COST SLEEVES: SLEEVES SHALL BE INSTALLED UNDER ALL STREETS AND PAVEMENT WIDER THAN SEVEN
- FEET (7') PER THE IRRIGATION PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF SLEEVES WITH THE OWNER (JOB SUPERINTENDENT) PRIOR TO THE PAVING BEING INSTALLED. 25. SLEEVE/PIPE COVER: ALL WIRE, PRESSURE AND NON- PRESSURE PIPE INSTALLED UNDER ASPHALTIC CONCRETE PAVING SHALL BE INSTALLED IN CLASS 315 PVC SLEEVES BURIED TWENTY-FOUR INCHES (24") BELOW THE ROAD BED AND BACKFILLED PER GEOTECHNICAL SOILS
- REPORT SPECIFICATIONS. 26. PIPE CLEARANCE: ALL LINES SHALL HAVE A MINIMUM CLEARANCE OF SIX INCHES (6") FROM EACH
- OTHER. PARALLEL LINES SHALL NOT BE INSTALLED DIRECTLY OVER ONE ANOTHER. 27. CONTROL VALVES: INSTALL EACH CONTROL VALVE IN A SEPARATE LOCKING VALVE BOX WITH A MINIMUM OF TWELVE INCHES (12") BETWEEN VALVE BOXES, AND A MINIMUM OF SIX INCHES (6") BETWEEN VALVE BOXES AND ANY WALK OR STRUCTURE.VALVE BOXES SHALL BE BROOKS / CARSON OR APPROVED EQUAL WITH THE BOX LID STRUCTURE SO THAT IT EXTENDS OVER THE TOP
- HEAD INSTALLATION: IRRIGATION HEADS SHALL BE INSTALLED ONLY AFTER THE SYSTEM HAS BEEN FLUSHED TO THE COMPLETE SATISFACTION OF THE OWNER (JOB SUPERINTENDENT).
- 29. HEAD SPACING: SPACING OF HEADS SHALL NOT EXCEED THE MAXIMUM INDICATED ON THE DRAWINGS. IN NO CASE SHALL THE SPACING EXCEED THE MAXIMUM RECOMMENDED BY THE MANUFACTURER.
- 30. INSTALLATION ANGLE OF IRRIGATION HEAD: ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISHED GRADES UNLESS OTHERWISE DESIGNATED ON THE
- 31. PIPE ON GRADE: ALL PIPE ON GRADE SHALL BE SECURED TO SLOPE SURFACES AT 10' O.C. AND TO FLAT AREAS AT 20' O.C. MAXIMUM WITH #4 X 24" REBAR WITH 'J'
- HOOKED RADIUS AT ONE END TO HOLD PIPE SECURELY IN PLACE. 32. IRRIGATION SYSTEM REQUIREMENTS PRIOR TO PLANTING: THE ENTIRE SPRINKLER IRRIGATION SYSTEM SHALL BE UNDER FULL AUTOMATIC OPERATION PRIOR TO THE START OF ANY PLANTING WORK AND AN IRRIGATION COVERAGE TEST SHALL ALSO BE PERFORMED BY THE LANDSCAPE ARCHITECT PRIOR TO THE START OF ANY PLANTING.

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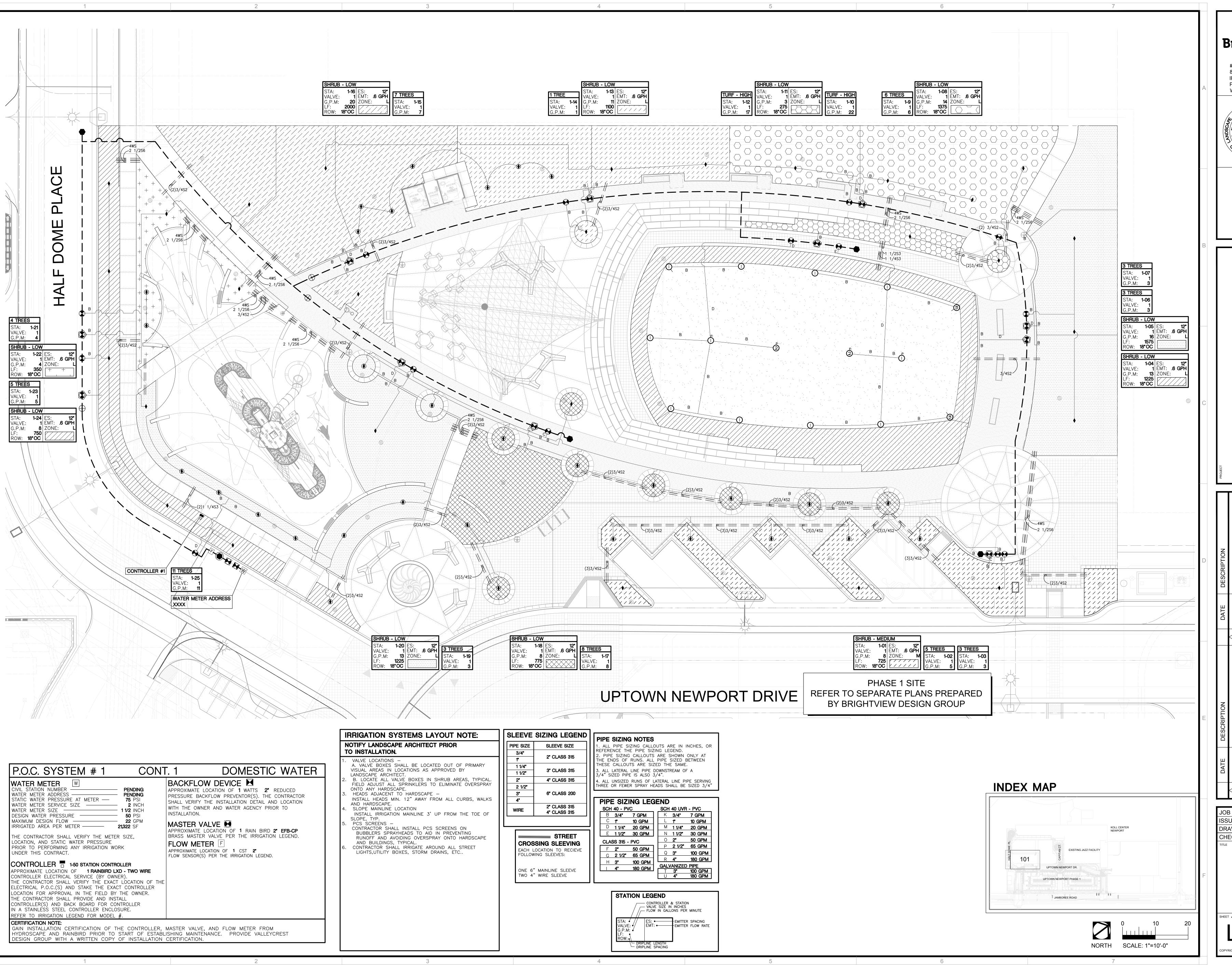




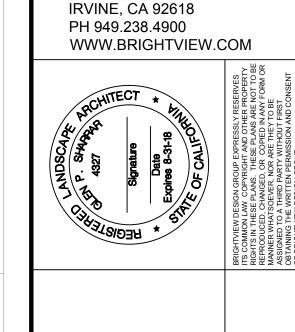


ISSUE DATE: 06-18-2018 DRAWN BY: CE, CF,TC **CHECKED BY:** DH,GS,MC IRRIGATION NOTES

SHEET 11 OF 23







BRIGHTVIEW DESIGN GROUTING COPYRING STORY COPYRING

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UPTOWN NEWPORT - CITY PAR
NEWPORT BEACH, CALIFORNIA
LANDSCAPE DEVELOPMENT PLANS

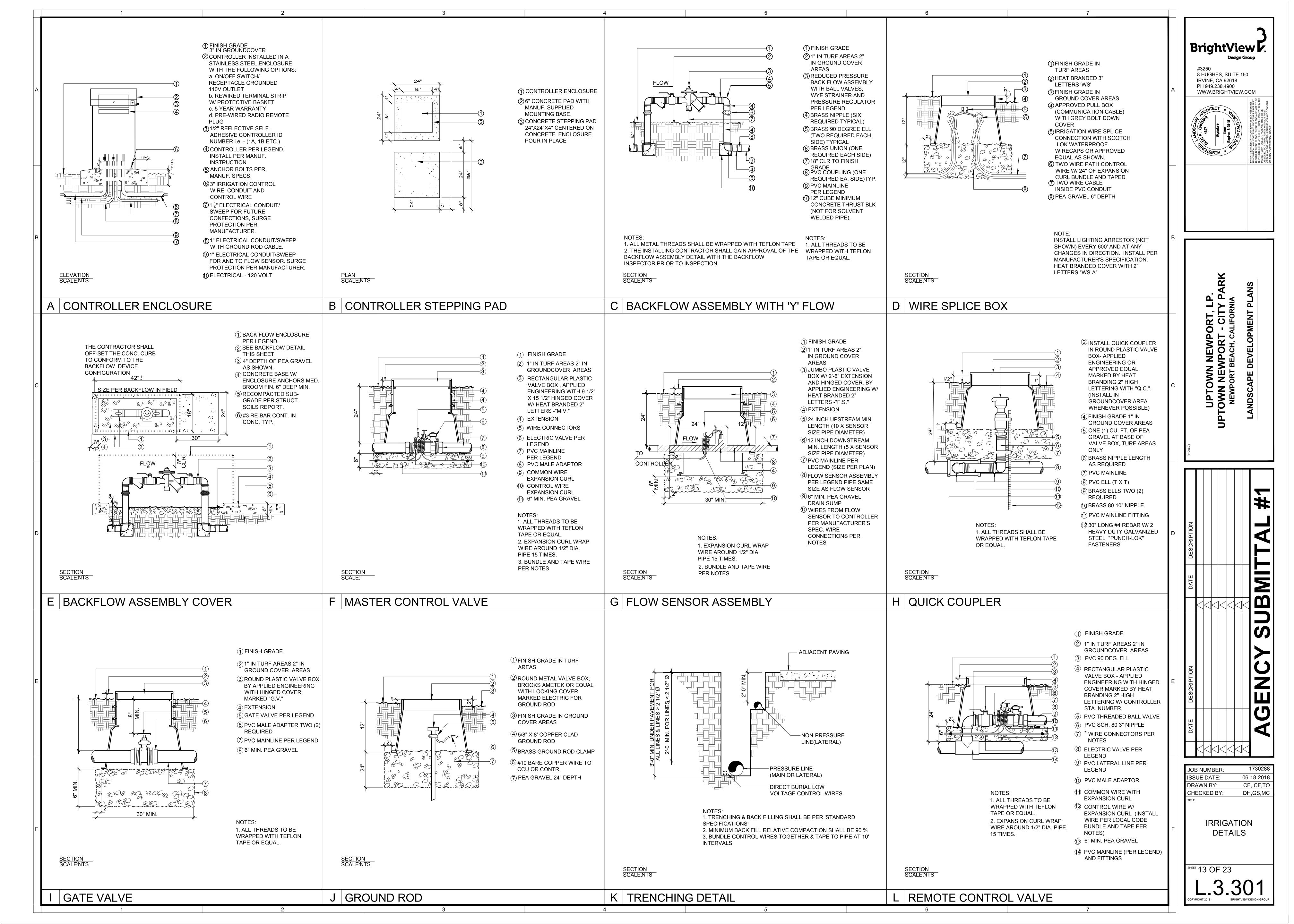
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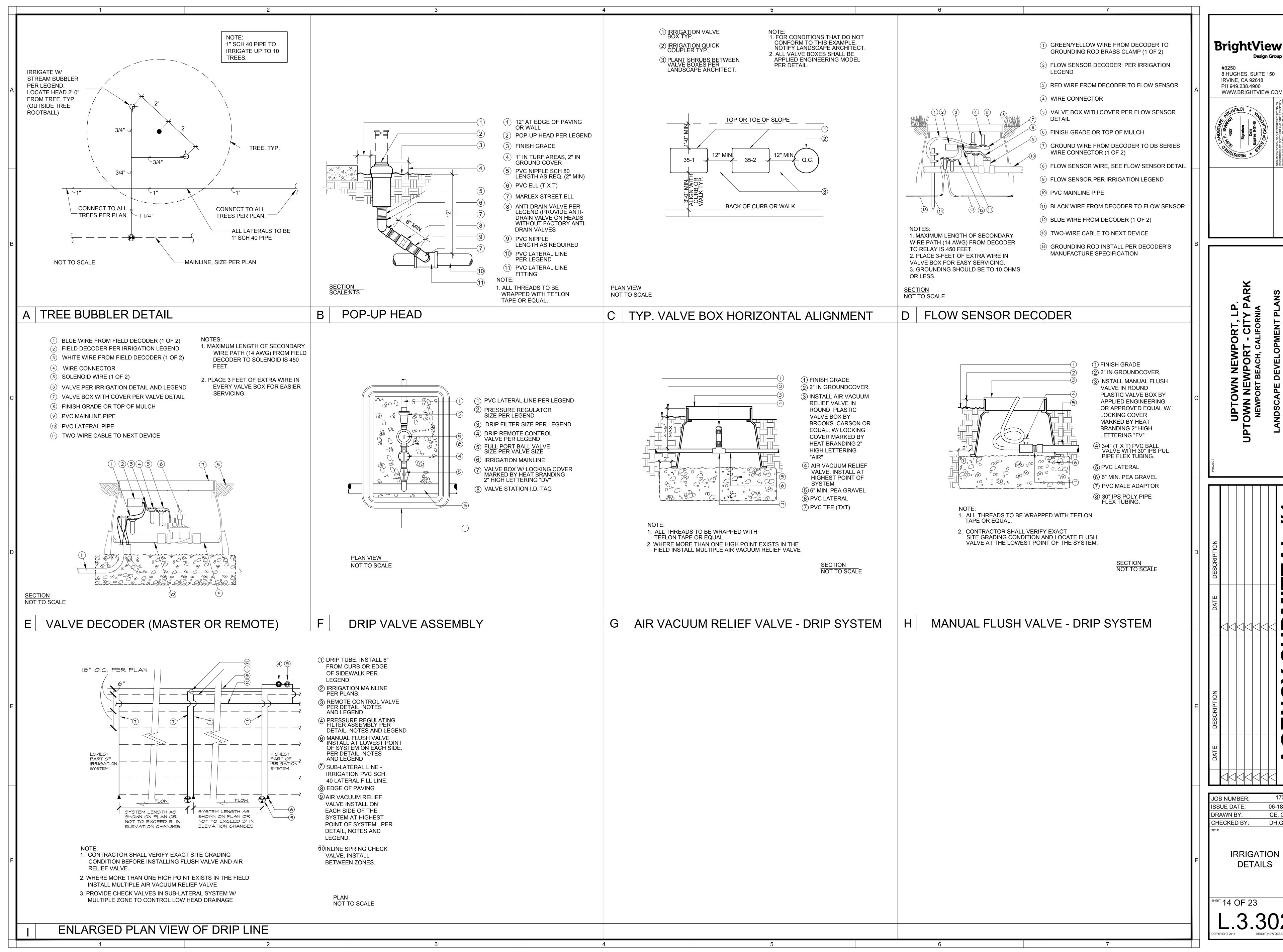
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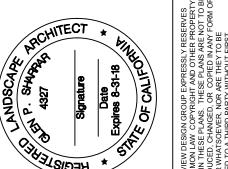
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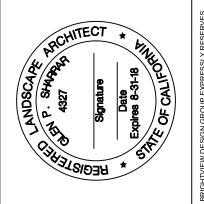
06-18-2018 CE, CF,TC DH,GS,MC

> **IRRIGATION DETAILS**

IBOL .	BOTANICAL NAME	COMMON NAME	QUANTITY	UNITS	SIZE	O.C. SPACING	WUCOLS REGION: 3	REMARKS
EES								
Signal Brea	BRAHEA EDULIS	GUADALUPE PALM	10	EA	10' BTH	AS SHOWN	L	STANDARD
CHAM	CHAMAEROPS HUMILIS	MEDITERRANEAN FAN PALM	3	EA	6'-12' BTH	AS SHOWN	L	MULTI
TR12	DRACENA DRACO	DRAGON TREE	1	EA	60" BOX	AS SHOWN	L/VL	STANDARD
$\overline{\bigcirc}$ "	FICUS NITIDA	INDIAN LAUREL FIG	3	EA	60" BOX	AS SHOWN	М	STANDARD
+ Lc	LOPHOSTEMON CONFERTUS	BRISBANE BOX	9	EA	36" BOX	AS SHOWN	M	STANDARD
SW P17	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	5	EA	20' BTH	AS SHOWN	L	CLEAN, DIAMOND CUT
₩ _{PC}	PHOENIX DACTYLIFERA	DATE PALM	8	EA	20' BTH	AS SHOWN	L	STANDARD
Ss Ss	PODOCARPUS GRACILIOR	AFROCARPUS GRACILIOR	5	EA	20' BTH	AS SHOWN	М	STANDARD
SS TIPU	TIPUANA TIPU	TIPU TREE	11	EA	60" BOX	AS SHOWN	L	STANDARD
* **	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	5	EA	30' BTH	AS SHOWN	L	CLEAN, SHAVE TRUNK
HURBS / (GRASSES		-	1			1	
\otimes	HESPERALOE PARVIFLORA	RED YUCCA	52	EA	5 GAL.	AS SHOWN	L	
ss1	CAREX DIVULSA	BERKELEY SAGE	7,643	SQ FT	1 GAL.	1'-6" O.C.	L	
▼	ECHIUM CANDICANS	PRIDE OF MADEIRA	15	EA	5 GAL.	6' O.C	L	
SKE	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	4,570	SQ FT	1 GAL.	1'-6" O.C.	L	
SMA	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	32	EA	5 GAL.	5' O.C.	L	
JCCULEN								
\odot	AEONIUM ARBOREUM	TREE AEONIUM	24	EA	5 GAL.	AS SHOWN	L	
SG16	AEONIUM ARBOREUM 'ZWARTKOP'	TREE AEONIUM	22	EA	5 GAL.	AS SHOWN	L	
SGG2 AGAVE2	AGAVE AMERICANA	CENTURY PLANT	5	EA	24 BOX	AS SHOWN	L/VL	
SZZ	AGAVE ANGUSTIFOLIA	NCN	36	EA	15 GAL.	AS SHOWN	L	
SEE4	AGAVE ATTENUATA 'BLUE FLAME'	FOXTAIL AGAVE	22	EA	15 GAL.	AS SHOWN	L	
ALOE	ALOE STRIATA	CORAL ALOE	21	EA	15 GAL.	AS SHOWN	L	
ALOE	ECHEVERIA IMBRICATTA	HENS AND CHICKS	110	SQ FT	5 GAL.	AS SHOWN	L	
SCC2	KALANCHOE LUCIAE	PADDLE PLANT	22	EA	1 GAL.	AS SHOWN	L	
	SENECIO BARBERTONICUS	SUCCULENT BUSH SENECIO	22	EA	1 GAL.	AS SHOWN	L	
SR6	SENECIO MANDRALISCAE	BLUE CHALKSTICKS	110	SQ FT	1 GAL.	AS SHOWN	L	



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NT PLANS

UPTOWN NEWPORT, LP.
UPTOWN NEWPORT - CITY PARP
NEWPORT BEACH, CALIFORNIA
LANDSCAPE DEVELOPMENT PLANS

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JOB NUMBER: 1730288
ISSUE DATE: 06-18-2018
DRAWN BY: CE, CF,TO
CHECKED BY: DH,GS,MC

PLANTING LEGEND

SHEET 15 OF 23

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. CONTRACTOR'S LANDSCAPE WORK RESPONSIBILITIES:

- A. SCOPE OF WORK: THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION AND SERVICES NECESSARY TO FURNISH AND INSTALL ALL CONSTRUCTION ELEMENTS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- B. CONFORMANCE: ALL PLANTING WORK SHALL CONFORM TO APPLICABLE LOCAL, COUNTY AND/OR STATE CODES, REGULATIONS AND
- C. LICENSE: ALL WORK SHALL BE PERFORMED BY A C-27 CALIFORNIA LICENSED CONTRACTOR.

RULES, INCLUDING BUT NOT LIMITED TO THE 2013 CALIFORNIA BUILDING CODE.

- D. PERMITS AND INSPECTIONS: THE CONTRACTOR SHALL OBTAIN, COORDINATE AND PAY FOR ANY AND ALL PERMITS, FEES AND AGENCY INSPECTIONS AS REQUIRED.
- E. INSURANCE: THE CONTRACTOR SHALL CARRY ALL WORKMEN'S COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE INSURANCE AS REQUIRED BY ALL APPLICABLE CODES, REGULATIONS AND BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- F. SITE VERIFICATION: PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL VERIFY, AT THE JOB SITE, ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AFFECTING THE INTENDED DESIGN OF THE LANDSCAPE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY.
- G. LIABLE FOR ENCROACHMENT: THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ENCROACHMENT ONTO ADJACENT PROPERTY, RIGHT-OF-WAYS, EASEMENTS, SET-BACKS OR ANY OTHER LEGAL PROPERTY RESTRICTIONS EITHER MARKED OR UNMARKED.
- H. COORDINATION OF ACTIVITIES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF HIS ACTIVITIES WITH ALL OTHER TRADES.
- I. FIELD STAKING: PRIOR TO INSTALLATION, THE CONTRACTOR SHALL LOCATE BY STAKES, OR OTHER MEANS, ALL CONTAINER TREES, SHRUBS AND VINE LOCATIONS AND HEADER BOARD/MOW CURB LAYOUT.
- J. NOTIFICATION OF DISCREPANCIES: ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THE CONTRACT DOCUMENTS AND/OR THE DESIGN INTENT AFFECTING THE SUCCESSFUL COMPLETION AND COST OF THE PROJECT SHALL BE REPORTED TO THE OWNER'S AUTHORIZED REPRESENTATIVE AND RESOLVED BY THE DESIGN/BUILD TEAM.
- K. LIABLE FOR DAMAGE: THE CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ALL UTILITIES, CONSTRUCTION, IRRIGATION AND PLANTING ELEMENTS, EXISTING OR NEW, THAT HAVE BEEN MARKED BY USA ALERT OR LOCATED AND IDENTIFIED AS EXISTING, AND SHALL REPAIR OR REPLACE ANY DAMAGED IMPROVEMENTS IN A MANNER ACCEPTABLE TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- L. LIABLE FOR LOSS: THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY LOSS TO HIS EQUIPMENT, PARTS AND MATERIALS ON THIS PROJECT UNTIL COMPLETION AND ACCEPTANCE OF THE JOB IN WRITING BY THE OWNER'S AUTHORIZED REPRESENTATIVE
- M. WRITTEN GUARANTEE: ALL WORK SHALL BE GUARANTEED BY CONTRACTOR AS TO THE MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF PROJECT. THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE ON HIS LETTERHEAD AT THE TIME OF THE FINAL INSPECTION.
- N. WRITTEN CERTIFICATION: THE CONTRACTOR SHALL PROVIDE A WRITTEN CERTIFICATION THAT THE CONSTRUCTION WORK IS INSTALLED IN FULL COMPLIANCE WITH THE CONTRACT DOCUMENTS. ANY APPROVED SUBSTITUTIONS OR DEVIATIONS FROM THE PLANS OR SPECIFICATIONS SHALL BE NOTED. THIS CERTIFICATION SHALL BE ON THE CONTRACTOR LETTERHEAD WITH HIS SIGNATURE AND CALIFORNIA CONTRACTOR'S LICENSE NUMBER.
- O. PLANT MATERIALS APPROVAL: THE CONTRACTOR SHALL, WITHIN FIFTEEN (15) WORKING DAYS FOLLOWING AWARD OF CONTRACT, SUBMIT TO THE OWNER AND LANDSCAPE ARCHITECT A COMPLETE LIST OF REQUIRED CONTAINER AND FLATTED GROUNDCOVER MATERIAL. THE LIST SHALL INCLUDE EACH TREE, SHRUB AND GROUNDCOVER; THEIR BOTANICAL AND COMMON NAME; EACH REQUIRED QUANTITY AND SIZE; THEIR NURSERY SOURCE LOCATIONS AND NURSERY SALES PERSON TO CONTACT; THEIR SPECIFICATIONS AS TO HEIGHT, SPREAD AND TRUNK CALIPER AT ONE FOOT (1') ABOVE GRADE (FOR TREES). A REPRESENTATIVE PHOTO OF EACH REQUIRED TREE SHALL ACCOMPANY THE SUBMITTAL.
- P. STATE CIVIL CODE TITLE 7: TO THE EXTENT THAT THIS PROJECT IS GOVERNED BY TITLE 7 OF THE STATE CIVIL CODE, THE CONTRACTOR SHALL CONFORM WITH THE FUNCTIONALITY REQUIREMENT OF TITLE 7 OF THE CIVIL CODE.

II. OWNER'S LANDSCAPE WORK RESPONSIBILITIES:

- A. LANDSCAPE RESPONSIBILITIES: THE OWNER WILL BE DIRECTLY RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING ALI LANDSCAPE INSPECTIONS. ALL FIELD MEETINGS SHALL BE INITIATED BY THE CONTRACTOR AND COORDINATED WITH THE OWNER'S AUTHORIZED REPRESENTATIVE. CONTRACTOR SHALL BE IN A SUPPORT OBSERVATION ROLE TO THE OWNER PROVIDING INTERPRETIVE ADVICE ONLY IN ACCORDANCE WITH THE OBSERVATION SCHEDULE AS NOTED.
- B. DETERMINING LEGAL AND PHYSICAL ELEMENTS: OWNER SHALL BE RESPONSIBLE FOR DETERMINING PROPERTY LINES, RIGHT-OF-WAYS, TRACT BOUNDARIES, GRADES, EASEMENTS, UTILITY LOCATIONS (ABOVE AND BELOW GRADE) ANY OTHER LEGAL OR PHYSICAL ELEMENTS, AS REQUIRED, FOR THE SUCCESSFUL COMPLETION OF THE WORK. CONTRACTOR SHALL NOT BE PERMITTED TO PROCEED WITH ANY WORK WITHOUT DETERMINATION OF THE ABOVE INFORMATION.
- C. ROUGH GRADE: OWNER SHALL PROVIDE ROUGH GRADE TO WITHIN 1/10TH OF ONE FOOT OF FINISH GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADE AND DRAINAGE OF ALL CONSTRUCTION ELEMENTS AT SPECIFIED GRADIENT.
- D. SITE DISCREPANCIES: ALL DISCREPANCIES IN SITE CONDITIONS, DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IT IS THE OWNER'S RESPONSIBILITY TO CONSULT THE CONTRACTOR PRIOR TO ANY FURTHER WORK IN THAT AREA. ANY UNREPORTED DISCREPANCY AND CONTINUED WORK WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL BE AT THE CONTRACTOR'S RISK AND EXPENSE.

III. REQUIRED FIELD OBSERVATION WORK:

A. REQUIRED FIELD OBSERVATION WORK: THESE PLANS WERE PREPARED WITH THE UNDERSTANDING THAT THE OWNER OF SAID PLANS WILL USE VALLEYCREST DESIGN GROUP TO PROVIDE 'FULL' CONTRACT SERVICES INCLUDING FIELD OBSERVATION SERVICES DURING CONSTRUCTION. FAILURE TO USE VALLEYCREST DESIGN GROUP TO PROVIDE AND COMPLETE THE FIELD OBSERVATION SERVICES SET FORTH HEREIN WILL SIGNIFICANTLY INCREASE THE RISK OF LOSS RESULTING, AMONG OTHER CAUSES, FROM MISINTERPRETATION OF THE INTENT OF THE DESIGN, UNAUTHORIZED MODIFICATIONS THERETO, AND FAILURE TO DETECT ERRORS AND OMISSIONS IN THE PLANS AND SPECIFICATIONS BEFORE THEY BECOME COSTLY MISTAKES BUILT INTO THE PROJECT. THEREFORE, IN THE EVENT THAT VALLEYCREST DESIGN GROUP IS OTHERWISE PRECLUDED FROM COMPLETING THE FIELD OBSERVATION SERVICES SET FORTH HEREIN, THE OWNER, OR SUBSEQUENT OWNER (INDIVIDUALS OR CORPORATIONS WHO HAVE PURCHASED THESE PLANS WITH THE PROJECT), AGREES TO HOLD HARMLESS, INDEMNIFY, AND DEFEND VALLEYCREST DESIGN GROUP AND THEIR CONSULTANTS FROM AND AGAINST ANY AND ALL CLAIMS.

IV. LANDSCAPE ARCHITECT'S LANDSCAPE FIELD OBSERVATION SCHEDULE:

- A. FIELD OBSERVATION COORDINATION: THE FOLLOWING OBSERVATIONS SHALL BE INITIATED BY CONTRACTOR AND COORDINATED THROUGH THE OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE NOT LESS THAN FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY OBSERVATION. CONTINUED WORK WITHOUT OBSERVATION OF THESE PHASES OF WORK IS AT THE CONTRACTOR RISK, WITH ANY REQUIRED CHANGE OR MODIFICATIONS AT THE CONTRACTOR EXPENSE.
- 3. CONTRACTOR ORIENTATION/PRE-CONSTRUCTION MEETING: THIS MEETING SHALL BE CONDUCTED TO DISCUSS THE SPECIFICATIONS, POSSIBLE DISCREPANCIES, SITE CONDITIONS AND OTHER ASPECTS OF THE PROJECT CONSTRUCTION WORK SUCH AS PERSONNEL, SCHEDULE AND REQUIREMENTS FOR STARTING WORK.
- C. WEED ABATEMENT: THIS OBSERVATION SHALL BE PERFORMED AFTER THE WEED ABATEMENT CYCLE HAS BEEN COMPLETED TO REVIEW THE DEGREE OF WEED KILL.
- D. PLANT MATERIAL APPROVAL, LAYOUT AND FINE GRADE OBSERVATION: THIS OBSERVATION VISIT SHALL BE PERFORMED AFTER PLACEMENT OR STAKING IN THE FIELD OF ALL PLANT MATERIALS PER THE PLANS. CONTAINER PLANTS SHALL BE PLACED ON SITE.
- BOXED SPECIMENS SHALL BE STAKED AS TO LOCATION.

 E. PROGRESS/INSTALLATION INSPECTIONS: PERIODIC INSPECTIONS SHALL BE PERFORMED BY THE OWNER'S AUTHORIZED

REPRESENTATIVE DURING CONSTRUCTION OPERATIONS TO ENSURE CONFORMANCE TO PLANS AND SPECIFICATIONS.

- F. PLANT MATERIAL/HYDROSEED/PRE-MAINTENANCE OBSERVATION: THIS OBSERVATION WILL BE PERFORMED TO REVIEW ALL WORK UNDER THE CONTRACT FOR COMPLETENESS. SCHEDULING SHALL COINCIDE WITH ANY HYDROSEEDING WORK TO BE PERFORMED UNDER THIS CONTRACT.
- G. MAINTENANCE OBSERVATIONS: THESE OBSERVATION VISITS SHALL BE PERFORMED AT THE END OF EACH THIRTY (30) DAY INTERVAL OF THE MAINTENANCE PERIOD TO ENSURE CONFORMANCE WITH THE MAINTENANCE SPECIFICATIONS.
- H. FINAL OBSERVATION/PROJECT SUBSTANTIAL CONFORMANCE: THIS OBSERVATION VISIT WILL BE PERFORMED TO REVIEW ALL ASPECTS OF THE CONTRACTED WORK PRIOR TO RELEASING THE PROJECT TO THE OWNER.

V. SCOPE OF LANDSCAPE WORK:

A. BASE SHEETS: BASE SHEETS WERE DERIVED FROM BASE DATA:

PREPARED BY: DAVID EVANS AND ASSOCIATES

ITLED: UPTOWN NEWPORT PHASE 1 SITE IMPROVEMENT PLANS

DATED: JULY 16, 2015 REVISED:

B. HORTICULTURAL SOILS REPORT: CONTRACTOR TO PROVIDE ON GRADE HORTICULTURAL SOILS REPORT

C. GENERAL PLANTING NOTES:

- 1. SITE PREPARATION: PRIOR TO PROCEEDING WITH ANY WORK UNDER THIS CONTRACT, THE CONTRACTOR SHALL REMOVE ALL ROCKS, WEEDS, DEBRIS, AND OTHER EXTRANEOUS MATERIAL FROM THE JOB SITE AND DISPOSE OF IT OFF-SITE IN A SUITABLE AND LAWFUL MANNER.
- 2. PLANTING AREAS: UPON COMPLETION OF ALL IRRIGATION WORK, ALL PLANTING AREAS SHALL BE SPRAYED WITH A SYSTEMIC HERBICIDE; CLEARED AND GRUBBED OF SURFACE WEED GROWTH; AND SHALL BE WEED FREE PRIOR TO PROCEEDING WITH ANY PLANTING WORK.
- 3. FINISH GRADE: THE CONTRACTOR SHALL ESTABLISH FINISH GRADE A MINIMUM OF SIX INCHES (6") BELOW THE FINISH FLOOR OF BUILDINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SMOOTH EVEN FINISH GRADES AT BUILDINGS, WALKS, OTHER PERMANENT OBJECTS AND LIMITS OF WORK. ALL CHANGES IN GRADE SHALL BE BLENDED UNIFORM VERTICAL CURVES. ALL AREAS TO BE PLANTED IN TURF SHALL BE SMOOTHED WITH RAKES AND FLOATS TO THE OWNER'S (JOB SUPERINTENDENT) SATISFACTION. OBJECTS SUCH AS ROCKS, DEBRIS, CLODS OR OTHER EXTRANEOUS MATERIAL SHALL BE STOCK-PILED AND REMOVED.
- **4. DRAINAGE:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR DRAINAGE IN ALL PLANTING AREAS IN ACCORDANCE WITH THE PLANS, DETAILS, AND SPECIFICATIONS AT A MINIMUM 2% GRADIENT.
- 5. IMPORT SOIL: ON-SITE SOIL SHALL BE USED FOR ALL LANDSCAPE BERMS AND MOUNDING. WHEN ON-SITE SOIL IS NOT AVAILABLE, IMPORT SOIL SHALL MEET THE FOLLOWING SPECIFICATIONS:
 - SILT PLUS CLAY CONTENT OF THE IMPORT SOIL SHALL NOT EXCEED 20% BY WEIGHT WITH A MINIMUM 95% PASSING THE 2.0 MM. SIEVE. THE SODIUM ABSORPTION RATIO (SAR) SHALL NOT EXCEED 6.0 MM. AND THE ELECTRICAL CONDUCTIVITY (ECE) OF THE SATURATION EXTRACT OF THIS SOIL SHALL NOT EXCEED 3.0 MMHOS./CM AT 250C. THE BORON CONTENT OF THIS SOIL SHALL BE NO GREATER THAN 1 PPM AS MEASURED ON THE SATURATION EXTRACT. IN ORDER TO INSURE CONFORMANCE, SAMPLES OF THE IMPORT SOIL SHALL BE SUBMITTED TO THE SOIL LABORATORY FOR ANALYSIS PRIOR TO IMPORT ON SITE.
- 6. PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE OF A SIZE, CHARACTER AND QUALITY WHICH MEETS THE ACCEPTED INDUSTRY STANDARDS FOR THAT PLANT AND BE FREE FROM INSECTS, THEIR EGGS, DISEASE, WEEDS, OR OTHER DETRIMENTAL CHARACTERISTICS.
- 7. HANDLING/STORAGE: ALL PLANTS SHALL BE HANDLED AND STORED SO THEY ARE ADEQUATELY PROTECTED FROM DRYING OUT, SUN, WINDBURN, VANDALISM OR ANY OTHER INJURY. B. REJECTION OF PLANT MATERIAL: THE OWNER'S AUTHORIZED REPRESENTATIVE AND LANDSCAPE ARCHITECT MAY REJECT ANY AND ALL PLANT MATERIAL REGARDED AS UNSUITABLE AT ANY TIME. SUCH PLANTS SHALL BE REMOVED FROM THE JOB SITE IMMEDIATELY AND BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- 9. PLANTING: ALL PLANT MATERIAL SHALL BE AS SPECIFIED AND PLANTED AS DETAILED AND NOTED HEREIN.
- 10. GROUNDCOVER PLANTING: ALL GROUNDCOVER AREAS NOTED ON THE PLANS SHALL BE PLANTED WITH ROOTED CUTTINGS FROM FLATS IN STAGGERED ROWS CONTINUOUSLY UNDER TREES AND SHRUBS AT THE SPACING INDICATED ON THE PLANS.
- 11. SOIL PREPARATION: ALL PLANTING AREAS TO RECEIVE GROUNDCOVER FROM FLATS AND/OR TURF (EXCEPT GROUNDCOVER AREAS ON SLOPES 3:1 OR GREATER) SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. AND SHALL BE UNIFORMLY BLENDED INTO THE UPPER SURFACE SOIL TO A DEPTH AS REQUIRED IN THE HORTICULTURAL SOILS REPORT. AMT./PER 1000 SQ. REFER TO HORTICULTURAL SOILS REPORT
- 12. BACKFILL MIX: BACKFILL MIX AROUND ALL CONTAINER PLANT MATERIALS SHALL CONSIST OF THE FOLLOWING UNIFORMLY BLENDED MATERIALS: REFER TO HORTICULTURAL SOILS REPORT
- 13. PLANTING TABLETS: AS INDICATED ON THE DETAILS, PLANT TABLETS SHALL BE 'GRO-POWER' PLANTING TABLETS 12-8-8 (7 GRAM OR EQUAL) AND SHALL BE FURNISHED IN THE FOLLOWING RATES. PLANT TABLETS SHALL BE PLACED AT THE TOP OF THE ROOTBALL, APPROXIMATELY TWO INCHES (2") FROM ROOT TIP AT EVEN SPACING AROUND THE PLANT.
 - . THREE (3) TABLETS PER ONE (1) GALLON CONTAINER
 - NINE (9) TABLETS PER FIVE (5) GALLON CONTAINER
 - FIFTEEN (15) TABLETS PER FIFTEEN (15) GALLON CONTAINER
 - d. SIXTEEN (16) TABLETS PER TWENTY INCH (20") BOX AND TWENTY-FOUR INCH (24") BOX
 - e. TWENTY (20) TABLETS PER THIRTY INCH (30") BOX AND THIRTY-SIX INCH (36") BOX
 - f. TWENTY-TWO (22) TABLETS PER FORTY-TWO INCH (42") BOX AND FORTY-EIGHT INCH (48") BOX q. THIRTY-SIX (36) TABLETS PER SIXTY INCH (60") BOX
 - h. FORTY-FIVE (45) TABLETS PER SEVENTY-TWO INCH (72") BOX
 - FORTY-EIGHT (48) TABLETS PER EIGHTY-FOUR INCH (84") BOX

VI. ESTABLISHMENT MAINTENANCE NOTES:

A. ESTABLISHMENT MAINTENANCE PERIOD: THE MAINTENANCE PERIOD SHALL COMMENCE UPON THE OWNER'S WRITTEN APPROVAL OF ALL PHASES OF PLANTING INSTALLATION AND SHALL BE FOR THE PERIOD OF TIME AS FOLLOWS: NINETY (90) CONTINUOUS CALENDAR DAYS

B. MAINTENANCE PROCEDURES:

- 1. **GENERAL:** THE GENERAL CARE AND MAINTENANCE OF ALL AREAS SHALL CONSIST OF PROPER WATERING, FERTILIZATION, WEEDING, RODENT CONTROL, CLEANUP AND AS NOTED BELOW.
- 2. GROUNDCOVER FROM FLATS WITHOUT OVERSEED: APPLY PRE-EMERGENT HERBICIDE AT THE START OF MAINTENANCE IN
- ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS.
- 3. FERTILIZATION: MAINTENANCE WORK SHALL INCLUDE FERTILIZATION WITH THE FOLLOWING FERTILIZER AT THIRTY (30) DAY INTERVALS AFTER PLANTING. REFER TO HORTICULTURAL SOILS REPORT
- 4. WEEDING: ANY CONCENTRATED DEVELOPMENT OF WEED GROWTH THAT MAY APPEAR IN PLANTING AREAS DURING THE MAINTENANCE PERIOD SHALL BE REMOVED AT TEN (1 0) DAY INTERVALS. THE CONTRACTOR SHALL REMOVE SUCH CONCENTRATIONS OF WEEDS INCLUDING THEIR ROOTS BY HAND OR IN A MANNER ACCEPTABLE TO THE OWNER'S AUTHORIZED REPRESENTATIVE AND LANDSCAPE ARCHITECT. NOTE: CULTIVATION OF GROUNDCOVER IS NOT ACCEPTABLE
- 5. RODENT CONTROL: THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO ELIMINATE ANY RODENTS ENCOUNTERED ON SITE.
- 6. CLEAN-UP: DURING THE COURSE OF THE MAINTENANCE WORK, THE CONTRACTOR SHALL REMOVE SURPLUS MATERIALS AND DEBRIS FROM THE SITE AND SHALL KEEP THE PREMISES IN A NEAT AND CLEAN CONDITION AT ALL TIMES.
 7. PROTECTION OF LANDSCAPE: DURING THE MAINTENANCE PERIOD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR
- MAINTAINING ADEQUATE PROTECTION OF ALL PLANTING AREAS. ANY DAMAGED AREAS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

 8. RE-HYDROSEEDING: THE CONTRACTOR SHALL RE-HYDROSEED ALL HYDROSEED AREAS ERODED OR NON-GERMINATING AT
- THE END OF EACH THIRTY (30) DAYS OF MAINTENANCE.

 9. FINAL ACCEPTANCE: WILL BE GIVEN AT THE END OF THE MAINTENANCE PERIOD FOR ALL PLANTED AREAS ONCE HYDROSEED GERMINATION HAS OCCURRED AND ESTABLISHMENT HAS BEEN OBTAINED.

VII. SPECIAL PLANTING NOTES:

A. ALL LANDSCAPE AREAS SHALL DRAIN TO THE AREA DRAIN AT MIN. 2% PER CIVIL ENGINEERS REVISED GRADING PLAN. FINAL TREE AND SHRUB PLACEMENT TO BE APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO PLANTING.

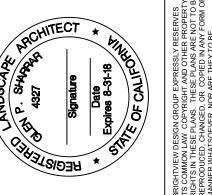
- B. THE CONTRACTOR SHALL OBSERVE THE FOLLOWING PLANTING REQUIREMENTS FOR ALL TREES:
- TREES SHALL BE A MINIMUM OF 5' -0" FROM ALL HARDSCAPE, CENTERED IN A 1 0' -0" WIDE PLANTING AREA WITHOUT A ROOT BARRIER.
- 2. ALL TREES IN PLANTING AREAS 5' -0" WIDE TO 1 0' -0" WIDE SHALL HAVE ROOT BARRIERS.
- 3. ALL TREES THAT ARE WITHIN 5'-0" OF HARDSCAPE ELEMENTS SHALL HAVE A ROOT BARRIER. TREES SHALL NOT BE PLANTED IN AREAS LESS THAN THE MINIMUM PLANTING AREA SPECIFIED IN THE LEGEND
- 4. THE CONTRACTOR SHALL VERIFY ALL MINIMUM TREE SPACING REQUIREMENTS PRIOR TO PLANTING. TREES NOT MEETING THE REQUIREMENTS SHALL NOT BE PLANTED AND SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/ LANDSCAPE
- **C.** IF SHRUBS ARE LOCATED UNDERNEATH A TREE'S DRIP LINE, THE LOWEST BRANCH SHOULD BE AT LEAST THREE TIMES AS HIGH AS THE UNDERSTORY SHRUBS OR 10 FEET, WHICHEVER IS GREATER.
- **D.** EXISTING TREES CAN BE PRUNED 10 FEET AWAY FROM ROOF, EAVE, OR EXTERIOR SIDING, DEPENDING ON THE TREE'S PHYSICAL OR FLAMMABLE CHARACTERISTICS AND THE BUILDING CONSTRUCTION FEATURES.
- E. ALL TREE BRANCHES AND PALM FRONDS SHALL BE REMOVED WITHIN 10 FEET OF A FIREPLACE CHIMNEY OR OUTDOOR BARBECUE.
- F. ALL LANDSCAPING SHALL BE INSTALLED BEFORE FINAL INSPECTION.

ARCHITECT.

G. TURF EDGING: TURF EDGING SHALL BE SHOVEL CUT OR MOWCURB PER PLAN.



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UPTOWN NEWPORT, LP.
UPTOWN NEWPORT - CITY PARI
NEWPORT BEACH, CALIFORNIA
LANDSCAPE DEVELOPMENT PLANS

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AGENTALISM

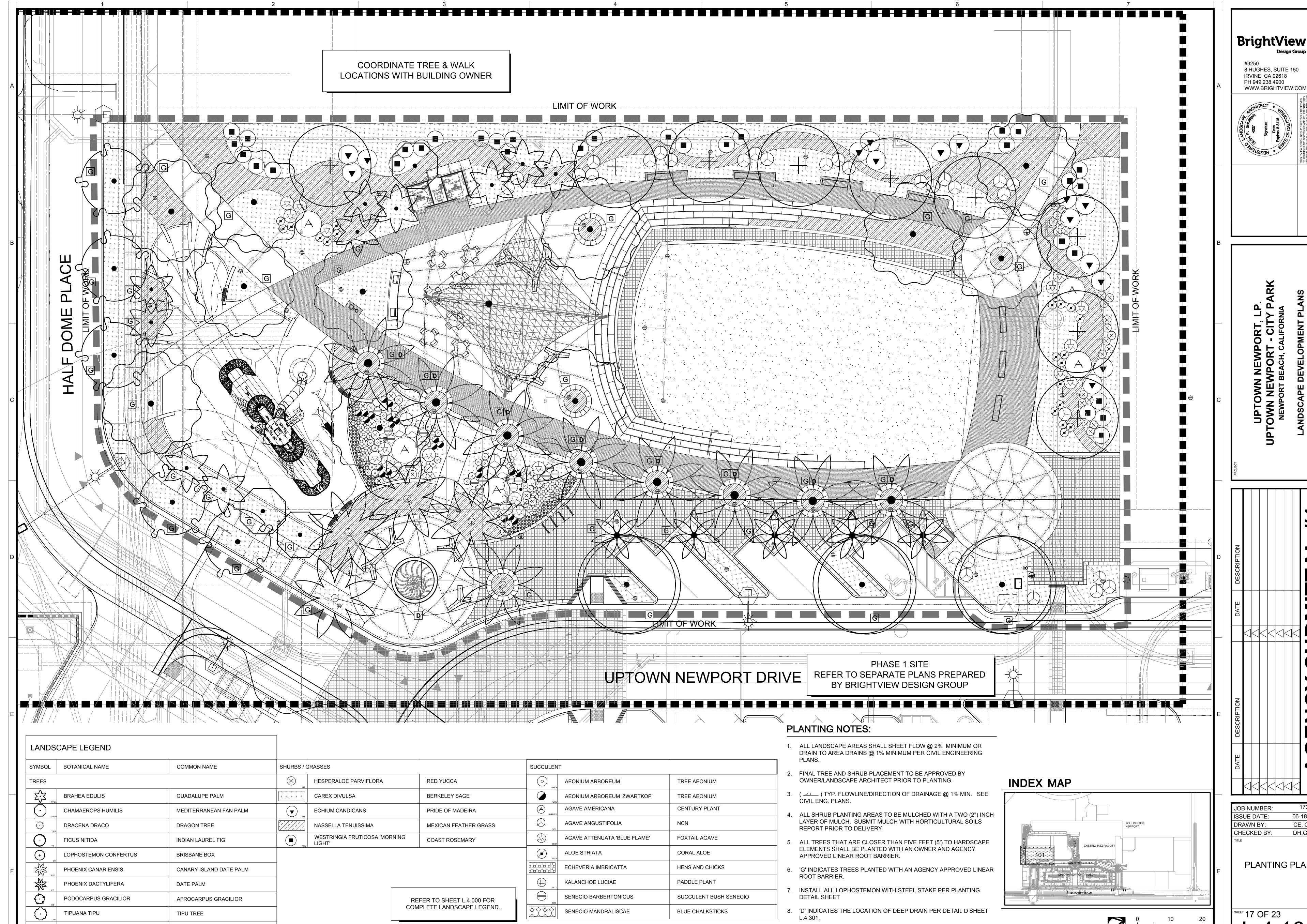
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JOB NUMBER: 1730288
ISSUE DATE: 06-18-2018
DRAWN BY: CE, CF,TO
CHECKED BY: DH,GS,MC

PLANTING NOTES
AND
SPECIFICATIONS

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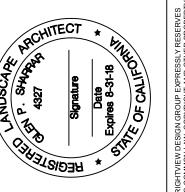


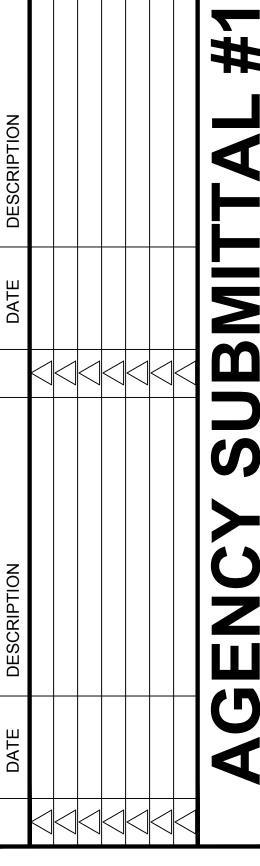
WASHINGTONIA ROBUSTA

MEXICAN FAN PALM

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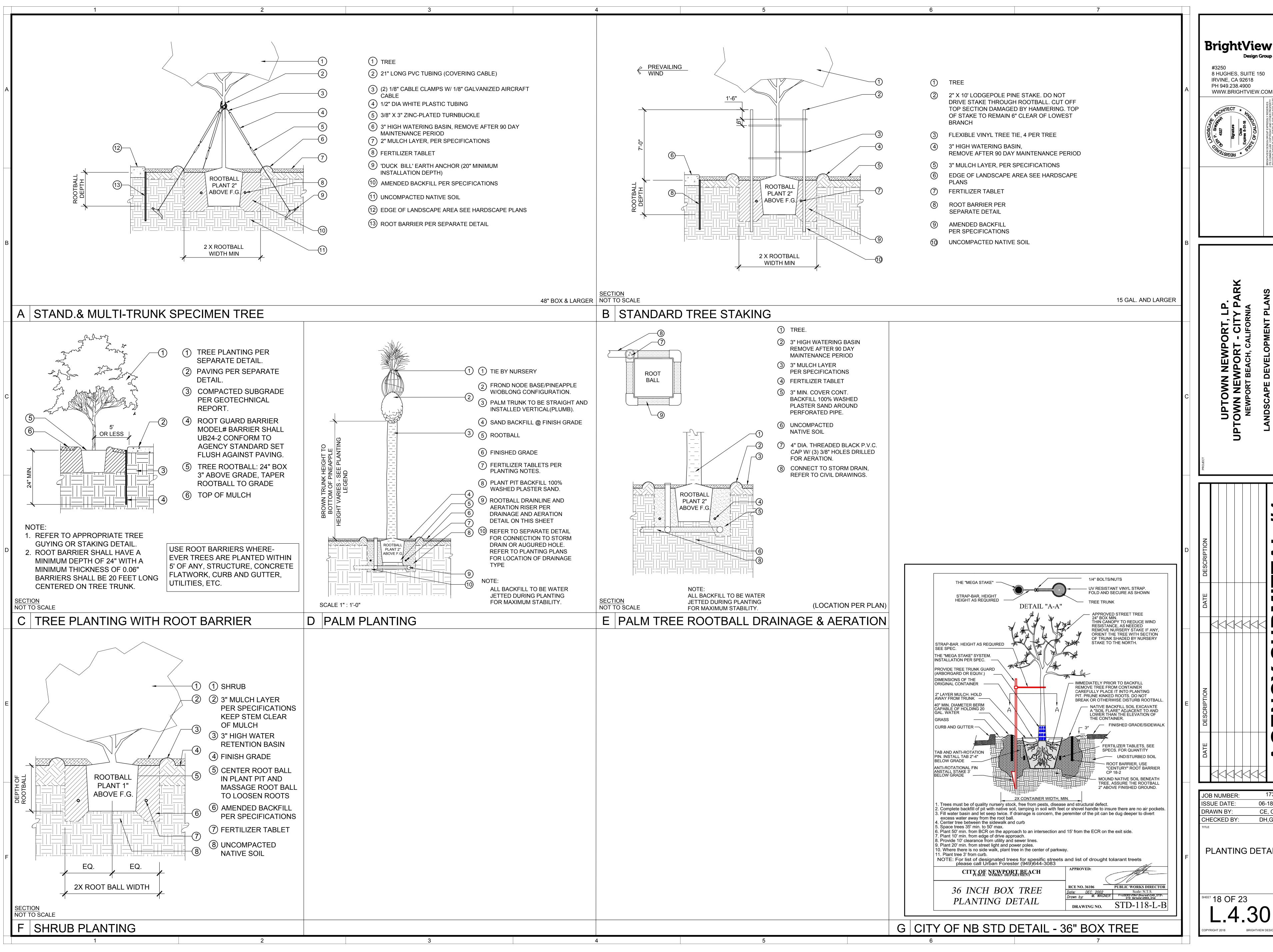


OB NUMBER:	1730288
SUE DATE:	06-18-2018
RAWN BY:	CE, CF,TO
HECKED BY:	DH,GS,MC
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PLANTING PLAN

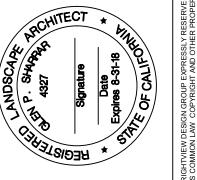
^{SHEET} 17 OF 23

NORTH SCALE: 1"=10'-0"



BrightView L

8 HUGHES, SUITE 150 **IRVINE**, CA 92618 PH 949.238.4900



06-18-2018 CE, CF,TC DH,GS,MC PLANTING DETAILS

