



CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION ACTION REPORT

TO: CITY COUNCIL, CITY MANAGER AND PLANNING COMMISSION

FROM: Seimone Jurjis, Community Development Director

SUBJECT: Report of actions taken by the Zoning Administrator and/or Planning Division staff for the week ending November 22, 2019.

COMMUNITY DEVELOPMENT DIRECTOR OR PLANNING DIVISION STAFF ACTIONS (Non-Hearing Items)

- Item 1: Jaguar Land Rover Service Center – Comprehensive Sign Program No. CS2019-009 (PA2019-135)
Site Address: 2101 Dove Street
- | | |
|------------------|--------------------|
| Action: Approved | Council District 3 |
|------------------|--------------------|
- Item 2: Vue Newport Sign Program – Comprehensive Sign Program No. CS2019-010 (PA2019-165)
Site Address: 2210 – 2300 Newport Boulevard
- | | |
|------------------|--------------------|
| Action: Approved | Council District 1 |
|------------------|--------------------|

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915

949-644-3200 Fax: 949-644-3229

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ZONING ADMINISTRATOR ACTION LETTER

Application No. Jaguar Land Rover Service Center Sign Program (PA2019-135)
• Comprehensive Sign Program No. CS2019-009

Applicant Megahertz Electric Signs

Site Address 2101 Dove Street

Legal Description Lots 20, 21, 22, 40, and 42 of Tract 3201

On **November 22, 2019**, the Zoning Administrator approved Comprehensive Sign Program No. CS2019-009, addressing signage for an existing vehicle service center. A comprehensive sign program is required whenever three or more nonexempt signs are proposed for a single-tenant development. The intent of the program is to allow signage, as determined by the property owner, and includes three new wall signs on the existing service center, and two monument signs located along Campus Drive.

The applicant is seeking the following deviations from Chapter 20.42 (Sign Standards) of the Zoning Code:

1. Installation of three wall signs on the primary frontage for a single-tenant building, where the Zoning Code only allows one wall sign per tenant;
2. Sign area of 77 square feet for one wall sign (Sign 1), located on the primary frontage facing Campus Drive. The Zoning Code allows a maximum of 75 square feet for wall signs located on the primary frontage (2.6 percent increase);
3. Installation of wall signs outside of the middle 50 percent of the building frontage, where the Zoning Code requires wall signs to be located within the middle 50 percent of the building frontage;
4. Installation of two monument signs on the primary frontage, where the Zoning Code allows one per site;
5. Placement of one monument sign (Sign 4) 4 feet 3 inches from the property line, where the Zoning Code requires monument signs to be set back a minimum of 5 feet from a street or interior property line;

6. Sign height of 7 feet 2 inches for one monument sign (Sign 4), located on the primary frontage facing Campus Drive. The Zoning Code allows a maximum height of 6 feet for monument signs (19.5 percent increase); and
7. Sign width of 15 feet 5 inches for one monument sign (Sign 5), located on the primary frontage facing Campus Drive. The Zoning Code allows a maximum width of 1.5 times the average height (4 feet high x 1.5 = 6 feet wide) (158 percent increase).

The properties are located within the Office Airport (OA) Zoning District. The General Plan Land Use Element category is Airport Office and Supporting Uses (AO). The property is not located in the Coastal Zone.

This approval is based on the following findings and standards and subject to the following conditions.

FINDINGS AND STANDARDS FOR APPROVED SIGNS

Finding:

- A. *The project is exempt from environmental review under the requirements of the California Environmental Quality Act Guidelines pursuant to Section 15311, Class 11 (Accessory Structures).*

Fact in Support of Finding:

1. Class 11 exempts minor structures accessory to existing commercial facilities, including signs. The proposed signs are incidental and accessory to the principal commercial use of the property and do not intensify or alter the use. The site is fully developed with commercial uses and ornamental landscaping and does not provide any significant habitat values. The installation of the signs will not have a significant effect on the environment.

Standard:

- B. *The proposed sign program shall comply with the purpose and intent of this Chapter [Chapter 20.42], any adopted sign design guidelines, and the overall purpose and intent of this Section [Section 20.42.120 – Comprehensive Sign Program].*

Facts in Support of Standard:

1. The proposed wall signs provide necessary identification for the vehicle service center and are not excessive in sign area. The three wall signs combine for a total sign area of 149 square feet. Sign 1 (77 square feet) and Sign 2 (66 square feet) are

located approximately 53 feet apart on a large 160-foot-wide building frontage. Sign 3 (6 square feet) is located on a 40-foot-wide service bay canopy attached to the service center on the same frontage.

2. The proposed wall signs will be located where the architectural design of the building suggests placement of a sign. Sign 1 is located on a long façade of the building and enables motorists to identify the service center from Campus Drive. Sign 2 is located above the entry door of the service center, and Sign 3 identifies the service bay for vehicles. Proposed signs employ a consistent sign pattern in location and are designed to fit with the overall scale of the building and its relationship to Campus Drive.
3. There are two proposed monument signs located on the primary frontage of Campus Drive. Sign 4 is 7 feet 2 inches tall, 3 feet 6 inches wide, and 14 square feet in area. It is also located 4 feet 3 inches from the property line, where the Zoning Code requires 5 feet. Sign 4 serves as a directional sign for motorists entering the parking lot. Sign 5 is 4 feet tall, 15 feet 5 inches wide, and 30 square feet in area. Sign 5 serves as the primary identification for the service center for motorists traveling on Campus Drive. The proposed deviations for number, height, width, and location of these monument signs will help to improve visibility of the service center to motorists, especially because the facility on Campus Drive is set back approximately 135 feet from the street. Also, the speed limit on Campus Drive is 45 miles per hour. Larger monument signs that are located closer to the sidewalk would notify motorists traveling at higher speeds that they are approaching the service center.
4. The purpose of a comprehensive sign program is to integrate all of a project's signs. It provides a means for the flexible application of sign regulations for projects that require multiple signs. The proposed monument signs will have a façade that matches the architectural finish of the facility. The wall signs and monument signs will have similar color and font. The proposed signage provides incentive and latitude in the design and display of signs.
5. Approval of this Comprehensive Sign Program includes deviations to the number, height, width, and location of signs. It allows the flexible application of the sign regulations to achieve a unified design theme that meets the purpose and intent of the Zoning Code by providing adequate identification while limiting the size and number of signs.
6. The Comprehensive Sign Program is consistent with the Citywide Sign Design Guidelines Manual. The proposed signs are designed to be compatible with the building in terms of size, location, legibility, and materials. All wall signs effectively identify the vehicle service center without creating sign clutter by using legible text and contrasting with the background. The wall signs on the facility will have a bright white finish mounted on walls with contrasting colors. The size of the signs does not dominate the façades and are appropriately located to identify the facility to vehicles travelling towards the property.

Standard:

- C. *The proposed signs shall enhance the overall development, be in harmony with, and relate visually to other signs included in the Comprehensive Sign Program, to the structures and/or developments they identify, and to surrounding development when applicable.*

Facts in Support of Standard:

1. The site is developed as a vehicle service center, which includes administrative offices and a vehicle service bay. Three wall signs and two monument signs are part of the comprehensive sign program to allow for adequate identification of the service center.
2. The wall signs on the service center will consist of one internally illuminated sign made of vinyl material (Sign 1), and two signs with halo-lit individual letters (Signs 2 and 3). As proposed and conditioned, there will be a maximum of three wall signs allowed on the primary frontage.
3. Of the two monument signs, Sign 5 is proposed to be internally illuminated. Sign 4 is not proposed to be illuminated. The monument signs will integrate with the project site by having colors and font that are similar to the wall signs. Landscaping with irrigation shall be provided at the base of the monument signs equal to twice the area of one face of the sign or 75 square feet, whichever is greater.
4. The Sign Program prohibits cabinet sign designs and requires future signs to maintain similarly proposed individual channel designs.
5. Proposed signs will not obstruct public views from adjacent roadways because there are no public views through or across the subject property.
6. The signs have been reviewed by the Public Works Department and the signs are sited to not interfere with vehicle sight distance needs from any street, driveway, or parking area.

Standard:

- D. *The sign program shall address all signs, including permanent, temporary, and exempt signs.*

Fact in Support of Standard:

1. The Comprehensive Sign Program addresses all project signage. Temporary and exempt signs not specifically addressed in the sign program shall be regulated by the provisions of Chapter 20.42 (Sign Standards) of the Zoning Code.

Standard:

- E. The sign program shall accommodate future revisions that may be required because of changes in use or tenants.*

Facts in Support of Standard:

1. The Comprehensive Sign Program is designed to be effective for the vehicle service center and its different components (i.e., administrative offices and service bay) by providing additional signage opportunities where appropriate.
2. The Comprehensive Sign Program establishes allowed type, number, location, and area of signage with flexibility to accommodate any existing and future tenants.
3. It is not anticipated that future revisions to the Comprehensive Sign Program will be necessary to accommodate a change in tenants or use. However, the Community Development Director may approve minor revisions to the Comprehensive Sign Program if the intent of the original approval is not affected.

Standard:

- F. The program shall comply with the standards of this Chapter [Chapter 20.42], except that deviations are allowed with regard to sign area, total number, location, and/or height of signs to the extent that the Comprehensive Sign Program will enhance the overall development and will more fully accomplish the purposes and intent of this Chapter [Chapter 20.42].*

Facts in Support of Standard:

1. The Comprehensive Sign Program allows for deviations regarding the number, location, and overall area of signs. The approval conforms to most other standards of Zoning Code Chapter 20.42 and enhances the overall development by integrating all of the project's signs with the overall site and structure design into a unified statement by having similar colors and fonts.
2. Allowing deviation from the Zoning Code for the number of wall signs is appropriate given the large building frontage of approximately 220 linear feet (including service bay), which the signs will be mounted on. Three wall signs will improve visibility of the service center, which is set back 135 feet from the street.

3. The proposed deviation from the Zoning Code from the maximum sign area is for Sign 1 (77 square feet), where the Zoning Code allows for 75 square feet. Allowing deviation from the Zoning Code for maximum sign area is appropriate given the large building frontage and large setback from the street (approximately 135 feet) as previously mentioned.
4. Allowing deviation from the Zoning Code for the wall signs to be located outside of the middle 50 percent is appropriate given the architectural design of the building. Wall Sign 2 is centered over the primary entrance door, which is not located within the middle 50 percent of the building. Sign 1 is located on a large façade, and Sign 3 is located on the attached service bay canopy.
5. The Zoning Code states that freestanding signs shall be set back a minimum of 5 feet from a street. Allowing deviation from the Zoning Code for the location of the monument sign (Sign 4) is appropriate given the location of the building. The service center on Campus Drive is set back 135 feet from the street, making visibility of the facility difficult for motorists travelling at higher speeds on both streets. The monument sign would help motorists identify the facility by being placed closer to the sidewalk.

Standard:

- G. *The approval of a Comprehensive Sign Program shall not authorize the use of signs prohibited by this Chapter [Chapter 20.42].*

Fact in Support of Standard:

1. None of the signs proposed are expressly prohibited by the Zoning Code and the proposed Comprehensive Sign Program does not authorize the use of prohibited signs.

Standard:

- H. *Review and approval of a Comprehensive Sign Program shall not consider the signs' proposed message content.*

Fact in Support of Standard:

1. The Comprehensive Sign Program contains no regulations affecting sign message content.

CONDITIONS

1. All proposed signs shall be in substantial conformance with the approved plans, Comprehensive Sign Program Matrix Table, and provisions of Chapter 20.42 of the Newport Beach Municipal Code, unless otherwise indicated in the following conditions.
2. Anything not specifically approved by this Comprehensive Sign Program is prohibited.
3. A building permit and/or sign permit shall be obtained prior to commencement of installation or demolition of signs.
4. A copy of this letter shall be incorporated into the plan check sets of plans prior to issuance of building or sign permits.
5. Illuminated signs shall be regulated in accordance with the provisions of Section 20.42.070 of the Newport Beach Municipal Code. If, in the opinion of the Community Development Director, existing illumination creates an unacceptable negative impact on surrounding land uses or sensitive habitat areas the Director may order the dimming of light sources or other remediation upon finding that the site is excessively illuminated.
6. Signs shall be maintained in a clean and orderly condition.
7. The landscape hedge around the base of the ground signs shall be maintained in a neat, healthy growing condition and shall receive regular pruning, fertilizing, and trimming to maintain that appearance.
8. The Community Development Director may approve revisions to the Comprehensive Sign Program if the intent of the original approval is not affected. Revisions that would substantially deviate from the original approval shall require approval of a new/revised comprehensive sign program by the Zoning Administrator.
9. Any future revisions or changes to the signs approved by this Comprehensive Sign Program due to a change in the use or tenants of the building shall be reviewed and approved by the Planning Division, so long as the sign size, copy configuration, and number of signs authorized by this approval does not substantially change or increase. The mandatory reduction or elimination of signs shall be exercised as necessary.
10. The Zoning Administrator may add to or modify conditions of this approval, or revoke this approval upon a determination that any sign that is authorized by this approval has been altered beyond the parameters of the authorization and therefore beyond the justification.

11. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20, Planning and Zoning, of the Newport Beach Municipal Code.
12. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Jaguar Land Rover Service Center Sign Program including, but not limited to, Comprehensive Sign Program No. CS2019-009 (PA2019-135). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD

An appeal or call for review may be filed with the Director of Community Development within 14 days following the date of action. For additional information on filing an appeal, contact the Planning Division at (949) 644-3200.

On behalf of Jim Campbell, Zoning Administrator

By:



James Campbell, Zoning Administrator

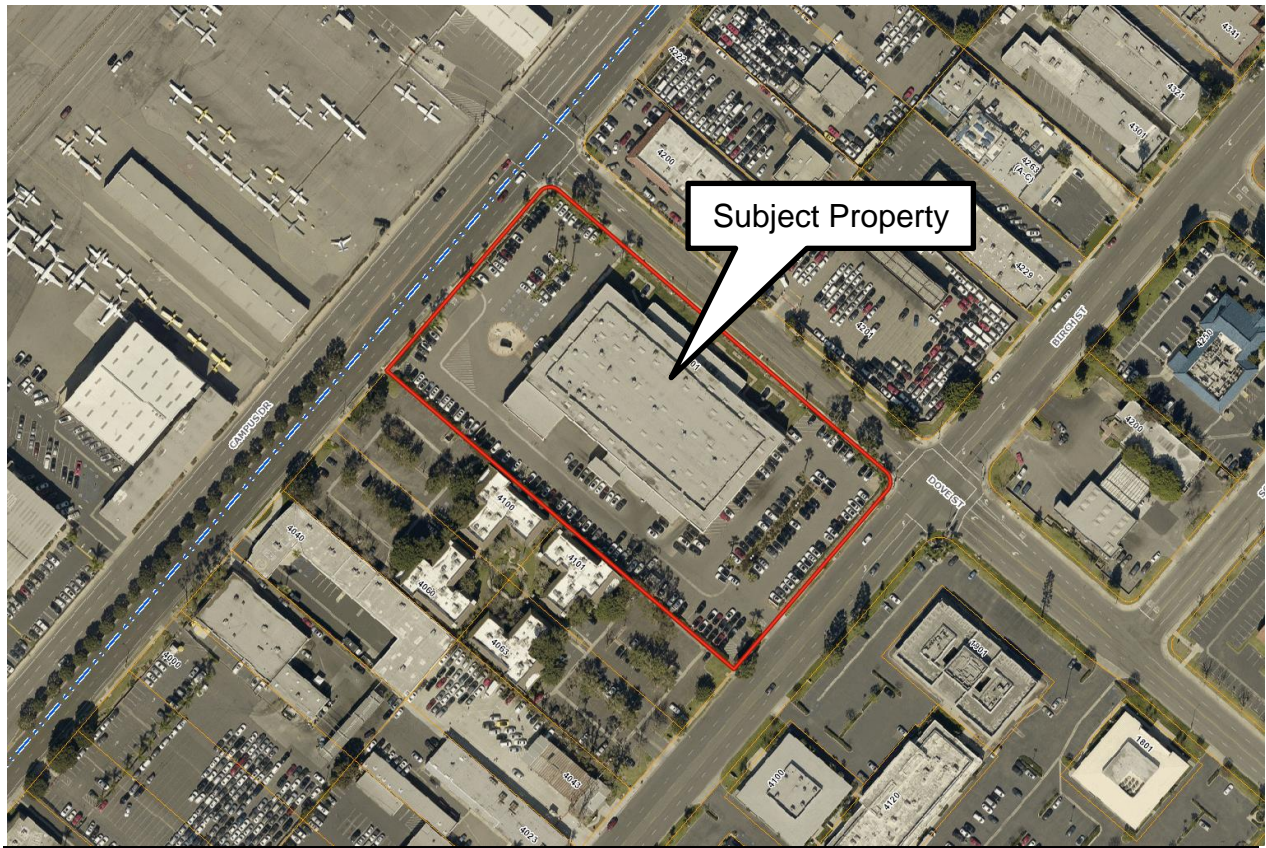
JM/dl

Attachments: ZA 1 Vicinity Map
 ZA 2 Comprehensive Sign Program Matrix
 ZA 3 Project Plans

Attachment No. ZA 1

Vicinity Map

VICINITY MAP



Comprehensive Sign Program No. CS2019-009
PA2019-135

2101 Dove Street

Attachment No. ZA 2

Comprehensive Sign Program Matrix

Exhibit "B"

Sign Program Matrix

NORTHWEST ELEVATION (CAMPUS DRIVE) <i>Primary Frontage</i>	
<i>Wall Sign Limitations</i> <i>Maximum number: Three</i> <u>Sign 1:</u> Logo and Letter <i>Maximum Logos: Two</i> <i>Area: 77 sq. ft.</i> <i>Placement: Limited per plans</i> <i>Maximum Letter / Logo Height: 42 inches</i> <u>Sign 2:</u> <i>Maximum Vertical Dimension: 7 feet 3 inches</i> <i>Area: 66 sq. ft.</i> <i>Placement: Above entry door</i> <i>Maximum Letter / Logo Height: 36 inches</i> <u>Sign 3:</u> <i>Maximum Vertical Dimension, Letter only: 12 inches</i> <i>Area: 6 sq. ft.</i> <i>Placement: On Service Canopy</i>	<i>Freestanding Sign Limitations</i> <i>Maximum number: Two</i> <u>Sign 4 (Monument):</u> <i>Maximum Sign Height: 7 feet 2 inches</i> <i>Maximum Sign Width: 3 feet 6 inches</i> <i>Maximum Sign Area: 14 sq. ft.</i> <u>Sign 5 (Monument):</u> <i>Maximum Sign Height: 4 feet</i> <i>Maximum Sign Width: 15 feet 5 inches</i> <i>Maximum Sign Area: 30 sq. ft.</i>

Notes / Requirements

- Requirements for all signs per Municipal Code Chapter 20.42, except as provided in this sign matrix
- Sign area is the area measured by two perpendicular sets of parallel lines that surround the proposed logo and sign copy. All signs shall substantially conform to the approved attached sign matrix.
- Pursuant to Section 20.42.120.F of the Zoning Code, the Community Development Director may approve minor revisions to this approval if the intent of the original approval is not affected.

Attachment No. ZA 3

Project Plans



Site Plan

Scale: 1" = 50'

Scope of Work

- 1 - Logos & Letters on Backer (76.83 SF)
- 2 - Logos & Letters (65.58 SF)
- 3 - Service Letters (5.8 SF)
- 4 - S/F Non-Illum. Informational (13.22 SF)
- 5 - D/F Illuminated Monument (29.64 SF)
- 6 - S/F Non-Illum. Informational (0.93 SF)

NOTE: For freestanding signs located in landscaped areas, landscaping with irrigation shall be provided at the base of the support structure equal to twice the area of one face of the sign or seventy-five (75) square feet, whichever is greater.



1290 Monterey Pass Road,
Monterey Park, CA 91754
Phone: 818.566.1850
Fax: 818.566.1821
www.megahertzsign.com

Jaguar Newport Beach

Location:
2101 Dove St.
Newport Beach, CA 92660

Date: 05/03/19

Salesperson: Rob Clark

Coordinator:

Designer:

Scale: As Noted

Revisions

- 1 Revised 07-26-19 CAO
- 2 Revised 08-01-19 CAO
- 3 Revised 08-08-19 CAO
- 4 Revised 08-15-19 CAO
- 5 Revised 09-04-19 CAO
- 6 Revised 10-18-19 CAO
- 7 Revised 10-28-19 CAO
- 8 Revised 11-05-19 CAO

CUSTOMER APPROVAL

Customer Signature _____ Date _____
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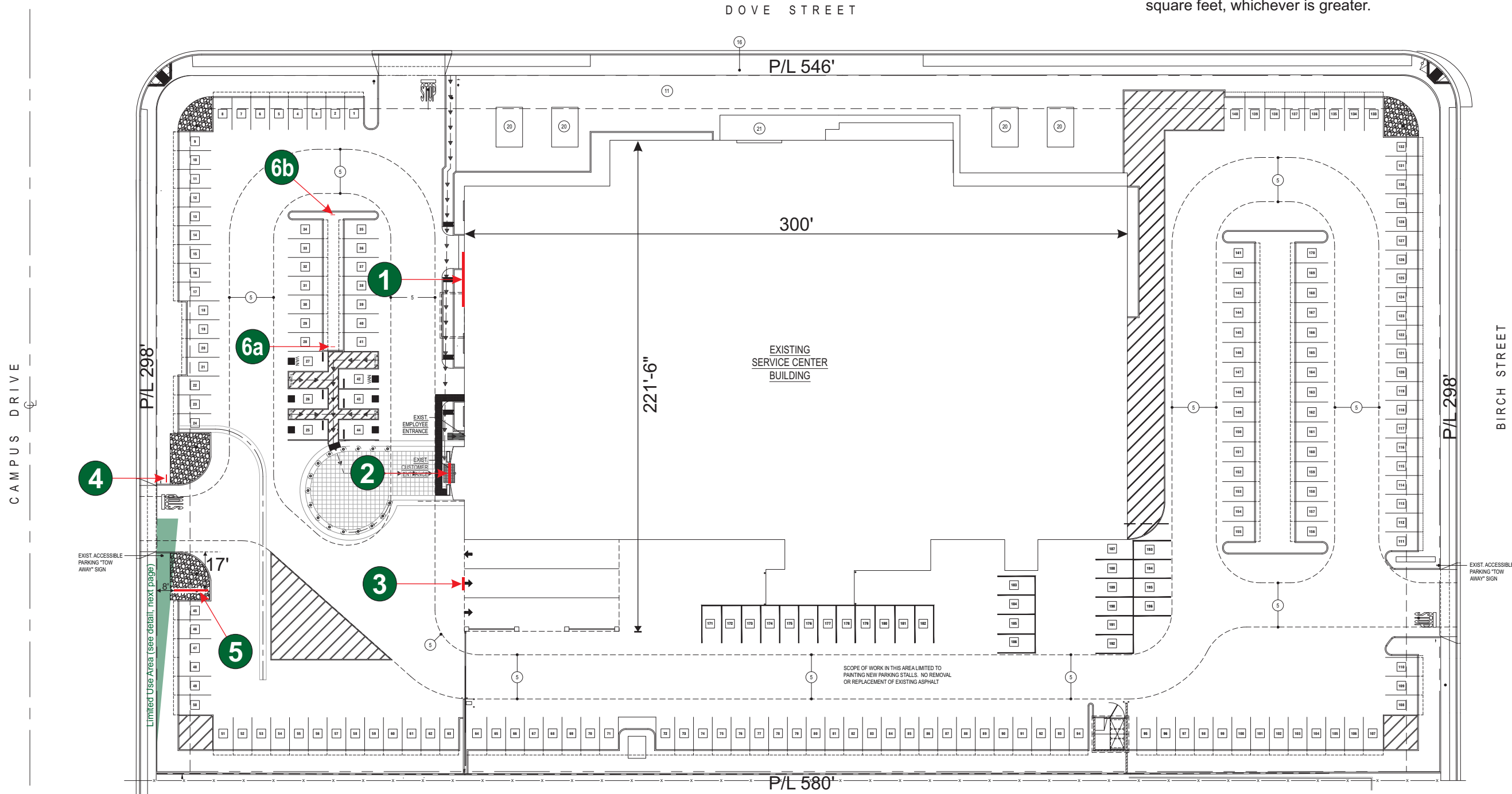


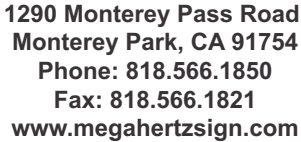
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AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER
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Drawing Number: 00-00000

Work Order Number: 00000

Sheet: 1 Of: 7





Jaguar Newport Beach
Location:
2101 Dove St.
Newport Beach, CA 92660

Date: 05/03/19

Salesperson: Rob Clark

Coordinator:

Designer:

Scale: As Noted

Revisions

5 Revised 09-04-19 CAO

6 Revised 10-18-19 CAO

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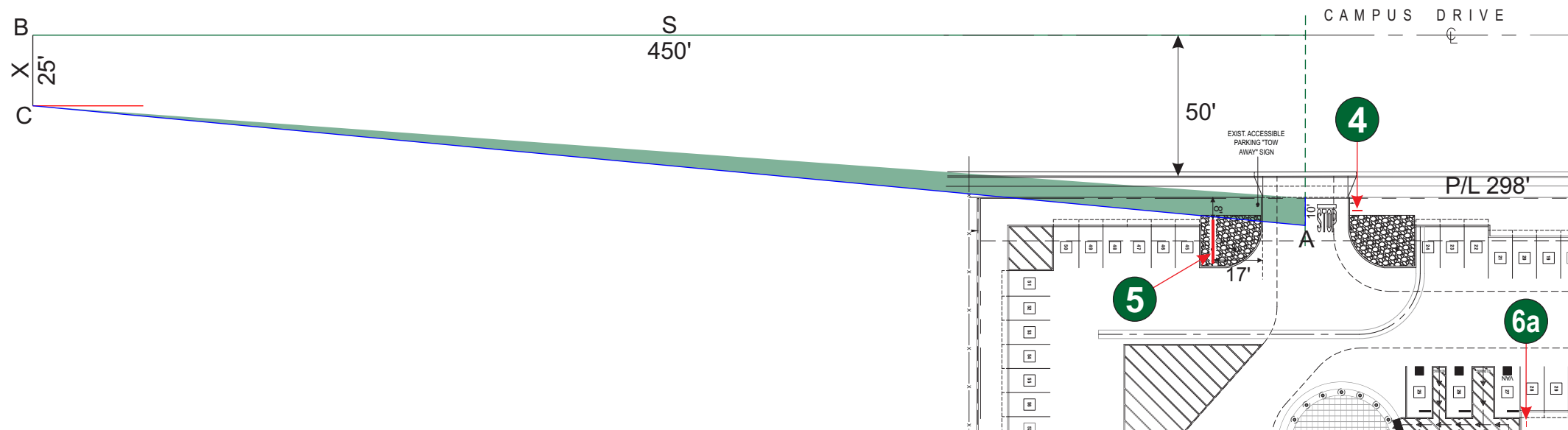


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Drawing Number: 00-00000

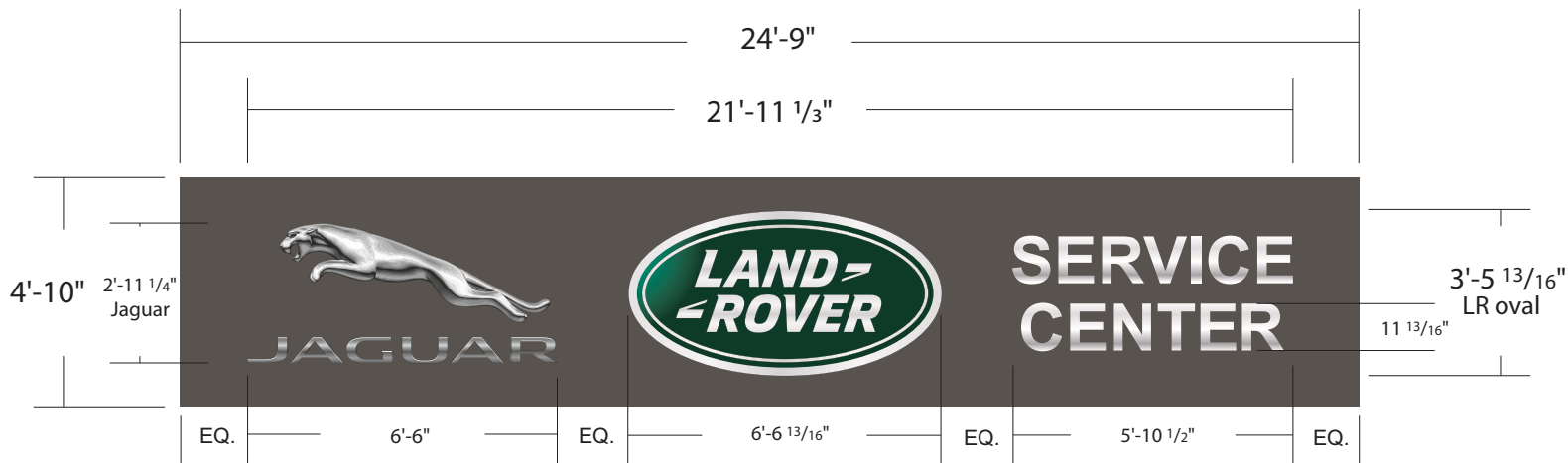
Work Order Number: 00000

Sheet: 2 Of: 7



Site Plan Detail

Scale: 1" = 50'



Scale: 1/4" = 1'-0"
76.83 SQ.FT.

Sign #1 - Custom Wall Sign

Specifications:

Illuminated Facility Service Signage

Sunshine Gray Backer Panel
Molded Logos: JV7 LV8
White Internal LED Illumination

Colors:

All Exposed Metal Finished Sunshine Gray

SERVICE Letters Faced with
Silver Mirror vinyl 3M 7755-420



Scale: 3/4" = 1'-0"
5.8 SQ.FT.

Sign #3 - ADL-300

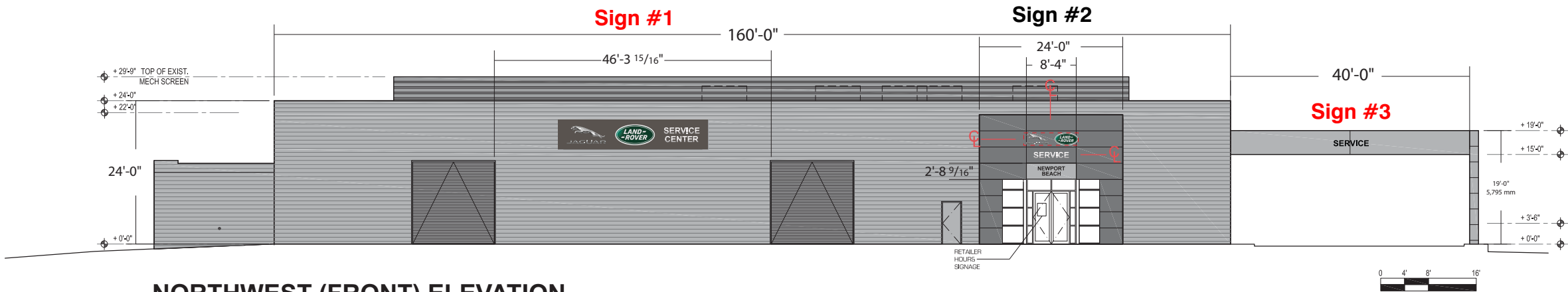
Specifications:

Halo-Lit Individual Letters

Built Up Acrylic Letters
Gloss Black Faces with Opal Acrylic Returns
White Halo LED Illumination

Colors:

Black Acrylic Faces
Opal Acrylic Returns



NORTHWEST (FRONT) ELEVATION

Scale: 3/64" = 1'-0"



1290 Monterey Pass Road,
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Phone: 818.566.1850
Fax: 818.566.1821
www.megahertzsign.com

Jaguar Newport Beach

Location:
2101 Dove St.
Newport Beach, CA 92660

Date: 05/03/19
Salesperson: Rob Clark
Coordinator: _____
Designer: _____
Scale: As Noted

Revisions

2 Revised 08-01-19 CAO
3 Revised 08-08-19 CAO

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COPY, COLORS & SIZES

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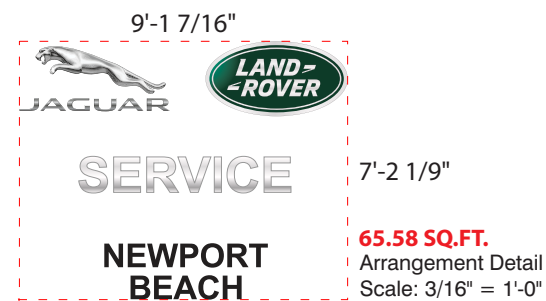
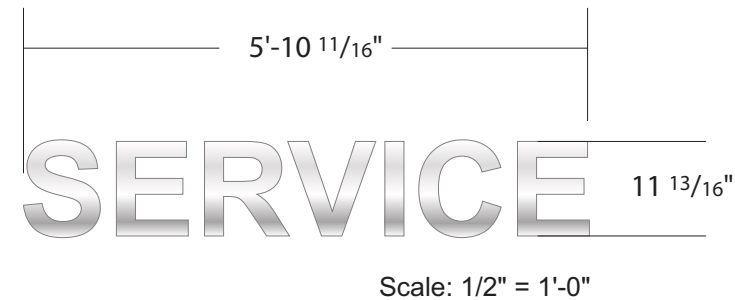
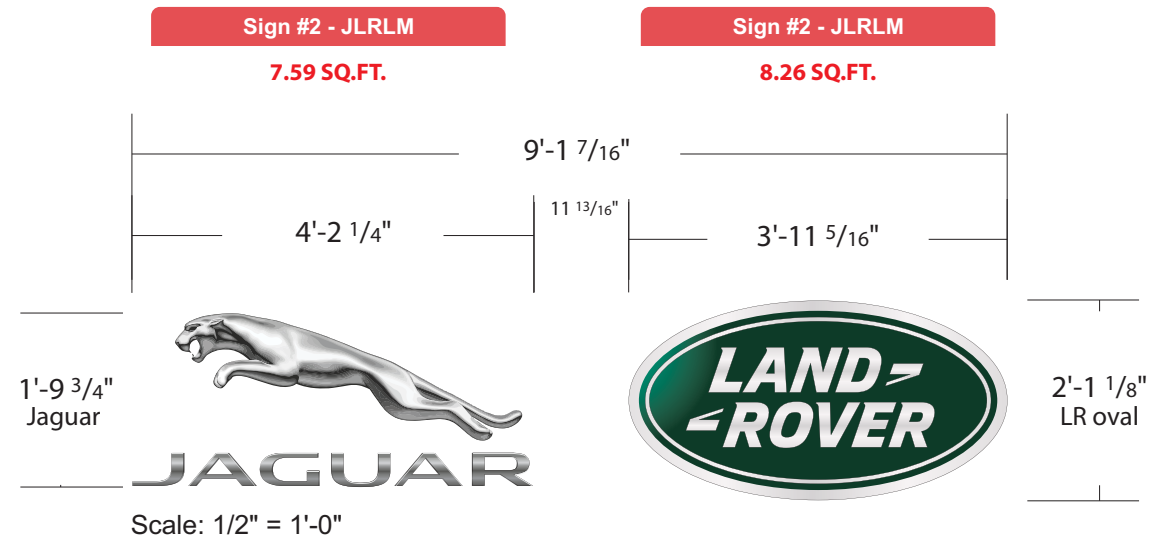
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Work Order Number: 00000
Sheet: 3 Of: 7



Custom Entrance Signage

Specifications:

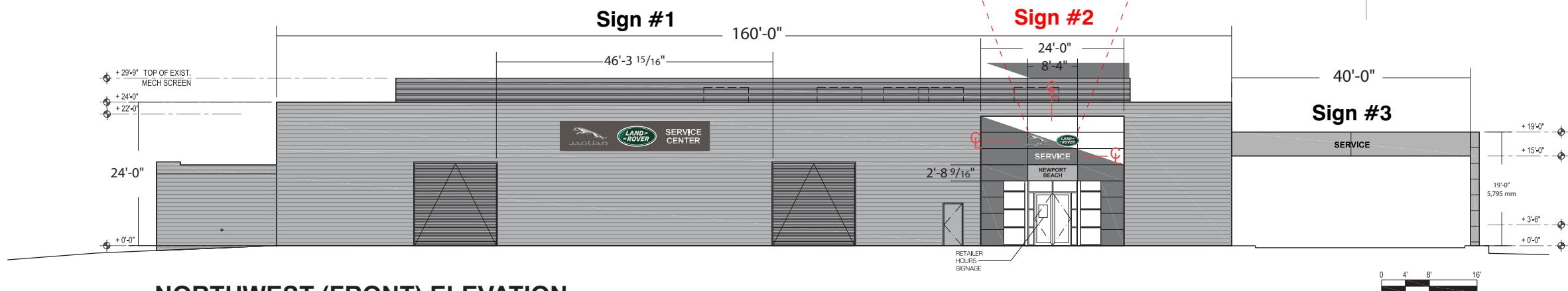
Halo-Lit Facility Entrance Signage

JAGUAR: JV4
Molded Chrome Leaper & Letters
White LED Halo Illumination

LAND ROVER OVAL: LV4
Molded Land Rover Ellipse
Decorated to Corporate Colours
White LED Halo Illumination

SERVICE LETTERS
Faces - Stainless Steel, mirror polished
Returns - Stainless Steel, painted RAL 9016
Letters Backs - Opal Acrylic
White LED Halo Illumination

DEALER NAME LETTERS
Built-Up Acrylic Letters
Gloss Black Faces with Opal Acrylic Returns
White LED Halo Illumination



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Revisions

- 2 Revised 08-01-19 CAO
3 Revised 08-08-19 CAO

CUSTOMER APPROVAL

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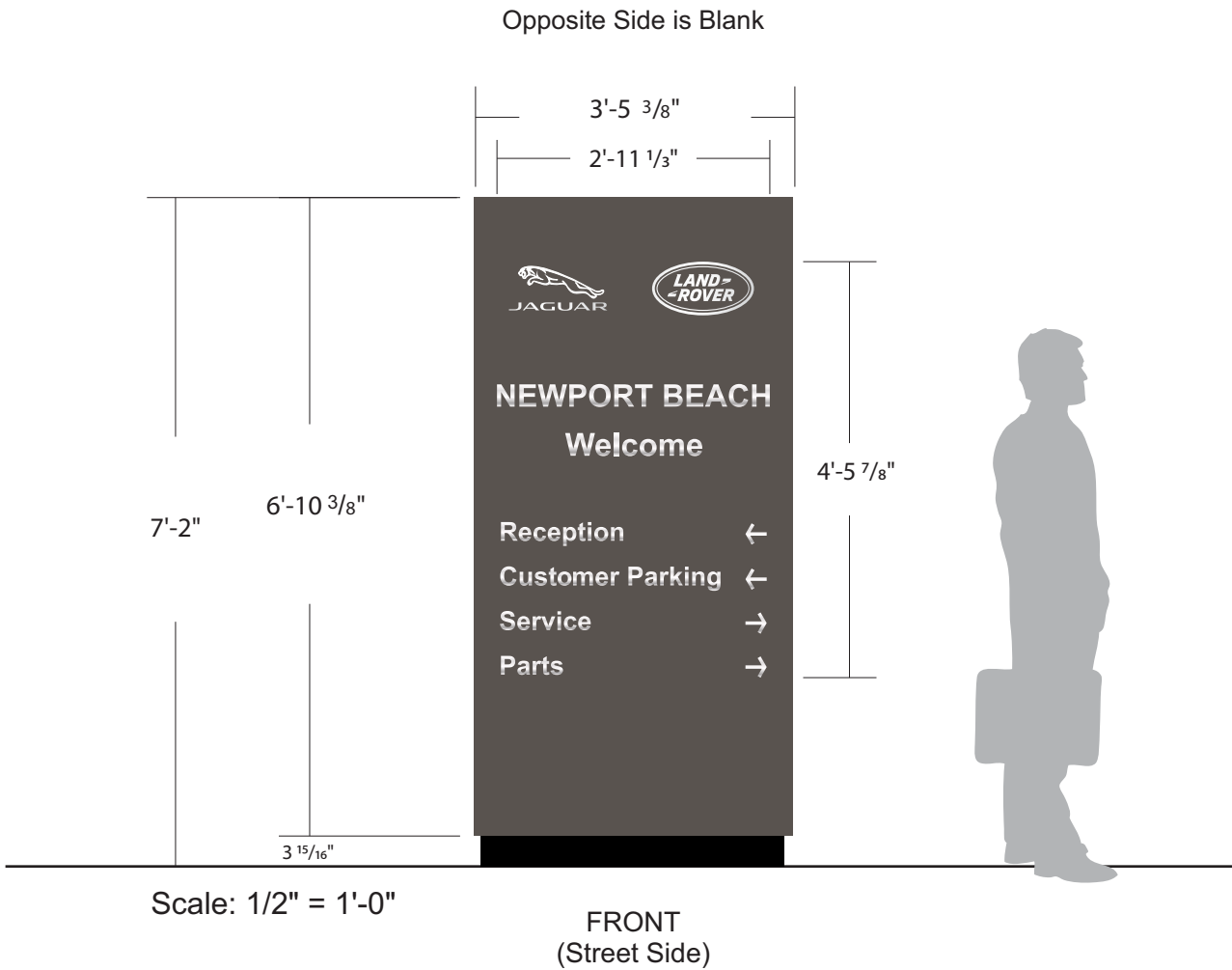


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Sign #4 - AWS-D1

13.22 SQ.FT.

Specifications:

S/F Non-Illuminated Informational

- S/F Non-Illuminated Informational Pylon
- 3mm Thick Aluminum Composite Panels
- Finished Sunshine Gray
- Silver Graphics



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4	Revised 08-15-19	CAO
6	Revised 10-18-19	CAO

CUSTOMER APPROVAL

Customer Signature _____ Date _____
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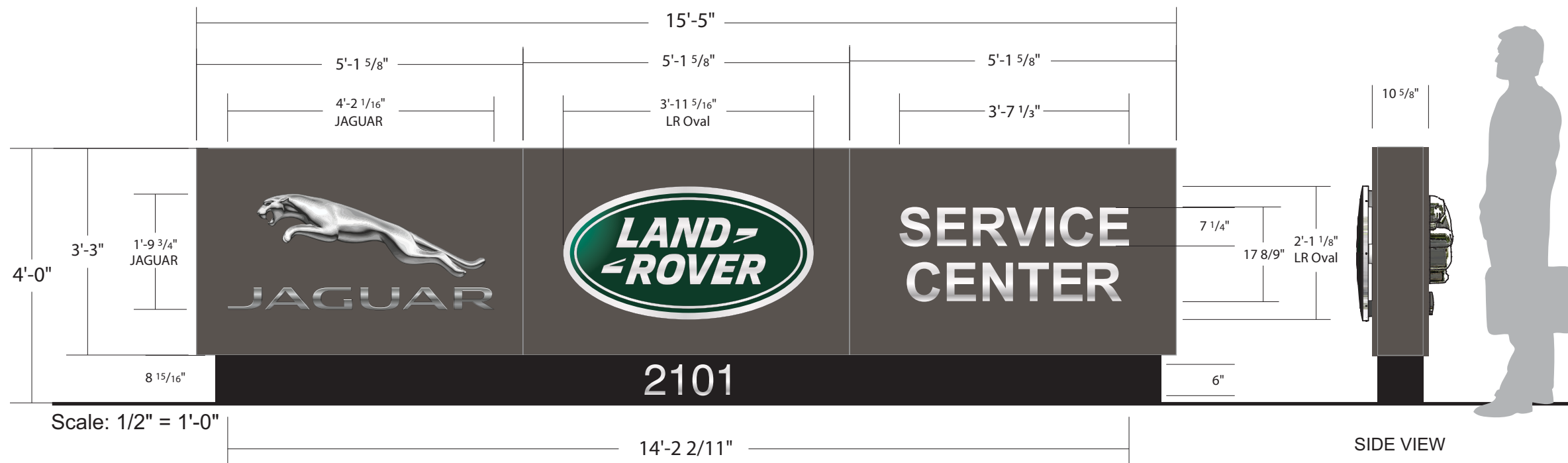
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Drawing Number: 00-00000
Work Order Number: 00000
Sheet: 5 Of: 7



Sign #5 - Custom ID

29.64 SQ.FT.

Specifications:

D/F Custom Dual Brand Service Monument

- Note: No Visible Fixings
- Internally Illuminated with White LEDs
 - 3mm Thick Aluminum Composite Panels Finished Sunshine Gray
 - Molded Logos: JV4 - LV4
 - SERVICE CENTER - Push-Thru Opal Acrylic Letters Faced with Silver Mirror vinyl 3M 7755-420
 - Satin Silver Anodized Aluminum Edging & Trim
 - Black ABS Skirt
 - Address Numerals: 1/4" FCO Acrylic faced with Silver Mirror vinyl 3M 7755-420

Colors:

All Exposed Metal Finished Sunshine Gray

SERVICE CENTER Letters Faced with Silver Mirror vinyl 3M 7755-420



1290 Monterey Pass Road,
Monterey Park, CA 91754
Phone: 818.566.1850
Fax: 818.566.1821
www.megahertzsign.com

Jaguar Newport Beach

Location:
2101 Dove St.
Newport Beach, CA 92660

Date: 05/03/19

Salesperson: Rob Clark

Coordinator:

Designer:

Scale: As Noted

Revisions

1 Revised 07-26-19 CAO

2 Revised 08-01-19 CAO

3 Revised 08-08-19 CAO

8 Revised 11-05-19 CAO

CUSTOMER APPROVAL

Customer Signature _____ Date _____
COPY, COLORS & SIZES

MegaHertz Electric & Signs does NOT
provide primary electrical to sign location-
RESPONSIBILITY OF OTHERS!

Customer Signature _____ Date _____

This design is the exclusive property of MegaHertz
Electric & Signs and cannot be reproduced in
whole or in part, without their prior written approval.

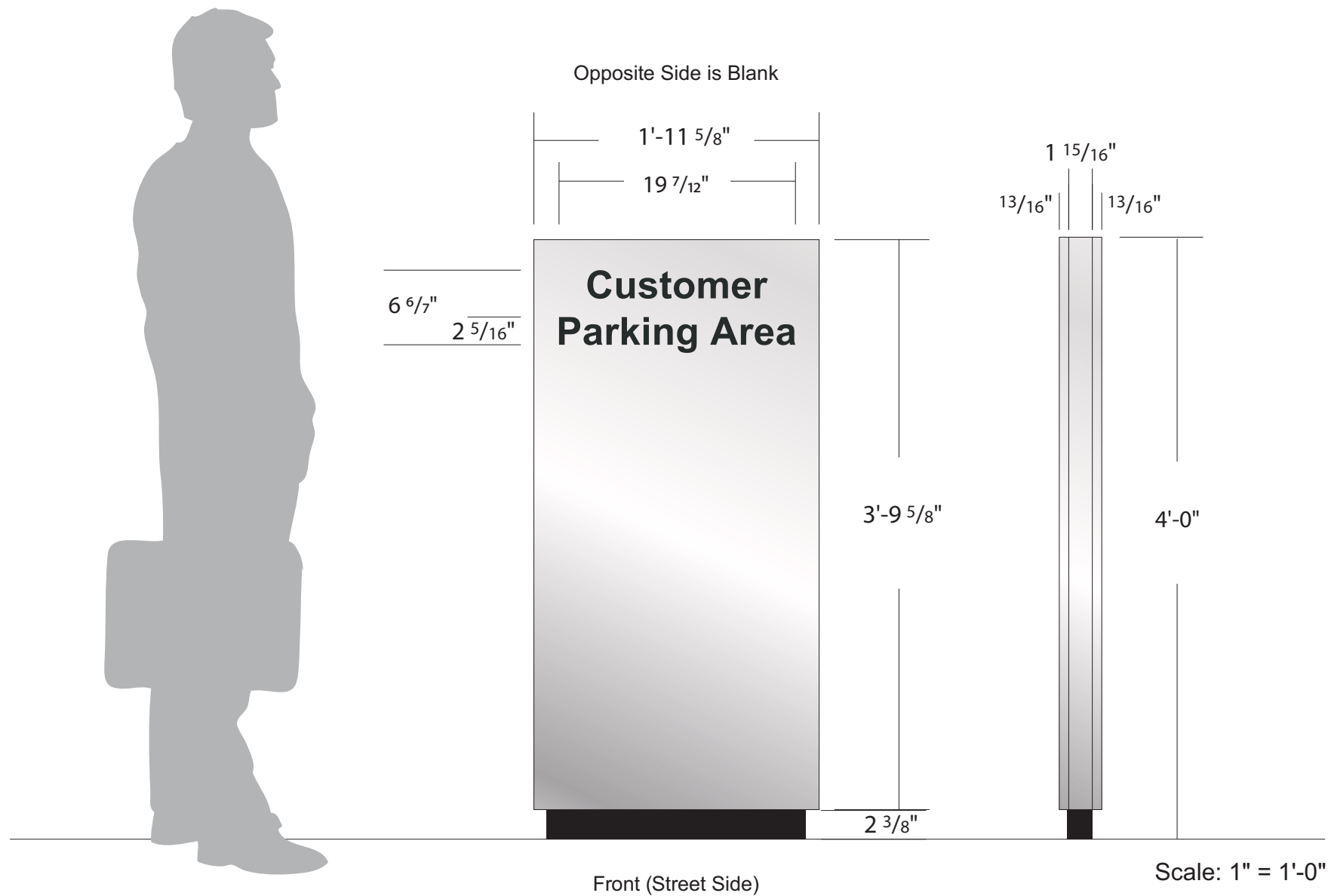


THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE
REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE
AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER
GROUNDING AND BONDING OF THE SIGN.

Drawing Number: 00-00000

Work Order Number: 00000

Sheet: 6 Of: 7



Sign #6 - ATDF1200

0.93 SQ.FT.

Specifications:

S/F Non-Illuminated Informational

- Silver RAL 9006 Aluminum Composite Material
- Satin Black Vinyl Copy

Quantity: Two (2)



1290 Monterey Pass Road,
Monterey Park, CA 91754
Phone: 818.566.1850
Fax: 818.566.1821
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Jaguar Newport Beach

Location:
2101 Dove St.
Newport Beach, CA 92660

Date: 05/03/19
Salesperson: Rob Clark
Coordinator: _____
Designer: _____
Scale: As Noted

Revisions

- | | | |
|---|------------------|-----|
| 2 | Revised 08-01-19 | CAO |
| 3 | Revised 08-08-19 | CAO |
| 4 | Revised 08-15-19 | CAO |
| 6 | Revised 10-18-19 | CAO |

CUSTOMER APPROVAL

Customer Signature _____ Date _____
COPY, COLORS & SIZES

MegaHertz Electric & Signs does NOT
provide primary electrical to sign location-
RESPONSIBILITY OF OTHERS!

Customer Signature _____ Date _____

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GROUNDING AND BONDING OF THE SIGN.

Drawing Number: 00-00000

Work Order Number: 00000

Sheet: 7 Of: 7



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915

949-644-3200 Fax: 949-644-3229

www.newportbeachca.gov

ZONING ADMINISTRATOR ACTION LETTER

Application No. **Vue Newport Sign Program (PA2019-165)**
 • **Comprehensive Sign Program No. CS2019-010**

Applicant **Bird Development Group**

Site Address **2210 – 2300 Newport Boulevard**

Legal Description **Lot 1, Tract 16594**

On **November 22, 2019**, the Zoning Administrator approved Comprehensive Sign Program No. CS2019-010 for an eight-building, mixed-use property known as Vue Newport in accordance with the provisions of Chapter 20.42 (Sign Standards) of the Newport Beach Municipal Code. The intent is to integrate all of the project's signs, including project identification signs, with the overall site design. This sign program amends and replaces Comprehensive Sign Program No. CS2017-009.

A Comprehensive Sign Program is required for a multi-tenant development when three or more tenant spaces are created or proposed on the same lot and to allow the following deviations from Zoning Code:

Previously Approved Pursuant to CS2017-009

1. One multi-tenant wall sign 88 square feet in area where the Zoning Code allows a maximum size of 75 square feet. Sign Type S8 as referenced on the Comprehensive Sign Program Matrix (Attachment No. ZA 2) and Project Plans (Attachment No. ZA 4) is approved with this deviation.
2. One free-standing archway sign where the Zoning Code does not specifically permit nor prohibit this sign type. Sign Type S1 as referenced on the Comprehensive Sign Program Matrix (Attachment No. ZA 2) and Project Plans (Attachment No. ZA 4) is approved with this sign type.
3. Five (5) directory signs 10 square feet each in area where the Zoning Code allows a maximum size of 8 square feet for this sign type. Sign Type S2 as referenced on the Comprehensive Sign Program Matrix (Attachment No. ZA 2) and Project Plans (Attachment No. ZA 4) are approved with this deviation.

4. There may be tenant identification signs located on adjacent walls on the same building separated by a distance of less than thirty (30) feet where the Zoning Code requires a minimum separation of thirty (30) feet measured along the exterior walls of the building. Sign Types O1 and R1 as referenced on the Comprehensive Sign Program Matrix (Attachment No. ZA 2) and Project Plans (Attachment No. ZA 4) are approved with this deviation.

Amendments Approved Pursuant to CS2019-010

5. Specific locations identified in the previous comprehensive sign programs as office tenant frontages have been revised. The new locations for Sign Type O1 (Office Tenant ID) are consistent with the previously approved deviation of less than thirty (30) feet of separation between signs located on the same building but on adjacent walls. No changes are proposed to the number of signs allowed per office tenant and no changes are proposed to the total number of locations for Sign Type O1. The Comprehensive Sign Program authorizes up to twelve (12) locations for Sign Type O1.
6. An increase in letter height from 24 feet to 36 feet for Sign Types R1 and O1 (Retail Tenant ID and Office Tenant ID) where Comprehensive Sign Program No. CS2017-009 limited letter height to 24 feet. The Zoning Code allows the maximum height of any letter, text, logo, or symbol to be thirty-six (36) inches. The maximum sign area for Sign Types R1 and O1 remains unchanged. The Comprehensive Sign Program authorizes up to twelve (12) locations for Sign Type O1 and twenty-one (21) locations for Sign Type R1.
7. An increase in maximum sign width from four (4) feet to eight (8) feet for Sign Type O1 and from five (5) feet to ten (10) feet for Sign Type R1. Comprehensive Sign Program No. CS2017-009 limited maximum sign width to 4 feet and 5 feet respectively and the Zoning Code does not limit sign width. This amendment is intended to allow for design flexibility. The maximum sign area for Sign Types R1 and O1 remains unchanged.

This approval is based on the following findings and subject to the following conditions.

ZONING DISTRICT/GENERAL PLAN

- **Zone:** MU-W2 (Mixed Use Water)
- **General Plan:** MU-W2 (Mixed Use Water)

FINDINGS AND STANDARDS FOR APPROVED SIGNS

- A. *The project is exempt from environmental review under the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15311 Class 11 (Accessory Structures).*

Facts in Support of Finding:

1. Class 11 exempts minor structures accessory to existing commercial facilities, including signs. The proposed signs are incidental and accessory to the principal commercial use of the property and do not intensify or alter the use.

Standard:

- B. The proposed sign program shall comply with the purpose and intent of this Chapter [Chapter 20.42], any adopted sign design guidelines, and the overall purpose and intent of this Section [Section 20.42.120 – Comprehensive Sign Program].*

Facts in Support of Standard:

1. A Comprehensive Sign Program is required to deviate from development standards including sign area.
2. The proposed Comprehensive Sign Program complies with the purpose and intent of Newport Beach Municipal Code Chapter 20.42 (Sign Standards) because it provides the multi-tenant property with adequate identification while guarding against excessive proliferation of signage by requiring that signs be in substantial conformance with approved plans, which include no deviations in the number of signs permitted by the Zoning Code, and a minor deviation in the size of three sign types. It preserves and enhances community appearance by regulating the type, size, location, quantity, and illumination of signs through conditions of approval and conformance with approved plans, which ensure that the signs are compatible with surrounding uses. Through said regulations, the Comprehensive Sign Program will enhance the safety of motorists and pedestrians by minimizing the distraction of signs as well as to protect the life, health, property, and general welfare of residents and visitors by providing clear direction regarding parking and circulation for the development.
3. The purpose of a comprehensive sign program is to integrate all of a project's signs into a unified plan. A comprehensive sign program provides a means for the flexible application of sign regulations for projects that require multiple signs in order to provide incentive and latitude in the design and display of signs, and to achieve, not circumvent, the purpose of Chapter 20.42. This approval integrates all of the signs for the subject property while meeting the purpose and intent of Chapter 20.42 by providing adequate and appropriate tenant and site identification similar in design style while limiting the number of signs to that which is permitted in the Zoning Code. Flexibility is allowed regarding location of signs within thirty (30) feet of another sign on an adjacent wall of the same building, area of directory signs, and area of multi-tenant wall signs. These deviations are applied consistently on the property to allow each tenant to have a wall sign centered on their frontage and to allow adequate way-finding around the new development as well as to allow businesses without frontage on Newport Boulevard some visibility to vehicular traffic.

4. Approval of this Comprehensive Sign Program includes a deviation that allows directory signs to be up to 10 square feet in area where the Zoning Code allows a maximum size of 8 square feet. This deviation is appropriate for this location due to the nature of a multi-tenant mixed-use project and allows business patrons and suppliers to efficiently navigate the development.
5. Approval of this Comprehensive Sign Program includes deviations to the location of wall signs and the size of directory signs, which achieves a unified design theme that is integrated with the overall site design of the property. Deviations are applied consistently across the property to ensure that each tenant is adequately identified and visitors are able to navigate the development easily.
6. Approval of this Comprehensive Sign Program includes a deviation that allows multi-tenant wall signs to be up to 88 square feet in area where the Zoning Code allows a maximum size of 75 square feet. This deviation is appropriate for this location due to the nature of a multi-tenant mixed-use project with some commercial tenants lacking frontage on Newport Boulevard. This multi-tenant sign will allow these tenants to be more easily identified from Newport Boulevard.
7. Approval of this Comprehensive Sign Program includes a deviation that allows a freestanding archway sign, which is neither permitted nor prohibited in the Zoning Code. This deviation is appropriate for this location because it allows a multi-tenant freestanding sign on the property while allowing for a view easement.
8. The Comprehensive Sign Program is consistent with the Citywide Sign Design Guidelines Manual because the proposed signs are designed to be compatible with and complement the new development.
9. All signs are designed to effectively communicate a commercial message without creating sign clutter through the use of legible text. The sizes of the signs do not dominate the façade on which they are placed because all signs, with the exception of five 10-square-foot directory signs and one 88-square-foot multi-tenant sign, comply with the Zoning Code requirements regarding size. Additionally, signs are appropriately located to identify the buildings and/or tenants to pedestrians and visitors of the development.

Standard:

- C. *The proposed signs shall enhance the overall development, be in harmony with, and relate visually to the other signs included in the Comprehensive Sign Program, to the structures and/or developments they identify, and to surrounding development where applicable.*

Facts in Support of Standard:

1. The property is developed with a multi-tenant mixed-use development and is accessible from Newport Boulevard and Newport Harbor. Tenant wall signs are

designed to identify each tenant throughout the property. Site identification wall signs and directory signs will identify the development and tenants to pedestrians and cars traveling on Newport Boulevard. All signs, with the exception of directory signs and the multi-tenant wall sign, comply with the maximum size allowable for each sign type per the Zoning Code.

2. The proposed signs are necessary and adequate to ensure customers and suppliers can find individual tenants within the mixed-use development.
3. All wall signs relate visually to one another because they contain consistency in location, area, thickness, illumination, and materials.
4. The proposed freestanding and projecting signs are appropriately placed to not obstruct public views or interfere with sight distance from any street, driveway, or parking areas. The plans have been reviewed by the Public Works Department.

Standard:

- D. The sign program shall address all signs, including permanent, temporary, and exempt signs.*

Fact in Support of Standard:

1. The proposed Comprehensive Sign Program addresses all project signage. Temporary and exempt signs not specifically addressed in the sign program shall be regulated by the provisions of Chapter 20.42 (Sign Standards) of the Zoning Code.

Standard:

- E. The sign program shall accommodate future revisions that may be required because of changes in use or tenants.*

Facts in Support of Standard:

1. The Comprehensive Sign Program has been designed to be effective for the commercial tenants that occupy the properties by providing sign opportunities for proper identification.
2. The Comprehensive Sign Program establishes allowed type, number, location, and area of signage with design flexibility to accommodate any existing and future tenants.
3. It is not anticipated that future revisions to the Comprehensive Sign Program will be necessary to accommodate a change in tenant or use. However, the Community Development Director may approve minor revisions to the

Comprehensive Sign Program if the intent of the original approval is not affected.
This amendment

Standard:

- F. The sign program shall comply with the standards of this Chapter [Chapter 20.42], except that deviations are allowed with regard to sign area, total number, location, and/or height of signs to the extent that the Comprehensive Sign Program will enhance the overall development and will more fully accomplish the purposes and intent of this Chapter [Chapter 20.42].*

Facts in Support of Standard:

1. The Comprehensive Sign Program allows for deviations regarding the location, type and size of signs. The approval conforms to all other standards of Zoning Code Chapter 20.42, and enhances the overall development by integrating all of the project's signs with the overall site and structure design into a unified statement. Signs are similar in design to one another and are designed to complement the building facades.
2. There is reasonable need for directory signs (Sign Type S2) to be 10 square feet to allow for adequate navigation around the new development and direct customers to establishments not easily visible from Newport Boulevard.
3. There is reasonable need for the tenant wall sign (Sign Type S8) to be 88 square feet to allow for adequate identification of tenants within the development that are not easily visible from Newport Boulevard.
4. There is reasonable need for the freestanding (Sign Type S1) to be an archway sign due to the view easement on the property. The sign type allows for adequate project and tenant identification without obstructing views.
5. There is reasonable need for some tenant wall signs (Sign Types O1 and R1) to be located within thirty (30) feet of another sign on an adjacent wall of the same building to allow all tenants to have one wall sign per frontage that is centered on the tenant frontage. This deviation in separation allows tenant wall signs to be located in the middle fifty (50) percent of the tenant frontage.

Standard:

- G. The approval of a Comprehensive Sign Program shall not authorize the use of signs prohibited by this Chapter [Chapter 20.42].*

Fact in Support of Standard:

1. The Comprehensive Sign Program does not authorize the use of prohibited signs.

Standard:

H. Review and approval of a Comprehensive Sign Program shall not consider the signs' proposed message content.

Fact in Support of Standard:

1. The Comprehensive Sign Program contains no regulations affecting sign message content.

CONDITIONS

1. Comprehensive Sign Program No. CS2017-009 shall become null and void upon implementation of Comprehensive Sign Program No. CS2019-010.
2. Approval from the California Coastal Commission is required prior to construction of any sign in the view easement.
3. All proposed signs shall be in substantial conformance with the approved plans, Comprehensive Sign Program Matrix Table, and provisions of Chapter 20.42 of the Newport Beach Municipal Code, unless otherwise indicated in the following conditions.
4. Anything not specifically approved by the Comprehensive Sign Program is prohibited.
5. There shall be no halo-lit signs at or above the second floor.
6. A building permit and/or sign permit shall be obtained prior to the installation of signs.
7. A copy of this letter shall be incorporated into the plan check sets prior to issuance of building or sign permits.
8. Illuminated signs shall be regulated in accordance with the provisions of Section 20.42.070 of the Newport Beach Municipal Code. If, in the opinion of the Community Development Director, existing illumination creates an unacceptable negative impact on the surrounding land uses or sensitive habitat areas, the Director may order the dimming of light sources or other remediation upon finding that the site is excessively illuminated.
9. Signs shall be maintained in a clean and orderly condition.
10. Any future revisions or changes to the signs approved by this Comprehensive Sign Program due to a change in the use or tenants of the building shall be reviewed and approved by the Planning Division, so long as the sign size, copy configuration, and number of signs authorized by this approval does not substantially change or increase. The mandatory reduction or elimination of signs shall be exercised as necessary. Revisions that would substantially deviate from the original approval shall require approval of a new or revised comprehensive sign program by the Zoning Administrator.

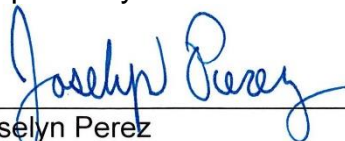
11. The Zoning Administrator may add to or modify conditions of approval, or revoke this approval upon determination that any sign that is authorized by this approval has been altered beyond the parameters of the authorization and therefore beyond the justification.
12. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions in Title 20, Planning and Zoning, of the Newport Beach Municipal Code.
13. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Vue Newport Sign Program including, but not limited to, the CS2019-010 (PA2019-165). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD

An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

On behalf of James Campbell, Zoning Administrator

Prepared by:



Joselyn Perez
Planning Technician

Approved by:



Jim Campbell
Deputy Community Development Director

Attachments: ZA 1 Vicinity Map
 ZA 2 Comprehensive Sign Program Matrix
 ZA 3 View Easement Exhibit
 ZA 4 Project Plans

Attachment No. ZA 1

Vicinity Map

VICINITY MAP



Comprehensive Sign Program No. CS2019-010
PA2019-165

2210 – 2300 Newport Boulevard

Attachment No. ZA 2

Comprehensive Sign Program Matrix

Vue Newport Comprehensive Sign Program Matrix
As Amended by CS2019-010 (PA2019-165)

Sign Number (As Referenced on Plans)	Maximum Quantity	Sign Type	Location	Maximum Sign Area (Square Feet)
G1	2	Parking Entry Sign	Building	30
G2	3	Parking Entry Sign	Building	20.5
S1	2	Retail Tenant Monument	Ground	See plans
S2 ²	5	Directory	Building	10
S3	1 Per Tenant	Tenant Blade Sign	Building	6
S5	2	Large Project Identification	Building	31.3
S7	3	Retail Directional Sign	Building	30
S8 ²	1	Upper Wall Retail Directory	Building	88
S9	1 Per Building	Address Sign	Building	10
S10	4	Small Project Identification	Building	4
S11	2	Parking Blade Sign	Building	9
S12	1	Parking Sign	Building	12
S13	1	Residents and Deliveries Only	Building	10
S14	1	Walkway Identification Graphics	Building	52
S15	1	Walkway Identification Sign	Building	72
S16	No Maximum	Regulatory Sign	Building	3
S18	2	Medium Project Identification	Building	28
S19	5	Loading Zone	Building	9
S20	3	Elevator Sign	Building	3
S21	No Maximum	Boat Slip ID	Dock	6.25
O1 ¹	1 Per Tenant Per Frontage	Office Tenant Identification	Building	1.5 Times Tenant Linear Frontage
R1 ¹	1 Per Tenant Per Frontage	Retail Tenant Identification	Building	1.5 Times Tenant Linear Frontage

1. Sign may be separated by a distance of less than thirty (30) feet from another sign on an adjacent wall of the same building.

2. Sign is up to 30% larger than Zoning Code standards.

Notes:

- a) Temporary Banner signs shall comply with Chapter 20.42 of the Zoning Code.
- b) All signs shall substantially conform to the approved set of plans.
- c) Pursuant to Section 20.42.120.F (Revisions to Comprehensive Sign Programs) of the Zoning Code, the Planning Director may approve minor revisions to the sign program if the intent of the original approval is not affected.
- d) All additional exempt signs shall comply with the standards prescribed in the Zoning Code

Attachment No. ZA 3

[View Easement Exhibit](#)

DATE OF FIELD SURVEY

OCTOBER, 2003, FIELD VERIFIED APRIL 2012.

RECORD OWNER

EI-BRIDGEPORT, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY.

SITE ADDRESS

2312 NEWPORT BOULEVARD, NEWPORT BEACH, CALIFORNIA

TAX PARCEL NO.

047-120-31

AREA SUMMARY

TOTAL AREA = 103,278 SQ.FT. 2.37 AC.

TITLE INFORMATION

THE TITLE INFORMATION SHOWN HEREON IS PER PRELIMINARY REPORT NO. 11-259927039-D-PP DATED FEBRUARY 3, 2012 AS PREPARED BY FIDELITY NATIONAL TITLE COMPANY, NEWPORT BEACH, CALIFORNIA. NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID TITLE REPORT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

LEGAL DESCRIPTION

PARCEL 1 OF PARCEL MAP, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 66, PAGE 46, INCLUSIVE OF PARCEL MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM THAT PORTION OF SAID PARCEL LYING NORTHEASTERLY OF THE UNITED STATES GOVERNMENT BULKHEAD LINE AS SHOWN ON SAID MAP, OR NORTHEASTERLY OF THE ORDINARY HIGH TIDE LINE OF NEWPORT BAY, AS DESCRIBED IN THAT CERTAIN DECREE RENDERED IN SUPERIOR COURT CASE NO. 23682, ORANGE COUNTY, A CERTIFIED COPY THEREOF BEING RECORDED AUGUST 14, 1928, IN BOOK 191, PAGE 296, OFFICIAL RECORDS.

A PORTION OF "THE ARCADE" AS SHOWN ON SAID MAP WAS VACATED AND CLOSED TO PUBLIC USE BY RESOLUTION NO. 2163, OF THE CITY COUNCIL OF THE CITY OF NEWPORT BEACH, A CERTIFIED COPY OF SAID RESOLUTION BEING RECORDED IN BOOK 1095, PAGE 317 OF OFFICIAL RECORDS.

TITLE EXCEPTIONS AND EASEMENTS

1-2: TAXES.

3. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORD.

4. RIGHTS AND EASEMENTS FOR COMMERCE, NAVIGATION AND FISHERY LYING BENEATH THE WATERS OF THE PACIFIC OCEAN IN NEWPORT BAY.

5. COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN THE DOCUMENTS RECORDED:

SEPTEMBER 19, 1986, IN BOOK 138, PAGE 237, AND
APRIL 2, 1908 IN BOOK 131, PAGE 71, AND
MAY 18, 1907 IN BOOK 155, PAGE 379, AND
FEBRUARY 23, 1906 IN BOOK 123, PAGE 313, ALL OF DEEDS.

6. COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN A DOCUMENT RECORDED IN BOOK 84, PAGE 302, OF OFFICIAL RECORDS.

7. COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN A DOCUMENT RECORDED IN BOOK 131, PAGE 384, OF DEEDS.

8. AN EASEMENT FOR PEDESTRIAN ACCESS AND SCENIC VIEW AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION ON THE PARCEL MAP RECORDED IN BOOK 68, PAGE 46 OF OFFICIAL RECORDS. DENOTED HEREON AS SYMBOL (A).

9. A DEED OF TRUST RECORDED AUGUST 14, 2008, INSTRUMENT NO. 2008000389060, OF OFFICIAL RECORDS.

AN AGREEMENT WHICH STATES THAT THIS INSTRUMENT WAS SUBORDINATED TO THE DOCUMENT OR INTEREST DESCRIBED IN THE INSTRUMENT RECORDED MARCH 30, 2010, INSTRUMENT NO. 2010000149322, OF OFFICIAL RECORDS.

BY AGREEMENT RECORDED MARCH 30, 2010, INSTRUMENT NO. 2010000149321, OF OFFICIAL RECORDS.

AN ASSIGNMENT OF THE BENEFICIAL INTEREST UNDER SAID DEED OF TRUST RECORDED JUNE 9, 2010, INSTRUMENT NO. 2010000269992, OF OFFICIAL RECORDS.

A NOTICE OF DEFAULT UNDER THE TERMS OF SAID DEED OF TRUST RECORDED OCTOBER 20, 2010, INSTRUMENT NO. 2010000548834, OF OFFICIAL RECORDS.

A SUBSTITUTION OF TRUSTEE UNDER SAID DEED OF TRUST RECORDED APRIL 13, 2011, INSTRUMENT NO. 2011000187714, OF OFFICIAL RECORDS.

A NOTICE OF TRUSTEE'S SALE UNDER SAID DEED OF TRUST RECORDED APRIL 13, 2011, INSTRUMENT NO. 2011000187715, OF OFFICIAL RECORDS.

10. AN ASSIGNMENT OF ALL MONEYS DUE RECORDED AUGUST 14, 2008, INSTRUMENT NO. 2008000389061, OF OFFICIAL RECORDS. AN INSTRUMENT ENTITLED "ASSIGNMENT OF ASSIGNMENT OF LEASES AND RENTS", RECORDED JUNE 9, 2010, INSTRUMENT NO. 2010000269993, OFFICIAL RECORDS.

11. A FINANCING STATEMENT RECORDED: AUGUST 14, 2008, INSTRUMENT NO. 2008000389062, OF OFFICIAL RECORDS. A CHANGE TO THE ABOVE FINANCING STATEMENT RECORDED JULY 22, 2010, INSTRUMENT NO. 2010000348865, OF OFFICIAL RECORDS.

12. AN INSTRUMENT ENTITLED "IRREVOCABLE OFFER TO DEDICATE PUBLIC ACCESS AND RECREATIONAL USE EASEMENTS", RECORDED MARCH 30, 2010, INSTRUMENT NO. 2010000149322, OFFICIAL RECORDS.

13. A CLAIM OF MECHANIC'S LIEN RECORDED APRIL 1, 2011, INSTRUMENT NO. 2011000168361, OF OFFICIAL RECORDS.

14-18 TITLE COMPANY STATEMENT.

MONUMENTS AND REFERENCES

● FOUND MONUMENT AS DESCRIBED

R1 = PARCEL MAP FILED IN BOOK 63, PAGE 46, P.M.B.

R3 = PARCEL MAP FILED IN BOOK 67, PAGE 27, P.M.B.

R2 PARCEL MAP 91-224 FILED IN BOOK 277, PAGES 8-9 P.M.B.

UNLESS OTHERWISE NOTED ALL CORNERS WERE ESTABLISHED BY RECORD INTERSECTION OF RECORD ANGLES AND PER RECORD DISTANCES BY R1.

BY RECORD INTERSECTION OF RECORD ANGLES AND PER RECORD DISTANCES BY R1.

BY RECORD INTERSECTION OF RECORD ANGLES AND PER RECORD DISTANCES BY R1.

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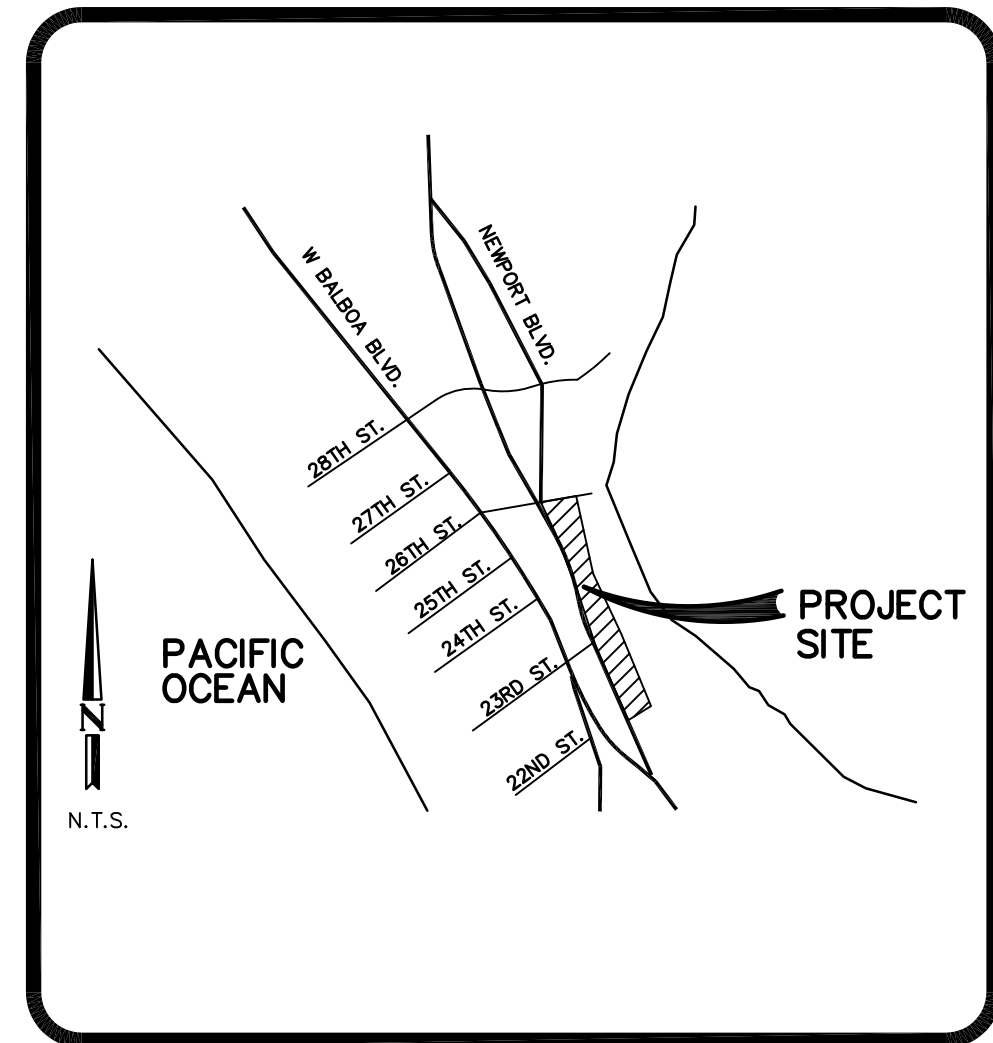
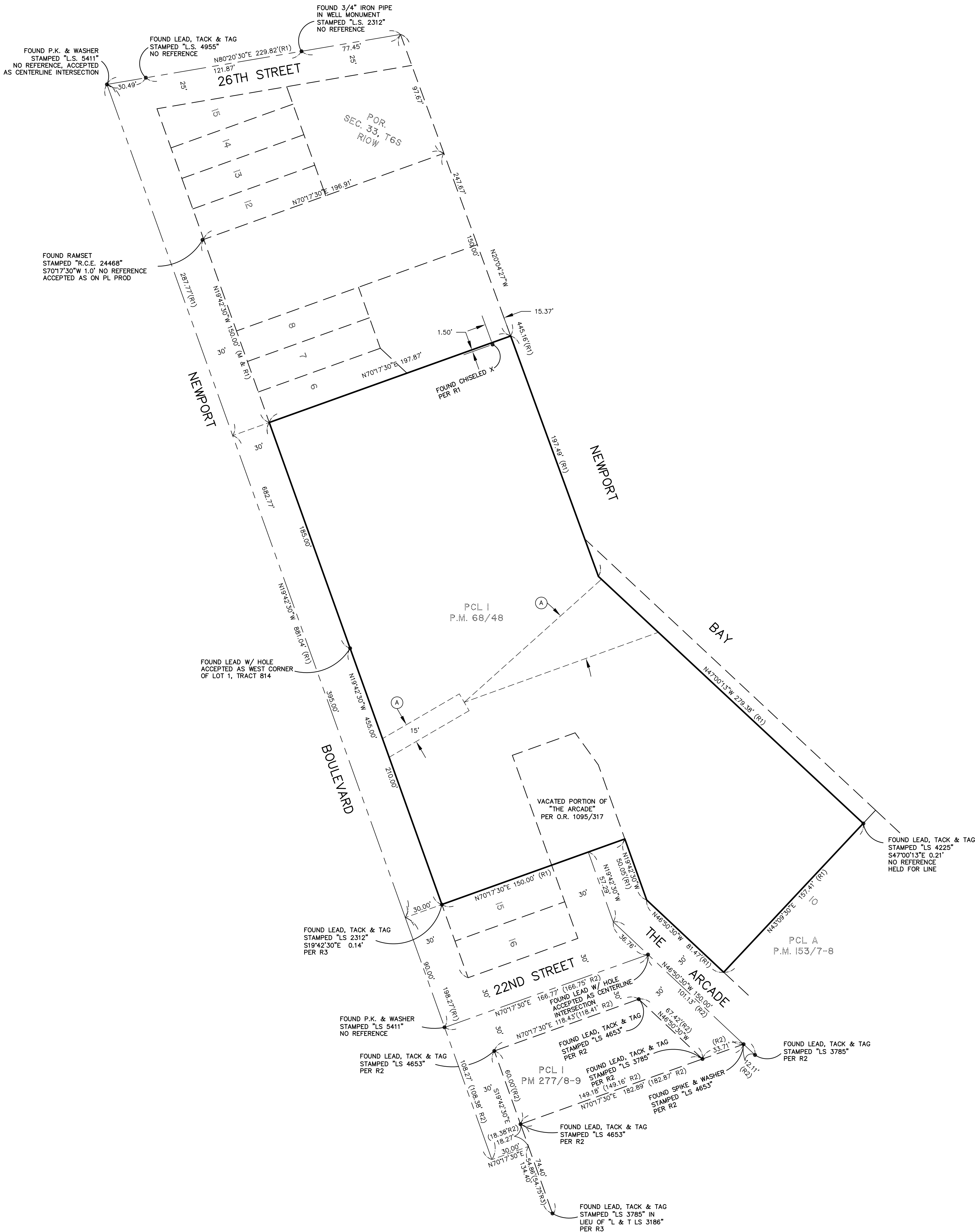
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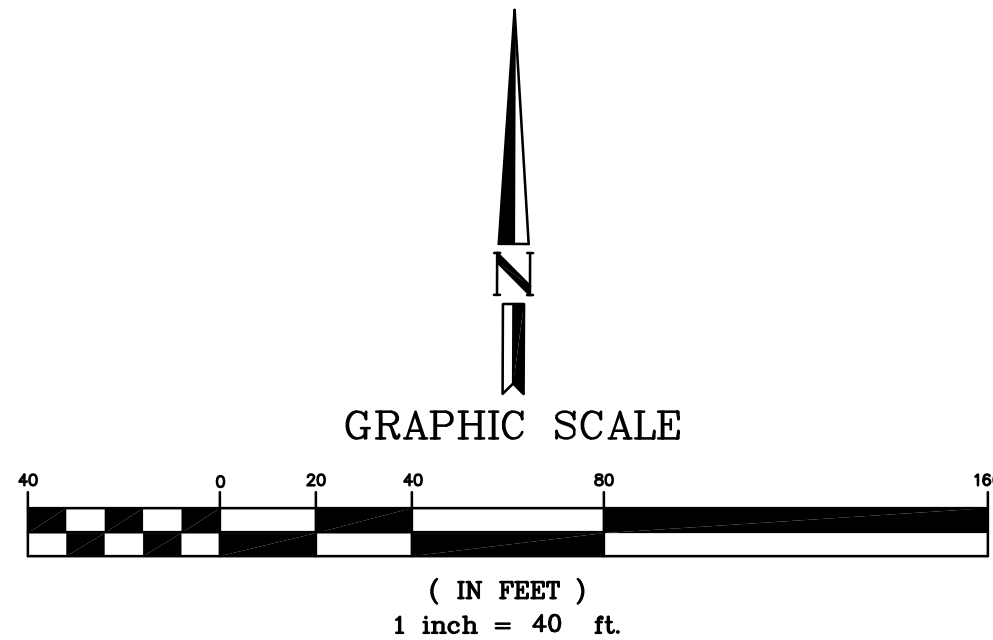


VICINITY MAP

NOT TO SCALE

LEGEND

- PROPERTY LINE
- EXISTING LOT LINES
- CENTER LINE
- EASEMENT
- CHAIN LINK FENCE



ALTA/ACSM LAND TITLE SURVEY

2312 NEWPORT BOULEVARD
NEWPORT BEACH, CALIFORNIA

TITLE AND BOUNDARY INFORMATION

SURVEYOR'S CERTIFICATE

TO: EI-BRIDGEPORT, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY. AND
FIDELITY NATIONAL TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(a), 7, 8, 9, 11(c), 13 AND 14 OF TABLE "A" THEREOF. THE FIELD WORK WAS COMPLETED IN APRIL 2012.

PASCAL APOTHELOZ, PLS 7734 EXP. 12/31/13
DATE PREPARED: APRIL 6, 2012



NO.	REVISION:	DATE:	ISSUE:	FINAL
			DATE:	04-06-12
			CHECKED: PRA	DRAWN: PRA
			DRAWING FILE:	3604atfa01
			PROJECT NO.:	12-744
			SHEET NUMBER:	1
			OF	2 SHEETS
			SCALE:	1" = 100'



160 S. Old Springs Road, Ste. 210
Anaheim Hills, California 92808
(714) 685-6860

Attachment No. ZA 4

Project Plans

VUE

NEWPORT

**2210-2280 NEWPORT BLVD.
NEWPORT BEACH, CA**

SIGN PROGRAM

PROPERTY OWNER
NPBEACH MARINA LLC
124 ALLAWOOD COURT
SIMPSONVILLE, SC 29681
864.881.4801

PROGRAM DESIGNER
JB3D
731 N. MAIN STREET
ORANGE, CA 92868
CONTACT: HECTOR BETANCOURT
714.204.0073
HBETANCOURT@JB3D.COM

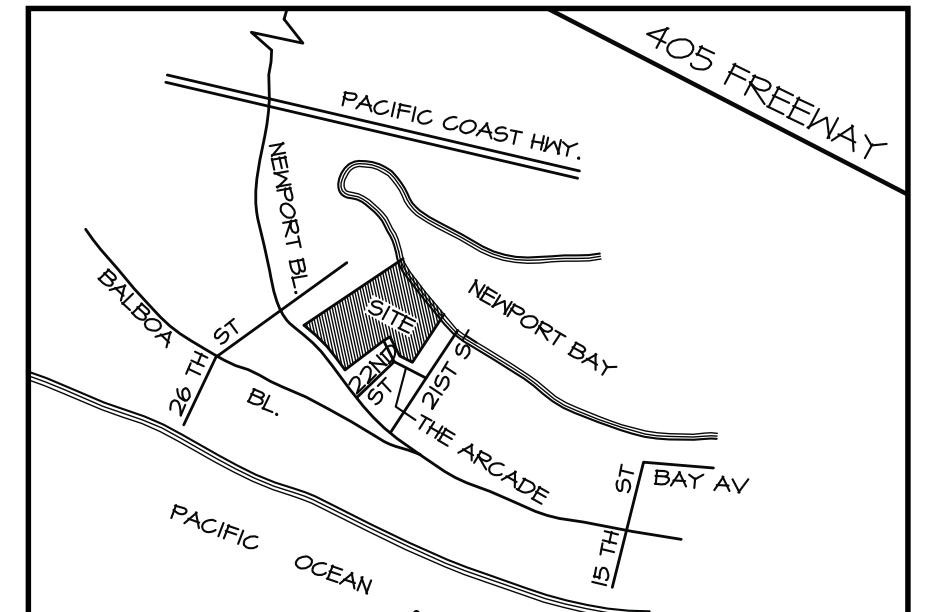


TABLE OF CONTENTS

SHEET NO.	DESCRIPTION
0.1 - 0.2	Overview Signage
0.7 - 0.3	Plan Site
1.0	Parking Entry Sign (Newport)
2.0	Parking Entry Sign (Bldg. B)
3.0	Retail Tenant Monument
4.0	Directory Map
5.0	Tenant Blade Sign
6.0	Large Project ID
7.0	On Building Retail Directional
8.0	Upper Wall Retail Directory
9.0	Address Sign
10.0	Small Project ID
11.0	Parking Blade Sign
12.0	Parking Sign
13.0	Residents & Deliveries Only
14.0	Walkway ID Graphics
15.0	Walkway ID Sign
16.0	Regularoty Sign
18.0	Medium Project ID
19.0	Loading Zone
20.0	Elevator Sign
21.0	Boat Slip ID
22.0	Office Tenant ID
23.0	Retail Tenant ID

SIGNAGE OVERVIEW

SIGN TYPE	SIGN-SPECIFIC PAGE	DESCRIPTION	SIGN LOCATION	MAX. QUANTITY	MAX. HEIGHT	MAX. WIDTH	MAX. SIGN AREA	PERMIT REQUIRED	LOGOS ALLOWED	ILLUMINATION PERMITTED
G.1	1.0	Parking Entry Sign (Newport)	On Building	1	27"	13'-0"	30 Sq. Ft.	Yes	No	Yes
G.2	2.0	Parking Entry Sign (Bldg. B)	On Building	2	See Page 2.0	See Page 2.0	20.5 Sq. Ft.	Yes	Project Name Only	Yes
S.1	3.0	Retail Tenant Monument	Ground	1	16'-0"	21'-0"	See Page 3.1	Yes	Yes	Yes
S.2	4.0	Directory Map	On Building	5	4'-0"	30"	10 Sq. Ft.	Yes	Yes	No
S.3	5.0	Tenant Blade Sign	On Building	As Needed	2'-0"	3'-0"	6 Sq. Ft.	Yes	Yes	Yes
S.5	6.0	Large Project ID	On Building	2	4'-0"	7'-10"	31.3 Sq. Ft.	Yes	Project Name Only	Yes
S.7	7.0	On Building Retail Directional	On Building	3	6'-0"	5'-0"	30 Sq. Ft.	Yes	Yes	Yes
S.8	8.0	Upper Wall Retail Directory	On Building	1	11'-0"	8'-0"	88 Sq. Ft.	Yes	Yes	Yes
S.9	9.0	Address Sign	On Building	1 Per Bldg.	19"	6'-1"	10 Sq. Ft.	Yes	No	Yes
S.10	10.0	Small Project ID	On Building	4	18"	31"	4 Sq. Ft.	Yes	Project Name Only	Yes
S.11	11.0	Parking Blade Sign	On Building	2	3'-0"	3'-0"	9 Sq. Ft.	Yes	No	Yes
S.12	12.0	Parking Sign	On Building	1	4'-0"	3'-0"	12 Sq. Ft.	Yes	No	Yes
S.13	13.0	Residents & Deliveries Only	On Building	1	30"	4'-0"	10 Sq. Ft.	Yes	Project Name Only	Yes

*** S.4 SIGN TYPE WAS ELIMINATED FROM SIGN PROGRAM

SIGNAGE OVERVIEW

SIGN TYPE	SIGN-SPECIFIC PAGE	DESCRIPTION	SIGN LOCATION	MAX. QUANTITY	MAX. HEIGHT	MAX. WIDTH	MAX. SIGN AREA	PERMIT REQUIRED	LOGOS ALLOWED	ILLUMINATION PERMITTED
S.14	14.0	Walkway ID Graphics	On Building	1	30"	20'-6"	52 Sq. Ft.	Yes	Project Name Only	No
S.15	15.0	Walkway ID Sign	On Building	1	4'-0"	18'-0"	72 Sq. Ft.	Yes	Project Name Only	Yes
S.16	16.0	Regulatory Sign	On Building	As Needed	24"	14"	3 Sq. Ft.	No	Project Name Only	No
S.18	18.0	Medium Project ID	On Building	2	4'-0"	7'-0"	28 Sq. Ft.	Yes	Project Name Only	Yes
S.19	19.0	Loading Zone	On Building	5	13"	7'-11"	9 Sq. Ft.	No	No	No
S.20	20.0	Elevator Sign	On Building	3	7"	4'-4"	3 Sq. Ft.	Yes	No	No
S.21	21.0	Boat Slip ID	On Boat Slip	7	30"	30"	6.25 Sq. Ft.	No	Project Name Only	No
O.1	22.0	Office Tenant ID	On Building	**	36"	Varies Per Elevation*	1.5 Tenant Linear Frontage	Yes	Yes	Yes
R.1	23.0	Retail Tenant ID	On Building	**	36"	Varies Per Elevation*	1.5 Tenant Linear Frontage	Yes	Yes	Yes

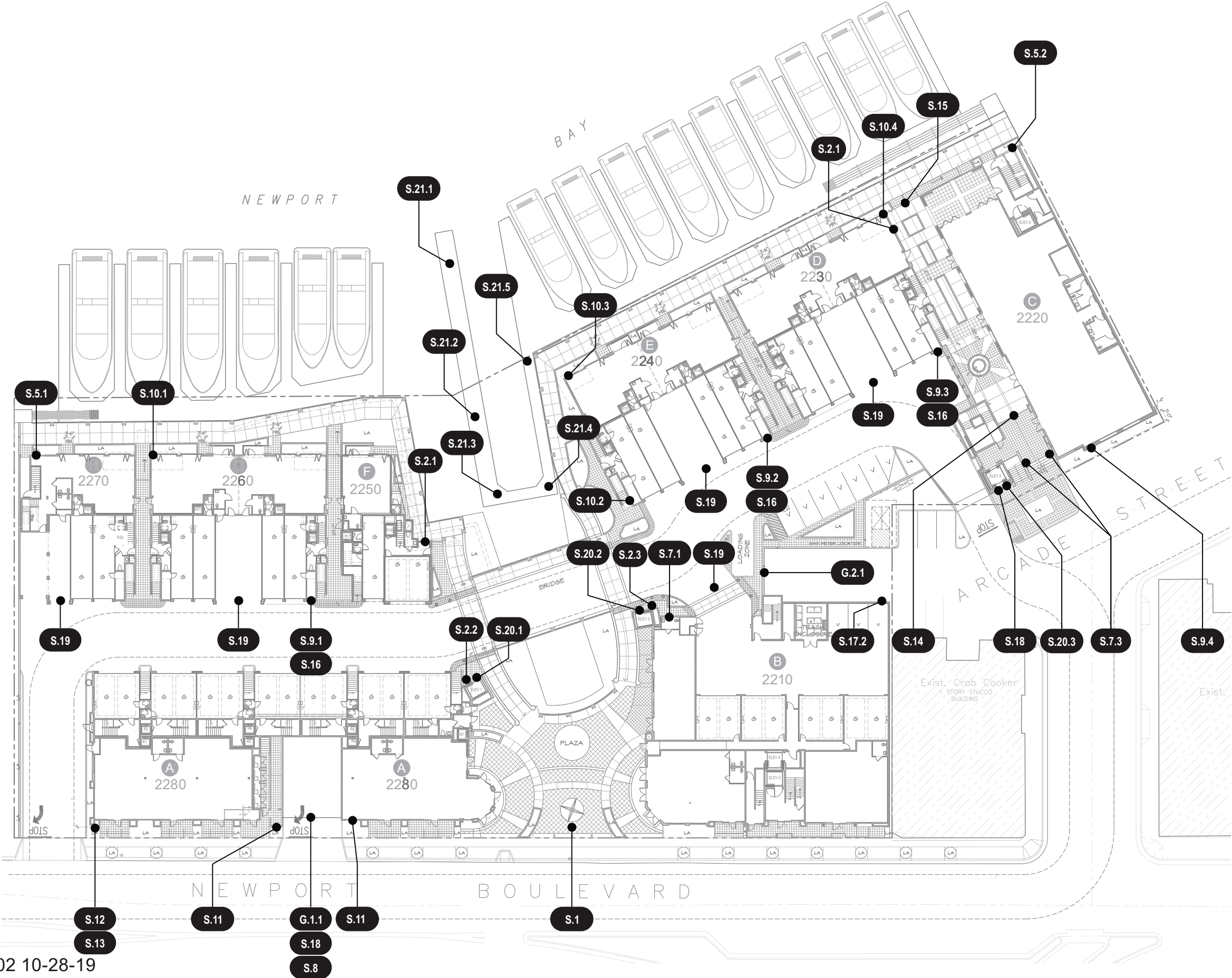
* RETAIL TENANT ID WIDTH VARIES PER ELEVATION (SEE PAGES 22.1-22.10)
* OFFICE TENANT ID WIDTH VARIES PER ELEVATION (SEE PAGES 21.1-21.4)
** ONE SIGN PER TENANT PER FRONTAGE.

SITE PLAN

OVERALL

SIGN TYPE - LEGEND

- G.1 – Entry (Newport)
- G.2 – Entry (Bldg. B)
- S.1 - Tenant Monument
- S.2 - Directory Map
- S.3 - Tenant Blade Sign
- S.5 - Large Project ID
- S.7 - On Building Retail Directional
- S.8 - Upper Wall Retail Directory
- S.9 - Address Sign
- S.10 - Small Project ID
- S.11 - Parking Blade Sign
- S.12 - Parking Sign
- S.13 - Residents & Deliveries Only
- S.14 - Walkway ID Graphics
- S.15 - Walkway ID Sign
- S.16 - No Fun Sign
- S.18 - Medium Project ID
- S.19 - Loading Zone
- S.20 - Elevator Sign
- S.21 - Boat Slip ID

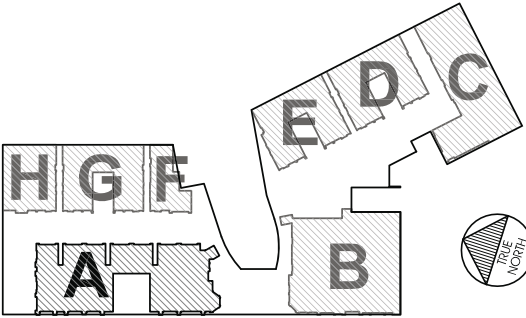
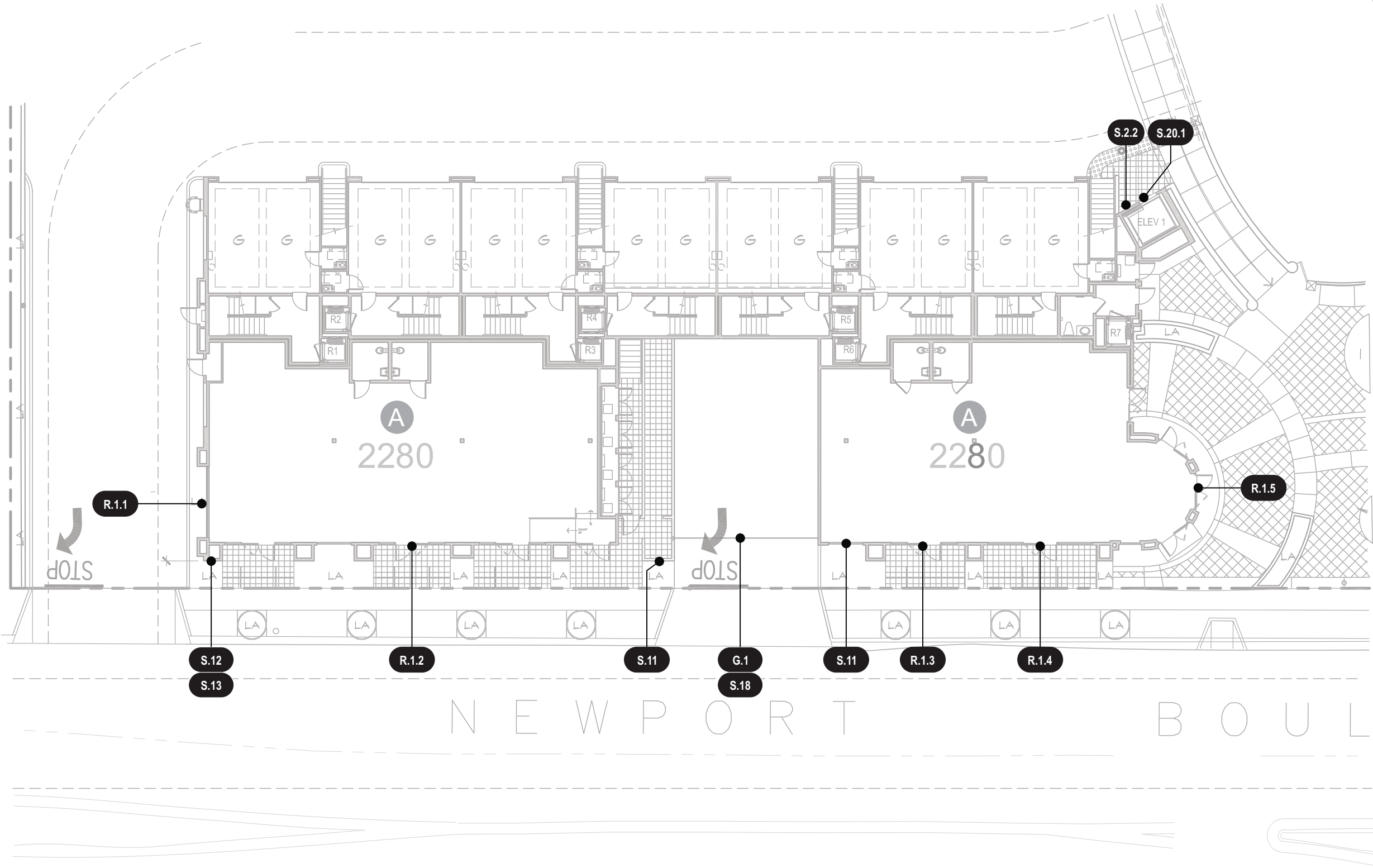


SITE PLAN

BLDG. 2280

SIGN TYPE - LEGEND

- G.1 – Entry (Newport)
- R.1 - Retail Tenant ID
- S.2 - Directory Map
- S.5 - Project ID
- S.10 - Small Project ID
- S.11 - Parking Blade Sign
- S.12 - Parking Sign
- S.13 - Residents & Deliveries Only
- S.18 - Medium Project ID
- S.20 - Elevator Sign

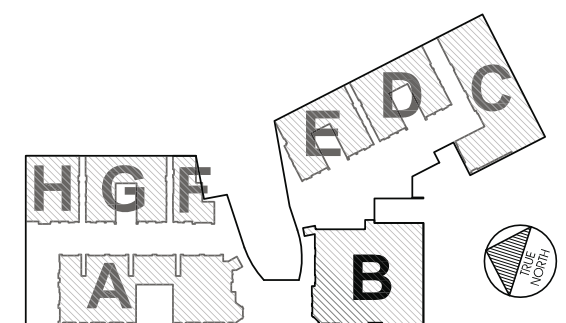
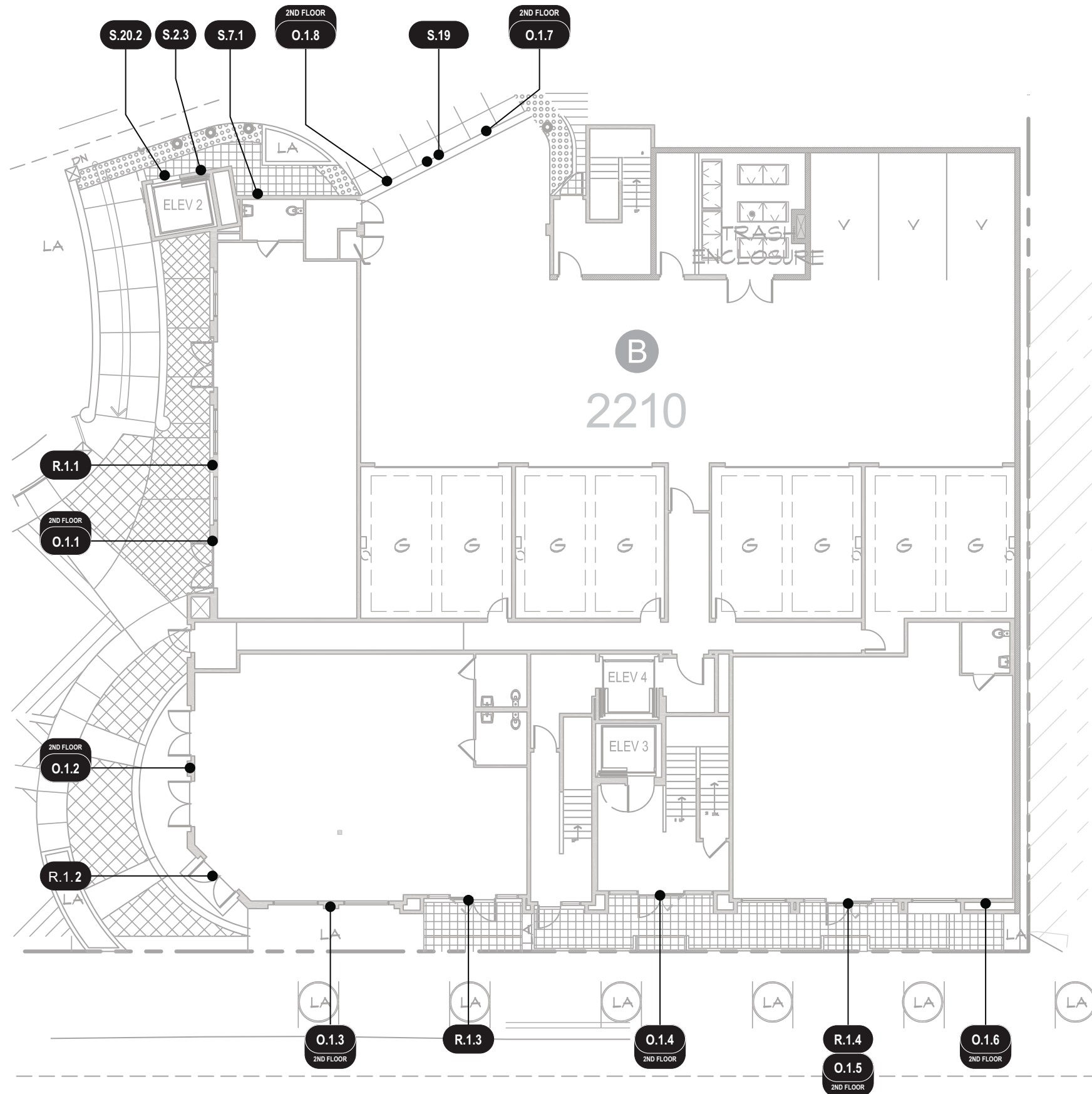


SITE PLAN

BLDG. 2210

SIGN TYPE - LEGEND

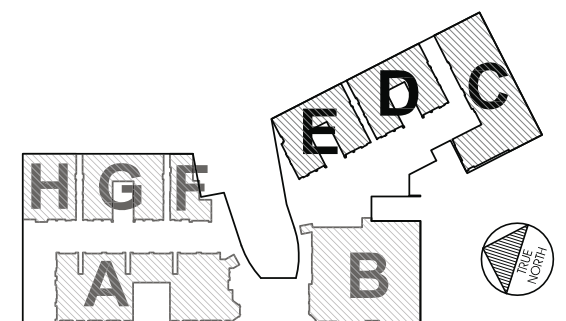
- O.1 - Office Tenant ID
- R.1 - Retail Tenant ID
- S.2 - Directory Map
- S.7 - On Building Retail Directional
- S.19 - Loading Zone
- S.20 - Elevator Sign



R03 11-20-19
R02 10-28-19
August 14, 2017

BLDGS. 2220, 2230 & 2240

- O.1 - Office Tenant ID
- R.1 - Retail Tenant ID
- S.2 - Directory Map
- S.3 - Tenant Blade Sign
- S.5 - Project ID
- S.9 - Address Sign
- S.10 - Small Project ID
- S.14 - Walkway ID Graphics
- S.15 - Walkway ID Sign
- S.16 - No Fun Sign
- S.18 - Medium Project ID
- S.19 - Loading Zone
- S.20 - Elevator Sign

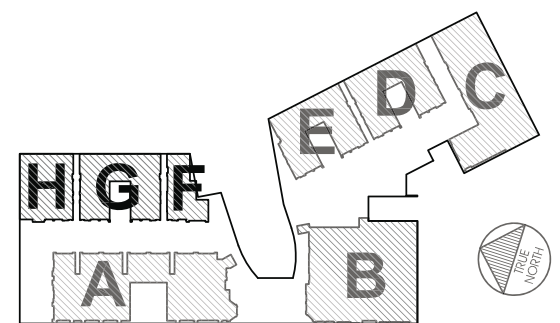
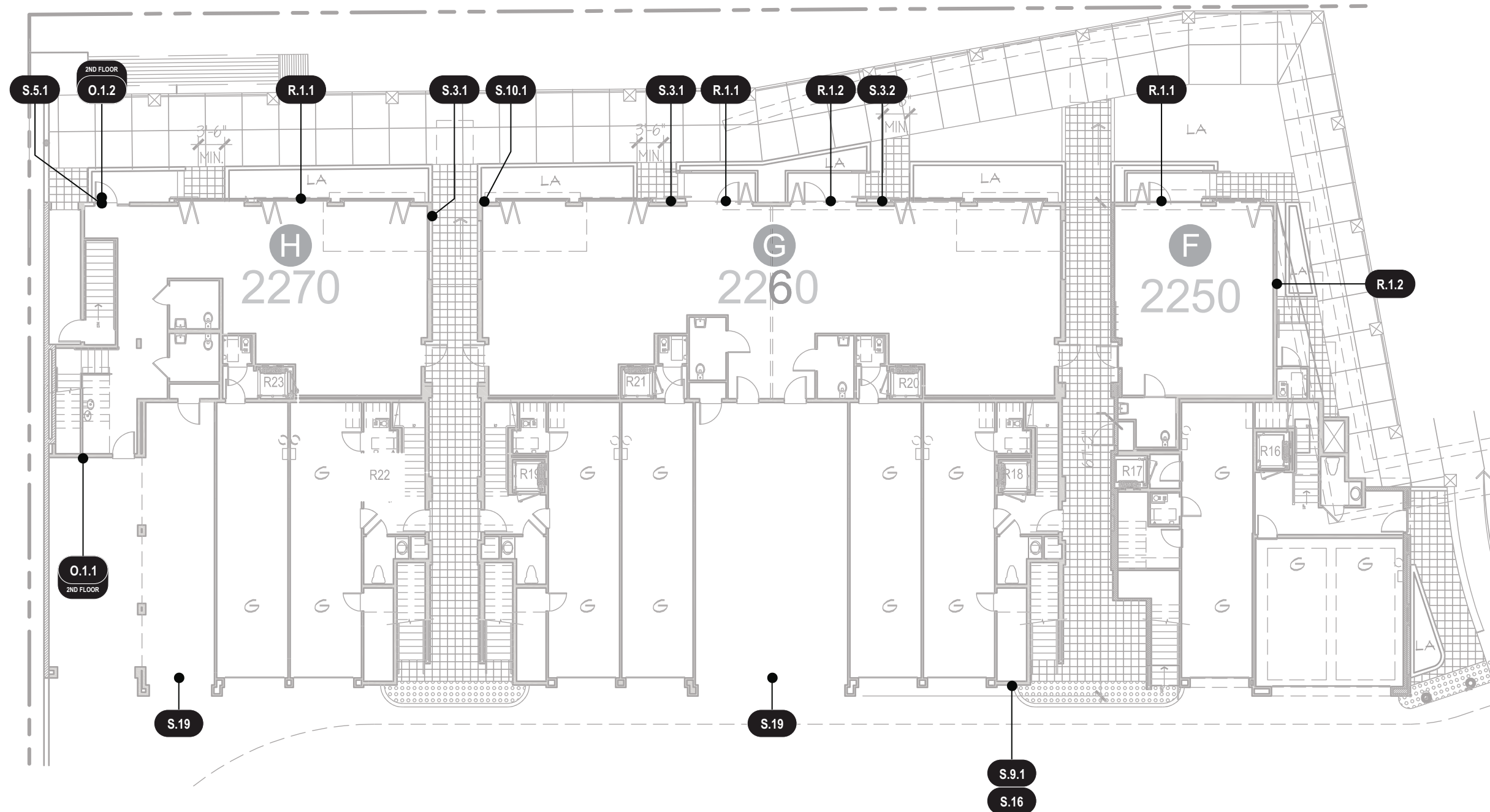


SITE PLAN

BLDGS. 2250, 2260 & 2270

SIGN TYPE - LEGEND

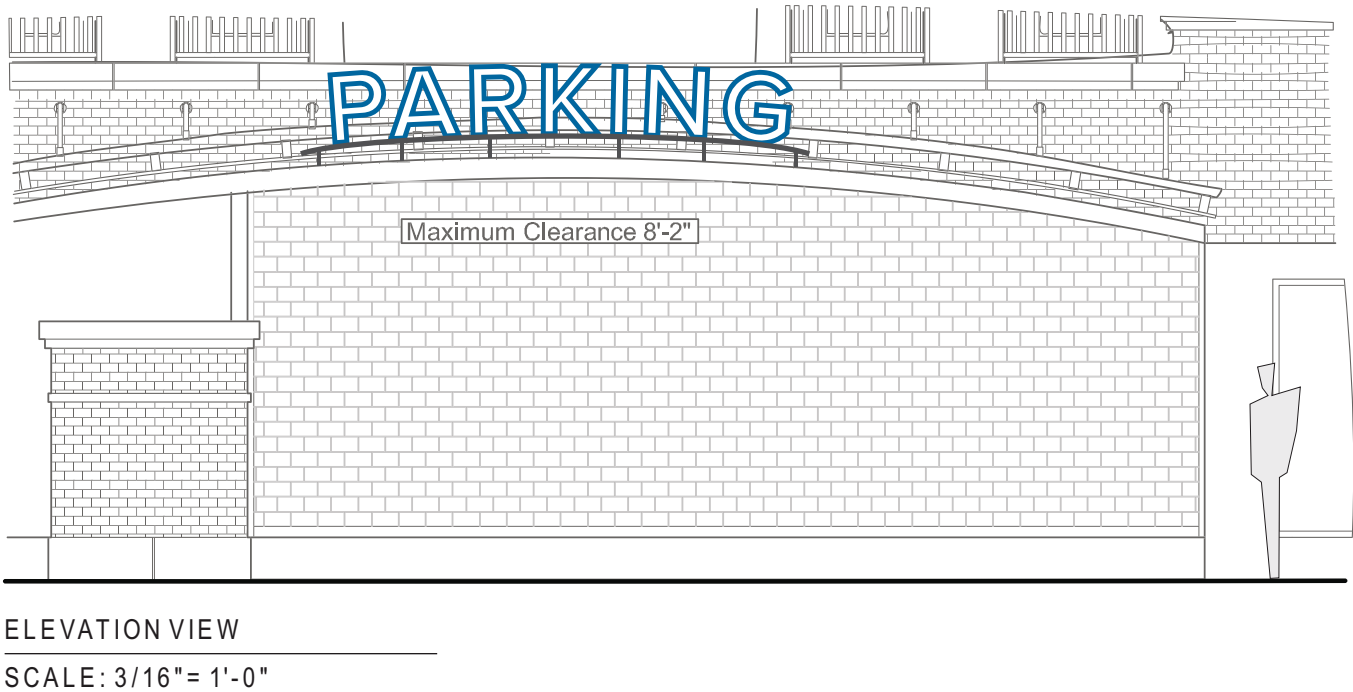
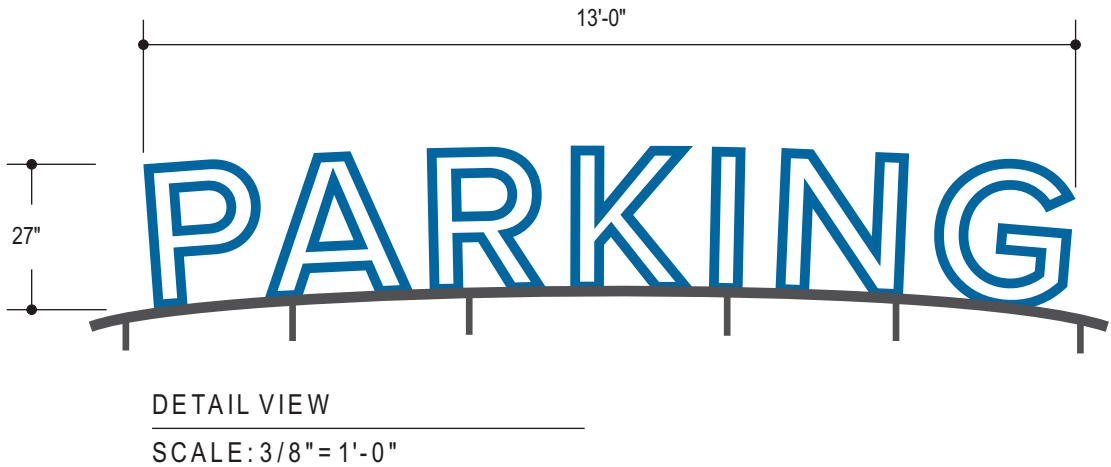
- O.1 - Office Tenant ID
- R.1 - Retail Tenant ID
- S.3 - Tenant Blade Sign
- S.5 - Project ID
- S.10 - Small Project ID
- S.9 - Address Sign
- S.16 - No Fun Sign
- S.19 - Loading Zone



PURPOSE	To provide parking information to patrons.
MAXIMUM NUMBER	One.
LOCATION	Location as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Parking lettering.
MAX. SIGN AREA & SIZE	Width: 13'-0" Height: 27" Sign Area: 30 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Internally illuminated. No exposed neon lighting allowed. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Not permitted .
LETTER STYLE	Project font only.
COLORS	Blue and white. <i>Exact finish details to vary.</i>

SIGN TYPE G1

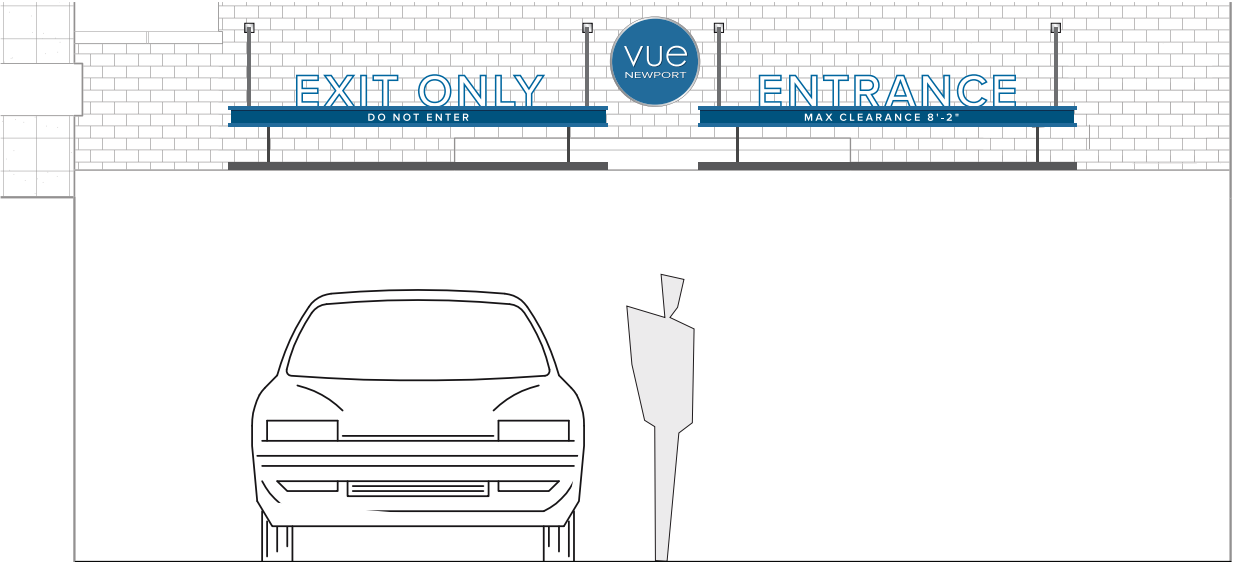
PARKING ENTRY SIGN (NEWPORT)



PURPOSE	To provide parking information to patrons.
MAXIMUM NUMBER	Two.
LOCATION	Location as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Project and or logo, parking information.
MAX. SIGN AREA & SIZE	Width: As Shown Height: As Shown Sign Area: 20.5 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Internally illuminated. No exposed neon lighting allowed. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Project logo only. Must be approved by the Property Owner.
LETTER STYLE	Project font only.
COLORS	Blue and white. <i>Exact finish details to vary.</i>

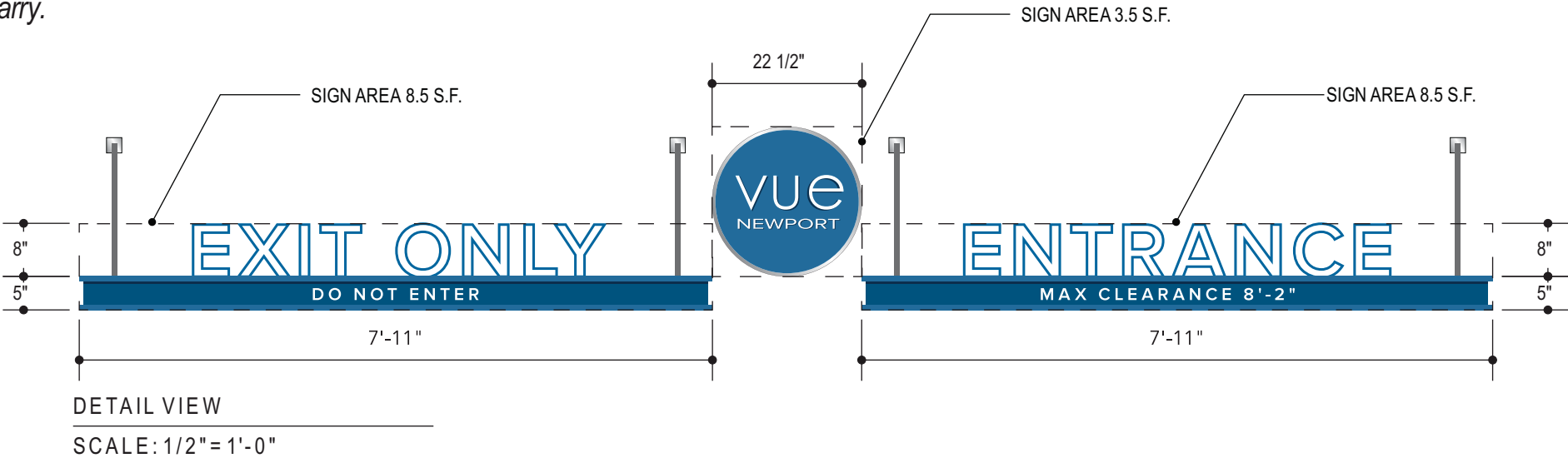
SIGN TYPE G2

PARKING ENTRY SIGN (BLDG. B)



ELEVATION VIEW

SCALE: 1/4"= 1'-0"



PURPOSE	To identify business names occupying the building suites within the center. Tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on their storefront.
MAXIMUM NUMBER	One sign per tenant per frontage. An individual tenant shall have one sign per building-front elevation, however, multiple signs may be allowed in certain instances for larger tenants as indicated in the following exhibits, note that a single tenant may not have multiple signs on a single frontage.
LOCATION	Mounted to existing structural mounting system installed by Property Owner. Locations as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	One business name and or logo per defined location, two-lines of copy maximum.
MAX. SIGN AREA & SIZE	Width: Varies per elevation (see pages 22.1-22.4) Height: 36" Sign Area: 1.5 times lineal foot of tenant frontage, 75 sq. ft. Max
SIGN CONSTRUCTION	Individual letter and logos only. No cabinet signs or cloud signs allowed. Tenant is only permitted to mount directly to structural mounting system. Align business name to center of aluminum bar to be attached to structural mounting system. Structural mounting system is intended to preserve architectural features/materials. No exposed wiring allowed.
ILLUMINATION	Internally illuminated. No exposed neon lighting is permitted. Halo-lit letters are not permitted on or above the second floor. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Permitted. Must be approved by the Property Owner.
LETTER STYLE	Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all black in color.
COLORS	Tenant logo colors must contrast building facade. <i>Exact finish details to vary.</i>

SIGN TYPE O

OFFICE TENANT ID



ELEVATION - TYPICAL

SCALE: 3/16"= 1'-0"



BUILDING B - WEST ELEVATION
SCALE: 3/32"= 1'

SIGN TYPE O

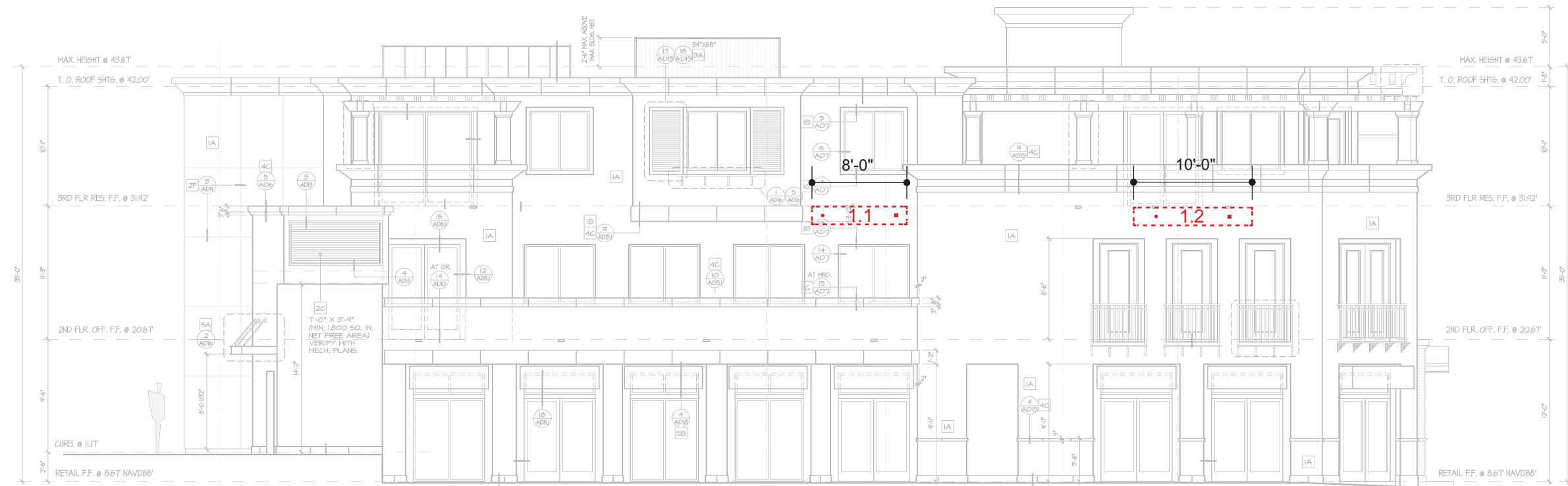
OFFICE TENANT ID ELEVATION



BUILDING B - EAST ELEVATION
SCALE: 3/32"= 1'

SIGN TYPE O

OFFICE TENANT ID ELEVATION

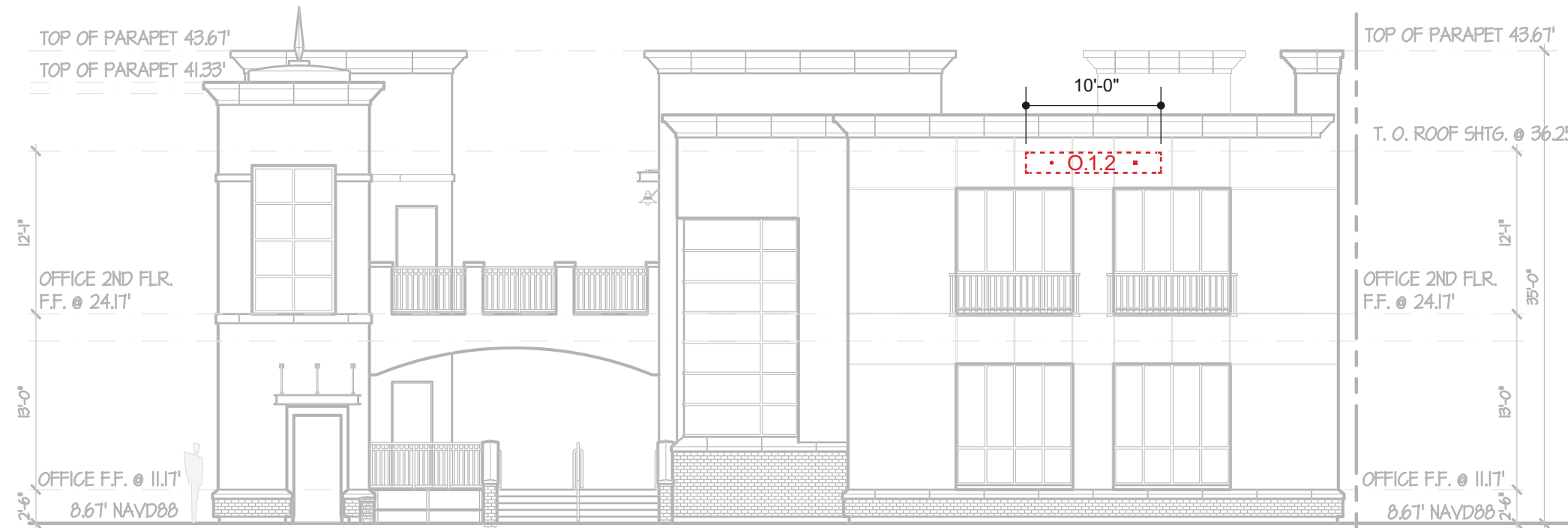


BUILDING B - NORTH ELEVATION
SCALE: 3/32"= 1'

R03 11-20-19
R02 10-28-19
August 27, 2019
August 14, 2017

SIGN TYPE O

OFFICE TENANT ID ELEVATION



BUILDING C - WEST ELEVATION
SCALE: 3/32"= 1'



BUILDING C - EAST ELEVATION
SCALE: 3/32"= 1'

BUILDING D - EAST PARTIAL ELEVATION
SCALE: 3/32"= 1'

SIGN TYPE O

OFFICE TENANT ID ELEVATION



BUILDING H - WEST ELEVATION

SCALE: 3/32"= 1'



BUILDING H - EAST ELEVATION

SCALE: 3/32"= 1'

PURPOSE	To identify business names occupying the building suites within the center. Tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on their storefront.
MAXIMUM NUMBER	One sign per tenant per frontage. An individual tenant shall have one sign per building-front elevation, however, multiple signs may be allowed in certain instances for larger tenants as indicated in the following exhibits, note that a single tenant may not have multiple signs on a single frontage.
LOCATION	Mounted to existing structural mounting system installed by Property Owner. Locations as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	One business name and or logo per defined location, two-lines of copy maximum.
MAX. SIGN AREA & SIZE	Width: Varies per elevation (see pages 23.1-23.10) Height: 36" Sign Area: 1.5 times lineal foot of tenant frontage, 75 sq. ft. Max
SIGN CONSTRUCTION	Individual letter and logos only. No cabinet signs or cloud signs allowed. Tenant is only permitted to mount directly to structural mounting system. Align business name to center of aluminum bar to be attached to structural mounting system. Structural mounting system is intended to preserve architectural features/materials. No exposed wiring allowed.
ILLUMINATION	Internally illuminated. No exposed neon lighting is permitted. Halo-lit letters are not permitted on or above the second floor. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Permitted. Must be approved by the Property Owner.
LETTER STYLE	Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all black in color.
COLORS	Tenant logo colors must contrast building facade. <i>Exact finish details to vary.</i>

SIGN TYPE R

RETAIL TENANT ID



ELEVATION - TYPICAL

SCALE: 3/16" = 1'-0"

SIGN TYPE R

RETAIL TENANT ID ELEVATION



BUILDING A - WEST ELEVATION A
SCALE: 3/32" = 1'



BUILDING A - WEST ELEVATION B
SCALE: 3/32" = 1'

SIGN TYPE R

RETAIL TENANT ID ELEVATION



BUILDING A - SOUTH ELEVATION
SCALE: 3/32" = 1'



BUILDING A - NORTH ELEVATION
SCALE: 3/32" = 1'

SIGN TYPE R

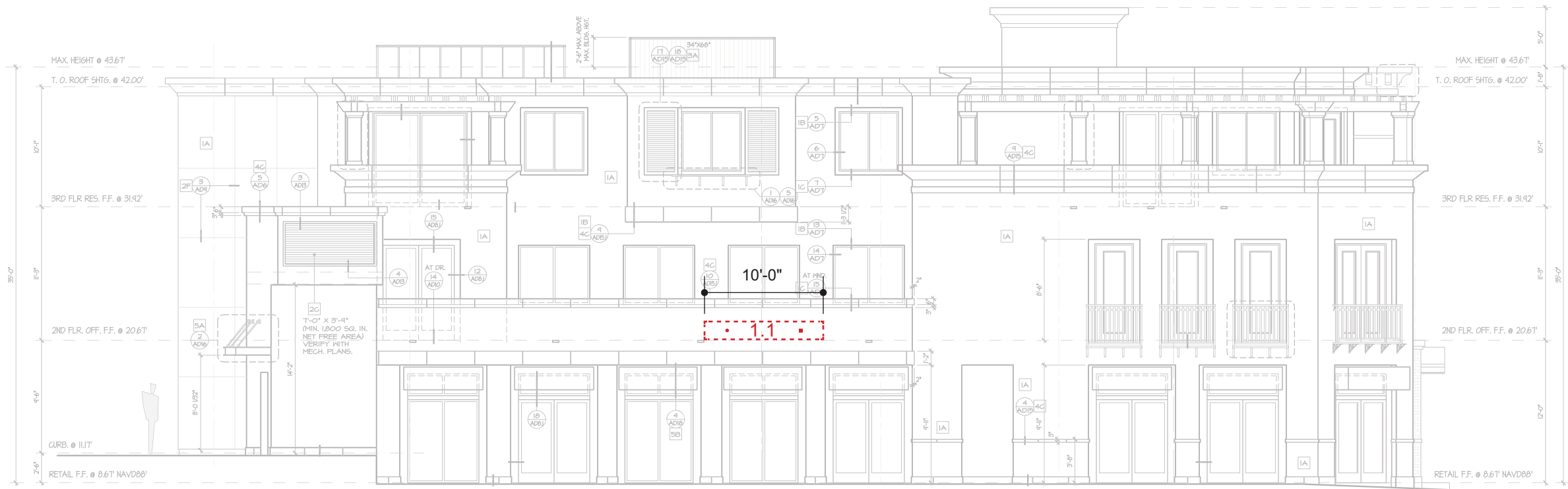
RETAIL TENANT ID ELEVATION



BUILDING B - WEST ELEVATION
SCALE: 3/32" = 1'

SIGN TYPE R

RETAIL TENANT ID ELEVATION



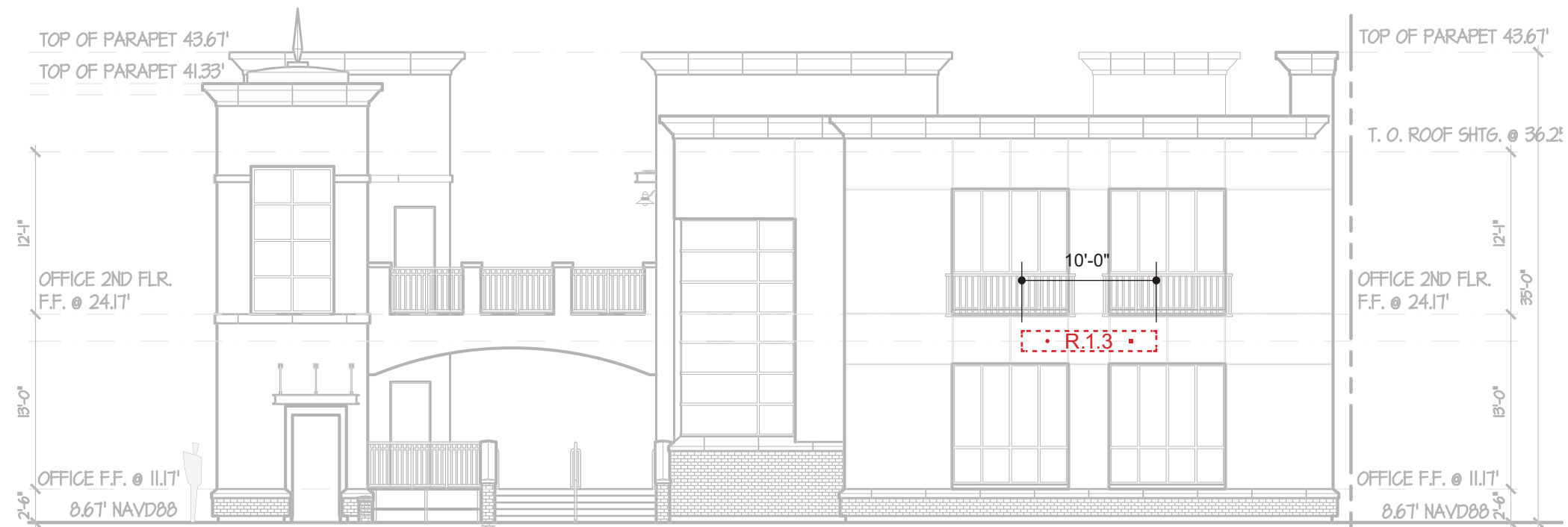
BUILDING B - NORTH ELEVATION
SCALE: 3/32"= 1'

SIGN TYPE R
RETAIL TENANT ID ELEVATION



SIGN TYPE R

RETAIL TENANT ID ELEVATION



BUILDING C - WEST ELEVATION
SCALE: 3/32" = 1'



BUILDING C - EAST ELEVATION
SCALE: 3/32" = 1'

BUILDING D - EAST PARTIAL ELEVATION
SCALE: 3/32" = 1'

SIGN TYPE R

RETAIL TENANT ID ELEVATION



BUILDING D - EAST ELEVATION

SCALE: 3/32"= 1'



BUILDING G - EAST ELEVATION

SCALE: 3/32"= 1'

SIGN TYPE R

RETAIL TENANT ID ELEVATION



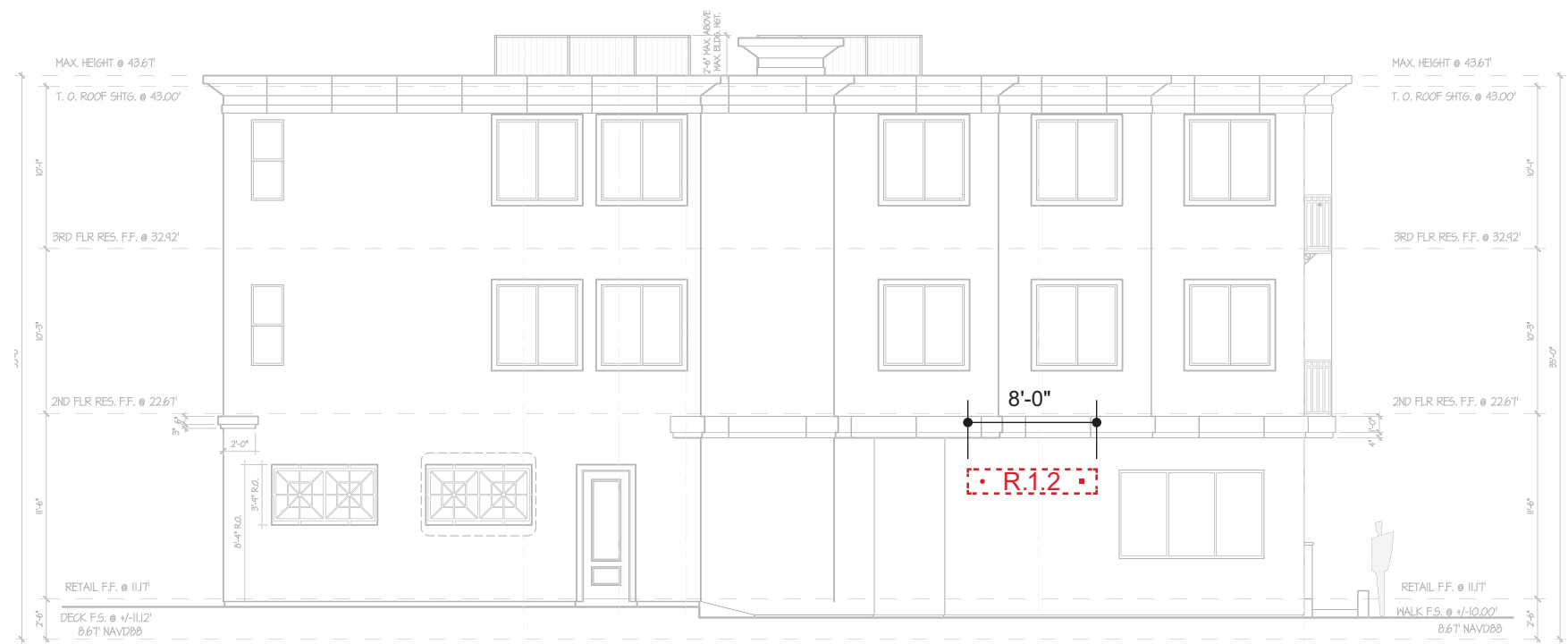
BUILDING E - EAST ELEVATION
SCALE: 3/32"= 1'

SIGN TYPE R

RETAIL TENANT ID ELEVATION

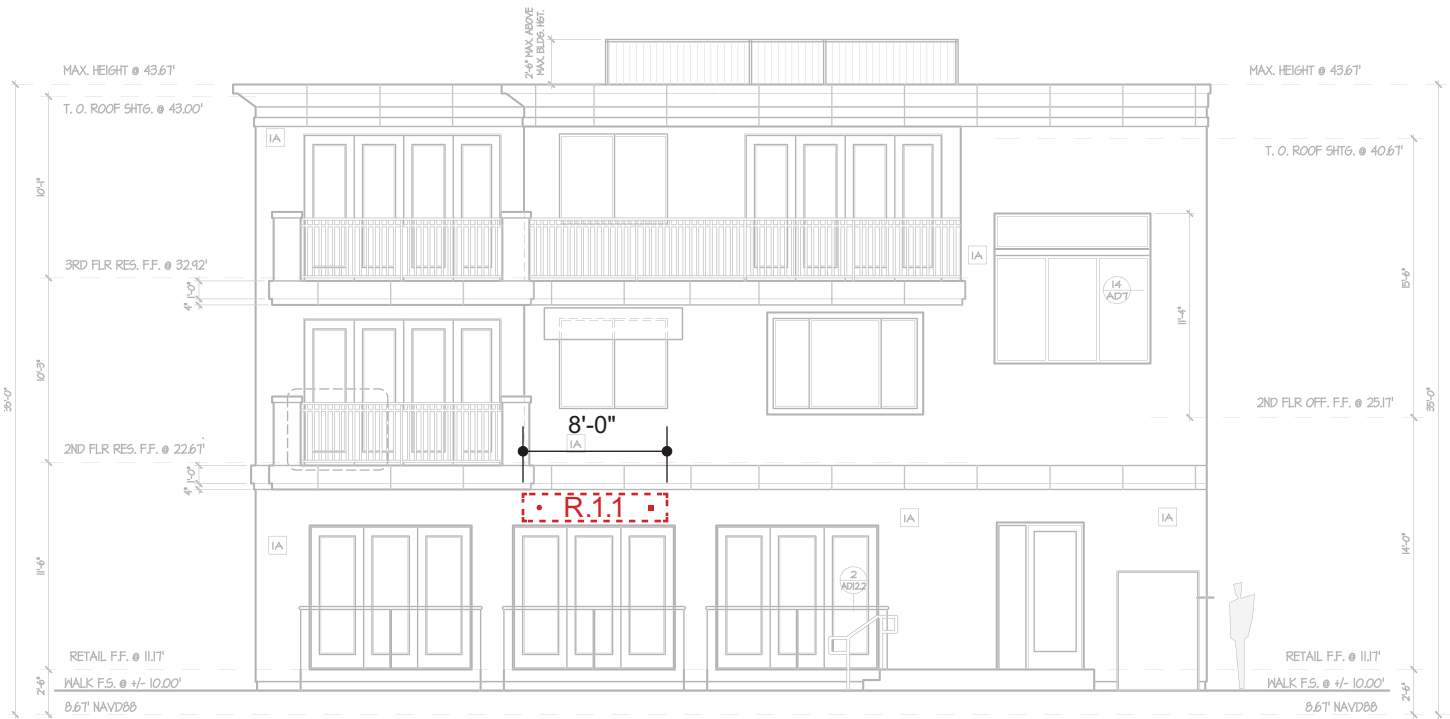


BUILDING F - EAST ELEVATION
SCALE: 3/32"= 1'



BUILDING F - SOUTH ELEVATION
SCALE: 3/32"= 1'

SIGN TYPE R
RETAIL TENANT ID ELEVATION



BUILDING H - EAST ELEVATION
SCALE: 3/32"= 1'

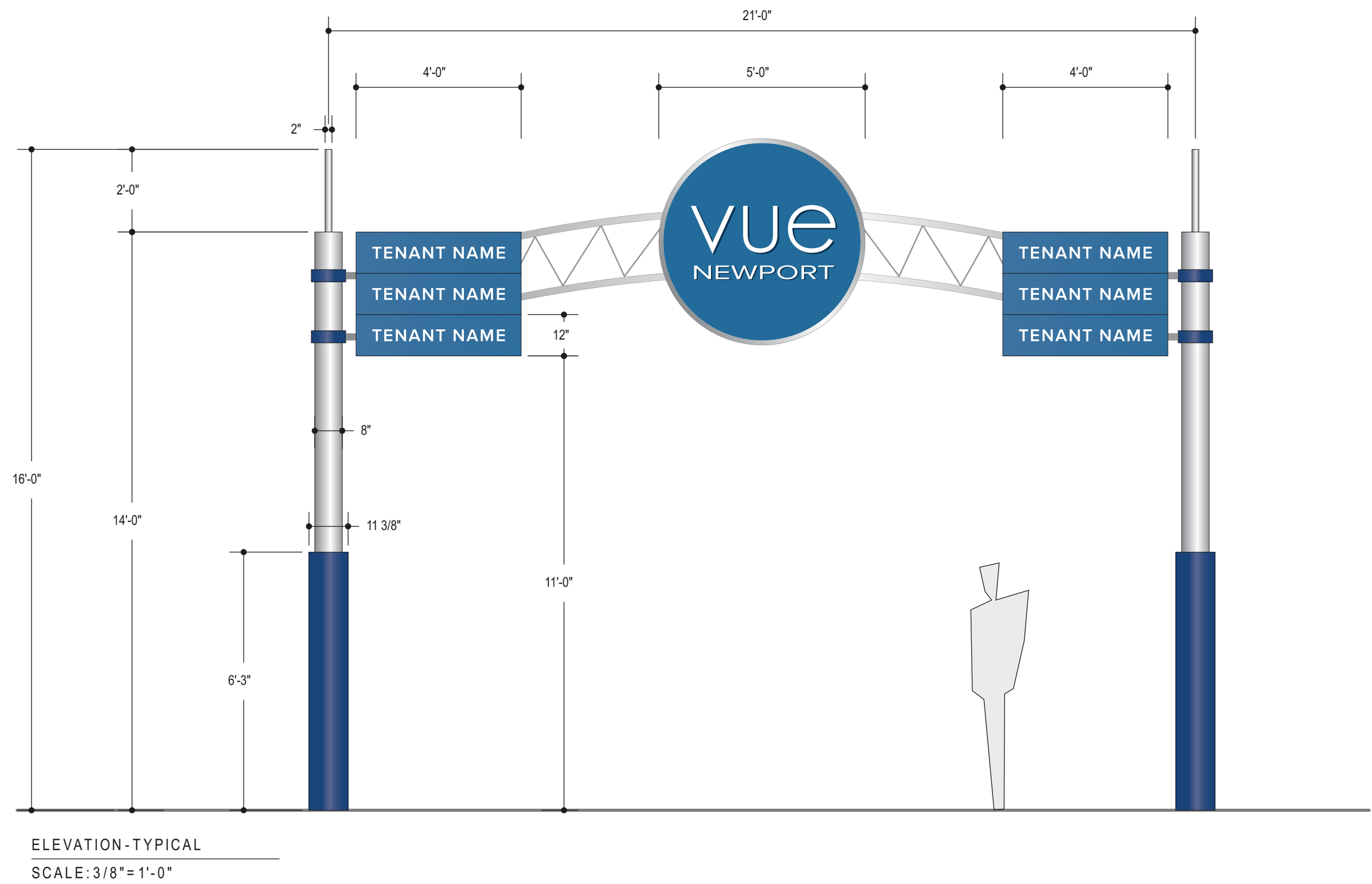
PURPOSE	To identify business names occupying the building suites within the center. Tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on the monument sign.
MAXIMUM NUMBER	One.
LOCATION	Behind property line.
ORIENTATION	Perpendicular toward street.
SIGN COPY	Business name and or logo per defined location, two-lines of copy maximum.
MAX. SIGN SIZE	Width: 21'-0" Height: 16'-0" Sign Area: 25 sq. ft. Max (PER FACE)
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; with lettering incised in the panel or fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Internally illuminated. No exposed neon lighting allowed. Note that the directory on the sign is not permitted to be illuminated. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Permitted. Must be approved by the Property Owner.
LETTER STYLE	Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all white in color.
COLORS	White, Gray, Silver and Blue.

***MUST OBTAIN COASTAL COMMISSION APPROVAL PRIOR TO FABRICATION AND INSTALLATION OF THIS SIGN.**

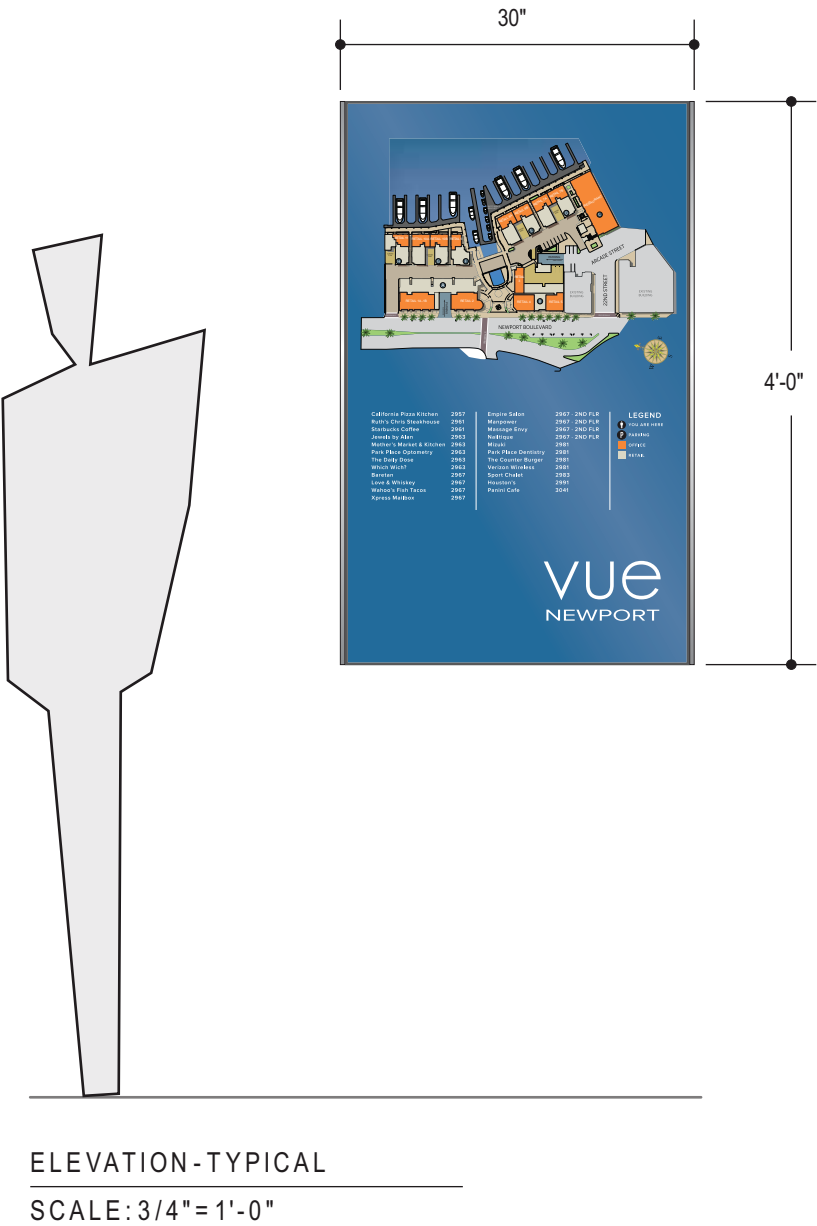
SIGN TYPE S1
RETAIL TENANT MONUMENT

***MUST OBTAIN COASTAL COMMISSION APPROVAL PRIOR TO FABRICATION AND INSTALLATION**

SIGN TYPE S1
RETAIL TENANT MONUMENT



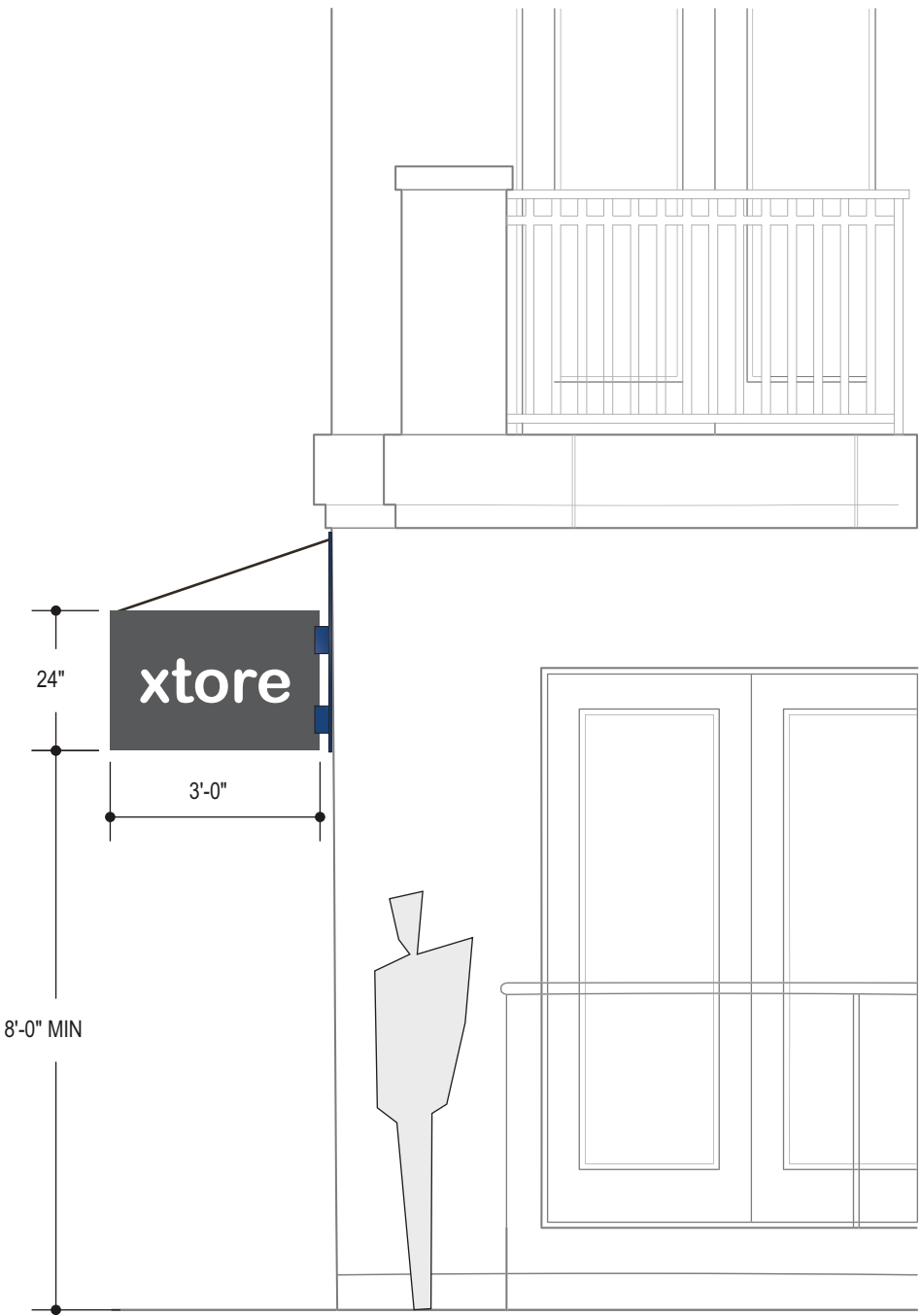
PURPOSE	To identify business names occupying the building suites within the center. Tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on the directory sign.
MAXIMUM NUMBER	Five.
LOCATION	Locations as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Business name per defined location, one-line of copy maximum.
MAX. SIGN AREA & SIZE	Width: 30” Height: 4’-0” Sign Area: 10 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; with lettering incised in the panel or fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	None.
LOGO / LOGOTYPE	Permitted.
LETTER STYLE	Tenant must use project font, all white in color (Retail tenant logo in white permitted).
COLORS	As shown.



PURPOSE	To identify business names occupying the building suites within the center. Tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on a blade sign.
MAXIMUM NUMBER	As Needed.
LOCATION	On building fascia to identify retail tenants as needed.
ORIENTATION	Perpendicular to building wall.
SIGN COPY	One business name and or logo per defined location, two-lines of copy maximum.
MAX. SIGN AREA & SIZE	Width: 3'-0" Height: 2'-0" Sign Area: 6 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; (cabinet signs with translucent or transparenbackgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Internally illuminated. No exposed neon lighting allowed. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Permitted.
LETTER STYLE	Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all white in color.
COLORS	Blue, gray and white .

SIGN TYPE S3

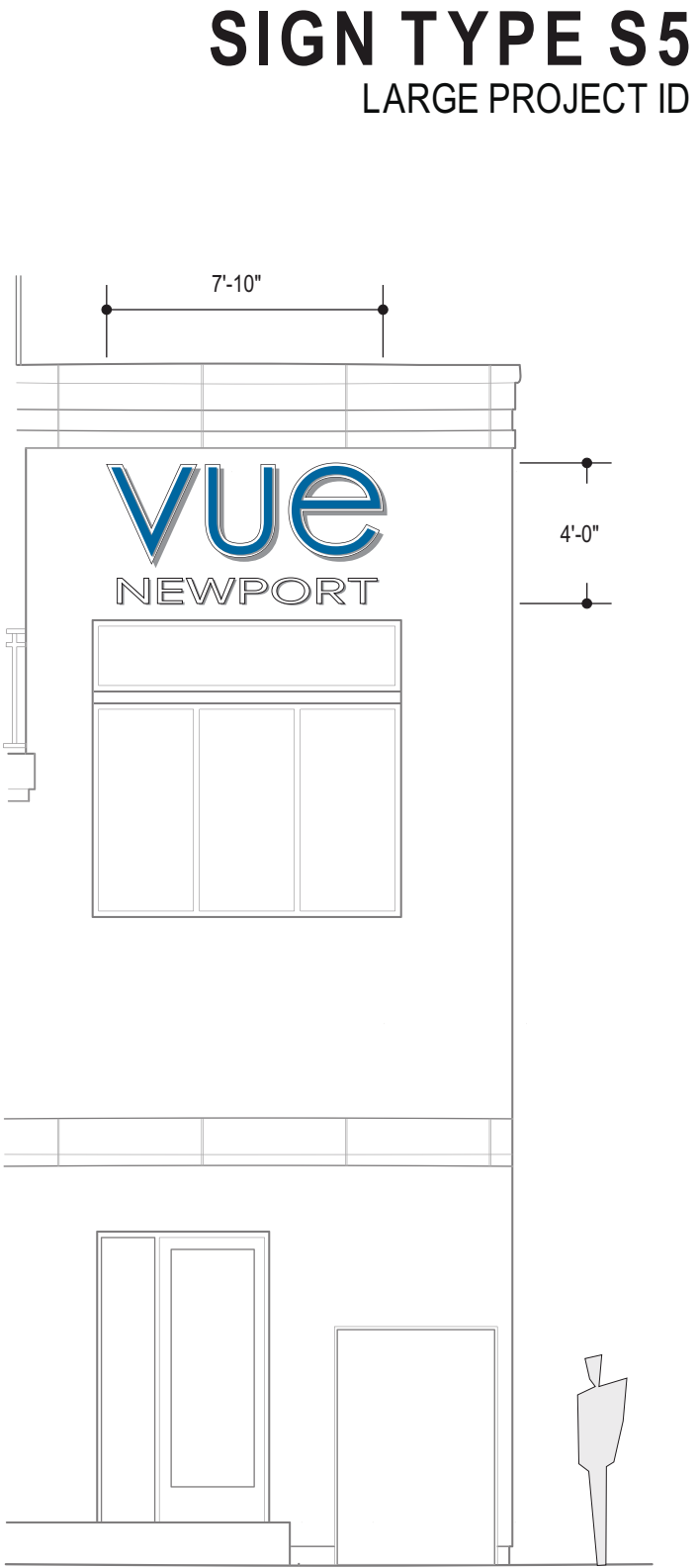
TENANT BLADE SIGN



ELEVATION - TYPICAL

SCALE: 3/8" = 1'-0"

PURPOSE	To identify the center.
MAXIMUM NUMBER	Two.
LOCATION	Locations as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Project name and or logo, two-lines of copy maximum.
MAX. SIGN AREA & SIZE	Width: 7'-10" Height: 4'-0" Sign Area: 31.3 sq. ft. Max
SIGN CONSTRUCTION	Individual letter and logos only. No cabinet signs or cloud signs allowed. Tenant is only permitted to mount directly to structural mounting system. Align business name to center of aluminum bar to be attached to structural mounting system. Structural mounting system is intended to preserve architectural features/materials.
ILLUMINATION	Internally illuminated face-lit or exposed neon. Halo-lit letters are not permitted on or above the second floor. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Project logo only. Must be approved by the Property Owner.
LETTER STYLE	Logo-typefaces permitted. Lettering must be approved by the Property Owner.
COLORS	Logo colors must contrast building facade. <i>Exact finish details to vary.</i>



ELEVATION - TYPICAL
 SCALE: 3/16"= 1'-0"

PURPOSE	To identify business names occupying the building suites within the center. Tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on the building directional.
MAXIMUM NUMBER	Three.
LOCATION	Locations as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Business name and or logo per defined location, two-lines of copy maximum.
MAX. SIGN AREA & SIZE	Width: 5'-0" Height: 6'-0" Sign Area: 30 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; with lettering incised in the panel or fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Internally illuminated. No exposed neon lighting allowed. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Permitted. Must be approved by the Property Owner.
LETTER STYLE	Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all white in color.
COLORS	Gray, blue and white.

SIGN TYPE S7

ON BUILDING RETAIL DIRECTIONAL



ELEVATION - TYPICAL

SCALE: 3/16"= 1'-0"

PURPOSE	To identify business names occupying the building suites within the center. Tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on the upper wall directory.
MAXIMUM NUMBER	One.
LOCATION	On Building A (2280) above parking entry way.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Business name and or logo per defined location, two-lines of copy maximum.
MAX. SIGN AREA & SIZE	Width: 8'-0" Height: 11'-0" Sign Area: 88 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; with lettering incised in the panel or fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Internally illuminated. No exposed neon lighting or halo lettering allowed. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Permitted. Must be approved by the Property Owner.
LETTER STYLE	Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all white in color.
COLORS	Gray and White.

SIGN TYPE S8

UPPER WALL RETAIL DIRECTORY



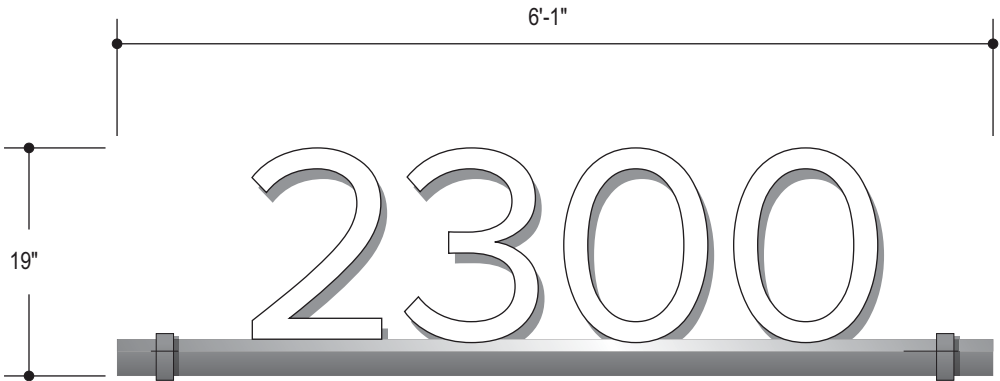
ELEVATION - TYPICAL

SCALE: 3/32" = 1'-0"

PURPOSE	To identify building address.
MAXIMUM NUMBER	One per building.
LOCATION	Mounted to existing structural mounting system installed by Property Owner. Locations as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Building address numbers.
MAX. SIGN AREA & SIZE	Width: 6'-1" Height: 19" Sign Area: 10 sq. ft. Max
SIGN CONSTRUCTION	Individual numbers only. No cabinet signs or cloud signs allowed. Numbers are only permitted to mount directly to structural mounting system. Align numbers to center of aluminum bar to be attached to structural mounting system. Structural mounting system is intended to preserve architectural features/materials. No exposed wiring allowed.
ILLUMINATION	Internally illuminated. No exposed neon lighting allowed. Halo-lit letters are not permitted on or above the second floor. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Not permitted.
LETTER STYLE	Project font only.
COLORS	Must contrast building facade. <i>Exact finish details to vary.</i>

SIGN TYPE S9

ADDRESS SIGN



DETAILS - TYPICAL

SCALE: 3/4" = 1'-0"



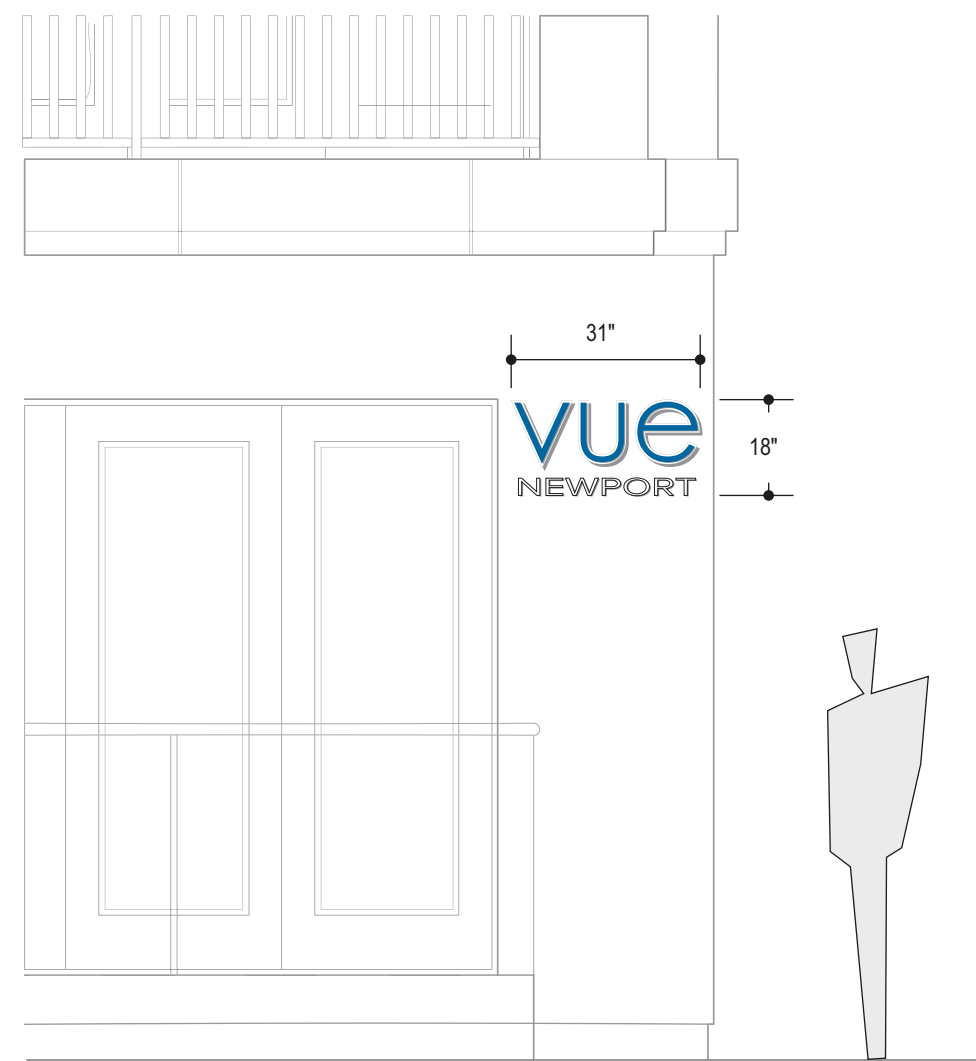
ELEVATION - TYPICAL

SCALE: 3/32" = 1'-0"

PURPOSE	To identify the center.
MAXIMUM NUMBER	Four.
LOCATION	Locations as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Project name and or logo, two-lines of copy maximum.
MAX. SIGN AREA & SIZE	Width: 31" Height: 18" Sign Area: 4 sq. ft. Max
SIGN CONSTRUCTION	Individual letter and logos only. No cabinet signs or cloud signs allowed. Tenant is only permitted to mount directly to structural mounting system. Align business name to center of aluminum bar to be attached to structural mounting system. Structural mounting system is intended to preserve architectural features/materials.
ILLUMINATION	Internally illuminated face-lit or exposed neon. Halo-lit letters are not permitted on or above the second floor. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Project logo only. Must be approved by the Property Owner.
LETTER STYLE	Logo-typefaces permitted. Lettering must be approved by the Property Owner.
COLORS	Logo colors must contrast building facade. <i>Exact finish details to vary.</i>

SIGN TYPE S10

SMALL PROJECT ID



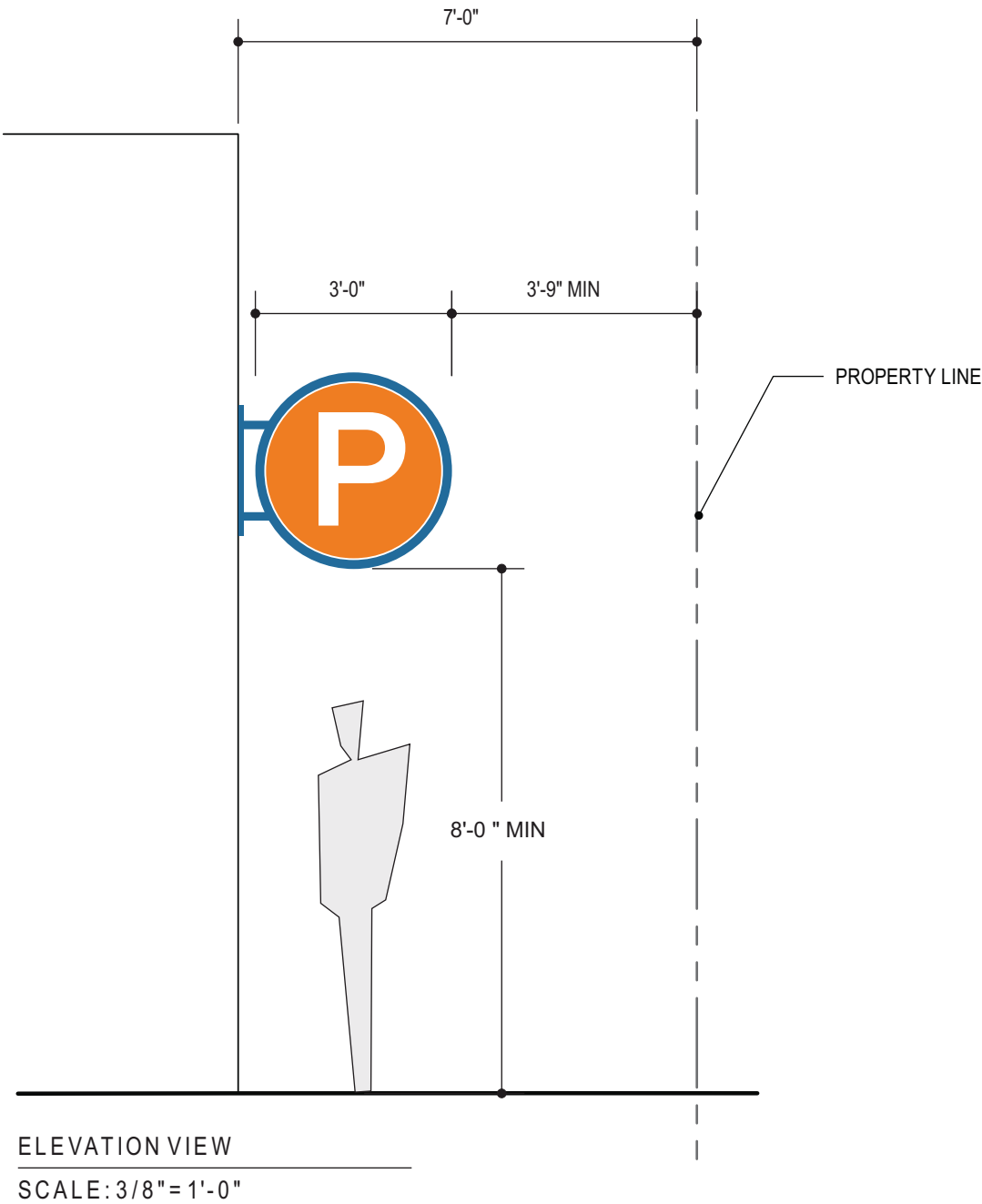
ELEVATION - TYPICAL

SCALE: 3/8" = 1'-0"

PURPOSE	To provide parking location to patrons.
MAXIMUM NUMBER	Two.
LOCATION	Location as indicated in the following exhibits.
ORIENTATION	Perpendicular to building wall.
SIGN COPY	Parking symbol.
MAX. SIGN AREA & SIZE	Width: 3'-0" Height: 3'-0" Sign Area: 9 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Internally illuminated or exposed neon lighting allowed. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Not permitted .
LETTER STYLE	Project font only.
COLORS	Blue, white and orange. <i>Exact finish details to vary.</i>

SIGN TYPE S11

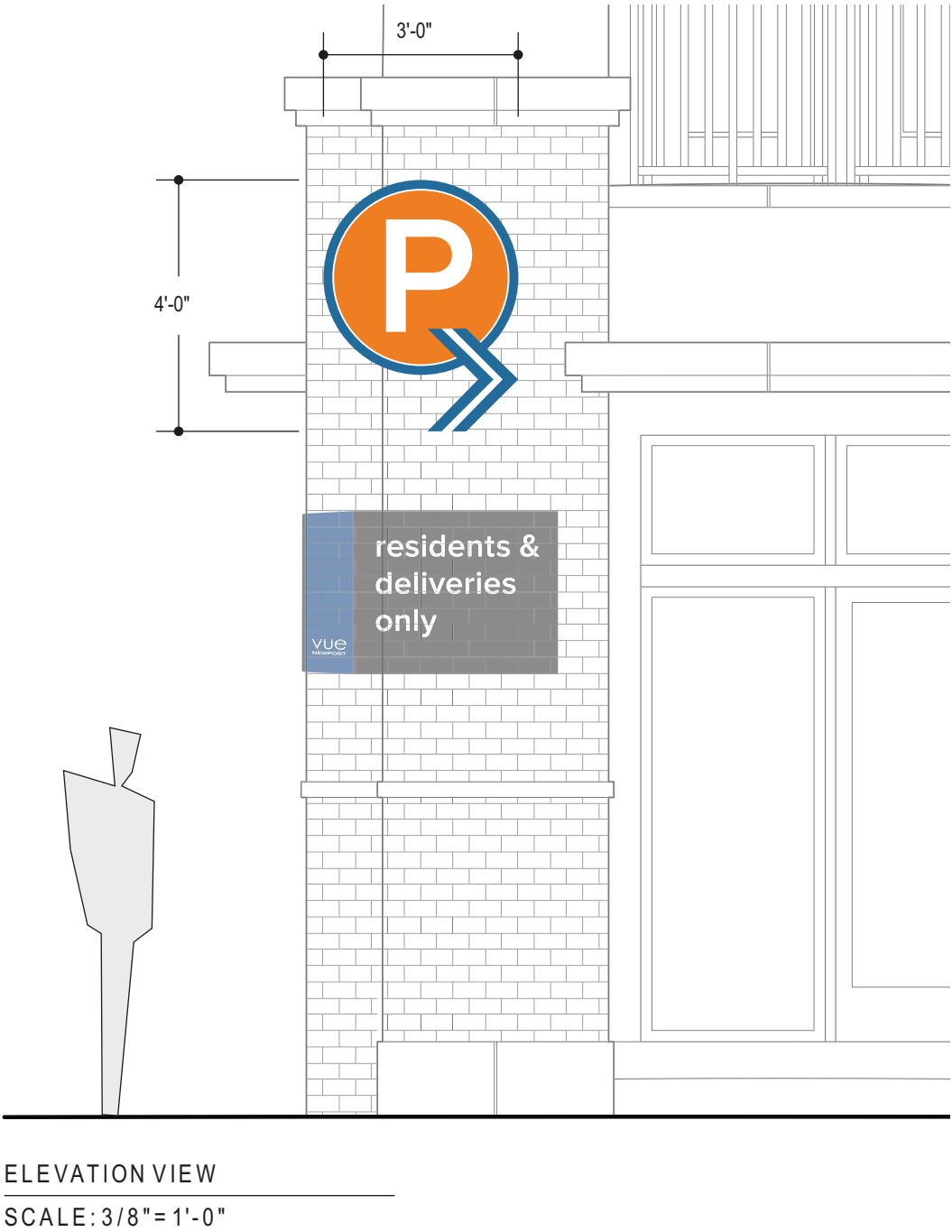
PARKING BLADE SIGN



PURPOSE	To provide parking information to patrons.
MAXIMUM NUMBER	One.
LOCATION	Location as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Parking symbol and arrow.
MAX. SIGN AREA & SIZE	Width: 3'-0" Height: 4'-0" Sign Area: 12 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Internally illuminated or exposed neon lighting allowed. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Not permitted .
LETTER STYLE	Project font only.
COLORS	Blue, white and orange. <i>Exact finish details to vary.</i>

SIGN TYPE S12

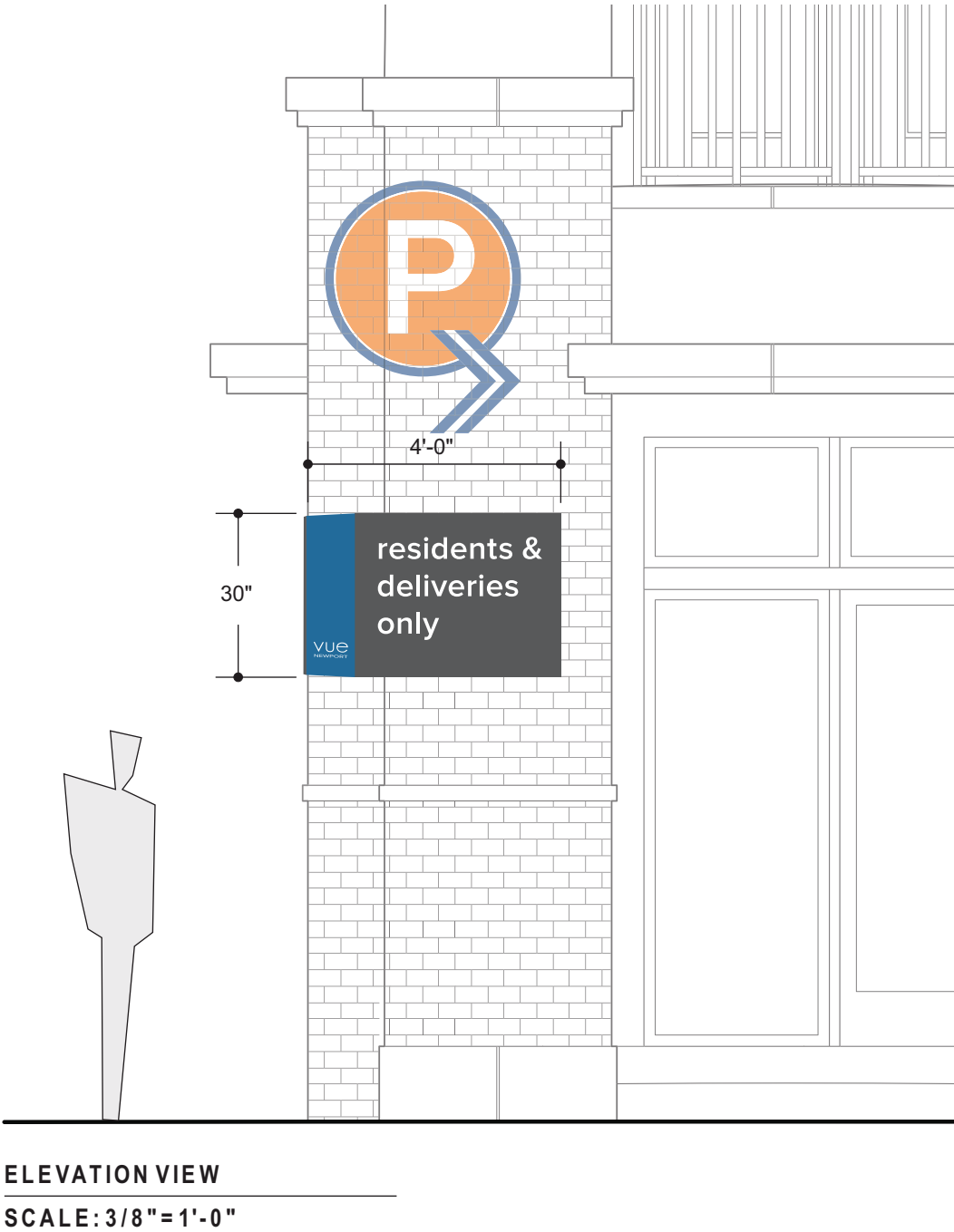
PARKING SIGN



PURPOSE	To provide information to patrons.
MAXIMUM NUMBER	One.
LOCATION	Location as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Project name and information copy.
MAX. SIGN AREA & SIZE	Width: 4'-0" Height: 30" Sign Area: 10 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Internally illuminated. No exposed neon lighting allowed. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Project logo only. Must be approved by the Property Owner.
LETTER STYLE	Project font only.
COLORS	Blue, white and gray. <i>Exact finish details to vary.</i>

SIGN TYPE S13

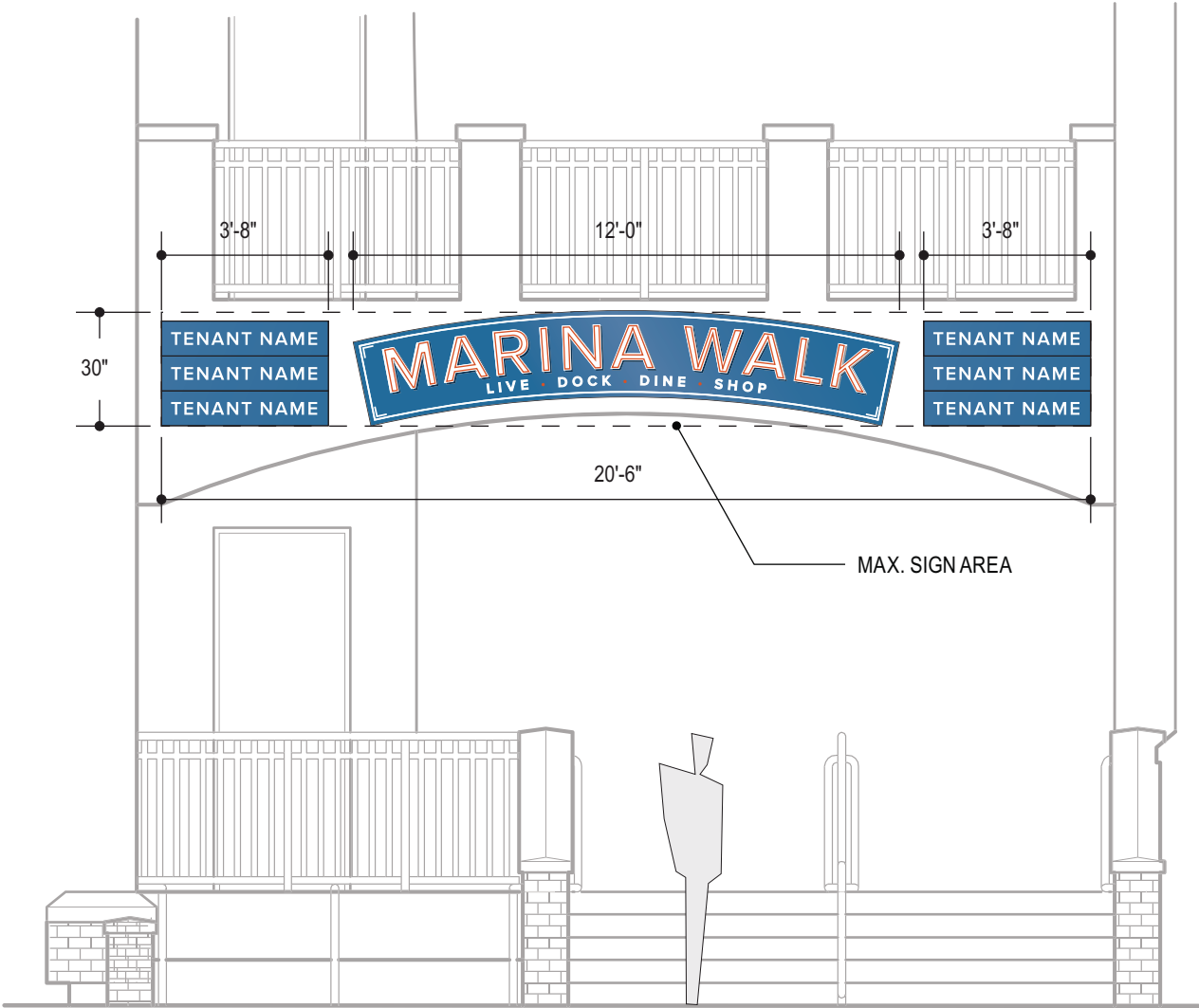
RESIDENTS & DELIVERIES ONLY



PURPOSE	To identify the walkway and business names occupying the building suites within the center.
MAXIMUM NUMBER	One.
LOCATION	Location as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Project name or logo, and up to six business names.
MAX. SIGN AREA & SIZE	Width: 20'-6" Height: 30" Sign Area: 52 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	None.
LOGO / LOGOTYPE	Project logo only. Must be approved by the Property Owner.
LETTER STYLE	Project font only.
COLORS	Blue, white, orange and gray. <i>Exact finish details to vary.</i>

SIGN TYPE S14

WALKWAY ID GRAPHICS



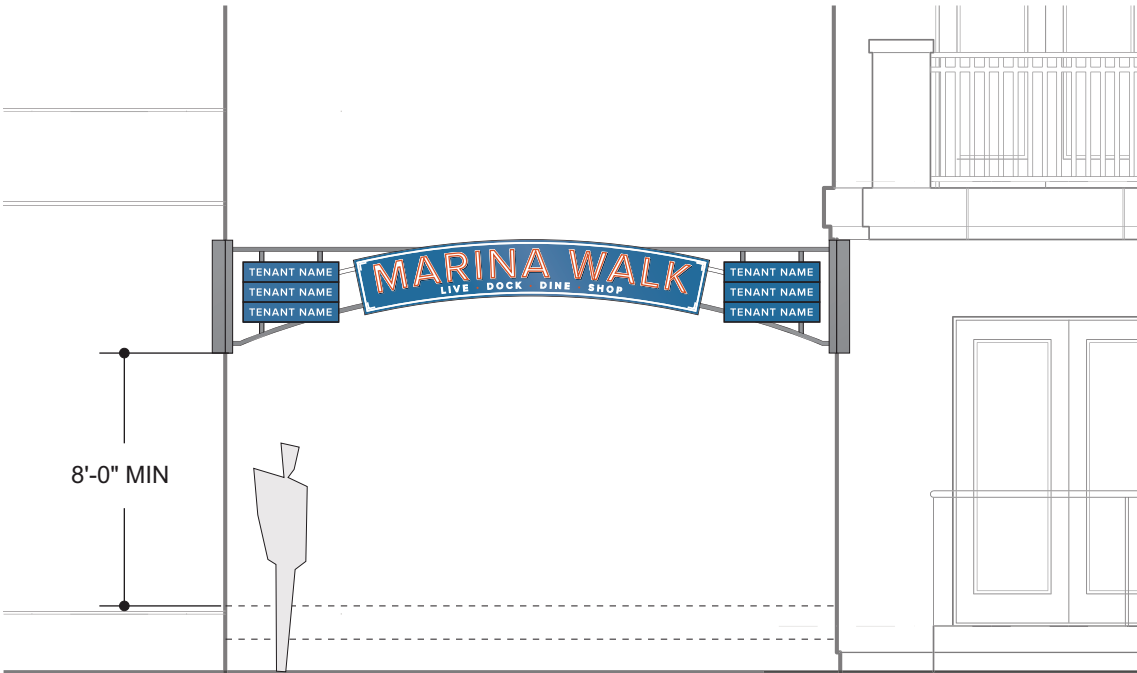
ELEVATION VIEW

SCALE: 1/4" = 1'-0"

PURPOSE	To identify the walkway and business names occupying the building suites within the center.
MAXIMUM NUMBER	One.
LOCATION	Between building C and D.
ORIENTATION	Parallel to Newport Bay.
SIGN COPY	Project name or logo, and up to six business names.
MAX. SIGN AREA & SIZE	Width: 18'-0" Height: 4'-0" Sign Area: 72 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Internally illuminated or exposed neon. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Project logo only. Must be approved by the Property Owner.
LETTER STYLE	Project font only.
COLORS	Blue, white, orange and gray. <i>Exact finish details to vary.</i>

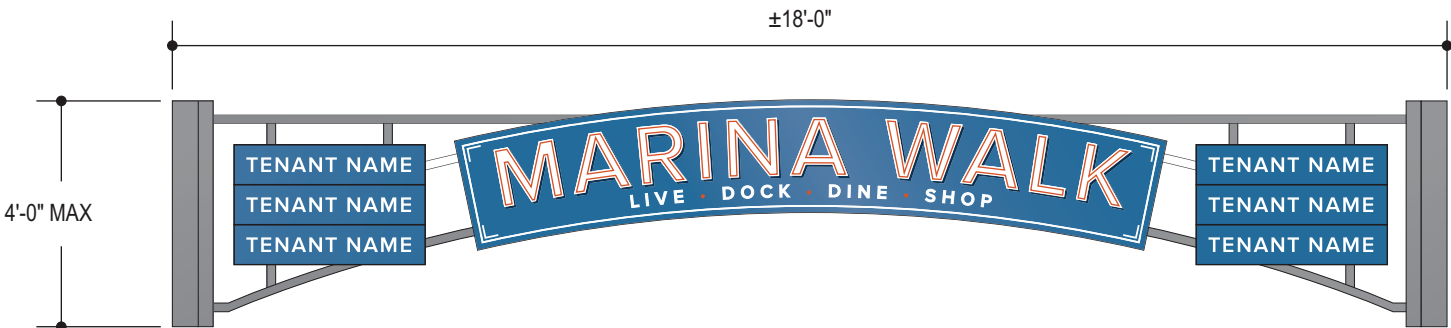
SIGN TYPE S15

WALKWAY ID SIGN



ELEVATION VIEW

SCALE: 3/16"= 1'-0"



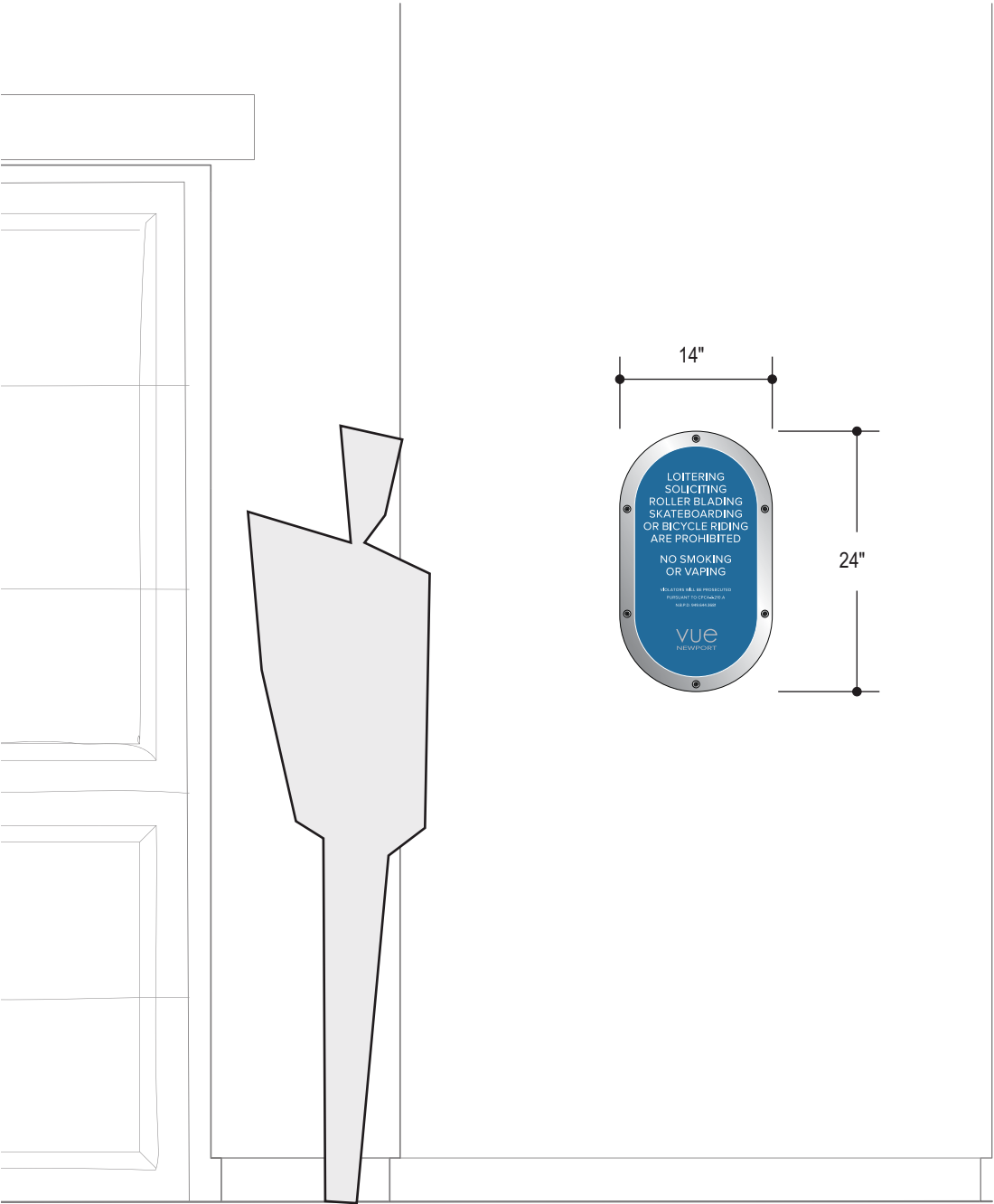
FRONT/BACK DETAIL VIEW

SCALE: 3/8"= 1'-0"

PURPOSE	To provide prohibited information to patrons.
MAXIMUM NUMBER	As needed.
LOCATION	Locations as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Project name and information copy.
MAX. SIGN AREA & SIZE	Width: 14" Height: 24" Sign Area: 3 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	Not permitted.
LOGO / LOGOTYPE	Project logo only. Must be approved by the Property Owner.
LETTER STYLE	Project font only.
COLORS	Blue, white, orange and gray. <i>Exact finish details to vary.</i>

SIGN TYPE S16

REGULATORY SIGN



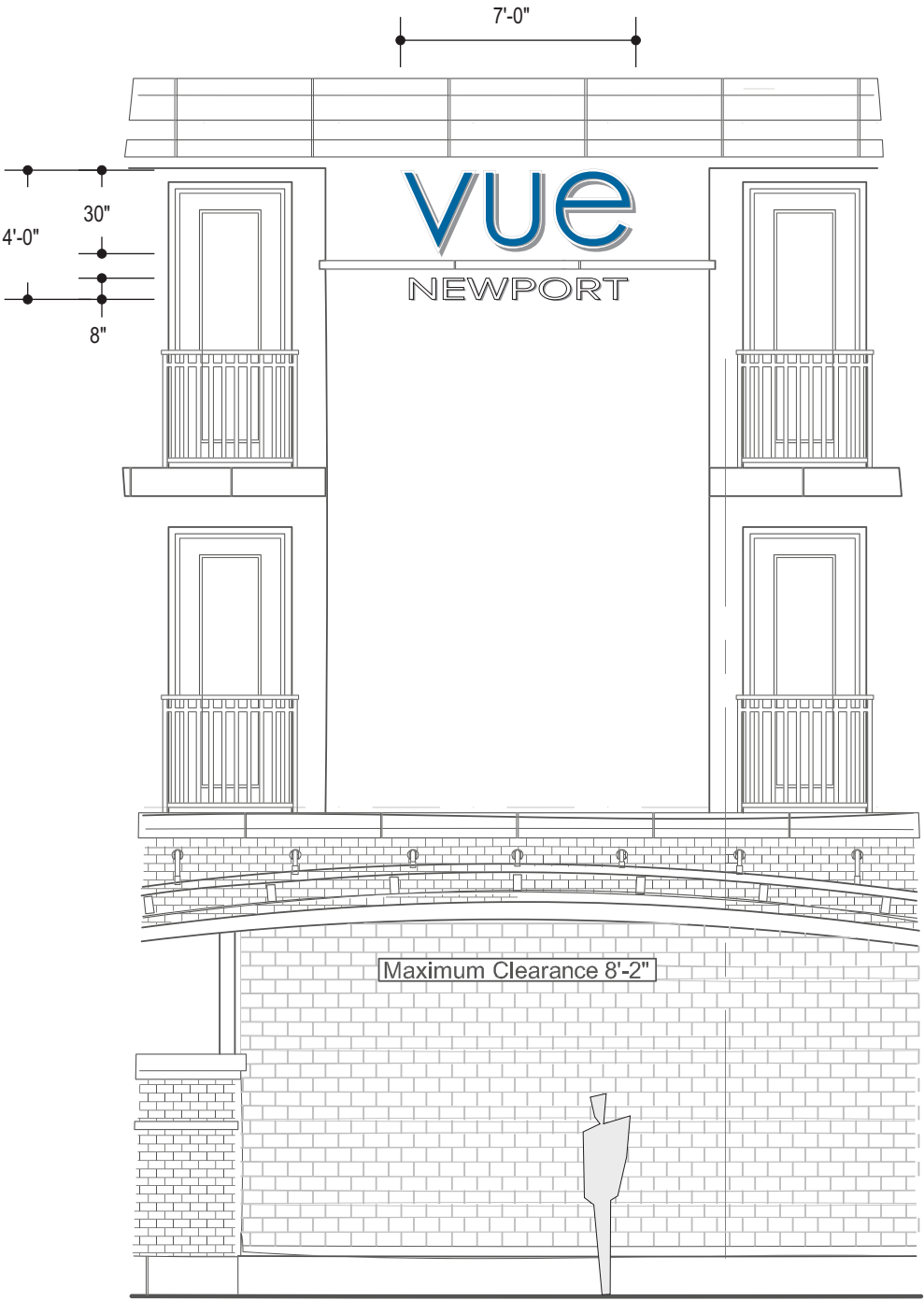
ELEVATION VIEW

SCALE: 3/8" = 1'-0"

PURPOSE	To identify the center.
MAXIMUM NUMBER	Two.
LOCATION	Locations as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Project name and or logo, two-lines of copy maximum.
MAX. SIGN AREA & SIZE	Width: 7'-0" Height: 4'-0" Sign Area: 28 sq. ft. Max
SIGN CONSTRUCTION	Individual letter and logos only. No cabinet signs or cloud signs allowed. Tenant is only permitted to mount directly to structural mounting system. Align business name to center of aluminum bar to be attached to structural mounting system. Structural mounting system is intended to preserve architectural features/materials. No exposed wiring allowed.
ILLUMINATION	Internally illuminated face-lit or exposed neon. Halo-lit letters are not permitted on or above the second floor. (Internally illuminated signs include opaque sign backgrounds and the only portion of the sign that appears as illuminated is the actual lettering and/or a registered trademark or logo).
LOGO / LOGOTYPE	Project logo only. Must be approved by the Property Owner.
LETTER STYLE	Logo-typefaces permitted. Lettering must be approved by the Property Owner.
COLORS	Logo colors must contrast building facade. <i>Exact finish details to vary.</i>

SIGN TYPE S18

MEDIUM PROJECT ID



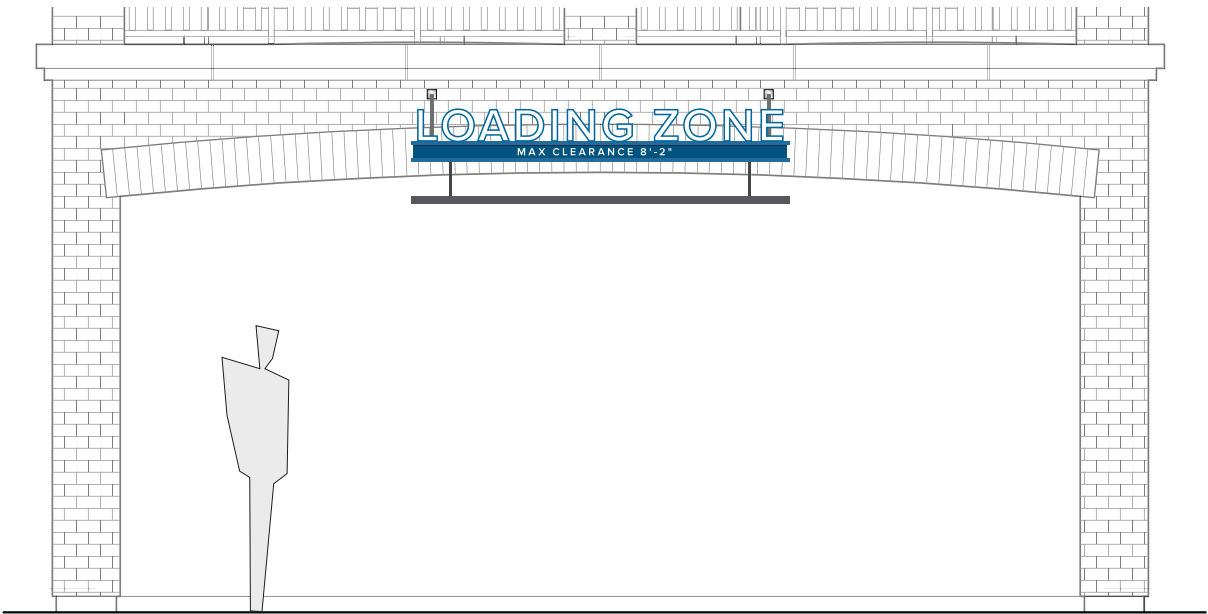
ELEVATION - TYPICAL

SCALE: 3/16"= 1'-0"

PURPOSE	To provide loading information to patrons.
MAXIMUM NUMBER	Five.
LOCATION	Location as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Loading information.
MAX. SIGN AREA & SIZE	Width: 7'-11" Height: 13" Sign Area: 9 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	None.
LOGO / LOGOTYPE	Not permitted .
LETTER STYLE	Project font only.
COLORS	Blue and white. <i>Exact finish details to vary.</i>

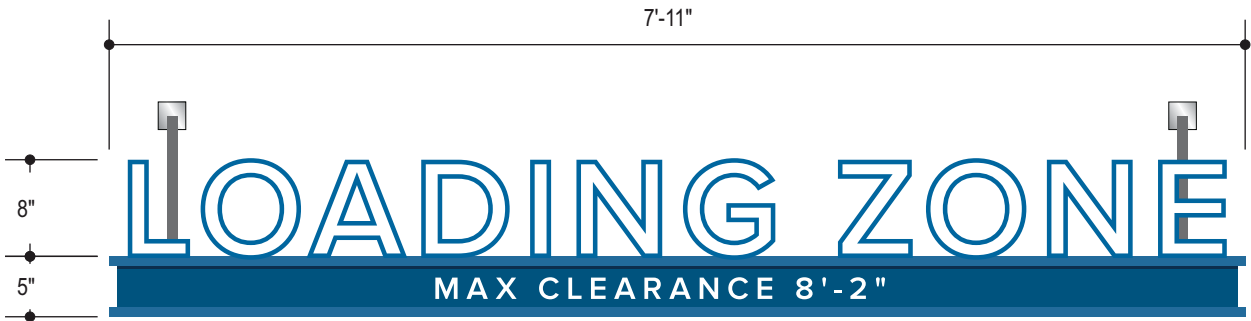
SIGN TYPE S19

LOADING ZONE



ELEVATION VIEW

SCALE: 1/4" = 1'-0"



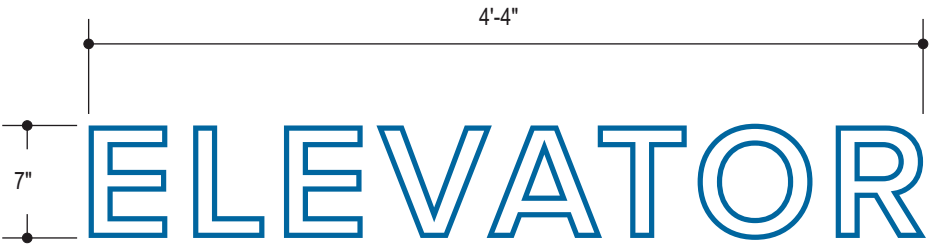
DETAIL VIEW

SCALE: 3/4" = 1'-0"

PURPOSE	To provide elevator location to patrons.
MAXIMUM NUMBER	Three.
LOCATION	Location as indicated in the following exhibits.
ORIENTATION	Parallel to wall toward street, parking lot or pedestrian area.
SIGN COPY	Elevator lettering.
MAX. SIGN AREA & SIZE	Width: 4'-4" Height: 7" Sign Area: 3 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals.
ILLUMINATION	None.
LOGO / LOGOTYPE	Not permitted .
LETTER STYLE	Project font only.
COLORS	Blue and white. <i>Exact finish details to vary.</i>

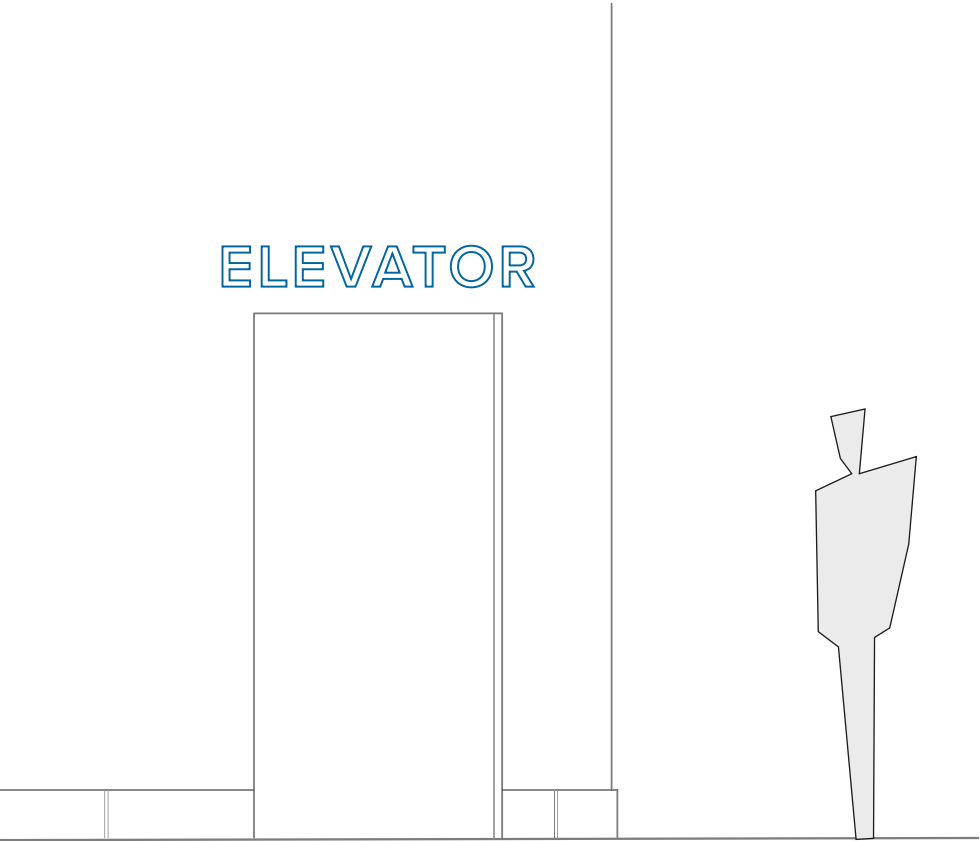
SIGN TYPE S20

ELEVATOR SIGN



DETAIL VIEW

SCALE: 1"= 1'-0"



ELEVATION VIEW

SCALE: 3/8"= 1'-0"

PURPOSE	To provide docking information to visitors.
MAXIMUM NUMBER	7.
LOCATION	Locations as shown on site plan page 0.3.
ORIENTATION	S.21.1, (2) signs – 1 facing bayward (North), 1 facing landward (South). S21.2, (2) signs – 1 facing bayward (North), 1 facing landward (South). S21.3, (1) sign facing bayward (North). S21.4, (1) sign post mounted facing bayward (North). S21.5, (1) sign post mounted facing bayward (North).
SIGN COPY	Boat slip number and information copy.
MAX. SIGN AREA & SIZE	Width: 30” Height: 30” Sign Area: 6.25 sq. ft. Max
SIGN CONSTRUCTION	Smooth, durable, non-weathering sign; fabricated from nonferrous metals (cabinet signs with translucent or transparent backgrounds are not permitted). All hardware shall be of nonferrous metals and UV coated.
ILLUMINATION	Not permitted.
LOGO / LOGOTYPE	Project logo only. Must be approved by the Property Owner.
LETTER STYLE	Project font only.
COLORS	Blue, white and orange. <i>Exact finish details to vary.</i>

SIGN TYPE S21

BOAT SLIP ID

