

CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION ACTION REPORT

TO: CITY COUNCIL, CITY MANAGER, AND PLANNING COMMISSION

FROM: Seimone Jurjis, Assistant City Manager/Community Development Director

SUBJECT: Report of actions taken by the Community Development Director for the week ending August 23, 2024.

COMMUNITY DEVELOPMENT DIRECTOR OR ZONING ADMINISTRATOR ACTIONS (Non-Hearing Items)

Item 1: Carden Hall Modular Classroom Staff Approval (PA2024-0125) Site Address: 1541 Monrovia Avenue

Action: Approved

Council District 2

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.



COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION 100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915 949-644-3200 www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER

Subject:	 Carden Hall Modular Classroom (PA2024-0125) Staff Approval
Site Location	1541 Monrovia Avenue
Applicant	Ana Salazar
Legal Description	Lot 1014 of the First Addition to Newport Mesa Tract

On <u>August 22, 2024</u>, the Community Development Director approved a Staff Approval (PA2024-0125) to allow for the installation of one new 960 square foot modular classroom building at the existing Carden Hall Private School in substantial conformance with Use Permit No. UP1137A. The modular classroom building is to accommodate pre-kindergarten enrollment and to create an administrative area for the school. This approval is based on the following findings and is subject to the following conditions.

LAND USE AND ZONING

- General Plan Land Use Plan Category: Private Institutions (PI)
- **Zoning District:** Private Institutions (PI)

PROJECT SUMMARY

The applicant proposes to install a new 960-square-foot (24-foot by 40-foot) permanent modular classroom building for pre-kindergarten enrollment on the grass field towards the south of the property. The modular classroom building will also be used to create an administrative area for the school and serve as a space for additional learning activities. No changes to the operational characteristics of the school, increase in enrollment, or any other improvements are proposed.

BACKGROUND

On February 16, 1961, the Planning Commission approved Use Permit No. UP712 for the construction of a 250-foot radio tower on the property.

On May 20, 1965, the Planning Commission approved Use Permit No. UP1137 to allow a proposed building to be used as a school. The building was originally designed to be used as an office building in connection with sales, administrative and engineering offices for a manufacturing plant in accordance with the Newport Beach Municipal Code (NBMC).

Ultimately, the building was designed to comply with the requirements for both a manufacturing facility as well as a school.

On May 21, 1970, the Planning Commission approved an amendment to Use Permit No. UP1137A to extend the use permit and allow use of the entire five-acre site, which would accommodate new facilities needed to support future growth. These facilities and land were proposed to be used as a private school.

On July 2, 2021, the Community Development Director approved Staff Approval No. SA2021-005 to allow for the installation of a new 2,160-square-foot permanent modular classroom building at the existing Carden Hall Private School to support a future increase of student enrollment for up to 435 students. The project included improvements to accessible parking and paths of travel per the ADA (Americans with Disabilities Act of 1990).

I. <u>FINDINGS</u>

Pursuant to NBMC Section 20.54.070 (Changes to an Approved Project), the Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of the approved use, without a public hearing, and waive the requirement for a new use permit application. In this case, the Community Development Director has determined that the proposed changes are in substantial conformance with the entitlements:

Finding:

A. The changes are consistent with all applicable provisions of this Zoning Code.

Facts in Support of Finding:

- 1. The property is located within the Private Institutions (PI) Zoning District which is intended to provide for areas appropriate for privately owned facilities that serve the public, including places for assembly/meeting facilities (e.g., religious assembly), congregate care homes, cultural institutions, health care facilities, marinas, museums, private schools, yacht clubs, and comparable facilities. The proposed modular classroom is for an existing private institution consistent with the purpose and intent of the PI Zoning District and does no operational changes are proposed.
- 2. The current enrollment is 435 students, and the property provides 72 on-site parking spaces. No increase in student enrollment is proposed and, therefore, no increase in on-site parking spaces is required.

Finding:

B. The changes do not involve a feature of the project that was a basis for or subject of findings or exemptions in a negative declaration or Environmental Impact Report for the project.

Facts in Support of Finding:

- 1. The previously approved Use Permits were determined to be categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 1 (Existing Facilities).
- 2. The Class 1 exemption exempts minor alterations to existing facilities involving negligible or no expansion of existing or former use including additions to existing structures provided that the addition will not result in an increase of 10,000 square feet for projects in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and is not located in an environmentally sensitive area. The proposed modular classroom is 960-square-feet which is less than 10,000 square feet and the property is not in an environmentally sensitive area.
- 3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

Finding:

C. The changes do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.

Facts in Support of Finding:

- 1. The proposed modular classroom does not involve a feature that was specifically addressed or was the subject of a condition of approval for UP1137A.
- 2. The conditions of approval set forth in UP1137A did not place a limit on the square footage of the private institution. The project is consistent with the use permit which discussed the need for facilities to accommodate future growth of the school.
- 3. Condition No. 1 of UP1137A requires that the parking area and motor court as shown on the plot plan be used for discharging and pickup of all students. The modular classroom is not proposed to be installed in the parking area or motor court and will not impede the discharging and pickup of all students. The site will continue to provide adequate circulation and drop off areas where vehicles enter thorough the northerly driveway, circle in a u-shaped direction, drop off along the building and curb frontages, then exit along the southerly driveway.

Finding:

D. The changes do not result in an expansion or change in operational characteristics of the use.

Facts in Support of Finding:

- 1. The proposed modular building does not change the overall use and operational characteristics of the private institution. The project is in substantial conformance with UP1137A, as the property will continue to be used as a private institution.
- 2. All other school structures and operations will continue as authorized in Use Permit No. UP1137 and its subsequent amendment.

II. <u>CONDITIONS</u>

All previous findings and conditions of approval of Use Permit No. UP1137, amendment to Use Permit No. UP1137A, and Staff Approval No. SA2021-005 shall remain in full force and effect as stated in Attachment No. CD 2, with the addition of the following conditions:

Planning Division

- 1. The development authorized by this staff approval shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
- 2. A copy of the Resolution, including conditions of approvals shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.
- 3. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.
- 4. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval
- 5. A building permit shall be obtained prior to commencement of construction activities. A copy of this approval letter shall be incorporated into both the Building Division and field sets of plans prior to issuance of the building permits.
- 6. The applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code. The construction plans must meet all applicable State Disabilities Access requirements. Complete sets of drawings including architectural, electrical, mechanical, and plumbing plans shall be required at plan check.

- 7. Any change in operational characteristics, expansion in area, or other modification to the approved plans, shall require an amendment to this staff approval or the processing of a new staff approval or conditional use permit.
- 8. This Staff Approval filed as PA2024-0125 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
- 9. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Carden Hall Modular Classroom including, but not limited to, the Staff Approval (PA2024-0125). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages that which City incurs in enforcing the indemnification provisions outlined in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Public Works

- 10. A new sewer cleanout shall be installed on the existing sewer lateral pursuant to City Standard 406.
- 11. The applicant shall obtain approval from the Municipal Water District (MWD).

Building Division

- 12. <u>Prior to the issuance of building permits</u>, the project plans shall provide State approvals of modular classroom for "E" occupancy.
- 13. <u>Prior to the issuance of building permits</u>, the project plans shall provide an accessible ramp to access each classroom.

Fire Department

14. An automatic fire alarm system shall be provided in new buildings of private schools pursuant to Section 907.2.3.8 of the California Fire Code.

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:

Approved by:

Jenny Tran, Associate Planner

LAW/jt

- CD 1 Vicinity Map
 - CD 2 Project Description
 - CD 3 Use Permit No. UP1137 and UP1137A
 - CD 4 Staff Approval No. SA2021-005
 - CD 5 Project Plans

Attachments:

Sectione finis

Assistant City Manager

Attachment No. CD 1

Vicinity Map

VICINITY MAP



Staff Approval PA2024-0125

1541 Monrovia Avenue

Attachment No. CD 2

Project Description

Ana Salazar PO Box 68 Mira Loma, CA 91752 760-222-4637 ana@elitepnp.com

June 28, 2024

Planning Division – Newport Beach City Hall 100 Civic Center Dr. Newport Beach, CA 92660 949-644-3204

RE: Proposed New Modular 24'x40' Building at Rear

This letter serves as a description for the proposed work to be done at 1541 Monrovia Avenue which is currently Carden Hall School. A new modular 24'x40' building is proposed to be installed at the rear of the existing school site. This building will serve to accommodate pre-k enrollment for the 2024-2025 school year and create a proper administrative area which does not currently exist at the site. This will also serve as a space for an additional learning activities. If you have any other questions, please contact me at the information above.

Thank you,

Ana Salazar Project Coordinator

Attachment No. CD 3

Use Permit No. UP1137 and UP1137A

IF APPROVED, NOT EFFECTIVE	FILING FE	E \$ 30.		na Tara yañ Lor
UNTIL 15 DAYS AFTER DATE	USE PERMIT A	PPLICATION	NO. 1137	
	Ord. No	. 635		
	<u>CITY OF NEW</u>	ويوالك أكتر والمناج والتعادي التعادي المتعاد والمتعاد والمتعاد والمتعاد والمتعاد والمتعاد والمتعاد والمتعاد وال	DATE May 5, 1965	<u> </u>
	FILING FEE	\$30.00		_
at all public hearings by five copies of a pl all boundaries, existi must sign conditions of cation shall be revoked	ot plan to scale, and ng buildings, propose f Use Permit, if any, d if not used within	with correct dimensi d alterations and add within thirty days a eighteen months from 15-44 A	ions, showing in de ditions. The appli after approval. Ap date of approval.	tail cant
CORELCO	mail to: P.(D. Box 1325, Newport	Beach, California	
Applicant			dress Involved dition to	
LOT_1014BLOCK	SECTION	TRACT Newport	Mesa ZONE ML-	A
DATE OF HEARING May 20, 1	.965	TIME 8:00	XXN. P.M.	

4. Application is hereby made for a Use Permit from Section <u>9103.9 -9105.1(f)</u> to permit: the proposed building to be used as a school. The building will be designed for an

ultimate two story office building in connection with sales, administrative and

1.

2.

3.

engineering offices for a manufacturing plant in accordance with the provisions of

Section 9103.9 of the City of Newport Beach Municipal Code. The building will contain all the

normal requirements for a manufacturing facility as well as those required for a school.

Landscape and automatic sprinkler systems will be included in the design layout.

There are _______ sheets attached to and made a part of this application. I hereby certify that the foregoing statements, maps, drawings, plans and specifications attached hereto are true and correct. If approved this Use Permit will not adversely affect persons residing or working in the neighborhood. I further consent to any permit issued in reliance thereon being null and void in the event they are not true and correct.

لا، 8-2201 تسمیر اللیا Francisco Dr., Newport Beach, Calif. 548-4788

Signature of Owner or Applicant Home Address Phone None States Phone States S

FOR DEPARTMENTAL USE ONLY In accord with Section9103.9 - 9105.1(f) a Use Permit is hereby <u>GRANTED</u> the above applicant subject to requirements of all governmental agencies having jurisdiction and subject to the following: 1. That the parking area and motor court as shown on the plot planme be used for discharging and pickup of all students. 2. That students not be allowed to cross the street on foot. 3. That the school activity and playground area be fenced. 4. That a sidewalk be constructed along the frontage of the property in accordance with the specifications of the Public Works Department. 5. Approved as a private school for a period of 4 years, in accordance with plot plan submitted.

The undersigned hereby agrees to all the above conditions.

RIS Signature of Grantee

FINDINGS OF PLANNING COMMISSION: Upon a review of the evidence on file and testimony presented at the meeting the Commission found and determined that, under the circumstances of the particular case, the granting of this use permit would not be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood and, therefore, recommended approval subject to the above conditions. DENIED-XDEAKEDX-APPROVED - By the City Council on the APPROVED - By City Planning Commission 20 _day of_ 19_65._ _day of__ on the May 19 Ray Y. Coperin, Secretary Margery Schrouder, City Clerk Newport Beach City Planning Commission Newport Beach, California ON 4-29-69 4 YRS. EYTENDED BY HOD. COM 4

	AMENDHENT TO
USE PERMIT APPLICATION CITY OF NEWPORT BEACH	No. 1137
	Fee \$150.00
Planning Department 3300 Newport Boulevard Phone (714) 673-2110	
Applicant	Phone (714) 548-2201
Mailing Address P. O, Box 132	25, Newport Beach, California, 92663
Property Owner CORELCO	Phone(714) 548-2201
Mailing Address P. O. Box 132	25, Newport Beach, California, 92663
Address of Property Involved	1541 Monrovia, Newport Beach, California
Purpose of Application (desc	ribe fully) To extend Use Permit #1137 to include
the development of overall land us	age of the total 5 acres, which provides for the new
facilities needed immediately, and	future growth. These facilities and land to be
	ping, to be provided, will be compatible with
existing landscaping.	▶ <u>▶ ₩ / </u>
Zone M-1 Present Legal Description of Property First Add To Newport Mesa TR Lot 10	y Involved (if too long, attach sheet)
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Planning Commission Meeting May 21, 1970

Item No. 4

CITY OF NEWPORT BEACH

May 14, 1970

- TO: Planning Commission
- FROM: Planning Department
- SUBJECT: Amendment to Use Permit No. 1137

Request to permit expansion of an existing private school.

LOCATION: Portion of Lot 1014 of the First Addition to Newport Mesa Tract, located at 1541 Monrovia Avenue on the west side of Monrovia Avenue between 15th Street and 16th Street.

ZONE: M-1-A

- APPLICANT: Corelco, Newport Beach
- OWNER: Same as applicant.

Application

This application requests permission to expand the existing Carden Hall School in three phases, utilizing a total of five acres. A use permit is required in accordance with Section 20.08.080 of the Municipal Code.

Subject Property and Surrounding Land Use

The subject property is located in an M-l-A District that is almost completely developed with light manufacturing uses in modern buildings. However, the Seacliffe Trailer Park is situated diagonally across Monrovia Avenue from the main building of Carden Hall School and there are some single family dwellings southerly of the school facing on Monrovia Avenue.

The site of the proposed expansion presently has an old abandoned dwelling on it. The property is fenced and is immediately south of the Bartell Corporation.

All street improvements, including curb, gutter and sidewalk, are existing.

Analysis

Use Permit No. 1137 permitting a private school in an M-1-A District was approved by the Planning Commission on May 20, 1965, subject to the following conditions. Newport Beach

TO: Planning Commission - 2.

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- That the parking area and motor court as shown on the plot plan be used for discharging and pickup of all students.
- That students not be allowed to cross the street on foot.
- 3. That the school activity and playground area be fenced.
- 4. That a sidewalk be constructed along the frontage of the property in accordance with the specifications of the Public Works Department.
- 5. Approved as a private school for a period of four years, in accordance with plot plan submitted.

On April 29, 1969 the use permit was extended for four years by the Modifications Committee.

The expansion of the school would take place in three phases. Phase #1 calls for one building 40 feet by 134 feet. Phase #2 calls for an addition to building No. 1 of 40 feet by 80 feet. Phase #3 includes a gymnasium and a swimming pool.

At present there is parking provided for 50 cars; under the proposed expansion there would be 79 parking spaces provided. The applicants wish to defer construction of some of the parking spaces until the completion of Phase #3. The City has no specific requirements for parking in conjunction with a school.

Recommendation

The school has proven to be a good neighbor at its present location and staff feels that the proposed expansion is in order and recommends approval of this application subject to the condition as originally outlined.

tures cto horan James E. Nuzum Associate Planner

JEN:hh

Attachments: Vicinity Map Plot Plan

City of Newport Beach

Attachment No. CD 4

Staff Approval No. SA2021-005



COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION 100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915 949-644-3200 www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER

Subject:	Carden Hall Modular Classroom (PA2021-118) Staff Approval No. SA2021-005
Site Location	1541 Monrovia Avenue
Applicant	Gorgano Builders
Legal Description	Lot 1014, First Addition of Newport Mesa Tract Map

On <u>July 2, 2021</u>, the Community Development Director approved Staff Approval No. SA2021-005 to allow for the installation of one new 2,160-square-foot modular classroom building at the existing Carden Hall Private School to support a future increase of student enrollment for up to 435 students. There are currently 378 students enrolled with a potential increase of up to 57 students. Improvements to Americans with Disabilities Act of 1990 (ADA) parking and paths of travel are included in the scope of work as well. This approval is based on the following findings and subject to the following conditions.

LAND USE AND ZONING

- General Plan Land Use Plan Category: Private Institutions (PI)
- **Zoning District:** Private Institutions (PI)

PROJECT SUMMARY

The applicant proposes to install one new 2,160-square-foot modular classroom building to support a future increase of student enrollment for up to 435 students. There are currently 378 students enrolled with a potential increase of up to 57 students. Improvements to the existing parking lot include one new ADA parking stall, and paths of travel.

BACKGROUND

On February 16, 1961, the Planning Commission approved Use Permit No. UP0712 to allow the construction of a 250-foot radio tower on the subject property.

On May 20, 1965, the Planning Commission approved Use Permit No. UP1137 to allow a proposed building to be used as school. The building was designed as an office building in connection with sales, administrative and engineering offices for a manufacturing plant in accordance with the provisions of Section 9103.9 of the City of Newport Beach Municipal Code (NBMC). The building contained all requirements for a manufacturing facility as well as those required for a school. This use permit was subsequently amended

by the Planning Commission on May 21, 1970, to extend the development of overall land usage of the total 5 acres, which provided for the new facilities and future growth of the school.

I. <u>FINDINGS</u>

Pursuant to NBMC Section 20.54.070 (Changes to an Approved Project), the Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of the approved use, without a public hearing, and waive the requirement for a new use permit application. In this case, the Community Development Director has determined that the proposed changes are in substantial conformance with the entitlements:

Finding:

A. The changes are consistent with all applicable provisions of this Zoning Code.

Facts in Support of Finding:

1. The project is located in the Private Institutions (PI) Zoning District. The Private Institutions Zoning District is intended to provide for areas appropriate for privately owned facilities that serve the public, including places for assembly/meeting facilities (e.g., religious assembly), congregate care homes, cultural institutions, health care facilities, marinas, museums, private schools, yacht clubs, and other comparable facilities. The proposed modular classroom is for a private institutional use that serves the students and faculty attending the school. The proposed modular classroom, ADA parking improvements, paths of travel, and increase of student enrollment are consistent with the purpose and intent of the Private Institutions zone.

Finding:

B. The changes do not involve a feature of the project that was a basis for or subject of findings or exemptions in a negative declaration or Environmental Impact Report for the project.

Facts in Support of Finding:

- 1. The previously approved Use Permits were determined to be categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 1 (Existing Facilities).
- 2. The Class 1 exemption exempts minor alterations to existing facilities involving negligible expansion of use beyond that existing at the time of the lead agency's determination. There were no specific facts, findings, mitigation measures or conditions that would preclude the proposed improvements to the use.

- 3. The Class 1 exemption consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use including additions to existing structures provided that the addition will not result in more than 2,500 square feet or 10,000 square feet in areas where all public services and facilities are available.. In this case, the proposed 2,160-square-foot modular classroom, ADA parking, paths of travel improvements, and an increase in enrollment of up to 57 students are consistent with this exemption.
- 4. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

Finding:

C. The changes do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.

Facts in Support of Finding:

- 1. The proposed improvements which include a modular classroom, ADA parking, paths of travel improvements, and increase of student enrollment to the existing private school do not involve a feature that was specifically addressed or was the subject of a condition of approval for Use Permit No. UP0712, Use Permit No. UP1137, and subsequent amendment (Use Permit No. UP1137A).
- 2. The proposed modular classroom and increase of student enrollment is in accordance with the amendment of Use Permit No. UP1137, which discusses the need of facilities for the future growth of the school. The conditions of approval and project description do not place a limit on enrollment.
- 3. All necessary parking is provided on-site so there will be no spillover onto public streets. The approved Use Permits do not specify a parking rate or required number of spaces for the school use as specified by the Zoning Code. The Zoning Code identifies a related parking rate of one space per seven students for a day care general use, which provides similar operational characteristics for school-age children that do not drive and are dropped off. The proposed student enrollment of 435 students will accommodate 62 parking spaces on-site. There are currently 72 parking spaces provided on-site.
- 4. Condition No. 1 of UP1137 and UP1137A requires the parking area and motor court to be used for discharging and pickup of all students. The site will continue to provide

adequate circulation and drop off areas where vehicles enter through the northerly driveway, circle in a u-shaped direction, drop off along the building and curb frontages, then exit along the southerly driveway.

5. The addition of one new ADA parking stall and proposed paths of travel provided onsite are consistent with Use Permit No. UP1137 and its subsequent amendment.

Finding:

D. The changes do not result in an expansion or change in operational characteristics of the use.

Facts in Support of Finding:

- 1. The Private School proposes an increase in student enrollment, modular classroom, ADA parking, and path of travel improvements, which will not substantially modify the existing school layout or current operational characteristics.
- 2. All other school structures and operations will continue as authorized Use Permit No. UP1137 and its subsequent amendment. The school provides K-8 educational programming within the main building. The parking layout and drop-off will continue as authorized under current operations. The proposed modular classroom will provide a dedicated classroom space for a Kindergarten program with more direct access to required play areas.

II. <u>CONDITIONS</u>

All previous findings and conditions of Use Permit No. 0712, Use Permit No. UP1137, and amendment to Use Permit No. UP1137A shall remain in full force and effect as stated in Attachment No. CD 2, with the addition of the following conditions:

PLANNING DIVISION

- 1. The development authorized by this staff approval shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
- 2. A copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.
- 3. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.

- 4. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval
- 5. A building permit shall be obtained prior to commencement of the construction. A copy of this approval letter shall be incorporated into both the Building Division and field sets of plans prior to issuance of the building permits.
- 6. The applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code. The construction plans must meet all applicable State Disabilities Access requirements. Complete sets of drawings including architectural, electrical, mechanical, and plumbing plans shall be required at plan check.
- 7. Any change in operational characteristics, expansion in area, or other modification to the approved plans, shall require an amendment to this Use Permit or the processing of a new Use Permit.
- 8. This Staff Approval No. SA2021-005 (PA2021-118) shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
- 9. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Carden Hall Modular Classroom including, but not limited to, Staff Approval No. SA2021-005 (PA2021-118). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

PUBLIC WORKS DEPARTMENT

10. County Sanitation District fees shall be paid prior to the issuance of any building permits.

BUILDING DIVISION

- 11. <u>Prior to the issuance of building permits</u>, the project plans shall provide state approvals of modular classroom for "E" occupancy.
- 12. <u>Prior to the issuance of building permits</u>, state approved C.P. seismic piers shall be listed and labeled by BSK Associates on the project plans.
- 13. <u>Prior to the issuance of building permits</u>, if plans are not state approved, a one (1) hour fire rated corridor shall be required for "E" occupancy greater than ten (10) occupants in non-sprinkler building.
- 14. <u>Prior to the issuance of building permits</u>, if plans are not state approved, the project plans shall show Office 104 exit access. Exit access shall not pass through a room that can be locked to prevent egress.
- 15. <u>Prior to the issuance of building permits</u>, if plans are not state approved, the project plans shall provide a minimum 48-inch-wide corridor shall be required for side approach to doors equipped with both latch and closer.
- 16. <u>Prior to the issuance of building permits</u>, if plans are not state approved, the project plans shall show that restroom door is equipped with both latch and closer.
- 17. <u>Prior to the issuance of building permits</u>, if plans are not state approved, the project plans shall provide a 5-foot diameter turn around at the end of the corridor in front of Office 104.
- 18. <u>Prior to the issuance of building permits</u>, the project plans shall provide an accessible ramp to access each classroom.
- 19. The applicant shall employ the following best available control measures ("BACMs") to reduce construction-related air quality impacts:

Dust Control

- Water all active construction areas at least twice daily.
- Cover all haul trucks or maintain at least two feet of freeboard.
- Pave or apply water four times daily to all unpaved parking or staging areas.
- Sweep or wash any site access points within two hours of any visible dirt deposits on any public roadway.
- Cover or water twice daily any on-site stockpiles of debris, dirt or other dusty material.
- Suspend all operations on any unpaved surface if winds exceed 25 mph.

Emissions

• Require 90-day low-NOx tune-ups for off road equipment.

• Limit allowable idling to 30 minutes for trucks and heavy equipment Off-Site Impacts

- Encourage carpooling for construction workers.
- Limit lane closures to off-peak travel periods.
- Park construction vehicles off traveled roadways.
- Wet down or cover dirt hauled off-site.
- Sweep access points daily.
- Encourage receipt of materials during non-peak traffic hours.
- Sandbag construction sites for erosion control.

Fill Placement

- The number and type of equipment for dirt pushing will be limited on any day to ensure that SCAQMD significance thresholds are not exceeded.
- Maintain and utilize a continuous water application system during earth placement and compaction to achieve a 10 percent soil moisture content in the top six-inch surface layer, subject to review/discretion of the geotechnical engineer.
- 20. A list of "good housekeeping" practices will be incorporated into the long-term postconstruction operation of the site to minimize the likelihood that pollutants will be used, stored or spilled on the site that could impair water quality. These may include frequent parking area vacuum truck sweeping, removal of wastes or spills, limited use of harmful fertilizers or pesticides, and the diversion of storm water away from potential sources of pollution (e.g., trash receptacles and parking structures). The Stage 2 WQMP shall list and describe all structural and nonstructural BMPs. In addition, the WQMP must also identify the entity responsible for the long-term inspection, maintenance, and funding for all structural (and if applicable Treatment Control) BMPs.

FIRE DEPARTMENT

- 21. An automatic fire alarm system shall be provided in new buildings of private schools. (2019 California Fire Code 907.2.3.8).
- 22. Fire extinguishers shall be provided and placed according to Chapter 9 of the 2019 California Fire Code. Prior to the issuance of building permits, identify locations of fire extinguishers on plans.
- 23. Materials for interior wall and ceiling finish shall meet the requirements of Table 803.3 in the 2019 California Fire Code.
- 24. All interior materials shall meet the requirements of Chapter 8 of the 2019 California Fire Code.
- 25. <u>Prior to the issuance of building permits</u>, the project plans shall identify Fire Department access, all fire lanes, and hydrant locations.

- 26. Plans shall identify a safe dispersal area. Safe dispersal area shall be based on 3 square feet per occupant. Safe dispersal areas shall not be less than 50 feet from school buildings. (2019 California Fire Code Special Detailed Requirements Based on Use and Occupancy, Section 452.1.3)
- 27. All buildings housing Group E occupancies shall front directly to a public street or an exit discharge not less than 20 Feet in width. Plans shall identify exit discharge area. (2019 California Fire Code Special Detailed Requirements Based on Use and Occupancy, Section 452.1.1).

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development, within fourteen (14) days following the date the action or decision was rendered unless a different period of time is specified by the Municipal Code. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

On behalf of Seimone Jurjis, Community Development Director,

Prepared by:

Afshir Atapour Planning Technician

MKN/aa

Attachments: CD 1 Vicinity Map CD 2 UP0712, UP1137, and UP1137A CD 3 Project Plans

Attachment No. CD 5

Project Plans

VICIN	ITY MAP												CLIENT: CARDEN HALL SCH 1541 MONROVIA ST NEWPORT BEACH.	Г.	DESIGN TEAM: EVERETT SMITH DESIGNS 951.323.2187 EVERETT@EVERETTSMITHDESIGN	PREPARED BY:
Mp Sabilite													CONTRACTOR: California Building Co 619californiacontract 619.207.5009		STRUCTURAL: RAHMAN ENGINEERING 213.400.8078 MOKSUD.RAHMAN@GMAIL.COM	
													619.207.5009		MORSOD.RAMMAN@GMAILCOM <u>MEP ENGINEERRING</u> BLUEBERRY ENGINEERING e-mail: kabadani@blueberryinc.com Direct: (949)945-5036	<section-header><section-header><section-header><text><text></text></text></section-header></section-header></section-header>
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4	WILL BE ALLOWED FOR EXCAVATION. 33. THE MEANS OF EGRESS SERVING ANY	OCCUPIED PORTION OF THE BUILDING SHALL BE	ILUMINATED TO AN					PROTECTION SYSTEMS PROTECTION DISTRICT I WORK BEING STARTED.	FOR REVIEW AND APPROVA	AL PRIOR TO INSTALLAT	ION OR			PLANS REVIEWED BY: RAHM	AN ENGINEERING	Checked by ES
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	34. THE PATH OF EXIT TRAVEL TO AN WITH TO CBC 2022 CODE	HIN EXITS IN A BUILDING SHALL BE IDENTIFIED BY	EXIT SIGNS CONFORMING			1		EXCAVATION AND CONS	TRUCTION OPERATIONS." ((CBC 3302, 3306 & 3307)		, ,	 		el: (213)-400-8078 ISUD RAHMANE GMAIL COM	Scale
IT IS THE RE	SPONSIBILITY OF THE CONTRACTOR TO FIE	ELD VERIFY EXISTING SITE CONDITIONS AND DIM	ENSIONS PRIOR TO STARTING CONSTRUCTION. HID	DEN CONDITIONS MAY EXIST, AND AF	RE THE RESPONSIBILITY OF THE CONTI	ACTOR TO IDENTIFY AND BRING TO THE	DESIGNERS ATTENTION	 w.					 Z:\Share	ed\Everett Smith Designs\	ES Design Jobs\24-2334 California Contracting Newpo	t\24-2334 California Contracting Newport 2024.07.08.rvt

1 EXIT PLAN

1013.4 RAISED CHARACTER AND BRAILLE EXIT SIGNS TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING

OCATIONS EACH GRADE-LEVEL EXTERIOR EXIT DOOR THAT IS REQUIRED TO

LINUS. EACH GRADE-LEVEL EXTERIOR EXIT DOOR THAT IS REQUIRED TO COMPLY WITH SECTION 1013.1, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORD, "EXIT. EACH EXIT SIGN WITH THE WORD, "EXIT. EACH EXIT SIGN WITH THE WORD, "EXIT. EACH EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE. A. "EXIT STARL DOWN" B. "EXIT FAMP DOWN" C. "EXIT STARL UP" D. "EXIT FAMP UP" EACH EXIT DOOR THAT IS REQUIRED TO COMPLY WITH SECTION 1013.1, AND THAT LEADS DIRECULY TO A GRADE-LEVEL EXIT BY MEANS OF A REXT EXIT STARL UP" D. "EXIT RAMP UP" EACH EXIT DOOR THAT IS REQUIRED TO COMPLY WITH SECTION 1013.1, AND THAT LEADS DIRECULY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY SHALL BE IDENTIFIED BY A TACTLE EXIT SIGN WITH THE WORDS, "EXIT ROUTE." EACH EXIT DOOR THAT IS REQUIRED TO COMPLY WITH SECTION 1035, THAT DOTE." EACH EXIT OOR THAT IS REQUIRED TO TA TACTLE EXIT SIGN WITH THE WORDS, "EXIT ROUTE." EACH EXIT OOR OR AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO COMPLY WITH STORM OR AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO COMPLY WITH EACH EXIT OR ON THAT IS REQUIRED TO COMPLY WITH C. "EXIT SIGN WITH THE SECTION THE WORDS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY SHALL BE IDENTIFIED BY A TACTLE EXIT SIGN WITH THE WORDS, CAN ROUTE."

A CORRIDOR OR HALLWAY THAT IS REQUIRED TO COMPLY WITH SECTION 1013.1, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN

WITH THE WORDS "EXIT ROUTE." EACH EXIT DOOR THROUGH A HORIZONTAL EXIT THAT IS REQUIRED TO COMPLY WITH SECTION 1013.1, SHALL BE IDENTIFIED BY A SIGN WITH THE WORDS, "TO EXIT."

RAISED CHARACTER AND BRAILLE EXIT SIGNS SHALL COMPLY WITH

HAPTER 11A, SECTION 1143A OR CHAPTER 11B, SECTIONS 11B- 703.1, 1B-703.2, 11B-703.3 AND 11B-703.5.

OCCUPANCY LEGEND





FIGURE 11B-308.2.1

UNOBSTRUCTED FORWARD REACH



FIGURE 11B-308.3.1

UNOBSTRUCTED SIDE REACH

1013.5 INTERNALLY ILLUMINATED EXIT SIGNS ELECTRICALLY POWERED, SELF-LUMINOUS AND PHOTOLLUMINESCENT EXIT SIGNS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 924 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND CHAPTER 27. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.

1013.6.3 POWER SOURCE EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN BERGENCY POWER SYSTEM MEANS SHALL BE CONNECTED TO AN EMPERATOR FORMER STATEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH CHAPTER 27. GROUP 12. CONDITION 2 EXIT SIGN ILLUMINATION SHALL NOT BE PROVIDED BY UNIT EQUIPMENT BATTERIES ONLY.

1013.1 WHERE REQUIRED EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. THE PATH OF EGRESS TRAVEL TO EXITS AND WITHIN EXITS SHALL BE MARKED BY READILY VISIBLE EXIT SIGNS TO CLEARLY NDICATE THE DIRECTION OF EGRESS TRAVEL IN CASES WHERE THE EXIT OR THE PATH OF EGRESS TRAVEL IS NOT IMMEDIATELY VISIBLE TO THE PATH OF EGRESS TRAVEL IN CASES WHERE THE EXIT OR THE PATH ANRYED BY EXIT SIGNS LECTS SIGN EXCEMENT SHALL BE MARKED BY EXIT SIGNS LECTS SIGN PLACEMENT SHALL BE SUCH THAT ANY POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS WITHIN 100 FEET (30 400 MIN) OR THE LISTE O VIEWING DISTANCE OF THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.

EXIT 5 ROUTE NIW - 80 - 148 - 149 -SIGN MOUNTING HT



ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS SHALL COMPLY WITH SECTION 11B-308.1.

- COMPLY WITH SECTION THE-308.1. A. A. WHERE A FORWARD REACH IS UNOBSTRUCTED, CONTROLS, SWITCHES & ELECTRICAL RECEPTACLES SHALL BE LOCATED NO MORE THAN 46° MEASURED FROM THE TOP OF THE OUTLET BOX NOR LESS THAN 15° MEASURED FROM THE BOTTOM OF THE OUTLET BOX TO THE LEVEL OF FINISH FLOOR. (GEC 11B-308.1.1) B. ELECTRICAL RECEPTACLES SHALL BE LOCATED NO MORE THAN 45° MEASURED FROM THE TOP OF THE RECEPTACLE OUTLET BOX NOR RECEPTACLE HOUSING NOR LESS THAN 15° MEASURED FROM THE BOX TOR CON THE BOTTOM OF THE RECEPTACLE OUTLET BOX OR C. RECEPTACLE OUTLET BOX OR C. RECEPTACLE OUTLET BOX OR

- EXIT NOTES: 1. "EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED WITH 5-FOOT-CANDLES. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES AND WILL BE CONNECTED TO THE BUILDING POWER AND AN EMERGENCY POWER SOURCE PROVIDING 90 MINS. OF ILLUMINATION IN CASE OF PRIMARY POWER LOSS.
- PRIMARY POWER LOSS. 2. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. THE MEANS OF EGRESS ILLUMINATION NO LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL. THE MEANS OF EGRESS ILLUMINATION AND EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY 3. ELECTRICAL SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS. THE INSTALLATION OF THE EMERGENCY FOWER SYSTEM SHALL BE IN ACCORDANCE WITH CHAPTER 27. (EGG 1008, 1013.6.3) SUPPLY LIGHT FIXTURES THAT ARE CONNECTED TO THE EMERGENCY POWER SYSTEM SHALL BE A JASLES, HALLWAYS, CORRIDORS AND EXIT ACCESS STARWAYS & RAMPS. B. INTERIOR EXIT ACCESS STAIRWAYS & RAMPS, INTERIOR AND EXTERIOR EXIT STARWAYS & RAMPS, EXIT PASSAGEWAYS, VESTIBULES AND AREAS ON THE LEVEL OF EXIT DISCHARGE USED FOR EXIT DISCHARGE AND EXTERIOR LANDING FOR EXIT DOORWAYS THAT LEAD DIRECTLY TO THE EXIT DISCHARGE. 2. THE MEANS OF EGRESS. INCLUDING THE EXIT DISCHARGE. SHALL BE

- TO THE EXIT DISCHARGE
- C. ELECTRICAL EQUIPMENT ROOMS, FIRE COMMAND CENTERS, FIRE PUMP ROOMS, GENERATOR ROOMS & PUBLIC RESTROOMS WITH AREA GREATER THAN 300 SQ. FT















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2022 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y N/A RESPON.

Y NA RESPON. PARTY CHAPTER 3 **GREEN BUILDING** SECTION 301 GENERAL

- 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandat the application checklists contained in this code. Voluntary green building measures are also included in application checklists and may be included in the design and construction of structures covered by this but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.
- but are not required unless auxpleu up a why owneys and 301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS. [BSC-CG] The provisions to show the new two next ruted buildings, building additions of 1,000 square of individual sections of Chapter 5 apply to newly constructed buildings, building additions of 1,000 sque feet or greater, and/or building alterations with a permit valuation of \$200,000 or above (for occupancies the authority of California Building Standards Commission). Code sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work.

A code section will be designated by a banner to indicate where the code section only applies to newly constructed buildings [N] or to additions and/or alterations [A]. When the code section applies to both, no banner will be used.

301.3.1 Nonresidential additions and alterations that cause updates to plumbing fixtures only Note: On and after January 1, 2014, certain commercial real property, as defined in Civil Code Section

Note: On and alter January 1, 2014, certain Commence and Paper 3, as demixed in CVIII Code Section 1101.3, shall have its noncompiliant plumbing intures replaced with appropriate water-conserving plumbing fixtures under specific circumstances. See CVII Code Section 1101, 1et set, for definitions, types of commercial real property affected, effective dates, circumstances necessitating replacement of noncompilant plumbing fixtures, and duties and responsibilities for ance

301.3.2 Waste Diversion. The requirements of Section 5.408 shall be required for additions and alterations whenever a permit is required for work.

301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES. (see GBSC) 301.5 HEALTH FACILITIES. (see GBSC)

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building res applicable to each specific occupancy

SECTION 303 PHASED PROJECTS

303.1 PHASED PROJECTS. For shell buildings and others constructed for future tenant improvements only those code measures relevant to the building components and systems considered to be new construction (or newly constructed) shall apply.

303.1.1 Initial Tenant improvements. The provisions of this code shall apply only to the initial tenant improvements to a project. Subsequent tenant improvements shall comply with the scoping provisions in Section 301.3 non-residential additions and alterations.

ABBREVIATION DEFINITIONS:

- Department of Housing and Community Developm California Building Standards Commission Division of the State Architect, Structural Safety Office of Statewide Health Planning and Developr munity Developmen HCD BSC DSA-SS OSHPD LR HR AA N Office of Sta Low Rise
- High Rise Additions and Alterations

CHAPTER 5

NONRESIDENTIAL MANDATORY MEASURES

DIVISION 5.1 PLANNING AND DESIGN

SECTION 5.101 GENERAL

5:101:SCOPE The provisions of this chapter outline planning, design and development methods that include environmentally responsible site selection, building design, building siting and development to protect, restore and enhance the environmental quality of the site and respect the integrity of adjacent properties.

SECTION 5.102 DEFINITIONS

5.102.1 DEFINITIONS The following terms are defined in Chapter 2(and are included here for reference)

CUTOFF LUMINAIRES. Luminaires whose light distribution is such that the candela per 1000 lamp lumens does not numerically exceed 25 (25 percent) at an angle of 90 degrees above nadir, and 100 (10 percent) at a vertical angle of 80 degrees above nadir. This applies to al lateral angles around the luminaire.

LOW-EMITTING AND FUEL EFFICIENT VEHICLES. Eligible vehicles are limited to the following

Zero emission vehicle (ZEV), enhanced advanced technology PZEV (enhanced AT ZEV) or transitional zero emission vehicles (TZEV) regulated under CCR, Title 13, Section 1962.
 High-efficiency vehicles, regulated by U.S. EPA, bearing a fuel economy and greenhouse gas rating od 9 oe 10 as regulated under 40 CFR Section 600 Subpart D.

NEIGHBORHOOD ELECTRIC VEHICLE (NEV). A motor vehicle that meets the definition of "low-spee either in Section 385.5 of the Vehicle Code or in 49CFR571.500 (as it existed on July 1, 2000), and is

TENANT-OCCUPANTS. Building occupants who inhabit a building during its normal hours of operation as permanent occupants, such as employees, as distinguished from customers and other transient visitors.

VANPOOL VEHICLE. Eligible vehicles are limited to any motor vehicle, other than a motortruck or truck tractor designed for carrying more than 10 but not more than 15 persons including the driver, which is mainta primarily for the nonprofit work-related transportation of adults for the purpose of ridesharing.

Note: Source: Vehicle Code, Division 1, Section 668

ZEV. Any vehicle certified to zero-emission standards.

SECTION 5.106 SITE DEVELOPMENT 5.106.1 STORM WATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB LESS THAN ONE ACRE OF LAND. Newly constructed projects and additions which disturb less than one acre of land, and are not part of a larger common plan of development or sale, shall prevent the pollution of storm water runoff from the construction activities through one or more of the following measures:

5.106.1.1 Local ordinance . Comply with a lawfully enacted storm water management and/or erosion control

5.106.1.2 Best Management Practices (BMPs). Prevent the loss of soil through wind or water erosion by implementing an effective combination of erosion and sediment control and good housekeeping BMPs.

Soil loss BMPs that should be considered for implementation as appropriate for each project include, but are not limited to, the following: a. Scheduling construction activity during dry weather, when possible. b. Preservation of natural features, vegetation, soil, and buffers around surface waters. c. Drainage swales or lined diches to control stormwater flow. d. Mulching or hydroxeding to stabilize disturbed soils. e. Erosion control to protect slopes. f. Protection of storm drain infets (gravel bags or catch basin inserts). g. Perimeter sediment control (perimeter silt fance, fiber rolls). Soil ment tanor creatiment basin to retain sediment on site.

- Sediment trap or sediment basin to retain sediment on site Stabilized construction exits.
- Wind erosion control.
 Other soil loss BMPs acceptable to the enforcing agency.
 Good housekeeping BMPs to manage construction equipment, materials, non-stormwater discharges and wastes that should be considered for implementation as appropriate for each project include, but are not limited to, the following:

 Dewatering activities.
- Dewatering activities. Material handling and waste management Building materials stockpile management.
- Doluming internats subc.pre management.
 Management of washout areas (concrete, paints, stucco, etc.).
 Control of vehicle/equipment fueling to contractor's staging area.
 Vehicle and equipment cleaning performed off site.
 Spill prevention and control.
 Other housekeeping BMPs acceptable to the enforcing agency.

- Y N/A RESPON 5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF LAND. Comply with all lawfully enacted stormwater discharge regulations for projects that (1) disturb one acre or more of land, or (2) disturb loss than one acre of liand but are part of a larger common plan of development sale.

 - Note: Projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of the larger common plan of development or sale must comply with the post-construction requirements detailed in the applicable National Pollutant Discharge Elimination System (NPDES) General permit for Stomwater Discharges Associated with Construction and Land Disturbance Activities issued by the State Water Resources Control Board or the Lahortan Regional Water Quality Control Board (for projects in the Lake Table Hydrology Unit).
 - The NPDES permits require postconstruction runoff (post-project hydrology) to match the preconstruct The NPDES permits require postconstruction runnin (postconstruction) and the new service of the new service roved by the enforcing ager
 - Refer to the current applicable permits on the State Water Resources Control Board website at: www.waterboards.ca.gov/constructionstormwater. Consideration to the stormwater runoff management measures should be given during the initial design process for appropriate integration into site development.
 - 5.106.4 BICYCLE PARKING. For buildings within the authority of California Building Standards Commission as specified in Section 103, comply with Section 5.106.4.1. For buildings within the authority of the Division of the State Architect pursuant to Section 105, comply with Section 5.106.4.2.
 - 5.106.4.1 Bicycle parking. [BSC-CG] Comply with Sections 5.106.4.1.1 and 5.106.4.1.2; or meet the applicable local ordinance, whichever is stricte
 - 5.106.4.1.1 Short-term bicycle parking. If the new project or an addition or alteration is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors entrance, readily visible to passers-by, for 5% of new visitor motorized evhicle parking spaces being added, with a minimum of one two-bike capacity rack. Exception: Additions or alterations which add nine or less visitor vehicular parking spaces
 - 5.106.4.1.2Long-term bicycle parking. For new buildings with tenant spaces that have 10 or more tenant-occupants, provide secure bicycle parking for 5 percent of the tenant-occupant vehicular par spaces with a minimum of one bicycle parking facility.
 - 5.106.4.1.3For additions or alterations that add 10 or more tenant-occupant vehicular parking spaces, provide secure bicycle parking for 5 percent of the tenant vehicular parking spaces being added, with a minimum of one bicycle parking facility.
 - 5.106.4.1.4 For new shell buildings in phased projects provide secure bicycle parking for 5 percent of the anticipated tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility.
 - 5.106.4.1.5 Acceptable bicycle parking facility for Sections 5.106.4.1.2, 5.106.4.1.3, and 5.106.4.1.4 shall nt from the street and shall meet one of the following
 - Covered, lockable enclosures with permanently anchored racks for bicycles Lockable bicycle rooms with permanently anchored racks; or Lockable, permanently anchored bicycle lockers.

 - Note: Additional information on recommended bicycle accommodations may be obtained from Sacramento Area Bicycle Advocates.
 - 5.106.4.2 Bicycle parking, [DSA-SS] For public schools and community colleges, comply with Sections 5.106.4.2.1 and 5.106.4.2.2
 - 5.106.4.2.1 Student bicycle parking. Provide permanently anchored bicycle racks conveniently accessed with a minimum of four two-bike capacity racks per new building. 5.106.4.2.2 Staff bicycle parking. Provide permanent, secure bicycle parking conveniently accessed with a minimum of two staff bicycle parking spaces per new building. Acceptable bicycle parking facilities shall be convenient from the street or staff parking area and shall meet one of the following:
 - Covered, lockable enclosures with permanently anchored racks for bicycles
 Lockable bicycle rooms with permanently anchored racks; or
 Lockable, permanently anchored bicycle lockers.

5.106.5.3 Electric vehicle (EV) charging . [N] Construction to provide electric vehicle infrastructure and facilitate electric vehicle charging shall comply with Section 5.106.5.3.1 and shall be provided in accordance with regulations in the California Building Code and the California Electrical Code.

- . On a case-by-case basis where the local enforcing agency has determined compliance with

- un a cuser-up-case usass writer the local entorcing agency has determined compliance w this section is not feasible based upon one of the following conditions:
 a. Where there is no local utility power supply
 b. Where the local utility is unable to supply adequate power.
 c. Where there is evidence suitable to the local enforcement agency substantiating the local utility infrastructure design requirements, directly related to the implementation o section 5.106.5.3, may adversely impact the construction cost of the project.
 Parking spaces accessible only by automated mechanical care parking systems are not Parking spaces accessible only by automa required to comply with this code section
- 5.106.5.3.1 EV capable spaces
- N EV capable spaces shall be provided in accordance with Table 5.106.5.3.1 and the following

 - Raceways complying with the California Electrical Code and no less that 1-inch (25 mm) diameter shall be provided and shall originate at a service panel or a subpanel(s) serving the area, and shall terminate in close proximity to the proposed location of the EV capable and into a suitable listed colinet, box,enclosure or equivalent. A common raceway may be used to serve multiple EV charging spaces.
 A service panel or subpanel (s) shall be provided with panel space and electrical load capacity for a dedicated 208/240 volt, 40-ampere minimum to transtalled EVSE at each EVCs.
 The electrical system and any on-site distribution transformers shall have sufficient capacit to purple fur the raceble areas.

 - The electrical system and any on-site distribution transformers shall have sufficient capacity to supply full rated amperage at each EV capable space.
 The service panel or subpanel circuit directory shall identify the reserved overcurrent protective devices space(s) as "EV CAPABLE." The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."

Note: A parking space served by electric vehicle supply equipment or designed as a future EV Note: In parama gladuc sont ou of leactions reinford supply requiring the of loading too do any record at nature c in charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by an enforcement agency. See vehicle Code Secton 22511.2 for further details.

-	 	 	-		-	-	-	-

TOTAL NUMBER OF ACTUAL PARKING SPACES	NUMBER OF REQUIRED EV CAPABLE SPACES	NUMBER OF EVCS (EV CAPABLE SPACES PROVIDED WITH
0-9	0	EVSE)^2
10-25	2	0
26-50	8	2
51-75	13	3
76-100	17	4
101-150	25	6
151-200	35	9
201 AND OVER	20% of total1	25% of EV capable spaces

The number of required EVCS (EV capable spaces provided with EVSE) in column 3 count tow e total number of required EV capable spaces shown in column 2.

5.106.5.3.2 Electric vehicle charging stations (EVCS) EV capable spaces shall be provided with EVSE to create EVCS in the number indicated in Table 5.106.5.3.1. The EVCS required by Table 5.106.5.3.1 may be provided with EVSE in any combinati Level 2 and Direct Current Fast Charging (DCFC), except that at least one Level 2 EVSE shall be

One EV charger with multiple connectors capable of charging multiple EVs simultaneously shall be permitted if the electrical load capacity required by Section 5.106.5.3.1 for each EV capable space is accumulatively supplied to the EV charger.

The installation of each DCFC EVSE shall be permitted to reduce the minimum number of required EV capable spaces without EVSE by five and reduce proportionally the required electrical load capacity to the rvice panel or subpane

AND BRING TO THE DESIGNERS ATTENTIC

5.106.5.3.3 Use of automatic load management systems (ALMS). ALMS shall be permitted for EVCS. When ALMS is installed, the required electrical load capacity specified in Section 5.105.5.3.1 for each EVCS may be reduced when serviced by an EVSE controlled by an ALMS. Each EVSE controlled by an ALMS shall deliver a minimum 30 amperes to an EV when charging one vehicle and shall deliver a minimum 3.3 kW while simultaneously charging multiple EVs.

When EVSE is installed, accessible EVSC shall be provided in accordance with theCalifornia Building Code, Chapter 118, Section 118-228.3. Note: For EVCS signs, refer to Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

5.106.5.4 Electric Vehicle (EV) charging: medium-duty and heavy-duty. [N] Construction shall comply with section 5.106.5.4.1 to facilitate future installation of electric vehicle supply

ical Code and as follows

106.5.4.1

POWER

BUILDING TYPE

Grocerv

Retail

Warehouse

Exceptions: [N]

[N]

TABLE 5.106.5.4.1 RACEWAY CONDUIT AND PANEL

REQUIREMENTS FOR MEDIUM- AND HEAVY-DUTY EVSE

BUILDING SIZE (SQ. FT.)

10.000 to 90.000

Greater than 90.000

10,000 to 135,000

Greater than 135.000

20.000 to 256.000

Greater than 256,000

TABLE 5 106 8 [N] MAXIMUM ALLOWABLE BACKLIGHT

LIGHTING

ZONE LZ0

N/A

N/A

N/A

N/A

N/A

N/A

UPLIGHT AND GLARE (BUG) RATINGS 1.2

ALLOWABLE RATING

MAXIMUM ALLOWABLE BACKLIGHT RATING

property line Luminaire back hemisphere

1-2 MH from property line Luminaire back hemisphere

0.5-1 MH from property line

less than 0.5 MH from

MAXIMUM ALLOWABLE

lighting,including decorative

UPLIGHT RATING (U)

For area lighting

For all other outdoor

Luminaire greater than mounting heights (MH)

5.106.8 LIGHT POLLUTION REDUCTION. [N]. I Outdoor lighting systems shall be designed and installed to comply with the following:

The minimum requirements in the California Energy Code for Lighting Zones 0-4 as defined in Chapter 10, Section 10-114 of the California Administrative Code; and 2. Backlight (b) ratings as defined in IES TM-15-11 (shown in Table A-1 in Chapter 8); 3. Uplight and Giare ratings as defined in California Energy Code (shown in Tables 130.2-A and 130.2-B in Chapter 8) and

Allowable BUG ratings not exceeding those shown in Table 5.106.8, [N] or Comply with a local ordinance lawfully enacted pursuant to Section 101.7, whichever is more stringent.

LIGHTING ZONE LZ1

No Limit

R2

B1

B0

UO

U1

No Limit

B3

B2

B0

UO

U2

Luminaires that qualify as exceptions in Sections 130.2 (b) and 140.7 of the California Energy Code. Emergency lighting.
 Building tacade meeting the requirements in Table 140.7-8 of the California Energy Code, Part 6.
 Outsom lighting features as allowed by the local enforcing agency, as permitted by Section 101.8
 Alternate materials, designs and methods of construction.
 Luminaires with less than 6,200 initial luminaire lumens.

equipment (EVSE). Const equipment (EVSE). Construction for warehouses, grocery stores and retail stores with planned off-street lo spaces shall also comply with Section 5.106.5.4.1 for future installation of medium- and heavy-duty EVSE. , t loading

xceptions: 1. On a case-by-case basis where the local enforcing agency has determined compliance with this On a case-by-case basis where the local enforcing agency has determined compliance with this section is not feasible based upon one of the following conditions:

 Where there is no local utility power supply.
 Where the local utility is unable to supply adequate power.
 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 5.106.5.3, may adversely impact the construction cost of the project.

 When EVE(s) Isfare installed, it shall be in accordance with Incalifornia Building Code, the California Informed Cis(s) isfare installed, it shall be in accordance with the California Building Code, the California

requirement in Table 30, 100-04, 100 accommodate the deducted Database and the planned installation of EVSE. The construction documents shall indicate on or more location(s) convenient to the planned offstreet loading space(s) reserved for medium-and heavy-duly ZEV charging cabinets and charging dispersers, and a pathway servered for routing of conduit from the termination of the raceway(s) or busway(s) to the charging cabinet(s) and dispense(s) as shown in Table

5.106.5.4.1 S. Raceway(s) or busway(s) originating at a main service panel or a subpanel(s) serving the area where potential (tuture medium-and heavy-duty EVSE will be located and shall terminate in close proximity to the potential future location of the charging equipments for medium- and heavy-dut proximity to the potential future location of the charging equipments for medium- and heavy-dut service in the service of the service of

venues. The raceway(s) or busway(s) shall be sufficient size to carry the minimum additional system load to the future location of the charging for medium- and heavy-duty ZEVs as shown in Table 5.106.5.4.1.

NUMBER OF OFF-STREET

LOADING SPACES

1 or 2

3 or Greate

1 or Greate

1 or 2

3 or Greate

1 or Greate

1 or 2

3 or Greater

1 or Greater

LIGHTING LIGHTING LIGHTING ZONE LZ2 ZONE LZ3 ZONE LZ4

No Limit

R4

B3

B1

UO

U3

No Limit

R4

B3

B2

U0

UR

um- and heavy-dut

ADDITIONAL CAPACITY

REQUIRED (KVA) FOR RACEWAY 8

BUSWAY AND

RANSFORMER & PANEL

200

400

400

200

400

400

200

400

400

5.106.5.4.1 Electric vehicle charging readiness requirements for warehouse, grocery stores and retail stores

with planned off-street loading spaces. [N] In order to avoid future demilion when adding EV charging supply and distribution equipment, spare raceways(s) or busway(s) and adequate capacity for transformers(s), service panels(s) or subpanel(s) shall be installed at the time of construction in accordance with the California Electrical Code. Construction plans and specifications shall include but are not limited to, the following: 1. The transformer, main service equipment and Subpanel shall meet the minimum power requirement in Table 5.106.5.4.1 to accommodate the dedicated branch circuits for the future

	-	YES
	-	NOT APPLICAE
ON. PARTY	-	RESPONSIBLE

NOT APPLICABLE RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER OWNER, CONTRACTOR, INSPECTOR ETC.)

N/A	G1	G2	G3	G4
N/A	G0	G1	G1	G2
N/A	G0	G0	G1	G1
N/A	G0	G0	G0	G1

I. IESNA Lighting Zones 0 and 5 are not applicable; refer to Lighting Zones as defined in the California Energy Code and Chapter 10 of the California Administrative Code.
 Z. For property lines that abut public walkways, bikeways, plazas and parking lots, the property line may be considered to be 5 feet beyond the actual property line property lines that abut public roadways and public transit corridors, the property line may be considered to be 5 feet beyond the actual property lines that abut public roadways and public transit corridors, the property line may be considered to

, e centerline of the public roadway or public transit corridor for the purpose of determining compliance with this

3. General lighting luminaires in areas such as outdoor parking, sales or storage lots shall meet these reduced ratings. Decorative luminaries located in these areas shall meet U-value limits for "all other outdoor lighting"

5.106.8.1 Facing- Backlight Luminaries within 2MH of a property line shall be oriented so that the nearest property line is behind the fixture, and shall comply with the backlight rating specified in Table 5.106.8 based on the lighting zone and distance to the nearest point of that property line. Exceptor: Corners: If two property lines (or two segments of the same property line) have equidistant point to the luminaire, then the luminaire may be oriented so that the intersection of the two lines (the corner) is directly behind the luminaire. The luminaire shall still use the distance to the nearest points(s) on the property lines to determine the required backlight rating.

is a 2 rating-stare. For luminaires covered by 5.106.8.1, if a property line also exists within or extends into the front hemisphere within 2MH of the luminaire then the luminaire shall comply with the more stringent glare rating specified in Table 5.106.8 based on the lighting zone and distance to the nearest point on the nearest property line within the front

Note: [N] 1.See also California Building Code, Chapter 12, Section 1205.6 for college campus lighting requirements for Table and calculation and building of the second seco

5.106.10 GRADING AND PAVING. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surf-water include, but are not limited to, the following:

MAXIMUM ALLOWABLE GLARE RATING = (G)

MAXIMUM ALLOWABLE GLARE RATING (G

MAXIMUM ALLOWABLE

MAXIMUM ALLOWABLE

MAXIMUM ALLOWABLE

GLARE RATING : (G)

GLARE RATING : (G)

GLARE RATING (G

5 106 8 2 Facing-Glare

Y N/A RESPON.

Swales. Water collection and disposal systems. French drains. Water retention gardens. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path.

5.106.12 SHADE TREES [DSA-SS]. Shade Trees shall be planted to comply with Sections 5.106.12.1, 5.106.12.2, and 5.106.12.3. Percentages shown shall be measured at noon on the summer solstice. Landscape irrigation necessary to establish and maintain tree health shall comply with Section 5.304.6.

5.106.12.1 Surface parking areas. Shade tree plantings, minimum #10 container size or equal, shall be installed to provide shade over 50 percent of the parking area within 15 years.

Exceptions: Surface parking area covered by solar photovoltaic shade structures with roofing materials that comply with Table A5.106.11.2.2 in Appendix A5 shall be permitted in whole or in part in lieu of shade tree planting.

5.106.12.2 Landscape areas. Shade tress plantings, minimum #10 container size or equal shall be installed to provide shade of 20% of the landscape area within 15 years.

Exceptions: Playfields for organized sport activity are not included in the total area calculation.

5.106.12.3. Hardscape areas. Shade tree plantings, minimum #10 container size or equal shall be installed to provide shade over 20 percent of the hardscape area within 15 years.

Exceptions: 1. Walks, hardscape areas covered by solar photovoltaic shade structures or shade structures with roofing materials that comply with Table A5.106.11.2.2 in Appendix A5 shall be permitted in whole or in part in lieu of shade tree graining. 2. Designated and marked play areas of organized sport activity are not included in the total area calculation.

DIVISION 5.2 ENERGY EFFICIENCY

SECTION 5.201 GENERAL

5.2011 Scope IBSC/CGI California Energy Code [DSA-SS] . For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory building standards

DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION

SECTION 5.301 GENERAL 5.301.1 Scope. The provisions of this chapter shall establish the means of conserving water use indoors, outdoors and in wastewater conversance.

SECTION 5.302 DEFINITIONS

U.S. Environmental Having Jurisdiction.

The following terms are defined in Chapter 2(and are included here for reference)

EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF) [DSA-SS]. An adjustment factor when applied to the amount of water that needs to be applied to the landscape.

FOOTPRINT AREA [DSA-SS]. The total area of the furthest exterior wall of the structure projected to natural grade not including exterior areas such as stairs, covered walkways, patios and decks.

METERING FAUCET. A self-closing faucet that dispenses a specific volume of water for each actuation cycle. The volume or cycle duration can be fixed or adjustable.

GRAYWATER. Pursuant to Health and Safety Code Section 17922.12, "graywater" means untreated wastewater th has not been contaminated by any toilet discharge, has not been affected by infectious, contaminated, or unhealthy bodily wastes, and does not present a threat from contamination by unhealthful processing, manulacturing, or operating wastes. "Graywater' includes, but is not limited to wastewater from bathlubs, showers, bathroom wasthbasins, clothes washing machines and laundry tubs, but does not include waste water from kitchen sinks or

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). The California ordinance regulating landscape design, installation and maintence practices that will ensure commercial, multifamily and other developer installation landscapes greater than 2500 square feet meet an irrigation water budget developed based on landscaped area a climatological parameters.

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), [HCDIThe California model ordinance California Code of Regulations, Tife 23, Division 2, Chapter 27), regulating landscape design, installation and maintenance practices. Local agencies are required to adopt the updated MWELO, or adopt a local ordinance at least as effective as the MWELO.

POTABLE WATER. Water that is drinkable and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards. See definition in the California Plumbing Code, Part 5.

POTABLE WATER. [HCD] Water that is satisfactory for drinking, culinary, and domestic purposes, and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards and the requirements of the Health Authority

RECYCLED WATER. Water which, as a result of treatment of waste, is suitable for a direct beneficial use or a controlled use that would not otherwise occur [Water Code Section 13050 (n)]. Simply put, recycled water gater treated to remove waster matter atlaning a quality that is suitable to use the water again.

SUBMETER. [HCD 1]A secondary device berond a meter that measures water consumption of approximation and the second second

ed the maximum applied WATER BUDGET. Is the estimated total landscape Intel interview water wat water allowance calculated in accordance with the Departition of Water Resources Model Efficient Ladscopp (L Ordinance (MWELO). Althin



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PROJECT:

PREPARED BY



I I Z:\Shared\Everett Smith Designs___ES Design Jobs\24-2334 California Contracting Net rt\24-233 rt 2024 07 08 rv

Scale

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

SECTION 5.303 INDOOR WATER USE

Y N/A RESPON

- ices shall be installed for the uses described in Sections 503.1.1 and 503.1.2
- 5.303.1.1 Buildings in excess of 50,000 square feet. Separate submeters shall be installed as follows:
- For each individual leased, rented or other tenant space within the building projected to consu more than 100 gal/day (380 L/day), including, but not limited to, spaces used for laundry or cle restaurant or food service, medical or denial office, laboratory, or beauty salon or barber shop.
- 2. Where separate submeters for individual building tenants are unfeasible, for water supplied to the
- owing subsystems: a. Makeup water for cooling towers where flow through is greater than 500 gpm (30 L/s). b. Makeup water for evaporative coolers greater than 6 gpm (0.04 L/s). c. Steam and hot water boilers with energy input more than 500,000 Btu/h (147 kW).
- 5.303.1.2 Excess consumption. A separate submeter or metering device shall be provided for any tenant within a new building or within an addition that is projected to consume more than 1,000 gal/day.
- 5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS.Plumbing fixtures (water closets and s (faucets and showerheads) shall comply with the follo

5.303.3.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type bilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

5.303.3.2 Urinals

- 5.33.2 (Wall-mounted Urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush.
- 5.303.3.2.2 Floor-mounted Urinals. The effective flush volume of floor-mounted or other urinals shall not exceed 0.5 gallons per flush.
- 5.303.3.3 Showerheads. [BSC-CG] 5.303.3.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.
- 5.303.3.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 ps; or the shower shall be designed to allow only one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead.

5.303.3.4 Faucets and fountains.

- 5.303.3.4.1 Nonresidential Lavatory faucets. Lavatory faucets shall have a maximum flow rate of not more than 0.5 gallons per minute at 60 psi.
- 5.303.3.4.2 Kitchen faucets. Kitchen faucets shall have a maximum flow rate of not more than 1.8 Construct a neuronal neuronal neuronal neuronal shall nave a maximum flow rate of not more than 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum r but not to exceed 2.2 gallons per minute at 60 psi.
- 5.303.3.4.3 Wash fountains. Wash fountains shall have a maximum flow rate of not more than1.8 gallons per minute/20 [rim space (inches) at 60 psi].
- 5.303.3.4.4 Metering faucets. Metering faucets shall not deliver more than 0.20 gallons per cycle.
- 5.303.3.4.5 Metering faucets for wash fountains. Metering faucets for wash fountains shall have a maximum flow rate of not more than 0.20 gallons per minute/20 [rim space (inches) at 60 psi].
- Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.
- 5.303.3.4.6 Pre-rinse spray value When installed, shall meet the requirements in the alifornia Code of Regulations Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7), and shall be equipped with an integral automatic shutoff.
- FOR REFERENCE ONLY:The following table and code section have been reprinted from the Code of Regulations The 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Sec 1605.3 (h)(4)(A).

TABLE H-2

STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28,

2019	
PRODUCT CLASS [spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)
Product Class 1 (≤ 5.0 ozt)	1.00
Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)	1.20
Product Class 3 (> 8.0 ozf)	1.28

5 303 4 COMMERCIAL KITCHEN FOUIPMENT

5.303.4.1 Food Waste Disposers. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after no more than 10 minutes of inactivity. Disposers shall use no more than 8 gpm of water. Note: This code section does not affect local jurisdiction authority to prohibit or require disposer

5.303.5 AREAS OF ADDITION OR ALTERATION. For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply to new fixtures in additions or areas of alteration to the building.

5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Codeand in Chapter 6 of this code.

SECTION 5.304 OUTDOOR WATER USE

SECTION 5.304 OUTDOOR POTALE WATE USE ILANDSCAPE AREAS.Nonresidential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichwer is more stringent.

- Notes: 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code of Regulations, Title 23, Chapter 2.7, Division 2. 2. MWELO and supporting documents, including a water budget calculator, are available at: https://www.water.ca.gov/.

5.304.6 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS For public schools and community colleges landscape projects as described in Sections 5.304.6.1 and 5.304.6.2 shall comply with the California Department of Water Resources Model Water Efficient Landscape Ordinance (WWELQ) commencing with Section 490 of Chapter 2.7, Division 2, Tile 23, California Code of Regulations except that the evapotranspiration adjustment factor (ETAF) shall be 0.65 with an additional water allowance for special landscape areas (SLA) of 0.35.

Exception : Any project with an aggregate landscape area of 2,500 square feet or less may comply with the prescriptive measures contained in Appendix D of the MWELO.

- 5.304.6.1 Newly constructed landscapes. New construction projects with an aggregate landscape area equal to or greater than 500 square feet.
- 5.304.6.2 Rehabilitated landscapes. Rehabilitated landscape projects with an aggregate landscape area equal to or greater than 1.200 square feet.

DIVISION 5.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

SECTION 5.401 GENERAL this chapter shall outline means of achieving material conservation and resource efficiency through protection of buildings from exterior moisture, construction waste diversion, employment of techniques to reduce pollution through recycling of materials, and building commissioning or testing and adjusting.

SECTION 5 402 DEFINITIONS

- ns are defined in Chapter 2 (and are included here for reference ADJUST. To regulate fluid flow rate and air patterns at the terminal equipment, such as to reduce fan speed or adjust
- BALANCE. To proportion flows within the distribution system, including sub-mains, branches and terminals according to design quantities
- BUILDING COMMISSIONING. A systematic quality assurance process that spans the entire design and constru process, including verifying and documenting that building systems and components are planned, designed, inst tested, operated and maintained to meet the owner's project requirements.
- ORGANIC WASTE. Food waste, green waste, landscape and pruning wste, nonhazardous wood waste, and food soiled paper waste that is mixed in with food waste.

TEST. A procedure to determine quantitative performance of a system or equipment

SECTION 5 407 WATER RESISTANCE AND MOISTURE MANAGEMENT TWATHER PROTECTION Provide a weather-resistant exterior wall and foundation envelope as requiring Building Code Section 1402.2 (Weather Protection), manufacturer's installation instructions or local rdinance, whichever is more stringen

- 5.407.2 MOISTURE CONTROL.Employ moisture control measures by the following methods
- 5.407.2.1 Sprinklers. Design and maintain landscape irrigation systems to prevent spray on structures
- 5.407.2.2 Entries and openings . Design exterior entries and/or openings subject to foot traffic or wind-driven rain to prevent water intrusion into buildings as follows:
- 5.407.2.2.1 Exterior door protection. Primary exterior entries shall be covered to prevent water intrusion by using nonabsorbent floor and wall finishes within at least 2 feet around and perpendicular to such openings plus at least one of the following:
- An installed awning at least 4 feet in depth. The door is protected by a roof overhang at least 4 feet in depth. The door is recessed at least 4 feet.
- . Other methods which provide equivalent protection.
- 5.407.2.2.2 Flashing. Install flashings integrated with a drainage plane

SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

5.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3; or meet a local construction and demolition waste management ordinance, whichever is more stringent.

5.408.1.1 Construction waste management plan. Where a local jurisdiction does not have a construction and demolition waste management ordinance, submit a construction waste management plan that:

- . Identifies the construction and demolition waste materials to be diverted from disposal by efficient
- Identifies the construction and demolition waste maternais to be diverted from disposal by efficient usage, recycling, reuse on the project or salvage for future use or sale.
 Determines if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream).
 Identifies diversion facilities where construction and demolition waste material collected will be taken.
 Specifies that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

5.408.1.2 Waste Management Company. Utilize a waste management company that can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with this section

The owner or contractor shall make the determination if the construction and demolition waste materia diverted by a waste management company.

Exceptions to Sections 5 408.1.1 and 5 408.1.2:

- Excavated soil and land-clearing debris.
 Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist. Demolition waste meeting local ordinance or calculated in consideration of local recycling facilities and markets.

5.408.1.3 Waste stream reduction alternative. The combined weight of new construction disposal that does not exceed two pounds per square foot of building area may be deemed to meet the 65% minimum requirement. as approved by the enforcing agency

5.408.1.4 Documentation. Documentation shall be provided to the enforcing agency which der compliance with Sections 5.408.1.1, through 5.408.1.3. The waste management plan shall be necessary and shall be accessible during construction for examiniation by the enforcing agency

 Sample forms found in "A Guide to the California Green Building Standards Code (Nonresidential)" located www.dgs.ca.gov/BSC/Resources/Page-Content/Building-Standards-Commission-Resources-List-Folder/CALGreen may be used to assist in documenting compliance with the waste management plan. 2. Mixed construction and demolition debris processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

5.408.2 UNIVERSAL WASTE. [A] Additions and alterations to a building or tenant space that meet the scoping provisions in Section 301.3 for nonresidential additions and alterations, shall require verification that Universal Waste items such as fluorescent lamps and ballast and mercury containing thermostate as well as other California prohibited Universal Waste materials are disposed of properly and are diverted from landfills. A list of prohibited Universal Waste materials shall be included in the construction documents.

Note: Refer to the Universal Waste Rule link at: http://www.dtsc.ca.gov/universalwaste

5.408.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS. 100 percent of trees, stumps, rocks and associate vegetation and soils resulting primarily from land clearing shall be reused or recycled. For a phased project, such material may be stockpiled on site until the storage site is developed.

- Exception: Reuse, either on or off-site, of vegetation or soil contaminated by disease or pest infe Notes
- If contamination by disease or pest infestation is suspected, contact the County Agricultural Commissioner and follow its direction for recycling or disposal of the material.
 For a mag of know pest and/or disease quarantine zones, consult with the California Department of Food and Agriculture. (www.cdfa.ca.gov)

SECTION 5.410 BUILDING MAINTENANCE AND OPERATIONS

5.410.1 RECYCLING BY OCCUPANTS. Provide readily accessible areas that serve the entire building and an erwin identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimu) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance. If more restrictive,

Exception : Rural jurisdictions that meet and apply for the exemption in Public Resource e 42649.82 (a)(2)(A) et seq. shall also be exempt from the organic waste portion of this section

5.410.1.1 Additions. All additions conducted within a 12-month period under single or multiple permits, resulting in an increase of 30% or more in floor area, shall provide recycling areas on site.

Exception : Additions within a tenant space resulting in less than a 30% increase in the tenant space floor area.

5.410.1.2 Sample ordinance. Space allocation for recycling areas shall comply with Chapter 18, Part 3, Division 30 of the Public Resources Code Chapter 18 is known as the California Solid Waste Reuse and Recycling Access Act of 1991 (Act).

Note: A sample ordinance for use by local agencies may be found in Appendix A of the document at the CalRecycle's web site.

5,410,2 COMMISSIONING, ININew buildings 10,000 square feet and over. For new buildings 10,000 square feet 5 410.2 Commission of the provided in the design and one structure provides the building region of and over, building commission grant be included in the design and ore struction processes of the building region verify that the building systems and components meet this events or owner representative's project requirements of comparable size and complexity. For I-occurrence with this section by trained personnel with experiment on projects of comparable size and complexity. For I-occurrence are not regulated by OSHPD or for I-occupancies and I-occupancies and that are not regulated by the California Energy Code section Scope, all requirements in Sections L-occupancies that are not regulated 5.410.2 through 5.410.2.6 shall apply

Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including h ventilation, air conditioning (HVAC) systems and controls, indoor lighting systems and controls, as well as v heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirement

nissioning requirements shall include:

- Owner's or Owner representative's project requirements. Basis of design. Commissioning measures shown in the construction documents.
- Commissioning plan. Functional performance testing. Documentation and training.
- Commissioning report

Exceptions:

NA RESPON

- Unconditioned warehouses of any size.
 Areas less than 10,000 square feet used for offices or other conditioned accessory spaces within
- ditioned warehouses

mental and sustainability goals.

Renewable energy system
 Landscape irrigation system
 Water reuse system.

including Occupational Safety and Health Act (OSH Title 8, Section 5142, and other related regulations

systems manual shall include the following

Site contact inform

Major systems

5 410 4 2 (Reserved)

Renewable energy systems.

Landscape irrigation systems. Water reuse systems.

specifications and applicable standards on each system

- Unconditioned warehouses.
 Tenant improvements less than 10,000 square feet as described in Section 303.1.1.
 Open parking garages of any size, or open parking garage areas, of any size, within a structure
- Note: For the purposes of this section, unconditioned shall mean a building, area, or room which does not ating and or air conditioning

Informational Notes:

5.410.2.3 Co

- 1. IAS AC 476 is an accreditation criteria for organizations providing training and/or certification of Not Not Y of is an acceloulation lateria to organizations providing vialanity and/or centinication or commissioning personnel. AC 476 is available to the Authority Having Jurisdiction as a reference for qualifications of commissioning personnel. AC 476 des not certify individuals to conduct functional performance tests or to adjust and balance systems.
- Functional performance testing for heating, ventilation, air conditioning systems and lighting controls must be performed in compliance with the California Energy Code

5.410.2.1 Owner's or Owner Representative's Project Requirements (OPR). [N] The expectations requirements of the building appropriate to its phase shall be documented before the design phase o project begins. This documentation shall include the following:

Equipment and systems expectations.
 Building occupant and operation and maintenance (O&M) personnel expectations.

Commissioning goals.
 Systems to be commissioned. Plans to test systems and components shall include:

 a. An explanation of the original design intent.
 b. Equipment and systems to be tested, including the extent of tests.
 c. Functions to be tested.
 d. Conditions under which the test shall be performed.

Measurable criteria for acceptable performance

Environmental and several and a several and

5.410.2.2 Basis of Design (BOD). [N] A written explanation of how the design of the building systems meets the OPR shall be completed at the design phase of the building project. The Basis of Design document shall cover the following systems:

2.3 Commissioning plan. [N] Prior to permit issuance a commissioning plan shall be completed to nent how the project will be commissioned. The commissioning plan shall include the following: 1. General project information. 2. Commissioning goals.
 Denote the set set set of the set of the

Commissioning team information. Commissioning process activities, schedules and responsibilities. Plans for the completion of commissioning shall be included.

5.410.2.4 Functional performance testing, [N] Functional performance tests shall demonstrate the correct instaliation and operation of each component, system and system-to-system interface in accordance with the approved plans and specifications. Functional performance testing reports shall contain information addressing each of the building components tested, the testing methods utilized, and include any readings and adjustments

5.410.2.5 Documentation and training. [N] A Systems Manual and Systems Operations Training are required including Occupational Safety and Health Act (OSHA) requirements is alifornia Code of Regulations(CCR),

5.410.2.5.1 Systems manual. [N] Documentation of the operational aspects of the building shall be completed within the systems manual and delivered to the building owner or representative. The

Site information, including facility description, history and current requirements.

Major systems. Site equipment inventory and maintenance notes. A copy of verifications required by the enforcing agency or this code Other resources and documentation, if applicable.

staff for each equipment type and/or system shall be developed and docume

5.410.4 TESTING AND ADJUSTING. New buildings less than 10.000 square feet. Testing and adjusting of

systems shall be required for new buildings less than 10,000 square feet or new systems to serve an addition or alteration subject to Section 303.1.

Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including

5.410.4.2 Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include at a minimum, as applicable to the project:

5.410.4.3 Procedures. Perform testing and adjusting procedures in accordance with manufacturer's

5.410.4.3.1 HVAC balancing. In addition to testing and adjusting, before a new space-cor

system serving a building of space is operated for normal use, the system shall be balanced in accordance with the procedures defined by the Testing Adjusting and Balancing Bureau National Standards; the National Environmental Balancing Bureau Procedural Standards; Associated Air Bala Council National Standards or as approved by the enforcing agency.

heating, ventilation, air conditioning (HVAC) systems and controls, indoor lighting system and controls, as wel as water heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirements and Sections 120.5, 120.6, 130.4, and 14.0, (91.5) for additional testing requirements of specific

equipment it interfaces). Review and demonstration of servicing/preventive n Review of the information in the Systems Manual. Review of the record drawings on the system/equipr

3. Basic operations and maintenance, including general site operating procedures, basic

5.410.2.5.2 Systems operations training. [N] A program for training of the appropriate maintenance

sain the each equipment type endow system is an be developed and documented in the commission report and shall include the following: 1. System/equipment overview (what it is, what it does and with what other systems and/or equipment it interfaces).

Commissioning report. [N] A report of commissioning process activities undertaken through the d construction phases of the building project shall be completed and provided to the owner or

entive maintenance

hooting, recommended maintenance requirements, site events log.

YES
 NOT APPLICABLE
 ON. PARTY
 RESPONSIBLE PARTY (e: ARCHITECT, ENGINEER, OWNER. CONTRACTOR, INSPECTOR ETC.)

5.410.4.4 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services.

5.410.4.5 Operation and maintenance (Q & M) manual. Provide the building owner or representative with ating and maintenance instructions and copies of guaranties ties for each system. O & M instructions shall be consistent with OSHA requirements in CCR, Title 8, Section 5142, and other related

5.410.4.5.1 Inspections and reports. Include a copy of all inspection verifications and reports required by the enforcing agency.

DIVISION 5.5 ENVIRONMENTAL QUALITY

SECTION 5.501 GENERAL

Y N/A RESPON.

hapter shall outline means of reducing the quantity of air contamin he comfort and well-being of a building's installers, occupants and

SECTION 5.502 DEFINITIONS 5.502.1 DEFINITIONS. The following terms are defined in Chapter 2(and are included here for reference

ARTERIAL HIGHWAY. A general term denoting a highway primarily for through traffic usually on a continuous route.

A-WEIGHTED SOUND LEVEL (dBA). The sound pressure level in decibels as measured on a sound level meter using the internationally standardized A-weighting filter or as computed from sound spectral data to which A-weight adjustments have been made.

1 BTU/HOUR. British thermal units per hour, also referred to as Btu. The amount of heat required to raise one pound of water one degree Fahrenheit per hour, a common measure of heat transfer rate. A ton of refrigeration is 12,000 Btu the amount of heat required to melt a ton (2000 pounds) of ice as 32Fahrenheit.

COMMUNITY NOISE EQUIVALENT LEVEL (CNEL). A metric similar to the day-night average sound level (Ldn), except that a 5 decibel adjustment is added to the equivalent continuous sound exposure level for evening hours (7pm to 10pm) in addition to the 10 dB nighttime adjustment used in the Ldn.

COMPOSITE WOOD PRODUCTSComposite wood products include hardwood plywood, particleboard and med density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels structural composite lumber, oriented strand board, glued laminated timber, timber, prefabricated wood I-joists or inger-jointed lumber, all as specified in California Code of Regulations (CCR), Title 17, Section 93120.1(a).

Note: See CCR Title 17 Section 93120.1

DAY-NIGHT AVERAGE SOUND LEVEL (Ldn). The A-weighted equivalent continuous sound exposure level for a 24-hour period with a 10 dB adjustment added to sound levels occurring during nighttime hours (10p.m. to 7 a.m.).

DECIBEL (db). A measure on a logarithmic scale of the magnitude of a particular quantity (such as sound pressure sound power, sound intensity) with respect to a reference quantity.

ELECTRIC VEHICLE (EV). An automotive-type vehicle for on-road use, such as passenger automobiles, buses, Trucks, vans, neighborhood electric vehicles, electric motorcycles, and the ise passeninger adurtmology lobes, trucks, vans, neighborhood electric vehicles, electric motorcycles, and the like, primarily powered by an electric motor that draws current from a rechargeable storage battery, fuel cell, photovotaic array, or other source of electric Plug-in hybrid electric vehicles. (PHEV) are considered electric vehicles. For purposes of triadillomia Electrical Code propoelled electric vehicles, such as industrial trucks, hoists, lifts, transports, golf carts, airline ground ment, tractors, boats, and the like, are not included.

ELECTRIC VEHICLE CHARGING STATION(S) (EVCSi).One or more spaces intended for charging electric vehicle

ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE). The conductors, including the ungrounded, grounded, and equipment grounding conductors and the electric vehicle connectors, attachment plugs, and all other fittings, devices, power outlets, or apparatus installed specifically for the purpose of transferring energy between the premises wiring and the electric vehicle.

ENERGY EQUIVALENT (NOISE) LEVEL (Leq). The level of a steady noise which would have the same energy as the fluctuating noise level integrated over the time of period of interest.

EXPRESSWAY. An arterial highway for through traffic which may have partial control of access, but which may or may not be divided or have grade separations at intersections.

FREEWAY. A divided arterial highway with full control of access and with grade separations at intersections

GLOBAL WARMING POTENTIAL (GWP). The radiative forcing impact of one mass-based unit of a given gree gas relative to an equivalent unit of carbon dioxide over a given period of time. Carbon dioxide is the reference compound with a GWP of one.

GLOBAL WARMING POTENTIAL VALUE (GWP VALUE). A 100-year GWP value published by the Intergovernmental Panel on Climate Change (IPCC) in either its Second Assessment Report (SAR) (IPCC, 1995); or its Fourth Assessment As Report (AR4) (IPCC, 2007). The SAR GWP values are found in column "SAR (100-yr)" of Table 2.14.; the AR4 GWP values are found in column "100 yr" of Table 2.14.

HIGH-GWP REFRIGERANTA compound used as a heat transfer fluid or gas that is: (a) a chloroflu HIGH-SWP YELFYLGEHXANI A Compound used as a neat transfer mulor gas that is: (a) a chioromuorocono, a hidrochiorofluorocathon, a hydrolluorocathon, a perfluorocathon, a more compound or biend of compounds, with a GWP value equal to or greater than 150, or (B) any ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec 82.3 (as amended March 10, 2009)

LONG RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction,

LOW-GWP REFRIGERANT A compound used as a heat transfer fluid or gas that: (A) has a GWP value less than 150, and (B) is not an ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82 sec.82.3 (as amended March 10, 2009).

MERV. Filter minimum efficiency reporting value, based on ASHRAE 52.2-1999.

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base REactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundretist of a gram (g O'g ROC).

PRODUCT-WEIGHTED MIR (PWMIR)The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expresses to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).

PSIG. Pounds per square inch. quage.

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to

SCHRADER ACCESS VALVES. Access fittings with a valve core installed.

SHORT RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.0 times the pipe diameter.

SUPERMARKET. For the purposes of Section 5.508.2, a supermarket is any retail food facility with 8,000 square feet or more conditioned area, and that utilizes either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units.

VOC. A volatile organic compound broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a)

. Note: Where specific regulations are cited from different agencies such as SCAQMD, ARB, etc., the VOC definition included in that specific regulation is the one that prevails for the specific measure in question.

SECTION 5.503 FIREPLACES

SECI ION 5.503 FIREPLACES. 503.1 FIREPLACES. Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed woodstove or pellet stove, and refer to residential requirements in the California Energy Code, Title 24, Part 6, Subchapter 7, Section 150. Woodstoves, pellet stoves and fireplaces shall comply with applicable local ordinance.

5.503.1.1 Woodstoves. Woodstoves and pellet stoves shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits.

SECTION 5.504 POLLUTANT CONTROL 5.504.1 TEMPORARY VENTILATION. The permanent HVAC system shall only be used during construction [5] necessary to condition the building or areas of addition or alteration within the required temperature range for the second material and equipment installation. If the HVAC system is used during construction, use return all (figure for the second of the second on ASHRAF 52.1-1992, Replace All flows grander and ASHRAF 52.1-1992, Replace All flows grander and ASHRAF 52.1-1992, Replace All flows grander and the condition of construction. Work return all (figure for the condition of construction). C69261 (569261) C69263

occupied during alteration, at the conclusion of the transmission



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2022 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 3 (January 2023)

Y N/A RESPON.

N/A RESPON PARTY	5.504.4 FINISH MATERIAL POLLUTANT CONTROL. Finish material 5.504.4.6.	s shall comply with Sections 5.504.4.1 thro
	5.504.4.1 Adhesives, sealants and caulks. Adhesives, sealants	, and caulks used on the project shall mee
	the requirements of the following standards: 1. Adhesives, adhesive bonding primers, adhesive primers, comply with local or regional air pollution control or air quality applicable, or SCAOMD Rule 1168 VOC limits, as shown in products also shall comply with the Rule 1168 prohibition on	management district rules where Tables 5.504.4.1 and 5.504.4.2. Such the use of certain toxic compounds
	(chloroform, ethylene dichloride, methylene chloride, perchlo aerosol products as specified in subsection 2, below.	roethylene and trichloroethylene), except for
	 Aerosol adhesives, and smaller unit sizes of adhesives, a units of product, less packaging, which do not weigh more th than 16 fluid ounces) shall comply with statewide VOC stand prohibitions on use of certain toxic compounds, oCalifornia C with Section 94507. 	an one pound and do not consist of more ards and other requirements, including
	TABLE 5.504.4.1 - ADHESIVE VOC LIMIT 1,2	
	Less Water and Less Exempt Compounds in Grams per Liter	
	ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
	INDOOR CARPET ADHESIVES	50
	CARPET PAD ADHESIVES	50
	OUTDOOR CARPET ADHESIVES	150
		60
	RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES	50
	CERAMIC TILE ADHESIVES	65
	VCT & ASPHALT TILE ADHESIVES	50
	DRYWALL & PANEL ADHESIVES	50
	COVE BASE ADHESIVES	50
	MULTIPURPOSE CONSTRUCTION ADHESIVES	70
	STRUCTURAL GLAZING ADHESIVES	100
	SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
		50
	OTHER ADHESIVES NOT SPECIFICALLY LISTED	JU
		510
	PVC WELDING	
	CPVC WELDING	490
	ABS WELDING	325
	PLASTIC CEMENT WELDING	250
	ADHESIVE PRIMER FOR PLASTIC	550
	CONTACT ADHESIVE	80
	SPECIAL PURPOSE CONTACT ADHESIVE	250
	STRUCTURAL WOOD MEMBER ADHESIVE	140
	TOP & TRIM ADHESIVE	250
	SUBSTRATE SPECIFIC APPLICATIONS	
	METAL TO METAL	30
	PLASTIC FOAMS	50
	POROUS MATERIAL (EXCEPT WOOD)	50
	WOOD	30
	FIBERGLASS 1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBS WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWE	
	2. FOR ADDITIONAL INFORMATION REGARDING METHO CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAS DISTRICT RULE 1168, www.arb.ca.gov/DRDB/SC/CURHTM	T AIR QUALITY MANAGEMENT
	TABLE 5.504.4.2 - SEALANT VOC LIMIT	
	Less Water and Less Exempt Compounds in Grams per Liter	CURRENT VOC LIMIT
	oblevent of	250
	ARCHITECTURAL MARINE DECK	760
	NONMEMBRANE ROOF	300
	ROADWAY	250
	SINGLE-PLY ROOF MEMBRANE	450
	OTHER	430
	SEALANT PRIMERS	
	ARCHITECTURAL	
	NONPOROUS	250
	POROUS	775
	MODIFIED BITUMINOUS	500
	MARINE DECK	760
	OTHER	750
	NOTE: FOR ADDITIONAL INFORMATION REGARDING M CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH CO DISTRICT RULE 1168.	
	5.504.4.3 Paints and coatings. Architectural paints and coatin the ARB Architectural Coatings Suggested Control Measure, a stringent local limits apply. The VOC content limit for coating st coatings categories listed in Table 5.504.4.3 shall be determine or Norflat-High Closs VOC limit in Table 5.504.4.3 shall and determine California Air Resources Board Suggested Control Measure, a Nonflat-High Closs VOC limit in Table 5.504.4.3 shall and phy.	s shown in Table 5.504.4.3, unless more nat do not meet the definitions for the spec d by classifying the coating as a Flat, Non Subsections 4.21, 4.36 and 4.37 of the 20
	5.504.4.3.1 Aerosol Paints and coatings. Aerosol paints ROC in Section 94522(a)(3) and other requirements, incl compounds and ozone depleting substances, in Section Regulations, Title 17, commencing with Section 94520, a Bay Area Air Quality Management District additionally co limits of Regulation 8 Rule 49.	uding prohibitions on use of certain toxic s 94522(c)(2) and (d)(2) @alifornia Code o nd in areas under the jurisdiction of the
	TABLE 5.504.4.3 - VOC CONTENT LIMITS FC	DR ARCHITECTURAL

GRAMS OF VOC PER LITER OF COATING LESS WATER & LESS EXEMPT COMPOLINDS

COATING CATEGORY

FLAT COATINGS NONFLAT COATINGS

NONFLAT HIGH GLOSS COATINGS

RAMS OF VOC PER LITER OF COATING, LESS WATER & LESS E	
COATING CATEGORY	CURRENT VOC LIMIT
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH-TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS:	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340
1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER	
2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED THE TABLE.	
THE TABLE. 3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIE ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FROM THE AIR RESOURCES BOARD.	D BY THE CALIFORNIA AIR RESOURCES BOA FEB. 1, 2008. MORE INFORMATION IS AVAILA
5.504.4.3.2 Verification. Verification of compliance wi the enforcing agency. Documentation may include, bu 1. Manufacturer's product specification 2. Field verification of on-site product containe	it is not limited to, the following:
5.504.4.4 Carpet Systems. All carpet installed in the building interior shall meet the requ Health, "Standard Method for the Testing and Evaluation of Sources Using Environmental Chambers." Version 1.2, Jan Specifications 01350).	irements of the California Department of f Volatile Organic Chemical Emissions from uary 2017 (Emission testing method for C
See California Department of Public Health's website for ce https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHL	
5.504.4.4.1 Carpet cushion. All carpet cushion installer requirements of the California Department of Public H Evaluation of Volatile Organic Chemical Emissions fro Chambers, "Version 1.2, January 2017 (Emission testi 01350).	m Indoor Sources Using Environmental

See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx#material

5.504.4.4.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 5.504.4.1.

5.504.4.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard 5.304.4.5 Composite wood products. See an advood prywood, particleadura and medium density intertoand or composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure (ATCM) for Composite Wood (17 CCR 93120 e seq.). Those materials not exempted under the ATCM must meet the specified emission limits, as shown in Table 5.504.4.5.

5.504.4.5.3 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:
1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and inviced as meeting the Composite Wood Products regulation (see

- Flobuct tabeled and inforced as interring the Compose whole Flobuct tabeled and CCR, Title 17, Section 93120, et seq.).
 Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269 or European 636 3S
- Other methods acceptable to the enforcing agency

MAXIMUM FORMALDEHYDE EMISSIC	ONS IN PARTS PER	MILLION		
PRODUCT			CURRENT LI	міт
HARDWOOD PLYWOOD VENEER CO	RE		0.05	
HARDWOOD PLYWOOD COMPOSITE	CORE		0.05	
PARTICLE BOARD			0.09	
MEDIUM DENSITY FIBERBOARD			0.11	
THIN MEDIUM DENSITY FIBERBOARD	02		0.13	
1. VALUES IN THIS TABLE ARE DERIVED FI TOXICS CONTROL MEASURE FOR COMPOS ADDITIONAL INFORMATION, SEE CALIFORM	SITE WOOD AS TESTE	D IN ACCORDANC	E WITH ASTM E 1	333. FOR
2. THIN MEDIUM DENSITY FIBERBOARD HA	S A MAXIMUM THICK	NESS OF 5/16 INC	HES (8 MM).	

	T	N/A RESPON PARTY		Y NA RESPON. PARTY	5.508.2 Supermarket refrigera provisions of this section wher utilize either refrigerated displa
			environmental Chambers, Version 1.2, January 2017 (Emission testing method for California Specifications 01350)		condensing units. The leak red (high-GWP) refrigerants with
			See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx#material		replacement of existing refrige Exception: Refrigeration syster value less than 150 are not su that include ammonia, carbon
			5.504.4.6.1 Verification of compliance. Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits.		5.508.2.1 Refrigerant pi
			5.504.4.7 Thermal insulation Comply with the requirements of the California Department of Public Health, "Standard Method of the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, "Version 1.2, January 1.2, January 2017 (Emission testing method for California Specification 01350).		accessible for leak prote diameter (OD) less thar refrigerant systems exc
			See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx#material		5.508.2.1.1 Threa 5.508.2.1.2 Copp
			5.504.4.7.1 Verification of compliance. Documentation shall be provided verifying that thermal insulation materials meet the pollutant emission limits.		refrigerant charge 5.508.2.1.2 keep vibrat
			5.504.4.8 Acoustical ceiling and wall panels. Comply with the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, " Version 1.2, January 2017 (Emission testing method for California Specification 01350). See California Department of Public Health's website for certification programs and testing labs.		5.508.2.1.3 Flared controls, valve pil
			5.504.4.8.1 Verification of compliance. Documentation shall be provided verifying that acoustical finish materials meet the pollutant emission limits.		industrial so recomment
			5.504.5.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 13. MERV 15 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual.		5.508.2.1.4 Elbow long radius elbow 5.508.2.2 Valves. Valve follows.
			Exceptions: Existing mechanical equipment.		5.508.2.2.1 Press be installed between
			5.504.5.3.1 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.		5.508.2.2.1
			5.504 7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL.Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, outdoor air intakes and operated within the building as already prohibited by other laws or regulations; or as enforced by ordinances, regulations or policies of any city, county, city and county, California Community College, campus of the California State University, or campus of the University of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post University of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post		be installed rupture or 5.508.2.2.2 Acces permitted for use.
			signage to inform building occupants of the prohibitions.		5.508.2.2.2 shall be bra
			SECTION 5.505 INDOOR MOISTURE CONTROL 5:051 INDOOR MOISTURE CONTROL Buildings shall meet or exceed the provisions of California Building Code, CCR, Tille 24, Part 2, Sections 1202 (Ventilation) and Chapter 14 (Exterior Walls). For additional measures, see Section 5.407:2 of this code.		5.508.2.2.2 5.508
			SECTION 5.506 INDOOR AIR QUALITY 5.506.1 OUTSIDE AIR DELIVERY. For mechanically or naturally ventilated spaces in buildings, meet the minimum		desiç
			5.506.1 OUTSIDE AIR DELIVERY. For mechanically or naturally ventilated spaces in buildings, meet the minimum requirements of Section 120.1 (Requirements For Ventilation) of the alfromate Energy Code or the applicable local code, whichever is more stringent, and Division 1, Chapter 4 of CCR, Title 8. 5.506.2 CARBON DIOXIDE (CQ) MONITORING. For buildings or additions equipped with demand control		5.508.2.3 Refrigerated s salt shall have evaporat
			ventilation, CQ: sensors and ventilation controls shall be specified and installed in accordance with the requirements of the California Energy Code, Section 120(c)(4).		corrosion from these su 5.508.2.3.1 Coil c
			5.506.3 Carbon dioxide (CO2) monitoring in classrooms. (DSA-SS) Each public K-12 school classroom, as listed in Table 120.1-A of th€alifornia Energy Code,shall be curringed with a packer divide positive concert that report the following requirements:		maximize energy 5.508.2.4 Refrigerant re
			equipped with a carbon dioxide monitor or sensor that meets the following requirements: 1. The monitor or sensor shall be permanently affixed in a tamper-proof manner in each classroom between 3 and 6 feet (914 mm and 1829 mm) above the floor and at least 5 feet (1524 mm) away from door and operable windows.		with a device tha indica 5.508.2.5 Pressure testi
			windows. When the monitor or sensor is not integral to an Energy Management Control System (EMCS), the monitor or sensor shall display the carbon dioxide readings on the device. When the sensor is integral to an EMCS, the carbon dioxide readings shall be available to and regularly monitored by facility personnel.		charging. 5.508.2.5.1 Minim
			 A monitor shall provide notification though a visual indicator on the monitor when the carbon dioxide levels in the classroom have exceeded 1,100ppm. A sensor integral to an EMCS shall provide notification to facility 		appropriate trace 5.508.2.5.2 Leaks
			personnel through a visual and/or audible indicator when the carbon dioxide levels in the classroom have exceeded 1,100ppm. 4. The monitor or sensor shall measure carbon dioxide levels at minimum 15- minute intervals and shall maintain a		gauge. 5.508.2.5.3 Allow
			record of previous carbon dioxide measurements of not less than 30 days duration. 5. The monitor or sensor used to measure carbon dioxide levels shall have the capacity to measure carbon dioxide levels with a range of 400ppm to 2000ppm or greater.		than a +/- one po 5.508.2.6 Evacuation. T
			 The monitor or sensor shall be certified by the manufacturer to be accurate within 75ppm at 1,000ppm carbon dioxide concentration and shall be certified by the manufacturer to require calibration no more frequently than once every 5 years. 		5.508.2.6.1 First v hold for 30 minute
			SECTION 5.507 ENVIRONMENTAL COMFORT 5.07.4 ACOUSTICAL CONTROL Employ building assemblies and components with Sound Transmission Class (STC) values determined in accordance with ASTM E 90 and ASTM E 413, or Outdoor-Indoor Sound Transmission Class (OITC) determined in accordance with ASTM E 1332, using either the prescriptive or performance method in Section 5.507.4.1 or 5.507.4.2.		5.508.2.6.2 Secon minutes. 5.508.2.6.3 Third with a maximum
			Exception 5007 #1 is a solution #2. Exception: Buildings with few or no occupants or where occupants are not likely to be affected by exterior noise, as determined by the enforcement authority, such as factories, stadiums, storage, enclosed parking structures and utility buildings.		CHAPTER 7 INSTALLER & SP
			Exception: [DSA-SS] For public schools and community colleges, the requirements of this section and all subsections apply only to new construction.		702 QUALIFICATIONS 702.1 INSTALLER TR
			5.507.4.1 Exterior noise transmission, prescriptive method. Wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall meet a composite STC rating of at least 50 or a composite OTC rating of no less than 40, with exterior windows of a minimum STC of 40 or OTIC of 30 in the following locations:		installation of HVAC systems i certification program. Uncertii responsibility of a person train Examples of acceptable HVAC
			Within the 65 CNL noise contour of an airport. Exceptions:		 State certified appre Public utility training Training programs s Programs sponsore
			 Let or CNEL for military airports shall be determined by the facility Air Installation Compatible Land Use Zone (AICUZ) plan. Lin or CNEL for other airports and heliports for which a land use plan has not been developed shall be determined by the local general plan noise element. 		 Other programs acc 702.2 SPECIAL INSPE responsible entity acting as the other duties necessary to sub- other duties necessary to sub-
e	t		 Within the 65 CNEL or li> noise contour of a freeway or expressway, railroad, industrial source or fixed-guideway source as determined by the Noise Element of the General Plan. 		to the satisfaction of the enform other certifications or qualifica considered by the enforcing a
			5.507.4.1.1. Noise exposure where noise contours are not readily available. Buildings exposed to a noise level of 65 dB L ₄ - 1-hr during any hour of operation shall have building, addition or alteration exterior wall and roof-ceiling assemblies exposed to the noise source meeting a composite STC rating of at least 45 (or OTIC 35), with exterior windows of a minimum STC of 40 (or OTIC 30).		 Certification by a na Certification by a sta performance contra Successful completion
			5.507.4.2 Performance Method. For buildings located as defined in Section 5.507.4.1 or 5.507.4.1.1, wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level (Leq.1H) of 50 dBA in occupied areas during any hour of operation.		 Other programs acc Notes: Special inspe
			5.507.4.2.1 Site Features. Extension features such as sound values of earth beauting any neutrino operation appropriate to the building, addition or alteration project to mitigate sound migration to the interior.		project they are in 2. HERS raters homes in Californ
			5.507.4.2.2 Documentation of Compliance. An acoustical analysis documenting complying interior sound levels shall be prepared by personnel approved by the architect or engineer of record.		[BSC-CG] When required by shall employ one or more spec compliance with this code. Sp
			5.507.4.3 Interior sound transmission. Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40.		compliance with this code. Sp agency for the particular type certification from a recognized area of certification shall be cl
			Note: Examples of assemblies and their various STC ratings may be found at the California Office of Noise Control: www.toolbase.org/PDF/CaseStudies/stc_icc_ratings.pdf.		Note: Special inspector
			SECTION 5.508 OUTDOOR AIR QUALITY 5.508.1 Ozone depletion and greenhouse gas reductions. Installations of HVAC, refrigeration and fire suppression		project they are inspect 703 VERIFICATIO
			equipment shall comply with Sections 5.508.1.1 and 5.508.1.2. 5.508.1.1 Chlorofluorocarbons (CFCs). Install HVAC, refrigeration and fire suppression equipment that do not		703.1 DOCUMENTATION. D construction documents, plans
			contain CFCs. 5.508.1.2 Halons. Install HVAC, refrigeration and fire suppression equipment that do not contain Halons.		acceptable to the enforcing ag special inspection is necessar section or identified applicable

150 INNUTY OF THE CONTRACTOR TO IDENTIFY AND BRING TO THE DESIGNERS ATTENTION

CURRENT VOC LIMIT

100

Y = YES NA = NOT APPLICABLE RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEEF OWNER, CONTRACTOR, INSPECTOR ETC.)

Int leak reduction. New commercial refrigeration systems shall comply with the n installed in retail food stores 8,000 square feet or more conditioned area, and that ay cases, or walk-in coolers or freezers connected to remote compressor units or ay cases, or walk-in coolers or freezers connected to remote compressor units or duction measures apply to refrigeration systems containing high-global-warming potent a GWP of 150 or greater. New refrigeration systems include both new facilities and the aration systems in existing facilities.

tems containing low-global warming potential (low-GWP) refrigerant with a GWP ubject to this section. Low-GWP refrigerants are nonozone-depleting refrigerants n dioxide (CQ), and potentially other refrigerants.

iping. Piping compliant with the California Mechanical Code shall be installed to be tection and repairs. Piping runs using threaded pipe, copper tubing with an outside n 1/4 inch, flared tubing connections and short radius elbows shall not be used in

aded pipe. Threaded connections are permitted at the compressor rack.

er pipe. Copper tubing with an OD less than 1/4 inch may be used in systems with a e of 5 pounds or less.

2.1 Anchorage. One-fouth-inch OD tubing shall be securely clamped to a rigid base to tion levels below 8 mils.

d tubing connections. Double-flared tubing connections may be used for pressure lot lines and oil.

: Single-flared tubing connections may be used with a multiring seal coated with sealant suitable for use with refrigerants and tightened in accordance with manufacturer's idations.

ws. Short radius elbows are only permitted where space limitations prohibit use of

es Valves and fittings shall comply with the California Mechanical Codeand as

sure relief valves. For vessels containing high-GWP refrigerant, a rupture disc shall een the outlet of the vessel and the inlet of the pressure relief valve.

1.1 Pressure detection. A pressure gauge, pressure transducer or other device shall d in the space between the rupture disc and the relief valve inlet to indicate a disc discharge of the relief valve.

ss valves. Only Schrader access valves with a brass or steel body are

2.1 Valve caps. For systems with a refrigerant charge of 5 pounds or more, valve caps ass or steel and not plastic.

2.2 Seal caps. If designed for it, the cap shall have a neoprene O-ring in place. 8.2.2.2.2.1 Chain tethers. Chain tethers to fit ovr the stem are required for valves

aned to have seal caps.

Exception: Valves with seal caps that are not removed from the valve during stem operation.

service cases. Refrigerated service cases holding food products containing vinegar and tor coils of corrosion-resistant material, such as stainless steel; or be coated to prevent

coating. Consideration shall be given to the heat transfer efficiency of coil coating to

eceivers. Refrigerant receivers with capacities greater than 200 pounds shall be fitted ates the level of refrigerant in the receiver.

ting. The system shall be pressure tested during installation prior to evacuation and

num pressure. The system shall be charged with regulated dry nitrogen and r oas to bring system pressure up to 300 psig minimum.

s. Check the system for leaks, repair any leaks, and retest for pressure using the same

vable pressure change. The system shall stand, unaltered, for 24 hours with no more bund pressure change from 300 psig, measured with the same gauge.

The system shall be evacuated after pressure testing and prior to charging. vacuum. Pull a system vacuum down to at least 1000 microns (+/- 50 microns), and

nd vacuum. Pull a second system vacuum to a minimum of 500 microns and hold for 30

vacuum. Pull a third vacuum down to a minimum of 300 microns, and hold for 24 hours drift of 100 microns over a 24-hour period.

PECIAL INSPECTOR QUALIFICATIONS

AINING HVAC system installers shall be trained and certified in the proper AINING. InvAc system initialities shall be ualited and between in the proper including ducts and equipment by a nationally or regionally recognized training or filed persons may perform HVAC installations when under the direct supervision and red and certification to install HVAC systems or constructor licensed to install HVAC syste C training and certification programs include but are not limited to the following:

enticeship programs.

Interant program. programs. d by manufacturing organizations. d by manufacturing organizations. eptable to the enforcing agency.

ECTION [HCD]. When required by the enforcing agency, the owner or the the owner's agent shall employ one or more special inspectors to provide inspection or batantistic compliance with this code. Special inspectors shall emonstrate completence proing agency for the particular type of inspection or task to be performed. In addition to allow acceptable to the enforcing agency, the following certifications or education may be agency when evaluating the qualifications of a special inspector:

ational or regional green building program or standard publisher. tatewide energy consulting or verification organization, such as HERS raters, building atewide energy consuling or verification organization, such as news ra-cetors, and home energy auditors. tion of a third party apprentice training program in the appropriate trade. ceptable to the enforcing agency.

ectors shall be independent entities with no financial interest in the materials or the nspecting for compliance with this code. are special inspectors certified by the California Energy Commission (CEC) to rate nia according to the Home Energy Rating System (HERS).

the enforcing agency, the owner or the responsible entity acting as the owner's agent icial inspectors to provide inspection or other duties necessary to substantiate pecial inspectors shall demonstrate competence to the satisfaction of the enforcing of inspection or task to be performed. In addition, the special inspector shall have a nined by the local agency. The d state, national or international association, as determined by the local ager losely related to the primary job function, as determined by the local agency.

ors shall be independent entities with no financial interest in the materials of $R_{\rm R}$ stars for real $R_{\rm R}$ and $R_{\rm R}$

DNS PLANS REVIEWED BY:

ONS PLANS REVIEWED BY: Documentation used if **AdMIMAN'ENCLAWHERING** does shall include but is not limited to a ns, specifications, builder, or pistulier certification, inspection reports, borbert memory agency which demonstrate support of compliance will be specified in the apply that a the interval of the specified of the



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Scale

ELECTRICAL GENERAL NOTES

- SHOULD A CONFLICT OCCUR BETWEEN OR WITH THE SPECIFICATIONS AND/OR DRAWINGS, CODES, STANDARDS, REQUIREMENTS, MANUFACTURER'S INSTRUCTIONS. OR RECOMMENDATIONS. THE MORE STRINGENT AND/OR RESTRICTIVE CONDITION SHALL HAVE PRECEDENCE, AS DETERMINED BY THE CONTRACTING OFFICER.
- THE DRAWINGS REPRESENT THE FINISHED PROJECT UNLESS OTHERWISE NOTED , THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND SEQUENCES.
- ALL DIMENSIONS. EXISTING JOB SITE CONDITIONS. AND SERVICE REQUIREMENTS SHALL BE VERIFIED BY THE CONTRACTOR BEFORE THE START OF CONSTRUCTION AND/OR FABRICATION OF MATERIALS IF DISCREPANCIES ARE ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED FOR CLARIFICATION
- CONTRACTOR SHALL COORDINATE WORK BETWEEN ALL TRADES AND WORKMEN TO CLOSE , PATCH , AND REPAIR ALL HOLES WHERE ITEMS ARE REMOVED AND PROVIDED OPENINGS AS NECESSARY FOR NEW WORK.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH CALIFORNIA LOCAL CODES APPLYING TO THE PROPOSED CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE ABOVE AND THESE PLANS AND SPECIFICATIONS, THE MOST RESTRICTIVE SHALL GOVERN.
- CONTRACTOR SHALL VERIFY ALL INFORMATION PERTAINING TO SERVICE BY THE UTILITIES AND SHALL INCLUDE THE COST OF ALL WORK BY OR FOR THEM IN HIS BID
- ELECTRICAL CONTRACTOR SHALL PROVIDE A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM, EXCEPT THAT THE PROVISIONS FOR OWNER-SUPPLIED EQUIPMENT SHALL ONLY BE COMPLETED TO THE POINT INDICATED ELSEWHERE ON THE DRAWINGS.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONFORMITY TO ALL LOCAL CODES AND ORDINANCES, THE STATE OF CALIFORNIA ELECTRICAL SAFETY ORDERS, THE N.E.C. AND ANY ADDITIONAL JURISDICTION RELATING TO THE WORK
- IN THE EVENT OF A CONFLICT OR INCONSISTENCY BETWEEN ITEMS INDICATED ON THE PLANS AND/OR SPECIFICATIONS OR WITH CODE REQUIREMENTS THE NOTES SPECIFICATIONS OR CODES WHICH ESTABLISH AND PRESCRIBE THE MORE COMPLETE OR THE HIGHER STANDARD SHALL PREVAIL
- 10. EXACT ROUTING OF ALL CONDUITS WITHIN THE EXISTING BUILDING SHALL BE DETERMINED BY THE CONTRACTOR . ANY COST REQUIRED TO ROUTE CONDUITS DIFFERENTLY THAN IS SHOWN ON THESE DRAWINGS SHALL BE INCURRED BY THE ELECTRICAL CONTRACTOR
- 11. 11.ALL MATERIALS AND EQUIPMENT SHALL BE DELIVERED TO THE SITE NEW. IN THEIR ORIGINAL UNBROKEN PACKAGES BEARING APPROVAL BY , NEMA, NBFU, OR OTHER APPROPRIATE AGENCY , AND INSTALLED PER THEIR GUIDELINES.
- 12. CONTRACTOR SHALL PROVIDE A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM MEETING THE INTENT OF THESE PLANS AND SPECIFICATIONS. ALL SYSTEMS SHALL BE IN FOR INSPECTION.
- 13. ELECTRICAL CONTRACTOR SHALL MAINTAIN GROUND CONTINUITY TO EVERY OUTLET PER C.E.C 2022 TABLE 250-112.
- 14. ALL WIRES AND CABLES SHALL BE COPPER , 600 VOLT , #12 AWG MINIMUM.EXCEPT CONTROL WIRING WHICH SHALL BE #18 THWN. TYPE OF INSULATION AS NOTED ON DRAWINGS AND AS FOLLOWS:
- THHN/THWN INSULATION FOR #4 AWG AND SMALLER
- THW OR THHN/THWN INSULATION FOR #2 AWG AND LARGER
- THW USED FOR ALL PANEL FEEDERS AND SERVICE CONDUCTORS THHN INSULATION TYPE SHALL BE USED WHERE CONDUCTORS ARE INSTALLED IN CONDUITS EXPOSED TO THE WEATHER
- 15. ALL ELECTRICAL EQUIPMENT SHALL BE ANCHORED FOR SEISMIC LOADING TO RESIST A HORIZONTAL FORCE ACTION IN ANY DIRECTION USING THE FOLLOWING CRITERIA:
- FIXED EQUIPMENT ON GRADE 33% OF OPERATING WEIGHT FIXED EQUIPMENT ON STRUCTURE 50% OF OPERATING WEIGHT
- FOR FLEXIBILITY MOUNTED EQUIPMENT, USE 2 TIMES THE ABOVE VALUES. SIMULTANEOUS VERTICAL FORCE USE 1/3 TIMES HORIZONTAL FORCE. THIS CRITERIA APPLIES TO EQUIPMENT ON THE FLOOR, WALL, OR ROOF WITH AN OPERATING WEIGHT OF LESS THAN 1,000 LB.
- 16. CONTRACTOR IS RESPONSIBLE FOR ALL CORING, CUTTING, PATCHING, AND REFINISHING OF WALLS AND SURFACES WHEREVER IT IS NECESSARY PENETRATION, ALL OPENINGS MADE SHALL BE SEALED TO MEET THE FIRE RATING AND STRUCTURAL INTEGRITY OF THE PARTICULAR WALL, FLOOR, OR CELLING

- 17. ALL ELECTRICAL FIXTURE AND EQUIPMENT SHALL BE GROUNDED, ALL CONVENIENCE RECEPTACLES SHALL BE GROUNDING TYPE.
- 18. ELECTRICAL CONTRACTOR SHALL FURNISH TEMPORARY CONSTRUCTION POWER WHERE REQUIRED.
- 19. ALL THE ELECTRICAL LINES SHOULD BE CONCEALED WITHIN THE BUILDING STRUCTURE TO AS GREAT EXTENT AS POSSIBLE.
- 20. ELECTRICAL RECEPTACLES OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS AND COMMUNICATION SYSTEM RECEPTACLES TO BE LOCATED:
- a. NO MORE THAN 48", MEASURED FROM TOP OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING AND:
- NO LESS THAN 15', MEASURED FROM BOTTOM OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING, TO THE LEVEL OF THE FINISHED FLOOR OR WORKING PLATFORM. b.
- ALL WORK TO COMPLY WITH 2022 CALIFORNIA ELECTRICAL CODE AND 21. 2022 CALIFORNIA ENERGY CODE.
- 22. PROVIDE SWITCH & RECEPTACLE HEIGHTS PER STATE OF CALIFORNIA ACCESSIBLE REQUIREMENTS.
- 23. THE ISSUANCE OF PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF CODES ADOPTED BY THE CITY RELEVANT LAWS, ORDINANCES, RULES AND/OR REGULATIONS.
- 24. FOR RATED WALLS/CEILINGS PENETRATIONS AND/OR MEMBRANE PENETRATIONS, COMPLETE NRTL CLASSIFICATION SHEETS SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF INSPECTION.
- 25. GIVE THE POWER COMPANY WRITTEN NOTICE OF THE EXTENT AND NATURE OF ANY MATERIAL CHANGES IN THE SIZE, CHARACTER, OR EXTENT OF THE UTILIZING EQUIPMENT OR OPERATIONS FOR WHICH POWER COMPANY IS SUPPLYING ELECTRIC SERVICE BEFORE MAKING ANY SUCH CHANGE.
- 26. THE UNGROUNDED AND GROUNDED CONDUCTORS OF EACH MULT-IWIRE BRANCH CIRCUIT SHALL BE GROUNDED BY WIRE TIES OR SIMILAR MEANS IN AT LEAST ONE LOCATION WITHIN THE PANEL-BOARD OR OTHER POINT OF ORIGINATION (210.4(D)).
- 27. EACH MULTI-WIRE BRANCH CIRCUIT SHALL BE PROVIDED WITH A MEANS THAT WILL SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES.(210.4)
- 28. PROVIDE SEPARATE SUBMITTAL, OBTAIN ALL REQUIRED PERMITS, INSPECTIONS AND APPROVALS FOR ALL FIRE ALARM SYSTEM INSTALLATIONS AND/OR MODIFICATIONS.
- 29 PROVIDE SEPARATE SUBMITTAL FOR ALL ELECTRICAL SUBSYSTEMS. WITH POWER SUPPLY(S) OF MORE THAN 50VA AND/OR 24V (E.G., SECURITY ,CARD READERS, TELCO/DATA,PA,AUDIO/VISUAL,NURSE CALL HVAC AND REFRIGERATION CONTROLS. ETC.).
- 30. ALL INSTALLED MATERIALS AND EQUIPMENT SHALL BE LISTED U.L.,NRTL OR LISTED AND APPROVED BY AN APPROVED LISTED LABORATORY

CODE INFORMATION:

THE CONTRACTOR SHALL CONFORM TO ALL CODES, ORDINANCES, ETC. WHICH HAVE JURISDICTION OVER THIS WORK. BELOW IS A LIST OF MAJOR STANDARDS LISTED FOR CONVENIENCE ONLY. REFERENCE TO A STANDARD MEANS. THE LATEST EDITION OF SUCH STANDARD AT DATE OF BUILDING PERMIT. THE CONTRACTOR SHALL RETAIN RESPONSIBILITY FOR COMPLIANCE WITH LATEST REVISIONS OF ALL OTHER APPLICABLE CODES AND ORDINANCES NOT LISTED HEREIN

CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA ENERGY CODE (TITLE 24, PART 6) 2022

ELECTRICAL SPECIFICATIONS

PART -I GENERAL:

1. 1.1 ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA ELECTRICAL CODE (CEC 2022), THE NATIONAL ELECTRICAL CODE NEC 2017 AND CURRENT CITY ORDINANCES. 2. 1.2 ELECTRICAL EQUIPMENT, MATERIALS AND APPURTENANCES SHALL BE BRACED IN ACCORDANCE WITH CBC 2022 FOR SEISMIC CODES.

PART -II PRODUCTS:

- EQUIPMENT AND MATERIALS SHALL BE NEW AND FREE FROM DEFECTS. ALL EQUIPMENT OF THE SAME OR SIMILAR TYPE SHALL BE THE SAME MANUFACTURER THROUGHOUT THE WORK. STANDARD PRODUCTION MATERIALS SHALL BE USED WHEREVER POSSIBLE. CONDUIT SHALL BE PROVIDED FOR ALL WRING INCLUDING POWER, CONTROL, GROUNDING, LIGHTING, RECEPTACLES AND SIMILAR SYSTEMS. RACEWAYS: EXPOSED CONDUIT SUBJECT TO DAMAGE SHALL BE THREADED, GALVANIZED, RIGID STEEL
- RACEWATS: EXPOSED CONDUCTI SUBJECT TO DAMAGE SHALL BE THREADED, GUIVANIZED, RUID STEEL CONDULT, MINIMUM SIZE BE 3/4" BUSHING SHALL BE GALVANIZED, MALLEABLE IRON WITH INSULATED COLLARS. GROUNDING BUSHING SHALL BE LOCKED TYPE WITH THROUGH COMPRESSION
- LUG. LIQUID TIGHT, FLEXIBLE STEEL CONDUIT SHALL BE PROVIDED FOR ALL DAMP OR WET LOCATIONS. EMBEDDED OR ENCASED CONDUIT SHALL BE SCHEDULE 40, HIGH IMPACT, POLYVINYL CHLORIDE(PVC). FITTING FOR PVC CONDUIT SHALL BE SOLVENT WELDED TYPE. JUNCTION AND PULL BOXES FOR USE IN OUTDOOR AREAS SHALL BE CAST TYPE . NEMA 3R RATED WITH INTEGRALLY CAST THREADED HUBS FOR CONDUIT ENTRY. CONDUIT BODIES SHALL FERROUS ALLOY TYPE WITH SCREW FOR FASTENING COVERS.GASKETS SHALL BE MADE OF NEOPRENE.
- INDIVIDUAL CONDUIT SUPPORTS SHALL BE TWO-HOLE GALVANIZED STEEL STRAPS. PLUMBERS TYPE
- IS NOT ACCEPTARIE CONDUCTORS, WIRES & CABLES SHALL BE PROVIDED FOR POWER CONTROL, LIGHTING, RECEPTACLES,
- INTRUMENTATION, GROUNDING AND SIGNAL CIRCUITS. THE QUANTITY AND SIZE OF CONDUCTORS SHALL BE AS SPECIFIED. CONDUCTORS FOR LIGHTING AND RECEPTACLE CIRCUITS SHALL BE SIGNAL CONDUCTOR, ANNEALED COPPER WITH 600-VOLT THWN/THHN PVC INSULATION. GROUNDING CONDUCTORS SHALL BE CONCENTRIC STRANDED,ANNEALED BARE COPPER
- 0. RECEPTACLES.PLUGS, SWITCHES AND APPURTENANCES SHALL BE PROVIDED AS SPECIFIED ON THE
- 1. LIGHT SWITCHES SHALL BE 20 AMP, ROCKER TYPE, LEVITON, OR EQUAL.
- CROUND RODS SHALL BE COPPER-COVERED STEEL 3/4" DIAMETER,10" LONG.
 CIRCUIT BREAKERS SHALL MOLDED-CASE TYPE RATED FOR THE CURRENT RATINGS AND POLE CONFIGURATIONS SPECIFIED ON THE PANEL BOARD SCHEDULE.

PART -III INSTALLATION:

- NAMEPLATES SHALL BE MADE FROM LAMINATED PHENOL PLASTIC SHALL 3/4" HIGH BY 2" LONG.NAMEPLATES SHALL HAVE BLACK BACKGROUNDS WITH 3/16" WHITE LETTERS AND SHALL BE FASTENED USING SELF-TAPPING STAINLESS STEEL SCREWS.THE USE OF ADHESIVES WILL NOT BE PERMITTED ON THE OUTSIDE OF ENCLOSURE.
- UNLESS OTHERWISE DETAILED OF DIMENSIONED, ELECTRICAL LAYOUT DRAWINGS ARE DIAGRAMATIC. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ELECTRICAL MATERIAL AND EQUIPMENT WITH THE WORK SWITCHES, OUTLETS & FIXTURE LOCATIONS SHALL BE CONFIRMED WITH ARCHITECT PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL LIMIT NUMBER OR DIRECTIONAL CHANGES OF CONDUIT FOR A TOTAL OF NOT MORE THAN 270 DEGREES IN ANY RUN BETWEEN PULL BOXES. CONDUIT RUNS SHALL BE LIMITED TO 400' FOR EACH 90 DEGREES CHANGE IN DIRECTION. SINGLE CONDUITS SHALL BE SEPARATED FROM AC POWER AND CONTROL CONDUITS. THE MINIMUM
- SEPARATION SHALL BE 12" FOR RIGID STEEL AND 24" FOR PVC CONDUITS. EXPOSED CONDUIT SHALL RUN PARALLEL AND PERPENDICULAR TO WALLS, STRUCTURAL MEMBERS.
- NO CONDUIT SHALL APPROACH CLOSER THAN 6" TO ANY OBJECT OPERATING ABOVE 80 DEGRESS
- SIGNAL/DATA CIRCUITS.
- CONDUITS, WIRING OR MOUNTING OF DEVICES NOT SHOWN ON THE ELECTRICAL OR INSTRUMENTATION DRAWINGS BUT REQUIRED FOR A COMPLETE AND OPERABLE SYSTEM SHALL BE PROVIDED. UNLESS OTHERWISE SPECIFIED, SWITCHES SHALL BE MOUNTED 48" ABOVE FINISH FLOOR, RECEPTACLES
- SHALL BE MOUNTED 15" ABOVE FINISHED FLOOR 10. ELECTRICAL EQUIPMENT AND ENCLOSURES, METAL SURFACES OF EQUIPMENT, AND METAL STRUCTURAL MEMBERS SHALL BE GROUNDED. GROUNDING SYSTEMS SHALL BE PROVIDED IN COMPLIANCE WITH
- THE CEC AND AS SPECIFIED ON THE DRAWINGS 11. GROUNDING CONDUCTORS SHALL BE A SUFFICIENT LENGTH TO REACH THE FINAL CONNECTION POINT
- WITHOUT SPLICING 12. A SEPARATE GROUND SHALL BE RUN IN EACH POWER CONDUIT. THE CONDUCTOR SHALL BE SIZED IN ACCORDING WITH CEC TABLE 250-95. THE CONDUCTOR SHALL BE BOUNDED TO THE INSIDE OF

- IN ACCORDING WITH CEC TABLE 250–95. THE CONDUCTOR SHALL BE BOUNDED TO THE INSIDE OF THE DEVICE JUNCTION BOX. 13. THE LOCATION AND TYPE OF FIXTURES AND RECEPTACLES ARE SHOWN ON THE DRAWINGS. RACEWAYS AND WIRE SHALL BE PROVIDED FROM THE FIXTURE, SWITCHES AND RECEPTACLES TO THE LIGHTING PANEL IN ACCORDANCE WITH THE NEC. 14. FIXTURES LABELED TO REQUIRED CONDUCTORS WITH A TEMPERATURE RATING EXCEEDING 75 DEGREES C SHALL BE SPLICED TO CIRCUIT CONDUCTORS IN A SEPARATELY MOUNTED JUNCTION BOX. FIXTURE SHALL BE CONNECTED TO JUNCTION BOX USING FLEXIBLE CONDUIT WITH A TEUROPATILEE DATION. COLUME TO AD REFERE THAN THAT OF THE EXTURE TEMPERATURE RATING EQUAL TO OR GREATER THAN THAT OF THE FIXTURE. 15. PHOTOELECTRIC CELLS SHALL BE ORIENTED TOWARD THE NORTH.
- 16. THE CONTRACTOR SHALL TYPE IN THE CIRCUIT DESCRIPTION ON THE CIRCUIT DIRECTORY AS SHOWN ON THE FINAL RECORD DRAWINGS.

ELECTRICAL SERVICE NOTES

- ALL EQUIPMENT SHALL BE FULLY BUSSED AND BRACED FOR THE INTERRUPTING CURRENT PER POWER COMPANY REQUIREMENTS.
- ALL EQUIPMENT SHALL BE U.L. LISTED AND INSTALLED AS PER LISTING AND LABELING. CIRCUIT BREAKERS USED AS SWITCHES SHALL BE LISTED FOR SWITCHING DUTY AND MARKED
- "SWD" PER C.E.C. 240-83(D) ALL CIRCUIT BREAKERS SHALL BE MOLDED CASE THERMAL MAGNETIC AND RATED FOR AVAILABLE
- SHORT CIRCUIT CURRENT GROUNDING AND GROUND CONTINUITY PER C.E.C. 250.
- SERVICE EQUIPMENT SIZE VARIES WITH MANUFACTURES VERIFY EXACT EQUIPMENT DIMENSION WITH MANUFACTURER.
- ALL CIRCUITS SHALL BE CLEARLY IDENTIFIED AND MARKED ON PANEL BOARD CIRCUIT I.D. TAG.
- 8. ALL FUSE HOLDERS FOR CURRENT LIMITING FUSES SHALL BE REJECTION TYPE

HOME-RUN TO PA A-3.5 TOGGLE SWITCH AT INDICATE THE FOLI \$x 3-THREE WAY: 4-OF SWITCHES: M-T-TIMER H-HUMIDI LIGHT FIXTURE DES $\begin{pmatrix} A \\ 64 \end{pmatrix}$ FIXTURE "A", 64 W CONDUIT CONCEAL IN WALL ---(E)--EXISTING CIRCUIT / CONDUIT UNDER SL 0 FLUORESCENT LIGH 0 \bigcirc CEILING MOUNTED 0 FAN & LIGHT COM Ю WALL MOUNTED FIX æ EMERGENCY LIGHT FLUORESCENT FIX EMERGENCY BATTE 0 EXIT LIGHT FIXTUR \bigcirc LIGHT_FIXTURE-__R EMERGENCY LIGHT BATTERY UNIT 10 Opp POWER POLE PB PUSH BUTTON ď FUSIBLE DISCONN SAFETY DISCONN \otimes PATHWAY LIGHT P01 CONDUIT DESIGNAT SD SMOKE DETECTOR, \bigcirc PULL BOX

-0-

(M)

WATT METER

ELECTRICAL LEGENI

DESCRIPTION

ELECTRICAL PANEL

ELECTRICAL PANEL

MAIN SERVICE SW

CIRCUIT BREAKER

GROUND CONNECT

120V DUPLEX OUT

120V SPLIT WIRED

120V QUAD OUTLE

208V/240V OUTLE

120V DIRECT CON

208V/240 V DIREC

OCCUPANCY SENSO

TELEPHONE OUTLE

AFF UON WITH (1

ACCESSIBLE CEILIN

TELE/DATA OUTLE

JUNCTION BOX

FLEX CONDUIT

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- GROUND

-NEUTRAL

SWITCHED

-HOT

D & ABBREVIATION	1S			DATE			
L , FLUSH MOUNT L, SURFACE MOUNT ITCHBOARD (MSB) TION TLET D DUPLEX OUTLET ET ET INECTION CCT CONNECTION CCT CCT CCT CCT CCT CCT CCT CCT CCT CCT	A,AMP AFF AFG AWG AUX BAT BRD BLDG C C C C C C C C C C C C C C C C C C C	AMPERE ABOVE FINISHED FLORR ABOVE FINISHED GRADE AMERICAN WIRE GAGE AUXILIARY BATTERY BOARD BUILDING CONDUIT CIRCUIT BREAKER CEILING CIRCUIT BREAKER CEILING CIRCUIT ONLY DISCONNECT SWITCH DRAWING EMERGY SAVING EVALUAT FAN ENERGY SAVING EVAPORATIVE COOLER EXISTING GROUND FAULT CIRCUIT INTERRUPTER GROUND FAULT CIRCUIT INTERRUPTER GROUND FAULT CIRCUIT INTERRUPTER GROUND FAULT CIRCUIT INTERRUPTER GROUND FAULT CIRCUIT INTERRUPTER GROUND FAULT CIRCUIT INTERRUPTER GROUND LAULT CIRCUIT INTERRUPTER GROUND LAULT CIRCUIT INTERRUPTER GROUND LAULT CIRCUIT INTERRUPTER GROUND LEUCTRICAL CODE NUMETAL HALIDE MOUNTED NEW NATIONAL ELECTRICAL CODE NOT IN CONTRACT NIGHT LIGHT NOT SCALE POLE PHOTOCELL RELOCATED RECEPTACLE TIME CLOCK TELEPHONE TYPICAL UNDERWRITERS LABORATORY UNLESS OTHERWISE NOTED TRANSFORMER VOLTS WEATHERPROOF	M METRAMENT OF PROFESSIONAL SERVICE IS THE PROPERTY OF BLUEBERRY MC., AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTER AUTHORIZATION OF BLUEBERRY INC. ALL RIGHTS RESERVED.	NO ENGIN	NEW 24X40 MODULAK BUILDING	024 ry,i SER sberryi schoc	VIC nc.(14 :om
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INECT SWITCH AS NOTED NECT SWITCH AS NOTED TION. P01 , 1" CONDUIT /CARBON MONOXIDE DETECTOR COMBO			THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED	24078 DATE 5/24 AS SI DRAV	: /2024 . E:		

SINGLE LINE DIAGRAM GENERAL NOTES:

- INFORMATION SHOWN ON DRAWINGS IS INTENDED TO INDICATE MINIMUM REQUIREMENTS TO MEET THE NEEDS OF THIS PROJECT. 2. CONTRACTOR TO OBTAIN THE AVAILABLE FAULT CURRENT LETTER FROM
- THE UTILITY COMPANY.
- ALL CONDUCTORS SHALL BE COPPER AND RATED 75'C AND 600 VOLTS. SIZES NO. 8 AWG AND LARGER SHALL BE STRANDED AND NO. 10 AND SMALLER SHALL BE SOLID. USE TYPE THHN/THWN-2/XHHW/XHHW-2. 4. ALL NEW CIRCUIT BREAKERS , FUSIBLE SWITCHES IN MAIN
- SWITCHBOARD OR PANEL BOARDS SHALL BE FULLY RATED
- FUSES SHALL BE PROVIDED WITH REJECTION TYPE FUSE HOLDERS. NO PIPING , DUCTS OR EQUIPMENT FOREIGN TO ELECTRICAL EQUIPMENT SHALL BE PERMITTED TO BE LOCATED WITHIN THE 6. DEDICATED SPACE ABOVE THE ELECTRICAL EQUIPMENT PER 110.26 (E) (1) . CONTRACTOR TO MAINTAIN ALL CLEARANCES AS REQUIRED BY 110.269A) -(E) FOR ALL INSTALLATIONS OF THIS PROJECT.
- MAIN SERVICE SHALL NOT BE ENERGIZED PRIOR TO THE BUILDING INSPECTOR'S RECEIPT OF A THIRD PARTY "NRTL" TESTING LABORATORY PERFORMANCE TEST CERTIFICATION FOR THE SERVICE GROUND FAULT PROTECTION 2020 NEC 230.95

KEYED NOTES

- (1)EXISTING NEMA3R 120-208V/800A/3Ø/4W MAIN-METER PANEL. CONTRACTOR TO VERIFY
- 2 CONTRACTO COMPANY CONTRACTOR TO VERIFY THE AVAILABLE SHORT CIRCUIT CURRENT WITH THE UTILITY
- PRIOR TO ENERGIZING THE SYSTEM, CONTRACTOR SHALL PROVIDE GROUND TEST TO MEASURE THE RESISTANCE BETWEEN THE GROUND SYSTEM AND EARTH. (3)
- (4) SEE GROUNDING DETAIL

(E) -(M) \ 800A 200A (2)-(5) 6 ⁴ (E) +#1 (E) PULL BOX

(E) 800A U.G.P.S.

- ÷
- (E) PULL BOX
- PANEL 'P' 120-208V PANEL 'A' 120-240V GND
- 4W/200A GND _ N.T.S.

£⊡

MBJ EQPT. GRD. BUS MAIN BONDING JUMPER, #3/0 BCU. EBJ - EQUIPMENT BONDING JUMPER, #3/0 BCU. GEC - GROUND ELETRODE CONDUCTOR, #4 BCU. REQUIREMENTS.

N.T.S.

NEUT. BUS

SYSTEM BOND

GEC

UFFR GROUND 20' OR #3/0 REBAR EACH WAY

BLDG. STRUCTURAL METAL FRAMING

GEC

GEC

GENERAL NOTES:

- . INFORMATION SHOWN ON DRAWINGS IS INTENDED TO INDICATE MINIMUM REQUIREMENTS TO MEET THE NEEDS OF THIS PROJECT. . ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, AND
- THE PROJECT SPECIFICATIONS IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE JOB SITE AND THE LOCATION OF ALL UNDERGROUND
- FACILITIES SHOWN OR NOT SHOWN ON THESE PLANS. NEITHER THE DISTRICT NOR THE ENGINEER WILL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND FACILITIES. 4. ALL ELECTRICAL EQUIPMENT AND WIRING SHALL BE LISTED AND LABELED BY AN APPROVED AGENCY. INSTALLATION SHALL BE IN
- ACCORDANCE WITH APPROVED LISTING. PROVIDE WARNING LABELS AS REQUIRED BY CEC 110.22, ENGRAVED
- LAMINATED NAMEPLATES SHALL BE PROVIDED AT THE SES AND PANEL BOARDS. REFER TO CEC 110.22 FOR SPECIFIC WORDING OF SERIES RATED LABELS
- NO DESIGN CHANGES MAY BE MADE TO THE SYSTEM WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER AND ELECTRICAL INSPECTOR.
- PROVIDE ALL ARC-FLASH LABELING AS REQUIRED PER CEC 110.16

CONSTRUCTION NOTES:

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, AND THE PROJECT SPECIFICATIONS.
- IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE JOB SITE AND THE LOCATION OF ALL UNDERGROUND FACILITIES SHOWN OR NOT SHOWN ON THESE PLANS. NEITHER THE DISTRICT NOR THE ENGINEER WILL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND FACILITIES.
- ALL ELECTRICAL EQUIPMENT AND WIRING SHALL BE LISTED AND LABELED BY AN APPROVED AGENCY. INSTALLATION SHALL BE IN ACCORDANCE WITH APPROVED LISTING.
- PROVIDE WARNING LABELS AS REQUIRED BY CEC 110.22. ENGRAVED LAMINATED NAMEPLATES SHALL BE PROVIDED AT THE SES AND PANEL BOARDS. REFER TO CEC 110.22 FOR SPECIFIC WORDING OF SERIES RATED LABELS.
- NO DESIGN CHANGES MAY BE MADE TO THE SYSTEM WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER AND ELECTRICAL INSPECTOR.
- PROVIDE ALL ARC-FLASH LABELING AS REQUIRED PER CEC 110.16 SERVICE EQUIPMENT IN OTHER THAN DWELLING UNITS SHALL BE LEGIBLY MARKED IN THE FIELD WITH THE MAXIMUM AVAILABLE FAULT CURRENT. THE FIELD MARKINGS SHALL INCLUDE THE DATE THE FAULT CURRENT CALCULATION WAS PERFORMED AND BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED, CEC 110.24(A).

LISTING NOTE:

ALL ELECTRICAL EQUIPMENT SHALL BE UL CERTIFIED. CONTRACTOR TO VERIFY THE EQUIPMENT LISTING WITH THE EQUIPMENT VENDOR AND PROVIDE EQUIPMENT LISTING.

FAULT	F1	F2	F3	F4
LOCATION	SCE	PULL BOX	PULL BOX	PANEL 'A'
AFC FROM SOURCE	42000	42000	8677	4289
CONDUCTOR SIZE		500MCM	500MCM	500MCM
CONDUCTOR TYPE		COPPER	COPPER	COPPER
LENGTH		212'	329'	73'
# OF SETS		1	1	1
CONDUIT TYPE		RMC	PVC	PVC
VOLTAGE		208V	208V	208V
CALCULATED FAULT CURRENT	42000	8677	4289	3856

FAULT CURRENT CALCULATIONS

	SERVICE LOAD CALCULATIONS	
No.	LOAD DESCRIPTION	KVA
1	EXISTING PANEL 'DBB'	115.20
2	EXISTING PANEL "P"	57.64
3	NEW PANEL "A"	25.40
	TOTAL KVA =	198.24
	TOTAL LOAD @ 208V THREE PHASE=	550.28

MAIN COLD WATER PIPE

Plotted: Friday, May 24, 2024 1:34 PM



	DATE						
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KEYED NOTES

(2) EXISTING PULL BOX. CONTRACTOR TO VERIFY.

3 New modular building. All lighting and electrical work inside the building is by the building manufacurer.

(4) NEW PANEL 'A' TO BE PROVIDED BY MODULAR BUILDING VENDOR/MANUFACTURER.

6 RECEPTACLE FOR LAUNDRY

ELECTRICAL POWER NOTES:

- COMPLETE INSTALLATION.
- ALL CONDUITS/ RACEWAYS TO BE E.M.T., MC-CABLE OR METAL FLEX.
- ALL CONDUCTORS SHALL BE COPPER AND RATED 90'C AND 600 VOLTS. SIZES NO. 8 AWG AND LARGER SHALL BE STRANDED AND NO. 10 AND SMALLER SHALL BE SOLID. USE TYPE THHN/THWN-2/XHHW/XHHW-2.

CONSTRUCTION NOTES:

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, AND THE PROJECT SPECIFICATIONS
- 2. SITE AND THE LOCATION OF ALL UNDERGROUND FACILITIES SHOWN OR NOT SHOWN ON THESE PLANS. NEITHER THE DISTRICT NOR THE ENGINEER WILL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND FACILITIES.
- AGENCY. INSTALLATION SHALL BE IN ACCORDANCE WITH APPROVED LISTING.

LISTING NOTE:

EQUIPMENT LISTING WITH THE EQUIPMENT VENDOR AND PROVIDE EQUIPMENT LISTING.



	PLUMBIN	G LEGEND	& ABBREVIATIONS	PLUMBING GENERAL NOTES
CODE INFORMATION:	SYMBOL	ABBREVIATION	DESCRIPTION	1. SHOULD A CONFLICT OCCUR BETWEEN OR WITH THE SPECIFIC MANUFACTURER'S INSTRUCTIONS, THE MORE COMPLETE AND/OR F
THE CONTRACTOR SHALL CONFORM TO ALL CODES, ORDINANCES, ETC. WHICH HAVE JURISDICTION OVER THIS WORK. BELOW IS A LIST OF MAJOR STANDARDS LISTED FOR CONVENIENCE ONLY. REFERENCE TO A STANDARD MEANS, THE LATEST EDITION OF SUCH STANDARD AT DATE OF BUILDING PERMIT. THE CONTRACTOR SHALL RETAIN RESPONSIBILITY FOR COMPLIANCE WITH LATEST REVISIONS OF ALL OTHER APPLICABLE CODES AND ORDINANCES NOT LISTED HEREIN .		ABC ABV AD AFF AFG BF	ABOVE CEILING ABOVE ACCESS DOOR ABOVE FINISHED FLOOR ABOVE FINISHED GRADE BELOW FLOOR	BY THE CONTRACTING OFFICER. 2. THE DRAWINGS PRESENTS THE FINISHED PROJECT UNLESS OTHERW THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND METHODS, TECHNIQUES, AND SEQUENCES. 3. ALL DIMENSIONS EXISTING IOD SITE CONDITIONS AND SERVICE
CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA ENERGY CODE (TITLE 24, PART 6) 2022		BG BV CBV	BELOW GRADE BALL VALVE BRANCH - BOTTOM CONNECTION BRANCH - SIDE CONNECTION BRANCH - TOP CONNECTION CALIBRATED BALANCE VALVE	 ALL DIMENSIONS, EXISTING JOB SITE CONDITIONS, AND SERVICE THE START OF CONSTRUCTION AND/OR FABRICATION OF MATERIALS NOTIFIED FOR CLARIFICATION. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH CALIFORM
CONSTRUCTION NOTES:		CD, D CKV	CAP ON END OF PIPE CONDENSATE DRAIN CHECK VALVE	FIXTURES: 1. ALL FIXTURES SHALL BE MADE IN ACCORDANCE WITH THE CPC 20 2. ALL FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE C
 HOT WATER AND DRAIN PIPES EXPOSED UNDER SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED SO AS TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER SINKS. FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL NOT BE GREATER THAN 5 LB. FT. 		CLG CLR CO CONN CONT	CEILING CLEAR CLEANOUT CONNECT OR CONNECTION CONTINUATION	TESTING 3. FIXTURES SHALL BE CERTIFIED FOR THE FOLLOWING FLOW RATES: a. WATER CLOSET MAX = 1.0 GPF b. LAVATORY FAUCETS MAX = 1.0 GPM c. SHOWER HEADS MAX = 1.8 GPM
 NEW PLUMBING FIXTURES AND FITTINGS SHALL NOT EXCEED THE MAXIMUM ALLOWABLE FLOW RATES SPECIFIED IN SECTION 5.303.2 HOT WATER PIPING SHALL BE INSULATED AS PER CPC 609.11 AND CAL ENERGY CODE TABLE 120.3-A. NO VENTING SYSTEM SHALL TERMINATE LESS THAN 3FEET ABOVE ANY FORCED AIR INLET LOCATED WITHIN 10 FEET OR LESS THAN 4 FEET FROM ANY PROPERTY LINE EXCEPT A PUBLIC WAY. NO VENT FROM INDIRECT WASTE PIPING SHALL BE COMBINED WITH ANY SEWER CONNECTED VENT BUT SHALL EXTEND SEPARATELY TO THE 		CONTR CP CW DEG DIA	CONTRACTOR CIRCULATING PUMP COLD WATER PIPING DEGREES (FAHRENHEIT) DIAMETER	 FIXTURE CONNECTIONS TO THE DRAINAGE SYSTEM SHALL BE THROUTS. FAUCET AND VALVE OPENINGS SHALL HAVE A MINIMUM AIR GAP POTABLE WATER OUTLET TO THE FLOOD LEVEL RIM OF THE FIXTURE. ALL STORAGE TANK WATER HEATERS SHALL INSTALLED AS PER CPUT. ALL FIXTURES WILL BE PROVIDED WITH INDIVIDUAL SHUT-OFF VALVED.
OUTSIDE AIR. 7. STEAM AND/OR HOT WATER DRAINAGE REQUIRES AN INDIRECT WASTE LINE. 8. EACH PLUMBING FIXTURE SHALL BE SEPARATELY TRAPPED BY AN APPROVED TYPE WATER SEAL TRAP. 9. BUILDING SEWER SHALL BE TESTED TO COMPLY WITH CPC 732.0		DN (E), EXIST EWH FA, FB	DOWN EXISTING EXISTING TO BE REMOVED ELECTRIC WATER HEATER FROM ABOVE, FROM BELOW	MATERIALS: 1. ALL MATERIALS SHALL BE APPROVED FOR THE USE AND SYSTEM FROM DEFECT. 2. ALL MATERIALS SHALL BE INSTALLED, PROTECTED, AND SUPPORT
PLUMBING SPECIFICATION: 1. CLEANOUTS PROVIDE CLEANOUTS WITH BRASS SCREW PLUG AT ALL CHANGES OF DIRECTION TO PERMIT ROUTING OF ALL SEWERS. ALL CLEAN OUTS	⊕ ⊠	FC FD FS FU FV, FT	FLEXIBLE CONNECTION FLOOR DRAIN FLOOR SINK FIXTURE UNIT FLUSH VALVE, FLUSH TANK	COPPER TUBING MAY NOT BE INSTALLED ON A MANNER THAT ALLO METAL FRAMING MEMBERS. ABS, COPPER TUBING AND STEEL PIPE MUST BE WRAPPED WHE COMPONENTS. WATER PIPING MATERIAL WITHIN BUILDING SHALL BE IN ACCOF
 SHALL BE INSTALLED WHERE READILY ACCESSIBLE. THE CONTRACTOR SHALL COORDINATE ALL CLEAN OUT LOCATIONS OF EQUIPMENT, CABINETS, ETC., WITH THE ARCHITECT PRIOR TO ANY INSTALLATION. VALVES EVERY PLUMBING FIXTURE SHALL BE INDEPENDENTLY VALVED. TESTING 	GAS	G GA GPM GD GV	LOW PRESSURE (7" W.C.) GAS PIPING GAUGE GALLONS PER MINUTE GARBAGE DISPOSAL GATE VALVE	PERCEPTC AND OTHER PLASTIC WATER PIPING SYSTEM SHALL BE OF THE CPC, INSTALLATION STANDARDS OF APPENDIX I OF THE C CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE ISSUANCE.
ALL SEWERS AND WATER PIPING SHALL BE PROPERLY TESTED TO THE SATISFACTION OF THE ARCHITECT AND THE LOCAL BUILDING INSPECTOR. 4. EXCAVATION AND BACK FILLING TRENCHES SHALL BE BACK FILLED AND SETTLED BY PUDDLING. NO PIPE SHALLBE LESS THAN 12" BELOW FINISH GRADE. 5. PIPING SUPPORTS		GWH HB HW HW HWR	GAS WATER HEATER HOSE BIBB HOT WATER PIPING HOT WATER PIPING WITH HEAT TRACE TAPE HOT WATER RETURN PIPING	DRAINAGE, WASTE AND VENT(DMV): 1. ALL DRAINAGE LINES TO BE SLOPED MINIMUM OF 2%, 1/4" PER 2. CLEANOUTS TO BE INSTALLED ACCORDING TO CPC, CH.7 3. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING LI
 ALL PIPING TO BE SUPPORTED WITH HANGERS AND BRACKETS WHICH PROVIDE ISOLATION FROM FRAMING. CONTACT BETWEEN PIPE AND SUPPORT TO BE LINED WITH PLASTIC OR FELT. WATER HEATER INSTALLATION A. APPLANCES IN GRAGES AND IN ADJACENT SPACES THAT OPEN TO THE GARAGE AND ARE NOT PART OF THE LIVING SPACE OF A DWELLING UNIT SHALL BE INSTALLED SO THAT BURNERS AND BURNER-IGNITION DEVICES ARE LOCATED NOT LESS THAN 18 INCHES ABOVE THE FLOOR UNLESS LISTED AS FLAMMABLE VAPOR RESISTANT. 	Ю — мрс —	IE KW LBS LPC MAX MPG	INVERT ELEVATION KILOWATTS POUNDS LUBRICATED PLUG COCK MAXIMUM MEDIUM PRESSURE (5 PSI) GAS PIPING	 RE-ROUTE LINES DUE TO CONDITIONS FOUND ON SITE. CHANGES OF DIRECTION OF DRAINAGE PIPE WILL BE MADE USE OF VENTS SHALL TERMINATE NOT LESS THAN 10°-0° FROM OR 3'-0° SHAFT AS PER CPC, CH.9 ACROSS-SECTIONAL AREA OF THE VENT(S) MUST EQUAL THE CRC SECTION 904.0
B. APPLIANCES INSTALLED IN GARAGES, WAREHOUSES, OR OTHER AREAS SUBJECT TO MECHANICAL DAMAGE SHALL BE GUARDED AGAINST SUCH DAMAGE BY BEING INSTALLED BEHIND PROTECTIVE BARRIERS OR BY BEING ELEVATED OR LOCATED OUT OF THE NORMAL PATH OF VEHICLES.	OF	MFR. MIN (N) OF	MANUFACTURER MINIMUM NEW OVERFLOW, OVERFLOW PIPING	7. METER PROTECTION SHALL BE INSTALLED PER CITY STANDARD. DEVICE-RPPD) 8. LANDSCAPE IRRIGATION DEVICE SHALL BE INSTALLED PER CITY
ENERGY CONSERVATION STANDARDS: 1. DOMESTIC HOT WATER SHALL BE INSULATED. HOT WATER PIPING WILL HAVE A MINIMUM INSULATION FOR THE FOLLOWING PIPE SIZES:		OH O2 POC PRV	OVERHEAD OXYGEN, OXYGEN PIPING POINT OF CONNECTION PRESSURE REDUCING VALVE	DEVIDCE-RPPD) 9. A REDUCE PRESSURE PRINCIPLE DEVICE SHALL BE INSTALLED PE SIDE OF THE CARBONATOR MACHINE) 10. AN ABOVE GROUND DOUBLE CHECK DETECTOR ASSEMBLY (DCDA)
PIPE SIZE IN DIAMETER INSULATION THICKNESS 1/2" 1/2" 3/4" 1"		PSI (G) (A) RE R, D RD	POUNDS PER SQUARE INCH (GAUGE) (ABSOLUTE) RIM ELEVATION RISE OR DROP ROOF DRAIN RISER DOWN (ELBOW)	PROTECTION). 11. 12-ALL DEVICES SHALL BE TESTED BY A CERTIFIED BACK-FLOW T <u>FUEL GAS:</u> 1. ALL GAS APPLIANCES SHALL BE PROVIDED WITH AN APPROVED SH
1"~1-1/2" 1-1/2" 2" OR GREATER 2" 2. TIME CLOCKS TO BE INSTALLED TO CONTROL ANY HOT WATER CIRCULATING PUMPS.	。 SD	RV OR P&TRV SD SQIN, FT	RISER UP (ELBOW) RELIEF VALVE OR PRESSURE & TEMPERATURE RELIEF VALVE STORM DRAIN, STORM DRAIN PIPING SQUARE FEET	2 APPLIANCE CONNECTORS SHALL BE OF AN APPROVED SIZE AND LE
2. TIME CLOCKS TO BE INSTALLED TO CONTROL AND HOT WATCH CIRCULATING POMPS. 3. SINKS AND LAVATORY FAUCETS AND SHOWER HEADS TO BE CERTIFIED BY STATE FOR 4. ENERGY APPLIANCE STANDARD COMPLIANCE. 5. MAXIMUM FLUSH VOLUMES AND FLOW RATES: WATER CLOSETS: 1.0 GALLONS PER FLUSH(BLOWOUT TYPE EXEMPT) LAVATORY: 1.0 GALLON PER MINUTE @ 60PSI SHOWER: 1.8 GALLON PER MINUTE @ 60PSI		SQIN, IN TA, TB TP TYP UG UON	SQUARE INCHES TO ABOVE, TO BELOW TRAP PRIMER TYPICAL UNDERGROUND UNLESS OTHERWISE NOTED	ALL WORK TO COMPLY WITH 2022 CALIFORNIA PLUMBING CODE, ENERGY EFFICIENCY STANDARDS. LEAD FREE COMPLIANCE REQUIRED EFFECTIVE JANUARY 1,2010 PEI 3. ALL FIXTURES IN HANDICAP RESTROOMS SHALL BE INSTALLED CALIFORNIA HANDICAP CODE AND LOCAL HANDICAP CODES HAVING 4. ALL SERVICE WATER HEATING EQUIPMENT TO BE IN COMPLIANCE W
KITCHEN FAUCETS: 1.8 GALLON PER MINUTE @ 60 PSI	,	VB V V, VR, VTR WCO	VALVE BOX VENT PIPING VENT, VENT RISER, VENT THRU ROOF WALL CLEANOUT	5. WATER CLOSETS REQUIRED TO HAVE ELONGATED BOWLS WITH OPEN 6. ALL HOSE BIBS ARE TO BE PROVIDED WITH A BACK-FLOW/ ANTI- 7. WATER HEATER CLEARANCES SHALL BE INSTALLED PER MANUFACTU
CA GREEN BUILDING NOTES:		W (E) W WC	WASTE OR SANITARY SEWER EXISTING WASTE PIPING WATER CLOSET	 NEW OR REPAIRED POTABLE WATER SYSTEMS SHALL BE DISINFECT OF CALIFORNIA PLUMBING CODE. HOT WATER PIPING SHALL BE INSULATED AS PER CPC 609.11 AN
5.303.2 PLUMBING FIXTURES SHALL MEET THE MAXIMUM FLOW RATE VALUES SHOWN IN TABLE 5.303.2.3. 5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS.PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL		W.C. W/ AD WT	WATER COLUMN WITH ACCESS DOOR WEIGHT	 SANITARY WASTE VENTS SHALL RISE VERTICALLY TO A POINT NOT OF THE FIXTURE BEFORE BEING CONNECTED TO ANY OTHER VENT. DRAINAGE PIPING SERVING FIXTURE WHICH HAVE FLOODWATER MANHOLE COVER OF THE SEWER SERVING SUCH DRAINAGE PI
COMPLY WITH THE FOLLOWING: 5.303.3.1 WATER CLOSETS. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S.EPA WATER SENSE SPECIFICATION FOR TANK-TYPE TOILETS.	NOTE: ALL SY	MBOLS MAY NOT BE	. USED	 INSTALLING AN APPROVED TYPE BACKWATER VALVE. TRAP SEAL PROTECTION REQUIRED FOR ALL FLOOR SINKS AND FLO 13. INDIRECT WASTES LONGER THAN FIVE (5) FEET MUST BE TRAPPED VENTED INDIRECT WASTES FROM FOOD SERVICE EQUIPMENT MUST
NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.				INCH. 14. PRIMARY CONDENSATE PIPING TO TERMINATE AT TAILPIECE OF LAY ROOF TOP RECEPTOR.
5.303.6 PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1401.1 OF THE CALIFORNIA PLUMBING CODE AND IN CHAPTER 6 OF THIS CODE.				 ROOF DRAINS, OVERFLOW DRAINS, AND RAINWATER PIPING WITHIN WITH THE PROVISIONS OF THE 2022 CPC FOR TESTING DRAIN, WA ROOF DRAINS AND OVERFLOW PIPING WITHIN THE BUILDING SHALL TESTING PROCEDURE OF GAS SYSTEMS SHOULD BE PERFORMED A' THE PREMISE OWNER OR RESPONSIBLE PERSON IS RESPONSIBLE LOCATION AND TYPE OR PRESSURE AVAILABLE. COORDINATE WITH T THE PREMISE OWNER OR RESPONSIBLE PERSON SHALL COORD DEMAND. METER LOCATION AND TYPE OF PRESSURE AVAILABLE.

Plotted: Friday, May 24, 2024 1:36 PM

IFICATIONS AND/OR DRAWINGS, CODES, STANDARDS, REQUIREMENTS
R RESTRICTIVE CONDITION SHALL HAVE PRECEDENCE. AS DETERMINED
ERWISE NOTED. THEY DON'T INDICATE THE METHOD OF CONSTRUCTION ND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS
E REQUIREMENTS SHALL BE VERIFIED BY THE CONTRACTOR BEFORE ALS. IF DISCREPANCIES ARE ENCOUNTERED, THE ENGINEER SHALL BE
DRNIA LOCAL CODES APPLYING TO THE PROPOSED CONSTRUCTION.
2022 CH.4 AND ALL APPLICABLE SECTIONS OF THE CPC 2022. CPC 2022, CH.4 WITH REGARD TO WORKMANSHIP, ALIGNMENT AND
S:
ROUGH AN APPROVED WET SEAL TRAP AS PER CPC,CH7 & CH.10 NP AS PER CPC , CH 6 & 2X THE DIAMETER MIN. 1"FROM THE URE SERVED CPC,CH.5 NLVES
TEM INTENDED, AND SHALL BE NEW AND IN GOOD CONDITION, FREE
ORTED AS PER CPC 2022 LLOWS IT TO BE IN CONTACT WITH OTHER METAL PIPING, CONDUIT OF
WHERE THEY PASS THROUGH CONCRETE AND/OR MASONRY BUILDING
CORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE SE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC.604 CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS CE AS SPECIFIED IN SEC. 604.1.1 OF THE CPC PRIOR TO PERMIT
ER FOOT
LINES BEFORE STARTING TRENCHING. SHOULD IT BE NECESSARY TO
OF APPROVED FITTINGS AS PER CPC, CH7 SECTION 706.0 O" ABOVE ANY OPENING WINDOW, DOOR ,AIR INTAKE OR VENTILATION
CROSS-SECTIONAL AREA OF THE BUILDING DRAIN AS PER CPC, CH.S
RD. (THIS DEVICE IS A LEAD-FREE REDUCE PRESSURE PRINCIPLE
CITY STANDARD (THIS DEVICE IS A REDUCE PRESSURE PRINCIPLE
PER CITY STANDARD(THIS DEVICE SHALL BE LOCATED ON THE INLET
A) PER CITY STANDARD SHALL BE INSTALLED(THIS DEVICE IS A FIRE
' TESTER.
SHUT OF VALVE LENGTH ACCORDING CPC 2022, CH.12
E, 2022 CALIFORNIA BUILDING CODE, AND 2022 CALIFORNIA BUILDING
PER CALIFORNIA HEALTH & SAFETY CODE SEC. 116875 ED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF IG JURISDICTION. WITH THE MODEL ENERGY CODE REQUIREMENTS AND LABELED. PEN FRONT SEATS. TI-SIPHON VALVE. YTURER'S INSTALLATION INSTRUCTION. CTED PRIOR TO USE ACCORDING TO THE METHOD SET IN SEC. 609.9
AND CAL ENERGY CODE TABLE 120.3–A. TLESS THEN SIX(6) INCHES IN HEIGHT ABOVE THE FLOOR LEVEL RIM
NT. R RIMS LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM PIPING SHALL BE PROTECTED FROM BACK-FLOW OF SEWAGE BY
FLOOR DRAINS. ED, AND IT LONGER THAN FIFTEEN (15) FEET MUST BE TRAPPED AND T DISCHARGE TO RECEPTOR WITH A MINIMUM AIR—GAP OF ONE (1)
LAVATORY/SINK IN THE UNIT IT SERVES, FLOOR SINK OR DEDICATED
N THE INTERIOR OF THE BUILDING SHALL BE TESTED IN ACCORDANCE WASTE AND VENT SYSTEMS. LL UTILIZE APPROVED DRAINAGE FITTINGS. AS PER SEC. 1214.0 OF THE CALIFORNIA PLUMBING CODE. E TO COORDINATE WITH GAS COMPANY FOR NEW GAS DEMAND, METER H TENANT FOR PRESSURE REQUIRED AT EACH APPLIANCE. RDINATE WITH CITY OF CORONA WATER DISTRICT FOR NEW WATER

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				STE & VENT SYSTEM SIZING SYS		\							
			IED (D	D (DFU VALUES FROM TABLE 702.1, 2022 CPC)									
		REFERENCES			SANITARY WASTE FIXTURE SUMMARY								
		2 CPC DRAINAGE PIPING		TAG	EQUIPMENT	DFUs	QTY.	TOTAL	MIN. TRAP AND TRAP ARM	REMARKS			
STE PIPE SIZE	MAX .DFU VERTICAL	MAX. DFU HORIZONTAL		FD	(E) FLOOR DRAIN	2	5	10	2"				
1-1/4"	1	1	45	SK	(E) LAVATORY	1	23	23	2"				
1-1/2"	2	1	65	MS	(N) LAVATORY	1	2	2	2"				
2"	16	8	85	SR	(E) WATER CLOSET	4	25	100	3"				
3"	48	35	212	LV	(N) WATER CLOSET	4	2	8	3"				
4"	256	216	300	WC	(E) URINAL	2	11	22	2"				
5"	600	428	390	UR	(E) DRINKING FOUNTAIN	1	1	1	2"				
6"	1380	720	510	DF									
8"	3600	2640	750	-									
10"	5600	4600	-	-									
12"	8400	8200	-	-									
1	TABLE 703.2, 2	022 CPC VENT PIPING		-									
NT PIPE SIZE	MAX. DFU VERTICAL	MAX. DFU HORIZONTAL	MAX. VERTICAL LENGTH	-									
1-1/4"	1	1	45	-									
1-1/2"	8	8	60	-									
2"	24	24	120	-									
3"	84	84	212	-									
4"	256	256	300	-									
5"	600	600	390	-									
6"	1380	1380	510	-									
8"	3600	3600	750		TOTAL DFUs	1	1	166					
		1	1	1		MINIMUM	WASTE	i LINE SIZE=	6"				

NOTES: 1. CONTRACTOR TO VERIFY AND KEEP 10' CLEARANCE BETWEEN THE VTR AND ANY AIR INTAKE TO THE BUILDING. 2. MATERIALS: BELOW GRADE & ABOVE GRADE SCH.40 ABS PIPE AND FITTING

Flow Characteristics

 \bigcirc Rated Flow (established by approval agencies)

MODEL 975XL2 3/4", 1", 1 1/4", 1 1/2" & 2" (STANDARD & METRIC)



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PRESSURE A B C D E PRES F G G H I J K PRESS F K PRESS C LAUNDR HAND MOP CLOTHES	E REDUCED B. SET PRES SURE LOSS T PRESSURE PRESSURE SURE/100FT FIXTURE UNIT	F. MIN PRES SSURE HRU URE I	2.00 IMUM F SSURE LOSS 2.00 OTHER -OSS D	PECIFICA INCH HYDRAUI PRESSUR AT PRES THROUG INCH	TIONS TABLE MAKE LIC CALCULATIONS E AT CITY MAIN ISURE REDUCE VA H	LVE		MO	80	
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A	SET PRES SURE LOSS T PRESS PRESSURE SURE/100FT FIXTURE UNIT	MIN PRES SSURE HRU URE L	IMUM F SSURE LOSS 2.00 OTHER -OSS D	HYDRAU PRESSUR AT PRES THROUG INCH	LIC CALCULATIONS E AT CITY MAIN SSURE REDUCE VA H	LVE		MO	80	
A	SET PRES SURE LOSS T PRESS PRESSURE SURE/100FT FIXTURE UNIT	MIN PRES SSURE HRU URE L	IMUM F SSURE LOSS 2.00 OTHER -OSS D	HYDRAU PRESSUR AT PRES THROUG INCH	LIC CALCULATIONS E AT CITY MAIN SSURE REDUCE VA H	LVE		M0	80	
B C C D E PRES G H J K PRESS FIXTURE L KITCHEN S LAUNDR HAND MOP	PRES SURE LOSS T PRESS PRESSURE SURE/100FT FIXTURE UNIT	PRESSURE	IMUM F SSURE LOSS 2.00 OTHER _OSS D	PRESSUR AT PRES THROUG	E AT CITY MAIN SSURE REDUCE VA H	LVE				PSI
B C C D E PRES G H J K PRESS FIXTURE L KITCHEN S LAUNDR HAND MOP	PRES SURE LOSS T PRESS PRESSURE SURE/100FT FIXTURE UNIT	PRESSURE	LOSS LOSS 2.00 OTHER OSS D	AT PRES THROUG INCH	SSURE REDUCE VA					1.31
C D D PRES F G H - J - K PRESS FIXTURE L - KITCHEN S - LAUNDR - HAND -	PRES SURE LOSS T PRESS PRESSURE SURE/100FT FIXTURE UNIT	HRU URE I	LOSS 2.00 OTHER OSS D	THROUG	H		NIGU		80	PSI
D PRES F G H J J F FIXTURE L KITCHEN S LAUNDR HAND MOP CLOTHES	PRESSURE LOSS T PRESSURE PRESSURE SURE/100FT FIXTURE UNIT	HRU URE I	2.00 OTHER _OSS D	INCH		-	INCH	METER	1	PSI
F G H J J K PRESS FIXTURE L KITCHEN S LAUNDR HAND MOP CLOTHES	PRESS PRESSURE SURE/100FT FIXTURE UNIT	URE I	OTHER		B.FL(PSI
G H J J FIXTURE L KITCHEN S LAUNDR HAND MOP CLOTHES	PRESSURE SURE/100FT FIXTURE UNIT	AVAI	OSS D	PRESS		DW PR	E.		13	PSI
H J J FIXTURE L KITCHEN S LAUNDR HAND MOP CLOTHES	PRESSURE SURE/100FT FIXTURE UNIT	AVAI			JRE LOSSES				0	PSI
I J J K PRESS	SURE/100FT FIXTURE UNIT		RES	UE TO E	LEVATION		20.0	FTx.43	8.60	PSI
J K PRESS FIXTURE L KITCHEN S LAUNDR HAND MOP CLOTHES	SURE/100FT FIXTURE UNIT				RESSURE				25.00	PSI
K PRESS FIXTURE L KITCHEN S LAUNDR HAND MOP CLOTHES	SURE/100FT FIXTURE UNIT				IRE LOSSES				47.60	PSI
FIXTURE L KITCHEN S LAUNDR HAND MOP CLOTHES	FIXTURE UNIT				CTION LOSS IN TH		TEM		32.40	PSI
FIXTURE L KITCHEN S LAUNDR HAND MOP CLOTHES			J	/(EQUAL	ENT LENGTH x100)		5.18	PSI/	100FT
FIXTURE L KITCHEN S LAUNDR HAND MOP CLOTHES			-				SI7E 0	CHEDULE	-	
KITCHEN S LAUNDR HAND MOP CLOTHES		F.U.		TOTAL						
LAUNDR HAND MOP CLOTHES		1.0.	QTI.	TOTAL	PIPE MATERIAL:SE	E PIPI	E SPEC	IFICATION	NS TABLE	
HAND MOP CLOTHES	,	1.5	0	0.0		P	RESS. L		5.18	
MOP CLOTHES	RY SINK	1.5	0	0.0				ALLOW	ABLE F.U	J.
CLOTHES		2.0	0	0.0				LUSH TA		F. VLV.
		3.0	0	0.0	PIPE SIZE		H	ТС	COLD	COLD
		4.0	0	0.0				r/s	8FT/S	8FT/S
	AVATORIES	1.0	23	23.0	1/2"			3	3	0
NEW LAW		1.0	2	2.0	3/4"			7	7	0
BATHTUB		10.0	0	0.0	1"			6	18	0
	WERS	2.0	0	0.0	1-1/4"			8	36	0
	ANK WC	2.5	2	5.0	1-1/2"			-6	69	21
(E) WC W/FI		5.0	25	125.0	2"		1	19	254	132
(E) URINAL		4.0	11	44.0	2-1/2"					
FIRST HC		2.5	1	2.5	3"					
		1.0	4	4.0	3-1/2"					
DRINKING	LOUNTAIN	1.0	4	4.0	4"					
1										
	TOTAL FIX	 (T(IRF		209.5	FU	=	93.0	GPM		
			0.010	20010	FU	=		GPM		
		TOTAL	FLOW	209.5	FU	=		GPM		
. THESE WATER	SURE TO ALL FIXT	URES A	ND EQUI	PMENT SH THE SPECI	ALL BE IN COMPLIANC FIED FIXTURES IN THIS		ER SECTIO	ON 608.1		
					SPECIFICATION					
APP	LICATION			UNDEF	GROUND			ABOVE	GROUND	
						TYPE			N COPPER	TUBING
	WATER		OR GRAI STANDAR	DE. ASTM DS	OPPER BELOW FLOO B 88 & NSF 61	WITH ABOV NSF	WROUG /E FLOO 61 STAM	HT SOLDE R OR GR NDARDS	ER JOINT ADE. ASTN	FITTINGS
	ARY SEWER				IV PVC PIPE	_		0 DWV P HEDULE		
IPE SPECIFIC	ATIONS NOTE:									OF 1977
ANUFACTURER'S	S RECOMMENDAT	IONS /	AND LOC	AL CODE	E MANUFACTURER AN REQUIREMENTS. TES	TING W	TH COM	PRESSED	AIR OR G	AS MAY
ESULT IN INJU	IRY OR DEATH.	SOLVEN	IT CEMEI	NT SHALL	CONFORM TO ASTM ED FOR NON-PRESS	D 223	5. THE !	SYSTEM T	O BE MAN	IUFACTURE
	WILL NOT EXCEE			UND IN LIND	LD FOR MONTENEDS	JOILE D	U U U U U U U U U U U U U U U U U U U	, ii i Liual	iono milE	

					SYSTEM SIZIN					
					IA ST., NEWPORT E					
GIVEN BY:		-	95	PSI DATE:	MIN PRESSURE:		PSI	@ R SIZE:		FT A.S.
			GPM	DATE.	DEVELOPED I			R SIZE:		INCH FT
20010	1.0.	00.0	UT M		% OF DEVELOPED			125		FT
	EQUALENT	DEVE	LOPED	LENGTH	(DEVELOPED LENG	GTH +2	25%)	625	5.00	FT
				ATER CL	OSETS AND URINAL	_S				
TAG	W/TANK	W/F	FLUSH ALVE		MAKE			М	ODEL	
WC	x	VA	ALVE	AN	IERICAN STANDARD		1.() GPF A	DA COM	PLIANT
				SYSTE	M COMPONENTS					
PIPING	MATERIALS:	SEE	PIPE SI	PECIFICA	TIONS TABLE					
PRESSURE	REDUCED B	.F.		INCH		WILK	INS	MOI	DEL	975XL2
		1.015			LIC CALCULATIONS				00	DCI
A B	\$FT				SURE REDUCE VAL	I VE			80	PSI PSI
C				THROUG			INCH	METER	80	PSI
D	1.176					2.00			1	PSI
-	URE LOSS T	HRU	2.00	INCH	B.FLC)W PRE			13	PSI
F					JRE LOSSES				0	PSI
G	PRESS	URE	LOSS D	UE TO E	ELEVATION		20.0	FTx.43	8.60	PSI
H					RESSURE				25.00	PSI
1					JRE LOSSES				47.60	PSI
J	PRESSURE	e avai	LABLE	FOR FRI	CTION LOSS IN TH	e syst	ΓEM		32.40	PSI
K PRESS	JRE/100FT		J	/(EQUAL	ENT LENGTH x100))		5.18	PSI/	100FT
			_							
	IXTURE UNI			TOTAL				CHEDULE		
FIXTURE UI	NII IYPE	F.U.	QTY.	TOTAL	PIPE MATERIAL:SEI	e pipe	SPEC	IFICATION	IS TABLE	
KITCHEN SI	√K W/DW	1.5	0	0.0		PF	RESS. I	LOSS =	5.18	PSI/10
LAUNDRY	SINK	1.5	0	0.0					ABLE F.	
HAND	SINK	2.0	0	0.0		Ī	F	LUSH TA	NK	F. VLV
MOP S	SINK	3.0	0	0.0			Н	OT	COLD	COLD
CLOTHES	WASHER	4.0	0	0.0	PIPE SIZE		5F	t/s	8FT/S	8FT/S
EXISTING LA	VATORIES	1.0	23	23.0	1/2"			3	3	0
NEW LAVA	TORIES	1.0	2	2.0	3/4"			7	7	0
BATHTUB 3	-	10.0	0	0.0	1"		1	6	18	0
SHOW		2.0	0	0.0	1-1/4"			28	36	0
NEW TA		2.5	2	5.0	1-1/2"			-6	69	21
E) WC W/FL		5.0	25	125.0	2"		1	19	254	132
(E) URINAL V	1	4.0	11	44.0	2-1/2"					
FIRST HOS		2.5	1	2.5	3"					
ADDITIONAL H		1.0	4	4.0	3-1/2"					
DRINKING F	OUNTAIN	1.0	4	4.0	4"					
	TOTAL FI			209.5	FU		07.0	CDM		
	I TOTAL FL	UNC	01113	203.0	FU		93.0 0.0	GPM GPM		
		τοται	. FLOW	209.5	FU		0.0 93.0	GPM GPM		
DTES:		TOTAL	. 1	200.0	10	_	93.0	GFM		
WATER PRESSU	RE TO ALL FIXT	URES /	AND EQUI SED ON	PMENT SH THE SPFCI	IALL BE IN COMPLIANCE FIED FIXTURES IN THIS	E AS PE PROJEC	R SECTI T AS N	ON 608.1 OTED ARON	CPC 2022 /E WITH TH	IE
ESSURE LOSS /				TURER.						
					SPECIFICATION					
APPL	ICATION			UNDEI	R GROUND	_		ABOVE		
					OPPER BELOW FLOOP			RD DRAWN HT SOLDE		
W	ATER		OR GRAI		B 88 & NSF 61	ABOV	E FLOO	R OR GR		
00105								NDARDS		
	ATE DRAINS				VV PVC PIPE			0 DWV P		
PE SPECIFICA	FIONS NOTE:									
NUFACTURER'S	RECOMMENDA	TIONS .	AND LOC	AL CODE	E MANUFACTURER AN REQUIREMENTS. TEST	FING WIT	Н СОМ	PRESSED	AIR OR G	AS MAY
SULT IN INJUR	Y OR DEATH.	SOLVEN	NT CEME	NT SHALL	CONFORM TO ASTM DED FOR NON-PRESS	D 2235	5. THE	SYSTEM T	O BE MAN	UFACTUR
MPERATURE WI				IS INTENL	LO FOR MUNTERLOO	JAL DR	, un im O'É	A LIGAT	iono milE	

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ISTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF BLUEBERRY	PROJECT TITLE NEW 24X40 MODULAR BUILDING	
AS AN INS	SHEET TITLE PLUMBING CALCULATIONS	
THIS DOCUMENT, AND THE IDEAS AND DESIGMS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF BLUEBEF	PROJECT NO.: 2407862 DATE: 5/24/2024 SCALE: AS SHOWN DRAWING NO.	
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Plotted: Friday, May 24, 2024 1:36 PM





		M SIZ E 703		STEM TABLE	E-DWV		
ADE & A	BOVE GF	RADE SCH	.40 ABS PI	IPE AND FITTING			
URE	COUNT	D.F.U.	T.D.F.U.	BRANCH WASTE SIZE	VENT SIZE		
	2	4.0	8.0	3"	3"		
	2	1.0	2.0	2"	2"		
L WASTE	L WASTE FIXTURE LOAD= 10.0 3" WASTE						
(EEP 10	' CLEARA	NCE BET	WEEN THE	VTR AND ANY AI	R INTAKE		
				UNDERGROU			
					CALL: TOLL	. FREE	
					811		
				TWO WORKIN BEFORE YOU			

GENERAL NOTES

- ALL CONSTRUCTION, INCLUDING MATERIAL AND WORKMANSHIP, SHALL CONFORM TO THE PROVISIONS OF THE 2022 EDITION OF THE "CALIFORMIA BUILDING CODE" (3C0) WITH THE GOVERNMA GAENCY AMENMENTS, AND STANDARDS REFERENCED THEREIN. WHERE EVER CODE OR CALIFORNIA BUILDING CODE (3C1) S REFERENCED IN THE FOLLOWING GENERAL NOTES OF OTHER NOTE SECTIONS, IT SHALL MPLY THE CBC
- ALL ASTM STANDARDS LISTED HEREIN, SHALL BE CURRENT AND COMPLIANT TO 2022 2. CBC CHAPTER 35
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS 3. BEFORE STARTING WORK. THE DESIGNER AND STRUCTURAL ENGINEER SHALL IMMEDIATELY BE NOTIFIED. IN WRITING, OF ANY DISCREPANCIES.
- 4. ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE FIELD INSPECTOR, AND A SOLUTION GIVEN BY, THE DESIGNER AND STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH ANY WORK AFFECTED BY THE CONFLICT OR OMISSION.
- IN CASE OF CONFLICT, NOTES AND DETAILS OF THESE STRUCTURAL DRAWINGS: TAKE PRECEDENCE OVER THE "GENERAL NOTES" AND/OR "STANDARD DETAILS". TYPICAL DETAILS SHALL BE USED WHENEVER APPLICABLE.
- IF A SPECIFIC DETAIL IS NOT SHOWN FOR ANY PART OF THE WORK, THE CONSTRUCTION SHALL BE THE SAME AS FOR SIMILAR WORK.
- 7. WORKING DIMENSIONS SHALL NOT BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THESE STRUCTURAL DRAWINGS.
- 8. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEOLIATE ERECTION SHORING AND BRACING AS REQUIRED FOR STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION.
- 9. PIPES, DUCTS, SLEEVES, OPENINGS, POCKETS, CHASES, BLOCK-OUTS, ETC., SHALL NOT BE PLACED IN SLABS, BEAMS, GIRDERS, COLUMNS, WALLS, FOUNDATIONS, ETC., NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR SUCH ITEMS, UNLESS SPECIFICALLY DETAILED ON THESE STRUCTURAL DRAWINGS. (IF ANY PIPES, DUCTS, ETC., DO OCCUR, THAT ARE NOT SHOWN ON THESE STRUCTURAL DRAWINGS, THE DESIGNER AND STRUCTURAL ENGINEER SHALL BE NOTIFIED.) SEE PARAGRAPH 4, ABOVE.
- ANCHOR BOLTS OR INSERTS FOR EQUIPMENT ANCHORAGE OR INSTALLATION SHALL BE DESIGNED FOR SEISMIC CATEGORY D BY A CIVIL ENGINEER OR STRUCTURAL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA AND SHALL BE SHOWN ON THE MECHANICAL OR ELECTRICAL SHOP DRAWINGS.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL DERSIONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDENNIFY, AND HOLD THE STRUCTURAL ENGINEER REE AND HARMLESS FROM ALL CLAIMS. DEMANDS AND ALL LIABIBLITY, REAL OR ALLEGED. IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE STRUCTURAL ENGINEER.
- IF ANY SUBSTITUTION IS PROPOSED BY THE CONTRACTOR, NEW CALCULATIONS MAY HAVE TO BE PREPARED, THE DETAILS MAY HAVE TO BE ALTERED, AND NEW DRAWINGS AY HAVE TO BE SUBMITSED TO THE BUILDING DEPARTMENT. THE CONTRACTOR SHALL 12. PAY THE STRUCTURAL ENGINEER'S FEES TO ALTER THE APPROVED PLANS. THE CONTRACTOR SHALL ALSO PROCESS THE REVISED PLANS REFLECTING AL SUBSTITUTIONS THROUGH THE APPROPRIATE OFFICE OF ALL GOVERNING AGENCIES.

WOOD NOTES

1 SAWN WOOD MEMBERS SHALL BE DOUGLAS FIR-LARCH (U.N.O.). CONFORM TO THE "CALIFORNIA BUILDING CODE" (CBC) SEC. 2303, AND NDS 2018 AND SHALL BE GRADE MARKED BY AN ACCREDITATION BODY THAT COMPLIES WITH DOC PS 20 OR FOUIVALEN

2	WOOD GRADES, U.N.O., SHALL BE AS FOLLO	WS:
	MEMBERS	GRADE
	WALLS 2 X 4 (8'-0")	CONSTRUCTION
	WALLS 2 X 4 (8'-1" TO 12'-0")	#2
	WALLS 2 X 6 (12'-0" to 16'-0")	#2
	STRUCTURAL JOISTS AND PLANKS (2x)	#2
	BEAMS (4x)	#2
	BEAMS (6x) AND STRINGERS	#1
	POSTS AND TIMBERS	#1
	TOP PLATE	MATCH WALL MEMBERS
3	ALL WOOD THAT REST ON EXTERIOR FOUN	

FROM EXPOSED EARTH, ALL WOOD ATTACHED DIRECTLY TO INTERIOR OR EXTERIOR MASONRY OR CONCRETE WALLS BELOW GRADE, AND ALL WOOD SLEEPERS AND SLLS ON CONCRETE THAT IS IN DIRECT CONTACT WITH EARTH SHALL BE PRESERVATIVE-TREATED DOUGLAS FIR.

ALL SILLS OR PLATES BEARING ON CONCRETE OR MASONRY SHALL HAVE ANCHOR BOLTS:

- EMBEDDED AT LEAST 7" INTO CONCRETE OR MASONRY.
 SPACED NOT MORE THAN 6" APART.
 PLACED A MIN. OF 4" AND A MAX. OF 12" FROM EACH END. A MINIMUM OF .
 TWO BOLTS PER PIECE.
- E. SIZE AND SPACED AS SHOWN ON THE DRAWINGS.

5. WOOD STRUCTURAL PANELS SHALL CONFORM TO THE "CALIFORNIA BUILDING CODE" (CBC) SEC. 2303, AND SHALL CONFORM TO THE REQUIREMENTS FOR THEIR TYPE IN DOC 591 OR PS2. EACH PANELS SHALT ARE IDENTIFIED FOR GRADE AND GLUE TYPE BY THE TRADEMARKS OF AN APPROVED TESTING AND GRADING ACENCY. WOOD STRUCTURAL PANELS THAT ARE PERMANENTLY EXPOSED IN UTDOOR APPLICATIONS SAHLI BE OF EXTERIOR TYPE (U.N.O.) ALL WOO STRUCTURAL PANELS SHALL BE OF THE FOLLOWING GRADES AND PANEL INDENTIFICATION INDEXES (U.N.O. ON DRAWINGS): PANEL



6. GLUED-LAMINATED TIMBERS SHALL BE MANUFACTURED AND IDENTIFIED AS REQUIRED IN AITC A190.1 AND ASTM D 3737, USING DOUGLAS FIR INDUSTRIAL APPEARANCE GRADE WOOD AND EXTERIOR GLUE WITH INTENDED DRY USE CONDITION AND USE SHALL BE AS FOLLOWS COMBINATION NO.

USE SIMPLE SPANS 24F-V8 CANTILEVERS

- FRAMING ANCHORS, POST CAPS, COLUMN BASES, AND OTHER CONNECTORS SPECIFIED ON DRAWINGS SHALL BE AS MANUFACTURED BY 'SIMPSON COMPANY' OR AN ENGINEER- APPROVED EQUAL.
- 8. BARS, PLATES, UNHEADED BOLTS, WASHERS AND DRIFT BOLTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A36.

9. BOLTS SHALL CONFORM TO ASTM A307. BOLTS IN PRESSURE TREATED WOOD SHALL BE HOT DIPPED ZINC-COATED GALVANIZED STEEL PER ASTM A 153 OR MECHANICALLY DEPOSITED ZINC COATING WITH WEIGHTS PER ASTM B 695, CLASS 55.

10. NUTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A563, GRADE A

- 11 ALL BOLT HEADS, NUTS, AND LAG SCREWS BEARING ON WOOD SHALL HAVE CUT WASHERS UNLESS NOTED.
- 12. BOLT HOLES SHALL BE DRILLED A MAXIMUM OF 1/16" LARGER THAN THE NOMINAL BOLT DIAMETER. BOLT HOLES SHALL BE ACCURATELY ALIGNED AND NOT FORCIBLY DRIVEN.

SPECIAL CONNECTORS FOR CONNECTING WOOD OR GLUED LAMINATED TIMBER SHALL BE FABRICATED FROM STEEL CONFORMING TO ASTM A36. WELDS SHALL CONFORM TO THE REQUIREMENTS OF AWS D1.1-15.

WOOD NOTES (cont.)

- 14. DIAPHRAGM NAILING SHALL CONFORM TO CBC WITH NOMENCLATURE DEFINED AS FOLLOWS:
- BN =
 NAILING AT DIAPHRAGM BOUNDARIES, CONTINUOUS PANEL EDGES, AND AT EDGES OF OPENING.

 EN =
 EDGE NAILING FN =

 FIELD NAILING
- 15. WHERE DIAPHRAGM BLOCKING IS SPECIFIED, USE 2 X 4 FLAT BLOCKING (WITH *Z* CLIPS). (U.N.O.)
- SIMPLE SPAN WOOD MEMBERS, NOT SHOP CAMBERED, SHALL BE ERECTED WITH THE NATURAL CAMBER UP. FOR CANTILEVERED WOOD MEMBERS, CONSULT WITH ENGINEER.
- 17. LEAD HOLES FOR LAG SCREWS IN WOOD SHALL BE BORED AS FOLLOWS: FOR SHANK SAME DIAMETER AND LENGTH AS UNTHREADED FOR THREADED PORTION: 51ANK FOR THREADED PORTION: 60% TO 75% OF SHANK DIAMETER & LENGTH EQUAL TO THE THREADED PORTION.
- SPECIAL PROVISIONS FOR SHEAR WALLS WITH PLYWOOD ON BOTH SIDES: WHERE SPECIFICALLY INDICATED ON PLANS
 SILI PLATE SHALL BE 36 P.T. D.F. ALST SHALL BE 36 P.T. D.F. ALST SHALL BE 36 SHALL BE 366 G 16°0 c. DE OP 0575 SHALL BE A5 SPECIFIED ON THE DRAWINGS. E. BOTH VERTICAL AND HORIZONTAL INTERIOR PANEL JOINTS ON OPPOSITE SINES OF THE WALL SHALL BE STAGGERED. F. THE PLYWOOD ON ONE SIDE MIST BE NALED BEFORE THE FRAME INSPECTION. THE PLYWOOD ON YEATHER SIDE
- THE PLYWOOD ON THE OTHER SIDE MUST BE INSTALLED AND INSPECTED PRIOR TO INSTALLATION
- OF WALL SURFACE COVERIN G. NO PENETRATIONS OR NOTCHES ARE PERMITSED OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS.
- 19. PROVIDE DOUBLE STUD TO SUPPORT ALL BEAMS UNLESS POSTS ARE SPECIFIED. 20. DOUBLE BLOCK UNDER ALL POSTS
- 21. DOUBLE JOIST UNDER ALL PARALLEL PARTITIONS U.N.O
- TOP PLATES OF ALL WOOD STUD WALLS SHALL BE 2-2 X (SAME WIDTH AS STUDS), LAP 48" (MIN.), WITH AT LEAST 36-160 NAILS AT EACH SIDE OF LAP AND NOT MORE THAN 12" BETWEEN.
- 23. CUTTING, NOTCHING, OR DRILLING OF BEAMS OR JOISTS SHALL BE PERMITSED ONLY AS DETAILED OR APPROVED BY THE ENGINEER.
- 24. MOISTURE CONTENT OF WOOD AT TIME OF PLACEMENT SHALL NOT EXCEED 19%.
- 25. PROVIDE 'MSTC28' STRAPS ACROSS ALL DISCONTINUOUS TOP PLATES
- THE NUMBER AND SIZE OF FASTENERS CONNECTING WOOD MEMBERS SHALL NOT BE LESS THAN THE FOLLOWING TABLE.

	FASTENING SCHEDULE (TABLE 2304.10.2)					
	FASTE	ICHEDULE (1A INER SCHEDULE FOR STRUCTU UILDING ELEMENT(s)	RAL MEM	BERS		
tem	DESCRIPTION OF BUILDING ELEMENT(s)			R & TYPE OF TENER #b,c	SPACING OF FASTENERS	
_		ROOF			moreneno	
1	Blocking between joists or rafters to top plate, toe nail Ceiling joists to plate, toe nail			I-1/2"x0.113") I-1/2"x0.113")		
_	Ceiling joists not attached to parallel rafter, laps over partitions, face				-	
3	nail			3-10d	-	
4	Collar tie rafter, face nail or 1-1/4" Rafter to plate, toe nail	xzu gage noge strap	3-100 2-16d (I (3"x0.128") 3-1/2"x0.135")	-	
	Roof rafters to ridge, valley or hip rafters:			3-1/2"x0.135")		
6	toe nail face nail	3-1/2"x0.135")	-			
-	- lace liai	WALL			1	
	Built-up corner studs			(3*x0.128*)	24" o.c.	
-	Built-up header, two pieces with 1	/2" spacer	16d (3-1/2%0.135")		16"o.c. along ea. edge	
9	Continued header, two pieces		16d (3-1/2"x0.135")		16"o.c. along ea. edge	
10 11	Continuous header to stud, toe na Double studs, face nail	ăl -	4-8d (2	2-1/2"x0.113")	 24" o.c.	
	Double studs, face nail Double top plates, face nail		10d (3*x0.128*) 10d (3*x0.128*)		24" o.c. 24" o.c.	
13	Double top plates, minimum 48° o	ffset of end joints, face nail in		3-1/2"x0.135")		
	lapped area					
14	Sole plate to joist or blocking, face Sole plate to joist or blocking at br	anal aced wall nanels	160 (3 3-16d (-1/2"x0.135") 3-1/2"x0.135")	16" o.c. 16" o.c.	
			3-8d (2	-1/2"x0.113")		
16	Stud to sole plate, toe nail		2,164/	or 3-1/2"x0.135")		
17	Top or sole plate to stud, end nail		2-10d (2-16d (3-1/2 x0.135) 3-1/2"x0.135")	-	
18	Top plates, laps at comers and in	tersections, face nail	2-100	I (3"x0.128")	-	
19	1" brace to each stud and plate, fa	ace nail	2-8d (2	-1/2"x0.113") iples 1-34/"	-	
~			2-8d (2	2-1/2"x0.113")	-	
20	1"x6" sheathing to each bearing, f	ace nail	2 sta	ples 1-3/4*	-	
21	1"x8" sheathing to each bearing, f	ace nail	2-8d (2 3 etc	1/2"x0.113") ples 1-3/4"		
22	Wider than 1"x8" sheathing to ear	th honoring from and	3-8d (2	2-1/2"x0.113")	-	
22	wider than 1 xb sheathing to eac		4 sta	aples 1-34/"	-	
23	Joist to sill or girder, toe nail	FLOOR	3-84 (2	-1/2"x0.113")	-	
24	1"x6" subfloor or less to each joist	face call	2-8d (2	-1/2"x0.113")	-	
				ples 1-3/4" 3-1/2"x0.135")	-	
25 26				3-1/2"x0.135") 1/2"x0.113")	 6" o.c.	
27				3-1/2"x0.135")	At each bearing	
28	10d (3*x0.128") 10d (3*x0.128")				Nail each layer: 32*o.c. at top and bottom and staggered Two nails at ends and	
	g Ledger strip supporting joists or raffers 3-16d (3-1/2*x0.135*)					
29	Ledger strip supporting joists or is	nters	3-100 (3-1/2 XU.135)	-	
tem	Description of Building Materials	Description of Fastener(s) ^b	4.2,8	Edges (inches) ¹	Intermediate supports (inches) c.e	
V	Nood structural panels, subfloor, ro	of and interior wall sheathing to fran		rticle board wall s		
30	3/8" - 1/2"	6d common (2*x0 113*) nail (subf	oor wall)	6	12.9	
		8d common (2-1/2*x0.131*) nai 6d common (2*x0.113*) nail (subfi	il (roof) loor well)			
31	5/16" - 1/2"	8d common (2-1/2*x0.131*) nai	il (roof)	7	12 9	
32	19/32" - 1"	8d common nail (2-1/2'x0.131')				
33	1-1/8" - 1-1/4"	10.1 101.0.1100	31)	8	12.9	
	8d (2-1/2'x0.131') deformed nail					
_		10d common (3*x0.148*) nai 8d (2-1/2*x0.131*) deformed Other wall sheathing	il or nail	8	12 9 12	
34	1/2" structural	10d common (3*x0.148*) nai 8d (2-1/2*x0.131*) deformed Other wall sheathing	il or nail			
_	cellulosic fiberboard sheathing 25/32" structural cellulosic	10d common (3'x0.148") nai 8d (2-1/2'x0.131") deformed Other wall sheathing 1/2" galvanized roofing nail, 7/16" c crown staple 16ga., 1-1/4" k	il or nail crown or 1*	9	12	
34 35	cellulosic fiberboard sheathing	10d common (3*x0.148*) nai 8d (2-1/2*x0.131*) deformed Other wall sheathing 1/2* galvanized roofing nail, 7/16* c crown staple 16ga., 1-1/4* li 1*3/4* galvanized roofing nail, 7/16 1*1crown staple 16ga., 1-1/2*	il or nail crown or 1* ong * crown or long	9	12	
_	cellulosic fiberboard sheathing 25/32" structural cellulosic	10d common (3'\0.148") nai 80 (2-12'\0.131') deformed Other wall sheathing 1/2" galvarized roofing nail, 7/16" c croran staple 16ga, -1.14" k 1-34" galvanized roofing nail, 7/16 1'croran staple 16ga, -1.12" 1-12" galvarized roofing nail; galvarized, 1-12" long; 1-14" s Type W or S	il or nail crown or 1* ong * crown or long staple acrews,	9	12	
35	cellulosic fiberboard sheathing 25/32" structural cellulosic fiberboard sheathing 1/2" gypsum sheathing 5/8" gypsum sheathing	10d common (33:0,1467) nai 8d (2-12:00,1317) deformed Other wall sheathing 12f galvanized roofing and, 7167 of croom stagle 16ga, 1-14* 1-34° galvanized roofing nail, galvanized, 1-12° cong; 1-14° 1-34° galvanized roofing nail, galvanized, 1-12° cong; 1-14° 1-34° galvanized roofing nail, galvanized, 1-56° fong; 1-14°	il or nail rown or 1" ong " crown or long staple screws, staple screws,	9 3 3 7 7 7	12 6 6	
35 36 37	cellulosic fiberboard sheathing 25/32" structural cellulosic fiberboard sheathing 1/2" gypsum sheathing 5/8" gypsum sheathing Wood stru	10d common (3%d) 1467 nai 8d (2-1/2%d) 1317) deformed Other wall sheathing (1/2 galvanized roofing nail, 7/16° croon stagle f6ga, -1.14° 1/30° galvanized roofing nail, 7/16° 1/2 galvanized, 1-12° long; -1.14° s galvanized, 1-12° long; -1.14° galvanized, 1-12° long; -1.14° s 1-34° galvanized, 7.56° long; -1.14° s 1-34° galvanized, 7.56° long; -1.14° Type W or S tural panels, comination subfloor	il or nail rown or 1" ong " crown or long staple acrews, staple screws, underlaymei	9 3 7 7 7 t to framing	12 6 6 7 7	
35 36	cellulosic fiberboard sheathing 25/32" structural cellulosic fiberboard sheathing 1/2" gypsum sheathing 5/8" gypsum sheathing	191 common (3%) 1497 m 84) (2-1/20.137) deformed Other wall sheatings (2) galvanciar doction pail, 71/6 crown staple foga, -11/4 1/4) galvanciar contorp nail, 71/6 1-1/2 galvanciar contorp nail, 71/6 1-1/2 galvanciar contorp nail, galvanzes, 1-1/2 forg, -11/4 Type W or S 1-3/4 galvanzes to rollon pail, galvanzes, 1-1/2 forg, -11/4 Type W or S 1-3/4 galvanzes to rollon pail, galvanzes, 1-1/2 forg, -11/4 Type W or S character and the state of the state of the state of the state galvanzes, 1-1/2 forg, -11/4 Type W or S character and the state of the state of the state of the state for a deformed (2/0.127) m 84 common (2/12/0.137)	il or nail rown or 1" ong " crown or long staple screws, staple screws, inderlayme i l or nail	9 3 3 7 7 7	12 6 6 7	
35 36 37	cellulosic fiberboard sheathing 25/32" structural cellulosic fiberboard sheathing 1/2" gypsum sheathing 5/8" gypsum sheathing Wood stru	101 common (3%) 1451 m 48 (3-12/20) 131 deformed Other wall shahting 112 galvanized roding nail, 7115 c crown stagle 15ga, 1-112' 1-212 galvanized roding nail. 1-12' galvanized roding nail. 1-12' galvanized roding nail. 1-34' galvanized rod	il or nail rown or 1" ong " crown or long staple screws, staple screws, il or nail ail or	9 3 7 7 7 t to framing	12 6 6 7 7	
35 36 37 38	cellucis: fiberboard sheathing 25:32" structural cellulosic fiberboard sheathing 1/2" gypsum sheathing 5(8" gypsum sheathing Wood stru 3/4" and less	191 common (3%) 1457 million 184 1-21/20.1371 detormed 192 all interaction grant, 77167 192 animation document, 17167 193 animation document, 17167 194 animation, 19678 194 animation, 19788 197 <td< td=""><td>il or nail xrown or 1* ong * crown or long staple screws, staple screws, anderlaymei il or nail or nail or</td><td>9 3 7 7 7 1 to framing 6</td><td>12 6 7 7 7 12</td></td<>	il or nail xrown or 1* ong * crown or long staple screws, staple screws, anderlaymei il or nail or nail or	9 3 7 7 7 1 to framing 6	12 6 7 7 7 12	
35 36 37 38 39 40	celulacia Deposed shariling SGC2* should celulacia Recharact sharihing 1/2* gypsum sheathing SGP* gypsum sheathing SGP* gypsum sheathing Wood shu SGP* r + 1-15* r + 164* A rails as smooth-common, sell, SGB+ rails and sea 1/2* r - 164* 1-16* r - 16* 1-16* r - 16* r - 16* 1-16* r - 16* r - 16* 1-16* r - 16*	193 common (3%) 1457 million (3%) 1457 million (3%) 1457 million (3%) 1457 million (3%) 1461 million (3%) 1462 million (il or nail xxwn or 1* ong xcown or 1 long staple screws, staple screws, staple screws, inderfayme il or nail il or not il or not or or not or not or not or not or not or not or not or not or not or or not or not or not or not or not or not or or not or ot or not ot or ot or ot or ot ot ot ot ot ot ot ot ot ot ot ot ot	9 3 7 7 7 7 6 6 6 6 6 6 ated. Nails used for shared arger than 0.177 i	12 6 7 7 12 12 12 12 r framing and rek diameter of 0.192 roch, 100ksi for shank	
35 36 37 38 39 40	exilicia feebaard shafting 2502° microtari alkalaan 162° gapaum alkalaan 162° gapaum alkalaan 162° gapaum alkalaan 163° gapaum alkalaan 178° - 11° 1.16° - 1.14° 1.16° - 1.14°	195 common (3%). 1457 m 317 deformed 86 (2+1/20.137) deformed Other wail sheatings (2) devianced ordering nail, 71/6° community (2) devianced ordering nail, 71/6° community (2) devianced ordering nail, 71/6° 11/2° galvenized ordering nail, 72/6° 11/2° galvenized ordering	II or nail rown or 17 rown or g rown or g rown or rown or ro	9 3 3 7 7 to framing 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6	12 6 6 7 7 7 12 12 12 12 12 12 12 12 12 12 12 1	

addi shouluni plasi not selarihoj to interfluciase lagoris tala te spose i on caser o manum e-cron logoum electring alconome ASTE Case and the selectring and the spose i on caser o manum e-cron oppound electring alconome ASTE Case and allo e selectring and alconome and the ASTE Referenced energies and anome XSTM C 208. Spoore of failances no to interflucing and edges applies to partici diges supported by failing members and requiring supported by failing members and required biologis. Biologis of the other sport edges supported by failing members and required supported by failing members and required biologis. Biologis of the other homes of the out-file pare sides supported by failing pare sides parameters and the other of the poweld excepts are singued by other powels of the out-file pare sides parameters.

STRUCTURAL STEEL NOTES

- THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH AISC 360-16.
- 2. ALL STRUCTURAL STEEL TO BE THE FOLLOWING ASTM A992, Fy= 50ksi ASTM A500 GRADE B, Fy= 46ksi W SHAPES: HSS SHAPES (RECTANGULAR) HSS SHAPES (ROUND): ASTM A500, GRADE B, Fy= 42ksi ASTM A53, GRADE B, Fy= 35ksi PIPE SHAPES ASTM A36, Fy = 36 ksi ALL OTHER STEEL:
- 3. ALL STRUCTURAL WELDS TO BE THE FOLLOWING: F70 SERIES-TYP E90 SERIES FOR A615 GRADE 60 REINFORCING BARS
- ALL STRUCTURAL WELDING SHALL BE DONE IN AN APPROVED FABRICATING SHOP. IN ABSENCE OF AN APPROVED FABRICATING SHOP, STRUCTURAL WELDING SHALL BE DONE UNDER THE SUPERVISION OF A CERTIFIED SPECIAL INSPECTOR. (CBC 1705.2.2)
- 5. FIELD WELDING TO HAVE CONTINUOUS SPECIAL INSPECTION.

REINFORCING STEEL NOTES

1. BAR REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615. THE FOLLOWING GRADES SHALL BE USED: GRADE 40 - #3 AND SMALLER

	GRADE 60 - #4 AND LARGER
2.	DETAILS OF REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS OF ACI 318-19 CH. 7 AND OTHER SECTIONS ACCORDING TO APPLIC.
3.	LAPS AT BAR SPLICES IN CONC. CONSTRUCTION SHALL BE AS FOLLOWS:

- TOP BARS (CLASS B) OTHER THAN TOP BARS BAR SIZE fc = 2500 fc = 3000 fc = 2500 fc = 3000
 30
 27
 24
 21

 35
 33
 28
 25
 #6
 # 7
 40
 38
 32
 29

 # 8
 45
 43
 36
 33
- LAPS AT BAR SPLICES IN MASONRY CONSTRUCTION SHALL BE 48 BAR DIAMETERS BUT NOT LESS THAN 2-0"
- VERTICAL REINFORCEMENT SHALL BE TIED OR OTHERWISE FIXED IN POSITION AT THE TOP AND BOTTOM AND AT INTERMEDIATE LOCATIONS, SPACED NOT GREATER THAN 48" O.C..
- WELDED STEEL WIRE FABRIC REINFORCEMENT SHALL CONFORM TO ASTM A185. 12" LAPS OF WELDED STEEL WIRE FABRIC AT SPLICES ARE REQ'D.
- WALLS, PILASTERS, AND COLUMNS SHALL BE DOWELED TO THE SUPPORTING FOOTINGS WITH REINFORCEMENT OF THE SAME SIZE, GRADE AND AT THE SAME SPACING AS THE VERTICAL REINFORCEMENT IN THE WALLS, PILASTERS, OR COLUMNS (U.N.O).
- BAR SUPPORTS SHALL BE PROVIDED IN ACCORDANCE WITH THE PROVISIONS OF "BAR SUPPORT SPECIFICATIONS" AS CONTAINED IN THE LATEST EDITION OF THE "MANUAL OF STANDARD PRACTICE" BY THE CONCRETE REINFORCING STEEL INSTITUTE (CRSI).
- REINFORCING STEEL DETAILING, BENDING AND PLACING SHALL BE IN ACCORDANCE WITH THE CONCRETE REINFORCING STEEL INSTITUTE "MANUAL OF STANDARD PRACTICE", LATEST EDITION.
- 10. ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE BEFORE PLACING CONCRETE OR GROUT
- WELDING OF REINFORCING BARS SHALL CONFORM TO "STRUCTURAL WELDING CODE-REINFORCING STEEL," ANSI/AWS D1.4 OF THE A.W.S.
- 12. WELDING OF ALL REINFORCING STEEL TO STRUCTURAL STEEL SHALL BE LIMITED TO WEDING OF ALL REINFORCING STEEL TO STRUCTURAL STEEL SHALL BE LIMITED THOSE AREAS SPECIFICALLY SHOWN ON THE PLANS. ANY OTHER WEDING SHAL REQUIRE THE APPROVAL OF THE GOVERNING AGENCY, FIELD INSPECTOR, AND STRUCTURAL ENGINEER.
- 13. WELDING OF CROSSING BARS AND TACK WELDING OF REINFORCEMENT SHALL NOT BE
- 14. ALL WELDS SHALL, IN ADDITION, TO ALL THE SPECIFICATIONS LISTED ABOVE, COMPL WITH THE REQUIREMENTS OF THE 14th EDITION OF THE "STEEL CONSTRUCTION MANUAL" AS PUBLISHED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.

MASONRY NOTES

- MASONRY UNITS SHALL CONFORM TO ASTM C90 HOLLOW CORE NORMAL WEIGHT, fm= 1500 psi (U.N.O.).
- ALL UNITS SHALL BE SAMPLED AND TESTED IN ACCORDANCE WITH ASTM C140
- MORTAR SHALL BE TYPE 'S' AND CONFORM TO ASTM C270 AND TABLE SC-1 AND SC-2 OF TMS 402-16. THE MINIMUM STRENGTH SHALL BE 1,800 psi AT 28 DAYS. THE BED JOINTS SHALL NOT EXCEED }" THICK.
- GROUT SHALL CONFORM WITH ARTICLE 2.2 OF TMS 402-16. THE COMPRESSIVE STRENGTH OF GROUT SHALL BE DETERMINED IN ACCORDANCE WITH ASTM C1019. WHEN THE GROUT CONFORMS TO ASTM C476, THE GROUT SHALL BE SPECIFIED BY PROPORTION REQUIRMENTS OR PROFERTY REQUIREMENTS. THE MINUMUM STRENGTH SHALL BE 2.000 ps AT 28 DAYS.
- 4. PORTLAND CEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C150. BLENDED CEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C59 MASONRY CEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C91. MORTAR CEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C1329.
- COARSE AGGREGATE SHALL CONFORM TO ASTM C404. COARSE AGGREGATE SHALL BE PEA GRAVEL.
- 6. FINE AGGREGATE SHALL CONFORM TO ASTM C14
- 7. LIME SHALL BE HYDRATED LIME AND CONFORM TO ASTM C207, TYPE S
- 8. ADMIXTURES SHALL BE USED IN ACCORDANCES WITH THE MANUFACTURER'S RECOMMENDATIONS AND APPROVED BY THE ENGINEER OF RECORD.

CONCRETE NOTES

1. CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 318-19 CHAPTER 5. THE MINIMUM 28-DAY

KEINGTH SHALL DE AS FULLUWS.			
CONVENTIONAL FOUNDATIONS:	STREN		
SLAB ON GRADE	2500	PSI	
SLAB ON GRADE-GARAGE	2500	PSI	
FOOTINGS	2500	PSI	
GRADE BEAM / CAISSON	2500	PSI	
RETE STRENGTH IS GREATER THAN 2500 PS	SI, CYLIN	DER TE	ST

 WHERE CONCE 318-19 5.6.3.3. STS ARE REQUIRED PER ACI

- 3. PORTLAND CEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C150, TYPE V
- AGGREGATES SHALL CONFORM TO THE REQUIREMENTS OF ASTM C33 FOR NORMAL WEIGHT CONCRETE AND ASTM C330 FOR LIGHTWEIGHT CONCRETE.
- 5. ADMIXTURES SHALL BE USED IN ACCORDANCES WITH THE MANUFACTURER'S RECOMMENDATIONS AND
- APPROVED BY THE ENGINEER OF RECORD
- 6. READY-MIX CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH THE REQUIREMENTS OF "STANDARD SPECIFICATION FOR READY-MIXED CONCRETE" ASTM C94.
- MINIMUM CONCRETE COVER (IN INCHES) FOR REINFORCING STEEL IN NON-PREST CAST-IN-PLACE CONCRETE SHALL BE AS FOLLOWS, U.N.O: MIN. CVR. (INCHES) 3" LOCATION: A. CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH
- B. FORMED SURFACES EXPOSED TO EARTH
 B. FORMED SURFACES EXPOSED TO EARTH OR WEATHER:
 #6 AND LARGER BAR
 # 5 BARS, 5/8 INCH WIRE, AND SMALLER
- ALL SLEEVES THROUGH BEAMS, GIRDERS AND FOUNDATION WALLS SHALL BE INSTALLED AND SECURED IN POSITION PRIOR TO PLACING CONCRETE. EXCEPT AS SHOWN ON STRUCTURAL DRAWINGS, SLEEVING SHALL NOT BE PERMITSED UNLESS APPROVED BY THE DESIGNER AND STRUCTURAL ENGINEER.
- SLEEVES, PIPES, OR CONDUITS SHALL NOT BE PLACED THROUGH CONTINUOUS OR SPREAD FOOTING GRADE BEAMS, PILE CAPS, OR TIE BEAMS, UNLESS SPECIFICALLY DETAILED BY THE ENGINEER.

12. REFER TO ARCHITECTURAL DRAWINGS FOR MOLDS, GROOVES, ORNAMENTS, CLIPS, OR GROUNDS REQUIRED TO BE CAST IN THE CONCRETE AND FOR EXTENT OF DEPRESSIONS, CURBS, AND RAMPS.

14. REFERENCE ARCH. DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS DUE TO

LIST OF STRUCTURAL OBSERVATION

IN ADDITION TO THE REGULAR INSPECTIONS, THE FOLLOWING CHECKED ITEMS WILL ALSO REQUIRE STRUCTURAL OBSERVATION ACCORDANCE WITH 2022 CBC SEC. 17/

CONCRETE FOOTING, GRADE BEAM, ETC. (>3000 psi) _____ YES ____ NO

UTHER: * MOTE WHERE CONCRETE IS SPECIFIED AS 4500 PSI TYPE V FOR HIGH SULFATE SOLS CONDITION IN STANDA FOOTINGS, SPECIAL INSPECTION SHALL NOT BE REQUIRED, CONTRACTOR TO PROVIDE BATCH TICKET FROM CONCRETE MANUFACTURE FOR VERIFICATION

GENERAL STRUCTURAL NOTES

FOUNDATION PLAN

_____YES _____NO

YES X NO YES X NO

_____YES __X__NO _____YES __X__NO

_____YES _____NO

_____YES __X__NO

_____ YES <u>X</u> NO _____ YES <u>X</u> NO

_____ YES _____ NO

YES X NO

10. CONDUIT SHALL NOT BE PLACED IN ANY CONCRETE SLAB LESS THAT 3-1/2 INCHES THICK. IF CONDUIT IS PLACED IN CONCRETE SLAB. ITS OUTSIDE DIAMETER SHALL NOT BE GREATER THAN 1/3 OF THE SLAB THICKNESS. THE MINIMUM CLEAR DISTANCE BETWEEN CONDUITS BE 3 INCHES.

11. ALL EXPOSED CORNERS SHALL BE CHAMFERED 3/4 INCH, U.N.O.

ALL VERTICAL SURFACES OF CONCRETE ABOVE FINISHED GRADE 13. SHALL BE FORMED.

ARCHITECTURAL C.I.P. CONCRETE.

RETAINING WALLS

DETAILS DETAILS STRUCTURAL STEEL: FIELD WELDING HIGH STRENGTH BOLTS

SHEET INDEX:

GN

S1

CERTIFICATION FROM SOILS ENGINEER

REINFORCEMENT STEEL AND PLACEMENT

REINFORCEMENT REINFORCING STEEL AND PLACEMENT IN FOOTINGS REINFORCING STEEL AND PLACEMENT IN WALLS AND RETAINING WALLS

WOOD CONNECTIONS INCLUDING NALING BOLTING, TIE DOWNS, BEAMS HANGERS, FRAMING HANGERS LOAD PAHT CONNECTIONS, DRAGE STRUTS, COLLECTORS, ASHASS BLOCKING, ETC. THICKNESS, AND NALI, SPACING OF IDAPHRACMS SHEAR WALL TYPE, LENGTH, NALING, 3X MEMBERS AND HOWLDOWNS GUARDRAILHANDRAL SUPPORT POST ATTACHMENT DETAILS

. MODULAR BUILDING PLANS

DEFFERED SUBMITTALS:

SYMBOL MAX DESIGN SHEAR CAP. (PLF)

SYMBOL MAX DESIGN SHEAR CAP. (PLF)

260

380

490

870

1100

1460 2044

SHEAR WALL SCHEDULE NOTES

s

2>

3

4 640

5

6

7

EQ WIND

180

EQ WIND

364

532

686

896

1218

1540

SHEARWALL SCHEDUL	E	(S, 1, 2, 3, 4, 5, 6, 7)			
WALL SHEATHING		SILL PLATE NAILING ON WOOD FLOOR	SILL PLATE ANCHOR BOLTS ON FOUNDATION		
7/8" STUCCO OVER BACKED LATH WITH 16 O.C. ALONG EDGES AND FIELD SHALL BE A GALVANIZED WIRE 1 1/2" LEG AND	PPLIED WITH 11 GAUGE	16d SINKER @ 8" O.C.	5/8" Ø X 12"A.B'S @ 32" O.C.		
MATERIAL AND NAILING DESCRIPTION	ANCHOR BOLT SCHED. & SILL PLATE SIZE (SEE NOTE 9, 10, 11)	BOTTOM PLATE SIZE & NAILING	SHEAR TRANSFER RIM JOIST/BLOCKING (SEE NOTE 15)		
1/2" OSB W/ 8d @ 6"o.c. E.N. / 12"o.c. F.N.	2x SILL PLATE W/ ¹ / ₂ * DIA A.B. @ 36*o.c.	2x PLATE W/ 16d @ 6"o.c. (SEE NOTE 16)	A35 OR LTP4 @ 24"o.c.		
1/2" OSB W/ 8d @ 4"o.c. E.N. / 12"o.c. F.N. ON 3x FRAMING (SEE NOTE 13)	3x SILL PLATE W/ 5" DIA A.B. @ 24"o.c.	2x PLATE W/ 16d @ 4"o.c. (SEE NOTE 16)	A35 OR LTP4 @ 16"o.c.		
1/2" OSB W/ 8d @ 3"o.c. E.N. / 12"o.c. F.N. ON 3x FRAMING (SEE NOTE 13)	3x SILL PLATE W/ §* DIA A.B. @ 24*o.c.	2x PLATE W/ 16d @ 3"o.c. (SEE NOTE 16)	A35 OR LTP4 @ 12"o.c.		
1/2" OSB W/ 8d @ 2"o.c. E.N. / 12"o.c. F.N. ON 3x FRAMING (SEE NOTE 13)	3x SILL PLATE W/ §" DIA A.B. @ 20"o.c.	2x PLATE W/ 2* x 8* LONG LAG SCREWS @ 8*o.c. INTO 4x RIM JOIST/BLOCK'G.	A35 OR LTP4 @ 10"o.c.		
1/2" STRUCTURAL 1 PL YWOODW w/ 10d @ 2"o.c. E.N. / 12"o.c. F.N. ON 3x FRAMING (SEE NOTES 13)	3x SILL PLATE W/ §" DIA A.B. @ 18"o.c.	3x PLATE W/ 2* x 8* LONG LAG SCREWS @ 6*o.c. INTO 4x RIM JOIST/BLOCK'G.	A35 OR LTP4 @ 8"o.c.		
2" STRUCTURAL I PLYWOOD BOTH SIDES W/ 10d @ 3"o.c. E.N. / 12"o.c. F.N. ON 3x FRAMING (SEE NOTES 14)	3x SILL PLATE W/ 8" DIA A.B. @ 16"o.c.	3x PLATE W/ 2* x 8* LONG LAG SCREWS @ 5*o.c. INTO 4x RIM JOIST/BLOCK'G.	A35 OR LTP4 @ 6"o.c.		
1/2" STRUCTURAL I PLYWOOD BOTH SIDES W/ 10d @ 2"o.c. E.N. / 12"o.c. F.N. ON 3x FRAMING (SEE NOTES 14)	3x SILL PLATE W/ 5" DIA A.B. @ 12"o.c.	3x PLATE W/ 2" x 8" LONG LAG SCREWS @ 4"o.c. INTO 4x RIM JOIST/BLOCK'G.	A35 OR LTP4 @ 5"o.c.		

1. SHEAR PANELS SHALL BE APPLIED DIRECTLY TO STUD FRAMING

2. PLYWOOD MAY BE INSTALLED EITHER HORIZONTALLY OR VERTICALLY

3. ALL PLYWOOD PANEL EDGES SHALL BE BLOCKED W/ 2x BLOCKING MIN

4. SHEAR WALLS MORE THAN ONE VERTICAL PANEL IN HEIGHT SHALL HAVE EITHER VERTICAL OR HORIZONTAL STAGGERED SPLICED JOINTS.

5. PROVIDE 1/3" MIN. EDGE DISTANCE FOR ALL PLYWOOD EDGE NALLING. NALLS SHALL BE PLACED NOT LESS THAN ¹/₂" FROM THE PANEL EDGES AND NOT LESS THAN ¹/₂" FROM THE EDGE OF THE CONNECTION MEMBERS FOR SHEAR GREATER THAN 350 pt. NALLS SHALL BE PLACED NOT LESS THAN ¹/₂" FROM THE EDGES AND NOT LESS THAN ¹/₂" FROM THE EDGE OF THE CONNECTION BURBERS FOR SHEARS OF 350(PC ALLSS).

6. ONLY COMMON NAILS ARE TO BE USED FOR ALL PLYWOOD SHEATHING ATTACHMENT

7. NAIL GUNS USING "CLIPPED HEAD" OR "SINKER" NAILS ARE NOT ACCEPTABLE

8. ALL BOLT HOLES TO BE DRILLED 1/32" MIN. TO 1/16" MAX. OVERSIZED

USE DOUGLAS FIR #2 PRESSURE TREATED SILL PLATES. ALL NAILS & ANCHOR BOLTS IN PRESSURE TREATED SILL PLATES SHALL BE HOT DIPPED ZINC-COATED GALVANIZED STEEL PER ASTM A 153. ANCHOR BOLTS MAY HAVE A MECHANICALLY DEPOSITED ZINC COATING WITH WEIGHTS PER ASTM B 696, CLASS 55.

10. ANCHOR BOLTS MUST BE EMBEDDED 7^a Min. NTO NEW CONCRETE. WHERE SHEAR WALLS ARE TO BE ATTACHED TO EXISTING FOOTINGS, EPOXY SIR'DIA THREADED ROD ANCHORS WITH 5^a Min. EMBEDDIENT USING SIMPSON 'SET-X^a HIGH STRENGTH ADHESING (ESX-2308) WITH SPECIAL INSPECTION (OR) ½^a DIA x 6^a LONG SIMPSON 'TITEN HD' ANCHORS (ESX-273) SIN TALLED AT THE SPACKIN ROLCATED IN THE SHEAR WALLS SCHEDULE.

11. FOUNDATION ANCHOR BOLTS IN ALL SHEAR WALLS SHALL HAVE A MINIMUM 3' x 3' X/C THICK PLATE WASHERS BETWEEN THE SILL PLATE AND NUT. THE NUTS SHALL BE TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING, PLATE WASHER EDGE IS TO BE LOCATED MAX IF ROM THE FACE OF WALL SHEATHING.

12. STUCCO AND/OR EXTERIOR VENEER OVER A PLYWOOD SHEARWALL SHALL BE WATERPROOFED W/ A MIN. OF (2) LAYERS OF # 15LB. FELT PAPE

13. ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL BE 3-INCH NOMINAL OR THICKER. ALL EDGE NAILING SHALL BE STAGGERED.

14. WHERE PLYWOOD PANELS ARE APPLIED ON BOTH FACES OF A WALL, USE A 3x6 BOT/SILL PLATE, 3x6 STUDS @ 16°0.c., NND 3x6 df. # 2 DOUBLE TOP PLATES, ALL FRAMING MEMBERS RECEIVING EDGE MALING FROM ABUTTING PANELS SHALL BE 4-NCH NOMINAL OR THICKER, ALL EDGE MAILING SHALL BE STAGSERED AND BOTH VERTICAL AND HORIZONTAL INTERIOR PANEL JOINTS ON CHOPOSITE SIDES OF THE WALL SHALL BE STAGGERED. DE WOOD ONTS & IF OR ADDITIONAL RECOURMEMENTS.

15. WHEN 'LTP4' IS INSTALLED OVER PLYWOOD, USE USE 8d COMMON NAILS.

16. WHERE BOTTOM PLATE NAILING GOES THROUGH FLOOR SHEATHING THICKER THAN X, USE 201 NAILS AT SAME SPACING AS INDICATED OR SIMPSON SDS25412 SCREWS AT TWICE THE SPACING AS INDICATED.

17. IN SEISMIC CATEGORY "D", ALL EXTERIOR WALLS TO BE CONTINUOUSLY SHEATHED WITH A MIN. 2 THICK PLY/WOOD STRUCTURAL PANEL

18. WHERE NAILS ARE IDENTIFIED AT 4" O.C. OR LESS. SPECIAL INSPECTION (SEISMIC) IS REQUIRED FOR STRUCTURAL WOOD

APPROVED) AT (E) Rahman Engineering In	13611 12TH ST, SUITE-B, CHINO, CA 91710 Tei: (213)-400-8078
FOUNDATION FOR NEW MODULAR OFFICE (PREAPPROVED) AT (E) SCHOOL	1541 N Monrovia St., Newport Beach, CA
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DESIGN	BY: M.R. BY: M.R. BY: M.R. 15-2024
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