



CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION ACTION REPORT

TO: CITY COUNCIL, CITY MANAGER, AND PLANNING COMMISSION

FROM: Seimone Jurjis, Assistant City Manager/Community Development Director

SUBJECT: Report of actions taken by the Community Development Director for the week ending July 18, 2025.

COMMUNITY DEVELOPMENT DIRECTOR OR ZONING ADMINISTRATOR ACTIONS (Non-Hearing Items)

Item 1: Gray Residence Staff Approval for Substantial Conformance (PA2025-0080)
Site Address: 415 North Star Lane

Action: Approved

Council District 3

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915

(949) 644-3200 Fax: (949) 644-3229

www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER

APPLICATION: Gray Residence (PA2025-0080)
▪ Staff Approval for Substantial Conformance

APPLICANT: Srour & Associates

LOCATION: 415 North Star Lane

LEGAL DESCRIPTION: Lot 113 of Tract No. 4224

On **July 18, 2025**, the Community Development Director approved Staff Approval (PA2025-0080) to allow changes to an approved project and found said changes to be minor and in substantial conformance with the approved Coastal Development Permit (PA2022-020) and prior Staff Approvals (PA2023-0038 and PA2024-0194). During construction, it was determined that field conditions necessitated demolition of all remaining portions of the original structure and the applicant proposes a revision that shows a full replacement of the existing single-unit dwelling, rather than a remodel. To satisfy the California Building Code (CBC) requirements and Newport Beach Municipal Code (NBMC) requirements for a new single-unit dwelling, the height of the building will be reduced to 27feet to accommodate solar panels, and the width of the driveway will be reduced to satisfy Section 21.40.070(C) (Development Standards for Parking Areas – Driveways) of the NBMC.

I. ZONING DISTRICT/GENERAL PLAN

- **General Plan Land Use Plan Category:** RS-D (Single Unit Residential Detached)
- **Zoning District:** R-1-6000 (Single-Unit Residential)
- **Coastal Land Use Plan Category:** RSD-B (Single Unit Residential Detached) – (6.0 – 9.9 DU/AC)
- **Coastal Zoning District:** R-1-6000 (Single-Unit Residential)

II. BACKGROUND AND PROPOSED CHANGES

On May 26, 2022, the Zoning Administrator approved a Coastal Development Permit (CDP) (PA2022-020) to allow the construction of a 990 square-foot second story addition, including an elevator, and the conversion of 290 square-feet of the garage to a living area within an existing single-unit dwelling with an attached two-car garage and a detached two-car garage (Attachment No. CD 2). A CDP was required for the project as the proposed additions exceeded 10% of the existing gross floor area. The project complied with all applicable development standards and no deviations were requested.

On July 20, 2023, the Community Development Director approved the Staff Approval filed as PA2023-0038 allowing minor changes to the approved CDP. The proposed changes included increasing the gross floor area of the addition by 305 square feet above the detached garage and connecting the new living area to the existing single-unit dwelling (Attachment No. CD 3). The changes were found to be in substantial conformance with the approved CDP.

On August 28, 2024, Building Permit No. XR2022-2463 was issued for construction of the project. On November 21, 2024, the Community Development Director approved the Staff Approval filed as PA2024-0194 to allow additional changes to the project that include an addition of 120 square feet to the living area and raising the height of the dwelling approximately 4.89 feet to a height of 27 feet, 11.25 inches (approximately 28 feet) (Attachment No. CD 4). The changes were found to be in substantial conformance with the approved CDP.

During construction of the project pursuant to the approved plans, it was determined that the conditions of the existing single-unit dwelling and the proposed remodel necessitated demolition of all remaining portions of the existing single-unit dwelling. This included walls that were encroaching into the side setback that had been allowed to remain pursuant to Section 21.38.040(I)(3) (Nonconforming Structures) of the NBMC and the existing foundation. Due to this, Revision No. REV2025-0840 was submitted on April 29, 2025, to revise the project description to a new single-unit dwelling. As a result, the project is now required to comply with all current development standards, which notably will require a reduction in overall height to accommodate solar panels and will also require a reduction in driveway width to comply with Section 21.40.070(C) (Development Standards for Parking Areas – Driveways) of the NBMC. Since the development is now considered a new single-unit dwelling, there will no longer be any nonconformities with the development.

III. FINDINGS

Pursuant to Section 21.54.070 (Changes to an Approved Coastal Development Permit) of the NBMC, the Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of the approved use, without a public hearing, and waive the requirement for a new coastal development permit application. This staff approval is based on the following findings and facts in support of the findings.

Finding:

- A. *The changes are consistent with all applicable provisions of this Implementation Plan.*

Facts in Support of Finding:

1. The proposed change complies with applicable residential development standards of Title 21 (Local Coastal Program Implementation Plan) of the NBMC including, but not limited to, floor area limitation, setbacks, height, and parking.

- a. The property is in the R-1-6000 Zoning District that allows a maximum lot coverage of 60% pursuant to Section 21.18.030 (Residential Coastal Zoning Districts General Development Standards). The project will maintain a similar footprint to the previously approved plans and the lot coverage will be 55%, which is less than 60%.
- b. The project provides the minimum required setbacks, which are 10-feet along the front property line along the bayside, 6-feet along each side property line, and 6 feet along the rear property line abutting North Star Lane. The existing single-unit dwelling had nonconforming walls encroaching in the 6-foot side setback that, pursuant to Section 21.38.040(l)(3) of the NBMC, exempts existing principal structures within the R-1-6000 Coastal Zoning District from certain code requirements related to nonconforming structures, such as limiting the addition of new square footage to 50%. However, the revised project description is for a new single-unit dwelling and, therefore, the proposed single-unit dwelling will now comply with the required 6-foot side setback.
- c. The highest ridge for the sloped roof is approximately 27 feet from established grade, which is less than the maximum allowed 29 feet for a sloped roof.
- d. The project includes garage parking for a total of three vehicles, complying with the minimum three-car garage parking requirement for single-unit dwellings with more than 4,000 square feet of habitable floor area. The proposed habitable floor area, including the proposed change, is 4,395 square-feet and the existing single-unit dwelling provides a two-car garage that meets the required interior clear dimensions of 20-feet by 20-feet and another one-car garage that meets the required interior clear dimension of 10-feet by 20-feet. The widths of the driveways are 13-feet and 8-feet and have been reviewed and approved by the Public Works Department.

Finding:

- B. The changes do not involve a feature of the project that was a basis for or subject of findings or exemptions in a negative declaration or Environmental Impact Report for the project.*

Facts in Support of Finding:

1. The project was categorically exempt from the requirements of CEQA under Class 3 (New Construction or Conversion of Small Structures), which exempts the demolition of up to three single-unit dwellings and construction of up to three single-unit dwellings in urbanized areas.
2. The proposed request is to demolish an existing single-unit dwelling and construct a new single-unit dwelling with a similar footprint as the existing single-unit

dwelling. The proposed change is exempt under Class 3 and will not compromise the original Class 3 exemption under the CEQA Guidelines.

Finding:

- C. *The changes do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.*

Facts in Support of Finding:

1. The proposed change does not involve a feature that was specifically addressed or was the subject of a condition of approval for the coastal development permit. The proposed changes are consistent with the residential development standards of the NBMC and do not include any features that would impact public access or views. Therefore, the project would not impact the prior findings related to public access or views in the area.
2. The proposed change was not part of a specific consideration by the Zoning Administrator for approval.

Finding:

- D. *The changes do not result in an expansion or change in operational characteristics of the use.*

Fact in Support of Finding:

1. The prior coastal development permit approved the remodel and addition of an existing single-unit dwelling and the proposed change will allow the demolition of the existing single-unit dwelling and the construction of a new single-unit dwelling that has a similar footprint and design. The project does not propose any additional dwelling units, and the change will not alter the existing use of the property as a single-unit dwelling.

Finding:

- E. *The changes do not alter the facts in support of findings required by Section 21.52.015(F) and any other applicable section of this Implementation Plan.*

Fact in Support of Finding:

1. The project as revised will retain a similar footprint and design to the previously approved Coastal Development Permit filed as PA2022-020. The property will continue to be used for a single-unit dwelling and will not bear an impact on any coastal views or public access to the beach or bay.

2. As the project is now reviewed as a new single-unit dwelling instead of an addition and remodel of an existing single-unit dwelling, the project is required to comply with all applicable development standards. The overall height of the single-unit dwelling will be reduced to accommodate the requirement of solar panels.
3. Several existing conditions of the single-unit dwelling are nonconforming and will be addressed as part of the project that was not previously required for a remodel and addition project. The existing single-unit dwelling had walls that encroached in the side setback that was allowed pursuant to Section 21.38.040(I)(3) (Nonconforming Structures - Exceptions) of the NBMC. These walls of the single-unit dwelling will now comply with the six-foot side setback.
4. Additionally, the property has two existing driveways to accommodate two attached two-car garages. The project will reduce the width of the driveways to comply with Section 21.40.070(C) (Development Standards for Parking Areas) of the NBMC that requires designs to minimize the number of curb cuts for driveways. Existing curb cuts shall be closed to create public on-street parking wherever feasible.

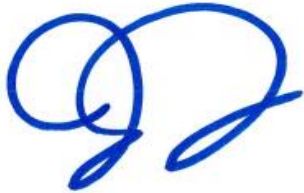
IV. CONDITIONS OF APPROVAL

1. All previous conditions of approval for Coastal Development Permit (PA2022-020), Staff Approval (PA2023-0038), and Staff Approval (PA2024-0194) shall remain in full force and effect.
2. The development authorized by this staff approval shall be in substantial conformance with the approved project plans (Attachment No. CD 5).
3. The Community Development Director may add to or modify conditions to this staff approval or revoke this staff approval upon determination that the addition, which is the subject of this staff approval, causes injury, or is detrimental to the public health, safety, peace, or general welfare of the community if the property is operated or maintained so as to constitute a public nuisance.
4. This approval does not relieve the applicant of compliance with other City or State requirements. The Applicant is required to obtain all applicable permits from the City Building Division and Fire Department. Prior to the issuance of any building, mechanical, and/or electrical permits, architectural drawings and structural design plans shall be submitted to the City of Newport Beach for review and approval by the applicable departments. A copy of these conditions of approval shall be incorporated into the drawings approved for the issuance of permits.
5. *To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees,*

*disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Gray Residence including, but not limited to, Staff Approval (PA2025-0080)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.*

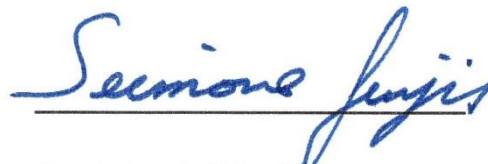
APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

Prepared by:



Jenny Tran, Associate Planner

Approved by:



Assistant City Manager

BMZ/jt

Attachments: CD 1 Vicinity Map
 CD 2 Resolution No. ZA2022-037
 CD 3 Community Development Director Action Letter (PA2023-0038)
 CD 4 Community Development Director Action Letter (PA2024-0194)
 CD 5 Project Plans

Attachment No. CD 1

Vicinity Map

VICINITY MAP



Staff Approval
(PA2024-0194)

415 North Star Lane

Attachment No. CD 2

Resolution No. ZA2022-037

RESOLUTION NO. ZA2022-037

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2022-008 FOR ADDITIONS TO AN EXISTING SINGLE-FAMILY RESIDENCE LOCATED AT 415 NORTH STAR LANE (PA2022-020)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Gordon and Kristen Gray ("Applicants"), with respect to property located at 415 North Star Lane, requesting approval of a coastal development permit ("CDP").
2. The property is legally described as Lot 113 of Tract 4224, in the City of Newport Beach, County of Orange, State of California.
3. The Applicant proposes to construct a 990-square-foot second story addition, add an elevator, and convert 190 square-feet of garage to living area within an existing single-family residence with an attached 2-car garage and a detached 2-car garage. A CDP is required for the project since the proposed addition exceeds 10 percent of the existing floor area. No site improvements or bulkhead repair are proposed as part of the scope of work. The project complies with all applicable development standards, including height, setbacks and parking, and no deviations are requested.
4. The subject property is designated RS-D (Single Unit Residential Detached) by the General Plan Land Use Element and is located within the R-1-6,000 (Single-Unit Residential) Zoning District.
5. The subject property is located within the coastal zone. The Coastal Land Use Plan category is RSD-B (Single Unit Residential Detached [6.0 – 9.9 DU/AC]) and the property is located within the R-1-6,000 (Single-Unit Residential) Coastal Zone District.
6. A public hearing was held on May 26, 2022, via Zoom. A notice of time, place, and purpose of the hearing was given in accordance with the Newport Beach Municipal Code (NBMC). Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15301, Division 6, Chapter 3, Guidelines for Implementation of the California Environmental Quality Act ("CEQA") under Class 1 (Existing Facilities), because it has no potential to have a significant effect on the environment.

2. Class 1 exemption includes additions of less than 50 percent to existing structures. The proposed project consists of a 990-square-foot second story addition and the conversion of 190 square-feet of garage to living area. Net additions to the existing structure are approximately 35 percent. Therefore, the project complies with the scope identified under the Class 1 exemption.

SECTION 3. REQUIRED FINDINGS.

In accordance with Newport Beach Municipal Code ("NBMC") Section 21.52.015 (Coastal Development Permits, Findings and Decision), the following findings and facts in support of such findings are set forth:

Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program.*

Facts in Support of Finding:

1. The proposed development complies with applicable residential development standards including, but not limited to, setbacks, height, and on-site parking.
 - A. The proposed development will provide the minimum required setbacks, which are ten (10) feet along the front property line abutting Newport Bay, six (6) feet along the rear property line, and six (6) feet along each side property lines.
 - B. The highest guardrail is no more than 24 feet high, and the highest roof ridge is no more than 29 feet in height, measured from the established grade level of 10.8 feet based on the North American Vertical Datum of 1988 ("NAVD88"), which complies with the maximum height limitation.
 - C. The project includes enclosed garage parking for four (4) vehicles, which exceeds the minimum parking requirement for single-family residences with less than 4,000 square feet of habitable floor area.
2. The neighborhood is predominantly developed with one (1)- and two (2)-story, single-family residences. The proposed design, bulk, and scale of the development will be consistent with the existing neighborhood pattern of development and expected future development.
3. A Coastal Hazards Report and Sea Level Rise Analysis was prepared Geo Soils, Inc. dated November 5, 2021, for the project. The current maximum bay water elevation is 7.7 North American Vertical Datum of 1988 (NAVD88) and is not expected to exceed the existing 10.9 feet (NAVD88) top of bulkhead elevation during high tide or storm events. The report analyzes future sea level rise scenarios assuming a 3-foot increase in the maximum water level over the next 75 years (i.e., the life of the structure). Therefore, the sea level is estimated to reach approximately 10.7 feet (NAVD88) - (the likely range

for sea level rise over 75-year design life of the structure based on low risk aversion estimates for sea level rise provided by the State of California, Sea Level Rise Guidance: 2018 Update).

4. On March 23, 2021, the City Council approved updated Waterfront Project Design Guidelines and Standards, Harbor Design Criteria Commercial & Residential Facilities. The guidelines require that any bulkhead structure permitted within the years 2021 through 2025 must have a minimum bulkhead elevation of 10.9 feet (NAVD88) with a design for adaptability elevation of 14.4 feet (NAVD88). The project has been conditioned to raise the bulkhead to an elevation of 10.9 feet (NAVD88). Geo Soils, Inc. has confirmed the bulkhead design can be raised up to 14.4 feet (NAVD88) if needed and in compliance with the updated guidelines.
5. The existing seawall/bulkhead does not need to be repaired/replaced per the report's recommendations, flooding, wave runup, and erosion will not significantly impact this property over the proposed 75-year economic life of the development. The report concludes that the proposed project will be safe from flooding hazards for the next 75 years with the existing bulkhead.
6. The finished floor elevation of the first floor of the existing living area is 11.56 feet (NAVD88), which exceeds the minimum 9.0-foot (NAVD88) elevation standard for new structures and exceeds the minimum requirements for sea level rise (10.9 feet NAVD 88) for the anticipated 75-year life of the structure.
7. Pursuant to NBMC Section 21.30.030(C)(3)(d)(i)(iv) – (Development Standards - Protective Structures), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). This requirement is included as a condition of approval that will need to be satisfied prior to final building permit inspection, respectively
8. The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c) – (Waterfront Development - Development Standards). This requirement is included as a condition of approval that will need to be satisfied prior to the issuance of building permits, respectively.
9. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.
10. The property is located adjacent to coastal waters. A Construction Erosion Control Plan was provided to implement temporary Best Management Practices (BMPs) during

construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived by construction chemicals and materials. The project design also addresses water quality through the inclusion of a post-construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.

11. The project design addresses water quality with a construction erosion control plan that outlines temporary Best Management Practices (BMPs) to be implemented during construction to minimize erosion and sedimentation, and to minimize pollution of runoff derived by construction chemicals and materials. No water quality impacts to coastal waters are anticipated based upon the location and elevation of the property.
12. Proposed landscaping complies with Implementation Plan Section 21.30.075 (Landscaping). A condition of approval is included that requires drought-tolerant species. Prior to issuance of building permits, the final landscape plans will be reviewed to verify invasive species are not planted.
13. The property is not located near designated public viewpoints or coastal view roads and will not impact public coastal views. The project site is not located adjacent to a coastal view road, public viewpoint, public park or beach, or public accessway, as identified in the Coastal Land Use Plan. Furthermore, an investigation of the project site and surrounding area did not identify any other public view opportunities. The project site may be located within the viewshed of distant public viewing areas, however the project is located on a coastal lot and will replace an existing single-family home with a new single-family home that complies with all applicable Local Coastal Program development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.

Finding:

- B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Facts in Support of Finding:

1. The project site is located between the nearest public road and the sea or shoreline; however, the project will not affect the public's ability to gain access to use and/or view the coast and nearby recreational facilities. The existing residential development neither provides nor inhibits public coastal access. Implementation Plan Section 21.30A.040 (Determination of Public Access/Recreation Impacts) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project involves additions to an existing single-family residence. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities.

2. The project is designed and sited so as not block or impede existing public access opportunities and occurs within the confines of private property. Existing coastal access conditions will not be affected by the project. Vertical and lateral coastal access is currently provided and will continue to be provided by North Star Beach, immediately across the street to the north of the subject property.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2022-008, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 26TH DAY OF MAY, 2022.



Jaime Murillo
Zoning Administrator

EXHIBIT "A"**CONDITIONS OF APPROVAL****Planning Division**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
3. Coastal Development Permit No. CD2022-008 shall expire unless exercised within 24 months from the date of approval as specified in NBMC Section 21.54.060 (Time Limits and Extensions), unless an extension is otherwise granted.
4. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
5. The Applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.
6. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
7. Prior to issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A", shall be incorporated into the Building Division and field sets of plans.
8. Prior to the issuance of a building permit, the Applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
9. *The existing seawall shall be maintained with a minimum top of wall elevation of 10.9 feet with adaptability up to 14.4 feet (NAVD88 datum) in accordance with the recommendations provided in the Coastal Hazards Report and Sea Level Rise Analysis prepared by Geo Soils, Inc. dated November 5, 2021.*
10. Prior to final building permit inspection, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices including the repair and maintenance, enhancement, reinforcement, or any other activity affecting the bulkhead, that results in any encroachment seaward of the authorized footprint of the

bulkhead or other shoreline protective device. The agreement shall be binding against the property owners and successors and assigns.

11. *Prior to the issuance of a building permit, the property owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development. This letter shall be scanned into the plan set prior to building permit issuance.*
12. This approval does not authorize any new or existing improvements (including landscaping) on California Coastal Permit Jurisdiction, State tidelands, public beaches, or the public right-of-way. Any improvements located on tidelands, submerged lands, and/or lands that may be subject to the public trust shall require a coastal development permit (CDP) approved by the California Coastal Commission (Coastal Commission). Prior to the issuance of building permits, the applicant shall provide a copy of said coastal development permit or CDP waiver or documentation from the Coastal Commission that subject improvements are not subject to the permit requirements of the Coastal Act and/or not located within the permit jurisdiction of the Coastal Commission.
13. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, wetland or their buffers.
14. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
15. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stockpiles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
16. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
17. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.

18. To the fullest extent permitted by law, Applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Gray Residence including, but not limited to, Coastal Development Permit No. CD2022-008 (PA2022-020)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by Applicant, City, and/or the parties initiating or bringing such proceeding. The Applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. The Applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Public Works Department

19. All improvements shall be constructed as required by Ordinance and the Public Works Department.
20. An encroachment permit is required for all work activities within the public right-of-way.
21. The damaged driveway approach shall be reconstructed per City Standard STD#162.
22. A new 36-inch box street tree shall be installed along the North Star Lane frontage.
23. All non-standard hardscape including pavers and rock within the North Star Lane frontage shall be removed and turf or drought tolerant landscaping installed.
24. The existing driveway shall be plugged per City Standard STD# 165.
25. A new sewer clean out shall be installed on the existing sewer lateral per City Standard STD# 406.
26. All improvements shall comply with the City's sight distance requirement. See City Standard STD# 110.

Building Division

27. Prior to issuance of a building permit, the approved Construction Pollution Prevention Plan (CPPP) shall be submitted with the Building Permit plans. Implementation shall be in compliance with the approved CPPP, and any changes could require separate review and approval by the Building Division.
28. A drainage plan will be required due to new roof structure over second floor addition. Any other new or replaced impervious surface areas must be included in determining

the required means of collecting site water runoff for percolation into site soils before discharging to city storm drain system.

Attachment No. CD 3

Community Development Director Action
Letter (PA2023-0038)



COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
949-644-3200
www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR
ACTION LETTER

Subject: **Gray Residence Substantial Conformance (PA2023-0038)**
▪ Staff Approval

Site Location **415 North Star Lane**

Applicant **Gordon and Kristen Gray**

Legal Description **Lot 113 of Tract 4224**

On **July 20, 2023**, the Community Development Director found the proposed project in substantial conformance and approved Staff Approval (PA2023-0038) allowing minor revisions to a previously approved residential remodel and addition approved by Coastal Development Permit (CDP) No. CD2022-008 (PA2022-020), which was approved by the Zoning Administrator on May 26, 2022. The applicant proposes to add 305 square feet of living area above a detached garage and connect the new living area to the existing house. The proposed changes do not intensify the existing use and are in substantial conformance with CD2022-008. This approval is based on the following analysis.

LAND USE AND ZONING

- **General Plan Land Use Plan Category:** RS-D (Single Unit Residential Detached)
- **Zoning District:** R-1-6000 (Single-Unit Residential)
- **Coastal Land Use Category:** RSD-B (Single Unit Residential Detached – 6.0 - 9.9 DU/AC)
- **Coastal Zoning District:** R-1-6000 (Single-Unit Residential)

I. PREVIOUS APPROVAL

On May 26, 2022, the Zoning Administrator approved CD2022-008 (PA2022-020) allowing a 990-square-foot second story addition, including an elevator, and the conversion of 290 square feet of garage area to living area within an existing single-unit residence that provides an attached 2-car garage and a detached 2-car garage. A CDP was required for the project as the proposed additions exceeded 10 percent of the existing floor area. The project complied with all applicable development standards and no deviations from development standards were requested or approved. The resolution for approval is included as Attachment No. CD 2.

II. PROPOSED CHANGES

The applicant requests a staff approval to allow an additional 305 square feet of living area above the existing detached garage and connect the added living area to the existing house, and a finding of substantial conformance with the previously approved CDP.

The proposed project conforms to all applicable development standards, including setbacks, lot coverage, height and off-street parking as evidenced by the project plans (Attachment No. CD 3) and illustrated in Table 1 below:

Table 1 – Development Standards			
	Existing	Approved	Proposed
Setbacks (min.)			
Front (bay)	10 feet	10 feet	10 feet
Sides	6 feet	6 feet	6 feet
Rear (street)	6 feet	6 feet	6 feet
Parking	2-car garage	4-car garage	4-car garage
Lot Coverage	60% of lot area	53% of lot area	55% of lot area
Floor Area (max.)	No maximum prescribed		
Height	24 feet flat roof 29 feet sloped roof	24 feet flat roof 29 feet sloped roof	24 feet flat roof 29 feet sloped roof

III. FINDINGS

Pursuant to Section 20.54.070 (Changes to an Approved Project) of the NBMC, the Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of an approved use without a public hearing where the Director first finds as follows:

Finding:

A. The changes are consistent with all applicable provisions of this Zoning Code.

Facts in Support of Finding:

1. The project site is located within the R-1-6,000 (Single-Unit Residential) Zoning District. The proposed project revisions comply with all applicable residential development standards and no deviations are requested.
2. The proposed minor plan revisions comport with the findings of approval for the previously approved CDP and the conditions of approval set forth by Resolution ZA2022-037 (Attachment No. CD 2).

Finding:

- B. *The changes do not involve a feature of the project that was a basis for or subject of finding or exemptions in a negative declaration or Environmental Impact Report for the project.*

Fact in Support of Finding:

1. The approved project was found to be categorically exempt from the requirements of CEQA under Section 15301, Class 1 (Existing Facilities). Class 1 includes additions of less than 50 percent to existing structures. Including the proposed minor plan revisions, the project consists of net additions of approximately 46 percent. Therefore, the proposed modified project complies with the scope identified under the Class 1 exemption.

Finding:

- C. *The changes do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.*

Facts in Support of Finding:

1. The property is within a developed neighborhood and the existing use of the structure as a single-unit residence will remain.
2. The proposed project was reviewed by relevant City departments including the Building Division, Public Works Department, and Fire/Life Safety Services. It was determined that adequate public and emergency vehicle access, public services, and utilities are provided to the subject property.

Finding:

- D. *The changes do not result in an expansion or change in operational characteristics of the use.*

Facts in Support of Finding:

1. The project site is located within the R-1-6,000 (Single-Unit Residential) Zoning District. The proposed project revisions comply with all applicable residential development standards and no deviations are requested. The small expansion of floor area does not change or intensify the single unit structure.
2. All Facts in Support of Finding C incorporated by reference.

IV. CONDITIONS

1. All conditions of approval for Coastal Development Permit No. CD2022-008 (PA2022-020) shall remain in force and effect, as stated in Attachment No. CD 2.
2. Prior to the Issuance of a Building Permit, a copy of the Staff Approval shall be incorporated into the Building Division and field sets of plans.
3. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Gray Residence including, but not limited to, Staff Approval (PA2023-0038)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages that which City incurs in enforcing the indemnification provisions outlined in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period is specified by the NBMC. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:


Liane Schuller
Planning Consultant

Approved by:


Jim Campbell, Acting Community
Development Director

DL/ls

Attachments:

~~CD 1 Vicinity Map~~
~~CD 2 ZA Resolution ZA2022-037~~
~~CD 3 Project Plans~~

Attachment No. CD 4

Community Development Director Action
Letter (PA2024-0194)



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915

(949) 644-3200 Fax: (949) 644-3229

www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER

APPLICATION: Gray Residence (PA2024-0194)
▪ Staff Approval for Substantial Conformance

APPLICANT: Srour & Associates

LOCATION: 415 North Star Lane

LEGAL DESCRIPTION: Lot 113 of Tract No. 4224

On **November 21, 2024**, the Community Development Director approved Staff Approval (PA2024-0194) to allow changes to an approved project and found said changes to be minor and in substantial conformance with the approved Coastal Development Permit (PA2022-020) and prior Staff Approval (PA2023-0038). The Applicant proposes to increase the addition to the single-unit residence by 120 square feet on the first floor and raise the height of the roof approximately 5-feet to a height of approximately 28 feet. This approval is based on the findings and subject to the following conditions.

ZONING DISTRICT/GENERAL PLAN

- **General Plan Land Use Plan Category:** RS-D (Single Unit Residential Detached)
- **Zoning District:** R-1-6000 (Single-Unit Residential)
- **Coastal Land Use Plan Category:** RSD-B (Single Unit Residential Detached) – (6.0 – 9.9 DU/AC)
- **Coastal Zoning District:** R-1-6000 (Single-Unit Residential)

I. BACKGROUND AND PROPOSED CHANGES

On May 26, 2022, the Zoning Administrator approved a Coastal Development Permit (CDP) (PA2022-020) to allow the construction of a 990 square-foot second story addition, including an elevator, and the conversion of 290 square-feet of the garage to a living area within an existing single-unit dwelling with an attached two-car garage and a detached two-car garage (Attachment No. CD 2). A CDP was required for the project as the proposed additions exceeded 10% of the existing floor area. The project complied with all applicable development standards and no deviations from development standards were requested.

On July 20, 2023, the Community Development Director approved a Staff Approval (PA2023-0038) allowing minor changes to the approved CDP. The proposed changes included increasing the area of the addition by 305 square-feet above the detached

garage and connecting the new living area to the existing single-unit dwelling (Attachment No. CD 3). The changes were found to be in substantial conformance to the approved CDP.

On August 28, 2024, Building Permit No. XR2022-2463 was issued for construction of the project. On October 22, 2024, the applicant requested additional changes to the project that include an addition of 120 square-feet to the living area and raising the height of the dwelling approximately 4.89 feet to a height of 27-feet, 11.25-inches (approximately 28 feet).

II. FINDINGS

Pursuant to Section 20.54.070 (Changes to an Approved Project), the Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of the approved use, without a public hearing, and waive the requirement for a new coastal development permit application. This staff approval is based on the following findings and facts in support of the findings.

Finding:

A. *The changes are consistent with all applicable provisions of this Zoning Code.*

Facts in Support of Finding:

1. The proposed change complies with applicable residential development standards of Title 21 (Local Coastal Program Implementation Plan) of the Newport Beach Municipal Code (NBMC) including, but not limited to, floor area limitation, setbacks, height, and parking.
 - a. The property is in the R-1-6000 Zoning District that allows a maximum lot coverage of 60% pursuant to Section 21.18.030 (Residential Coastal Zoning Districts General Development Standards). The 120 square-foot addition will reduce a covered deck area and there are no changes to the proposed lot coverage. The proposed lot coverage for the property is 55%.
 - b. The project (including the proposed addition) provides the minimum required setbacks, which are 10-feet along the front property line along the bayside, 6-feet along each side property line, and 6-feet along the rear property line abutting North Star Lane.
 - c. The highest ridge for the sloped roof is approximately 28 feet from established grade, which is less than the maximum allowed 29-feet for a sloped roof.
 - d. The project includes garage parking for a total of three vehicles, complying with the minimum three-car garage parking requirement for single-unit dwellings with more than 4,000 square feet of habitable floor area. The

proposed habitable floor area, including the proposed change, is 4,390 square-feet and the existing single-unit dwelling provides a two-car garage that meets the required interior clear dimensions of 20-feet by 20-feet and another one-car garage that meets the required interior clear dimension of 10-feet by 20-feet.

Finding:

- B. The changes do not involve a feature of the project that was a basis for or subject of findings or exemptions in a negative declaration or Environmental Impact Report for the project.*

Facts in Support of Finding:

1. The project was categorically exempt from the requirements of CEQA under Class 3 (New Construction or Conversion of Small Structures), which exempts the demolition of up to three single-unit dwellings and construction of up to three single-unit dwellings in urbanized areas.
2. The proposed request is to construct an additional 120 square-feet of livable area for the single-unit dwelling and to raise the height of the dwelling. No new dwelling units are proposed, and the proposed change will not compromise the original Class 3 (New Construction or Conversion of Small Structures) exemption under the CEQA Guidelines.

Finding:

- C. The changes do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.*

Facts in Support of Finding:

1. The proposed change does not involve a feature that was specifically addressed or was the subject of a condition of approval for the coastal development permit. The proposed changes are consistent with the residential development standards of the NBMC and do not include any features that would impact public access or views. Therefore, the project would not impact the prior findings related to public access or views in the area.
2. The proposed change was not part of a specific consideration by the Zoning Administrator for approval.

Finding:

- D. The changes do not result in an expansion or change in operational characteristics of the use.*

Fact in Support of Finding:

1. The prior coastal development permit approved the remodel and addition of an existing single-unit dwelling and the proposed change will allow a minor addition to the overall scope of work. No new dwelling units are proposed, and the additional proposed changes will not alter the existing use of the property as a single-unit dwelling.

III. CONDITIONS OF APPROVAL

1. All previous conditions of approval for Coastal Development Permit (PA2022-020) and Staff Approval (PA2023-0038) shall remain in full force and effect.
2. The development authorized by this staff approval shall be in substantial conformance with the approved project plans (Attachment No. CD 3).
3. The Community Development Director may add to or modify conditions to this staff approval or revoke this staff approval upon determination that the addition, which is the subject of this staff approval, causes injury, or is detrimental to the public health, safety, peace, or general welfare of the community if the property is operated or maintained so as to constitute a public nuisance.
4. This approval does not relieve the applicant of compliance with other City or State requirements. The Applicant is required to obtain all applicable permits from the City Building Division and Fire Department. Prior to the issuance of any building, mechanical, and/or electrical permits, architectural drawings and structural design plans shall be submitted to the City of Newport Beach for review and approval by the applicable departments. A copy of these conditions of approval shall be incorporated into the drawings approved for the issuance of permits.
5. *To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Gray Residence including, but not limited to, Staff Approval (PA2024-0194)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed*

to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

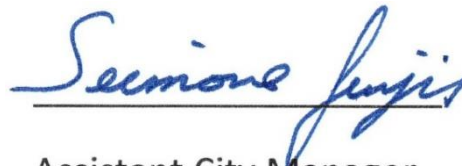
Prepared by:



Jenny Tran, Associate Planner

LAW/jt

Approved by:



Assistant City Manager

Attachments:

- CD 1 Vicinity Map
- CD 2 Resolution No. ZA2022-037
- CD 3 Community Development Director Action Letter (PA2023-0038)
- CD 4 Project Plans

Attachment No. CD 5

Project Plans

Project Summary:

Job Address:	415 North Star Lane Newport Beach, CA 92660
Zone:	R-1-6000
Land Use:	RSD-B
Building Type:	Single Family + Attached Garages
Occupancy Group:	R3/U
Construction Type:	Type V-B
Number of Stories:	2 Stories
Fire Sprinklered:	Yes; NFPA 13D
Lot Size:	60.00' x 100.00' = 6,000 S.F.
Height Limit:	29'-0"
Community Assoc:	Dover Shores
Legal Description:	LOT 113 TRACT 4224 APN 117-711-13
Hazards:	Liquefaction Seismic Hazard Area Special Flood Hazard Area (SFHA) AE Flood zone

Project Data:

Lot Coverage	
Allowable:	60% (3,600 S.F.)
Proposed:	55% (3,301 S.F.)

Living Area:	Proposed
First Floor	2,055 S.F.
Second Floor	2,340 S.F.
Total Living Area	4,395 S.F.
Garage	860 S.F.
Gross	5,255 S.F.

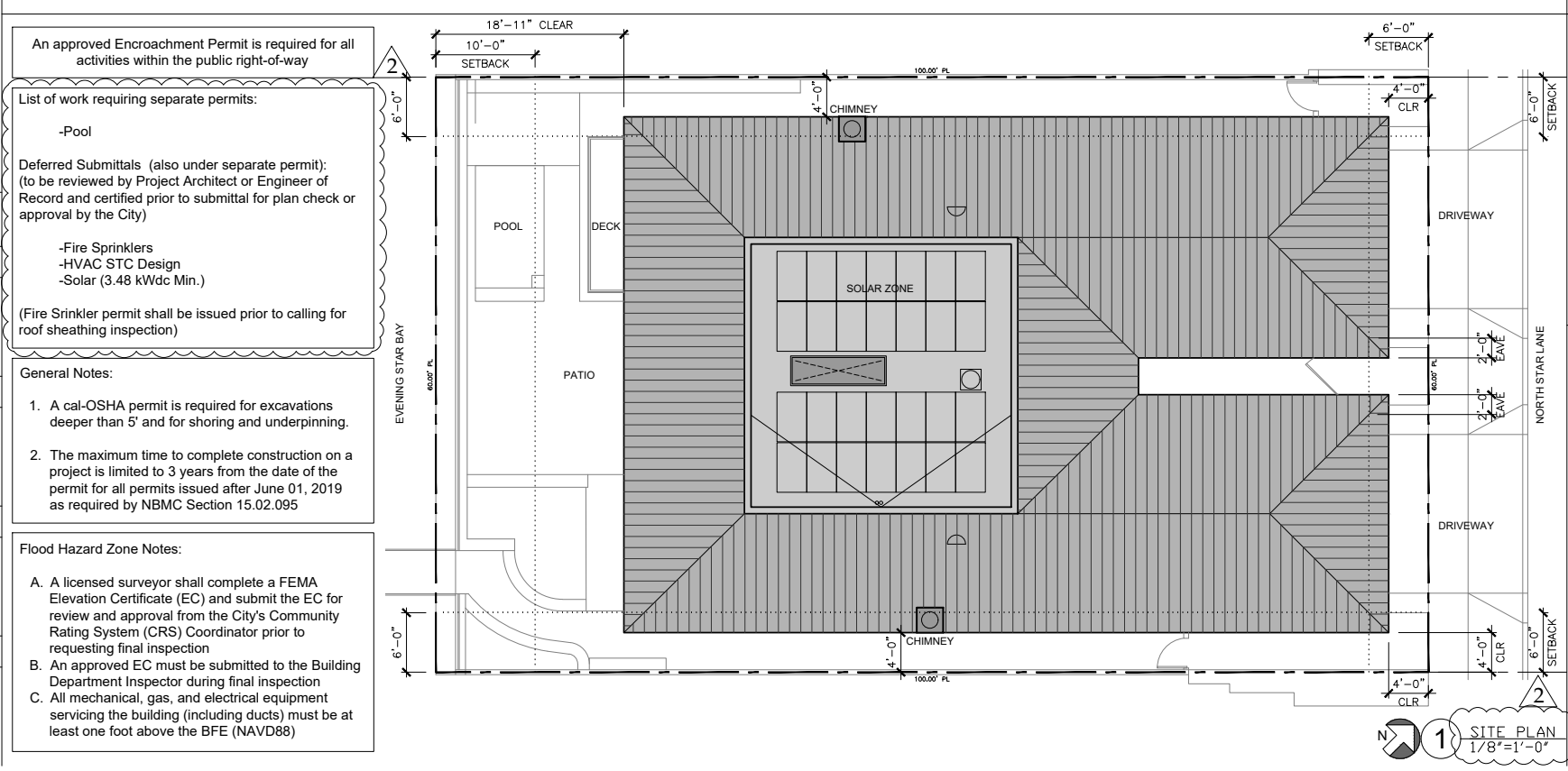
Height Calculation:

(1) 10.64 + (2) 10.74 + (3) 11.15 + (4) 10.67 = (5) 43.20 / 4 = Avg. Grade Elevation: (6) 10.80 + Height Limit (7) = 29 Max. Allowable Height Elevation (8) 39.80


(1)	(2)	(3)	(4)	(7)	(8)
10.64	10.74	11.15	10.67	29	39.80

Contacts:

Structural Engineer	Architect
McCullum Engineering Services 727 2nd St. #104 Hermosa Beach, CA 90254 (310) 944-0898	Josh Tully Architecture 703 Pier Ave. Suite B #182 Hermosa Beach, CA 90266 (310) 480-2429
Structural Consultant	Land Surveyor
David Skelly Engineering 1771 Tattenham Rd Encinitas, CA 92024 (619) 995-8378	Toal Engineering, Inc. 139 Avenida Navarro San Clemente, CA 92672 (949) 492-8586
Energy Consultant	Civil Engineer
Rick Maurer 7544 E. Saddlehill Trail Orange, CA 92869 (714) 771-1507	B.A. Sims Engineering, Inc. 1341 Orizaba Ave Long Beach, CA 90804 (562) 735-4955
Geotechnical Engineer	General Contractor
EGA Consultants, Inc. 375-C Monte Vista Ave, Costa Mesa, CA 92627 (949) 642-9309	Drake Construction 7422 Mountjoy Drive Huntington Beach, CA 92648 (714) 841-5285



Soils Recommendations:

*engineering
geotechnical
applications*

CITY OF NEWPORT BEACH
Building Department
100 Civic Center Drive
Newport Beach, CA 92860

June 11, 2025
Project No. ML431.2

Attention: Eric Skarin, PE via email: eskarin@newportbeachca.gov

Subject: **ADDENDUM TO SOILS REPORT DATED 5/23/2023 in
RESPONSE TO CITY PLAN REVIEW (Counter) and
REVIEW AND APPROVAL OF FOUNDATION & GRADING PLANS for
PROPOSED RESIDENTIAL DEVELOPMENT
LOCATED at 415 NORTH STAR LANE
NEWPORT BEACH, CALIFORNIA**

City of Newport Beach Plan Check No.: **XR2022-2463, XR2024-6230**

Associated References:

1. "Geotechnical Investigation for Proposed Residential Remodel Located at 415 North Star Lane, Newport Beach, California" by EGA Consultants, Inc., dated May 10, 2023.
2. "Foundation Plan, Gray Residence, 415 North Star Lane, Newport Beach, CA 92860," by McCullum Engineering, Inc., dated April 17, 2025.
3. "Drainage & Grading Plan, Proposed Residence, 415 North Star Lane, Newport Beach, CA 92860," by B.A. Sims Engineering Inc., dated June 11, 2025.

Dear Grading/Building Officials:

In response to our communications with the design team; and the geotechnical-related counter comments from Eric Skarin, PE, we have prepared this addendum to the above-referenced soils report May 10, 2023.

Since the issuance of the original soils report (reference 1), we have interfaced with the design team, and the general contractor, Drake Smith with Drake Construction. We acknowledge the extent of the proposed new building slabs and foundations is greatly more significant than presumed in the original soils report.

Therefore, pursuant to our field inspections and modified building/grading plans; for the new building pad sections, we recommend removal and recompaction of the upper 3 feet (via 2 1/2" deep excavations + 6 inch scarification). The new engineered fill shall be placed in 8 inch thick lifts and compacted to a minimum 90% of the maximum density. Due to the presence of dry sands, soil cement and moisture conditioning via a 2-inch hose shall be employed.

It is our understanding that Tight Quarters Demo and Grading, Inc. is actively contracted to perform the site earthworks via conventional grading. In fact, on March 6, 2025 a pre-construction meeting was held on-site and attended by David Worthington with EGA Consultants, Drake Smith with Drake Construction, Telford Cottam with Tight Quarters, and Bill Tuman, Building Inspector II with the City of Newport Beach.

In any case, for this newly modified "full grading" approach, the new building footings may be reduced from a minimum 30 inches to a minimum 24 inches deep. The reduction of minimum footing depth is justified now that the conventional grading is to be employed. All new footings will bear on 12 inches of newly engineered fill compacted to a minimum 90 percent relative compaction in accordance with ASTM D-1557.

375-C Monte Vista Avenue • Costa Mesa, CA 92626 • (949) 642-9309 • FAX (949) 642-1290

ADDITIONAL RECOMMENDATIONS

Site Preparation

Prior to earthwork or construction operations, the site should be cleared of surface structures and buried obstructions and stripped of any vegetation, trees, and roots in the areas proposed for development. Removed vegetation and debris should then be disposed of off-site. A minimum of 3 feet of the soils below the existing street grade (upper pad) will require removal and recompaction in the areas to receive building pad fill.

Following removals, each excavated area should be inspected by the soils engineer or his designated representative prior to the placement of any fill. Holes or pockets of undocumented fill resulting from removal of buried obstructions discovered during this inspection should be filled with suitable compacted fill.

Fills

The on-site soils below three feet are suitable for reuse as compacted fill, provided the soil is free of organic materials, debris, and rock materials larger than four (4) inches in diameter. After removal of any loose, compressible soils, all areas to receive fill and/or other surface improvements should be scarified to a minimum depth of 12 inches, brought to at least 2 percent over optimum moisture conditions and compacted to at least 90 percent relative compaction (based on ASTM D 1557). If necessary, import soils for near-surface fills should be predominately granular, possess a very low expansion potential, and be approved by the geotechnical engineer.

Lift thicknesses will be dependent on the size and type of equipment used. In general, fill should be placed in uniform lifts not exceeding 8 inches. Placement and compaction of fill should be in accordance with local grading ordinances under the observation and testing of the geotechnical consultant. We recommend that fill soils be placed at moisture contents at least 2 percent over optimum (based on ASTM: D 1557).

Note: the pad excavation will require temporary 1:1 laybacks per Appendix C, herein.

Backfill Suitability

The on-site soils may be used as trench backfill provided they are screened of rock sizes over 4 inches in mean diameter and any and organic matter. Trench backfill should be compacted in uniform lifts (not exceeding 8 inches in compacted thickness) by mechanical means to at least 90 percent relative compaction (ASTM: D1557).

GEOTECHNICAL OBSERVATION AND TESTING DURING CONSTRUCTION

We recommend that a qualified geotechnical consultant be retained to provide geotechnical engineering services, including geotechnical observation/testing, during the construction phase of the project. This is to verify the compliance with the design, specifications and/or recommendations, and to allow design changes in the event that subsurface conditions differ from those anticipated.

Geotechnical observations/testing should be performed at the following stages:

ADDENDUM TO SOILS REPORT DATED 5/10/2025
415 North Star Lane, Newport Beach, CA
Project No. ML431-1 - Gray Residence
June 11, 2025

2

- * During Any grading operations, including excavation, removal, filling, compaction, and backfilling, etc.
- * After excavations for footings/grade beams to verify the adequacy of underlying materials.
- * After excavation for retaining wall footings to verify the adequacy of underlying earth materials.
- * During/after installation of water proofing for retaining walls, if any prior to installation of sub-drain/backfilling.
- * During/after installation of retaining wall sub-drain, if any, prior to backfilling.
- * During compaction of retaining wall backfill materials, if any, to verify proper compaction.
- * After pre-soaking of new slab sub-grade earth materials, prior to pouring concrete.
- * Verification of the placement of the slab underlayment prior to pouring concrete.
- * Prior to slab pours to ensure proper subgrade compaction, capillary breaks, and moisture barriers.
- * During backfill of drainage and utility line trenches, to verify proper compaction.
- * When/if any unusual geotechnical conditions are encountered.

Please schedule an inspection with the geotechnical consultant prior to the pouring of ALL interior and exterior slabs (includes waste and protection slabs).

STATEMENT OF REVIEWED AND APPROVED PLANS FROM A GEOTECH STANDPOINT:

We have reviewed the above-referenced Foundation Plan by McCullum Engineering, Inc. (reference 2), and the Precise Grading Plan by B.A. Sims Engineering, Inc. (reference 3), and verify that the plans conform with the specifications outlined in the soils reports by EGA Consultants, **and this Addendum dated June 11, 2025**. The plans, bundled with this response, are electronically signed and stamped by representatives of EGA Consultants.

Based on the findings of our geotechnical investigation and our professional experience working on similar sites in the area, the proposed construction will not adversely impact the geologic stability/safety of the subject or adjoining properties.

All recommendations and soils values are in accordance with the 2022 CBC, and remain valid, unless revised in this response dated June 11, 2025.

This response memorandum shall be considered an addendum to the above-referenced soils report dated May 10, 2023.

In the event of a conflict between this addendum and the recommendations and specifications outlined in the soils report, the provisions of this addendum shall take precedence.

If you have any questions, please call.

Very truly yours,

EGA Consultants, Inc.
[Signature]

DAVID A. WORTHINGTON CEG 2124
Principal Engineering Geologist/CEO


cc: (f) Michael Lee Architects, Attn: Josh Tully, AIA
(f) Drake Construction, Attn: Drake Smith

ADDENDUM TO SOILS REPORT DATED 5/10/2021
415 North Star Lane, Newport Beach, CA
Project No. ML431.1 - Gray Residence
June 11, 2025

REGISTERED GEOLOGIST
David A. Worthington
No. CEG2124
Exp. 12/25
ENGINEERING GEOLOGIST
STATE OF CALIFORNIA

1

Demolition Compliance:



Housing Crisis Act Compliance for Demolitions

Community Development Department
Planning Division
100 Civic Center Drive / P.O. Box 1768 / Newport Beach, CA 92658-8915
(949) 644-3204 Telephone / (949) 644-3229 Facsimile
www.newportbeachca.gov

General Information

The Housing Crisis Act of 2019 [SB 330 (Chapter 654, Statutes of 2019) and SB 8 (Chapter 161, Statutes of 2021)] set a temporary 10-year prohibition on reducing residential density when associated with the approval of a "housing development project", beginning January 1, 2020 and concluding on January 1, 2030. A "housing development project" is defined as: a residential project of one or more units; a mixed-use project with two-thirds of the floor area designated for residential use; or a transitional or supportive housing project. In addition, existing units that are defined as "protected"¹ under the law (see below for qualifications) must be replaced with units that have an equivalent number of bedrooms, rents affordable at the same income category as the displaced tenant(s) (or if incomes are unknown, according to the proportion of lower income renter households in the jurisdiction), and displaced tenants must be provided relocation benefits. Assembly Bill No. 1218 (Chapter 754, Statutes of 2023) also requires the loss of protected units associated with the approval of a non-housing development project that prohibits the demolition of occupied or vacant protected units. Therefore, concurrent with the application of any development project that involves the demolition of any residential unit(s), or the application of a non-housing development project, the property owner shall answer the questions below for Housing Crisis Act compliance.

Site Address: 415 North Star Lane **Legal Description:** Lot 113, Tract 4224

1) Units proposed for demolition: 1 Units proposed for construction: 1

2) Are you proposing to redevelop the site with a "housing development project"? ☐ Yes ☒ No

For housing development projects, reductions in density are prohibited whether or not units are deemed "protected" and a demolition permit cannot be issued.

3) If you answer yes to any of the following questions, the unit(s) are considered "protected" and must be replaced:

- a. Currently, or within the last 5 years, are any of the units subject to a recorded covenant, ordinance, or law restricting rents to levels affordable to low- or very low-income households? ☐ Yes ☒ No
- b. Currently, or within the last 5 years, are any of the units occupied by low- or very-low income households (see attachment for current income limits)? ☐ Yes ☒ No

If any of the units proposed for demolition meet the "protected" criteria, please provide a summary of units (i.e., apartment number, size, number of bedrooms, household size, and income level of tenant) and schedule a meeting with a planner to discuss replacement requirements. A demolition permit cannot be issued until an agreement is executed with the City guaranteeing the replacement of the protected units and tenant relocation benefits.

Property Owner Certification (required):

Gordon Gray, hereby certify that I am the property owner of the above described property. I declare under the penalty of perjury, the facts, statements and information presented in this document are true and correct to the best of my knowledge and belief.

Signature

07/02/2025
Date

(310) 995-3645
Phone Number

¹ The City of Newport Beach does not have a local rent control ordinance. As such, the categories of "protected units" are limited to those stated above.
Updated 05/15/2024

	josh tully architecture	
		703 pier ave. suite B #182 hermosa beach, ca 90254 t: 310.480.2429 e: josh@jostullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS SET FORTH ON THIS SHEET AND ALL COPYRIGHTS THEREIN ARE, AND SHALL REMAIN THE PROPERTY OF JOSH TULLY ARCHITECTURE, INC. USE OF THIS DRAWING IS LIMITED TO A ONE-TIME USE ON THE SPECIFIC PROJECT AND FOR THE SPECIFIC PERSON(S) NAMED HEREON. ANY OTHER USE OR REUSE OF SAID DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOSH TULLY ARCHITECTURE, INC.



GRAY RESIDENCE	New SFR	
	Project Name :	
	Project Address :	

Revisions :
No.
Date
Description
New Bldg Submittal

No.	Date	Description
△	03.24.25	New Bldg Submittal

Sheet Title :

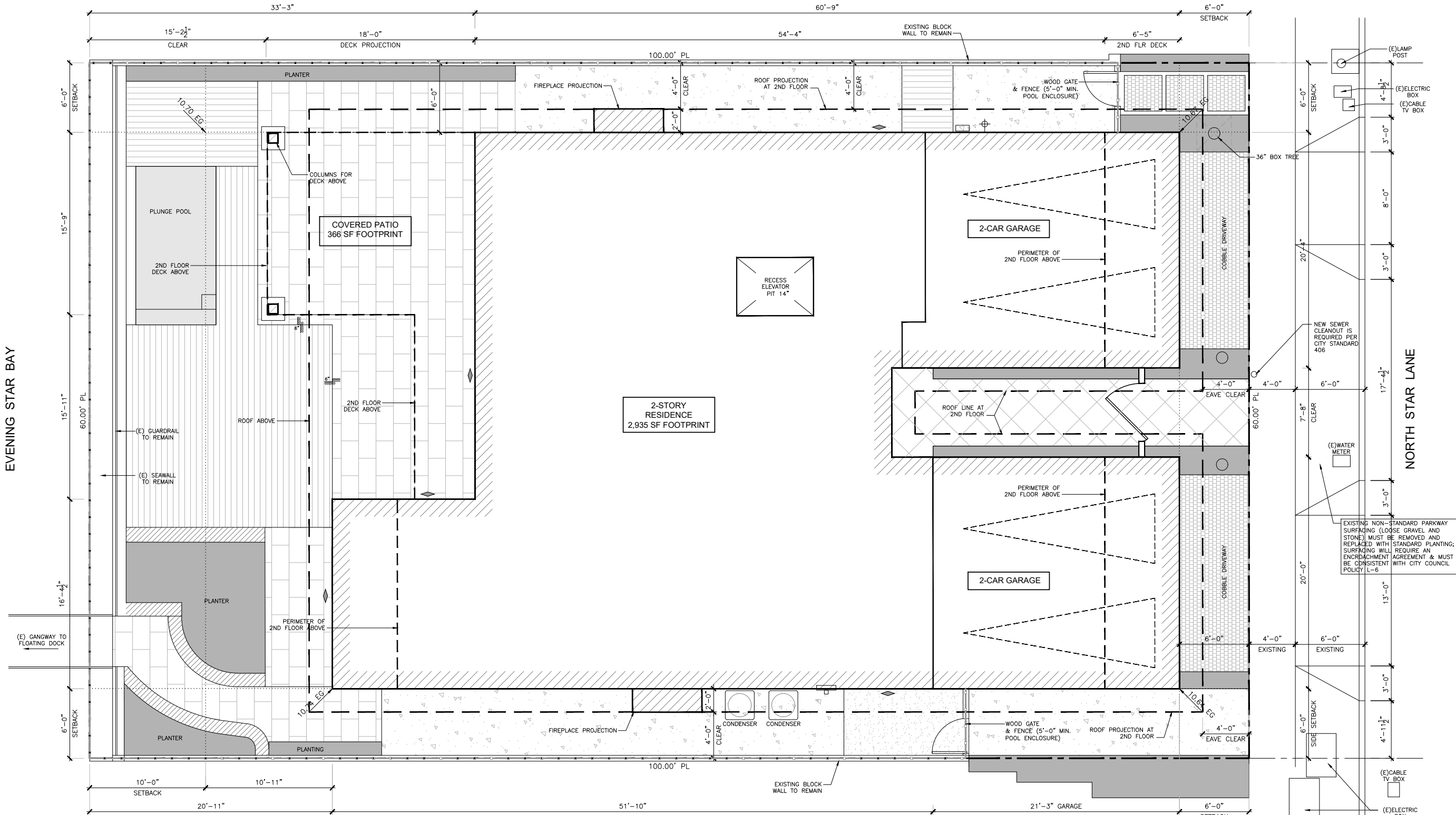
Soils Report Recommendations & Demo

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

Sheet Number :

2

A-1.1f



ZONING ADMINISTRATOR NOTES:

- BUILDING SITE IS LOCATED IN A SPECIAL FLOOD HAZARD AREA (SFHA) AE8, ESTABLISHED IN FIRDM DATED MARCH 21, 2019. TOP OF SLAB TO BE SET AT ONE FOOT ABOVE THE BASE FLOOD ELEVATION (BFE) OF 8.0 FEET NAVD88. IN NO CASE SHALL THE SLAB ELEVATION BE BELOW 9.0 FEET NAVD88, OR, AS REQUIRED BY PLANNING DEPARTMENT USING NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88). NBMC 15.50.200(C).
- BUILDINGS AND STRUCTURES IN SFHA AE8 SHALL HAVE THE LOWEST FLOOR ELEVATED ABOVE THE BFE PLUS 1 FOOT FOR A DESIGN FLOOD ELEVATION (DFE). (R301.2.4 AND R301.2.4.1 AS AMENDED NBMC 15.05.100. SEE TABLES 2-1 & 4.1 ASCE24)
- SFHA AE8 GARAGE AND CARPORT FINISHED SLAB MAY BE LOCATED BELOW THE BFE, PROVIDED THE SLAB ELEVATION IS ABOVE ADJACENT GRADE. SHOW A MINIMUM OF TWO FLOOD VENT OPENINGS AT OPPOSITE SIDES OF THE GARAGE ON THE FOUNDATION PLAN, EXTERIOR ELEVATIONS, AND FLOOR PLAN.
- THE BOTTOM OF FLOOD VENT OPENINGS MUST BE WITHIN 1 FT. OF THE ADJACENT EXTERIOR GRADE.
- THE TOP OF FLOOD VENT OPENINGS MUST BE BELOW THE DFE.
- PROVIDE ONE SQUARE INCH OF OPENING PER EACH SQUARE FOOT OF GARAGE AREA. INDICATE THE LOCATION WITH DIMENSIONS AND AREAS OF THE OPENINGS ON THE EXTERIOR ELEVATIONS, FOUNDATION PLAN AND ARCHITECTURAL FLOOR PLAN. THE REQUIRED SQUARE INCHES MUST BE WITHIN REQUIREMENTS OF ITEMS A & B ABOVE AND THE MINIMUM DIMENSION IN ANY DIRECTION SHALL NOT BE LESS THAN 3 INCHES. NBMC 15.50.200 C.1.D. AND ASCE24 SECTION 2.7.2.1. OR PROVIDE ENGINEERED OPENINGS PER ASCE24 SECTION 2.7.2.2.
- SFHA AE8. WHEN TOP OF GARAGE FLOOR SLAB IS LOWER THAN THE BASE FLOOD ELEVATION (BFE), GARAGE WALLS MUST BE SUPPORTED OVER CONCRETE CURBS WITH TOP OF CURB ONE FOOT ABOVE THE BFE (NAVD88). SEE "LOWEST FLOOR" REGARDING RESTRICTION ON GARAGE SLAB NOT ALLOWED BELOW GRADE. NBMC 15.50.050 DEFINITIONS
- SFHA AE8. EXTERIOR WOOD STAIRS SHALL BE SUPPORTED OVER CONCRETE CURBS WITH TOP OF CURB ONE FOOT ABOVE THE BFE (NAVD88).
- FOUNDATION HAS BEEN DESIGNED FOR LIQUEFACTION MITIGATION PER CITY POLICY.

Public Works Notes:

- An approved encroachment permit is required for all work activities within the public right-of-way.
- A Public Works Department encroachment permit inspection is required before the Building Department Permit Final can be issued. At the time of Public Works Department inspection, if any of the existing public improvements surrounding the site is damaged, new concrete sidewalk, curb and gutter, and alley/street pavement will be required. Additionally, if existing utilities infrastructure are deemed substandard, a new 1-inch water service, water meter box, sewer lateral and/or cleanout with box and lid will be required. 100% of the cost shall be borne by the property owner (Municipal Codes 14.24.020 and 14.08.030). Said determination and the extent of the reconstruction work shall be made at the discretion of the Public Works Inspector. Contractor is responsible to maintain the public right of way at all times during the construction project. A stop work notice may be issued for any damage or unmaintained portion of the public right of way.
- An encroachment agreement is required for all non-standard improvements within the public right of way. All non-standard improvements shall comply with City Council Policy L-6.
- All private irrigation sprinkler heads shall be installed and positioned in a manner that will not cause irrigation overspray onto the public right-of-way.
- All work related to water in the public right-of-way shall be performed by a C-34 licensed Pipeline Contractor or an A Licensed General Engineering Contractor.
- All work related to wastewater in the public right-of-way shall be performed by a C-42 licensed Sanitation Sewer Contractor or an A Licensed General Engineering Contractor.

PROVIDE ALARM FOR DOORS TO THE DWELLING THAT FORM PART OF THE POOL ENCLOSURE. THE ALARM SHALL PROVIDE AN AUDIBLE WARNING WHEN THE DOOR OR IT'S SCREEN, IF PRESENT, ARE OPENED. THE ALARMS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL2017, AND INDEPENDENTLY CERTIFIED TO THE ASTM STANDARD F2208. THE ALARMS SHALL BE EQUIPPED WITH A DEACTIVATION SWITCH LOCATED IN ACCORDANCE 54" ABOVE THE FLOOR FOR UNITS NOT REQUIRED TO BE ACCESSIBLE AND BETWEEN 48" AND 54" FOR UNITS REQUIRED TO BE ACCESSIBLE 3109.2

ESTABLISHED GRADE:

$$10.70 + 10.67 + 10.64 + 10.74 = 42.75/4 = 10.68$$

LOT AREA	6,000 SF
BUILDING FOOTPRINT	2,935 SF
COVERED PATIO	366 SF
LOT COVERAGE	3,301 SF (55%)

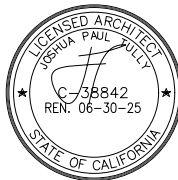
1 SITE PLAN
1/4"=1'-0"

2

josh tully
architecture

703 pier ave. suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@jostullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS SET FORTH ON THIS SHEET AND ALL COPYRIGHTS THEREIN ARE, AND SHALL REMAIN THE PROPERTY OF JOSH TULLY ARCHITECTURE, INC. USE OF THIS DRAWING IS LIMITED TO A ONE-TIME USE ON THE SPECIFIC PROJECT AND FOR THE SPECIFIC PERSON(S) NAMED HEREON. ANY OTHER USE OR REUSE OF SAID DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOSH TULLY ARCHITECTURE, INC.



GRAY
RESIDENCE
New SFR
415 North Star Lane
Newport Beach, CA 92660

Project Name :

Project Address :

Revisions :

No.	Date	Description
1	03.24.25	New Bldg Submittal

Sheet Title :

Site Plan

A.P.N.: 117-711-13

Scale: 1/4" = 1'-0"

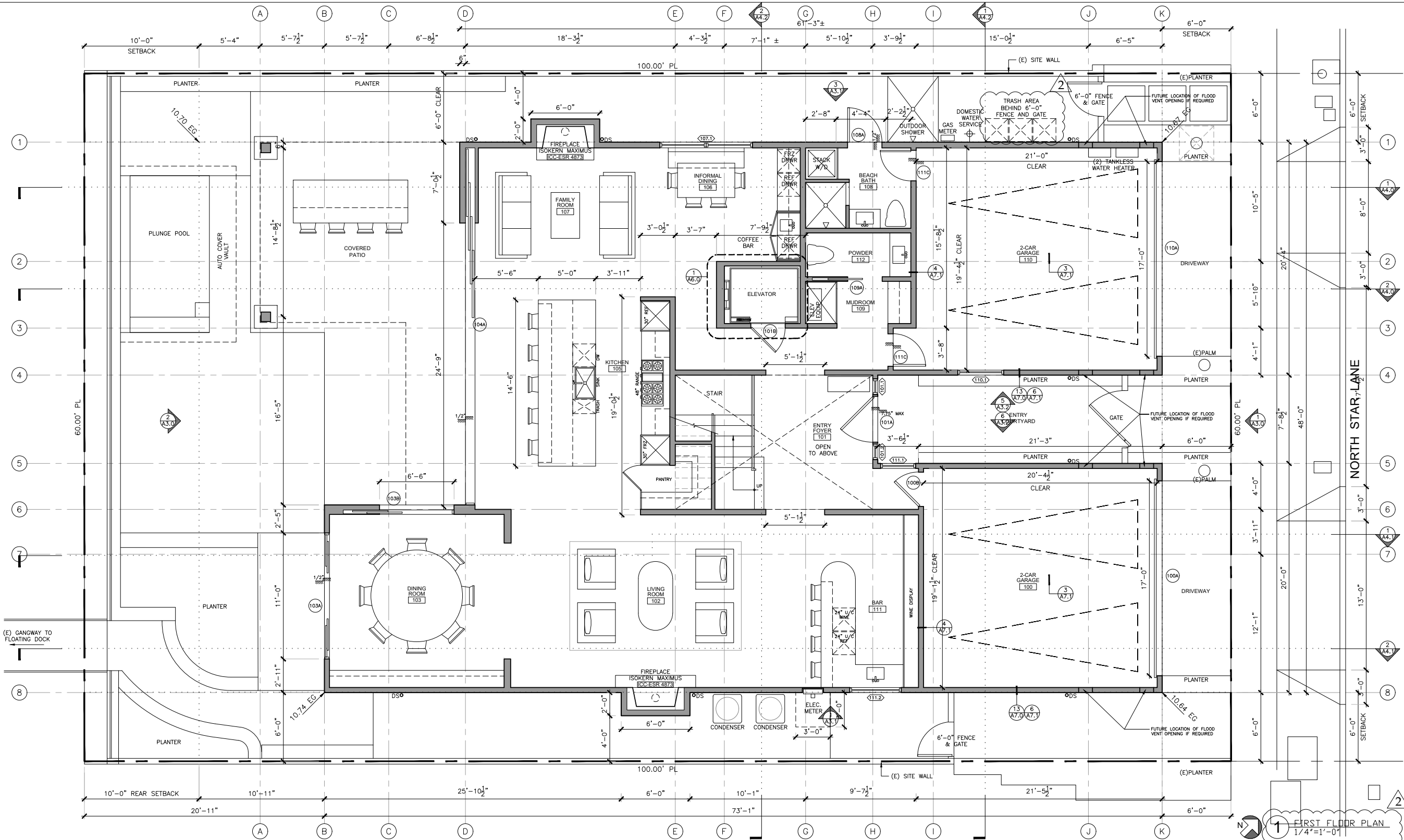
Issue Date: 03.24.2025

Drawn: JPT Checked:

Sheet Number :

A-1.3

EVENING STAR BAY



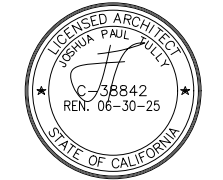
- GENERAL NOTES:**
- A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND UNDERPINNING.
 - THE MAXIMUM TIME TO COMPLETE CONSTRUCTION ON A PROJECT IS LIMITED TO 3 YEARS FROM THE DATE OF THE PERMIT FOR ALL PERMITS ISSUED AFTER JUNE 01, 2019 AS REQUIRED BY NBMC SECTION 15.02.095
 - DOMESTIC CLOTHES DRYER DUCT SHALL BE METAL WITH MIN. 4 INCHES IN DIAMETER. THE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET, INCLUDING TWO 90 DEGREE ELBOWS. A LENGTH OF 2 FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. (CMC 504.4.2.1).
 - EFFICIENCY RATINGS OF HEATING AND COOLING UNITS:
(N) AC UNIT AT EER 13, SEER 16
(N) FAU AT 95 AFUE
 - GUARDRAILS SHALL MEET THE FOLLOWING:
a. PROVIDE GUARDS WHERE THE OPEN SIDE IS MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE
b. GUARD HEIGHTS SHALL BE A MINIMUM 42"
c. OPENINGS BETWEEN INTERMEDIATE BALUSTERS SHALL PRECLUDE THE PASSAGE OF 4" DIAMETER SPHERE
d. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM RAIL SHALL PRECLUDE THE PASSAGE OF A 6" SPHERE
e. OPENINGS BETWEEN INTERMEDIATE BALUSTERS ON THE OPEN SIDE OF THE STAIRS SHALL PRECLUDE THE PASSAGE OF A 4-3/8" DIAMETER SPHERE
 - POOLS, SPAS, WALLS, FENCES, PATIO COVERS, AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS
 - FENCES, HEDGES, WALLS, RETAINING WALLS, GUARDRAILS, AND HANDRAILS OR ANY COMBINATION THEREOF SHALL NOT EXCEED 42 INCHES FROM THE EXISTING GRADE BEFORE CONSTRUCTION WITHIN THE REQUIRED FRONT SETBACK AREA.

- ZONING ADMINISTRATOR NOTES:**
- BUILDING SITE IS LOCATED IN A SPECIAL FLOOD HAZARD AREA (SFHA) AEB, ESTABLISHED IN FIRM DATED MARCH 21, 2019. TOP OF SLAB TO BE SET AT ONE FOOT ABOVE THE BASE FLOOD ELEVATION (BFE) OF 8.0 FEET NAVD88. IN NO CASE SHALL THE SLAB ELEVATION BE BELOW 9.0 FEET NAVD88, OR, AS REQUIRED BY PLANNING DEPARTMENT USING NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88). NBMC 15.50.200(C).
 - BUILDINGS AND STRUCTURES IN SFHA AEB SHALL HAVE THE LOWEST FLOOR ELEVATED ABOVE THE BFE PLUS 1 FOOT FOR A DESIGN FLOOD ELEVATION (DFE). (R301.2.4 AND R301.2.4.1 AS AMENDED NBMC 15.05.100. SEE TABLES 2-1 & 4.1 ASCE24)
 - SFHA AE, GARAGE AND CARPORT FINISHED SLAB MAY BE LOCATED BELOW THE BFE, PROVIDED THE SLAB ELEVATION IS ABOVE ADJACENT GRADE. SHOW A MINIMUM OF TWO FLOOD VENT OPENINGS AT OPPOSITE SIDES OF THE GARAGE ON THE FOUNDATION PLAN, EXTERIOR ELEVATIONS, AND FLOOR PLAN.
 - THE BOTTOM OF FLOOD VENT OPENINGS MUST BE WITHIN 1 FT. OF THE ADJACENT EXTERIOR GRADE.
 - THE TOP OF FLOOD VENT OPENINGS MUST BE BELOW THE DFE.
 - PROVIDE ONE SQUARE INCH OF OPENING PER EACH SQUARE FOOT OF GARAGE AREA. INDICATE THE LOCATION WITH DIMENSIONS AND AREAS OF THE OPENINGS ON THE EXTERIOR ELEVATIONS, FOUNDATION PLAN AND ARCHITECTURAL FLOOR PLAN. THE REQUIRED SQUARE INCHES MUST BE WITHIN REQUIREMENTS OF ITEMS A & B ABOVE AND THE MINIMUM DIMENSION IN ANY DIRECTION SHALL NOT BE LESS THAN 3 INCHES. NBMC 15.50.200 C.I.D. AND ASCE24 SECTION 2.7.2.1, OR PROVIDE ENGINEERED OPENINGS PER ASCE24 SECTION 2.7.2.2.
 - SFHA AE, WHEN TOP OF GARAGE FLOOR SLAB IS LOWER THAN THE BASE FLOOD ELEVATION (BFE), GARAGE WALLS MUST BE SUPPORTED OVER CONCRETE CURBS WITH TOP OF CURB ONE FOOT ABOVE THE BFE (NAVD88). SEE "LOWEST FLOOR" REGARDING RESTRICTION ON GARAGE SLAB NOT ALLOWED BELOW GRADE. NBMC 15.50.050 DEFINITIONS
 - SFHA AE, EXTERIOR WOOD STAIRS SHALL BE SUPPORTED OVER CONCRETE CURBS WITH TOP OF CURB ONE FOOT ABOVE THE BFE (NAVD88).
 - FOUNDATION HAS BEEN DESIGNED FOR LIQUEFACTION MITIGATION PER CITY POLICY.

josh tully
architecture

703 pier ave. suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@joshullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS SET FORTH ON THIS SHEET AND ALL COPYRIGHTS THEREIN ARE, AND SHALL REMAIN THE PROPERTY OF JOSH TULLY ARCHITECTURE, INC. USE OF THIS DRAWING IS LIMITED TO A ONE-TIME USE ON THE SPECIFIC PROJECT AND FOR THE SPECIFIC PERSON(S) NAMED HEREON. ANY OTHER USE OR REUSE OF SAID DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOSH TULLY ARCHITECTURE, INC.



GRAY
RESIDENCE
New SFR

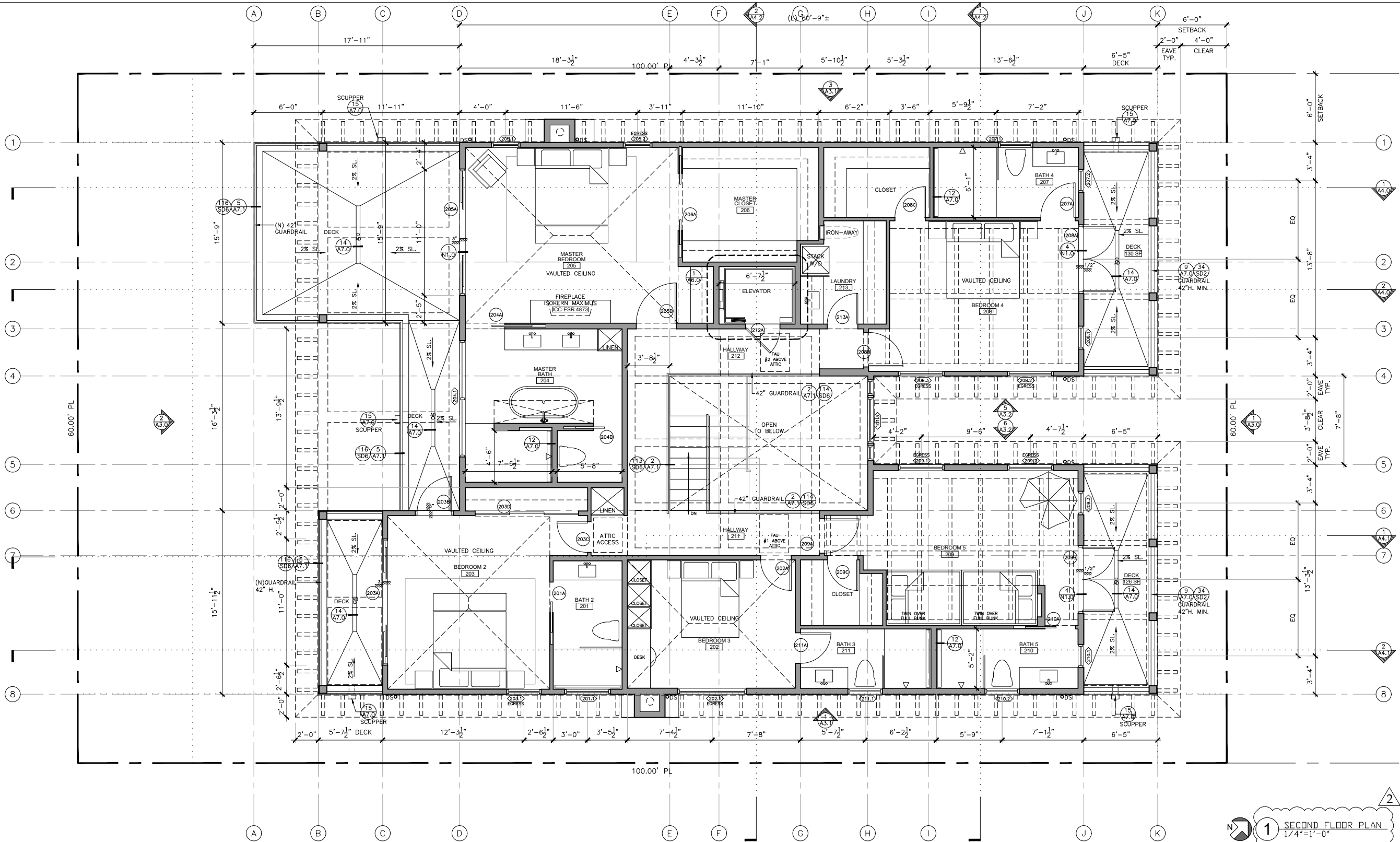
Project Address : 415 North Star Lane
Newport Beach, CA 92660

Revisions :		
No.	Date	Description
1	03.24.25	New Bldg Submittal

Sheet Title :
**FIRST FLOOR
PLAN**

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

Sheet Number :



GENERAL NOTES:

- A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND UNDERPINNING.
- THE MAXIMUM TIME TO COMPLETE CONSTRUCTION ON A PROJECT IS LIMITED TO 3 YEARS FROM THE DATE OF THE PERMIT FOR ALL PERMITS ISSUED AFTER JUNE 01, 2019 AS REQUIRED BY NBMC SECTION 15.02.095
- DOMESTIC CLOTHES DRYER DUCT SHALL BE METAL WITH MIN. 4" INCHES IN DIAMETER. THE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET, INCLUDING TWO 90 DEGREE ELBOWS. A LENGTH OF 2 FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. (CMC 504.4.2.1).
- EFFICIENCY RATINGS OF HEATING AND COOLING UNITS:
(N) AC UNIT AT EER 13, SEER 16
(N) FAU AT 95 AFUE
- GUARDRAILS SHALL MEET THE FOLLOWING:
a. PROVIDE GUARDS WHERE THE OPEN SIDE IS MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE
b. GUARD HEIGHTS SHALL BE A MINIMUM 42"
c. OPENINGS BETWEEN INTERMEDIATE BALUSTERS SHALL PRECLUDE THE PASSAGE OF 4" DIAMETER SPHERE
d. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM RAIL SHALL PRECLUDE THE PASSAGE OF A 6" SPHERE
e. OPENINGS BETWEEN INTERMEDIATE BALUSTERS ON THE OPEN SIDE OF THE STAIRS SHALL PRECLUDE THE PASSAGE OF A 4-3/8" DIAMETER SPHERE

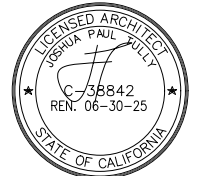
ZONING ADMINISTRATOR NOTES:

- BUILDING SITE IS LOCATED IN A SPECIAL FLOOD HAZARD AREA (SFHA) AEB, ESTABLISHED IN FIRM DATED MARCH 21, 2019. TOP OF SLAB TO BE SET AT ONE FOOT ABOVE THE BASE FLOOD ELEVATION (BFE) OF 8.0 FEET NAVD88. IN NO CASE SHALL THE SLAB ELEVATION BE BELOW 9.0 FEET NAVD88, OR, AS REQUIRED BY PLANNING DEPARTMENT USING NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88). NBMC 15.50.200(C).
- BUILDINGS AND STRUCTURES IN SFHA AEB SHALL HAVE THE LOWEST FLOOR ELEVATED ABOVE THE BFE PLUS 1 FOOT FOR A DESIGN FLOOD ELEVATION (DFE). (R301.2.4 AND R301.2.4.1 AS AMENDED NBMC 15.05.100. SEE TABLES 2-1 & 4.1 ASCE24)
- SFHA AE. GARAGE AND CARPORT FINISHED SLAB MAY BE LOCATED BELOW THE BFE, PROVIDED THE SLAB ELEVATION IS ABOVE ADJACENT GRADE. SHOW A MINIMUM OF TWO FLOOD VENT OPENINGS AT OPPOSITE SIDES OF THE GARAGE ON THE FOUNDATION PLAN, EXTERIOR ELEVATIONS, AND FLOOR PLAN.
- THE BOTTOM OF FLOOD VENT OPENINGS MUST BE WITHIN 1 FT. OF THE ADJACENT EXTERIOR GRADE.
- THE TOP OF FLOOD VENT OPENINGS MUST BE BELOW THE DFE.
- PROVIDE ONE SQUARE INCH OF OPENING PER EACH SQUARE FOOT OF GARAGE AREA. INDICATE THE LOCATION WITH DIMENSIONS AND AREAS OF THE OPENINGS ON THE EXTERIOR ELEVATIONS, FOUNDATION PLAN AND ARCHITECTURAL FLOOR PLAN. THE REQUIRED SQUARE INCHES MUST BE WITHIN REQUIREMENTS OF ITEMS A & B ABOVE AND THE MINIMUM DIMENSION IN ANY DIRECTION SHALL NOT BE LESS THAN 3 INCHES. NBMC 15.50.200 C.1.D. AND ASCE24 SECTION 2.7.2.1. OR PROVIDE ENGINEERED OPENINGS PER ASCE24 SECTION 2.7.2.2.
- SFHA AE. WHEN TOP OF GARAGE FLOOR SLAB IS LOWER THAN THE BASE FLOOD ELEVATION (BFE), GARAGE WALLS MUST BE SUPPORTED OVER CONCRETE CURBS WITH TOP OF CURB ONE FOOT ABOVE THE BFE (NAVD88). SEE "LOWEST FLOOR" REGARDING RESTRICTION ON GARAGE SLAB NOT ALLOWED BELOW GRADE. NBMC 15.50.050 DEFINITIONS
- SFHA AE. EXTERIOR WOOD STAIRS SHALL BE SUPPORTED OVER CONCRETE CURBS WITH TOP OF CURB ONE FOOT ABOVE THE BFE (NAVD88).
- FOUNDATION HAS BEEN DESIGNED FOR LIQUEFACTION MITIGATION PER CITY POLICY.

josh tully architecture

703 pier ave. suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@joshullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS SET FORTH ON THIS SHEET AND ALL COPYRIGHTS THEREIN ARE, AND SHALL REMAIN THE PROPERTY OF JOSH TULLY ARCHITECTURE, INC. USE OF THIS DRAWING IS LIMITED TO A ONE-TIME USE ON THE SPECIFIC PROJECT AND FOR THE SPECIFIC PERSON(S) NAMED HEREON. ANY OTHER USE OR REUSE OF SAID DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOSH TULLY ARCHITECTURE, INC.



GRAY RESIDENCE
New SFR
415 North Star Lane
Newport Beach, CA 92660

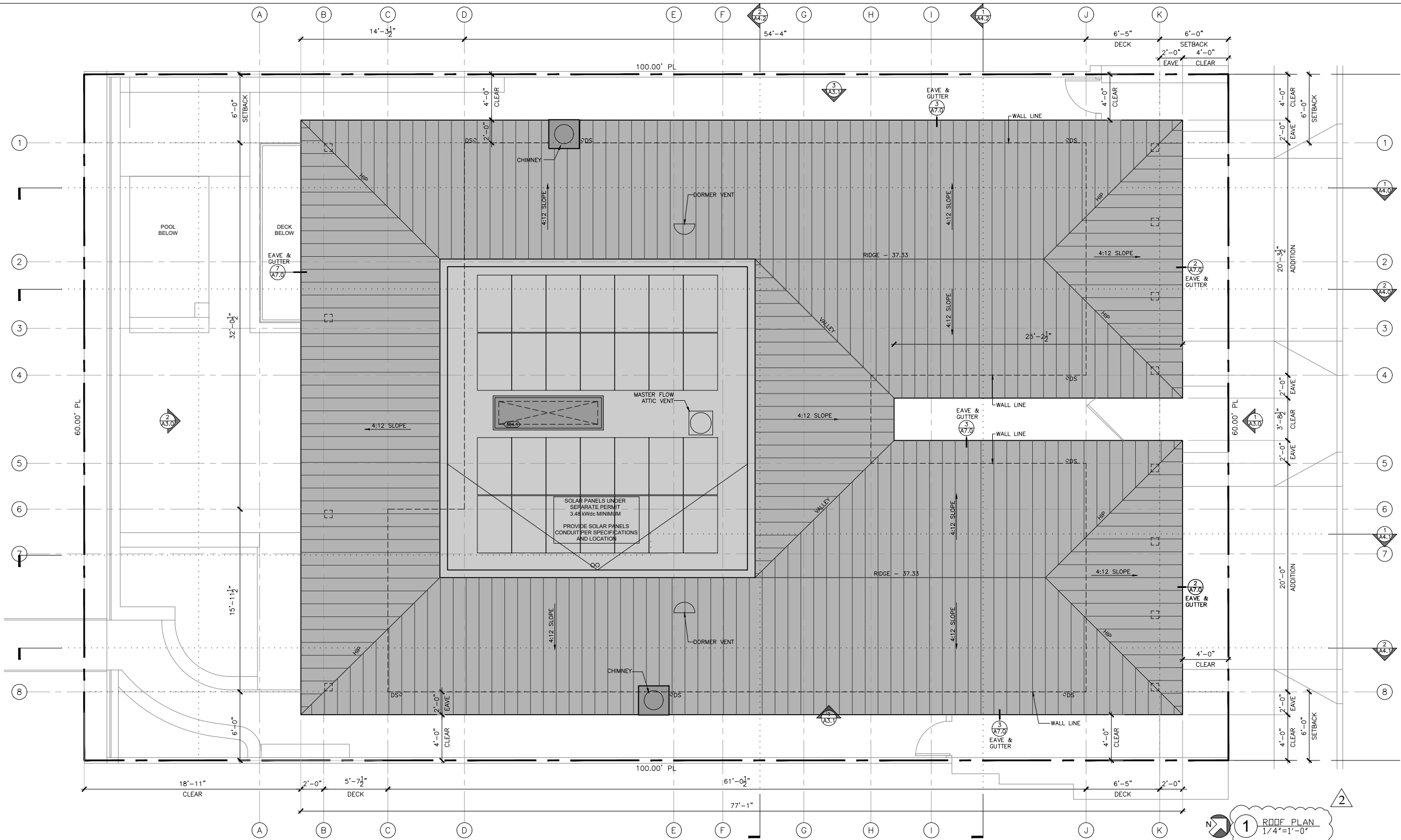
Project Name :
Project Address :

Revisions :
No. Date Description
1 03.24.25 New Bldg Submittal

Sheet Title :
SECOND FLOOR PLAN

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

Sheet Number :



GENERAL NOTES:

- A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND UNDERPINNING.
- THE MAXIMUM TIME TO COMPLETE CONSTRUCTION ON A PROJECT IS LIMITED TO 3 YEARS FROM THE DATE OF THE PERMIT FOR ALL PERMITS ISSUED AFTER JUNE 01, 2019 AS REQUIRED BY NBMC SECTION 15.02.095
- DOMESTIC CLOTHES DRYER DUCT SHALL BE METAL WITH MIN. 4" INCHES IN DIAMETER. THE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET, INCLUDING TWO 90 DEGREE ELBOWS. A LENGTH OF 2 FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. (CMC 504.4.2.1).
- EFFICIENCY RATINGS OF HEATING AND COOLING UNITS:
(N) AC UNIT AT EER 13, SEER 16
(N) FAU AT 95 AFUE
- GUARDRAILS SHALL MEET THE FOLLOWING:
a. PROVIDE GUARDS WHERE THE OPEN SIDE IS MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE
b. GUARD HEIGHTS SHALL BE A MINIMUM 42"
c. OPENINGS BETWEEN INTERMEDIATE BALUSTERS SHALL PRECLUDE THE PASSAGE OF 4" DIAMETER SPHERE
d. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM RAIL SHALL PRECLUDE THE PASSAGE OF A 6" SPHERE
e. OPENINGS BETWEEN INTERMEDIATE BALUSTERS ON THE OPEN SIDE OF THE STAIRS SHALL PRECLUDE THE PASSAGE OF A 4-3/8" DIAMETER SPHERE

ZONING ADMINSTRATOR NOTES:

ATTIC VENT CALCULATIONS

CONTRACTOR TO VERIFY IN FIELD

VENTILATION REQUIREMENTS:
1 S.F. NET OPENING PER EACH 150 S.F. OF ATTIC/CONCEALED SPACE

ATTIC/CONCEALED SPACE AREA: 1,523 S.F.
REQUIRED: 10.15 S.F. (=1,523 S.F./150 S.F.)

GAF "MASTER FLOW" ERV4 LOW PROFILE POWERED ROOF MOUNT EXHAUST FAN USE MIN. (1) AS REQUIRED

MAX. ATTIC SIZE SERVICED: 1,600 S.F.
UL 507 TESTED/APPROVED, CSA RATED

193 LINEAR FEET PROVIDED OF 2" SOFFIT VENT AT EAVE (386 SQ. IN. = 2.68 SF)

ATTIC VENTILATION NOTES:

- OPENINGS SHALL BE PLACED SO AS TO PROVIDE CROSS VENTILATION OF THE ATTIC SPACE
- THE NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE ATTIC AREA
- OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/16" MINIMUM AND 1/4" MAXIMUM OPENING
- 50% OF THE REQUIRED VENTILATION AREA MUST BE LOCATED AT LEAST 3" ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE PROVIDED BY EAVE OR CORNICE VENTS
- WHERE THE RATIO OF 1/300 IS USED TO VENT ATTICS, NOT LESS THAN 40% BUT NOT MORE THAN 50% OF THE VENTS SHALL BE LOCATED NOT MORE THAN 3' BELOW THE RIDGE

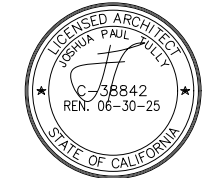
ROOFING MATERIAL:

TIMBERLINE - COOL ROOF SERIES SHINGLES (CLASS 'A'), CHARCOAL/GREY COLOR. FIBER TECH COMPONENT-INCORPORATES FIBERS THAT ARE NON-COMBUSTIBLE, PROVIDING A UL CLASS "A" RATING - FIBERGLASS ASPHALT CONSTRUCTION (ENERGY STAR). LISTED CLASS A FIRE RATING -UL 790, ICC ESR-1475, ESR-3267

josh tully architecture

703 pier ave. suite B #182
hermosa beach, ca 90264
t: 310.480.2429
e: josh@jostullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS SET FORTH ON THIS SHEET AND ALL COPYRIGHTS THEREIN ARE, AND SHALL REMAIN THE PROPERTY OF JOSH TULLY ARCHITECTURE, INC. USE OF THIS DRAWING IS LIMITED TO A ONE-TIME USE ON THE SPECIFIC PROJECT AND FOR THE SPECIFIC PERSON(S) NAMED HEREON. ANY OTHER USE OR REUSE OF SAID DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOSH TULLY ARCHITECTURE, INC.



GRAY RESIDENCE
New SFR
415 North Star Lane
Newport Beach, CA 92660

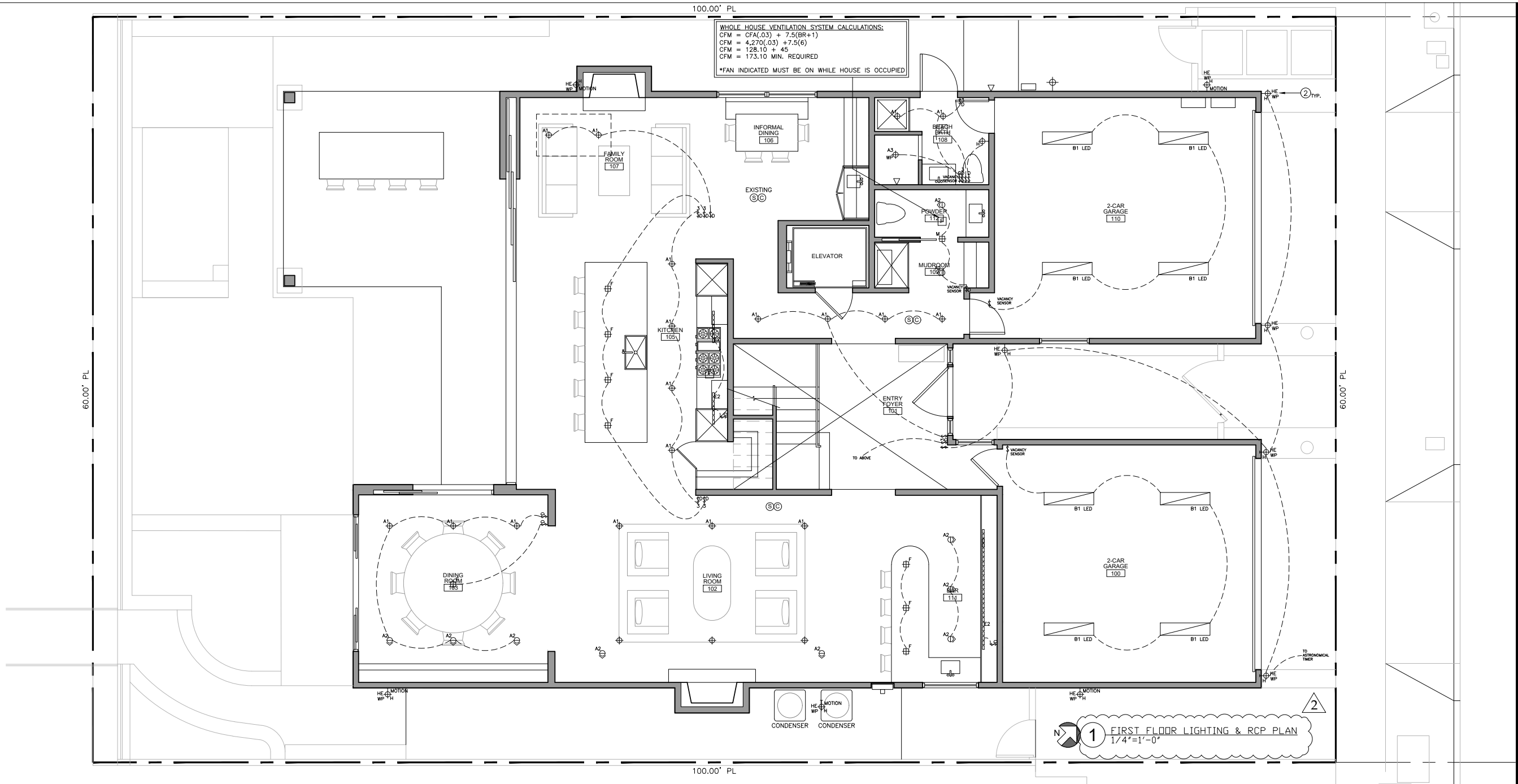
Project Name :
Project Address :

No.	Date	Description
1	03.24.25	New Bldg Submittal


































Sheet Title :
ROOF PLAN

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

Sheet Number :



LIGHTING & POWER SYMBOLS LEGEND:

E	EXISTING		RECESSED WALL MOUNTED FIXTURE		SECURITY SYSTEM	42" A.F.F.	
EL	EXISTING LOCATION, NEW FIXTURE		CEILING MOUNTED FIXTURE		LUTRON LV WALL SWITCH	42" A.F.F.	
FL	FLUORESCENT		PENDANT FIXTURE		WALL SWITCH W/ DIMMER CONTROL	42" A.F.F.	
WP	WATERPROOF		STRIP LIGHTING		3 WAY WALL SWITCH	42" A.F.F.	
ADJ	ADJUSTABLE		FLUORESCENT SURFACE FIXTURE		4 WAY WALL SWITCH	42" A.F.F.	
HE	HIGH EFFICIENCY		UPPER CABINET, UNDER CABINET & COVER LIGHT		DUPLEX OUTLET	12" A.F.F.	
GFI	GROUND FAULT INTERRUPTER		UNDER CABINET LIGHT		QUAD OUTLET	12" A.F.F.	
AFI	ARC FAULT INTERRUPTER		TRACK LIGHTING		FLOOR OUTLET (FLUSH MOUNT)		
	EXHAUST FAN-ENERGY STAR COMPLIANT, 110CFM, 1.0 SONE MAX. SOUND, HUMIDISTAT CONTROLLED, DUCTED TO EXTERIOR (ALL FLOORS)		EXTERIOR LANDSCAPE LIGHTING		GAS LINE	12" A.F.F.	
	RECESSED DOWNLIGHT		CABLE TV	12" A.F.F.		HOSE BIB	12" A.F.F.
	RECESSED UPLIGHT		TELEPHONE	12" A.F.F.		120-VOLT HARD WIRED & INTERCONNECTED SMOKE DETECTOR (WITH 9-VOLT BATTERY BACK-UP)	
	EMERGENCY LIGHT WITH BACK-UP BATTERY		DATA CABLE (INTERNET)	12" A.F.F.		INTERCONNECTED HEAT DETECTOR RATED 190 F OR ABOVE	
	DIRECTIONAL RECESSED DOWNLIGHT		SATELLITE	12" A.F.F.		HARD WIRED & INTERCONNECTED CARBON MONOXIDE ALARM (WITH 9-VOLT BATTERY BACK-UP)	
	WALL SCONCE		COM (CAT6) (NETWORK)	12" A.F.F.			

LIGHT FIXTURES SPECIFICATIONS

- A1 TECH LIGHTING ELEMENT ENTRA 3" LED SQUARE FLANGED FLAT TRIM - EN3S-LH9WDAAC, EN3SF1F-OW
- A2 TECH LIGHTING ELEMENT ENTRA 3" LED SQUARE FLANGED WALL WASH TRIM - EN3S-LH9WDAAC, EN3SF1W-WW
- A3 TECH LIGHTING ELEMENT ENTRA 3" LED SQUARE FLANGED SHOWER BEVELED TRIM WITH SANDBLAST LENS - EN3S-LH9WDAAC, EN3SF1B-HW
- D1 B-K LIGHTING VERSA SQUARE STAR LED BRASS POWDER COATED WHITE DOWN LIGHT 36" FLOOD 2700K
- D2 WAC EXTERIOR LED STEP LIGHT STAINLESS STEEL FINISH - WL-LED100-C-SS
- D3 DREAMSCAPE MESA GRANDE LED UPLIGHT WHITE WITH BRASS MOUNTING BOX
- D4 LIGHTING FX REFLECTORE STELLATO RS-35H-BZ
- D5 DASAL WALL LIGHT 2-300
- D6 B-K LIGHTING SQUARE ADJUSTABLE WELL STAR (MR16) SW-16-BZW-9-11 BRONZE
- D7 LUMIERE BOCA 631 - BELOW GRADE UPLIGHT 50MR16 12V, TRU-AIM 37W MR16 IR WFL60, LBB-(ORDER HOUSING AHEAD IF REQ'D)-DIF-LVR. VERIFY FINISH WITH ARCHITECT PRIOR TO ORDERING.
- D8 DREAMSCAPE MESA DL-126 EXT.-B-702-11 SURFACE MOUNTED UPLIGHT, RUST BROWN FINISH, 20W MR-11 FLOOD LAMP, HOUSING NOT INCLUDED, VERIFY FINISH W/ ARCHITECT PRIOR TO ORDERING.
- E1 ARDEE MODULEX CF 75.051WH
- E2 UNDER CABINET LED FIXTURE
- E3 OVER CABINET LED FIXTURE
- E4 UNDER CABINET LOW VOLTAGE PUCK LIGHT
- F PENDENT SELECTED BY OWNER
- G1 LITHONIA WIDE BODY SB 4 32 MVOLT 1/4 GEB10IS SURFACE MOUNT FLUORESCENT FIXTURE
- G2 LITHONIA NARROW BODY SB 4 32 MVOLT 1/4 GEB10IS SURFACE MOUNT FLUORESCENT FIXTURE
- H SURFACE WALL MOUNT SELECTED BY OWNER
- I LITHONIA FM54 ACLS LP M4 SQUARE SURFACE MOUNT FLUORESCENT FIXTURE
- K SURFACE WALL MOUNT DECK LIGHT
- L LUTRON DUAL MOUNT ROLLER SHADE - SIVOIA QED CONTROL WITH ROLLER 200CW DUAL MOUNT BRACKET SW-16-BZW-9-11 BRONZE
- M SURFACE MOUNTED CEILING FIXTURE TO BE SELECTED BY OWNER

LEGEND

- INDICATES CEILING/SOFFIT HEIGHT
- 7/8" SMOOTH STUCCO FINISH CEILING LID
- HARDWOOD CEILING LID
- DENOTES POTENTIAL SOFFIT AREAS, MECHANICAL SUB-CONTRACTORS TO CONFIRM SIZE & LOCATION OF DUCTING PRIOR TO FRAMING.
- ALL MECHANICAL SHAFT TO BE 1-HOUR FIRE RESISTANCE ASSEMBLIES

CAPPED ABANDON WATER & ELECTRICAL LINES

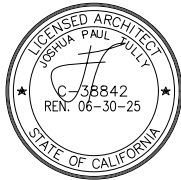
NOTES:

- ALL LUMINAIRES SHALL BE HIGH EFFICACY Per Section 150.0(k)1.A.
- OUTDOOR LIGHTING ATTACHED TO THE BUILDING SHALL CONTROLLED BY A MANUAL ON AND OFF SWITCH AND BY A MOTION SENSOR WITH INTEGRAL PHOTO CONTROL. Per Section 150.0(K)3.
- KITCHEN EXHAUST SYSTEM VENTED TO OUTDOORS SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM.
- BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES MUST BE CONTROLLED BY A VACANCY SENSOR.
- RECESSED DOWNLIGHTS SHALL COMPLY WITH REFERENCE JOINT APPENDIX JAB REQUIREMENTS. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLAINT WITH REFERENCE JOINT APPENDIX JAB

josh tully
architecture

703 pier ave. suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@jostullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS SET FORTH ON THIS SHEET AND ALL COPYRIGHTS THEREIN ARE, AND SHALL REMAIN THE PROPERTY OF JOSH TULLY ARCHITECTURE, INC. USE OF THIS DRAWING IS LIMITED TO A ONE-TIME USE ON THE SPECIFIC PROJECT AND FOR THE SPECIFIC PERSON(S) NAMED HEREON. ANY OTHER USE OR REUSE OF SAID DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOSH TULLY ARCHITECTURE, INC.



GRAY
RESIDENCE
New SFR

415 North Star Lane
Newport Beach, CA 92660

Project Name :

Project Address :

Revisions :

No.	Date	Description
1	03.24.25	New Bldg Submittal

Sheet Title :

RCP &
LIGHTING PLAN

A.P.N.: 117-711-13

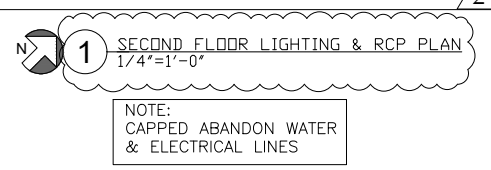
Scale: 1/4" = 1'-0"

Issue Date: 03.24.2025

Drawn: JPT Checked:

Sheet Number :

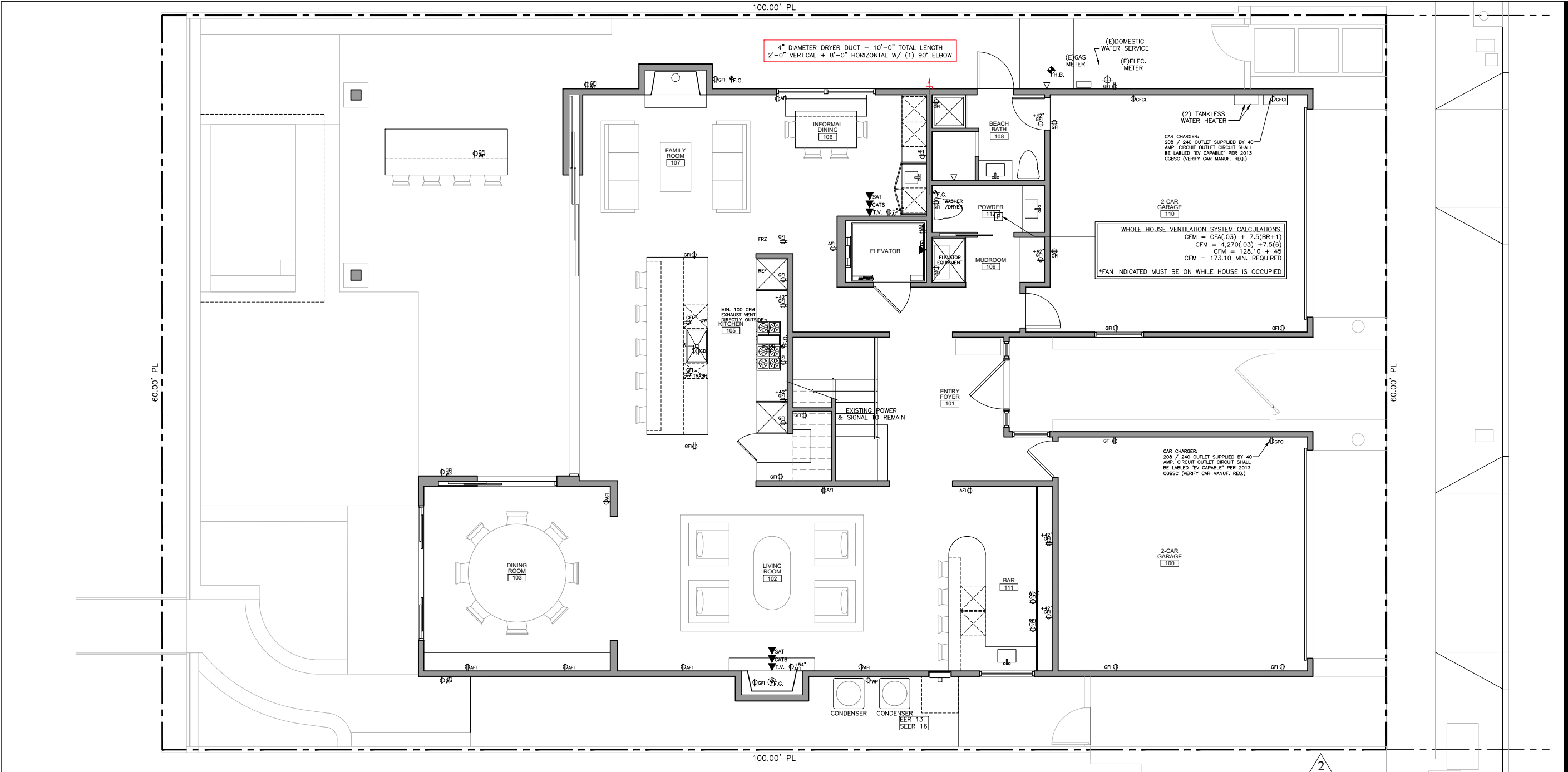
A-2.3



NOTES:

1. ALL LUMINAIRES SHALL BE HIGH EFFICACY Per Section 150.0(k)1.A.
2. OUTDOOR LIGHTING ATTACHED TO THE BUILDING SHALL CONTROLLED BY A MANUAL ON AND OFF SWITCH AND BY A MOTION SENSOR WITH INTEGRAL PHOTO CONTROL. Per Section 150.0(k)3.
3. KITCHEN EXHAUST SYSTEM VENTED TO OUTDOORS SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM.
4. BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES MUST BE CONTROLLED BY A VACANCY SENSOR.
5. RECESSED DOWNLIGHTS SHALL COMPLY WITH REFERENCE JOINT APPENDIX JAB REQUIREMENTS, DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLAINT WITH REFERENCE JOINT APPENDIX JAB

A-2.4



LIGHTING & POWER SYMBOLS LEGEND:					
E	EXISTING		RECESSED WALL MOUNTED FIXTURE		SECURITY SYSTEM 42" A.F.F.
EL	EXISTING LOCATION, NEW FIXTURE		CEILING MOUNTED FIXTURE		LUTRON LV WALL SWITCH 42" A.F.F.
FL	FLUORESCENT		PENDANT FIXTURE		WALL SWITCH W/ DIMMER CONTROL 42" A.F.F.
WP	WATERPROOF		STRIP LIGHTING		3 WAY WALL SWITCH 42" A.F.F.
ADJ	ADJUSTABLE		FLUORESCENT SURFACE FIXTURE		4 WAY WALL SWITCH 42" A.F.F.
HE	HIGH EFFICIENCY		UPPER CABINET, UNDER CABINET & COVER LIGHT		DUPLEX OUTLET 12" A.F.F.
GFI	GROUND FAULT INTERRUPTER		UNDER CABINET LIGHT		QUAD OUTLET 12" A.F.F.
AFI	ARC FAULT INTERRUPTER		TRACK LIGHTING		FLOOR OUTLET (FLUSH MOUNT)
	EXHAUST FAN-ENERGY STAR COMPLIANT, 110CFM, 1.0 SONE MAX. SOUND, HUMIDISTAT CONTROLLED, DUCTED TO EXTERIOR (ALL FLOORS)		EXTERIOR LANDSCAPE LIGHTING		GAS LINE 12" A.F.F.
	RECESSED DOWNLIGHT		CABLE TV 12" A.F.F.		HOSE BIB 12" A.F.F.
	RECESSED UPLIGHT		TELEPHONE 12" A.F.F.		120-VOLT HARD WIRED & INTERCONNECTED SMOKE DETECTOR (WITH 9-VOLT BATTERY BACK-UP)
	EMERGENCY LIGHT WITH BACK-UP BATTERY		DATA CABLE (INTERNET) 12" A.F.F.		INTERCONNECTED HEAT DETECTOR RATED 190 F OR ABOVE
	DIRECTIONAL RECESSED DOWNLIGHT		SATELLITE 12" A.F.F.		HARD WIRED & INTERCONNECTED CARBON MONOXIDE ALARM (WITH 9-VOLT BATTERY BACK-UP)
	WALL SCONCE		COM (CAT6) (NETWORK) 12" A.F.F.		

1 FIRST FLOOR POWER & SIGNAL PLAN
1/4"=1'-0"

NOTE:
CAPPED ABANDON WATER
& ELECTRICAL LINES

LEGEND

DENOTES POTENTIAL SOFFIT AREAS. MECHANICAL SUB-CONTRACTORS TO CONFIRM SIZE & LOCATION OF DUCTING PRIOR TO FRAMING.

RA RETURN AIR

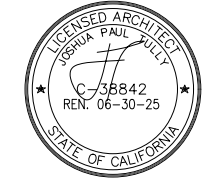
SA SUPPLY AIR WALL REGISTER

ALL MECHANICAL SHAFT TO BE 1-HOUR FIRE RESISTANCE ASSEMBLIES

josh tully
architecture

703 pier ave. suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@jostullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS SET FORTH ON THIS SHEET AND ALL COPYRIGHTS THEREIN ARE, AND SHALL REMAIN THE PROPERTY OF JOSH TULLY ARCHITECTURE, INC. USE OF THIS DRAWING IS LIMITED TO A ONE-TIME USE ON THE SPECIFIC PROJECT AND FOR THE SPECIFIC PERSON(S) NAMED HEREON. ANY OTHER USE OR REUSE OF SAID DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOSH TULLY ARCHITECTURE, INC.



GRAY
RESIDENCE
New SFR

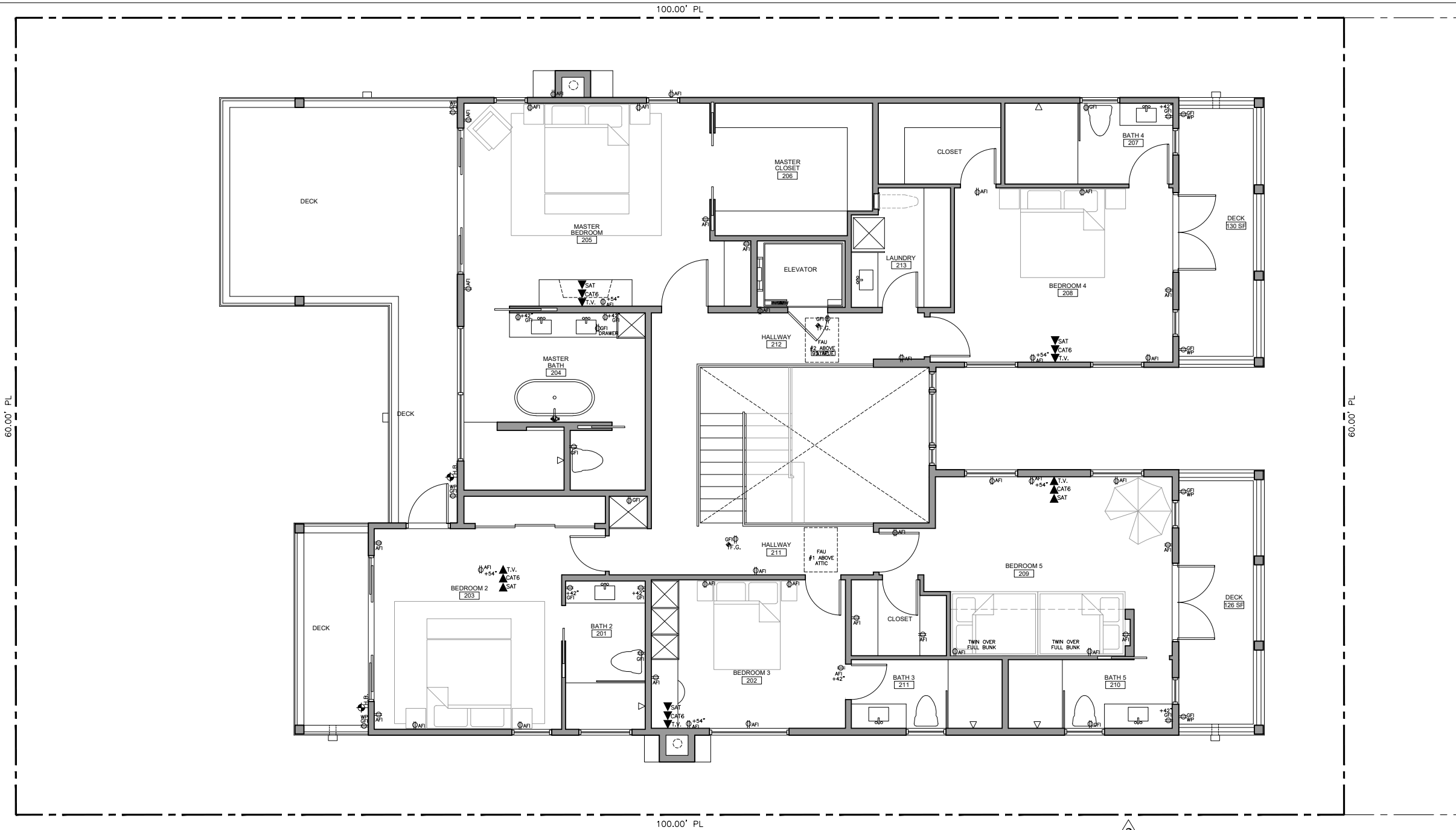
Project Name :
Project Address : 415 North Star Lane
Newport Beach, CA 92660

Revisions :		
No.	Date	Description
1	03.24.25	New Bldg Submittal

Sheet Title :
POWER, SIGNAL
& MECHANICAL
PLAN

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

Sheet Number :



1 SECOND FLOOR POWER & SIGNAL PLAN
1/4"=1'-0"

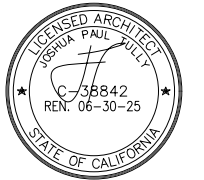
NOTE:
CAPPED ABANDON WATER
& ELECTRICAL LINES

SEE SHEET A2.5 FOR
LEGEND & SYMBOLS

josh tully
architecture

703 pier ave. suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@jostullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS
SET FORTH ON THIS SHEET AND
ALL COPYRIGHTS THEREIN ARE,
AND SHALL REMAIN THE PROPERTY
OF JOSH TULLY ARCHITECTURE,
INC. USE OF THIS DRAWING IS
LIMITED TO A ONE-TIME USE ON
THE SPECIFIC PROJECT AND FOR
THE SPECIFIC PERSON(S) NAMED
HEREON. ANY OTHER USE OR
REUSE OF SAID DRAWINGS IS
STRICTLY PROHIBITED WITHOUT THE
EXPRESS WRITTEN PERMISSION OF
JOSH TULLY ARCHITECTURE, INC.



GRAY
RESIDENCE
New SFR

415 North Star Lane
Newport Beach, CA 92660

Project Name :

Project Address :

Revisions :

No.	Date	Description
1	03.24.25	New Bldg Submittal

Sheet Title :

POWER, SIGNAL
& MECHANICAL
PLAN

A.P.N.: 117-711-13

Scale: 1/4" = 1'-0"

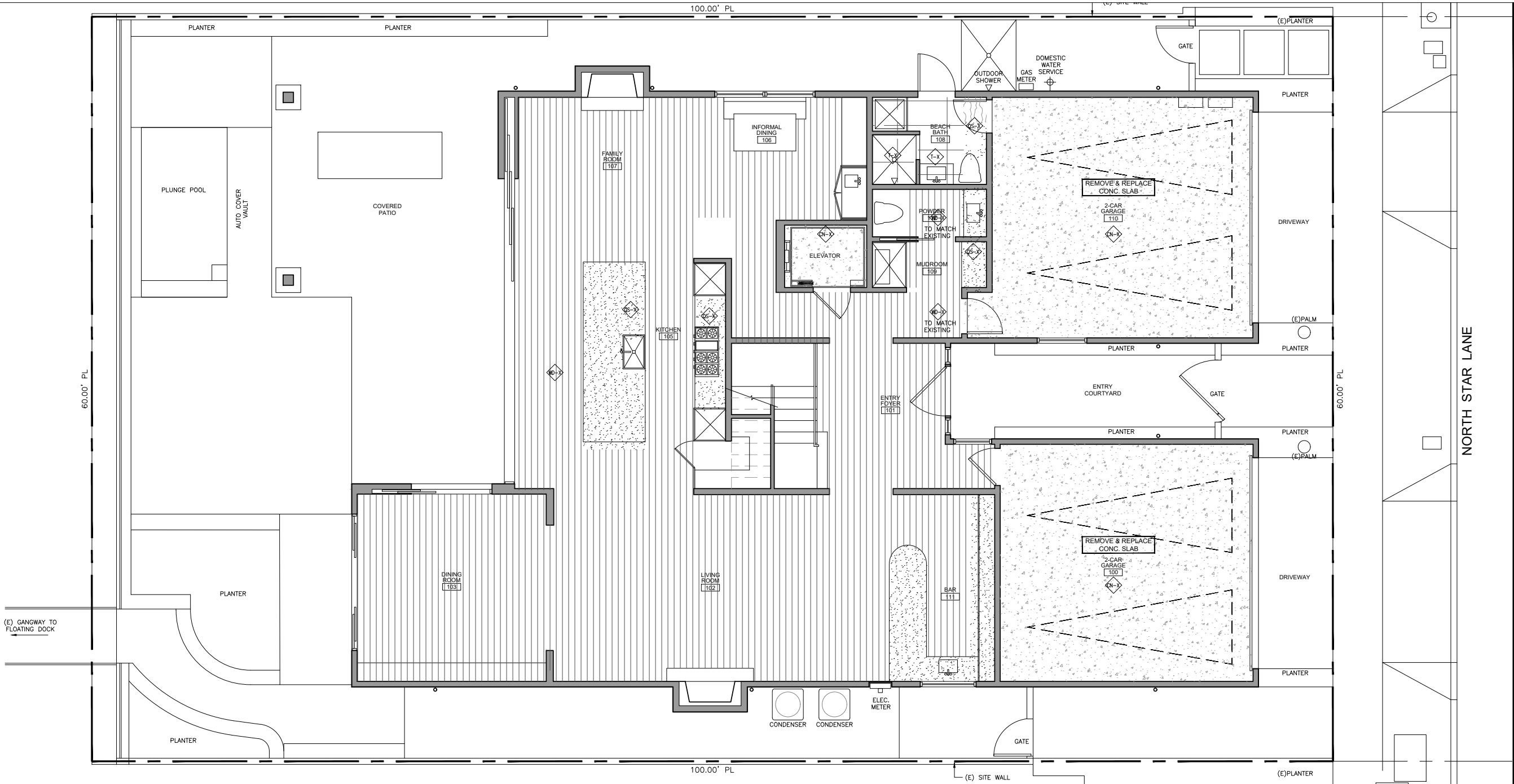
Issue Date: 03.24.2025

Drawn: JPT Checked:

Sheet Number :

A-2.6

EVENING STAR BAY



1 FIRST FLOOR FINISH PLAN
1/4" = 1'-0"

2

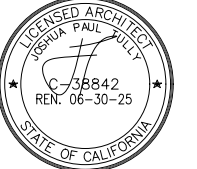
FLOOR FINISH LEGEND	
	LINOLEUM FLOOR
	CONCRETE SLAB WITH INTEGRAL COLOR AND PRESSURE WASH FINISH
	3/4" TILE FINISH OVER 1/2" FLOAT BED
	3/4" HARDWOOD FLOORING
	WALL TO WALL CARPET
	STONE, QUARTZ OR PLASTER SURFACE
	WOOD SURFACE
	GLASS SURFACE

STONE WALL FINISH LEGEND	
	INDICATES LOCATION OF INTERIOR/ EXTERIOR STONE WALL FINISH
	INTERIOR ELEVATION TAG FOR REFERENCE OF WALL FINISH MATERIALS

josh tully
architecture

703 pier ave, suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@joshtullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS SET FORTH ON THIS SHEET AND ALL COPYRIGHTS THEREIN ARE, AND SHALL REMAIN THE PROPERTY OF JOSH TULLY ARCHITECTURE, INC. USE OF THIS DRAWING IS LIMITED TO A ONE-TIME USE ON THE SPECIFIC PROJECT AND FOR THE SPECIFIC PERSON(S) NAMED HEREON. ANY OTHER USE OR REUSE OF SAID DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOSH TULLY ARCHITECTURE, INC.



GRAY
RESIDENCE
New SFR

Project Address : 415 North Star Lane
Newport Beach, CA 92660

Project Name :

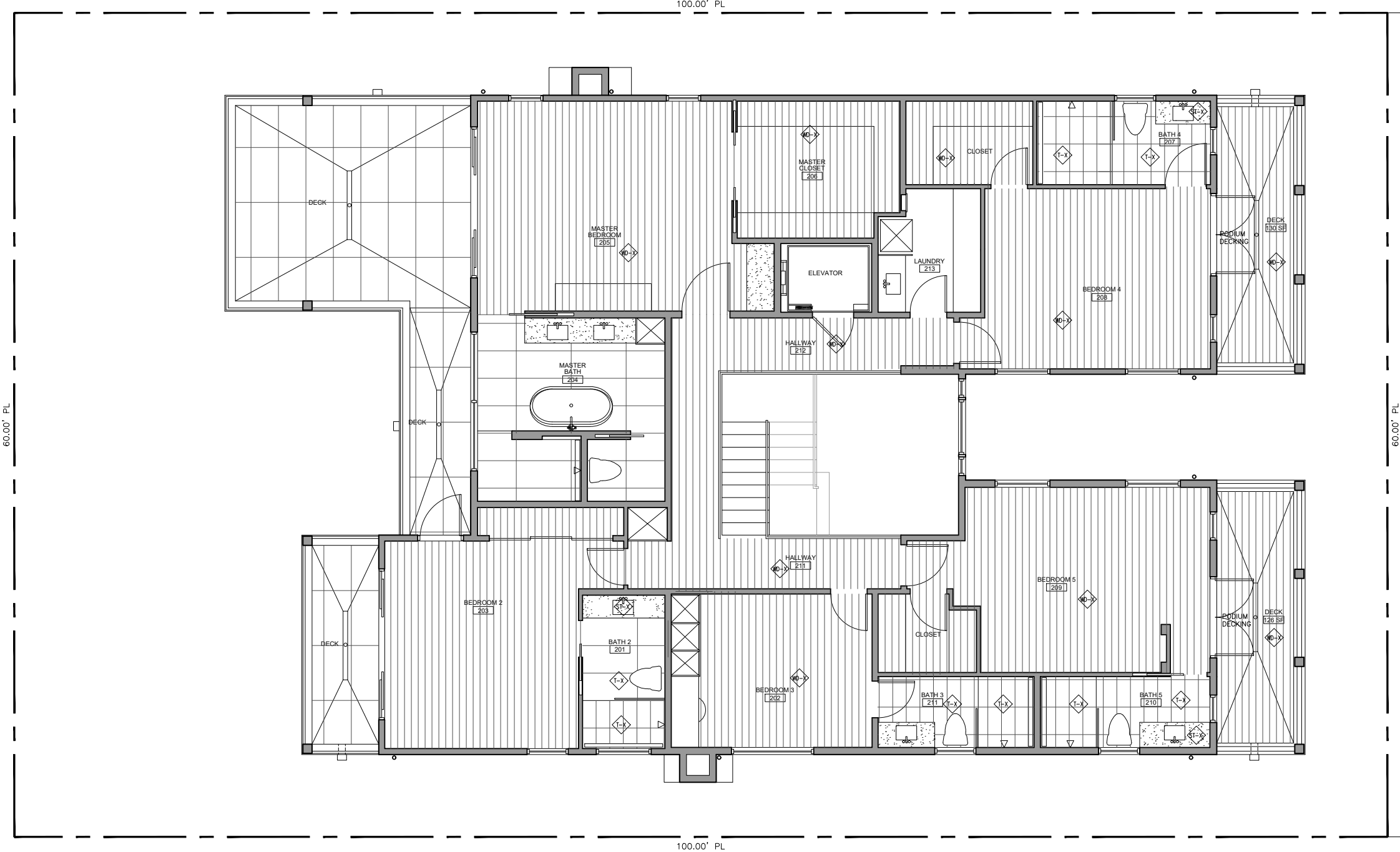
No.	Date	Description
1	03.24.25	New Bldg Submittal

Sheet Title :
FINISH PLAN

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

Sheet Number :

A-2.7



1 SECOND FLOOR FINISH PLAN
1/4" = 1'-0"

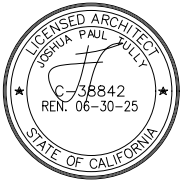
FLOOR FINISH LEGEND	
	LINOLEUM FLOOR
	CONCRETE SLAB WITH INTEGRAL COLOR AND PRESSURE WASH FINISH
	3/4" TILE FINISH OVER 1/4" FLOAT BED
	3/4" HARDWOOD FLOORING
	WALL TO WALL CARPET
	STONE, QUARTZ OR PLASTER SURFACE
	WOOD SURFACE
	GLASS SURFACE

STONE WALL FINISH LEGEND	
	INDICATES LOCATION OF INTERIOR/ EXTERIOR STONE WALL FINISH
	INTERIOR ELEVATION TAG FOR REFERENCE OF WALL FINISH MATERIALS

josh tully
architecture

703 pier ave. suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@joshullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS SET FORTH ON THIS SHEET AND ALL COPYRIGHTS THEREIN ARE, AND SHALL REMAIN THE PROPERTY OF JOSH TULLY ARCHITECTURE, INC. USE OF THIS DRAWING IS LIMITED TO A ONE-TIME USE ON THE SPECIFIC PROJECT AND FOR THE SPECIFIC PERSON(S) NAMED HEREON. ANY OTHER USE OR REUSE OF SAID DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOSH TULLY ARCHITECTURE, INC.



GRAY
RESIDENCE
New SFR

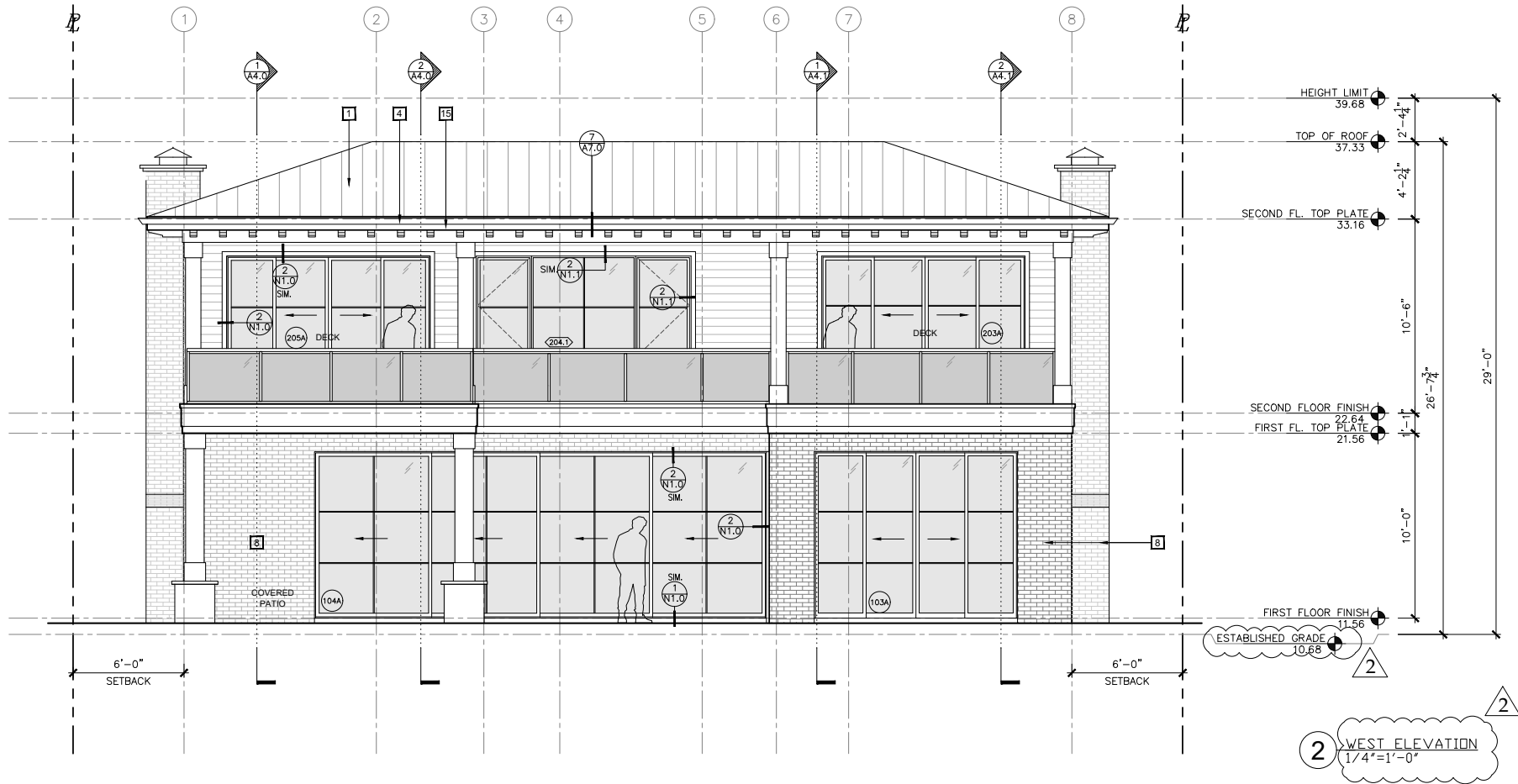
Project Name :
Project Address : 415 North Star Lane
Newport Beach, CA 92660

Revisions :		
No.	Date	Description
1	03.24.25	New Bldg Submittal

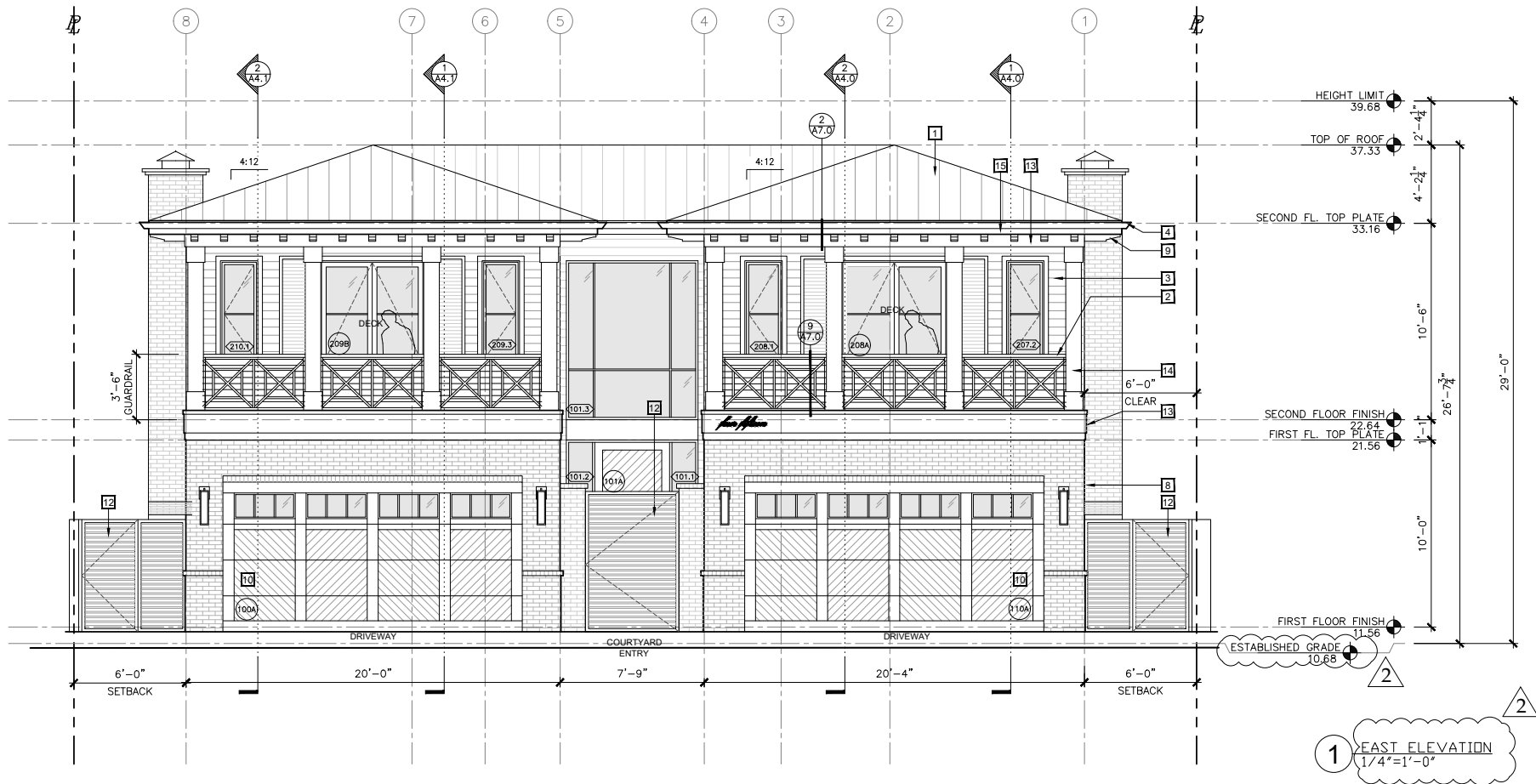
Sheet Title :
FINISH PLAN

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

Sheet Number :



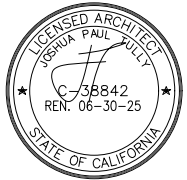
KEY NOTES LEGEND:	
1	STANDING SEAM METAL ROOF
2	42" GUARDRAIL
3	PAINTED COMPOSITE SIDING
4	SURFACE MOUNTED GUTTER
5	ALUMINUM CLAD DOORS & WINDOWS
6	NOT USED
7	NOT USED
8	PAINTED BRICK VENEER
9	PAINTED RAFTER TAILS
10	GARAGE DOOR
11	NOT USED
12	WOOD GATE
13	PAINTED COMPOSITE TRIM
14	PAINTED COMPOSITE POST WRAP
15	PAINTED FASCIA
16	PAINTED COMPOSITE PANELING
17	OVERFLOW SCUPPER
18	NOT USED
19	NOT USED
20	NOT USED



josh tully
architecture

703 pier ave. suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@jostullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS
SET FORTH ON THIS SHEET AND
ALL COPYRIGHTS THEREIN ARE,
AND SHALL REMAIN THE PROPERTY
OF JOSH TULLY ARCHITECTURE,
INC. USE OF THIS DRAWING IS
LIMITED TO A ONE-TIME USE ON
THE SPECIFIC PROJECT AND FOR
THE SPECIFIC PERSON(S) NAMED
HEREON. ANY OTHER USE OR
REUSE OF SAID DRAWINGS IS
STRICTLY PROHIBITED WITHOUT THE
EXPRESS WRITTEN PERMISSION OF
JOSH TULLY ARCHITECTURE, INC.



GRAY
RESIDENCE
New SFR
415 North Star Lane
Newport Beach, CA 92660

Project Name :

Project Address :

Revisions :

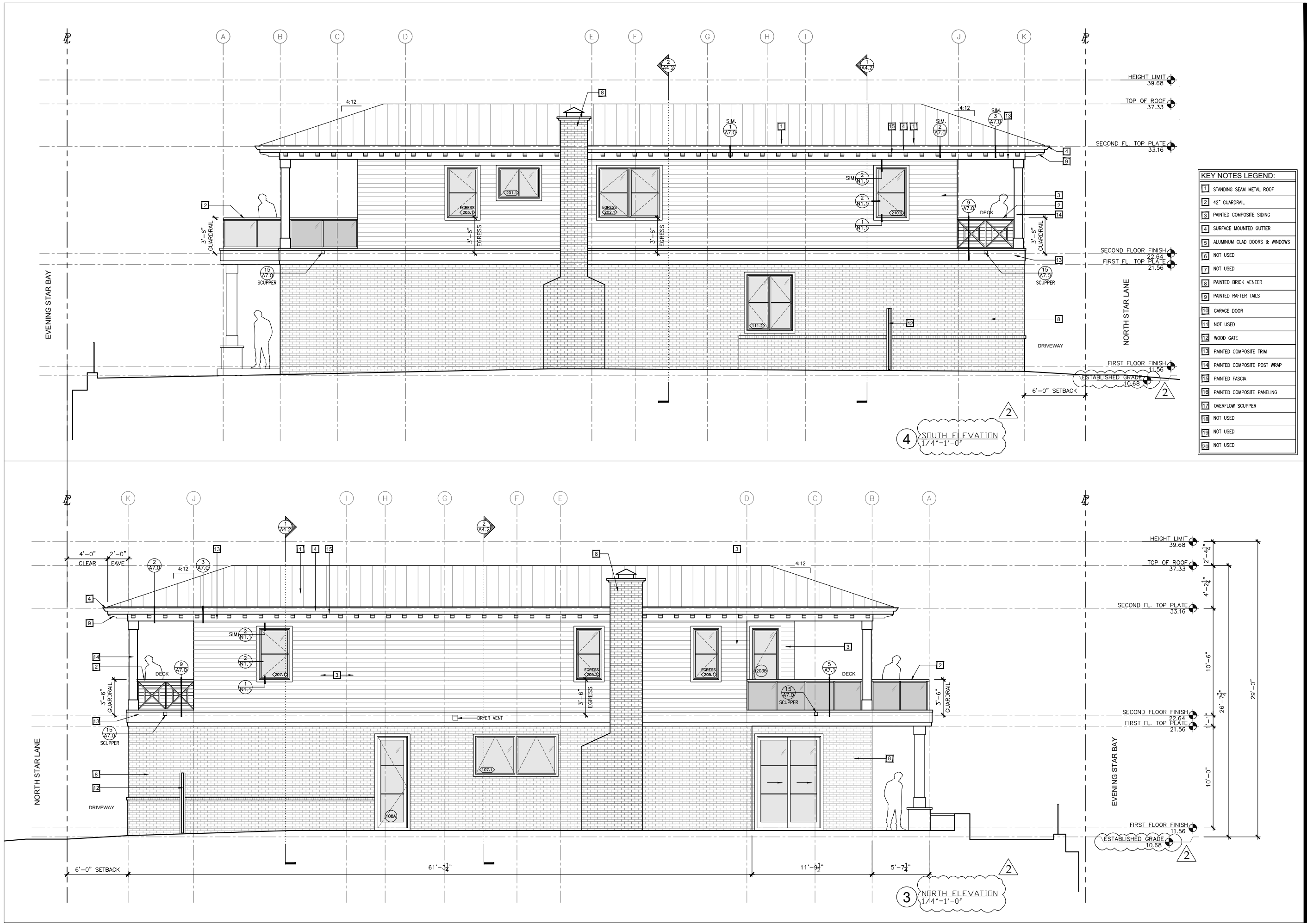
No.	Date	Description
1	03.24.25	New Bldg Submittal

Sheet Title :
EXTERIOR
ELEVATIONS

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

Sheet Number :

A-3.0



KEY NOTES LEGEND:	
1	STANDING SEAM METAL ROOF
2	42" GUARDRAIL
3	PAINTED COMPOSITE SIDING
4	SURFACE MOUNTED GUTTER
5	ALUMINUM CLAD DOORS & WINDOWS
6	NOT USED
7	NOT USED
8	PAINTED BRICK VENEER
9	PAINTED RAFTER TAILS
10	GARAGE DOOR
11	NOT USED
12	WOOD GATE
13	PAINTED COMPOSITE TRIM
14	PAINTED COMPOSITE POST WRAP
15	PAINTED FASCIA
16	PAINTED COMPOSITE PANELING
17	OVERFLOW SCUPPER
18	NOT USED
19	NOT USED
20	NOT USED

josh tully
architecture

703 pier ave. suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@jostullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS SET FORTH ON THIS SHEET AND ALL COPYRIGHTS THEREIN ARE, AND SHALL REMAIN THE PROPERTY OF JOSH TULLY ARCHITECTURE, INC. USE OF THIS DRAWING IS LIMITED TO A ONE-TIME USE ON THE SPECIFIC PROJECT AND FOR THE SPECIFIC PERSON(S) NAMED HEREON. ANY OTHER USE OR REUSE OF SAID DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOSH TULLY ARCHITECTURE, INC.



GRAY
RESIDENCE
New SFR

Project Address : 415 North Star Lane
Newport Beach, CA 92660

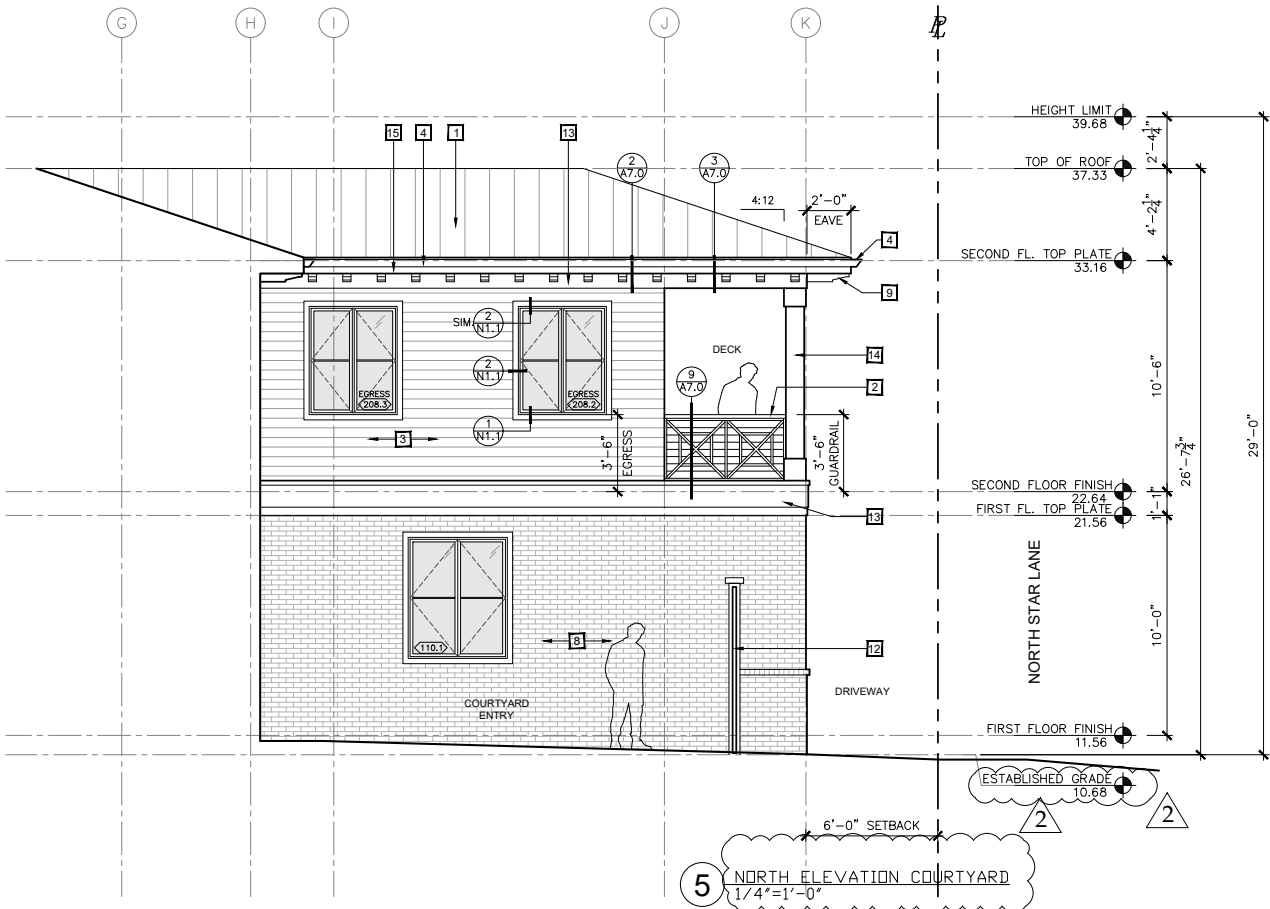
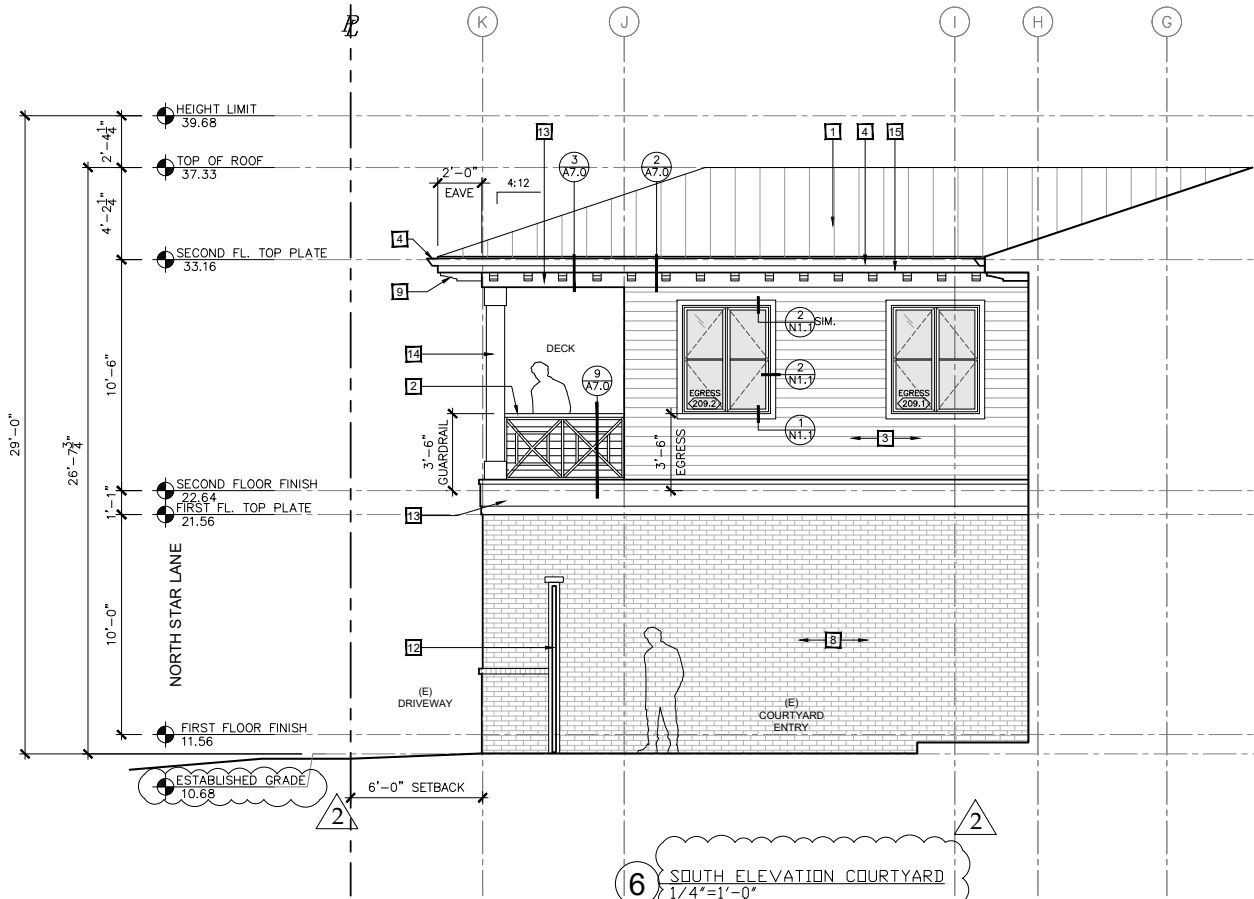
Project Name :
Project Address :

No.	Date	Description
1	03.24.25	New Bldg Submittal

Sheet Title :
EXTERIOR
ELEVATIONS

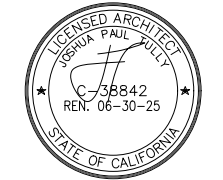
A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

Sheet Number :



KEY NOTES LEGEND:	
1	STANDING SEAM METAL ROOF
2	42" GUARDRAIL
3	PAINTED COMPOSITE SIDING
4	SURFACE MOUNTED GUTTER
5	ALUMINUM CLAD DOORS & WINDOWS
6	NOT USED
7	NOT USED
8	PAINTED BRICK VENEER
9	PAINTED RAFTER TAILS
10	GARAGE DOOR
11	NOT USED
12	WOOD GATE
13	PAINTED COMPOSITE TRIM
14	PAINTED COMPOSITE POST WRAP
15	PAINTED FASCIA
16	PAINTED COMPOSITE PANELING
17	OVERFLOW SCUPPER
18	NOT USED
19	NOT USED
20	NOT USED

THE DRAWINGS AND DESCRIPTIONS SET FORTH ON THIS SHEET AND ALL COPYRIGHTS THEREIN ARE, AND SHALL REMAIN THE PROPERTY OF JOSH TULLY ARCHITECTURE, INC. USE OF THIS DRAWING IS LIMITED TO A ONE-TIME USE ON THE SPECIFIC PROJECT AND FOR THE SPECIFIC PERSON(S) NAMED HEREON. ANY OTHER USE OR REUSE OF SAID DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOSH TULLY ARCHITECTURE, INC.



GRAY
RESIDENCE
New SFR

Project Name :

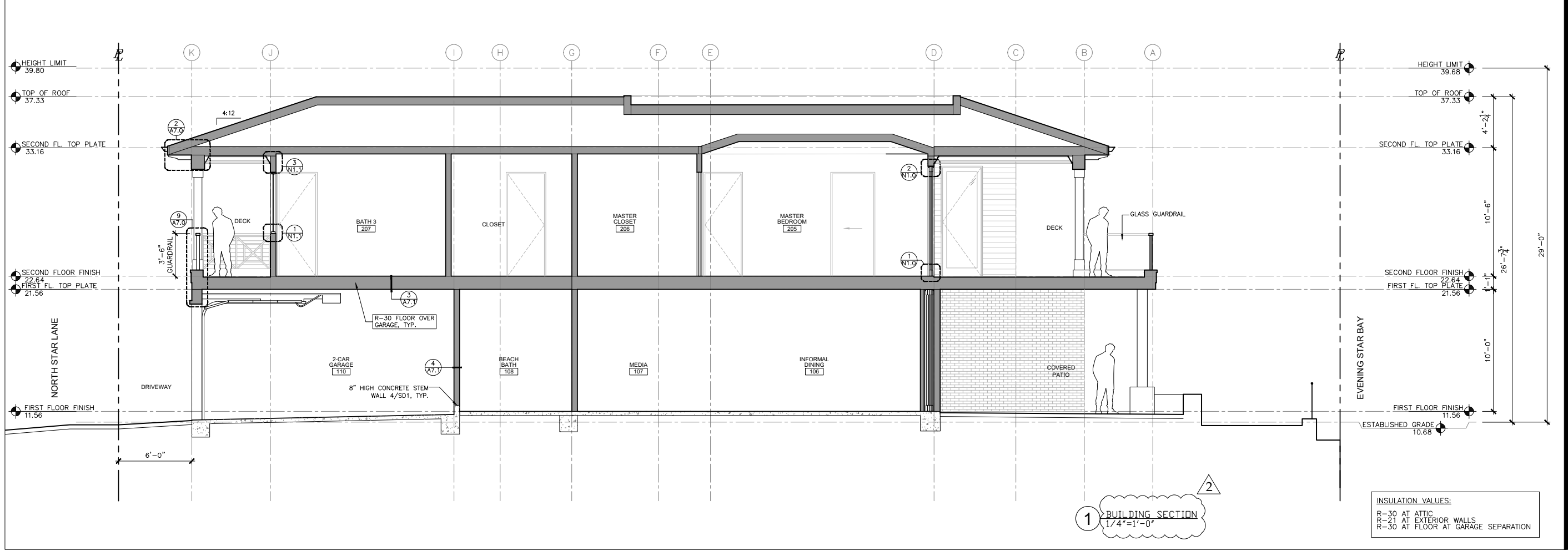
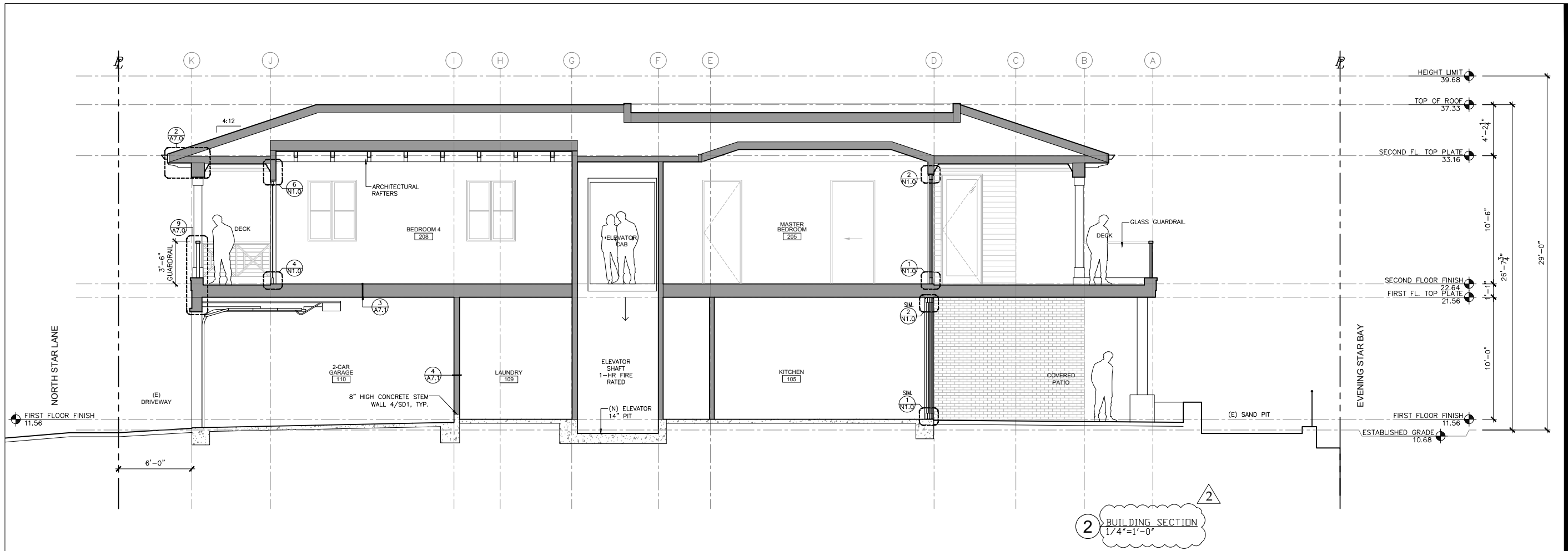
Project Address : 415 North Star Lane
Newport Beach, CA 92660

Revisions :		
No.	Date	Description
1	03.24.25	New Bldg Submittal

Sheet Title :
EXTERIOR
ELEVATIONS

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

Sheet Number :

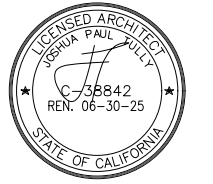


INSULATION VALUES:
R-30 AT ATTIC
R-21 AT EXTERIOR WALLS
R-30 AT FLOOR AT GARAGE SEPARATION

josh tully
architecture

703 pier ave. suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@jostullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS SET FORTH ON THIS SHEET AND ALL COPYRIGHTS THEREIN ARE, AND SHALL REMAIN THE PROPERTY OF JOSH TULLY ARCHITECTURE, INC. USE OF THIS DRAWING IS LIMITED TO A ONE-TIME USE ON THE SPECIFIC PROJECT AND FOR THE SPECIFIC PERSON(S) NAMED HEREON. ANY OTHER USE OR REUSE OF SAID DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOSH TULLY ARCHITECTURE, INC.



GRAY
RESIDENCE
New SFR

415 North Star Lane
Newport Beach, CA 92660

Project Name :
Project Address :

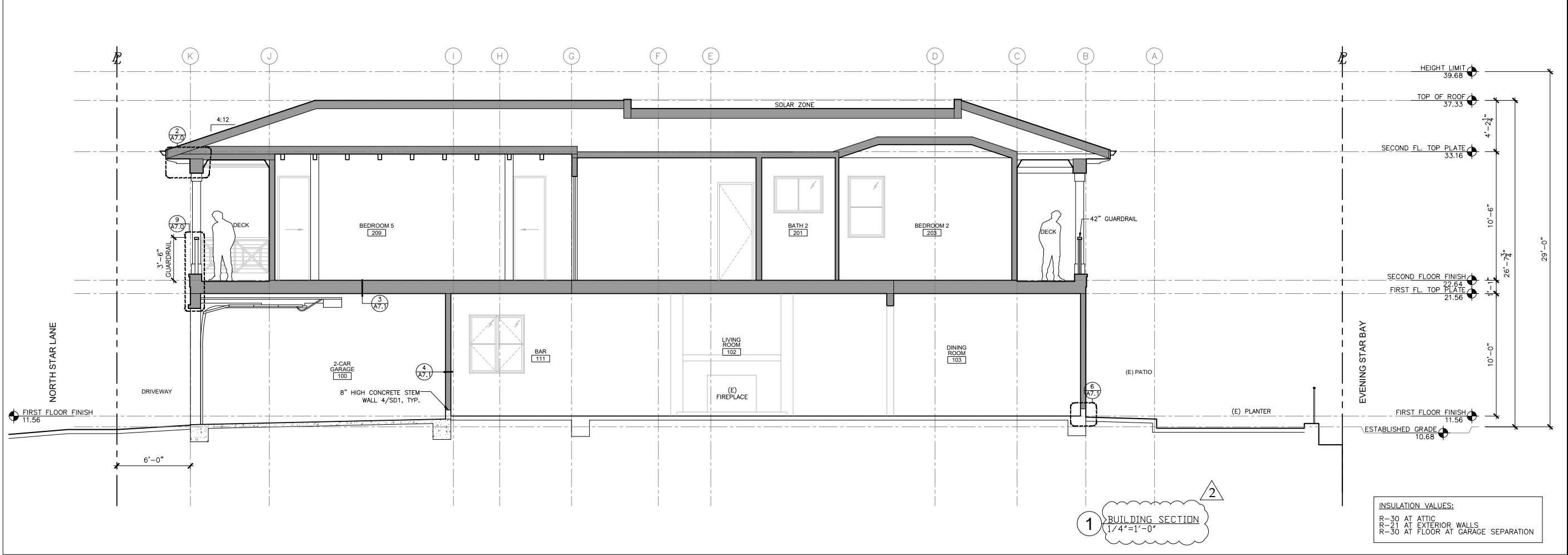
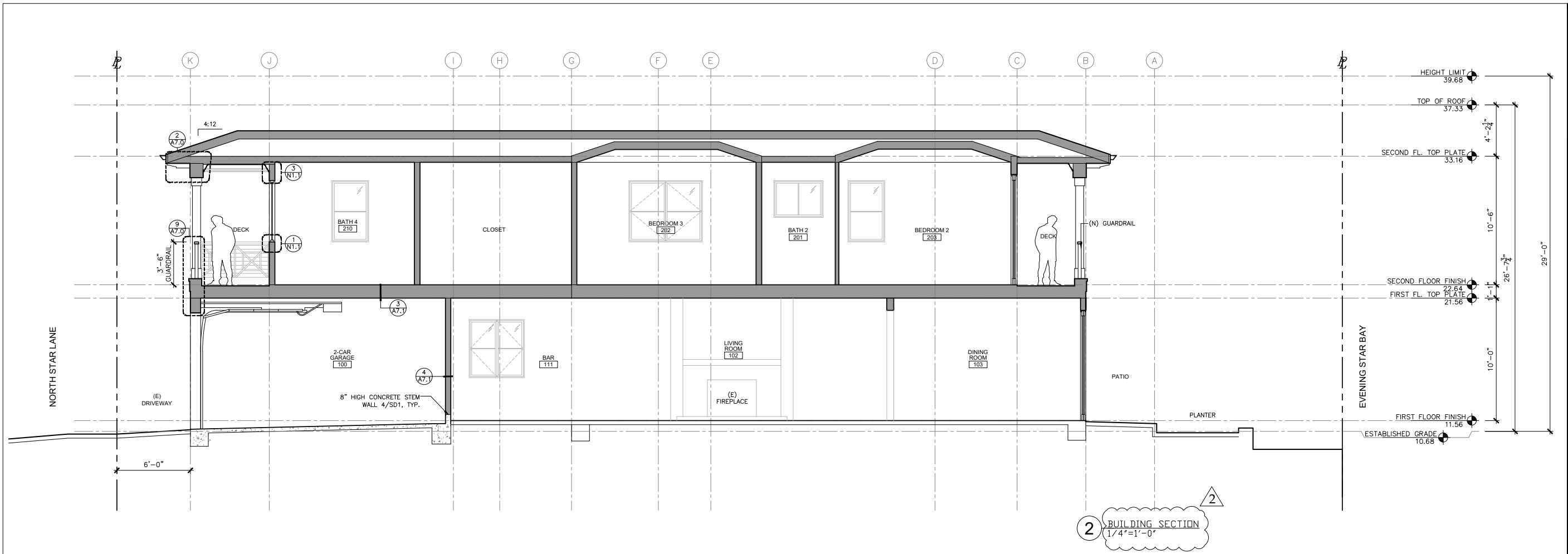
Revisions :		
No.	Date	Description
1	03.24.25	New Bldg Submittal

Sheet Title :
BUILDING
SECTIONS

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

Sheet Number :

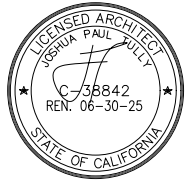
A-4.0



josh tully
architecture

703 pier ave, suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@joshullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS SET FORTH ON THIS SHEET AND ALL COPYRIGHTS THEREIN ARE, AND SHALL REMAIN THE PROPERTY OF JOSH TULLY ARCHITECTURE, INC. USE OF THIS DRAWING IS LIMITED TO A ONE-TIME USE ON THE SPECIFIC PROJECT AND FOR THE SPECIFIC PERSON(S) NAMED HEREON. ANY OTHER USE OR REUSE OF SAID DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOSH TULLY ARCHITECTURE, INC.



GRAY
RESIDENCE
New SFR

Project Name : 415 North Star Lane
Newport Beach, CA 92660

Project Address :

Revisions :

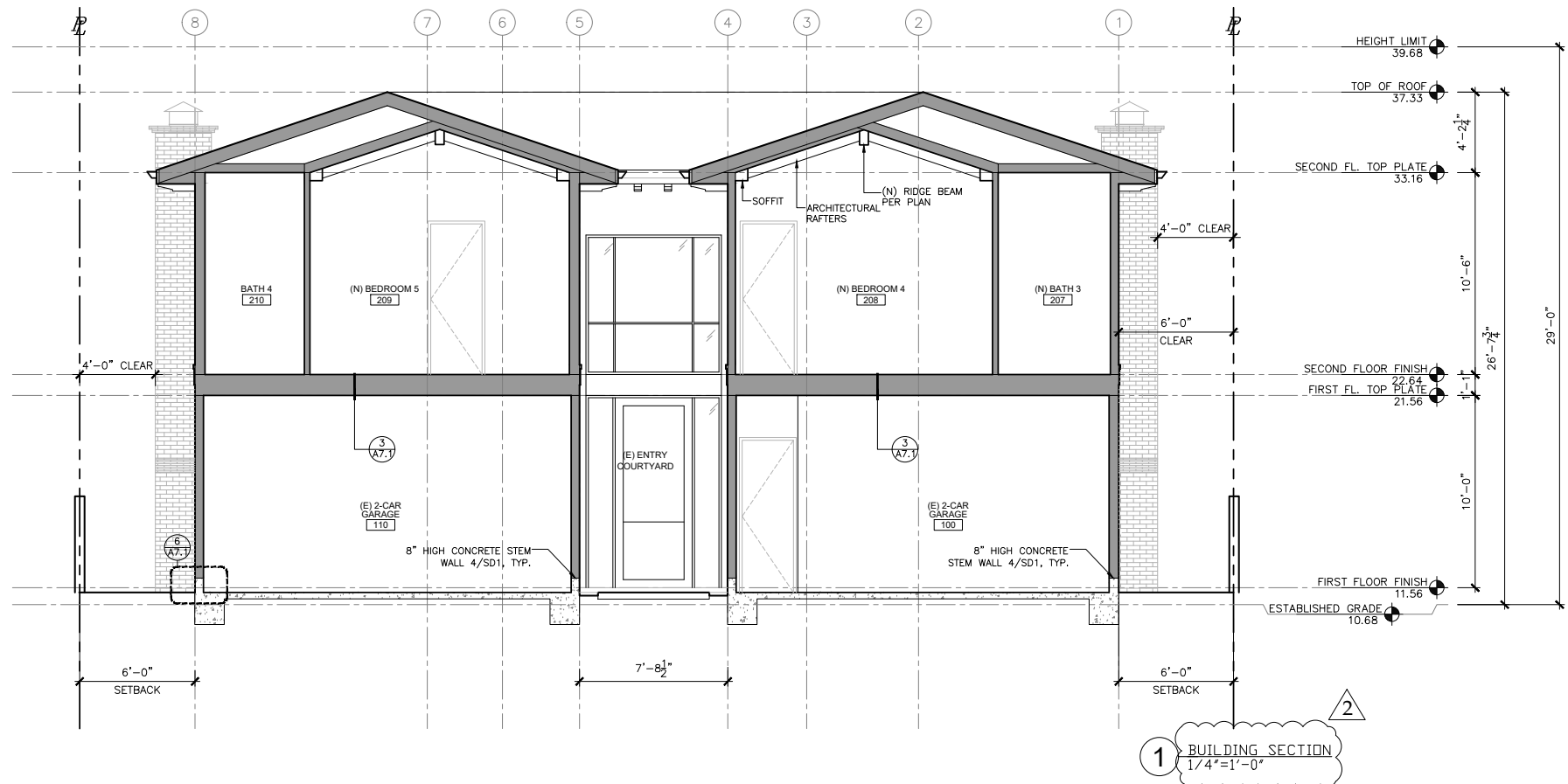
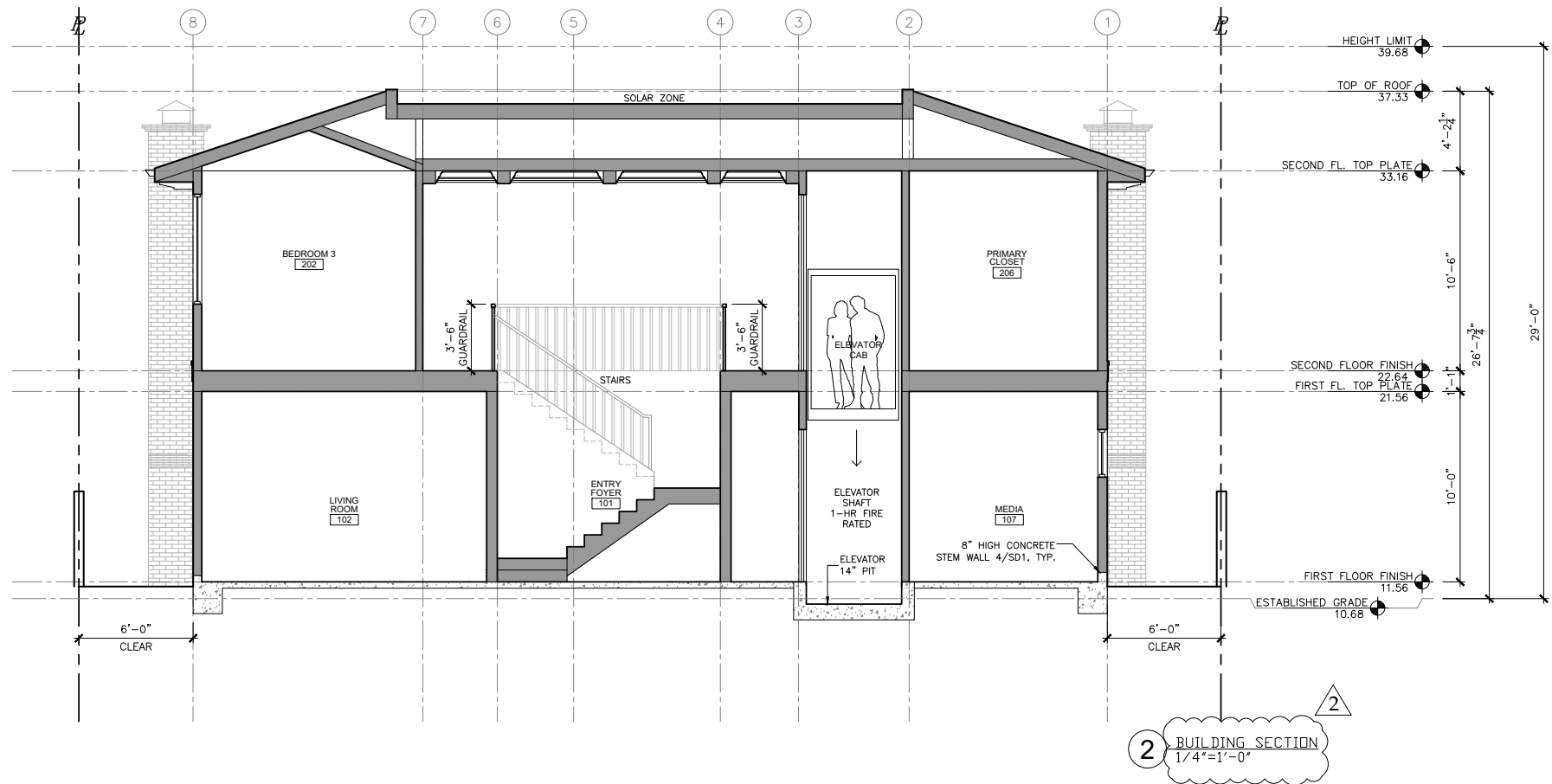
No.	Date	Description
1	03.24.25	New Bldg Submittal

Sheet Title :
BUILDING
SECTIONS

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

Sheet Number :

A-4.1

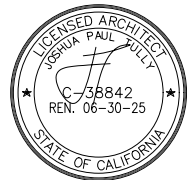


INSULATION VALUES:
R-30 AT ATTIC
R-21 AT EXTERIOR WALLS
R-30 AT FLOOR AT GARAGE SEPARATION

josh tully
architecture

703 pier ave, suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@joshullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS SET FORTH ON THIS SHEET AND ALL COPYRIGHTS THEREIN ARE, AND SHALL REMAIN THE PROPERTY OF JOSH TULLY ARCHITECTURE, INC. USE OF THIS DRAWING IS LIMITED TO A ONE-TIME USE ON THE SPECIFIC PROJECT AND FOR THE SPECIFIC PERSON(S) NAMED HEREON. ANY OTHER USE OR REUSE OF SAID DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOSH TULLY ARCHITECTURE, INC.



GRAY
RESIDENCE
New SFR
415 North Star Lane
Newport Beach, CA 92660

Project Name :
Project Address :

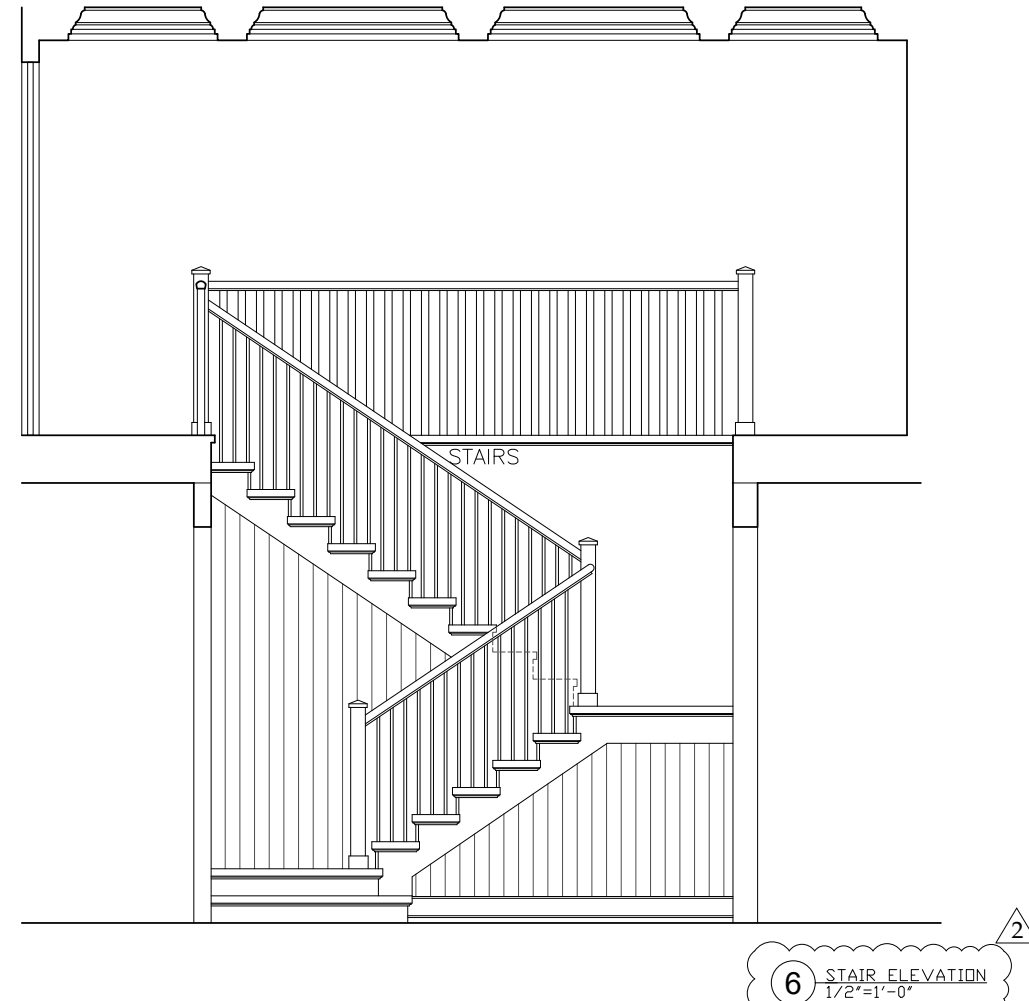
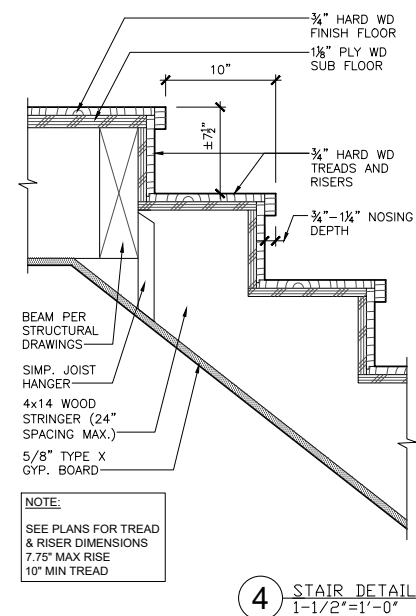
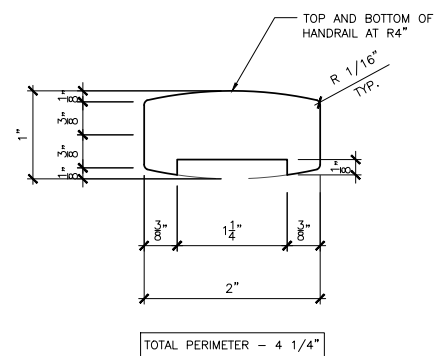
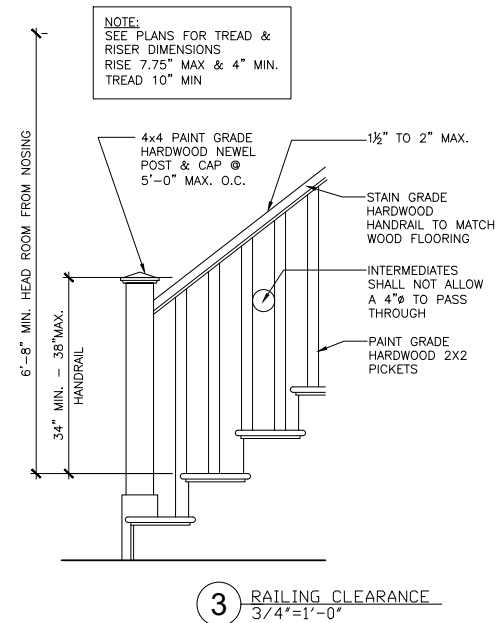
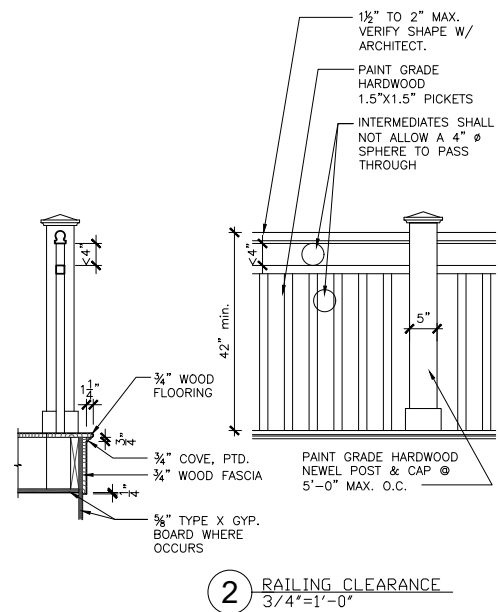
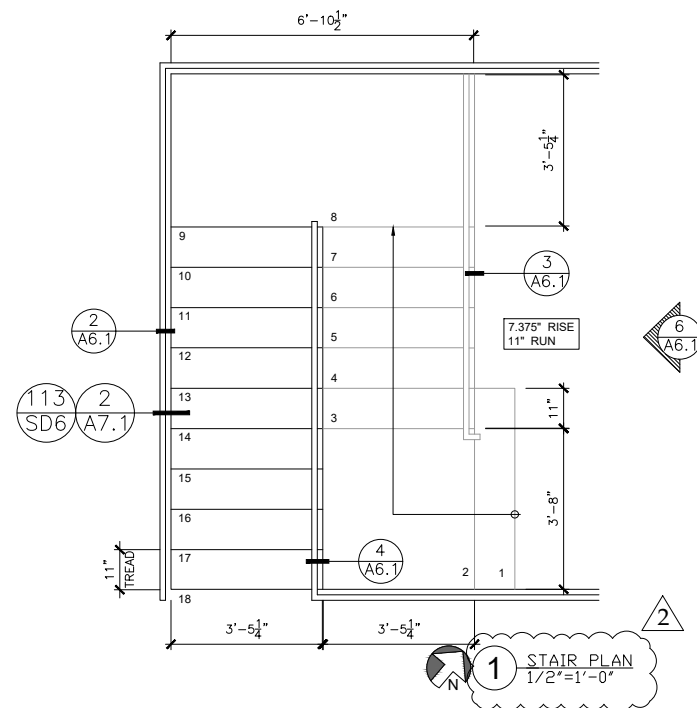
Revisions :
No. Date Description
1 03.24.25 New Bldg Submittal

Sheet Title :
BUILDING
SECTIONS

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

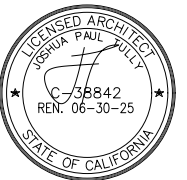
Sheet Number :

A-4.2

josh tully
architecture

703 pier ave. suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@joshtullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS SET FORTH ON THIS SHEET AND ALL COPYRIGHTS THEREIN ARE, AND SHALL REMAIN THE PROPERTY OF JOSH TUTTLE ARCHITECTURE, INC. USE OF THIS DRAWING IS LIMITED TO A ONE-TIME USE ON THE SPECIFIC PROJECT AND FOR THE SPECIFIC PERSON(S) NAMED HEREON. ANY OTHER USE OR REUSE OF SAID DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOSH TUTTLE ARCHITECTURE, INC.



**GRAY
RESIDENCE**
New SFR

**415 North Star Lane
Newport Beach, CA 92660**

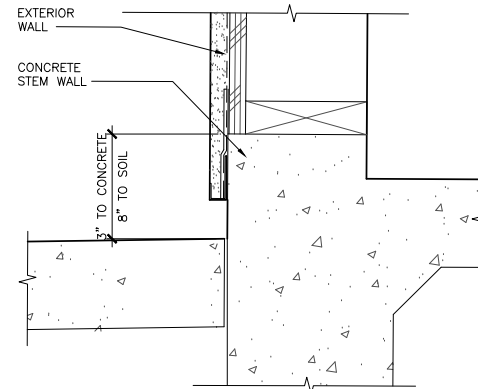
Revisions :
 No. Date Description
 1 03.24.25 New Bldg Submittal

Sheet Title :
ARCHITECTURAL
DETAILS -
STAIR

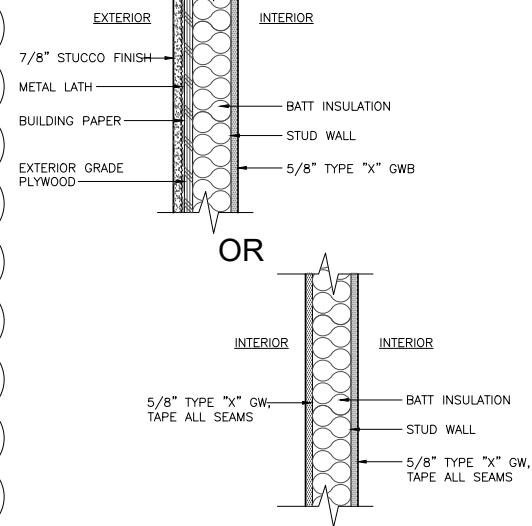
A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

Sheet Number :

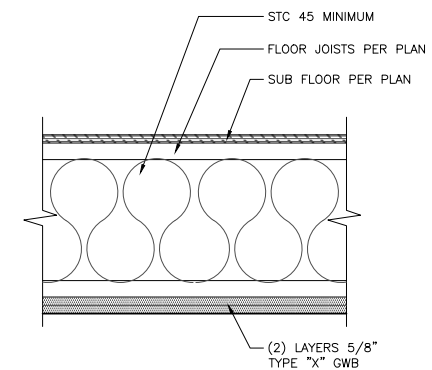
A-6.1



WOOD SILL DETAIL
3" = 1'-0"

$$\overline{3'' = 1'-0''}$$


1-HR FIRE RATED WALL SYSTEM
1 1/2" = 1'-0"

$$1\frac{1}{2}'' = 1'-0''$$


1HR FIRE RATED FLOOR SYSTEM
1 1/2" = 1'-0"

$$1\frac{1}{2}'' = 1'-0''$$

NOTE:
WALLS AND FLOORS SEPARATING UNITS
FROM EACH OTHER SHALL HAVE AIRBORNE
SOUND RATING OF STC 45 MINIMUM AND
SOUND RATING OF IIC45 MINIMUM
PER SECTION AK101.1

josh tully
architecture

703 pier ave. suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@joshtullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS SET FORTH ON THIS SHEET AND ALL COPYRIGHTS THEREIN ARE, AND SHALL REMAIN THE PROPERTY OF JOSH TULLY ARCHITECTURE, INC. USE OF THIS DRAWING IS LIMITED TO A ONE-TIME USE ON THE SPECIFIC PROJECT AND FOR THE SPECIFIC PERSON(S) NAMED HEREON. ANY OTHER USE OR REUSE OF SAID DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOSH TULLY ARCHITECTURE, INC.

**GRAY
RESIDENCE**
New SFR
: 415 North Star Lane
Newport Beach, CA 92660

Project Name :

Project Address :

Revisions :

No.	Date	Description
2	03.24.25	New Bldg Submittal

2 | 03.24.25 | New Bldg Submittal

Sheet Title :

ARCHITECTURAL
DETAILS

A.P.N.: 117-711-13

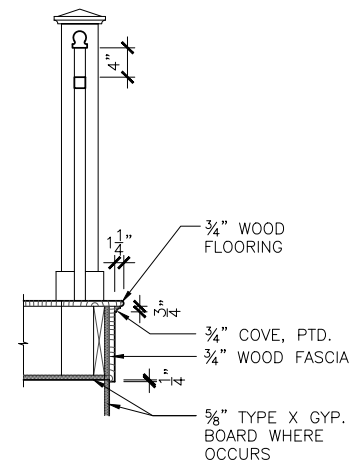
Scale: SEE DWGS

Issue Date: 03.24.2025

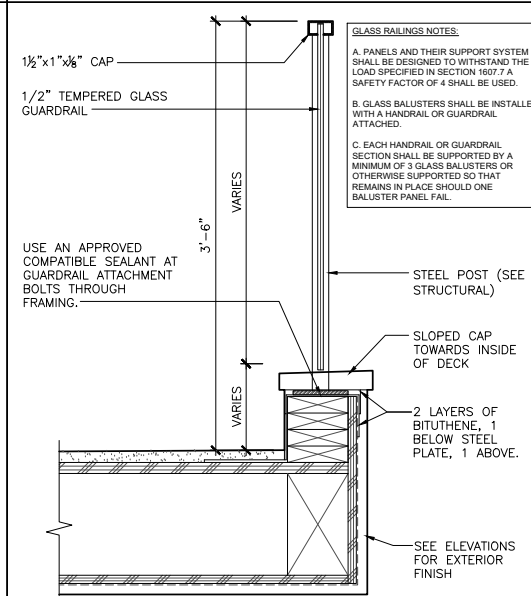
Drawn: JPT Checked:

Sheet Number :

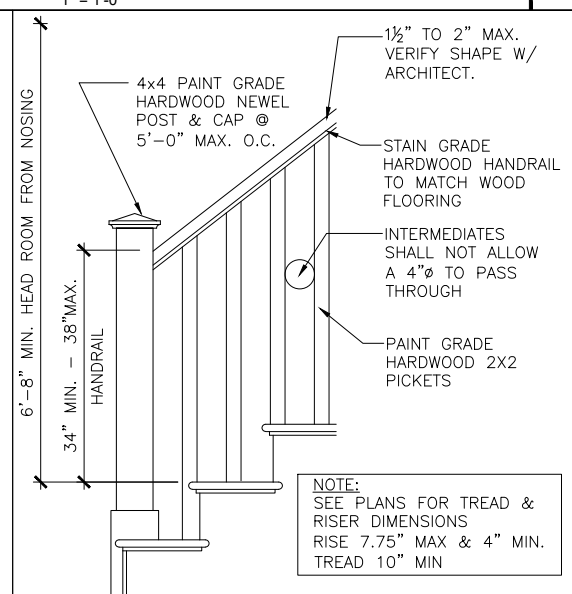
A-7.1



LANDING GUARDRAIL DETAIL

$$1'' = 1' - 0'$$


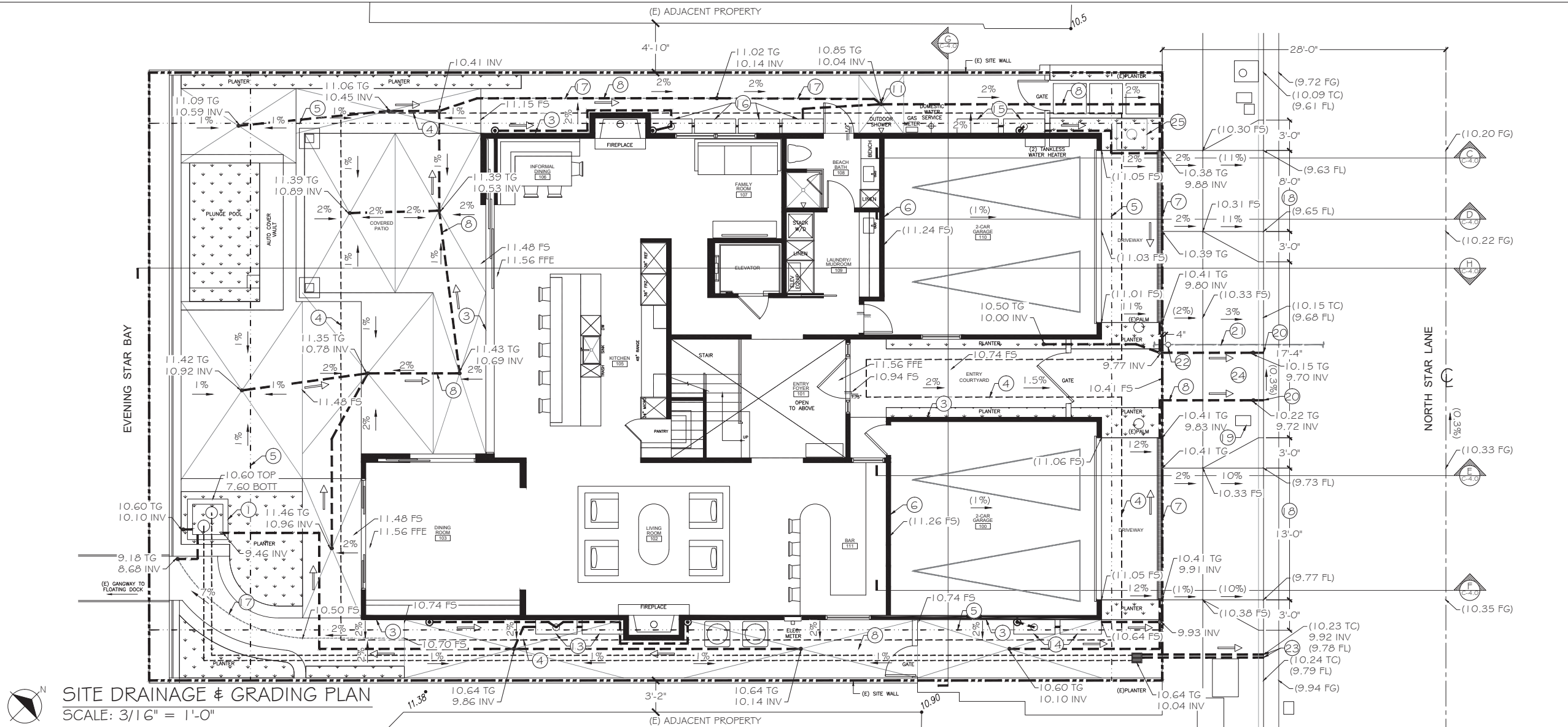
EXTERIOR GLASS GUARDRAIL

$$1\frac{1}{2}'' = 1'-0''$$


STAIR GUARDRAIL DETAIL

$$1'' = 1' - 0'$$

NOTE:
SEE PLANS FOR TREAD &
RISER DIMENSIONS
RISE 7.75" MAX & 4" MIN.
TREAD 10" MIN



SITE DRAINAGE & GRADING PLAN
SCALE: 3/16" = 1'-0"

SHEET INDEX	
C-1.0	DRAINAGE & GRADING PLAN
C-2.0	ROOF & DECK DRAINAGE PLAN
C-3.0	EROSION CONTROL PLAN
C-4.0	SECTIONS
C-5.0	DETAILS

PROPERTY INFORMATION
APN: 117-711-13
LOT 6, BLOCK B
TRACT NO. 345 I
M.B. 37-70
LATITUDE & LONGITUDE: 33.62449, -117.89523
PROPERTY TYPE: RESIDENTIAL
LOT SIZE: 6,000 SQ. FT OR 0.138 ACRES
SITE ADDRESS: 415 N STAR LANE,
NEWPORT BEACH, CA 92660

PROPERTY OWNER INFORMATION:
GORDON & KRISTEN GRAY
1324 BIENVENEDA AVE
PACIFIC PALISADES, CA 90272



VICINITY MAP
SCALE: NONE

- CONSTRUCTION NOTES**
- (2) ZOELLER SUMP PUMPS, MODEL 2C4, WITH CHECK & GATE VALES IN 36" SQUARE X 48" DEPTH PRECAST BASIN (OLDCASTLE OR SIMILAR). DRILL 1" HOLES IN BOTTOM OF BASIN (AT 8" ON CENTER IN EACH DIRECTION) AND PLACE 12" OF 3/4" GRAVEL (WRAPPED IN MIRAFI GEOTEXTILE MATERIAL) BELOW TANK FOR INFILTRATION OF NUSSANCE WATER. DESIGN OF THE SUMP POWER SUPPLY, ALARMS, CONTROL PANEL, ETC. BY OTHERS. CONTRACTOR TO COORDINATE WITH MEP ENGINEER, ARCHITECT, AND MANUFACTURER. SEE DETAIL 'B' ON SHEET C-4.0 FOR MORE INFORMATION.
 - (3) PROPOSED BUILDING OUTLINE.
 - (4) PROPOSED ROOF OUTLINE.
 - (5) SETBACK LINE.
 - (6) BACK OF GARAGE.
 - (7) PROPOSED 6" TRENCH DRAIN, INVERT ELEVATION PER PLANS. SEE DETAILS '4 & 5' ON SHEET C-5.0.
 - (8) PROPOSED 4" SCH. 40 (OR SDR 35) PVC SITE DRAINAGE LINE.
 - (9) PROPOSED CURB DRAIN, PER CITY OF NEWPORT BEACH STANDARDS.
 - (10) EXISTING AREA DRAIN TO BE RELOCATED FOR OUTDOOR SHOWER PER ARCHITECTURAL PLANS.
 - (11) OUTDOOR SHOWER PER ARCHITECTURAL PLANS.
 - (13) PROVIDE (2) 130-GALLON BUSHMAN SLIMLINE TANKS FOR ROOF AREA 'D' (OR SIMILAR RAIN BARRELS WITH A MINIMUM OF 260-GALLON CAPACITY). SEE DETAIL 'A' ON SHEET C-4.0.
 - (14) PROVIDE (2) 130-GALLON BUSHMAN SLIMLINE TANKS FOR ROOF AREA 'C' (OR SIMILAR RAIN BARRELS WITH A MINIMUM OF 251-GALLON CAPACITY). SEE DETAIL 'A' ON SHEET C-4.0.
 - (15) PROVIDE (2) 130-GALLON BUSHMAN SLIMLINE TANKS FOR ROOF AREA 'B' (OR SIMILAR RAIN BARRELS WITH A MINIMUM OF 255-GALLON CAPACITY). SEE DETAIL 'A' ON SHEET C-4.0.

- (16) PROVIDE (4) 130-GALLON BUSHMAN SLIMLINE TANKS FOR ROOF AREA 'A' (OR SIMILAR RAIN BARRELS WITH A MINIMUM OF 515-GALLON CAPACITY). SEE DETAIL 'A' ON SHEET C-4.0.
- (17) PROPOSED SIDE YARD SWALE. SLOPE PER PLANS.
- (18) RECONSTRUCTED DRIVEWAYS PER CITY STANDARD PLAN 162.
- (19) EXISTING WATER METER TO REMAIN, CONTRACTOR TO PROTECT IN PLACE.
- (20) EXISTING CURB DRAIN TO REMAIN, CONTRACTOR TO PROTECT IN PLACE.
- (21) EXISTING SEWER LATERAL TO REMAIN, PER AVAILABLE CITY INFORMATION. CONTRACTOR TO PROTECT IN PLACE.
- (22) PROPOSED SEWER CLEANOUT, PER CITY STANDARD PLAN 406. CONTRACTOR TO VERIFY LOCATION IN FIELD.
- (23) PROPOSED CURB DRAIN, PER CITY STANDARD PLAN 184.
- (24) REMOVE EXISTING STONES AND ROCK FROM RIGHT-OF-WAY AND INSTALL LANDSCAPING.
- (25) PROPOSED 36" BOX STREET TREE LOCATION, PER ARCHITECTURAL PLANS.

ROUGH GRADING CALCULATIONS		
EARTHWORK QUANTITIES	CUT (CY)	FILL (CY)
ROUGH GRADING	-3	+5
OVER-EXCAVATION WORK (ASSUMING 3' OVER-EX)	-328	+328
TOTAL EARTHWORK	-331	+333
NET	0	+2

- GENERAL NOTES, CITY OF NEWPORT BEACH**
- ALL WORK SHALL CONFORM TO CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (NBMC).
 - WORK HOURS ARE LIMITED FROM 7:00 AM TO 6:30 PM MONDAY THROUGH FRIDAY, 8:00 AM TO 6:00 PM SATURDAYS, AND NO WORK ON SUNDAYS AND HOLIDAYS PER SECTION 10-28-040 OF THE NBMC.
 - NOISE FROM EXCAVATION, DELIVERY, AND REMOVAL SHALL BE CONTROLLED PER SECTION 10-28-040 OF THE NBMC.
 - THE STAMPED SET OF APPROVED PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
 - DRAINAGE SYSTEM SHALL BE DESIGNED TO RETAIN CONCENTRATED AND SURFACE SHEET FLOW FROM DRY WEATHER AND RUNOFF AND MINOR RAIN EVENTS WITHIN THE SITE. NBMC 15.10.120.
 - FAILURE TO REQUEST INSPECTIONS AND / OR HAVE REMOVABLE EROSION DEVICES ON-SITE AT THE APPROPRIATE TIMES SHALL RESULT IN STOP WORK ORDER. NBMC 15.10.140.
 - NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER STREETS, GUTTERS, OR STORM DRAINS. ALL MATERIAL AND WASTE SHALL BE REMOVED FROM THE SITE. NBMC 15.10.020.
 - BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT. DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF EACH WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT. NBMC 15.10.040.
 - SEPARATE BUILDING PERMITS ARE REQUIRED FOR FREE STANDING STRUCTURES (FENCES, RETAINING WALLS, GAZEBO, PATIO COVER, ETC.)
 - AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.
 - A PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING DEPARTMENT PERMIT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEY/STREET PAVEMENT WILL BE REQUIRED. ADDITIONALLY, IF EXISTING UTILITIES INFRASTRUCTURE ARE DEEMED SUBSTANDARD, A NEW 1-INCH WATER SERVICE, WATER METER BOX, SEWER LATERAL, AND/OR CLEANOUT WITH BOX AND LID WILL BE REQUIRED. 100% OF THE COST SHALL BE BORNE BY THE PROPERTY OWNER (MUNICIPAL CODES 14.24.020 AND 14.08.030). SAID DETERMINATION AND THE EXTENT OF THE RECONSTRUCTION WORK,

- SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR. CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE PUBLIC RIGHT OF WAY AT ALL TIMES DURING THE CONSTRUCTION PROJECT. A STOP WORK NOTICE MAY BE ISSUED FOR ANY DAMAGE OR UN-MAINTAINED PORTION OF THE PUBLIC RIGHT OF WAY.
- AN ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY. ALL NON-STANDARD IMPROVEMENTS SHALL COMPLY WITH CITY COUNCIL POLICY L-6.
 - ALL WORK RELATED TO WATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-34 L LICENSED PIPELINE CONTRACTOR OR AN A LICENSED GENERAL ENGINEERING CONTRACTOR.
 - ALL WORK RELATED TO WASTEWATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-42 LICENSED SANITATION SEWER CONTRACTOR OR A LICENSED GENERAL ENGINEERING CONTRACTOR.

ALL SITE RUNOFF FROM NEW AND REPLACED IMPERVIOUS SURFACE MATERIALS MUST DRAIN TO THE STREET OR BE TREATED PRIOR TO DRAINING TO THE BAY.

LEGEND

- PROPOSED PERMEABLE LANDSCAPE AREA.
- CONCRETE/HARDSCAPE AREA.
- EXISTING RESIDENCE TO REMAIN.
- EXISTING CONCRETE/HARDSCAPE AREA TO REMAIN.
- PROPOSED ELEVATION.
- PROPERTY LINE.
- SETBACK LINE.
- ROOF OUTLINE.
- DIRECTION OF DRAINAGE CONCENTRATED PIPE FLOW.
- DIRECTION OF ROOF GUTTER AND SHEET FLOW.
- 4" SCH. 40 (OR SDR 35) PVC DRAIN PIPE, 1% MIN SLOPE FOR GRAVITY LINES.
- 4" AREA DRAIN. SEE DETAIL '1' ON SHEET C-5.0.
- DOWNSPOUT LOCATION. PROVIDE FLAGGARD FILTER INSERT (OR EQUAL). SEE DETAILS '2 & 3' ON SHEET C-5.0.

BENCH MARK:
ASSUMED BENCHMARK USED:
OCSBM NBG-14-70
ELEV = 70.275
NAVD88 DATUM, 1992 ADJ.

LAT: 32.62449
LONG: -117.89523

REVISIONS			
No.	DESCRIPTION	APP	DATE
1	1ST PLAN CHECK		2/16/23
2	2ND PLAN CHECK		7/19/23
3	3RD PLAN CHECK		12/24/24
4	4TH PLAN CHECK		6/3/25
5	5TH PLAN CHECK		6/11/25
6	6TH PLAN CHECK		6/20/25

PLANS PREPARED BY:

B.A. SIMS
ENGINEERING, INC
1341 ORIZABA AVENUE
LONG BEACH, CA 90804
(562) 735-4955
WWW.BASIMS.COM

REGISTERED PROFESSIONAL ENGINEER
DAVID A. WORTHINGTON
No. C 58364
EXP. 9/25
CIVIL
STATE OF CALIFORNIA

EXP. 6/30/26
ENGINEER NAME, RCE LICENSE No.

Geotech Only:

REGISTERED GEOLOGIST
David A. Worthington
No. C62124
EXP. CERTIFIED 11/24
ENGINEERING GEOLOGIST
STATE OF CALIFORNIA

REGISTERED PROFESSIONAL ENGINEER
B.A. DURAND
No. C 58364
EXP. 9/25
CIVIL
STATE OF CALIFORNIA

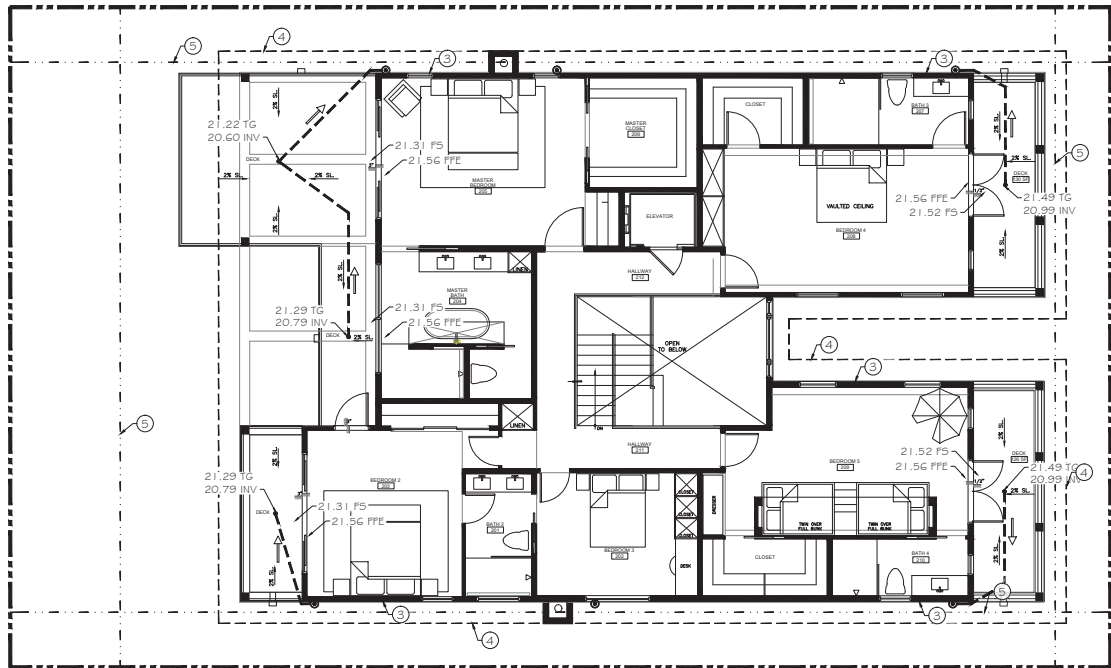
SOILS AND GEOTECH ONLY

DRAINAGE & GRADING PLAN

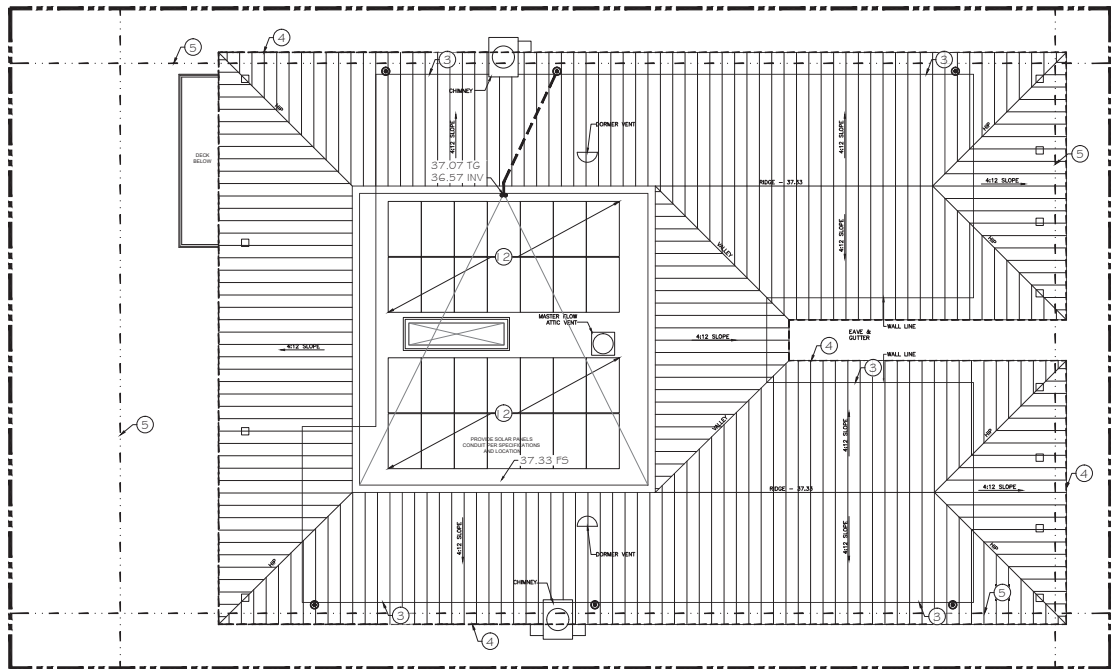
PROPOSED RESIDENCE
415 NORTH STAR LANE
NEWPORT BEACH, CA 92660

B.A. SIMS JOB #
21302 R6
DATE
6/20/2025
BUILDING PERMIT #
XR2025-1095

C-1.0
SHT 1 OF 5



 **2ND FLOOR DRAINAGE PLAN**
SCALE: 1 : 60 (OR 1" = 5'-0")



 **ROOF DRAINAGE PLAN**
SCALE: 1 : 60 (OR 1" = 5'-0")



CONSTRUCTION NOTES

- 3 PROPOSED BUILDING OUTLINE.
- 4 PROPOSED ROOF OUTLINE.
- 5 SETBACK LINE.
- 12 PROPOSED SOLAR PANEL AREA, PER SEPARATE PERMIT. REFER TO ARCHITECTURAL PLANS FOR MORE INFO.

REFER TO SHEET C-1.0 FOR IMPORTANT NOTES

- LEGEND**
- PROPOSED PERMEABLE LANDSCAPE AREA.
 - CONCRETE/HARDSCAPE AREA.
 - EXISTING RESIDENCE TO REMAIN.
 - EXISTING CONCRETE/HARDSCAPE AREA TO REMAIN.
 - 9101.77 (E) APPROXIMATE ELEVATION.
 - 71.45 PG PROPOSED ELEVATION.
 - PROPERTY LINE
 - SETBACK LINE
 - ROOF OUTLINE
 - DIRECTION OF DRAINAGE CONCENTRATED PIPE FLOW.
 - DIRECTION OF ROOF GUTTER AND SHEET FLOW.
 - 3" SCH. 40 (OR SDR 35) PVC DRAIN PIPE, 1% MIN SLOPE FOR GRAVITY LINES.
 - DOWNSPOUT LOCATION. PROVIDE FLOGARD FILTER INSERT (OR EQUAL).

BENCH MARK:

ASSUMED BENCHMARK USED:
OCSBM NB6-14-70
ELEV = 70.275
NAVD88 DATUM, 1992 ADJ.

LAT: 32.62449
LONG: -117.89523



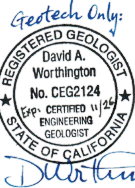
REVISIONS			
No.	DESCRIPTION	APP	DATE
1	1ST PLAN CHECK		2/16/23
2	2ND PLAN CHECK		7/19/23
3	3RD PLAN CHECK		12/24/24
4	4TH PLAN CHECK		6/3/25
5	5TH PLAN CHECK		6/11/25
6	6TH PLAN CHECK		6/20/25

PLANS PREPARED BY:



ENGINEER NAME, RCE LICENSE No.

DATE



ROOF & DECK DRAINAGE PLAN

PROPOSED RESIDENCE

415 NORTH STAR LANE
NEWPORT BEACH, CA 92660

B.A. SIMS JOB #
21302 RG
DATE
6/20/2025
BUILDING PERMIT #
XR2025-1095

C-2.0
SHT 2 OF 5

EROSION CONTROL NOTES:

- 1
- STABILIZE CONSTRUCTION ENTRANCE PER TC-1, TC-2, AND TC-3. CONTRACTOR TO MAINTAIN SITE AND ENTRANCE FREE OF TRASH, DEBRIS, AND EXCESS SEDIMENT ON A DAILY BASIS.

- 2
- PLACE GRAVEL OR SANDBAG BARRIER AS SHOWN FOR EROSION & SEDIMENT CONTROL (SC-6 OR SC-8 RESPECTIVELY).

- 3
- PLACE 3 HIGH GRAVEL BAG INLET/OUTLET SEDIMENT PROTECTION PER SC-10.

- 4
- MATERIALS HANDLING AND STORAGE AREA PER WM-1, WM-2, AND WM-3.

- 5
- WASTE MANAGEMENT PER WM-5, WM-6, WM-7, WM-8, AND WM-9.

- 6
- CONSTRUCT SEDIMENT TRAP PER SC-3.

ADDITIONAL NOTES:

1. AVOID GRADING/CONSTRUCTION ACTIVITIES AT TIMES OF EXPECTED PRECIPITATION (EC-1).

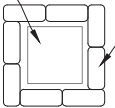
2. ABOVE REFERENCED BMP DETAILS AVAILABLE ON-LINE AT WWW.CABMPHANDBOOKS.COM (SEE CONSTRUCTION LINK).

SANDBAG OR GRAVEL BAG,
STACKED 3-HIGH, OVERLAP
AS SHOWN.



EROSION CONTROL BARRIER
TYPICAL DETAIL '1'
SCALE: NONE

INLET PIPE OR
GRATE, TYP.

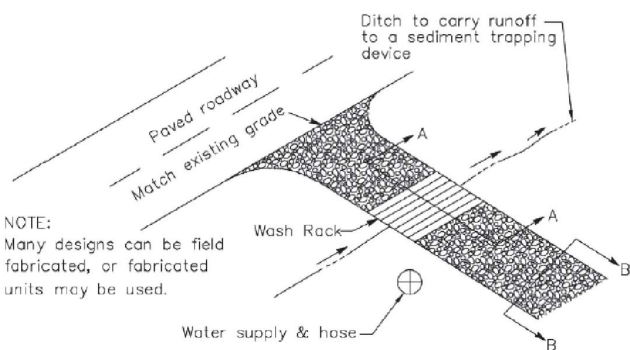


SANDBAG OR GRAVEL
BAG, STACKED 3-HIGH.
OVERLAP AS SHOWN
ON DETAIL '1'.

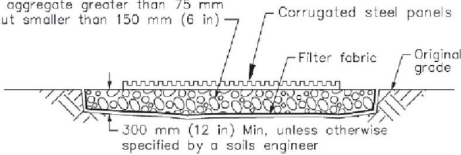
INLET PROTECTION
TYPICAL DETAIL '2'
SCALE: NONE

NOTE:
Many designs can be field
fabricated, or fabricated
units may be used.

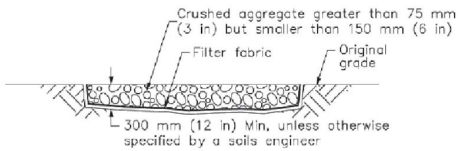
SEE TC-1, TC-2 AND TC-3 IN CALTRANS BMP FIELD MANUAL FOR ADDITIONAL
INFORMATION ON CONSTRUCTION ENTRANCE.



Crushed aggregate greater than 75 mm
(3 in) but smaller than 150 mm (6 in)



SECTION A-A
NOT TO SCALE



SECTION B-B
NTS

CONSTRUCTION ENTRANCE
TYPICAL DETAIL '3'
SCALE: NONE

24 HOUR EMERGENCY CONTACT:

NAME: _____

ADDRESS: _____

PHONE NO.: _____

THE FOLLOWING BMPs AS OUTLINED IN, BUT NOT LIMITED TO, THE LATEST EDITION OF THE CASQA CONSTRUCTION BMP ONLINE HANDBOOK OR CALTRANS STORMWATER QUALITY HANDBOOKS (CONSTRUCTION SITE BMP MANUAL), MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE PROJECT ENGINEER OR THE BUILDING OFFICIAL)

EROSION CONTROL

- EC1 – SCHEDULING
- EC2 – PRESERVATION OF EXISTING VEGETATION
- EC3 – HYDRAULIC MULCH
- EC4 – HYDROSEEDING
- EC5 – SOIL BINDERS
- EC6 – STRAW MULCH
- EC7 – GEOTEXTILES & MATS
- EC8 – WOOD MULCHING
- EC9 – EARTH DIKES AND DRAINAGE SWALES
- EC10 – VELOCITY DISSIPATION DEVICES
- EC11 – SLOPE DRAINS
- EC12 – STREAMBANK STABILIZATION
- EC13 – RESERVED
- EC14 – COMPOST BLANKETS
- EC15 – SOIL PREPARATION/ROUGHENING
- EC16 – NON-VEGETATED STABILIZATION

TEMPORARY SEDIMENT CONTROL

- SC1 – SILT FENCE
- SC2 – SEDIMENT BASIN
- SC3 – SEDIMENT TRAP
- SC4 – CHECK DAM
- SC5 – FIBER ROLLS
- SC6 – GRAVEL BAG BERM
- SC7 – STREET SWEEPING AND VACUUMING
- SC8 – SANDBAG BARRIER
- SC9 – STRAW BALE BARRIER
- SC10 – STORM DRAIN INLET PROTECTION
- SC11 – ACTIVE TREATMENT SYSTEMS
- SC12 – TEMPORARY SILT DIKE
- SC13 – COMPOST SOCKS & BERMS
- SC14 – BIOFILTER BAGS

WIND EROSION CONTROL

- WE1 – WIND EROSION CONTROL

EQUIPMENT TRACKING CONTROL

- TC1 – STABILIZED CONSTRUCTION ENTRANCE EXIT
- TC2 – STABILIZED CONSTRUCTION ROADWAY
- TC3 – ENTRANCE/OUTLET TIRE WASH

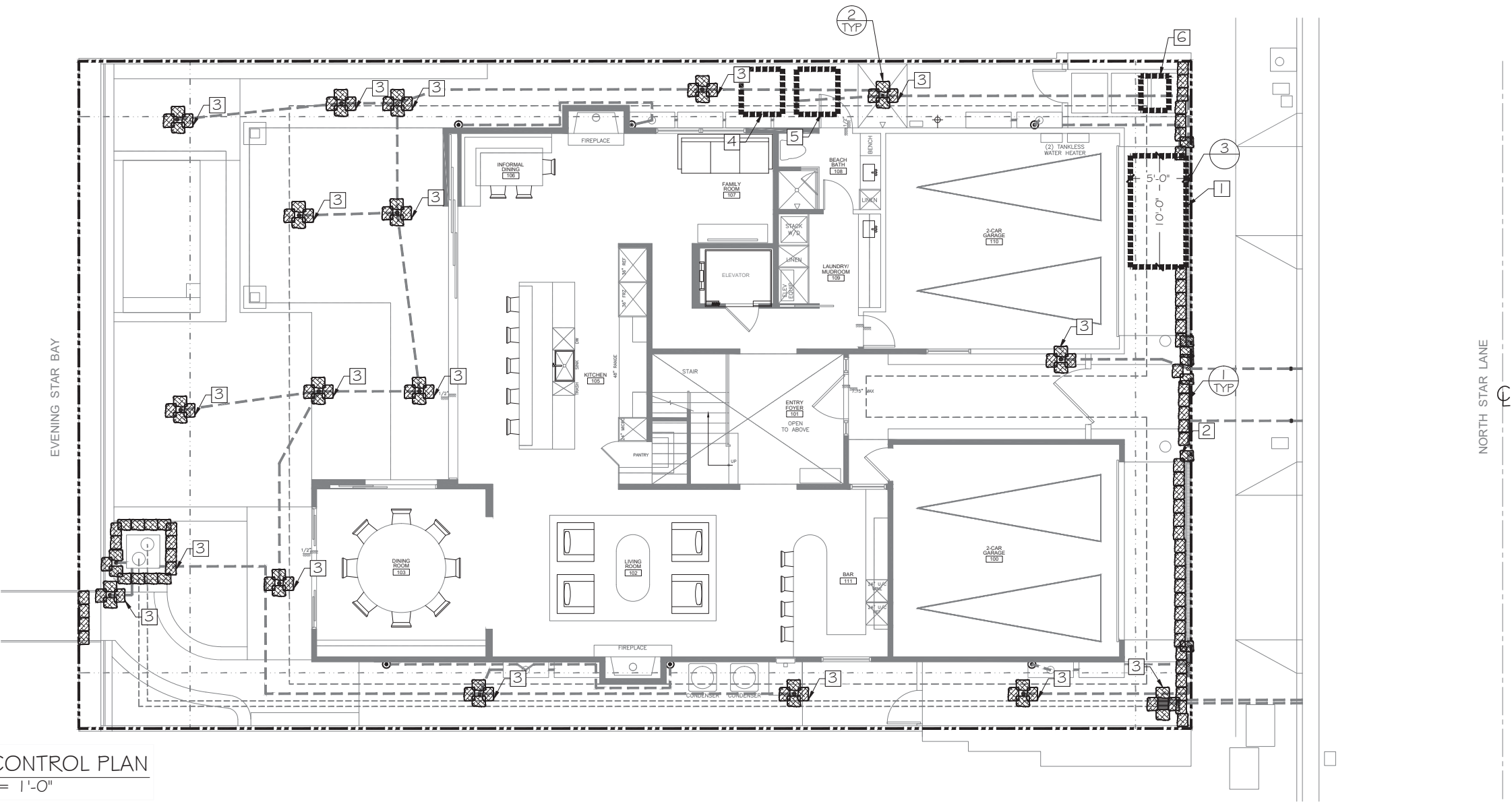
NON-STORMWATER MANAGEMENT

- NS1 – WATER CONSERVATION PRACTICES
- NS2 – DEWATERING OPERATIONS
- NS3 – PAVING AND GRINDING OPERATIONS
- NS4 – TEMPORARY STREAM CROSSING
- NS5 – CLEAR WATER DIVERSION
- NS6 – ILLICIT CONNECTION/DISCHARGE
- NS7 – POTABLE WATER/IRRIGATION
- NS8 – VEHICLE AND EQUIPMENT CLEANING
- NS9 – VEHICLE AND EQUIPMENT FUELING
- NS10 – VEHICLE AND EQUIPMENT MAINTENANCE
- NS11 – PILE DRIVING OPERATIONS
- NS12 – CONCRETE CURING
- NS13 – CONCRETE FINISHING
- NS14 – MATERIAL AND EQUIPMENT USE
- NS15 – DEMOLITION ADJACENT TO WATER
- NS16 – TEMPORARY BATCH PLANTS

WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL

- WM1 – MATERIAL DELIVERY AND STORAGE
- WM2 – MATERIAL USE
- WM3 – STOCKPILE MANAGEMENT
- WM4 – SPILL PREVENTION AND CONTROL
- WM5 – SOLID WASTE MANAGEMENT
- WM6 – HAZARDOUS WASTE MANAGEMENT
- WM7 – CONTAMINATION SOIL MANAGEMENT
- WM8 – CONCRETE WASTE MANAGEMENT
- WM9 – SANITARY/SEPTIC WASTE MANAGEMENT
- WM10 – LIQUID WASTE MANAGEMENT

REFER TO SHEET C-1.0 FOR IMPORTANT NOTES



EROSION CONTROL PLAN
SCALE: 3/16" = 1'-0"

BENCH MARK:

ASSUMED BENCHMARK USED:
OCSBM NB6-14-70
ELEV = 70.275
NAVD88 DATUM, 1992 ADJ.

LAT: 32.62449
LONG: -117.89523



REVISIONS			
No.	DESCRIPTION	APP	DATE
1	1ST PLAN CHECK		2/16/23
2	2ND PLAN CHECK		7/19/23
3	3RD PLAN CHECK		12/24/24
4	4TH PLAN CHECK		6/3/25
5	5TH PLAN CHECK		6/11/25
6	6TH PLAN CHECK		6/20/25

PLANS PREPARED BY:

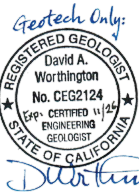


B.A. SIMS
ENGINEERING, INC
1341 ORIZABA AVENUE
LONG BEACH, CA 90804
(562) 735-4955
WWW.BASIMS.COM



EXP. 6/30/26
ENGINEER NAME, RCE LICENSE No.

6/20/2025
DATE



EROSION CONTROL PLAN

PROPOSED RESIDENCE

415 NORTH STAR LANE
NEWPORT BEACH, CA 92660

B.A. SIMS JOB #
21302 R6
DATE
6/20/2025
BUILDING PERMIT #
XR2025-1095

C-3.0
SHT 3 OF 5



130 Gallon Slimline Rainwater Harvesting Tank

TOP VIEW

STRAINER BASKET

MaterialPolypropylene
ColorBlack
Dimensions16" x 4"
Mesh20x20 S.S.

COVER

MaterialPolypropylene
ColorBlack
Diameter16"
Inlet4" Knockouts (x2)
.....3" Precut (x1)

SIDE VIEW

TANK

MaterialPolyethylene
Ribs5

OVERFLOW

MaterialPolypropylene
Diameter3" SDR 35

FITTINGS

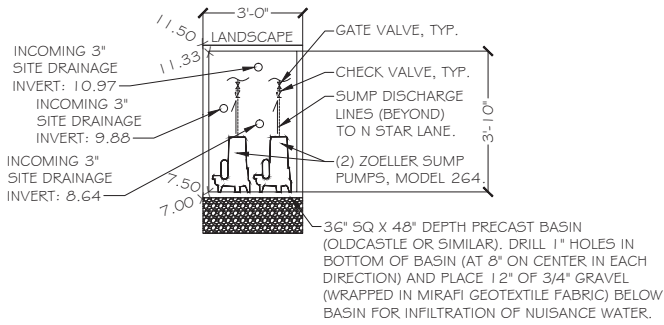
TypeBulkhead
Height① ② 4"
LocationEnd Radius
Diameter1" NPT

PART NUMBERS

Natural Mocha Brick
45483 45485 45486
Forest Green Black
45487 45555

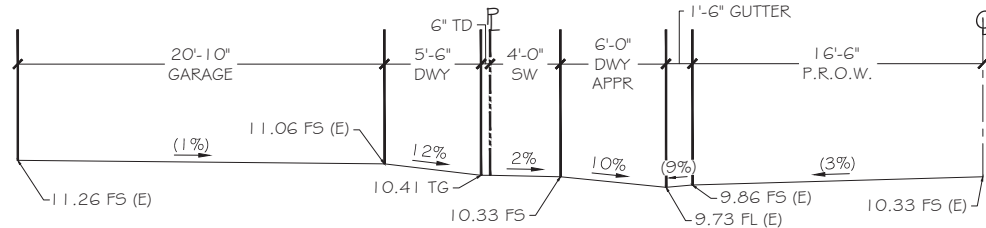


Norwesco, Inc. | 4365 Steiner Street | St. Bonifacius, MN 55375-0439 | 800-328-3420

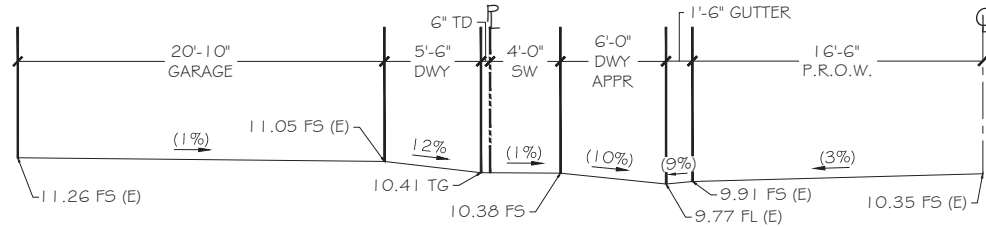


- CONSTRUCTION NOTES:
- SECONDARY POWER SOURCE IS RECOMMENDED FOR SUMP SYSTEM, DESIGNED BY OTHERS.
 - DESIGN OF THE SUMP POWER SUPPLY, ALARMS, CONTROL PANEL, CONNECTIONS, ETC. BY OTHERS. CONTRACTOR TO COORDINATE WITH M.E.P. ENGINEER, ARCHITECT, AND MANUFACTURER.
 - SEE ZOELLER PUMP INSTALLATION AND DETAILS FOR ALL PERTINENT INFORMATION FOR PUMP OPERATION.
 - CONTRACTOR TO FOLLOW MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO NOTIFY ENGINEER IF MANUFACTURER'S RECOMMENDATIONS CONFLICT WITH INFORMATION ON PLANS.
 - OWNER TO PROVIDE EMERGENCY BACKUP POWER IN CASE OF A POWER FAILURE TO PREVENT FLOODING. ENGINEER TAKES NO RESPONSIBILITY IN THE EVENT OF A POWER FAILURE.

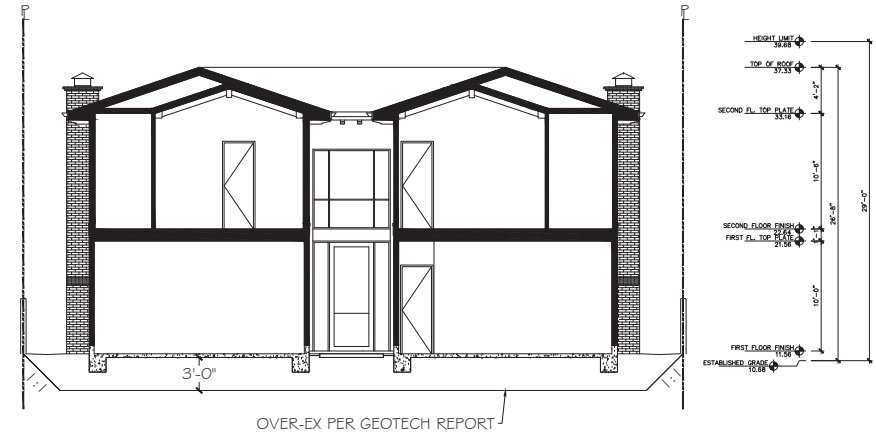
B SITE SUMP SECTION 'B'
SCALE: NONE



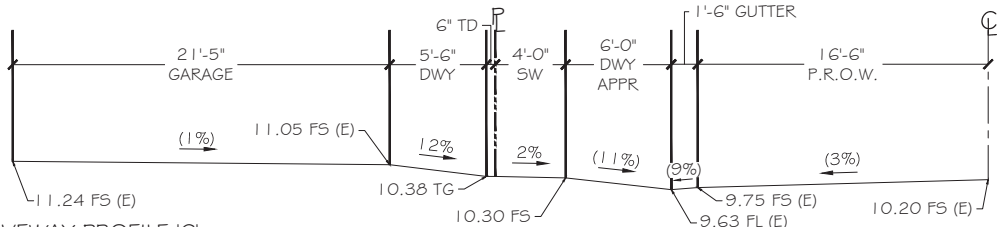
E DRIVEWAY PROFILE 'E'
SCALE: 1" = 5'-0"



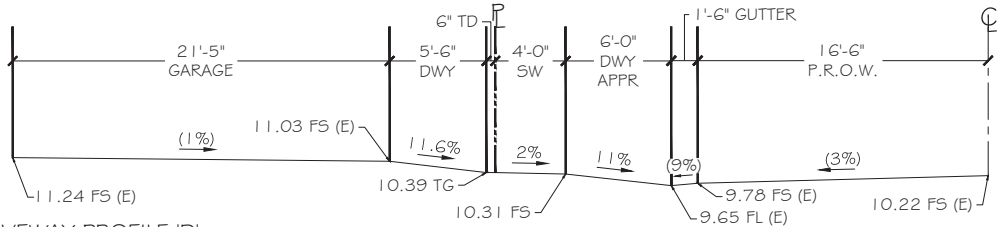
F DRIVEWAY PROFILE 'F'
SCALE: 1" = 5'-0"



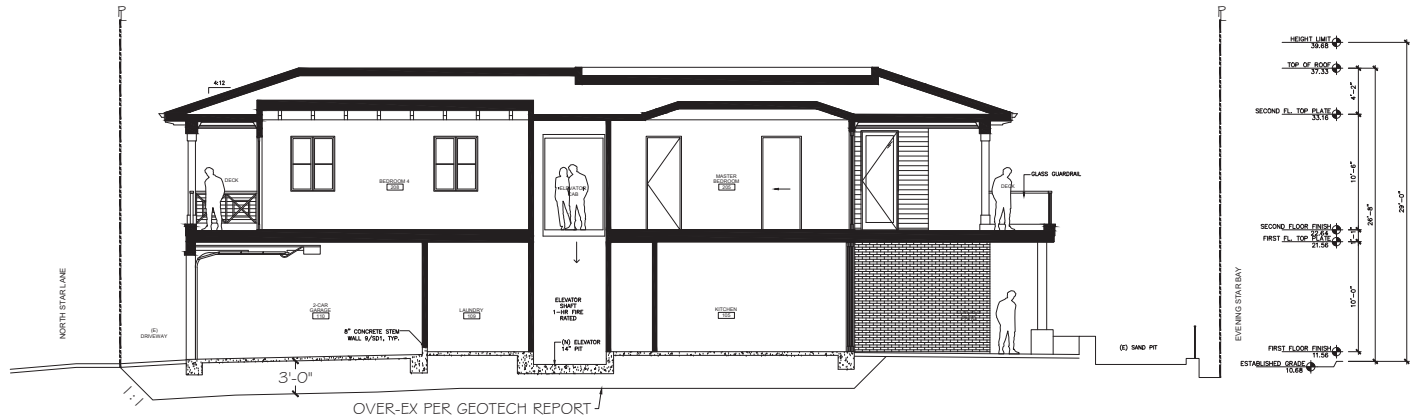
G BUILDING SECTION 'G'
SCALE: 1" = 8'-0"



C DRIVEWAY PROFILE 'C'
SCALE: 1" = 5'-0"



D DRIVEWAY PROFILE 'D'
SCALE: 1" = 5'-0"



H BUILDING SECTION 'H'
SCALE: 1" = 8'-0"

BENCH MARK:

ASSUMED BENCHMARK USED:
OCSBM NB6-14-70
ELEV = 70.275
NAVD88 DATUM, 1992 ADJ.

LAT: 32.62449
LONG: -117.89523



REVISIONS			
No.	DESCRIPTION	APP	DATE
1	1ST PLAN CHECK		2/16/23
2	2ND PLAN CHECK		7/19/23
3	3RD PLAN CHECK		12/24/24
4	4TH PLAN CHECK		6/3/25
5	5TH PLAN CHECK		6/11/25
6	6TH PLAN CHECK		6/20/25

PLANS PREPARED BY:

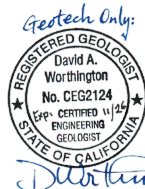


B.A. SIMS
ENGINEERING, INC
1341 ORIZABA AVENUE
LONG BEACH, CA 90804
(562) 735-4955
WWW.BASIMS.COM



EXP. 6/30/26
ENGINEER NAME, RCE LICENSE No.

6/20/2025
DATE



SOILS AND GEOTECH ONLY

REFER TO SHEET C-1.0 FOR IMPORTANT NOTES

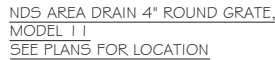
SECTIONS

PROPOSED RESIDENCE
415 NORTH STAR LANE
NEWPORT BEACH, CA 92660

B.A. SIMS JOB #
21302 R6
DATE
6/20/2025
BUILDING PERMIT #
XR2025-1095

C-4.0

SHT 4 OF 5



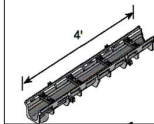
24"

6"

$\frac{1}{4}"$

$\frac{1}{4}" \times 4 \frac{3}{8}"$
Grate Openings

NDS 2' CHANNEL GRATE
MODEL DS-22 I
MATERIAL: GALV. STEEL
TRAFFIC LOADED

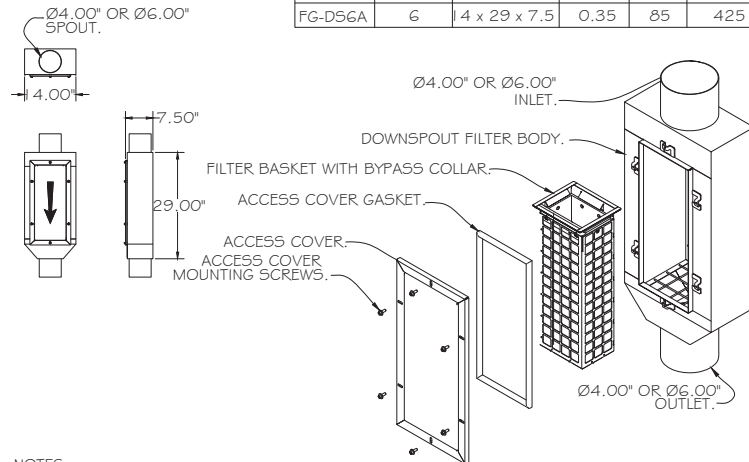


NDS CHANNEL DRAIN
MODEL DS-096 UP TO
DS-104*
MATERIAL: POLYETHYLENE

A cross-sectional diagram of a wall foundation. The exterior wall is shown on the left. A vertical downspout runs down the side of the wall. At the base of the wall, a solid drain tile is installed, extending horizontally into the ground. The ground is depicted with a stippled texture. Labels with leader lines point to the 'Exterior wall', 'Downspout', and 'Solid Drain Tile'.

2 DOWNSPOUT CONNECTION
SCALE: NONE

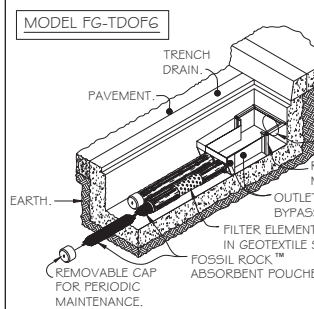
MODEL	INLET ID (Ø Inches)	BODY OD (Inches)	Solids Storage Capacity (Cu. Ft.)	Filtered Flow (GPM)	Bypass Capacity (GPM)
FG-D54A	4	4 x 29 x 7.5	0.35	30	145
FG-D56A	6	4 x 29 x 7.5	0.35	85	425



NOTES:

1. FLOGARD DOWNSPOUT FILTER IS AVAILABLE TO FIT MOST INDUSTRY STANDARD DOWNSPOUTS (SEE TABULATION).
2. FILTER INSERTS SHALL HAVE ADEQUATE BYPASS CAPACITY TO ALLOW DOWNSPOUT TO FLOW UNIMPEDED AT ALL TIMES.
3. FILTER ASSEMBLY SHALL BE CONSTRUCTED FROM STAINLESS STEEL (TYPE 304)
4. FILTER MEDIUM SHALL BE INSTALLED & MAINTAINED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

3 FLOGARD DOWNSPOUT FILTER
SCALE: NONE



5 FLOGARD TRENCH DRAIN FILTER INSERT DETAIL
SCALE: NONE

NOTES:

1. FILTER INSERT SHALL HAVE A HIGH FLOW BYPASS FEATURE.
2. FILTER OUTLET ADAPTER SHALL BE CONSTRUCTED FROM STAINLESS STEEL TYPE 304. ALTERNATE OUTLET ADAPTOR FOR SHALLOW INSTALLATIONS SHALL BE PVC SCH-40.
3. FILTER MEDIUM SHALL BE FOSSIL ROCK[®], INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
4. STORAGE CAPACITY REFLECTS 80% OF MAXIMUM SOLIDS COLLECTION PRIOR TO IMPEDING FILTERING BYPASS.
5. FOR ALTERNATE OUTLET ADAPTER CONFIGURATIONS USED FOR EXTREMELY SHALLOW TRENCH DRAINS CONTACT OLDCASTLE STORMWATER SOLUTIONS FOR ENGINEERING ASSISTANCE.
6. FILTER ELEMENT SHOULD BE A MINIMUM OF ONE HALF THE LENGTH OF TRENCH. CONFIRM FLOW RATE UPON ORDER.

REFER TO SHEET C-1.0 FOR IMPORTANT NOTES

BENCH MARK:

ASSUMED BENCHMARK USED:
OCSBM NB6-14-70
ELEV = 70.275
 NAVD88 DATUM, 1992 ADJ.

LAT: 32.62449
LONG: -117.89523



REVISIONS			
No.	DESCRIPTION	APP	DATE
1	1ST PLAN CHECK		2/16/23
2	2ND PLAN CHECK		7/19/23
3	3RD PLAN CHECK		12/24/24
4	4TH PLAN CHECK		6/3/25
5	5TH PLAN CHECK		6/11/25
6	6TH PLAN CHECK		6/20/25

PLANS PREPARED BY:

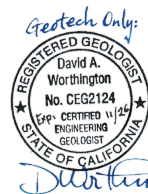


B.A. SIMS
ENGINEERING, INC
1341 ORIZABA AVENUE
LONG BEACH, CA 90804
(562) 735-4955
WWW.BASIMS.COM



EXP. 6/30/26

ENGINEER NAME, RCE LICENSE No.



DETAILS

PROPOSED RESIDENCE
415 NORTH STAR LANE
NEWPORT BEACH, CA 92660

B.A. SIMS JOB #	21302 R6
DATE	6/20/2025
BUILDING PERMIT	YR2025-1095

3.1
C-5.0
SHT 5 OF 5



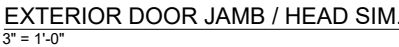
6



5



4



2



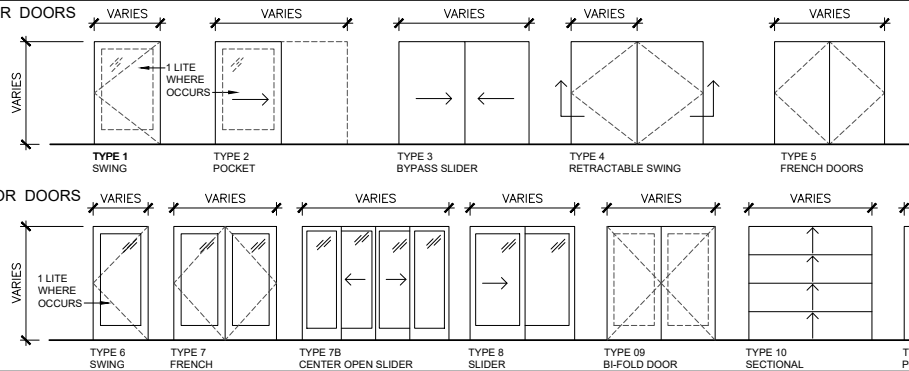
1

CONTRACTOR TO VERIFY U-FACTOR
AND SHGC TO MATCH SHEET T.24-2

	SYMBOL	SIZE (WxH)	TYPE	THICKNS.	CORE	MATERIAL	FINISH	HARDWARE	HEAD	JAMB	SILL	U-FACTOR	SHGC	MANUFACTURER	NOTES AND GLAZING
EXTERIOR DOORS	1ST FLR.	(100A)	16'-0" x 8'-0"	TYPE 10	1-3/4"	INSUL-STEEL	WOOD CLAD	STAIN GRADE		-	-	-			
	(100B)	3'-0" x 9'-0"	TYPE 1												
	(101A)	4'-0" x 10'-0"	TYPE 6												CUSTOM ENTRY DOOR, REMOVE AND REPLACE
	(103A)	11'-0" x 9'-0"	TYPE 7B			ALUMINUM CLAD WOOD						0.35	0.25	MARVIN	TEMPERED, POOL ALARM
	(103B)	6'-6" x 9'-0"	TYPE 11			ALUMINUM CLAD WOOD						0.35	0.25	MARVIN	TEMPERED, POOL ALARM
	(104A)	24'-10" x 9'-0"	TYPE 11			ALUMINUM CLAD WOOD						0.35	0.25	MARVIN	TEMPERED, POOL ALARM
	(108A)	3'-0" x 9'-0"	TYPE 6			ALUMINUM CLAD WOOD						0.35	0.25	MARVIN	TEMPERED, POOL ALARM
	(110A)	16'-0" x 8'-0"	TYPE 10		INSUL-STEEL	WOOD CLAD	STAIN GRADE								
2ND FLR.	(203A)	11'-0" x 8'-6"	TYPE 7B		GLASS	ALUMINUM CLAD WOOD	PAINTED					0.35	0.25	MARVIN	
	(203B)	3'-0" x 8'-6"	TYPE 1		↓	↓	↓					↓	↓	↓	TEMPERED
	(205A)	11'-0" x 8'-6"	TYPE 7B												TEMPERED
	(208A)	6'-0" x 8'-6"	TYPE 7												TEMPERED
	(209B)	6'-0" x 8'-6"	TYPE 7		↓	↓	↓					↓	↓	↓	TEMPERED
INTERIOR DOORS	1ST FLR.	(101B)	3'-0" x 8'-6"	TYPE 1		SOLID	WOOD	PAINT GRADE							20 MIN. FIRE-RATED DOOR SELF CLOSING, SELF LATCHING
	(108B)	2'-8" x 8'-6"	TYPE 1		↓	↓	↓								
	(109A)	3'-6" x 8'-6"	TYPE 2												PROVIDE 100 SQ. IN. MIN. (TOP & BOTTOM) OPEN'G MAKEUP AIR CMC SECT. 504.3.1
	(111C)	2'-10" x 8'-6"	TYPE 1												20 MIN. FIRE-RATED DOOR SELF CLOSING, SELF LATCHING
	2ND FLR.	(201A)	2'-8" x 8'-6"	TYPE 1											
	(201B)	2'-8" x 8'-6"	TYPE 2												
	(202A)	2'-8" x 8'-6"	TYPE 1												
	(203C)	2'-8" x 8'-6"	TYPE 1												
	(203D)	9'-0" x 8'-6"	TYPE 3												
	(204A)	3'-6" x 8'-6"	TYPE 2												
	(204B)	2'-6" x 8'-6"	TYPE 2												
	(205B)	3'-6" x 8'-6"	TYPE 5												
	(206A)	5'-0" x 8'-6"	TYPE 2												
	(207A)	3'-0" x 8'-6"	TYPE 1												
	(208B)	3'-0" x 8'-6"	TYPE 1												
	(208C)	2'-8" x 8'-6"	TYPE 1												
	(209A)	3'-0" x 8'-6"	TYPE 1												
	(209C)	2'-8" x 8'-6"	TYPE 2												
(210A)	2'-8" x 8'-6"	TYPE 2													
		3'-0" x 8'-6"	TYPE 1												20 MIN. FIRE-RATED DOOR SELF CLOSING, SELF LATCHING
2				↓	↓	↓	↓								

ALL DOORS TO BE SINGLE-LITE U.N.O.

INTERIOR DOORS



EGRESS NOTES:

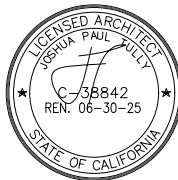
1. NET CLEAR OPENING AREA OF NOT LESS THAN 5.7 SF
2. MINIMUM CLEAR OPENING HEIGHT OF 24"
3. MINIMUM CLEAR OPENING WIDTH OF 20"
4. THE BOTTOM OF WINDOW OPENING SHALL NOT BE MORE THAN 44" FROM THE FLOOR
5. SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR, TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. YARD OR COURT MUST COMPLY WITH THE DEFINITION: "AN OPEN SPACE, UNOBSTRUCTED FROM THE GROUND TO THE SKY." THEREFORE, INGRESS/EGRESS OPENINGS WHICH OPEN UNDER OR ONTO DECKS, ROOFS, OR COVERED PATIOS ARE NOT ACCEPTABLE.
6. WINDOW CONTROL OPENING DEVICE SHALL NOT REDUCE THE REQUIRED NET CLEAR OPENING AREA OF THE WINDOW

LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. THE EXTERIOR LANDING OR FINISHED FLOOR SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LOWER LANDING OR FLOOR.

josh tully
architecture

703 pier ave. suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@joshtullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS
SET FORTH ON THIS SHEET AND
ALL COPYRIGHTS THEREIN ARE
AND SHALL REMAIN THE PROPERTY
OF JOSH TULLY ARCHITECTURE,
INC. USE OF THIS DRAWING IS
LIMITED TO A ONE-TIME USE ON
THE SPECIFIC PROJECT AND FOR
THE SPECIFIC PERSON(S) NAMED
HEREON. ANY OTHER USE OR
REUSE OF SAID DRAWINGS IS
STRICTLY PROHIBITED WITHOUT THE
EXPRESS WRITTEN PERMISSION OF
JOSH TULLY ARCHITECTURE, INC.



Project Name :

Revisions

No.	Date	Description
-----	------	-------------

2 | 03.24.25 | New Bldg Submitta

Project Address :

GRAY
RESIDENCE

New SFR

415 North Star Lane
Newport Beach, CA 92660

Sheet Title :

DOOR

SCHEDULE & DETAILS

A.P.N.: 117-711-13

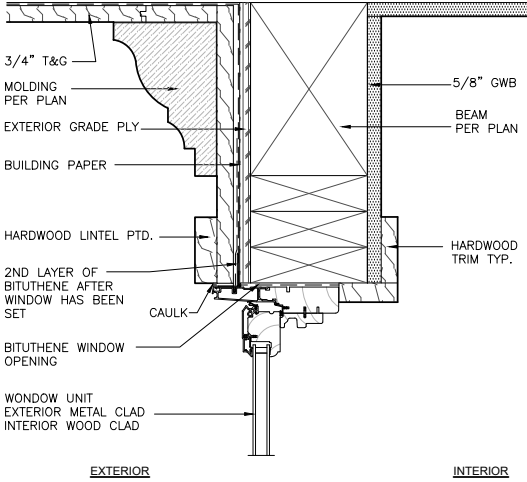
Scale: SEE DWGS

Issue Date: 03.24.2025

Drawn: JPT Checked:

Sheet Number :

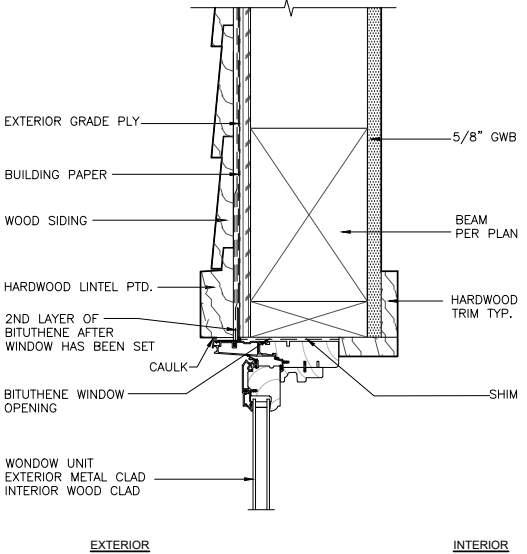
N-1.0



6

WINDOW HEAD
3" = 1'-0"

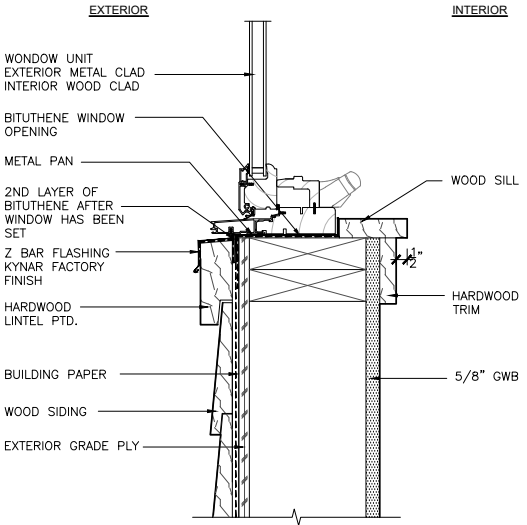
3



5

WINDOW HEAD & JAMB SIM.
3" = 1'-0"

2



4

WINDOW SILL
3" = 1'-0"

1

WINDOW SCHEDULE

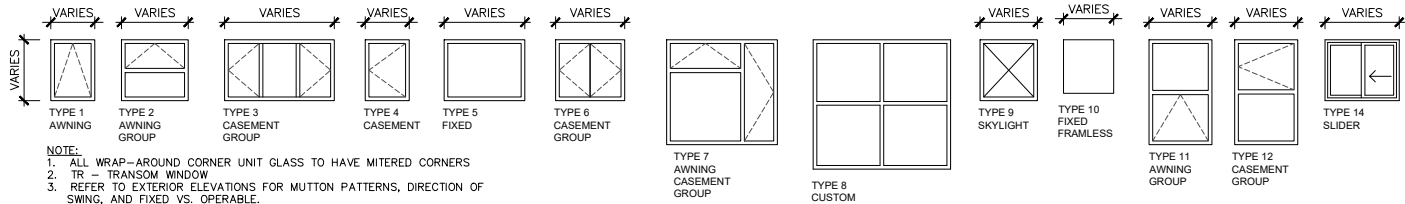
CONTRACTOR TO VERIFY U-FACTOR AND SHGC TO MATCH SHEET T.24-2

*ALL WINDOWS TO BE MEASURED BY SUB CONTRACTOR DURING CONSTRUCTION

SYMBOL	WINDOW SIZE (WxH)	TYPE	HEAD HEIGHT ABV. F.F.	FRAME MAT'L	FRAME FINISH	GLAZING	U-FACTOR	SHGC	MANUFACTURER	WINDOW COVERING	NOTES AND GLAZING
101.1	1'-6" x 10'-0"	TYPE 5	10'-0"	ALUMINUM CLAD WOOD	PAINTED	LOW 'E'	0.35	0.25	MARVIN		
101.2	1'-6" x 10'-0"	TYPE 5	10'-0"								
101.3	7'-0" x 8'-6"	TYPE 5	18'-0"								
103.1	4'-0" x 8'-0"	EXISTING OPERATION									OMIT
107.1	8'-0" x 3'-0"	EXISTING OPERATION	9'-0"								REMOVE AND REPLACE
111.1	3'-0" x 5'-0"	TYPE 4	9'-0"								TEMPERED
111.2	4'-6" x 5'-0"	TYPE 6	9'-0"								TEMPERED, POOL ALARM
201.1	4'-0" x 3'-0"	TYPE 4	8'-6"								TEMPERED
202.1	6'-0" x 5'-0"	TYPE 6	8'-6"								EGRESS, TEMPERED
203.1	3'-0" x 5'-0"	TYPE 4	8'-6"								EGRESS, TEMPERED
204.1	10'-0" x 4'-6"	TYPE 3	8'-6"								TEMPERED
205.1	2'-6" x 5'-0"	TYPE 4	8'-6"								EGRESS, TEMPERED
205.2	2'-6" x 5'-0"	TYPE 4	8'-6"								EGRESS, TEMPERED
207.1	3'-0" x 5'-0"	TYPE 4	8'-6"								TEMPERED
207.2	2'-0" x 5'-0"	TYPE 4	8'-6"								TEMPERED
208.1	2'-0" x 5'-0"	TYPE 4	8'-6"								TEMPERED
208.2	4'-0" x 5'-0"	TYPE 6	8'-6"								EGRESS, TEMPERED
208.3	4'-0" x 5'-0"	TYPE 6	8'-6"								EGRESS, TEMPERED
209.1	4'-0" x 5'-0"	TYPE 6	8'-6"								EGRESS, TEMPERED
209.2	4'-0" x 5'-0"	TYPE 6	8'-6"								EGRESS, TEMPERED
209.3	2'-0" x 5'-0"	TYPE 4	8'-6"								TEMPERED
210.1	2'-0" x 5'-0"	TYPE 4	8'-6"								TEMPERED
210.2	3'-0" x 5'-0"	TYPE 4	8'-6"								TEMPERED
211.1	3'-0" x 5'-0"	TYPE 4	8'-6"								TEMPERED
304.1	3'-0" x 9'-8"	TYPE 5									ESR-4108

ALL WINDOWS TO BE DUAL GLAZED U.N.O.

WINDOW TYPES

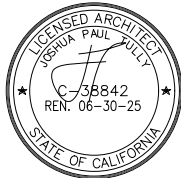


- EGRESS NOTES:
1. NET CLEAR OPENING AREA OF NOT LESS THAN 5.7 SF
 2. MINIMUM CLEAR OPENING HEIGHT OF 24"
 3. MINIMUM CLEAR OPENING WIDTH OF 20"
 4. THE BOTTOM OF WINDOW OPENING SHALL NOT BE MORE THAN 44" FROM THE FLOOR
 5. SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR, TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. YARD OR COURT MUST COMPLY WITH THE DEFINITION: "AN OPEN SPACE, UNOBSTRUCTED FROM THE GROUND TO THE SKY." THEREFORE, INGRESS/EGRESS OPENINGS WHICH OPEN UNDER OR ONTO DECKS, ROOFS, OR COVERED PATIOS ARE NOT ACCEPTABLE.
 6. WINDOW CONTROL OPENING DEVICE SHALL NOT REDUCE THE REQUIRED NET CLEAR OPENING AREA OF THE WINDOW

josh tully
architecture

703 pier ave. suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@jostullyarchitecture.com

THE DRAWINGS AND DESCRIPTIONS SET FORTH ON THIS SHEET AND ALL COPYRIGHTS THEREIN ARE, AND SHALL REMAIN THE PROPERTY OF JOSH TULLY ARCHITECTURE, INC. USE OF THIS DRAWING IS LIMITED TO A ONE-TIME USE ON THE SPECIFIC PROJECT AND FOR THE SPECIFIC PERSON(S) NAMED HEREON. ANY OTHER USE OR REUSE OF SAID DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOSH TULLY ARCHITECTURE, INC.



GRAY
RESIDENCE

New SFR

415 North Star Lane
Newport Beach, CA 92660

Project Name :

Project Address :

Revisions :

No.	Date	Description
1	03.24.25	New Bldg Submittal

Sheet Title :

WINDOW
SCHEDULE
& DETAILS

A.P.N.: 117-711-13

Scale: SEE DWGS

Issue Date: 03.24.2025

Drawn: JPT Checked:

Sheet Number :

N-1.1

ENFORCEMENT REQUIREMENTS FOR DOCUMENTATION BY OTHERS

Certificate of Installation. For all buildings, the person in charge of the construction or installation, who is eligible under Division 3 of the Business and Professions Code to accept responsibility for the construction or installation of features, materials, components, or manufactured devices regulated by Part 6 or the Appliance Efficiency Regulations (responsible person) shall sign and submit Certificate of Installation documentation as specified in Section 10-103(a) to certify compliance with Part 6. If more than one person has responsibility for the construction or installation, each person shall sign and submit the Certificate of Installation documentation applicable to the portion of the construction or installation for which they are responsible; alternatively, the person with chief responsibility for the construction or installation shall sign and submit the Certificate of Installation documentation for the entire construction or installation scope of work for the project. Subject to the requirements of Section 10-103(a), persons who prepare Certificate of Installation documentation (documentation authors) shall sign a declaration statement on the documents they prepare to certify the information provided on the documentation is accurate and complete. In accordance with applicable requirements of 10-103(a)(3), the signatures provided by responsible persons and documentation authors shall be original signatures on paper documents or electronic signatures on electronic documents conforming to the electronic signature specifications in Reference Joint Appendix JA7.

Certificate of Field Verification and Diagnostic Testing (Certificate of Verification). For all buildings for which compliance requires HERS field verification, a certified HERS Rater shall conduct all required HERS field verification and diagnostic testing in accordance with applicable procedures specified in Reference Appendices RA2, RA3, NA1, and NA2. All applicable Certificate of Verification documentation shall be completed, signed, and submitted by the certified HERS Rater who performed the field verification and diagnostic testing services (responsible person) in accordance with the requirements of Section 10-103(a)(5), and Reference Appendices RA2, and NA1, to certify compliance with Part 6. If more than one rater has responsibility for the HERS verification for the building, each rater shall sign and submit the Certificate of Verification documentation applicable to the portion of the building for which they are responsible. Subject to the requirements of Section 10-103(a)(5), persons who prepare Certificate of Verification documentation (documentation authors) shall sign a declaration statement on the documents they prepare to certify the information provided on the documentation is accurate and complete. The signatures provided by responsible persons and documentation authors shall be electronic signatures on electronic documents.

Compliance, Operating, Maintenance, and Ventilation Information to be provided by Builder.

- Compliance Information.**
 - For low-rise residential buildings, at final inspection, the enforcement agency shall require the builder to leave in the building, copies of the completed, signed, and submitted compliance documents for the building owner at occupancy. For low-rise residential buildings, such information shall, at a minimum, include copies of all Certificate of Compliance, Certificate of Installation, and Certificate of Verification documentation submitted. These documents shall be in paper or electronic format and shall conform to the applicable requirements of Section 10-103(a).
 - For nonresidential buildings, high-rise residential buildings and hotels and motels, at final inspection, the enforcement agency shall require the builder to leave in the building, copies of the completed, signed, and submitted compliance documents for the building owner at occupancy. For nonresidential buildings, high-rise residential buildings and hotels and motels, such information shall include all Certificate of Compliance, Certificate of Installation, Certificate of Verification, and Certificate of Verification documentation submitted. These documents shall be in paper or electronic format and shall conform to the applicable requirements of Section 10-103(a).
- Operating Information.** At final inspection, the enforcement agency shall require the builder to leave in the building, for the building owner at occupancy, operating information for all applicable features, materials, components, and mechanical devices correctly and efficiently. The instructions shall be consistent with specifications set forth by the Executive Director. For low-rise residential buildings, such information shall be contained in a folder or manual which provides all information specified in Section 10-103(b). This operating information shall be in paper or electronic format.
- Maintenance Information.** At final inspection, the enforcement agency shall require the builder to leave in the building, for the building owner at occupancy, maintenance information for all features, materials, components, and manufactured devices that require routine maintenance for efficient operation. Required routine maintenance actions shall be clearly stated and incorporated on a readily accessible label. The label may be limited to identifying, by title and/or publication number, the operation and maintenance manual for that particular model and type of feature, material, component or manufactured device. For low-rise residential buildings, this information shall include a schedule of all interior luminaires and lamps installed to comply with Section 150.0(k). This information shall be in paper or electronic format.
- Ventilation Information.** For low-rise residential buildings, the enforcement agency shall require the builder to leave in the building, for the building owner at occupancy, a description of the quantities of outdoor air that the ventilation system(s) are designed to provide to the building's conditioned space, and instructions for proper operation and maintenance of the ventilation system. This information shall be in paper or electronic format.

For buildings or tenant spaces that are not individually owned and operated, or are centrally operated, Compliance, Operating, Maintenance & Ventilation information shall be provided to the person(s) responsible for operating and maintaining the feature, material, component or mechanical ventilation device installed in the building.

INDOOR AIR QUALITY AND MECHANICAL VENTILATION

\$150.0(o): Requirements for Ventilation and Indoor Air Quality. All dwelling units shall meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in Section 150.0(j) below. All dwelling units shall comply with Section 150.0(o) below.

- \$150.0(j): Amendments to ASHRAE 62.2 requirements.**
 - Window operation is not a permissible method of providing the dwelling unit ventilation airflow specified in subsections C, E, or F below.
 - Continuous operation of central forced air system air handlers used in central fan integrate ventilation systems is not a permissible method of providing the dwelling unit ventilation airflow required in Section 4 of ASHRAE Standard 62.2.
 - Single family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces shall have mechanical ventilation airflow provided at rates determined in accordance with ASHRAE 62.2 Sections 4.1.1 and 4.1.2 as specified in subsections i, ii, and iii.
 - Air filtration shall conform to the specifications in Section 150.0(m)12. Compliance with ASHRAE 62.2 Sections 6.7 (Minimum Filtration) and 6.7.1 (Filter Pressure Drop) shall not be required.
 - Multi-family attached dwelling units shall have mechanical ventilation airflow provided at rates in accordance with Equation 150.0-B [ASHRAE 62.2-4.1.1], and comply with one of the following subsections i or ii below. When subsection ii below is utilized for compliance, all dwelling units in the multifamily building shall use the same ventilation system type.
 - A balanced ventilation system shall provide the required dwelling-unit ventilation airflow, or
 - Continuously operating supply ventilation systems, or continuously operating exhaust ventilation systems shall be allowed to be used to provide the required dwelling unit ventilation airflow if the dwelling-unit envelope leakage is less than or equal to 0.3 cubic feet per minute at 50 Pa (0.2 inch water) per ft² of dwelling unit envelope surface area as confirmed by field verification and diagnostic testing in accordance with the procedures specified in Reference Residential Appendix RA3.8.
 - Multi-family building codebooks that serve multiple dwelling units shall be balanced to provide ventilation airflow for each dwelling unit served at a rate equal to or greater than the rate specified by Equation 150.0-B [ASHRAE 62.2-4.1.1], but no more than twenty percent greater than the specified rate. These systems shall utilize balancing means to ensure the dwelling-unit airflows can be adjusted to meet this balancing requirement. These system balancing means may include but not be limited to constant air regulation devices, orifice plates, and variable speed central fans.
 - Kitchen range hoods shall be rated for sound in accordance with Section 7.2 of ASHRAE 62.2. EXCEPTION to Section 150.0(o)1G: Kitchen range hoods may be rated for sound at a static pressure determined at working speed as specified in HVJ 916 section 7.2.
 - Compliance with ASHRAE 62.2 Section 6.5.2 (Spot-Exhaust System) shall be required.
- Compliance with ASHRAE 62.2 Section 4.4 (Control and Operation) shall require manual switches associated with dwelling unit ventilation systems to have a label clearly displaying the following text, or equivalent text: "This switch controls the indoor air quality ventilation for the home. Leave it on unless the outdoor air quality is very poor."

\$150.0(d): Field Verification and Diagnostic Testing.

- Airflow Performance.** The dwelling unit ventilation airflow required by Sections 150.0(o)1C, 150.0(o)1E, and 150.0(o)1F shall be confirmed through field verification and diagnostic testing in accordance with the applicable procedures specified in Reference Residential Appendix RA3.7.
- Kitchen Range Hoods.** The installed kitchen range hood shall be field verified in accordance with the procedures in Reference Residential Appendix RA3.7.4.3 to confirm the model is rated by HVT to comply with the following requirements:
 - The minimum ventilation airflow rate as specified in Section 5 of ASHRAE 62.2.
 - The maximum sound rating as specified in Section 150.0(o)1G.

\$150.2(a)1C and \$150.2(a)2C: Mechanical Ventilation for Indoor Air Quality for Apartments.

- Additions to an existing dwelling unit that increase the conditioned floor area of the existing dwelling unit by more than 1,000 square feet shall have mechanical ventilation airflow in accordance with Sections 150.0(o)1C, 150.0(o)1E, or 150.0(o)1F as applicable. The dwelling unit mechanical ventilation airflow rate shall be based on the conditioned floor area of the entire dwelling unit comprised of the existing dwelling unit conditioned floor area plus the addition conditioned floor area.
- New dwelling units that are additions to an existing building shall have mechanical ventilation airflow provided in accordance with Sections 150.0(o)1C, 150.0(o)1E, or 150.0(o)1F as applicable. The mechanical ventilation airflow rate shall be based on the conditioned floor area of the new dwelling unit.

The following summarizes the key requirements for most newly constructed residences.

- A dwelling unit mechanical ventilation system shall be provided. The Airflow rate provided by the system shall be confirmed through field verification and diagnostic testing in accordance with the applicable procedures specified in Reference Residential Appendix RA3.7
- Kitchens and bathrooms shall have local exhaust systems vented to the outdoors.
- Clothes dryers shall be vented to the outdoors.
- Ventilation air shall come from the outdoors and shall not be transferred from adjacent dwelling units, garages, unconditioned attics or crawlspaces.
- Ventilation system controls shall be labeled and the home owner shall be provided with instructions on how to operate the system.
- Combustion appliances shall be designed and installed so that the air intake system is designed to prevent back drafting.
- The walls and openings between the house and the garage shall be sealed or gasketed.
- Habitable rooms shall have windows with a ventilation area of at least 4 percent of the floor area.
- Mechanical systems including heating and air-conditioning systems that supply air to habitable spaces shall have MERV 13 filters or better and be designed to accommodate the system's air filter media rated pressure drop for the system design airflow rate.
- Dedicated air inlets (not exhausts) that are part of the ventilation system design shall be located away from known contaminants.
- A carbon monoxide alarm shall be installed in each dwelling unit in accordance with NFPA 720.
- Air-moving equipment used to meet the dwelling unit ventilation requirement and the local ventilation exhaust requirement shall be rated in terms of airflow and sound:
 - Dwelling unit ventilation and continuously operating local exhaust fans must be rated at a maximum of 1.0 sone (measurement of sound).
 - Demand-controlled local exhaust fans must be rated at a maximum of 3.0 sone.
- Kitchen exhaust fans must be rated at a maximum of 3.0 sone at one or more airflow settings greater than or equal to 100 CFM.
- Remotely located air-moving equipment (mounted outside habitable spaces) are exempt from the sound requirements provided there is at least 4 feet of ductwork between the fan and the interior grille.

Dwelling Unit Mechanical Ventilation Calculation (Continuous Fan or Indoor Air Quality (IAQ) Fan)

Each dwelling unit mechanical ventilation system must meet the minimum CFM required from the CF1R and field verified with diagnostic testing of airflow performance. In addition, the fan must be certified with a maximum sone rating of 1.0 or less.

Custom Residence = 160 CFM

Table 4-15: Prescriptive Duct Sizing for Single-Fan Exhaust Systems (ASHRAE 62.2, Table 8.3)												
Duct Type	Flex Duct						Smooth Duct					
Fan Airflow Rating, CFM @ 0.25 in. w.c.	50	80	100	125	150	200	250	300	50	80	100	125
Diameter ^a , inches	Maximum Length ^b x 4, feet											
3	X	X	X	X	X	X	X	X	5	X	X	X
4	56	4	X	X	X	X	X	114	31	10	X	X
5	NL	81	42	16	2	X	NL	152	91	51	4	X
6	NL	NL	158	91	55	18	1	X	NL	NL	168	112
7	NL	NL	NL	161	78	40	19	NL	NL	NL	NL	148
8 and above	NL	NL	NL	NL	NL	189	111	69	NL	NL	NL	NL

a. For noncircular ducts, calculate the diameter as four times the cross-sectional area divided by the perimeter.
b. This table assumes no elbows. Deduct 15 feet of allowable duct length for each elbow.
c. NL = no limit on duct length of this size.
d. X = not allowed; any length of duct of this size with assumed turns and fitting will exceed the rated pressure drop.

150.0(j): PIPE INSULATION FOR NEW RESIDENTIAL BUILDINGS

Water piping, solar water-heating system piping, and space conditioning system line insulation thickness and conductivity. Piping shall be installed as follows:

- All domestic hot water piping shall be insulated as specified in Section 609.11 of the California Plumbing Code. The following piping conditions shall have a minimum insulation wall thickness of 1 inch or a minimum insulation R-value of 7.7:
 - The first 5 feet of hot and cold water pipes from the storage tank or water heater.
 - All hot water piping with a nominal diameter equal to or greater than ¾ inch and less than 1 inch.
 - All hot water piping with a nominal diameter less than ¾ inch that is:
 - Associated with a domestic hot water recirculation system;
 - From the heating source to a storage tank or between storage tanks; or
 - Buried below grade.
- Piping for space conditioning system, solar water-heating system collector loop, and distribution piping for steam and hydronic heating system, shall meet the requirements of Section 120.3(c).

TABLE 120.3-A PIPE INSULATION THICKNESS				Nominal Pipe Diameter (in inches)			
Fluid Operating Temperature Range (°F)	Insulation Conductivity (in Btu-in/h-ft ² -°F)	Mean Rating Temperature (°F)		<1	1 to <1.5	1.5 to <4	4 to <8
Refrigerant, Space Heating & Water Heating Systems				Minimum Pipe Insulation Required			
105-140	0.22-0.28	100	R-Value	Inches	1.0	1.5	1.5
				R-Value	R-7.7	R-12.5	R-11
40-60	0.21-0.27	75	R-Value	Inches	.75	.75	1.0
				R-Value	R-6	R-5	R-7
Below 40	0.20-0.26	50	R-Value	Inches	1.0	1.5	1.5
				R-Value	R-8.5	R-14	R-12

Footnote to TABLE 120.3-A:
1. The thickness are based on energy efficiency considerations only. Issues such as water vapor permeability or surface condensation sometimes require vapor retarders or additional insulation.

- EXCEPTION 1 to Section 120.3: Factory-installed piping within space-conditioning equipment certified under Section 110.1 or 110.2.
- EXCEPTION 2 to Section 120.3: Piping that conveys fluids with a design operating temperature range between 60°F and 105°F.
- EXCEPTION 3 to Section 120.3: Where the heat gain or heat loss is from piping without insulation will not increase building source energy use.
- EXCEPTION 4 to Section 120.3: Piping that penetrates framing members shall not be required to have pipe insulation for the distance of the framing penetration. Metal piping that penetrates metal framing shall use grommets, plugs, wrapping or other insulating material to assure that no contact is made with the metal framing.

150.0(n)1: HIGH EFFICIENCY WATER HEATER READY

- Systems using gas or propane water heaters to serve individual dwelling units shall include the following items:
- A dedicated 125 volt, 20 amp electrical receptacle that is connected to the electric panel with a 120/240 volt 3 conductor, 10 AWG copper branch circuit, within 3 feet from the water heater and accessible to the water heater with no obstructions. In addition, all of the following:
 - Both ends of the unused conductor shall be labeled with the word "Spare" and be electrically isolated.
 - A reserved single pole circuit breaker space in the electrical panel adjacent to the circuit breaker for the branch circuit in A above and labeled with the words "Future 240V Use"; and
 - A Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; and
 - A condensate drain that is no more than 2 inches higher than the base of the installed water heater, and allows natural draining without pump assistance, and a gas supply line with a capacity of at least 200,000 Btu/hr.

EQUIPMENT (OR EQUAL)

	BLDR. SPEC'D	CUSTOM
AIR HANDLER	95% AFUE	95% AFUE
AFUE/HSPF (MIN)	REQ'D	REQ'D
LOW LEAKAGE A.H.	REQ'D	REQ'D
FAN WATT DRAIN	REQ'D	REQ'D
VERIFIED AIRFLOW	REQ'D	REQ'D
CONDENSER	BLDR. SPEC'D	BLDR. SPEC'D
SEER / EER / (MIN)	16.0/13.0	16.0/13.0
TONS	REQ'D	REQ'D
VERIFIED EFFIC.	REQ'D	REQ'D
REFRIG. CHARGE	REQ'D	REQ'D
WATER HEATER	TANKLESS	TANKLESS
GAL. / HR. INPUT	<200,000	<200,000
RECOVERY EFFIC.	N/A	N/A
STAND-BY-LOSS	N/A	N/A
ENERGY FACTOR	96 UEF	96 UEF
FIRST HR. RATING	60 GAL.	60 GAL.
HOT W.D. PIPE INS.	REQ'D	REQ'D
HVAC DUCT INSUL.	R-8.0	R-8.0
HVAC DUCT TEST	HVAC DUCT TEST	HVAC DUCT TEST

* NIGHT SET BACK THERMOSTAT REQUIRED
* VERIFY SOUND ORDINANCE (IF ANY) PRIOR TO A/C SET
* HVAC EQUIPMENT SIZING & SPECIFICATIONS BY OTHERS

Verification Certificate (CFR) (HERS)	Installation Certificate (CFR)	Document Category	Category Description	Document Description
X	ENV-41	Non-HERS	Enrollment	Fenestration/Glazing
X	ENV-43	Non-HERS	Insulation	Insulation
X	ENV-44	Non-HERS	Envelope	Envelope
X	ENV-45	Non-HERS	Envelope	Envelope
X	ENV-46	Non-HERS	Envelope	Envelope
X	ENV-47	Non-HERS	Envelope	Envelope
X	ENV-48	Non-HERS	Envelope	Envelope
X	ENV-49	Non-HERS	Envelope	Envelope
X	ENV-50	Non-HERS	Envelope	Envelope
X	ENV-51	Non-HERS	Envelope	Envelope
X	ENV-52	Non-HERS	Envelope	Envelope
X	ENV-53	Non-HERS	Envelope	Envelope
X	ENV-54	Non-HERS	Envelope	Envelope
X	ENV-55	Non-HERS	Envelope	Envelope
X	ENV-56	Non-HERS	Envelope	Envelope
X	ENV-57	Non-HERS	Envelope	Envelope
X	ENV-58	Non-HERS	Envelope	Envelope
X	ENV-59	Non-HERS	Envelope	Envelope
X	ENV-60	Non-HERS	Envelope	Envelope
X	ENV-61	Non-HERS	Envelope	Envelope
X	ENV-62	Non-HERS	Envelope	Envelope
X	ENV-63	Non-HERS	Envelope	Envelope
X	ENV-64	Non-HERS	Envelope	Envelope
X	ENV-65	Non-HERS	Envelope	Envelope
X	ENV-66	Non-HERS	Envelope	Envelope
X	ENV-67	Non-HERS	Envelope	Envelope
X	ENV-68	Non-HERS	Envelope	Envelope
X	ENV-69	Non-HERS	Envelope	Envelope
X	ENV-70	Non-HERS	Envelope	Envelope
X	ENV-71	Non-HERS	Envelope	Envelope
X	ENV-72	Non-HERS	Envelope	Envelope
X	ENV-73	Non-HERS	Envelope	Envelope
X	ENV-74	Non-HERS	Envelope	Envelope
X	ENV-75	Non-HERS	Envelope	Envelope
X	ENV-76	Non-HERS	Envelope	Envelope
X	ENV-77	Non-HERS	Envelope	Envelope
X	ENV-78	Non-HERS	Envelope	Envelope
X	ENV-79	Non-HERS	Envelope	Envelope
X	ENV-80	Non-HERS	Envelope	Envelope
X	ENV-81	Non-HERS	Envelope	Envelope
X	ENV-82	Non-HERS	Envelope	Envelope
X	ENV-83	Non-HERS	Envelope	Envelope
X	ENV-84	Non-HERS	Envelope	Envelope
X	ENV-85	Non-HERS	Envelope	Envelope
X	ENV-86	Non-HERS	Envelope	Envelope
X	ENV-87	Non-HERS	Envelope	Envelope
X	ENV-88	Non-HERS	Envelope	Envelope
X	ENV-89	Non-HERS	Envelope	Envelope
X	ENV-90	Non-HERS	Envelope	Envelope
X	ENV-91	Non-HERS	Envelope	Envelope
X	ENV-92	Non-HERS	Envelope	Envelope
X	ENV-93	Non-HERS	Envelope	Envelope
X	ENV-94	Non-HERS	Envelope	Envelope
X	ENV-95	Non-HERS	Envelope	Envelope
X	ENV-96	Non-HERS	Envelope	Envelope
X	ENV-97	Non-HERS	Envelope	Envelope
X	ENV-98	Non-HERS	Envelope	Envelope
X	ENV-99	Non-HERS	Envelope	Envelope
X	ENV-100	Non-HERS	Envelope	Envelope

SUPERINTENDENTS
Printed and signed by the subcontractors and HERS raters the importance of having the above checked certificates filed on time to prevent any hold-ups during final inspection. The Certificate of Occupancy will not be issued until the CFR & CFR certificates are reviewed and approved by the enforcement agency. Keep in mind that some of these items need to be inspected by the HERS rater prior to drywall.



2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. "Exceptions may apply."
(Original 08/2019)

Building Envelope Measures:	
\$110.0(a)(1):	Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 cfm per square foot or less when tested per NFRC-400, ASTM E283 or AIAA/MMA/CSCA 1011.5.2/440-2011.
\$110.0(a)(5):	Labeling. Fenestration products and exterior doors must have a label meeting the requirements of Section 10-111(a).
\$110.0(b):	Field Fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.0-A, 110.0-B, or JA4.5 for exterior doors. They must be caulked and/or weather stripped.
\$110.7:	Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.
\$110.0(a):	Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHSGS).
\$110.0(a)(2):	Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of Section 110.0(a).
\$110.0(a):	Roofing Products. Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.0(a) and be labeled per §110.113 when the installation of a roof roll is specified on the CF1R.
\$110.0(a):	Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.
\$150.0(a):	Ceiling and Rafter Roof Insulation. Minimum R-22 insulation in wood-frame ceiling, or the weighted average U-factor must not exceed 0.043. Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof alteration. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a continuous roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling."
\$150.0(b):	Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.
\$150.0(c):	Wall Insulation. Minimum R-13 insulation in 2x4 wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less, (R-19 in 2x4 or U-factor of 0.074 or less). Cavity non-framed assemblies must have an overall assembly U-factor not exceeding 0.102, equivalent to an installed value of R-13 in a wood framed assembly. Masonry walls must meet Table 150.1-A or B.
\$150.0(d):	Raised-Floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor."
\$150.0(f):	Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without being greater than 0.3%, have a water vapor permeance no greater than 2.0 perm per inch, be protected from physical damage and UV light deterioration, and when installed, must be a minimum of 1 1/2 inches thick, meet the requirements of § 110.0(a).
\$150.0(g)(1):	Vapor Retarder. In climate zones 1 through 16, the earth floor of inverted crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to § 150.0(a).
\$150.0(g)(2):	Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.
\$150.0(h):	Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58."
Fireplaces, Decorative Gas Appliances, and Gas Log Measures:	
\$110.0(e):	Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.
\$150.0(e)(1):	Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.
\$150.0(e)(2):	Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tightly-fitting damper or combustion-air control device."
\$150.0(e)(3):	Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control."
Space Conditioning, Water Heating, and Plumbing System Measures:	
\$110.0(a) 110.3:	Certification. Heating, ventilating and air conditioning (HVAC) equipment, water heaters, showereheads, faucets, and all other regulated appliances must be certified by the manufacturer to the Energy Commission."
\$110.0(a):	HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-C."
\$110.0(a):	Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone, and in which the water temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is greater than the cut-off temperature for supplementary heating."
\$110.0(a):	Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat."
\$110.0(a):	Water Heating. Recirculating Loops Serving Multiple Dwelling Units. Water heating recirculation loops serving multiple dwelling units must meet the air release valve, backflow prevention, pump priming, pump isolation valve, and recirculation loop connection requirements of § 110.0(a).
\$110.0(a):	Water Heating. Instantaneous water heaters with an input rating of less than 6.8 BtU/hr per hour (2 KW) must have isolation valves with hose bibbs installed on both the cold and hot water lines, 3 feet from the water heater without obstruction. Both ends of the unused condenser must be labeled with the word "space" and be electrically banded to the cold water line.
\$110.0(a):	Pilot Lights. Continuously burning pilot lights are prohibited for natural gas, fan-type central furnaces; household cooking appliances (appliance equipped without an electrical supply voltage connection with pilot lights that consume less than 150 Btu/hr are exempt), and pool and spa heaters."
\$150.0(a)(1):	Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Control System Installation Standards, and the ACCA Manual for HVAC.
\$150.0(a)(3A):	Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least 5 feet from the outlet of any dryer vent."
\$150.0(a)(3B):	Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid filter driers if required, as specified by the manufacturer's instructions."
\$150.0(a):	Water Tanking. Storage. Unlined hot water tanks, such as storage tanks and bagshot storage tanks for solar water-heating systems, must have a minimum R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank."
\$150.0(a)(2A):	Storage Tanking. Solar Water-Heating System Piping, and Space Conditioning System Line-Insulation. All domestic hot water piping must be insulated as specified in Section 600.11 of the California Plumbing Code. In addition, the following piping conditions must have a minimum insulation thickness of 1 inch or an equivalent insulation value of at least 1 inch. First, all piping with a nominal diameter less than 3/4 inch piping with a nominal diameter greater than 3/4 inch and less than 1 inch, all hot water piping with a nominal diameter less than 3/4 inch that is associated with a domestic hot water recirculation system, from the heating source to storage tank or between tanks, buried below grade, and from the heating source to kitchen fixtures."
\$150.0(a):	Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and as required by Section 120.30. Insulation exposed to weather must be water resistant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve."
\$150.0(a)(1):	Gas or Propane Water Heating Systems. Systems using liquid gas or propane water heaters to serve individual dwelling units must include all of the following: A dedicated 1/2 inch, 20 amp electrical receptacle that is connected to the electric panel with a 1/20/240 volt 3 conductor, 10 AWG copper branch circuit, within 3 feet from the water heater without obstruction. Both ends of the unused conductor must be labeled with the word "space" and be electrically banded to the cold water line. Have a reversed single pole circuit breaker space in the electrical panel adjacent to the circuit breaker for the branch circuit and labeled with the words "Future 240V Use"; a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; a condenser drain that is no more than 6 inches higher than the base of the water heater, and all other requirements of the California Mechanical Code, and a gas supply line with a capacity of at least 20,000 Btu per hour."
\$150.0(a)(2):	Recirculating Loops. Recirculating loops serving multiple dwelling units must meet the requirements of § 110.0(a).
\$150.0(a)(3):	Solar Water-Heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAFPMO & RT), or by a listing agency that is approved by the Executive Director."
Ducts and Fans Measures:	
\$110.0(a)(3):	Ducts. Installed on an existing space-conditioning duct must comply with California Mechanical Code (CMC) Section 604.0. If a contractor installs the insulation, the contractor must certify to the customer in writing, that the insulation meets the requirements of § 110.0(a).
\$150.0(a)(1):	CMC Compliance. All air-distribution system ducts and plenums must meet the requirements of the CMC Section 601.0, 602.0, 603.0, 604.0, 605.0 and ASHRAE 90.1-2008 HVAC Duct Construction Standards Metal and Flexibles 3rd Edition. From supply-air and return-air ducts and plenums must be insulated with a minimum R-6 insulation value for ducts and R-4.2 insulation value for plenums installed in conditioned space as confirmed through field verification and diagnostic testing (R-13.3.1.3.8). Portions of the duct system completely exposed and surrounded by directly conditioned air are not required to be insulated. Connections of metal ducts and inner core of flexible ducts must be insulated as follows: 1) All ducts and plenums must be insulated with a minimum R-6 insulation value for ducts and R-4.2 insulation value for plenums installed in conditioned space as confirmed through field verification and diagnostic testing (R-13.3.1.3.8). Portions of the duct system completely exposed and surrounded by directly conditioned air are not required to be insulated. 72.2.3 of metal or tape is used to seal openings greater than 1/4 inch, the combination of mastic and either sealed sheet or tape must be used. Building controls, support frames for air handlers, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support plenums may contain ducts. Ducts with 1/2 inch or larger cavities and support plenums must be constructed to cause reductions in the cross-sectional area."
\$150.0(a)(2):	Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for ductwork, connections, and closures; joints and seals must be tested and their components must not be sealed with cloth-backed rubber adhesive duct sealant unless such sealant is specifically labeled for use with mastic sealant.
\$150.0(a)(3):	Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastic sealants, and other requirements exchanged for duct construction.
\$150.0(a)(1):	Backdraft Damper. Fan systems that require air between the conditioned space and outdoors must have backdraft or automatic dampers.
\$150.0(a)(1):	Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have all openings other than automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.
\$150.0(a)(1):	Protection of Insulation. Insulation from damage, sunlight, moisture, equipment maintenance, and as required by Section 120.30. Insulation exposed to weather must be water resistant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. For example, painted by aluminum, steel metal, painted canvas, or plastic cover. Cellular foam insulation must be protected as above or painted with a coating that is water resistant and provides shielding from solar radiation."
\$150.0(a)(1):	Porous Inner Core Sealing Duct. Porous inner core flex ducts must have a non-porous layer between the inner core and outer vapor barrier.
\$150.0(a)(1):	Duct System Flex and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with § 150.0(a)(1) of the California Residential Code (CMC).
\$150.0(a)(1):	Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a 2 inch depth or can be 1 inch if sized per 150.0-A. Pressure drop and labeling must meet the requirements in §150.0(a)(1). Filters must be accessible for regular service."
\$150.0(a)(1):	Space Conditioning System Airflow Rate and Fan Efficiency. Space conditioning systems that use ducts to supply conditioned air must have a fan for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be a 300 CFM per 1,000 sq ft of nominal cooling capacity for the space conditioning system. The fan must be tested for fan efficiency at 0.5 in. w.g. for fans with a nominal cooling capacity of 10,000 Btu per CFM for all fans. Small duct high velocity systems must provide an airflow ≥ 250 CFM per sq ft of nominal cooling capacity, and an air-handling unit fan efficiency ≥ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3."

NOTES

CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS FOR POURED-IN-PLACE CONTINUOUS AND SPREAD FOOTINGS. THE CONCRETE MIX DESIGN SHALL ADDRESS BLEEDING, SHRINKAGE AND CURLING AS DESCRIBED IN ACI 302.24-06, TO BE APPROVED BY E.O.R.

PROVIDE A CORROSION RESISTANT WEEP SCREED AT FOUNDATION PLATE WHICH ALLOWS TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. MINIMUM HEIGHT ABOVE GRADE 4".

FOR ALL SHEARWALLS Δ ∇ \triangleleft \triangleright \triangleup \triangledown - SILL PLATES AND PANEL EDGE STUDS SHALL BE 3x MEMBERS

FOUNDATION SILLS SHALL BE NATURALLY DURABLE OR PRESERVATIVE TREATED WOOD

ALL HOLD DOWNS MUST BE IN PLACE PRIOR TO FOUNDATION INSPECTION

ALL BOLT HOLES SHALL BE DRILLED 1/32 TO 1/16 INCHES OVERSIZED

MINIMUM 3"x3"x0.229" SQUARE PLATE WASHERS SHALL BE USED WITH ALL ANCHOR BOLTS IN SHEAR WALL SILL PLATES

CONTRACTORS RESPONSIBLE FOR THE CONSTRUCTION OF A WIND OR SEISMIC FORCE RESISTING SYSTEM/COMPONENT LISTED IN THE "STATEMENT OF SPECIAL INSPECTION" SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE LADDS INSPECTORS AND THE OWNER PRIOR TO THE COMMENCEMENT OF WORK ON SUCH SYSTEM OR COMPONENT PER 2016 CBC

HOLDOWN CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE APPROVED PLATE WASHERS; AND HOLDOWNS SHALL BE RETIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING. CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE STEEL PLATE WASHERS

PROVIDE LEAD HOLE 40%-70% TO THREADED SHANK DIAMETER AND FULL DIAMETER FOR SMOOTH SHANK PORTION.

IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED

SPECIAL INSPECTION (BY A CERTIFIED INSPECTOR) IS REQUIRED FOR THE FOLLOWING:

ELEMENT(S)	TYPE OF INSPECTION
-FIELD WELDS.....	CONTINUOUS INSPECTION
-SHEAR PANELS WHERE THE FASTENER SPACING OF THE SHEATHING IS 4 INCHES ON CENTER OR LESS.....	PERIODIC INSPECTION
-SIMPSON SET-XP EPOXY.....	CONTINUOUS INSPECTION
-CONCRETE WITH f_c OVER 2500 PSI.....	CONTINUOUS INSPECTION

NOTE: ALL FOUNDATIONS TO COMPLY WITH THE RECOMMENDATIONS OF SOILS REPORT BY EGA CONSULTANTS DATED 5/10/2023, PROJECT NO. ML431.1

***ALL PLUMBING AND HVAC PLAN TO BE COORDINATED DIRECTLY WITH A.O.R. TO INSURE COMPATIBILITY WITH STRUCTURAL PLANS. A.O.R. RESPONSIBLE FOR COORDINATION OF ELECTRICAL, PLUMBING AND HVAC RUNS.

NOTE: ALL CONTINUOUS FOOTINGS AND PAD FOOTINGS TO BE EMBEDDED A MIN OF 24" BELOW LOWEST ADJACENT GRADE

FOUNDATION KEY

	(N) 15"W CONT. FOOTING w/ (2) #4 BARS T&B, EMBED 30" BELOW LOWEST ADJACENT GRADE (SEE 1/SD1)
	(N) PAD FOOTING PER PLANS

PAD SCHEDULE

P1	24"x24"x12" THK. CONC. PAD W/(3) #4 EA. WAY
P2	30"x30"x12" THK. CONC. PAD W/(4) #4 EA. WAY
P3	36"x36"x16" THK. CONC. PAD W/(5) #4 EA. WAY
P4	42"x42"x16" THK. CONC. PAD W/(6) #4 EA. WAY

NOTE: ALL CONCRETE TO HAVE A MINIMUM STRENGTH OF f_c OF 3,000 PSI (INCLUDING SLABS & PAD FOOTINGS)

NOTE: USE VAPORPRO VAPOR BARRIER BY REVOLUTION (MEETS OR EXCEEDS ASTM 1745 CLASS A), OR OTHER APPROVED MAKE

30"x52"x15"D CONC. PAD w/ #4 BARS @ 8"o.c. EA. WAY TOP & BOTTOM (12" MINIMUM EMBEDMENT FOR HOLDOWN ANCHORS), SEE 85/SD5, ***POUR MONOLITHIC WITH FOOTING***

NEW 5" CONCRETE SLAB w/ #4 BARS @ 12"o.c. EA. WAY 0/15 MIL. POLYETHYLENE BARRIER (VAPORPRO, ASTM E 1745 CLASS "A" RETARDER) 0/4" CRUSHED GRAVEL (1/2" OR LARGER) (TYPICAL THROUGHOUT INTERIOR OF STRUCTURE)

15"W FOOTING w/ (2) #4 BARS T&B, EMBED 24" INTO UNDISTURBED SOIL (TYP.)

30"x52"x15"D CONC. PAD w/ #4 BARS @ 8"o.c. EA. WAY TOP & BOTTOM (12" MINIMUM EMBEDMENT FOR HOLDOWN ANCHORS) SEE 85/SD5, ***POUR MONOLITHIC WITH FOOTING***

DESIGN DEAD LOADS

ROOF	- 14 psf.
FLOOR	- 14 psf.
CEILING	- 7 psf.
EXT. WALL	- 16 psf.
INT. WALL	- 8 psf.

DESIGN LIVE LOADS

ROOF	- 20 psf.
CEILING	- 10 psf.
FLOOR	- 40 psf.
DECK	- 60 psf.

SEISMIC COEFFICIENTS

$F_w = 1.2$	$R = 6.5$	$Q = 3.0$
$S_s = 1.361$	$F = 1.1$	$F_w = 1.5$
$S_{ap} = 1.089$	$I = 1.0$	Site Class D
$\rho = 1.3$		$C_u = 3.0$

SEISMIC DESIGN CATEGORY D
SIMPLIFIED DESIGN PROCEDURE
FORCE RESISTING SYSTEM: BEARING WALL-SHEAR WALL SYSTEM

WIND PRESSURE COEFFICIENTS

110 mph, 30 Second Gust Force	
$I = 1.0$	Exposure C
$P_{s30A} = 21.54$ psf	$P_{s30C} = 14.40$ psf
$P_{s30B} = -5.69$ psf	$P_{s30D} = -3.15$ psf

SOIL DESCRIPTION

STIFF SOIL (SITE CLASS D) w/ 1500 psf. BEARING VALUE FOR CONT. FOOTINGS & 2000 psf FOR PAD FOOTINGS

THE CONCRETE MIX DESIGN SHALL ADDRESS BLEEDING, SHRINKAGE AND CURLING AS DESCRIBED IN ACI 302.24-06, TO BE APPROVED BY E.O.R.

NEW 5" CONCRETE SLAB w/ #4 BARS @ 12"o.c. EA. WAY 0/15 MIL. POLYETHYLENE BARRIER (VAPORPRO, ASTM E 1745 CLASS "A" RETARDER) 0/4" CRUSHED GRAVEL (1/2" OR LARGER) (TYPICAL THROUGHOUT INTERIOR OF STRUCTURE)

NOTE: REINFORCEMENT TO BE PLACED MID-HEIGHT OF SLAB, SEE DETAIL 112/SD6

15"W FOOTING w/ (2) #4 BARS T&B, EMBED 24" INTO APPROVED SOIL (TYP.)

ELEVATOR PIT FOUNDATION, SEE 4 A/SD5

15"W FOOTING w/ (2) #4 BARS T&B, EMBED 24" INTO UNDISTURBED SOIL (TYP.)

5" CONCRETE SLAB w/ #4 BARS @ 12"o.c. EA. WAY 0/15 MIL. POLYETHYLENE BARRIER (VAPORPRO, ASTM E 1745 CLASS "A" RETARDER) 0/4" CRUSHED GRAVEL (1/2" OR LARGER)

15"W FOOTING w/ (2) #4 BARS T&B, EMBED 24" INTO APPROVED SOIL (TYP.)

15"W FOOTING w/ (2) #4 BARS T&B, EMBED 24" INTO UNDISTURBED SOIL (TYP.)

15"W FOOTING w/ (2) #4 BARS T&B, EMBED 24" INTO UNDISTURBED SOIL (TYP.)

30"x52"x15"D CONC. PAD w/ #4 BARS @ 8"o.c. EA. WAY TOP & BOTTOM (12" MINIMUM EMBEDMENT FOR HOLDOWN ANCHORS) SEE 85/SD5, ***POUR MONOLITHIC WITH FOOTING***

15"W FOOTING w/ (2) #4 BARS T&B, EMBED 24" INTO UNDISTURBED SOIL (TYP.)

30"x52"x15"D CONC. PAD w/ #4 BARS @ 8"o.c. EA. WAY TOP & BOTTOM (12" MINIMUM EMBEDMENT FOR HOLDOWN ANCHORS) SEE 85/SD5, ***POUR MONOLITHIC WITH FOOTING***

15"W FOOTING w/ (2) #4 BARS T&B, EMBED 24" INTO UNDISTURBED SOIL (TYP.)

30"x52"x15"D CONC. PAD w/ #4 BARS @ 8"o.c. EA. WAY TOP & BOTTOM (12" MINIMUM EMBEDMENT FOR HOLDOWN ANCHORS) SEE 85/SD5, ***POUR MONOLITHIC WITH FOOTING***

15"W FOOTING w/ (2) #4 BARS T&B, EMBED 24" INTO UNDISTURBED SOIL (TYP.)

30"x52"x15"D CONC. PAD w/ #4 BARS @ 8"o.c. EA. WAY TOP & BOTTOM (12" MINIMUM EMBEDMENT FOR HOLDOWN ANCHORS) SEE 85/SD5, ***POUR MONOLITHIC WITH FOOTING***

15"W FOOTING w/ (2) #4 BARS T&B, EMBED 24" INTO UNDISTURBED SOIL (TYP.)

30"x52"x15"D CONC. PAD w/ #4 BARS @ 8"o.c. EA. WAY TOP & BOTTOM (12" MINIMUM EMBEDMENT FOR HOLDOWN ANCHORS) SEE 85/SD5, ***POUR MONOLITHIC WITH FOOTING***

FOUNDATION PLAN

SCALE 1/4" = 1'-0"

727 2nd St., Suite 104
Hermosa Beach, CA 90254
(310) 944-0898
email: EEngineering@verizon.net

McCullum Engineering Inc.

These drawings are not valid for construction unless stamped and signed by McCullum Engineering, Inc..

STAMP



Gray Residence
415 North Star Lane
Newport Beach, CA 92660

Foundation Plan

REVISIONS	BY
4/17/25	EWM
JOB # 21-052	
ENGINEER EWM	
DRAWN	
CHECKED	
FILE Gray.dwg	
DATE 7/18/22	
SCALE 1/4" = 1'-0"	
SHEET	
S1	

1 of 14 SHEETS

Copyright 2005. All rights reserved. The use of these plans, calculations and specifications shall be restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Reproduction, publication or reuse by any method, in whole or part, is prohibited without the permission and consent of Eric McCullum Engineering Services, McCullum Engineering, Inc.. Title to the Plans, calculations and specifications shall constitute prima facie evidence of the acceptance of these restrictions. In the event of unauthorized reuse of the plans by a third party, the third party shall hold McCullum Engineering harmless. Note: Plans are not valid for construction unless approved by the corresponding city building department.

NOTES

ROOF DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING. FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO SUPPORTS. FLOOR SHALL HAVE TONGUE AND GROOVE OR BLOCKED PANEL EDGES. PLYWOOD SPANS SHALL CONFORM WITH TABLE 2306.2

ALL DIAPHRAGM AND SHEAR WALL NAILING SHALL UTILIZE COMMON NAILS

U.N.O., ALL 2x ROOF RAFTER AND FLOOR JOIST FRAMING MEMBERS SHALL BE MINIMUM GRADE DOUGLAS FIR-LARCH NO. 2 OR BETTER. ALL BEAMS, HEADERS, AND POSTS SHALL BE MINIMUM DOUGLAS FIR-LARCH NO. 1 OR BETTER. ALL VERTICAL WALL FRAMING MEMBERS SHALL BE DOUGLAS FIR-LARCH NO. 2 OR BETTER.

FIELD WELDING TO BE DONE BY WELDERS CERTIFIED BY THE LABS FOR STRUCTURAL STEEL, REINFORCING STEEL. CONTINUOUS INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED.

SHOP WELDS MUST BE PERFORMED IN A CITY BLDNG. DEPT. LICENSED FABRICATOR'S SHOP.

ROOFING MATERIAL NOT TO EXCEED 6 PSF

ROOF SHEATHING SHALL BE 15/32" CDX APA-RATED SHEATHING, EXPOSURE 1, MIN. SPAN RATING 24/0, NAILED WITH 8d COMMON @ 6" o.c. EDGES & BOUNDARIES AND 12" o.c. AT INTERMEDIATE FRAMING MEMBERS.

FLOOR SHEATHING SHALL BE 23/32" CDX APA-RATED STURD-I-FLOOR, T&G, EXPOSURE 1, MIN. SPAN RATING 20" o.c., NAILED WITH 10d COMMON @ 6" o.c. EDGES & BOUNDARIES AND 12" o.c. AT INTERMEDIATE FRAMING MEMBERS, U.N.O.

A LICENSED FABRICATOR IS REQUIRED FOR ALL STRUCTURAL STEEL, GLULAM BEAMS AND PARALLAMS

GLULAM AND PARALLAM BEAMS MUST BE FABRICATED BY A LICENSED SHOP

3x4 OR 2x6 MINIMUM STUD SIZE @ 16" o.c. REQUIRED FOR BEARING WALLS OVER 10 FEET IN HT.

DRAW LINE: DL

DRAW LINE: SIMPSON ST6236 @ ALL BREAKS AND DIAPHRAGM EDGE NAILING.

ALL DECK SHEATHING TO BE BLOCKED AT ALL PANEL EDGES & ALL DECKS TO HAVE SLOPED PLYWOOD

FRAMING KEY

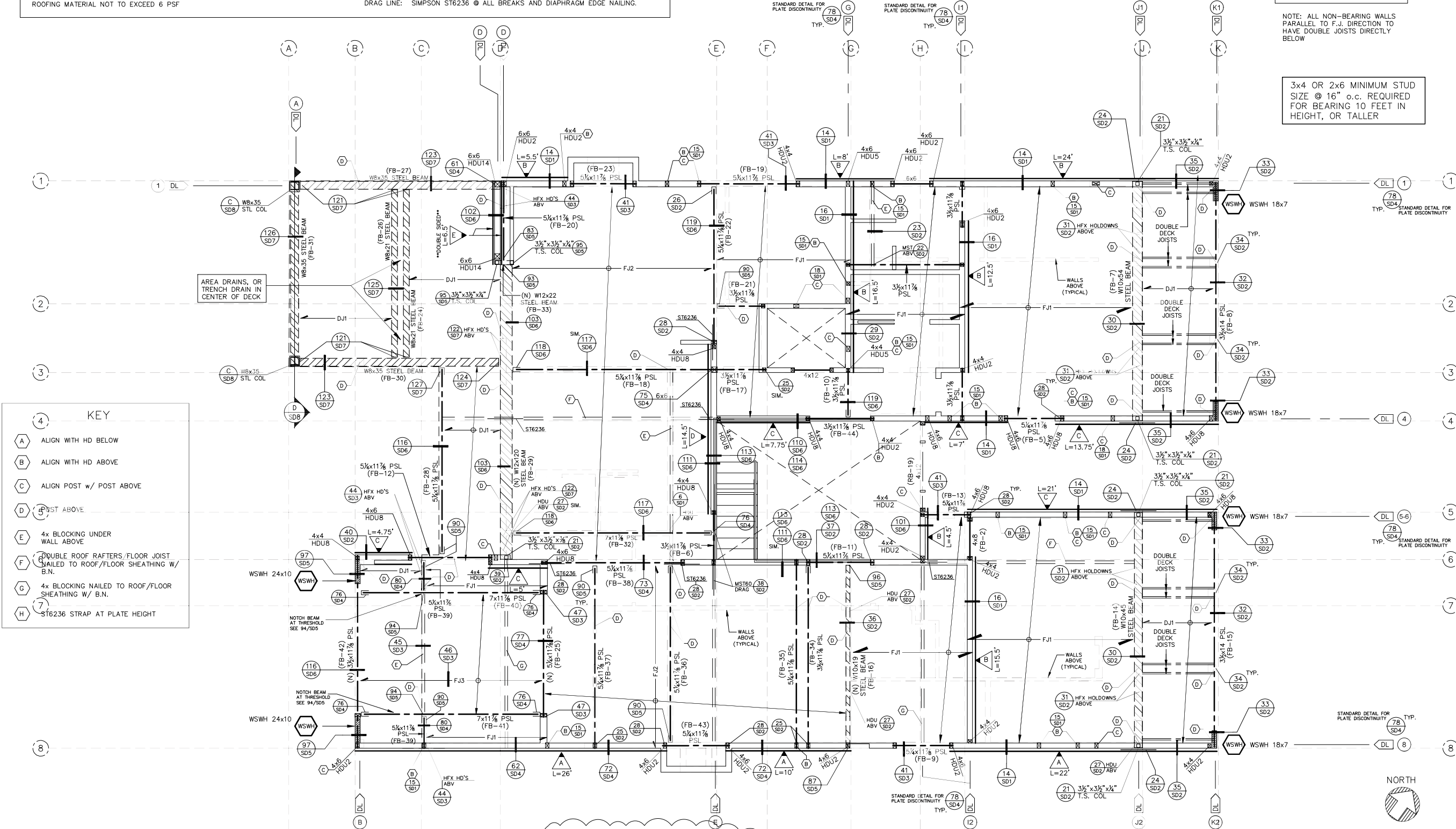
STEEL BEAM
WOOD BEAM

***NO TOP HUNG DOORS (ALL DOORS TO BE SUPPORTED BY TRACK AT BOTTOM)

FJ1 11 7/8" TJI 110 F.J. @ 16" o.c. (FB-1) MAX SPAN = 15 FT.
FJ2 11 7/8" TJI 360 F.J. @ 16" o.c. (FB-4) MAX SPAN = 18 FT.
FJ3 (2) 1 3/4"x11 7/8" MICROLAM LVL (1.9E) F.J. @ 16" o.c. (FB-45) ***DOUBLE JOISTS***
DJ1 2x10 D.J. @ 16" o.c. (FB-3) MAX SPAN = 8 FT. **RIP FOR SLOPE. MINIMUM DEPTH = 7.25"

NOTE: ALL NON-BEARING WALLS PARALLEL TO F.J. DIRECTION TO HAVE DOUBLE JOISTS DIRECTLY BELOW

3x4 OR 2x6 MINIMUM STUD SIZE @ 16" o.c. REQUIRED FOR BEARING 10 FEET IN HEIGHT, OR TALLER



KEY

- A ALIGN WITH HD BELOW
- B ALIGN WITH HD ABOVE
- C ALIGN POST W/ POST ABOVE
- D POST ABOVE
- E 4x BLOCKING UNDER WALL ABOVE
- F DOUBLE ROOF RAFTERS/FLOOR JOIST NAILED TO ROOF/FLOOR SHEATHING W/ B.N.
- G 4x BLOCKING NAILED TO ROOF/FLOOR SHEATHING W/ B.N.
- H ST6236 STRAP AT PLATE HEIGHT

FLOOR FRAMING PLAN

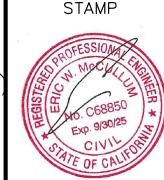
SCALE 1/4"=1'-0"



McCullum Engineering Inc.

727 2nd St., Suite 104
Hermosa Beach, CA 90254
(310) 944-0898
email: EMEngineering@verizon.net

These drawings are not valid for construction unless stamped and signed by McCullum Engineering, Inc..



Gray Residence
415 North Star Lane
Newport Beach, CA 92660

Floor Framing Plan

REVISIONS	BY
6/15/23	EWM
4/17/25	EWM
JOB# 21-052	
ENGINEER EWM	
DRAWN	
CHECKED	
FILE Gray.dwg	
DATE 7/18/22	
SCALE 1/4"=1'-0"	

SHEET
S2

Copyright 2005. All rights reserved. The use of these plans, calculations and specifications shall be restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Reproduction, publication or reuse by any method, in whole or part, is prohibited without the permission and consent of Eric McCullum Engineering Services, McCullum Engineering, Inc.). Title to the Plans, calculations and specifications shall constitute prima facie evidence of the acceptance of these restrictions. In the event of unauthorized reuse of the plans by a third party, the third party shall hold McCullum Engineering harmless. Note: Plans are not valid for construction unless approved by the corresponding city building department.

SYMBOLS/ABBREVIATIONS:

F.J. = FLOOR JOISTS
R.R. = ROOF RAFTERS
C.J. = CEILING JOISTS
K.P. = KING POST
TYP. = TYPICAL
O.C. = ON CENTER
B.N. = BOUNDARY NAILING
E.N. = EDGE NAILING
S.M. = SIMILAR
V.I.F. = VERIFY IN FIELD
BLK'G = BLOCKING

(N) = NEW
(E) = EXISTING
RB = ROOF BEAM/JOIST
FB = FLOOR BEAM/JOIST
HNGR = HANGER
SIMP. = SIMPSON
PSL = PARALLAM, TRUSJOIST
M.B. = MACHINE BOLT
R.B. = RIDGE BEAM/BOARD
HDR = HEADER
UNO = UNLESS NOTE OTHERWISE

INDICATES SHEAR WALL

INDICATES POST
(4x4, UNO)

INDICATES 4x6 POST

INDICATES KING POST
(4x4, UNO)

INDICATES 6x6 POST
(U.N.O.)

INDICATES SIMPSON HANGER
"HUCO" FOR SOLID SAWN
"HHUS" FOR PSL BEAMS

HFX HARDY FRAME PANELS (W/ STANDARD
STRENGTH 1/8" HOLDOWN BOLTS, U.N.O.)

WSWH SIMPSON STRONG WALL WOOD
SHEARWALL PER PLANS - HOLDOWN
BOLTS PER MANUFACTURER

***NO TOP HUNG DOORS (ALL DOORS TO
BE SUPPORTED BY TRACK AT BOTTOM)

PERIODIC SPECIAL INSPECTION IS REQUIRED
FOR WOOD SHEAR WALLS, SHEAR PANELS,
AND DIAPHRAGMS, INCLUDING NAILING,
BOLTING, ANCHORING, AND OTHER
FASTENING TO COMPONENTS OF THE
SEISMIC FORCE RESISTING SYSTEM.
SPECIAL INSPECTION BY A DEPUTY
INSPECTOR IS REQUIRED WHERE THE
FASTENER SPACING OF THE SHEATHING IS
4 INCHES ON CENTER OR LESS

FRAMING KEY

STEEL BEAM

WOOD BEAM

RR1 2x8 R.R. @ 16"o.c.
(RB-1)
MAX SPAN = 14 FT.

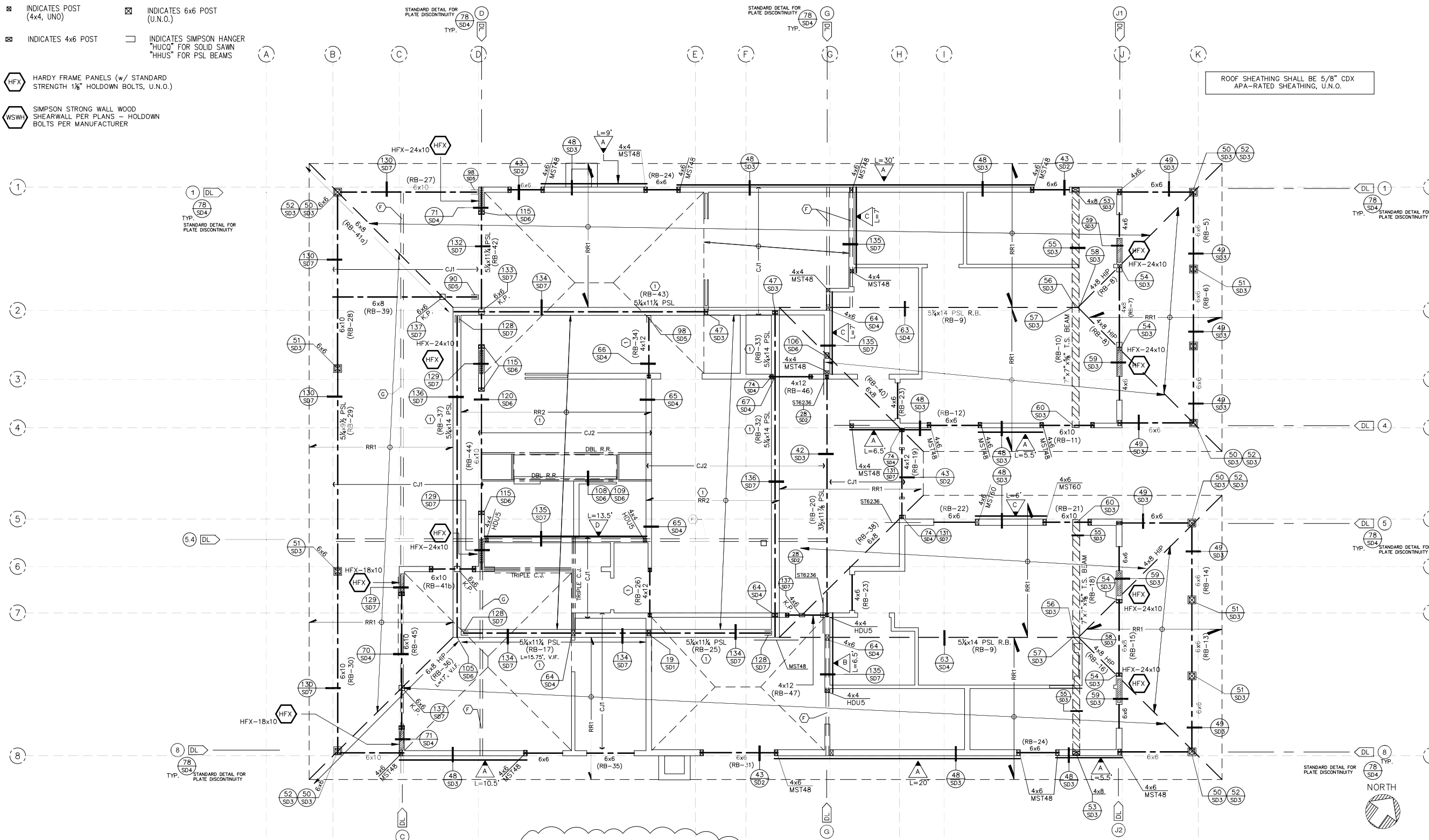
RR2 2x12 R.R. @ 16"o.c.
(RB-2)
MAX SPAN = 17 FT.

RR3 4x4 R.R. @ 16"o.c.

CJ1 2x6 C.J. @ 16"o.c.
MAX SPAN = 13 FT.
(RB-4)

CJ2 2x8 C.J. @ 16"o.c.
MAX SPAN = 15 FT.
(RB-3)

ROOF SHEATHING SHALL BE 5/8" CDX
APA-RATED SHEATHING, U.N.O.



ROOF FRAMING PLAN

SCALE 1/4"=1'-0"

1

**McCullum
Engineering
Inc.**

727 2nd St., Suite 104
Hermosa Beach, CA 90254
(310) 944-0898
email: EMEngineering@verizon.net

These drawings are not
valid for construction
unless stamped and
signed by McCullum
Engineer, Inc..

STAMP



Gray Residence
415 North Star Lane
Newport Beach, CA 92660

**Roof Framing
Plan**

REVISIONS	BY
6/15/23	EWM
4/17/25	EWM

JOB# 21-052
ENGINEER EWM
DRAWN
CHECKED
FILE Gray.dwg
DATE 7/18/22
SCALE 1/4"=1'-0"

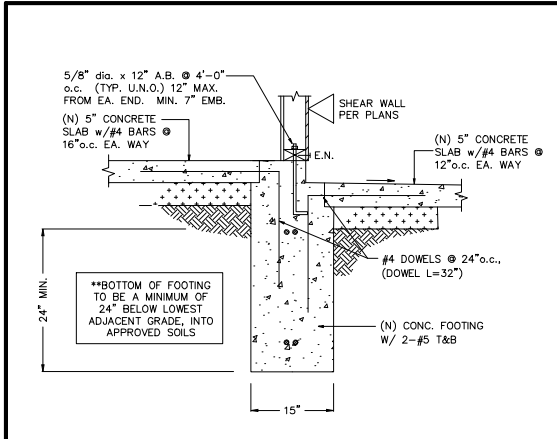
SHEET

S3

14

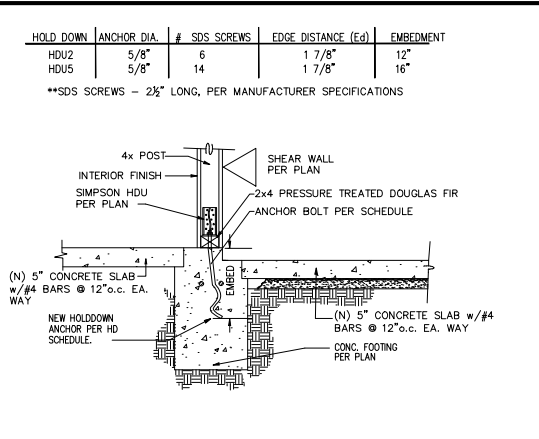
SHEETS

Copyright 2005. All rights reserved. The use of these plans, calculations and specifications shall be restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Reproduction, publication or reuse by any method, in whole or part, is prohibited without the permission and consent of Eric McCullum Engineering Services, McCullum Engineering, Inc.. Title to the Plans, calculations and specifications shall constitute prima facie evidence of the acceptance of these restrictions. In the event of unauthorized reuse of the plans by a third party, the third party shall hold McCullum Engineering harmless. Note: Plans are not valid for construction unless approved by the corresponding city building department.



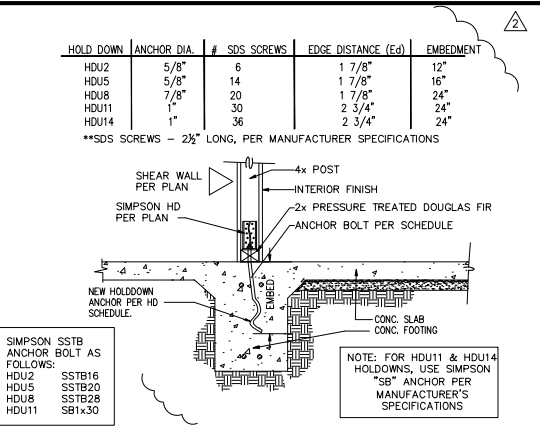
FOOTING DETAIL

1



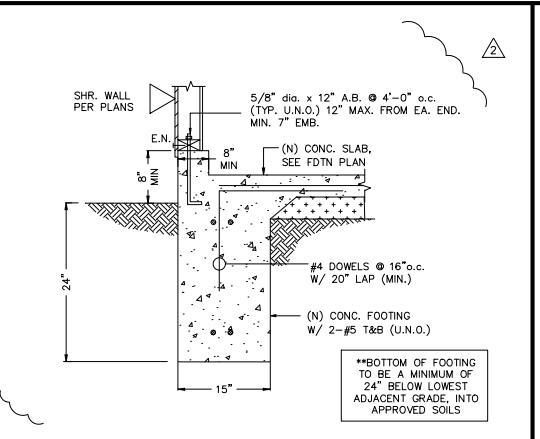
HOLDOWN DETAIL

2



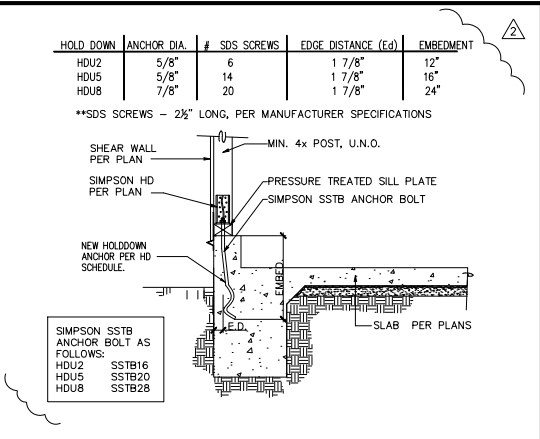
HOLDOWN DETAIL

3



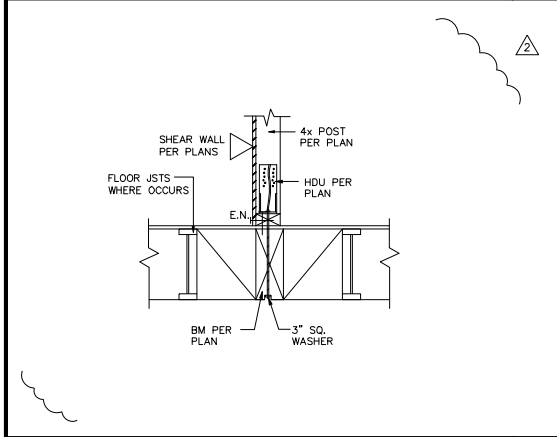
FOOTING DETAIL

4



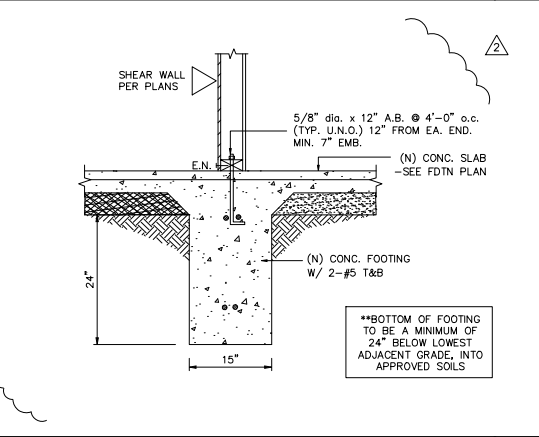
HOLDOWN DETAIL

5



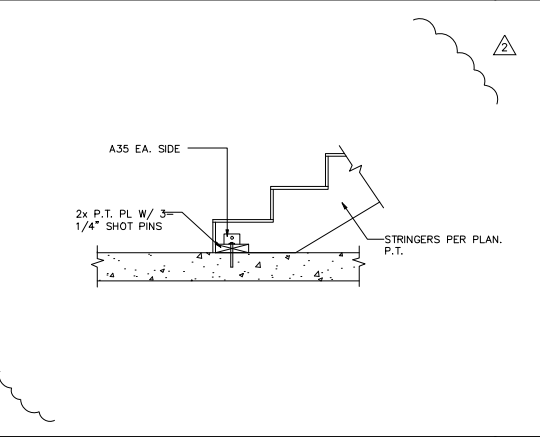
HOLDOWN-BEAM DETAIL

6



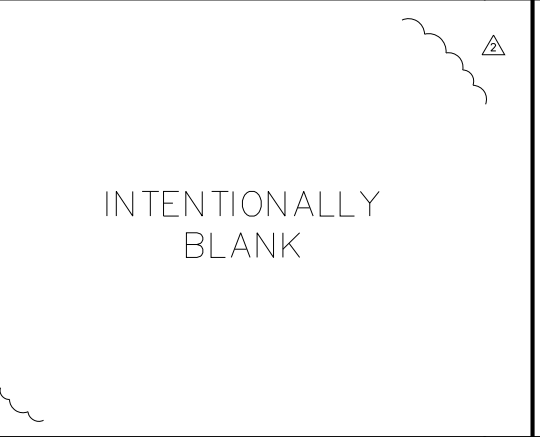
FOOTING DETAIL

7



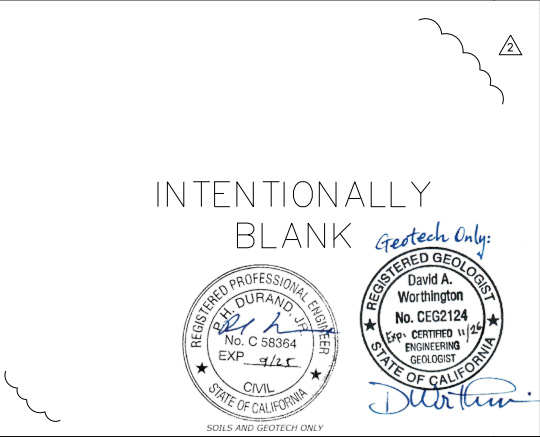
STAIR DETAIL

8



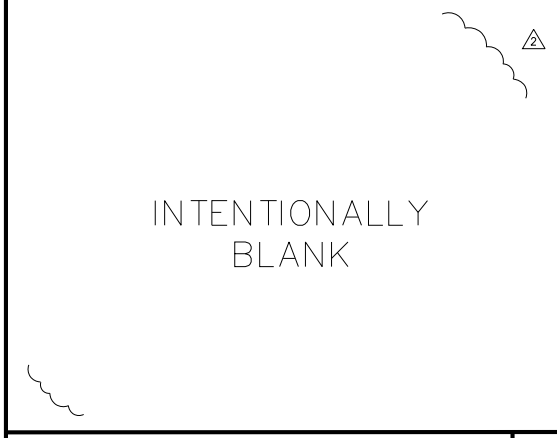
INTENTIONALLY BLANK

9



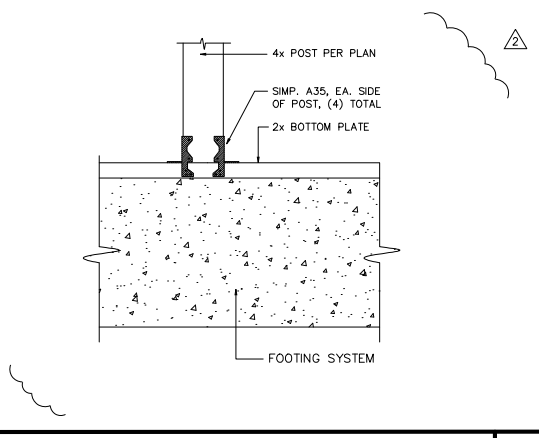
INTENTIONALLY BLANK

10



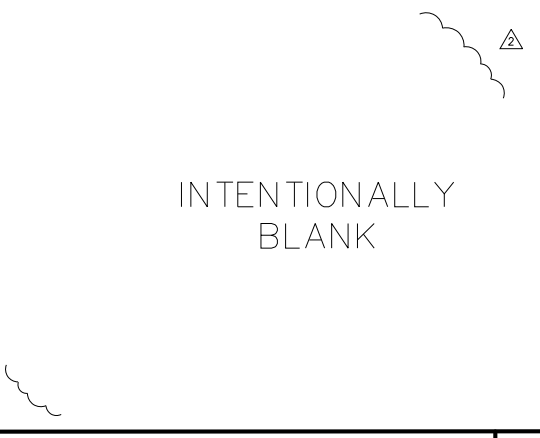
INTENTIONALLY BLANK

11



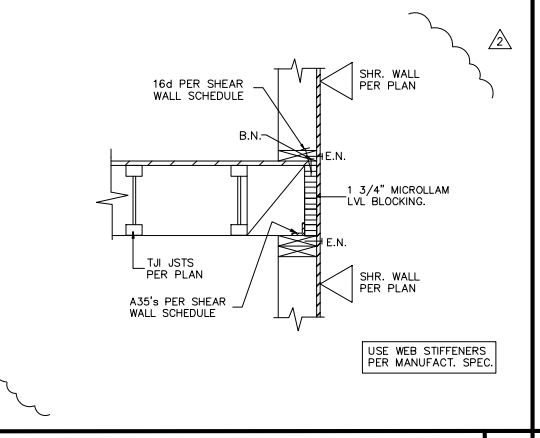
POST-BASE DETAIL

12



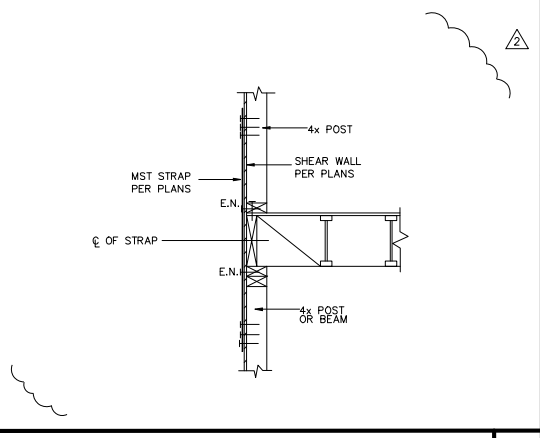
INTENTIONALLY BLANK

13



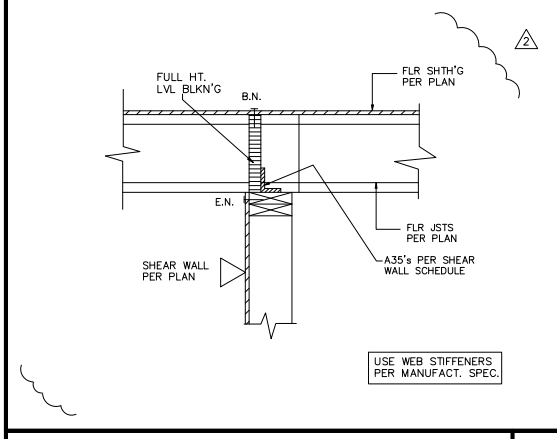
SHEAR TRANSFER DETAIL

14



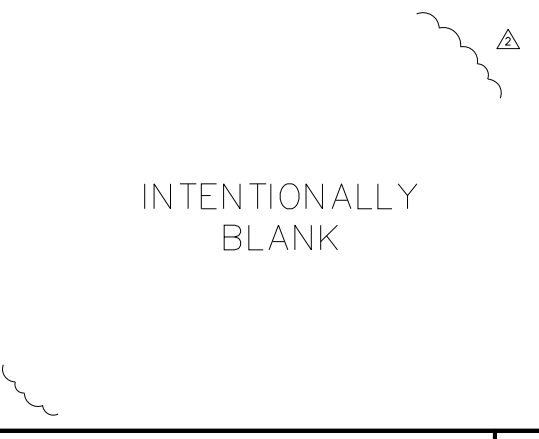
HOLDOWN STRAP DETAIL

15



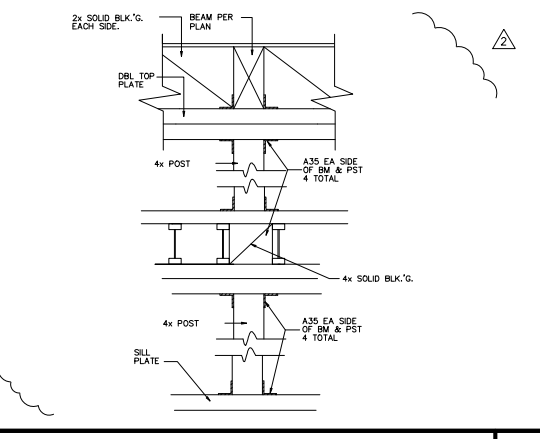
SHEAR TRANSFER DETAIL

16



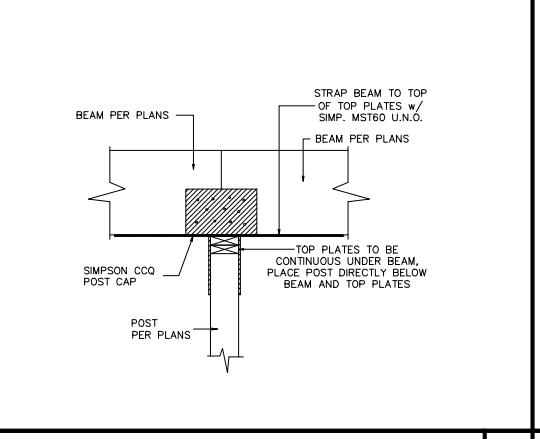
INTENTIONALLY BLANK

17



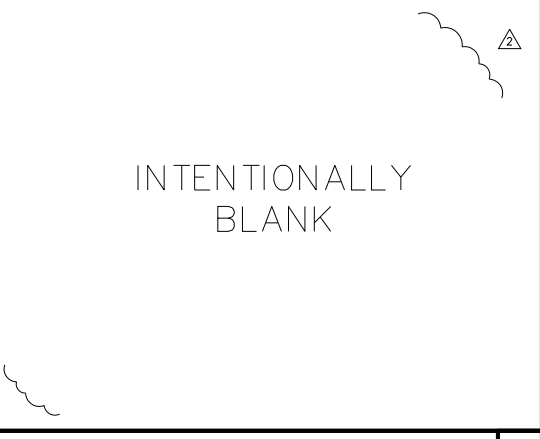
STACKING POSTS DETAIL

18



POST-BEAM DETAIL

19



INTENTIONALLY BLANK

20

727 2nd St., Suite 104
Hermosa Beach, CA 90254
(310) 944-0898
email: EMEngineering@verizon.net

McCullum Engineering Inc.

These drawings are not valid for construction unless stamped and signed by McCullum Engineering, Inc..

STAMP

REGISTERED PROFESSIONAL ENGINEER
ERIC W. MCCULLUM
No. C68850
Exp. 09/05
CIVIL
STATE OF CALIFORNIA

PROJECT

Gray Residence
415 North Star Lane
Newport Beach, CA 92660

DRAWING

Structural Details

REVISIONS	BY
4/17/25	EWM

JOB# 21-052

ENGINEER EWM

DRAWN

CHECKED

FILE Gray.dwg

DATE 7/18/22

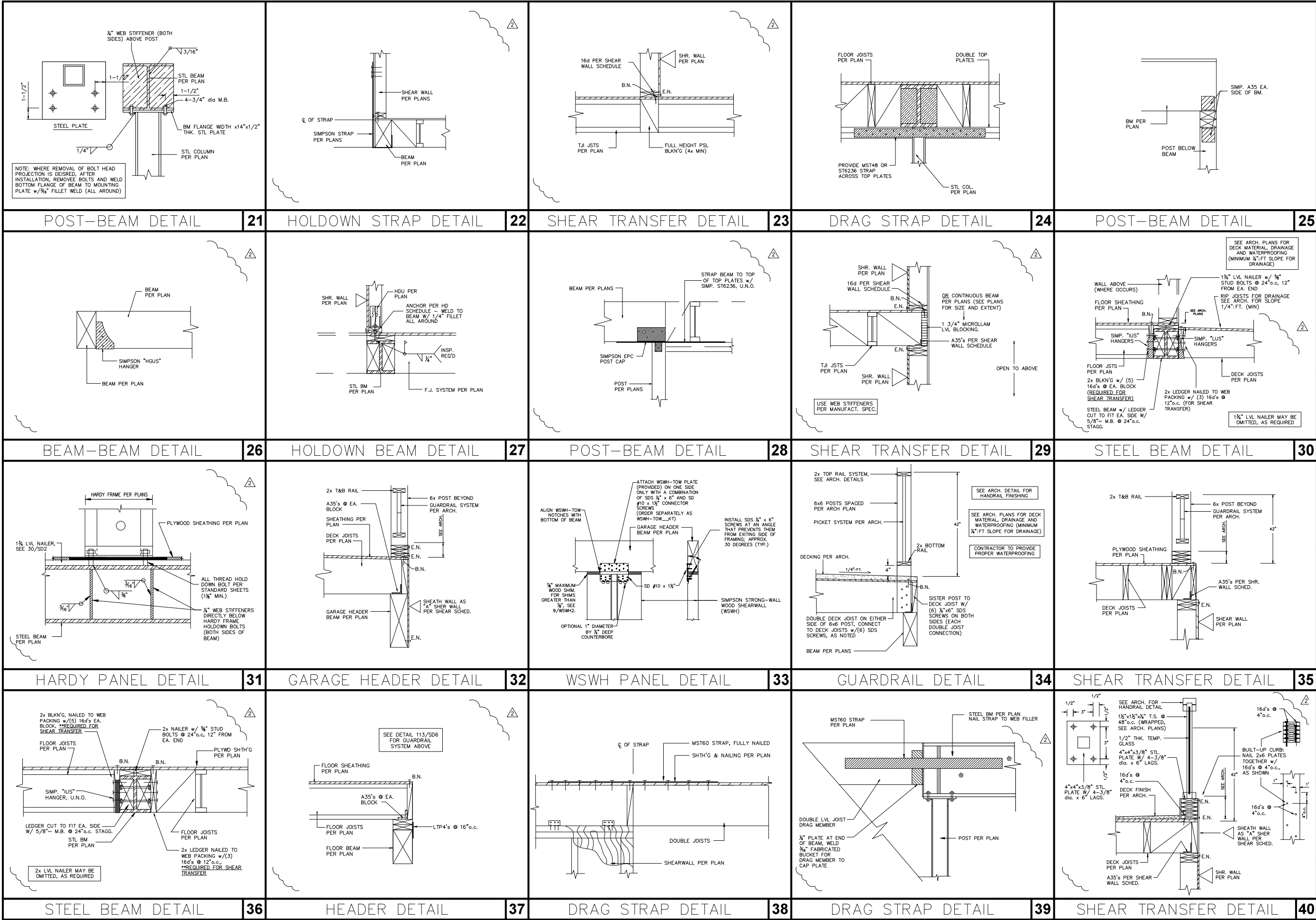
SCALE NTS

SHEET

SD1

of 14 SHEETS

Copyright 2005. All rights reserved. The use of these plans, calculations and specifications shall be restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Reproduction, publication or reuse by any method, in whole or part, is prohibited without the permission and consent of Eric McCullum Engineering Services, McCullum Engineering, Inc.. Title to the Plans, calculations and specifications shall constitute prima facie evidence of the acceptance of these restrictions. In the event of unauthorized reuse of the plans by a third party, the third party shall hold McCullum Engineering harmless. Note: Plans are not valid for construction unless approved by the corresponding city building department.



727 2nd St., Suite 104
Hermosa Beach, CA 90254
(310) 944-0898
email: EMEngineering@verizon.net

McCullum
Engineering
Inc.

These drawings are not
valid for construction
unless stamped and
signed by McCullum
Engineering, Inc..

STAMP

REGISTERED PROFESSIONAL ENGINEER
ERIC W. MCCULLUM
No. C68850
Exp. 9/30/25
CIVIL
STATE OF CALIFORNIA

PROJECT

Gray Residence
415 North Star Lane
Newport Beach, CA 92660

DRAWING

Structural
Details

REVISIONS	BY
6/15/23	EWM
4/17/25	EWM

JOB# 21-052

ENGINEER EWM

DRAWN

CHECKED

FILE Gray.dwg

DATE 7/18/22

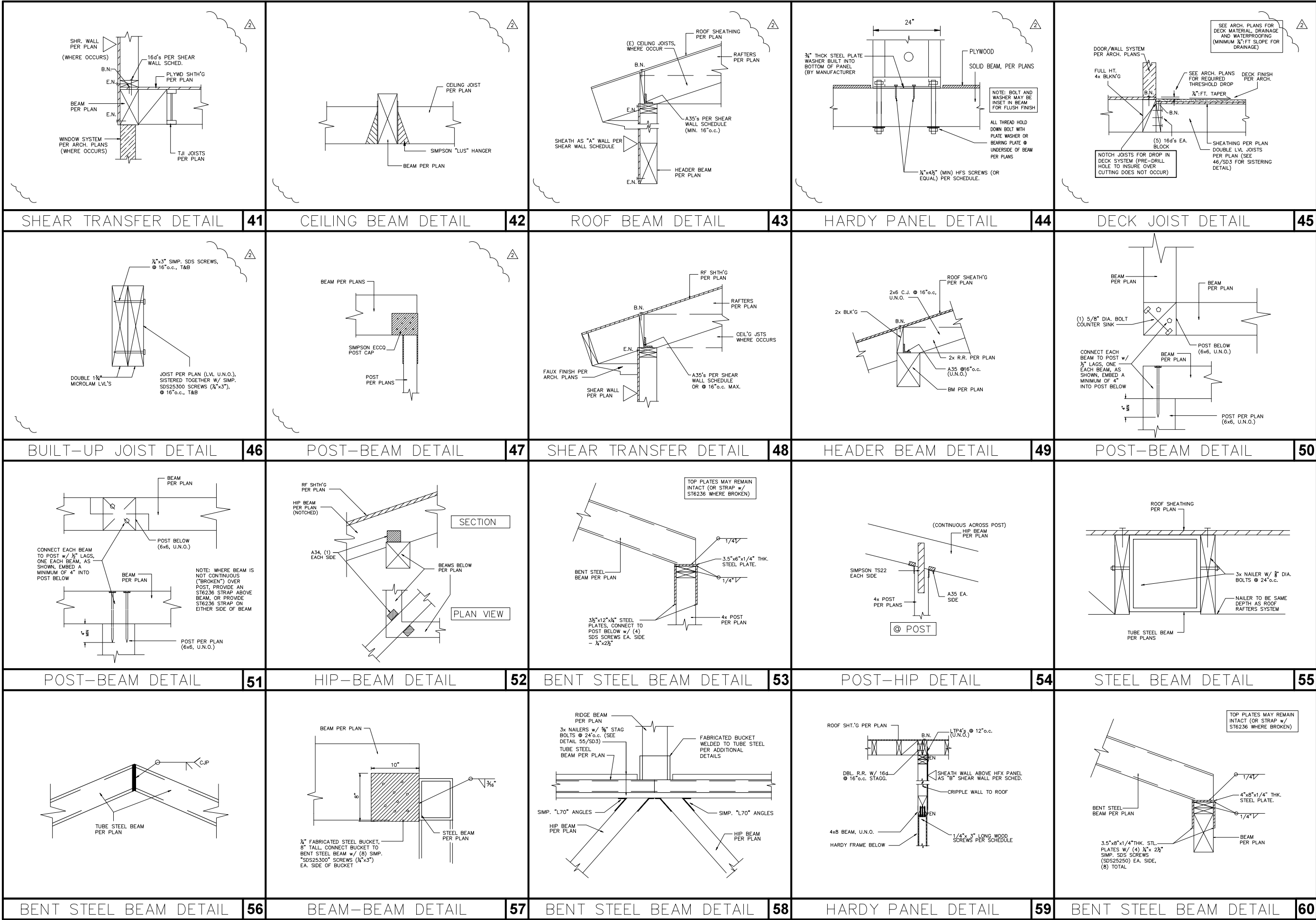
SCALENTS

SHEET

SD2

OF 14 SHEETS

Copyright 2005. All rights reserved. The use of these plans, calculations and specifications shall be restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Reproduction, publication or reuse by any method, in whole or part, is prohibited without the permission and consent of Eric McCullum Engineering Services, McCullum Engineering, Inc.. Title to the Plans, calculations and specifications shall constitute prima facie evidence of the acceptance of these restrictions. In the event of unauthorized reuse of the plans by a third party, the third party shall hold McCullum Engineering harmless. Note: Plans are not valid for construction unless approved by the corresponding city building department.



727 2nd St., Suite 104
Hermosa Beach, CA 90254
(310) 944-0898
email: EMEngineering@verizon.net

McCullum
Engineering
Inc.

These drawings are not
valid for construction
unless stamped and
signed by McCullum
Engineer, Inc..

STAMP

REGISTERED PROFESSIONAL ENGINEER
ERIC W. MCCULLUM
No. C68850
Exp. 9/30/25
CIVIL
STATE OF CALIFORNIA

PROJECT

Gray Residence
415 North Star Lane
Newport Beach, CA 92660

DRAWING

Structural
Details

REVISIONS	BY
6/15/23	EWM
4/17/25	EWM

JOB# 21-052

ENGINEER EWM

DRAWN

CHECKED

FILE Gray.dwg

DATE 7/18/22

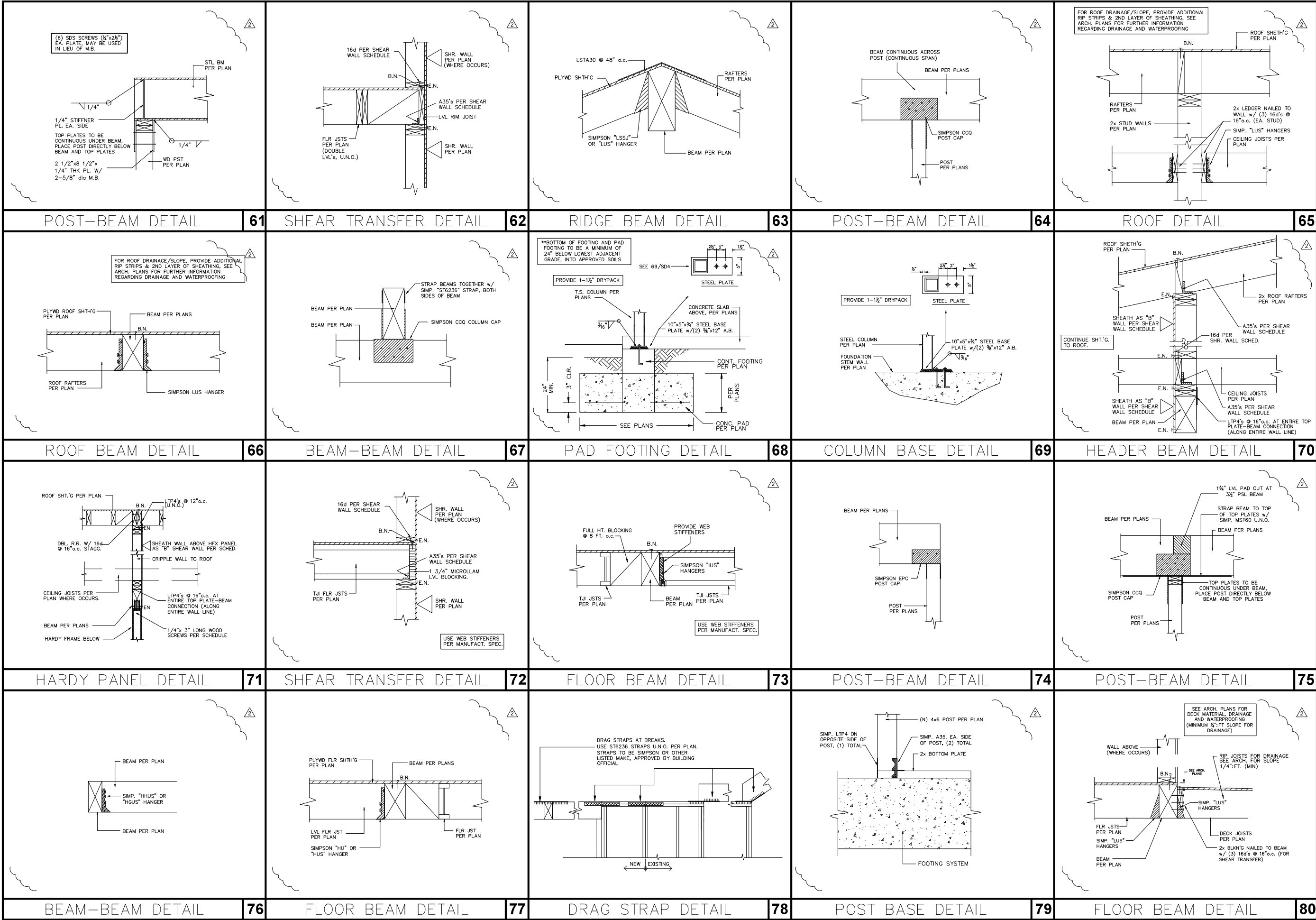
SCALE NTS

SHEET

SD3

of 14 SHEETS

Copyright 2005. All rights reserved. The use of these plans, calculations and specifications shall be restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Reproduction, publication or reuse by any method, in whole or part, is prohibited without the permission and consent of Eric McCullum Engineering Services, McCullum Engineering, Inc.). Title to the Plans, calculations and specifications shall constitute prima facie evidence of the acceptance of these restrictions. In the event of unauthorized reuse of the plans by a third party, the third party shall hold McCullum Engineering harmless. Note: Plans are not valid for construction unless approved by the corresponding city building department.



727 2nd St., Suite 104
Hermosa Beach, CA 90254
(310) 944-0898
email: EMEngineering@verizon.net

McCullum
Engineering
Inc.

These drawings are not
valid for construction
unless stamped and
signed by McCullum
Engineer, Inc..

STAMP

REGISTERED PROFESSIONAL ENGINEER
ERIC W. MCCULLUM
No. C68850
Exp. 9/30/25
CIVIL
STATE OF CALIFORNIA

PROJECT

Gray Residence
415 North Star Lane
Newport Beach, CA 92660

DRAWING

Structural
Details

REVISIONS	BY
△ 6/15/23	EWM
△ 4/17/25	EWM

JOB# 21-052

ENGINEER EWM

DRAWN

CHECKED

FILE Gray.dwg

DATE 7/18/22

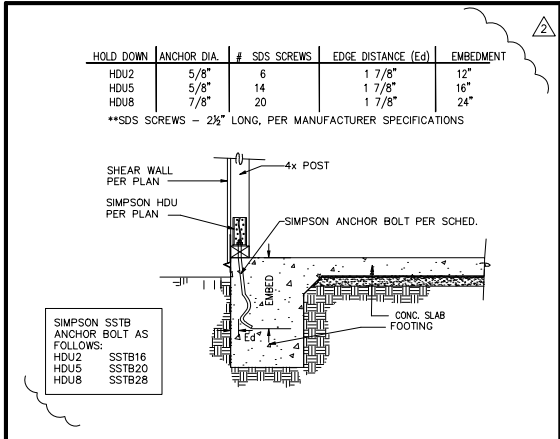
SCALE NTS

SHEET

SD4

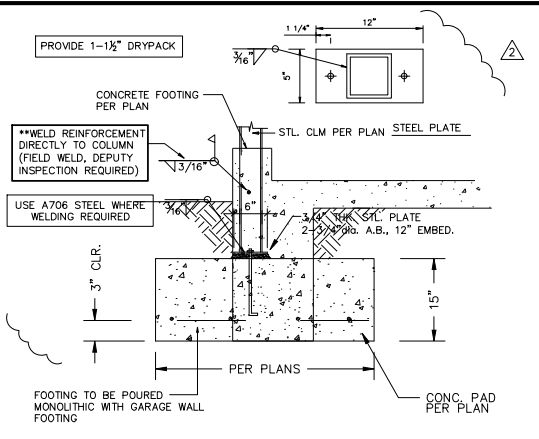
OF 14 SHEETS

Copyright © 2005. All rights reserved. The use of these plans, calculations and specifications shall be restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Reproduction, publication or reuse by any method, in whole or part, is prohibited without the permission and consent of Eric McCullum Engineering Services, McCullum Engineering, Inc.). Title to the Plans, calculations and specifications shall constitute prima facie evidence of the acceptance of these restrictions. In the event of unauthorized reuse of the plans by a third party, the third party shall hold McCullum Engineering harmless. Note: Plans are not valid for construction unless approved by the corresponding city building department.



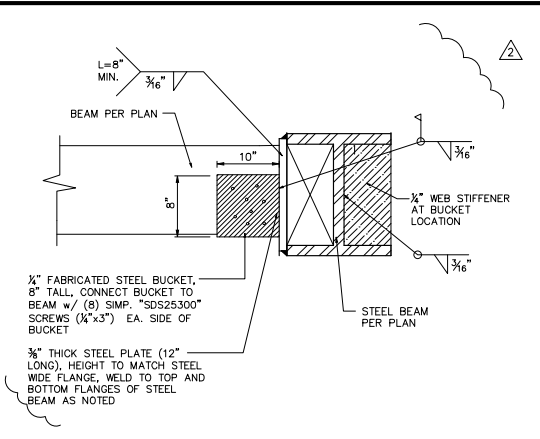
HOLDOWN DETAIL

81



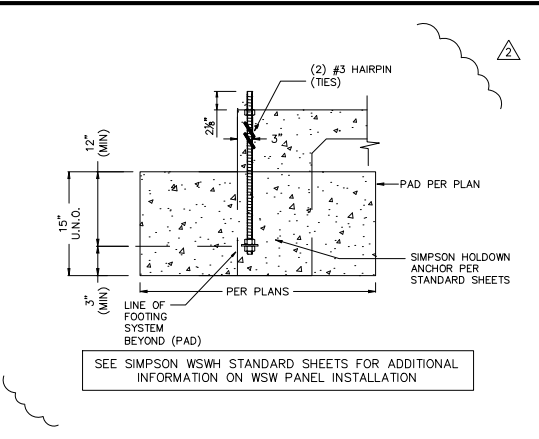
PAD FOOTING DETAIL

82



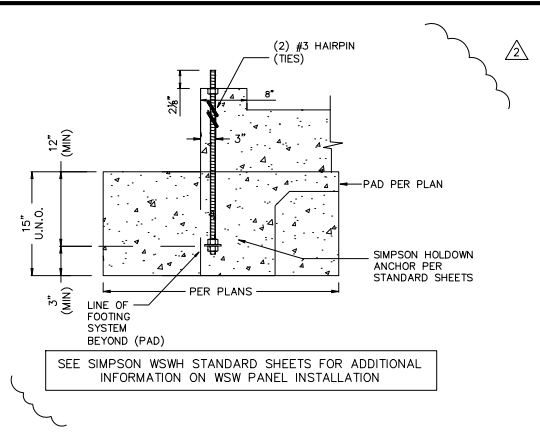
BEAM-BEAM DETAIL

83



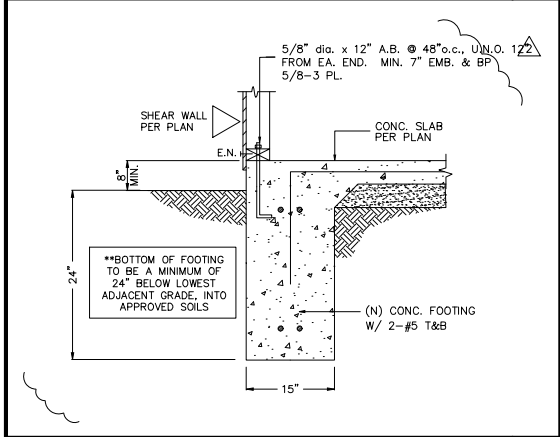
WSWH PANEL DETAIL

84



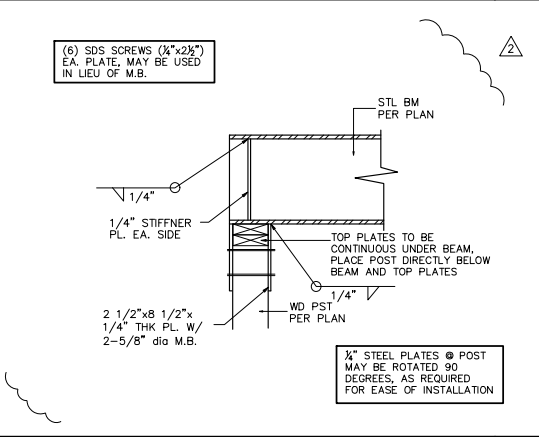
WSWH PANEL DETAIL

85



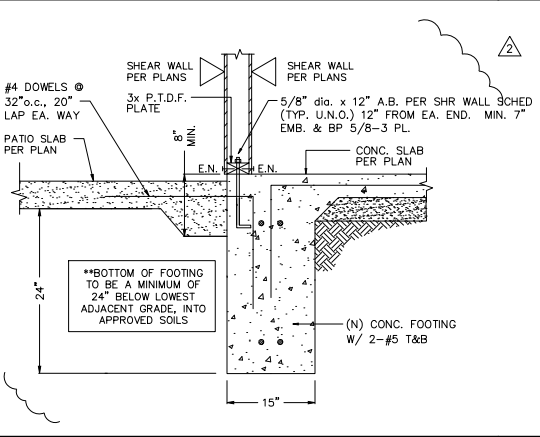
FOOTING DETAIL

86



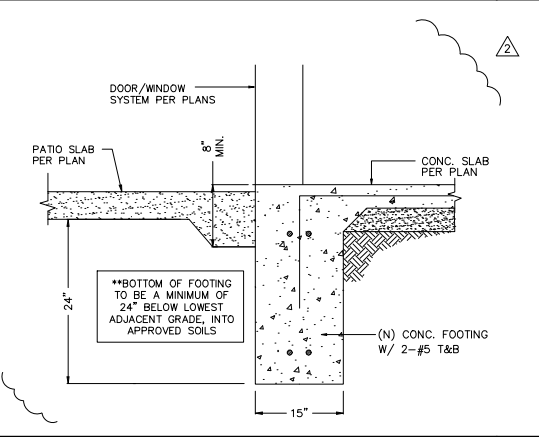
POST-BEAM DETAIL

87



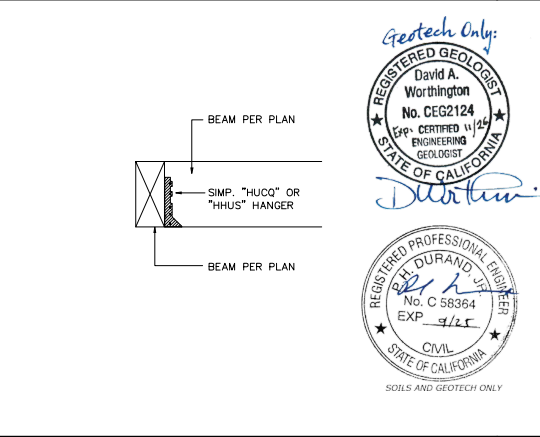
FOOTING DETAIL

88



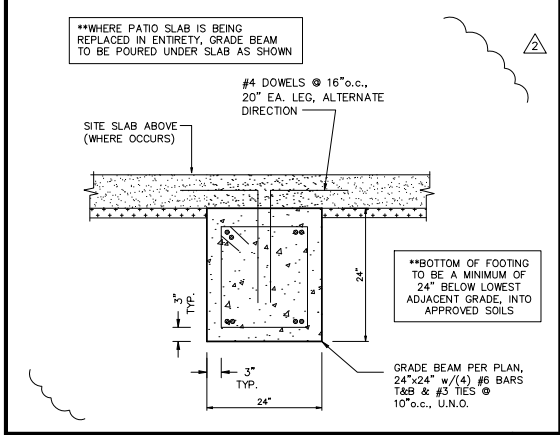
FOOTING DETAIL

89



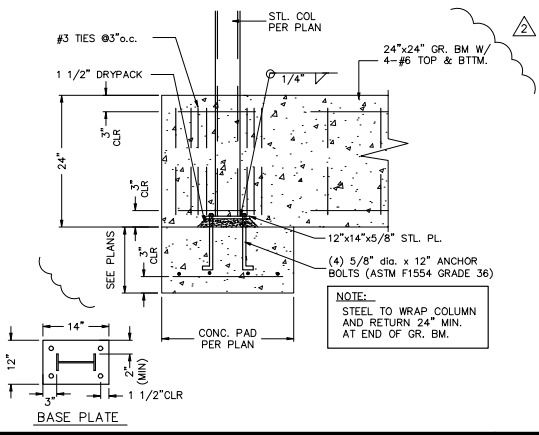
BEAM-BEAM DETAIL

90



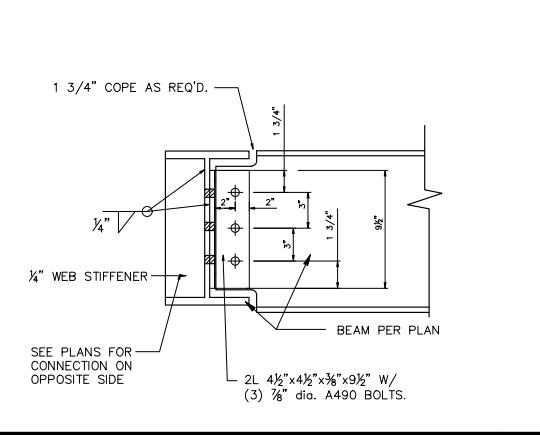
GRADE BEAM DETAIL

91



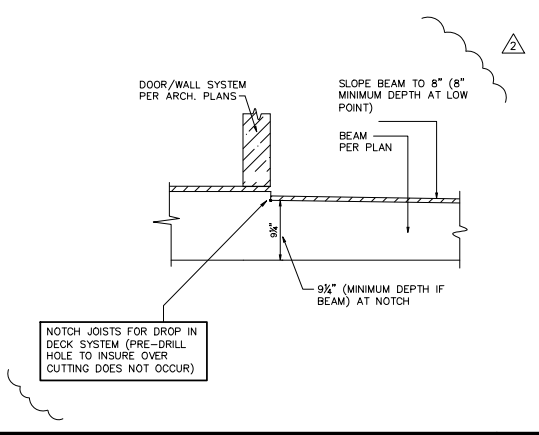
STEEL COLUMN DETAIL

92



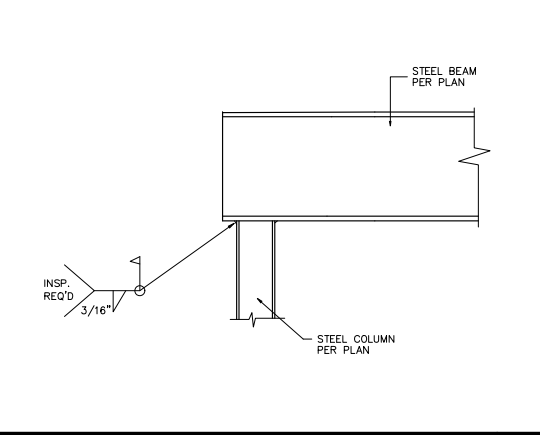
BEAM-BEAM DETAIL

93



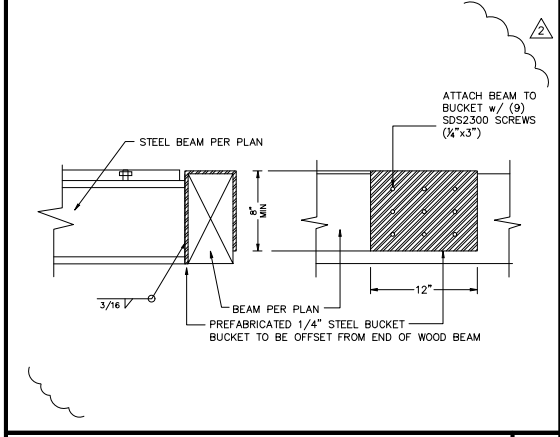
NOTCHED BEAM DETAIL

94



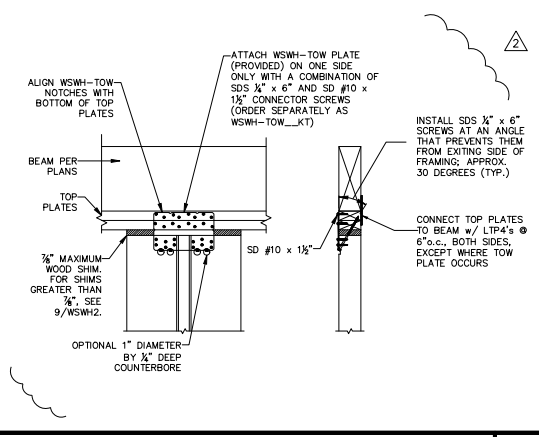
POST-BEAM DETAIL

95



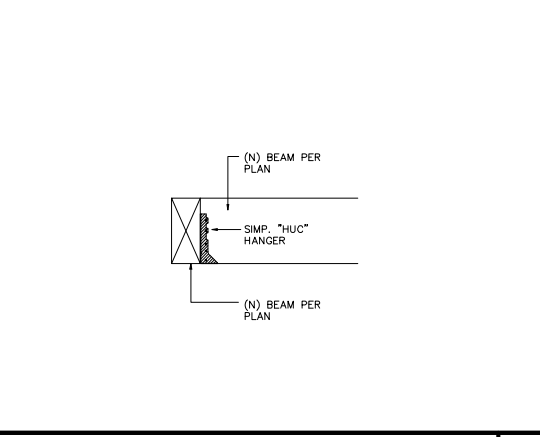
BEAM-BEAM DETAIL

96



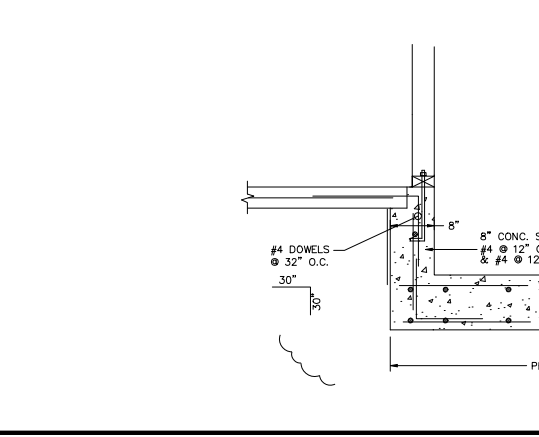
WSWH PANEL DETAIL

97



BEAM-BEAM DETAIL

98



ELEVATOR PIT DETAIL

A

McCullum Engineering Inc.
727 2nd St., Suite 104
Hermosa Beach, CA 90254
(310) 944-0898
email: EMEngineering@verizon.net

These drawings are not valid for construction unless stamped and signed by McCullum Engineering, Inc..

STAMP

REGISTERED PROFESSIONAL ENGINEER
No. C68350
Exp. 9/30/25
CIVIL
STATE OF CALIFORNIA

PROJECT

Gray Residence
415 North Star Lane
Newport Beach, CA 92660

DRAWING

Structural Details

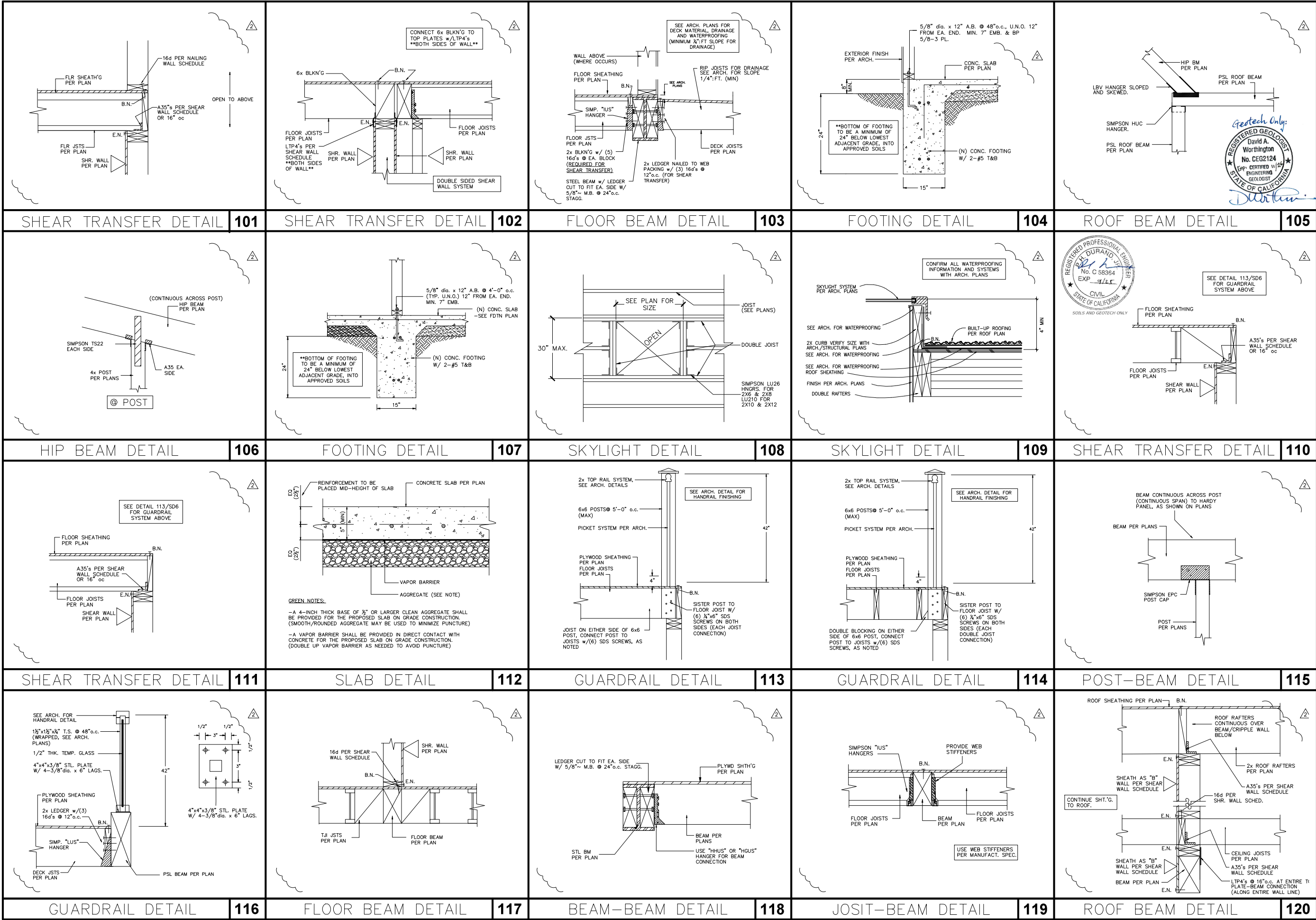
REVISIONS	BY
6/15/23	EWM
4/17/25	EWM
JOB# 21-052	
ENGINEER EWM	
DRAWN	
CHECKED	
FILE Gray.dwg	
DATE 7/18/22	
SCALENTS	

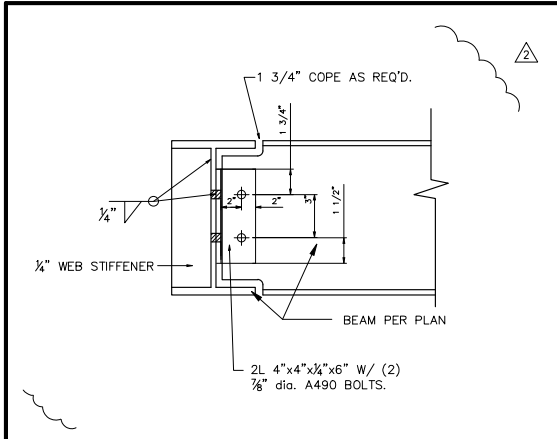
SHEET

SD5

OF 14 SHEETS

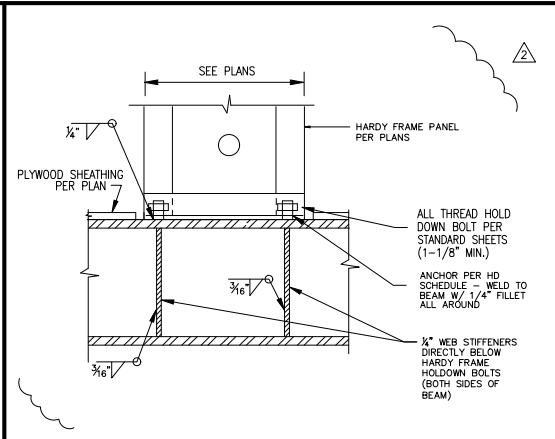
Copyright 2005. All rights reserved. The use of these plans, calculations and specifications shall be restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Reproduction, publication or reuse by any method, in whole or part, is prohibited without the permission and consent of Eric McCullum Engineering Services, McCullum Engineering, Inc.). Title to the Plans, calculations and specifications shall constitute prima facie evidence of the acceptance of these restrictions. In the event of unauthorized reuse of the plans by a third party, the third party shall hold McCullum Engineering harmless. Note: Plans are not valid for construction unless approved by the corresponding city building department.





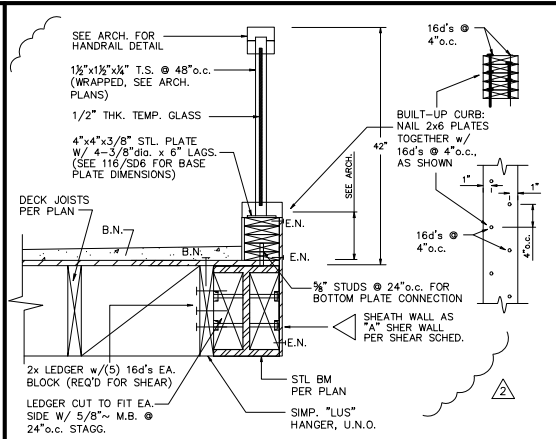
BEAM-BEAM DETAIL

121



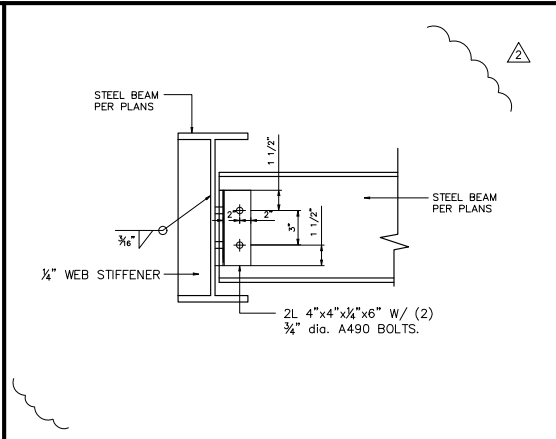
HARDY PANEL-BM DETAIL

122



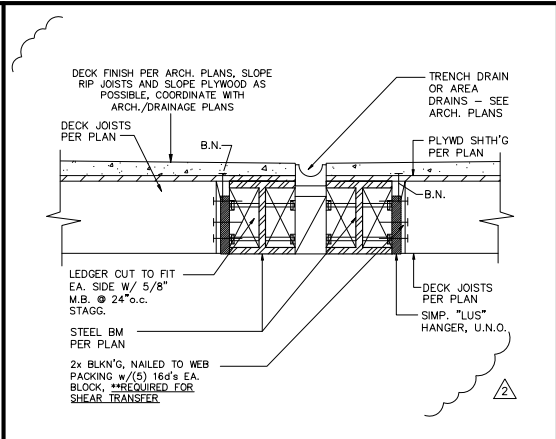
GUARDRAIL DETAIL

123



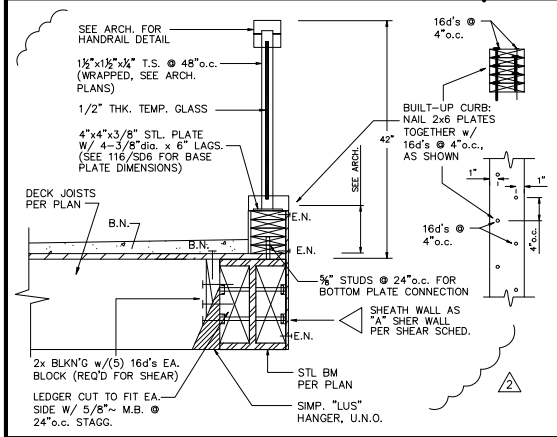
BEAM-BEAM DETAIL

124



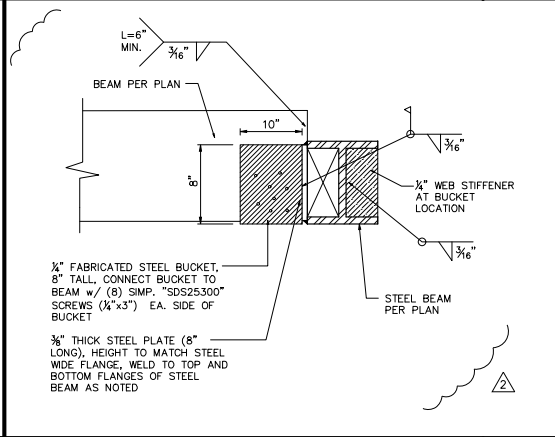
DECK BEAM DETAIL

125



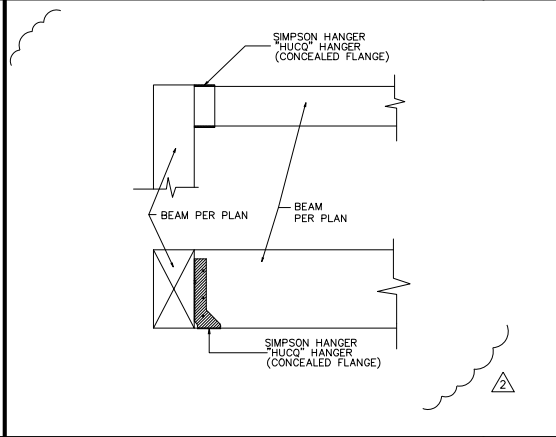
GUARDRAIL DETAIL

126



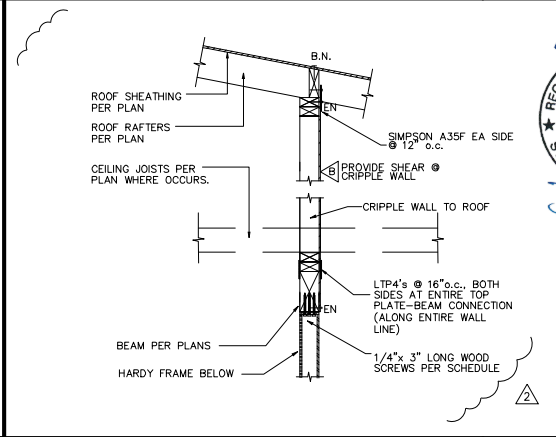
BEAM-BEAM DETAIL

127



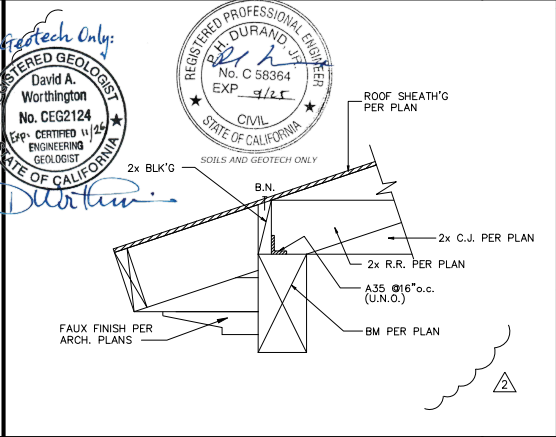
BEAM-BEAM DETAIL

128



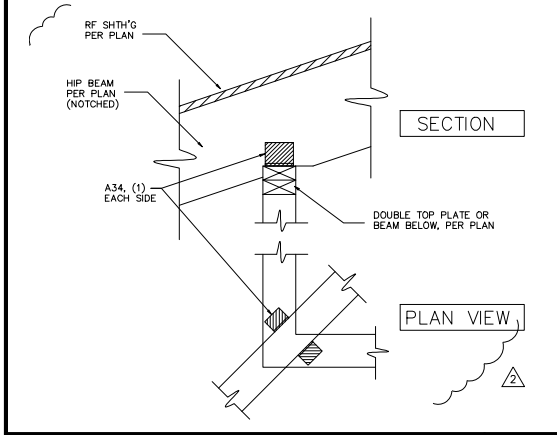
HARDY PANEL DETAIL

129



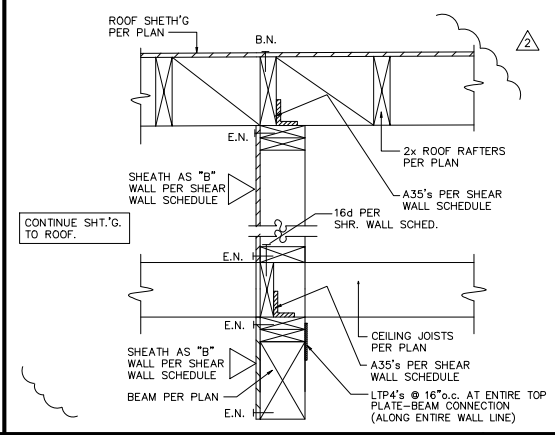
ROOF BEAM DETAIL

130



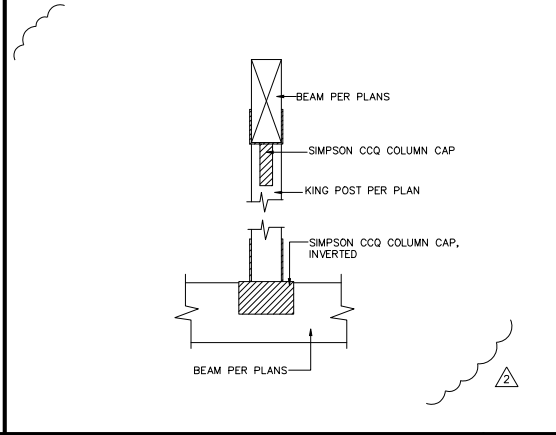
HIP BEAM DETAIL

131



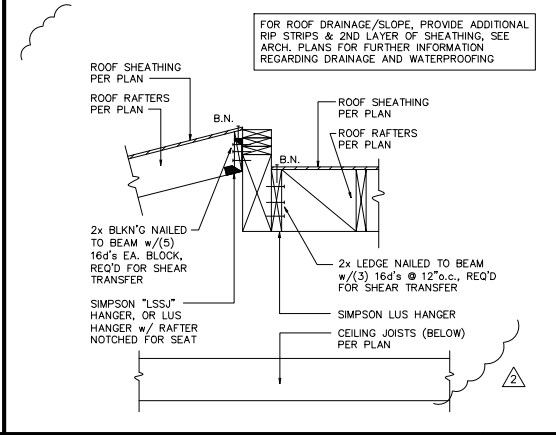
ROOF BEAM DETAIL

132



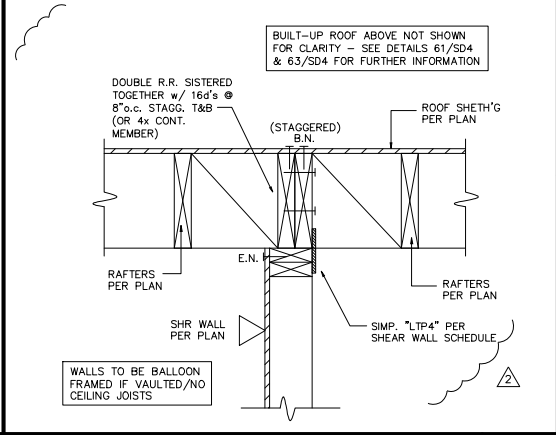
KING POST DETAIL

133



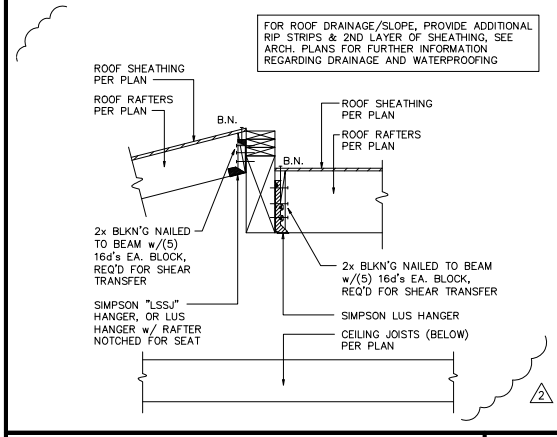
ROOF BEAM DETAIL

134



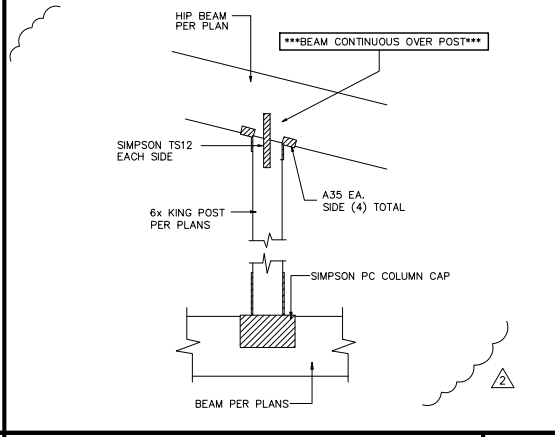
SHEAR TRANSFER DETAIL

135



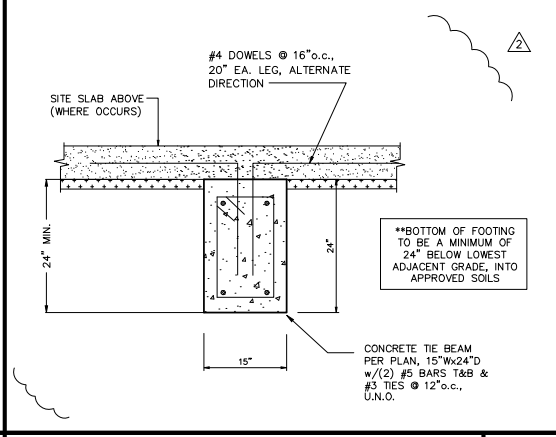
ROOF BEAM DETAIL

136



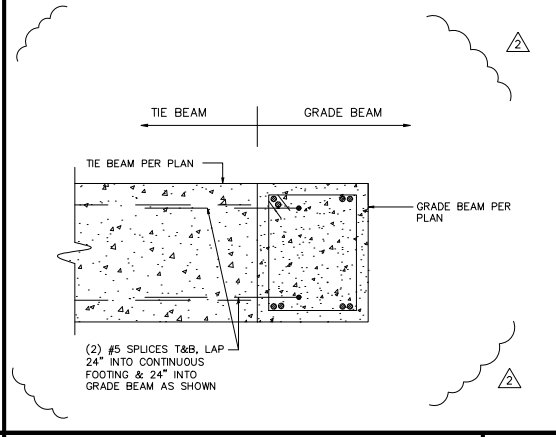
HIP BEAM DETAIL

137



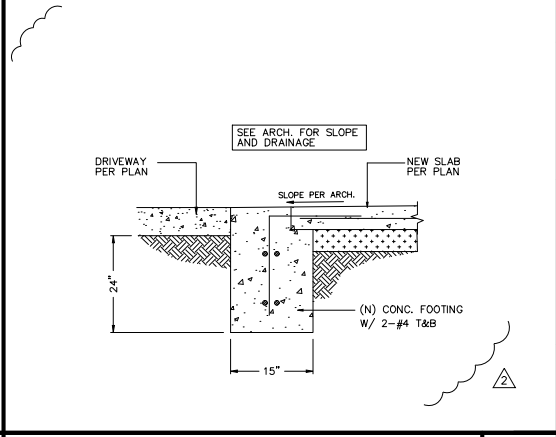
TIE BEAM DETAIL

138



FOOTING-FOOTING DETAIL

139



FOOTING DETAIL

140

McCullum Engineering Inc.

727 2nd St., Suite 104
Hermosa Beach, CA 90254
(310) 944-0898
email: EMEngineering@verizon.net

These drawings are not valid for construction unless stamped and signed by McCullum Engineering, Inc..

STAMP

REGISTERED PROFESSIONAL ENGINEER
No. C 58364
EXP. 3/15
CIVIL
STATE OF CALIFORNIA

REGISTERED PROFESSIONAL ENGINEER
No. C68850
EXP. 9/30/25
CIVIL
STATE OF CALIFORNIA

PROJECT

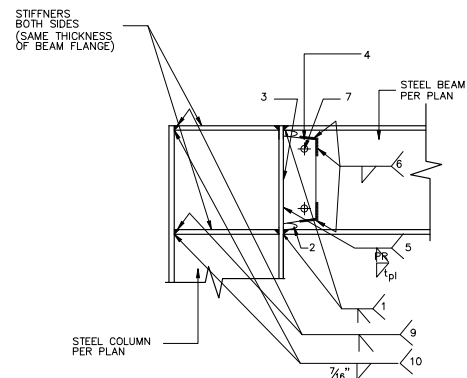
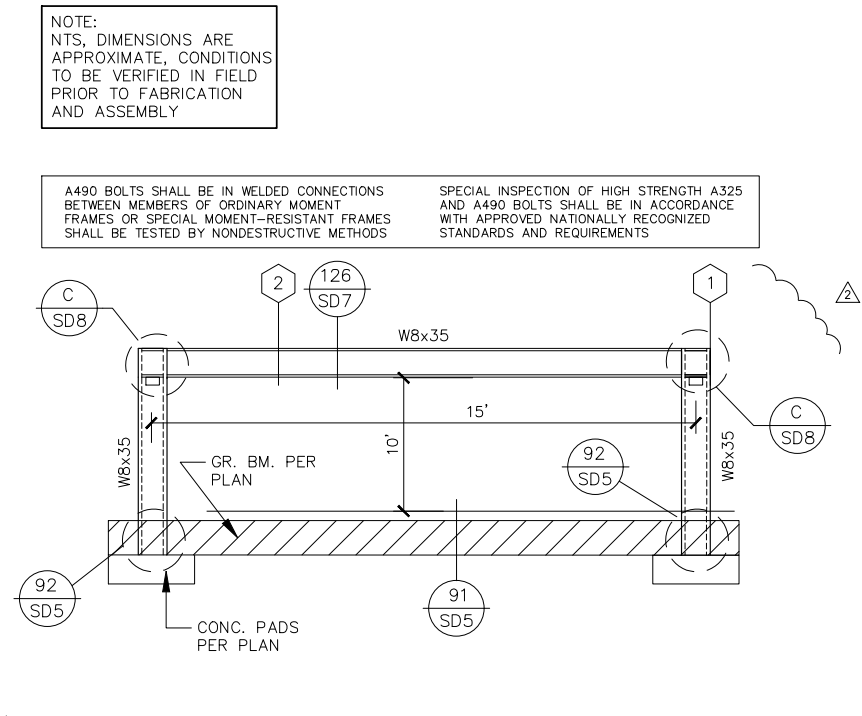
Gray Residence
415 North Star Lane
Newport Beach, CA 92660

DRAWING

Structural Details

REVISIONS	BY
4/17/25	EWM
JOB # 21-052	
ENGINEER EWM	
DRAWN	
CHECKED	
FILE Gray.dwg	
DATE 7/18/22	
SCALE NTS	
SHEET	
SD7	
OF 14 SHEETS	

Copyright 2005. All rights reserved. The use of these plans, calculations and specifications shall be restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Reproduction, publication or reuse by any method, in whole or part, is prohibited without the permission and consent of Eric McCullum Engineering Services, McCullum Engineering, Inc.. Title to the Plans, calculations and specifications shall constitute prima facie evidence of the acceptance of these restrictions. In the event of unauthorized reuse of the plans by a third party, the third party shall hold McCullum Engineering harmless. Note: Plans are not valid for construction unless approved by the corresponding city building department.



- Notes:
 1. C/P groove weld at top and bottom flanges. At top flange, either (1) remove weld backing, backgauge, and add 5/16" minimum fillet weld, or (2) leave backing in place and add 3/16" fillet weld backgauge. At bottom flange, remove weld backing, backgauge, and add 5/16" minimum fillet weld. Weld: QC/QC Category A/B/T.
 2. Weld access hole, see Figure 3-FEMA A335.
 3. C/P groove weld full length of web between weld access holes. Provide non-fusible weld overlay. Remove weld tabs after welding.
 4. Shear tab of thickness equal to that of beam web. Shear tab thickness shall be so as to allow 1/8" overlap with the weld access hole at top and bottom, and the width shall extend 2" minimum back along the beam, beyond the end of the weld access hole.
 5. Full-depth partial penetration from far side. Weld: QC/QC Category B/M/T.
 6. Fillet weld shear tab to beam web. Weld size shall be equal to the thickness of the shear tab minus 1/16". Weld shall extend over top and bottom one-third of the shear tab height and across the top and bottom. Weld: QC/QC Category B/L/T.
 7. Erection bolts: 2-3/4" dia. A325 BOLTS.
 8. AISC minimum continuous fillet weld backing (W_b , U.N.O.).
 9. C/P typical, QC/QC Category B/M/T. For exterior beam-column connections (beam one side only), weld of continuity plate to column flange at free side may be fillet welds at top and bottom face of plate.
 10. AISC minimum continuous fillet weld under backing.

MOMENT FRAME CONNECTION
PER FEMA 350 WUF-W

727 2nd St., Suite 104
Hermosa Beach, CA 90254
(310) 944-0898
email: EMEngineering@verizon.net

**McCullum
Engineering
Inc.**

These drawings are not valid for construction unless stamped and signed by McCullum Engineer, Inc..

STAMP

PROJECT
Gray Residence
415 North Star Lane
Newport Beach, CA 92660

DRAWING

Structural Details

REVISIONS	BY
② 4/17/25	EWM
①	
①	

JOB# 21-052

ENGINEER EWM

DRAWN

CHECKED

FILE Gray.dwg

DATE 7/18/22

SCALE NTS

SHEET
SD8
14
OF SHEET

© copyright 2005. All rights reserved. The use of these plans, calculations and specifications shall be restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Reproduction, publication or reuse by any method, in whole or part, is prohibited without the permission and consent of Eric McCullum Engineering Services, (McCullum Engineering, Inc.). Title to the Plans, calculations and specifications shall constitute prima facie evidence of the acceptance of these restrictions. In the event of unauthorized reuse of the plans by a third party, the third party shall hold McCullum Engineering harmless. Note: Plans are not valid for construction unless approved by the corresponding city building department.

TABLE 2304.10.1
FASTENING SCHEDULE

CONNECTION	FASTENING ¹ *	LOCATION
1. Joist to sill or girder	3 – 8d common (2 1/2" x 0.131") 3 – 3" x 0.131" nails 3 – 3" 14 gage staples	toenail
2. Bridging to joist	2 – 8d common (2 1/2" x 0.131") 2 – 3" x 0.131" nails 2-3" 14 gage staples	toenail each end
3. 1" x 6" subfloor or less to each joist	2 – 8d common (2 1/2" x 0.131")	face nail
4. Wider than 1" x 6" subfloor to each joist	3 – 8d common (2 1/2" x 0.131")	face nail
5. 2" subfloor to joist or girder	2 – 16d common (3 1/2" x 0.162")	blind and face nail
6. Sole plate to joist or blocking Sole plate to joist or blocking at braced wall panel	16d(3 1/2"x0.135") at 16"o.c. 3" x 0.131" nails at 8" o.c. 3" 14 gage staples at 12" o.c. 3"-16d(3 1/2"x0.135") at 16" 4 – 3" x 0.131" nails at 16" 4 – 3" 14 gage staples per 16"	typical face nail braced wall panels
7. Top plate to stud	2 – 16d common (3 1/2" x 0.162") 3-3" 14 gage staples	end nail
8. Stud to sole plate	4 – 8d common (2 1/2" x 0.131") 4 – 3" x 0.131" nails 3 – 3" 14 gage staples 2 – 16d common (3 1/2" x 0.162") 3 – 3" x 0.131" nails 3 – 3" 14 gage staples	toenail end nail
9. Double studs	16d (3 1/2"x0.135")at 24"o.c. 3" x 0.131" nail at 8" o.c. 3" 14 gage staple at 8" o.c.	face nail
10. Double top plates Double top plates	16d(3 1/2"x0.135")at 16"o.c. 3" x 0.131" nail at 12" o.c. 3" 14 gage staple at 12" o.c. 8-16d common (3 1/2" x 0.162") 12-3" x 0.131" nails 12-3" 14 gage staples	typical face nail lap splice
11. Blocking between joists or rafters to top plate	3 – 8d common (2 1/2" x 0.131") 3 – 3" x 0.131" nails 3 – 3" 14 gage staples	toenail
12. Rim joist to top plate	8d(2 1/2"x0.131") at 6"o.c. 3" x 0.131" nail at 6" o.c. 3" 14 gage staple at 6" o.c.	toenail
13. Top plates, laps and intersections	2 – 16d common (3 1/2" x 0.162") 3 – 3" x 0.131" nails 3 – 3" 14 gage staples	face nail
14. Continuous header, two pieces	16d common (3 1/2" x 0.162")	16" o.c. along edge
15. Ceiling joists to plate	3 – 8d common (2 1/2" x 0.131") 5 – 3" x 0.131" nails 5 – 3" 14 gage staples	toenail
16. Continuous header to stud	4 – 8d common (2 1/2" x 0.131")	toenail
17. Ceiling joists, laps over partitions (see Section 2308.10.4.1, Table 2308.10.4.1)	3 – 16d common (3 1/2" x 0.162") minimum, Table 2308.10.4.1 4 – 3" x 0.131" nails 4 – 3" 14 gage staples	face nail
18. Ceiling joists to parallel rafters (see Section 2308.10.4.1, Table 2308.10.4.1)	3 – 16d common (3 1/2" x 0.162") minimum, Table 2308.10.4.1 4 – 3" x 0.131" nails 4 – 3" 14 gage staples	face nail
19. Rafter to plate (see Section 2308.10.1, Table 2308.10.1)	3 – 8d common (2 1/2" x 0.131") 3 – 3" x 0.131" nails 3 – 3" 14 gage staples	toenail
20. 1" diagonal brace to each stud and plate	2 – 8d common (2 1/2" x 0.131") 2 – 3" x 0.131" nails 3 – 3" 14 gage staples	face nail
21. 1" x 8" sheathing to each bearing	3 – 8d common (2 1/2" x 0.131")	face nail
22. Wider than 1" x 8" sheathing to each bearing	3 – 8d common (2 1/2" x 0.131")	face nail
23. Built-up corner studs	3 – 8d common (2 1/2" x 0.131") 16d common (3 1/2" x 0.162") 3" x 0.131" nails 3" 14 gage staples	24" o.c. 16" o.c. 16" o.c.
24. Built-up girder and beams	20d common (4" x 0.192") 32" o.c. 3" x 0.131" nail at 24" o.c. 3" 14 gage staple at 24" o.c. 2 – 20d common (4" x 0.192") 3 – 3" x 0.131" nails 3 – 3" 14 gage staples	face nail at top and bottom staggered on opposite sides face nail at ends and at each splice
25. 2" planks	3 – 3" x 0.131" nails 3 – 3" 14 gage staples	at each bearing
26. Collar tie to rafter	16d common (3 1/2" x 0.162") 3 – 10d common (3" x 0.148") 4 – 3" x 0.131" nails 4 – 3" 14 gage staples	face nail
27. Jack rafter to hip	3 – 10d common (3" x 0.148") 4 – 3" x 0.131" nails 4 – 3" 14 gage staples 2 – 16d common (3 1/2" x 0.162") 3-3" x 0.131" nails 3 – 3" 14 gage staples	toenail face nail
28. Roof rafter to 2-by ridge beam	2 – 16d common (3 1/2" x 0.162") 3 – 3" x 0.131" nails 3 – 3" 14 gage staples 2-16d common (3 1/2" x 0.162") 3 – 3" x 0.131" nails 3 – 3" 14 gage staples	toenail face nail
29. Joist to band joist	3 – 16d common (3 1/2" x 0.162") 4 – 3" x 0.131" nails 4-3" 14 gage staples	face nail
30. Ledger strip	3 – 16d common (3 1/2" x 0.162") 4 – 3" x 0.131" nails 4 – 3" 14 gage staples	face nail

31. Wood structural panels and particleboard ¹ Subfloor, roof and wall sheathing (to framing)	1/2" and less 19/32" to 3/4" 7/8" to 1" 1 1/8" to 1 1/4" 3/4" and less 7/8" to 1" 1 1/8" to 1 1/4"	6d c,1 2 3/8" x 0.113" nail n 1 3/4" 16 gage o 8d" or 6d e 2 3/8" x 0.113" nail p 2" 16 gage p 8d c 10d d or 8d d 6d e 8d e 10d d or 8d e	
32. Panel siding (to framing)	1/2" or less 3/4"	6d f 8df	
33. Fiberboard sheathing g	1/2" 3/4"	No. 11 gage roofing nail h 6d common nail (2" x 0.113") No. 16 gage staple i No. 11 gage roofing nail h 8d common nail (2 1/2" x 0.131") No. 16 gage staple i	
34. Interior paneling	1/4" 3/8"	4d j 6d k	

For Slt: 1 inch = 25.4 mm.

- Common or box nails are permitted to be used except where otherwise stated.
- Nails spaced at 6 inches on center at edges, 12 inches at intermediate supports except 6 inches at supports where spans are 48 inches or more. For nailing of wood structural panel and particleboard diaphragms and shear walls, refer to Section 2304. Nails for wall sheathing are permitted to be common, box or casing.
- Common or deformed shank (6d – 2" x0.113"; 8d–2 1/2"x 0.131"; 10d–3" x 0.148").
- Common (6d – 2" x 0.113"; 8d – 2 1/2" x 0.131"; 10d – 3" x 0.148").
- Deformed shank (6d – 2" x 0.113"; 8d – 2 1/2" x 0.131"; 10d – 3" x 0.148").
- Corrosion-resistant siding (6d – 1 7/8" x 0.106"; 8d – 2 3/8" x 0.128") or casing (6d – 2" x 0.099"; 8d – 2 1/2" x 0.113") nail.
- Fasteners spaced 3 inches on center at exterior edges and 6 inches on center at intermediate supports, when used as structural sheathing. Spacing shall be 6 inches on center on the edges and 12 inches on center at intermediate supports for nonstructural applications.
- Corrosion-resistant roofing nails with 7/16-inch diameter head and 1 1/2-inch length for 1/2-inch sheathing and 1 3/4-inch length for 25/32-inch sheathing.
- Corrosion-resistant staples with nominal 7/16-inch crown and 1 1/8-inch length for 1/2-inch sheathing and 1 1/2-inch length for 25/32-inch sheathing. Panel supports at 16 inches (20 inches if strength axis in the long direction of the panel, unless otherwise marked).
- Casing (1 1/2" x 0.080") or finish (1 1/2" x 0.072") nails spaced 6 inches on panel edges, 12 inches at intermediate supports.
- Panel supports at 24 inches. Casing or finish nails spaced 6 inches on panel edges, 12 inches at intermediate supports.
- For roof sheathing applications, 8d nails (2 1/2" x 0.113") are the minimum required for wood structural panels.
- Staples shall have a minimum crown width of 7/16 inch.
- For roof sheathing applications, fasteners spaced 4 inches on center at edges, 8 inches at intermediate supports.
- Fasteners spaced 4 inches on center at edges, 8 inches at intermediate supports for subfloor and wall sheathing and 3 inches on center at edges, 6 inches at intermediate supports for roof sheathing.
- Fasteners spaced 4 inches on center at edges, 8 inches at intermediate supports.

FRAMING

ROOF DIAPHRAGM

15/32" APA RATED SHEATHING (MIN.), EXPOSURE 1, 24/0 MAX. SPAN RATING, w/
8d COMMON NAILS @ 6"o.c. AT BOUNDARY & PANEL EDGE NAILING (E.N.), AND
12" o.c. AT INTERMEDIATE FRAMING MEMBERS

FLOOR DIAPHRAGM

23/32" APA STURD—I-FLOOR, EXPOSURE 1, TONGUE AND GROOVE, w/
10d COMMON NAILS @ 6" o.c. AT BOUNDARY & PANEL EDGE NAILING (E.N.), AND
12" o.c. AT INTERMEDIATE FRAMING MEMBERS

FRAMING

- * BUILT-UP WOOD FRAMING MEMBERS MAY NOT BE SUBSTITUTED FOR 4x AND WIDER BEAMS UNLESS NOTED BY ENGINEER
- * ALL (2) 2x ROOF & FLOOR FRAMING TO HAVE MIN. 16d AT 12" O.C. T&B, STAGGERED
- * ALL (3) 2x FRAMING TO HAVE MIN. 1/2" DIAMETER BOLTS AT 18" O.C. T&B, STAGGERED
- * 2x SOLID BLOCKING REQUIRED AT POINTS OF SUPPORT FOR ALL HORIZONTAL FRAMING MEMBERS. IN ADDITION, ALL 2x10 AND LARGER MEMBERS SHALL HAVE SOLID FULL DEPTH BLOCKING OR BRIDGING AT MAX. 8'-0" o.c.
- * ALL WOOD POSTS AT UPPER FLOORS TO CONTINUE TO BEAM OR FOUNDATION
- * UNLESS DETAILED OTHERWISE, ALL RIDGE / HIP / VALLEY CONNECTIONS TO HAVE A SIMPSON A35 CONNECTOR AT EACH CORNER WITH A 2x KICKER TO BEARING WALL
- * ALL NEW TO EXISTING TOP PLATES TO HAVE SIMPSON ST6236 STRAP
- * AT ROOF-TO-WALL FRAMING, PROVIDE A35 FRAMING ANCHORS PER SHEARWALL SCHEDULE OR AT MAX. 48" O.C. FROM PLATES TO RAFTERS AND RAFTER BLOCKING AROUND PERIMETER OF BUILDING AND AT DRAG LINES AS INDICATED ON PLANS (SEE PLANS WHERE OTHER REQUIREMENTS MAY OCCUR)
- * AT FIRST FLOOR AND SUBTERRANEAN LEVEL PROVIDE A35'S PER SHEARWALL SCHEDULE OR AT 32" O.C. MAX. FROM PLATES TO FLOOR JOISTS AND BLOCKING AROUND PERIMETER OF BUILDING AND AT DRAG LINES AS INDICATED ON PLANS (SEE PLANS WHERE OTHER REQUIREMENTS MAY OCCUR)
- * PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL WALLS, U.N.O.
- * WHEN SHAER WALLS ARE SUPPORTED BY WOOD JOISTS THAT ARE PERPENDICULAR TO THE SHEAR WALL, ATTACH SOLID 4x BLOCKING UNDER SHAER WALLS BETWEEN JOISTS. PROVIDE 2x SOLID BLOCKING UNDER NON-SHEAR WALLS PERPENDICULAR TO FLOOR JOISTS. SEE PLANS AND DETAILS FOR ANY ADDITIONAL REQUIREMENTS.
- * ATTACH MIN. 2x SOLID BLOCKING AND EDGE NAIL THE PERIMETER OF ALL OPENINGS OVER 10" IN WIDTH OR LENGTH IN ALL SHAER PANELS AND DIAPHRAGMS. SEE DETAILS WHERE OTHER REQUIREMENTS MAY OCCUR.
- * PROVIDE A MINIMUM 3x4 OR 2x6 @ 16" FOR ALL STUD WALLS SUPPORTING TWO FLOORS OR MORE.
- * ALL CONNECTORS AND METAL HARDWARE IN CONTACT WITH PRESSURE TREATED TIMBER SHALL HAVE CORROSION RESISTANT COATINGS OR PROTECTION, SUCH AS "ZMAX", HOT DIPPED GALVANIZED, OR BE STAINLESS STEEL.

CONCRETE

1) ALL PHASES OF WORK PERTAINING TO CONCRETE CONSTRUCTION SHALL CONFORM TO 2019 CBC CHAPTER 19 (BASED ON ACI–318, LATEST ADOPTED EDITION) FOR REINFORCED CONCRETE.

- 2) MINIMUM ULTIMATE COMPRESSIVE CONCRETE STRENGTHS (f'c) SHALL BE:
- | | | |
|----------------------|------|---------------|
| SLAB ON GRADE | 3000 | PSI @ 28 DAYS |
| STRUCTURAL DECK | 3500 | PSI @ 28 DAYS |
| COLUMNS | 3500 | PSI @ 28 DAYS |
| FOOTINGS | 3000 | PSI @ 28 DAYS |
| CONCRETE/GRADE BEAMS | 3000 | PSI @ 28 DAYS |
| CAISSONS | 3000 | PSI @ 28 DAYS |
| POST TENSION SLABS | 3000 | PSI @ 28 DAYS |

3) CONTINUOUS INSPECTION BY AN APPROVED DEPUTY INSPECTOR IS REQUIRED FOR CAISSONS, GRADE BEAMS, STRUCTURAL SLABS, AND OTHER CONCRETE MEMBERS WHERE DESIGN COMPRESSIVE STRENGTH VALUE EXCEEDS 2500 PSI.

4) CEMENT SHALL BE TYPE I, LOW ALKALI, CONFORMING TO A.S.T.M. C–150.THE CONCRETE MIX DESIGN SHALL ADDRESS BLEEDING, SHRINKAGE AND CURLING AS DESCRIBED IN ACI 302.24–06.. TO BE APPROVED BY E.O.R.

5) ALL PRIMARY REINFORCEMENT SHALL BE PER ASTM A–615, GRADE 60 ksi STEEL. ALL TIES AND STIRRUPS SHALL CONFORM TO A.S.T.M. A–615, GRADE 60 ksi STEEL.

6) UNLESS NOTED OTHERWISE, SPLICES OF REINFORCING SHALL BE LAPPED A MINIMUM OF 40 BAR DIAMETERS AND SECURELY WIRED TOGETHER, USING A MINIMUM OF 16 GA. WIRE. SPLICES OF ADJACENT REINFORCING BARS SHALL BE STAGGERED WHEREVER POSSIBLE. WHERE SPECIFICALLY CALLED OUT, WELDING OF REINFORCING BARS SHALL BE PERFORMED BY A CERTIFIED WELDER USING E90 SERIES ELECTRODES PER AWS D1.4, LATEST EDITION.

7) INTERIOR CONCRETE SLABS ON GRADE SHALL HAVE A STEEL TROWEL FINISH. DRIVEWAYS, WALKS, AND GARAGE SLABS SHALL HAVE A BROOM FINISH AND SHALL BE PITCHED TO SHED WATER.

8) PRIOR TO POURING INTERIOR CONCRETE FLOOR SLABS, ALL SOIL BELOW FLOOR SHALL BE COMPACTED TO REQUIRED DENSITY AND MOISTENED TO A DEPTH NOT LESS THAN 18" OR PER SOILS REPORT.

9) CLEAR COVERAGE OF CONCRETE OVER REINFORCING BARS, ANCHOR BOLTS, AND ALL OTHER CONCRETE INSERTS, UNLESS OTHERWISE SPECIFIED, SHALL BE AS FOLLOWS:
POURED AGAINST EARTH 3" CLEAR
FORMED CONCRETE 2" CLEAR

10) FORMS FOR CONCRETE SHALL BE LAID OUT AND CONSTRUCTED TO PROVIDE THE SPECIFIED CAMBERS SHOWN ON THE DRAWINGS. DECK CAMBERING SHOWN ON PLANS IS INTENDED TO PROVIDE A LEVEL DECK. ANY SLOPING FOR DRAINAGE SHALL BE ADDED OR SUBTRACTED FROM CAMBERING AS APPROPRIATE. THE DECK THICKNESS SHALL NOT BE REDUCED IN ORDER TO ACHIEVE DECK SLOPES.

11) DRYPACK UNDER BASEPLATES, SILL PLATES, AND WHERE OTHERWISE NOTED ON DRAWINGS SHALL CONSIST OF APPROVED NON-SHRINK HIGH STRENGTH GROUT. WHEN SPACE BETWEEN TWO SURFACES REQUIRES DRYPACK, IT SHALL BE PACKED BY TAMPING OR RAMMING WITH A BAR OR ROD UNTIL THE VOIDS ARE COMPLETELY FILLED.

12) PLACEMENT OF CONCRETE SHALL CONFORM TO A.C.I. STANDARD 614 AND PROJECT SPECIFICATIONS. WIRE BRUSH OR SANDBLAST ALL CONCRETE SURFACES AGAINST WHICH CONCRETE IS TO BE PLACED.

13) IF COLUMNS AND WALLS ARE PLACED WITH FLOORS, MINIMUM TIME OF TWO HOURS MUST ELAPSE BETWEEN END OF COLUMN OR WALL POUR AND BEGINNING OF FLOOR POUR.

14) PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING. DO NOT CUT ANY REINFORCING WHICH MAY CONFLICT. COPING IN CONCRETE IS NOT PERMITTED, EXCEPT AS SHOWN. NOTIFY THE PROJECT STRUCTURAL ENGINEER IN ADVANCE OF CONDITIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS.

15) COVER TO BEAM REINFORCEMENT TO BE 2" MINIMUM, UNLESS NOTED OTHERWISE.

16) ARCHITECTURAL DRAWINGS TO BE REFERRED TO FOR DECK SLOPES, DRAINAGE, PLUMBING, FRAMING AND ELECTRICAL HARDWARE.

17) REINFORCEMENT CALLED OUT IN DETAILS SHALL BE IN ADDITION TO THAT SHOWN ON PLANS (U.N.O.). REINFORCING METHODS SHOWN IN DETAILS SHALL BE USED AS APPLICABLE.

18) WHEN A MONOLITHIC POUR IS NOT POSSIBLE, CONSTRUCTION JOINTS SHALL BE APPROVED BY THE PROJECT STRUCTURAL ENGINEER.

19) SHORING SHALL NOT BE REMOVED UNTIL CONCRETE HAS ACHIEVED MINIMUM 28 DAY COMPRESSIVE STRENGTH. FIFTEEN DAYS AFTER CONCRETE POUR IS COMPLETED THE PROJECT STRUCTURAL ENGINEER MAY DETERMINE, BASED ON COMPRESSION TESTS, IF SHORING MAY BE REMOVED.

20) ALL DECK SURFACES EXPOSED TO WEATHER SHALL BE WATERPROOFED. SEE ARCHITECTURAL DOCUMENTS FOR SPECIFICATIONS.

21) PER 2019 CBC SECTION 1704.4, SPECIAL DEPUTY INSPECTION IS REQUIRED FOR ALL EPOXY-ADHESIVE INSTALLATION OF ANCHOR BOLTS OR REINFORCING BARS INTO EXISTING CONCRETE. NON-SHRINK GROUT INSTALLATION OF REINFORCING BAR DOWELS (e.g. NEW SLAB TO EXISTING FOOTING) DOES NOT REQUIRE SPECIAL INSPECTION.









22) GROUT: GROUT BENEATH COLUMN BASES OR BEARING PLATES SHALL BE 5000 psi MINIMUM NON-SHRINK DRY PACK MATERIAL. FLOWABLE GROUT MAY BE USED WITH EOR APPROVAL. AT BEAMS, INSTALL GROUT UNDER BEARING PLATES BEFORE MEMBER IS INSTALLED. AT COLUMNS, INSTALL GROUT UNDER BASE PLATES AFTER COLUMN HAS BEEN PLUMBED BUT PRIOR TO FLOOR OR ROOF INSTALLATION. GROUT SHALL BE SUFFICIENT TO ALLOW ABOUT 90 PER CENT TO BE PLACED.

CONCRETE

(continued)

22) CONCRETE SHALL BE THOROUGHLY CONSOLIDATED IN A MANNER THAT WILL ENCASE THE REINFORCEMENT AND INSERTS, FILL THE FORMS, AND PRODUCE A SURFACE OF UNIFORM TEXTURE FREE OF ROCK POCKETS AND EXCESSIVE VOIDS. CONCRETE SHALL BE CONSOLIDATED BY MEANS OF HIGH FREQUENCY INTERNAL VIBRATORS WITHOUT CAUSING WATER OR CEMENT PASTE TO FLUSH TO THE SURFACE. INTERNAL VIBRATORS TYPE, SIZE, AND NUMBER SHALL BE APPROVED BY THE ENGINEER.

23) ALL CONNECTORS AND METAL HARDWARE IN CONTACT WITH PRESSURE TREATED TIMBER SHALL HAVE CORROSION RESISTANT COATINGS OR PROTECTION, SUCH AS "ZMAX", HOT DIPPED GALVANIZED, OR BE STAINLESS STEEL.

2019 CALIFORNIA BUILDING CODE SHEARWALL SCHEDULE					1-1-2019 (w/ 2019 LARUCP Amendments)		
SHEAR-WALL NOTATION	STRUCTURAL I APA-RATED WOOD STRUCTURAL PANEL THICKNESS	COMMON NAIL SPACING @ BOUNDARIES & EDGES (B.N. & E.N.) FIELD NAILING @ 12" O.C.	ALLOWABLE SHEAR / FT (WOOD STUDS @16"o.c., U.N.O.) (REDUCED BY 25%)	SLIDING ANCHOR SYSTEM			
				5/8" A.B. SPACING ²	A35 OR LTP4 FRAMING CLIP SPACING V = 450#	16d COMMON NAIL SPACING ³ 2x SOLE PLATE ONLY: V= 121#	1/4" LAG ⁶ SREW SPACING 3x SOLE PLATE ONLY: V= 880# (MIN. 2" PENETRATION)
				O.C.	O.C.	O.C.	O.C.
	15/32"	8d @ 6" o.c.	210#/FT.	48"	24"	6"	12"
	15/32"	8d @ 4" o.c.	320#/FT.	48"	16"	4"	9"
	15/32"	8d @ 3" o.c.	410#/FT.	44"	12"	3"	6"
	15/32"	8d @ 2" o.c.	540#/FT.	32"	9"	SEE LAG SPACING →	5"
	15/32"	10d @ 2" o.c.	650#/FT.	26"	8"	SEE LAG SPACING →	4"
DBL SIDED 	15/32" EACH SIDE	8d @ 3" o.c. EACH SIDE	820#/FT.	22"	12" ⁵	SEE LAG SPACING →	3"
DBL SIDED 	15/32" EACH SIDE	8d @ 2" o.c. EACH SIDE	1080#/FT.	16"	9" ⁵	SEE LAG SPACING →	3"
DBL SIDED 	15/32" EACH SIDE	10d @ 2" o.c. EACH SIDE	1300#/FT.	13"	8" ⁵	SEE LAG SPACING →	3"
1. FRAMING AT FOUNDATION SILL PLATES AND ADJOINING PANEL EDGE STUDS SHALL BE A SINGLE 3x NOMINAL MEMBER, AND ALL NAILS SHALL BE STAGGERED WITH 1/2" EDGE DISTANCE. 2x NOMINAL SOLE PLATE MAY BE USED AT RAISED FLOOR AND UPPER LEVELS. 2. SIMPSON BP5/8 BEARING PLATES (LARR 25293), OR OTHER LISTED MAKE, APPROVED BY BUILDING OFFICIAL, SHALL BE USED WITH ALL 5/8" ANCHORS. 5/8" SIMPSON TITAN HD ANCHORS (ICC ESR-1056) (LARR 25560) WITH 4-1/8" MIN. EMBEDMENT, MAY BE USED IN LIEU OF 5/8" ANCHOR BOLTS AT EXISTING FOOTINGS WITH SAME SPACING PER TABLE ABOVE. SPECIAL INSPECTION REQUIRED FOR ALL EPOXY ANCHOR INSTALLATIONS. 3. ALL SILL NAILING SHALL BE STAGGERED 1/2" MINIMUM. (TYPICAL) 4. FRAMING AT FOUNDATION SILL PLATE, SOLE PLATES AND STUDS SHALL BE A SINGLE 3x NOMINAL MEMBER, AND ALL NAILS SHALL BE STAGGERED W/ 1/2" EDGE DISTANCE. 2x NOMINAL DOUBLE TOP PLATE MAY BE USED. 5. LTP4 TO BE @ SPECIFIED SPACING AT BOTH FACES W/4x BLOCKING. 6. FOR 1/4" LAGS, USE SIMPSON "SDS" SCREWS (1/4"x6", "SDS25600, U.N.O.).							

SHEAR WALL

1) ONLY COMMON NAILS SHALL BE PERMITTED FOR REQUIRED NAILING AT VERTICAL SHEAR PANELS AND HORIZONTAL DIAPHRAGMS (ROOF AND FLOOR).

2) ALL SHEARWALLS WITH AN ALLOWABLE SHEAR CAPACITY GREATER THAN 300 pif REQUIRE 3x MEMBERS AT THE FOUNDATION SILL PLATE AND AT ADJACENT PANEL EDGES. A MINIMUM OF 1/2" EDGE DISTANCE FROM THE PANEL EDGE TO THE CENTER OF THE NAIL IS REQUIRED FOR THESE 3x MEMBERS.

3) ALL HOLD DOWN CONNECTORS SHALL BE TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING. BOLT HOLES FOR HOLD DOWN CONNECTION TO POST SHALL BE 1/16" (MAX.) OVERSIZED. INSPECTOR TO VERIFY HOLD DOWN CONNECTIONS.

4) PROVIDE MINIMUM 4x4 POSTS FOR ALL HOLD DOWNS ENDS OF SHEARWALL.

5) APPROVED PLATE WASHERS SHALL BE PROVIDED FOR ALL WOOD STRUCTURAL PANEL SHEAR WALL ANCHOR BOLTS AND FOR ALL HOLD DOWN CONNECTOR BOLTS TO POSTS.

BOLT DIMETER	PLATE SIZE
5/8"	1/4" x 3" x 3"
3/4"	5/16" x 3" x 3"
7/8"	5/16" x 3" x 3"
1"	3/8" x 3 1/2" x 3 1/2"

DRAG LINE 

DRAG LINE: SIMPSON ST6236 @ ALL BREAKS AND DIAPHRAGM EDGE NAILING.

@ ROOF: SHEAR WALL TO CONTINUE UP TO ROOF FRAMING, EDGE NAIL, AND INSTALL A35 PER SHEAR WALL SCHEDULE.

@ FLOOR: SHEAR WALL TO CONTINUE UP TO DBL TOP PL. MINIMUM, EDGE NAIL, AND INSTALL A35 PER SHEAR WALL SCHEDULE.



727 2nd St., Suite 104
Hermosa Beach, CA 90254
(310) 944-0898
email: EMEngineering@verizon.net

McCullum Engineering Inc.

These drawings are not valid for construction unless stamped and signed by McCullum Engineer, Inc..

STAMP

PROJECT

Gray Residence
415 North Star Lane
Newport Beach, CA 92660

DRAWING

Notes and Specifications

REVISIONS	BY
6/15/23	EWM
4/17/25	EWM
JOB # 21-052	
ENGINEER EWM	
DRAWN	
CHECKED	
FILE	Gray.dwg
DATE	7/18/22
SCALE NTS	
SHEET	
SN2	
1 of	14 SHEETS

NOTES & SPECIFICATIONS