



**CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER, AND PLANNING COMMISSION

FROM: Seimone Jurjis, Assistant City Manager/Community Development Director

SUBJECT: Report of actions taken by the Community Development Director for the week ending July 18, 2025.

**COMMUNITY DEVELOPMENT DIRECTOR
OR ZONING ADMINISTRATOR ACTIONS**
(Non-Hearing Items)

Item 1: Gray Residence Staff Approval for Substantial Conformance (PA2025-0080)

Site Address: 415 North Star Lane

Action: Approved

Council District 3

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

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COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER

APPLICATION:**Gray Residence (PA2025-0080)**

- Staff Approval for Substantial Conformance

APPLICANT:**Srour & Associates****LOCATION:****415 North Star Lane****LEGAL DESCRIPTION:** **Lot 113 of Tract No. 4224**

On July 18, 2025, the Community Development Director approved Staff Approval (PA2025-0080) to allow changes to an approved project and found said changes to be minor and in substantial conformance with the approved Coastal Development Permit (PA2022-020) and prior Staff Approvals (PA2023-0038 and PA2024-0194). During construction, it was determined that field conditions necessitated demolition of all remaining portions of the original structure and the applicant proposes a revision that shows a full replacement of the existing single-unit dwelling, rather than a remodel. To satisfy the California Building Code (CBC) requirements and Newport Beach Municipal Code (NBMC) requirements for a new single-unit dwelling, the height of the building will be reduced to 27feet to accommodate solar panels, and the width of the driveway will be reduced to satisfy Section 21.40.070(C) (Development Standards for Parking Areas – Driveways) of the NBMC.

I. ZONING DISTRICT/GENERAL PLAN

- **General Plan Land Use Plan Category:** RS-D (Single Unit Residential Detached)
- **Zoning District:** R-1-6000 (Single-Unit Residential)
- **Coastal Land Use Plan Category:** RSD-B (Single Unit Residential Detached) – (6.0 – 9.9 DU/AC)
- **Coastal Zoning District:** R-1-6000 (Single-Unit Residential)

II. BACKGROUND AND PROPOSED CHANGES

On May 26, 2022, the Zoning Administrator approved a Coastal Development Permit (CDP) (PA2022-020) to allow the construction of a 990 square-foot second story addition, including an elevator, and the conversion of 290 square-feet of the garage to a living area within an existing single-unit dwelling with an attached two-car garage and a detached two-car garage (Attachment No. CD 2). A CDP was required for the project as the proposed additions exceeded 10% of the existing gross floor area. The project complied with all applicable development standards and no deviations were requested.

On July 20, 2023, the Community Development Director approved the Staff Approval filed as PA2023-0038 allowing minor changes to the approved CDP. The proposed changes included increasing the gross floor area of the addition by 305 square feet above the detached garage and connecting the new living area to the existing single-unit dwelling (Attachment No. CD 3). The changes were found to be in substantial conformance with the approved CDP.

On August 28, 2024, Building Permit No. XR2022-2463 was issued for construction of the project. On November 21, 2024, the Community Development Director approved the Staff Approval filed as PA2024-0194 to allow additional changes to the project that include an addition of 120 square feet to the living area and raising the height of the dwelling approximately 4.89 feet to a height of 27 feet, 11.25 inches (approximately 28 feet) (Attachment No. CD 4). The changes were found to be in substantial conformance with the approved CDP.

During construction of the project pursuant to the approved plans, it was determined that the conditions of the existing single-unit dwelling and the proposed remodel necessitated demolition of all remaining portions of the existing single-unit dwelling. This included walls that were encroaching into the side setback that had been allowed to remain pursuant to Section 21.38.040(I)(3) (Nonconforming Structures) of the NBMC and the existing foundation. Due to this, Revision No. REV2025-0840 was submitted on April 29, 2025, to revise the project description to a new single-unit dwelling. As a result, the project is now required to comply with all current development standards, which notably will require a reduction in overall height to accommodate solar panels and will also require a reduction in driveway width to comply with Section 21.40.070(C) (Development Standards for Parking Areas – Driveways) of the NBMC. Since the development is now considered a new single-unit dwelling, there will no longer be any nonconformities with the development.

III. FINDINGS

Pursuant to Section 21.54.070 (Changes to an Approved Coastal Development Permit) of the NBMC, the Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of the approved use, without a public hearing, and waive the requirement for a new coastal development permit application. This staff approval is based on the following findings and facts in support of the findings.

Finding:

- A. *The changes are consistent with all applicable provisions of this Implementation Plan.*

Facts in Support of Finding:

1. The proposed change complies with applicable residential development standards of Title 21 (Local Coastal Program Implementation Plan) of the NBMC including, but not limited to, floor area limitation, setbacks, height, and parking.

- a. The property is in the R-1-6000 Zoning District that allows a maximum lot coverage of 60% pursuant to Section 21.18.030 (Residential Coastal Zoning Districts General Development Standards). The project will maintain a similar footprint to the previously approved plans and the lot coverage will be 55%, which is less than 60%.
- b. The project provides the minimum required setbacks, which are 10-feet along the front property line along the bayside, 6-feet along each side property line, and 6 feet along the rear property line abutting North Star Lane. The existing single-unit dwelling had nonconforming walls encroaching in the 6-foot side setback that, pursuant to Section 21.38.040(I)(3) of the NBMC, exempts existing principal structures within the R-1-6000 Costal Zoning District from certain code requirements related to nonconforming structures, such as limiting the addition of new square footage to 50%. However, the revised project description is for a new single-unit dwelling and, therefore, the proposed single-unit dwelling will now comply with the required 6-foot side setback.
- c. The highest ridge for the sloped roof is approximately 27 feet from established grade, which is less than the maximum allowed 29 feet for a sloped roof.
- d. The project includes garage parking for a total of three vehicles, complying with the minimum three-car garage parking requirement for single-unit dwellings with more than 4,000 square feet of habitable floor area. The proposed habitable floor area, including the proposed change, is 4,395 square-feet and the existing single-unit dwelling provides a two-car garage that meets the required interior clear dimensions of 20-feet by 20-feet and another one-car garage that meets the required interior clear dimension of 10-feet by 20-feet. The widths of the driveways are 13-feet and 8-feet and have been reviewed and approved by the Public Works Department.

Finding:

- B. *The changes do not involve a feature of the project that was a basis for or subject of findings or exemptions in a negative declaration or Environmental Impact Report for the project.*

Facts in Support of Finding:

1. The project was categorically exempt from the requirements of CEQA under Class 3 (New Construction or Conversion of Small Structures), which exempts the demolition of up to three single-unit dwellings and construction of up to three single-unit dwellings in urbanized areas.
2. The proposed request is to demolish an existing single-unit dwelling and construct a new single-unit dwelling with a similar footprint as the existing single-unit

dwelling. The proposed change is exempt under Class 3 and will not compromise the original Class 3 exemption under the CEQA Guidelines.

Finding:

C. *The changes do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.*

Facts in Support of Finding:

1. The proposed change does not involve a feature that was specifically addressed or was the subject of a condition of approval for the coastal development permit. The proposed changes are consistent with the residential development standards of the NBMC and do not include any features that would impact public access or views. Therefore, the project would not impact the prior findings related to public access or views in the area.
2. The proposed change was not part of a specific consideration by the Zoning Administrator for approval.

Finding:

D. *The changes do not result in an expansion or change in operational characteristics of the use.*

Fact in Support of Finding:

1. The prior coastal development permit approved the remodel and addition of an existing single-unit dwelling and the proposed change will allow the demolition of the existing single-unit dwelling and the construction of a new single-unit dwelling that has a similar footprint and design. The project does not propose any additional dwelling units, and the change will not alter the existing use of the property as a single-unit dwelling.

Finding:

E. *The changes do not alter the facts in support of findings required by Section 21.52.015(F) and any other applicable section of this Implementation Plan.*

Fact in Support of Finding:

1. The project as revised will retain a similar footprint and design to the previously approved Coastal Development Permit filed as PA2022-020. The property will continue to be used for a single-unit dwelling and will not bear an impact on any coastal views or public access to the beach or bay.

2. As the project is now reviewed as a new single-unit dwelling instead of an addition and remodel of an existing single-unit dwelling, the project is required to comply with all applicable development standards. The overall height of the single-unit dwelling will be reduced to accommodate the requirement of solar panels.
3. Several existing conditions of the single-unit dwelling are nonconforming and will be addressed as part of the project that was not previously required for a remodel and addition project. The existing single-unit dwelling had walls that encroached in the side setback that was allowed pursuant to Section 21.38.040(I)(3) (Nonconforming Structures - Exceptions) of the NBMC. These walls of the single-unit dwelling will now comply with the six-foot side setback.
4. Additionally, the property has two existing driveways to accommodate two attached two-car garages. The project will reduce the width of the driveways to comply with Section 21.40.070(C) (Development Standards for Parking Areas) of the NBMC that requires designs to minimize the number of curb cuts for driveways. Existing curb cuts shall be closed to create public on-street parking wherever feasible.

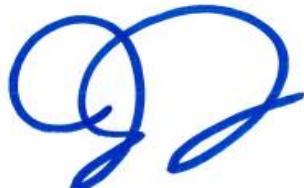
IV. CONDITIONS OF APPROVAL

1. All previous conditions of approval for Coastal Development Permit (PA2022-020), Staff Approval (PA2023-0038), and Staff Approval (PA2024-0194) shall remain in full force and effect.
2. The development authorized by this staff approval shall be in substantial conformance with the approved project plans (Attachment No. CD 5).
3. The Community Development Director may add to or modify conditions to this staff approval or revoke this staff approval upon determination that the addition, which is the subject of this staff approval, causes injury, or is detrimental to the public health, safety, peace, or general welfare of the community if the property is operated or maintained so as to constitute a public nuisance.
4. This approval does not relieve the applicant of compliance with other City or State requirements. The Applicant is required to obtain all applicable permits from the City Building Division and Fire Department. Prior to the issuance of any building, mechanical, and/or electrical permits, architectural drawings and structural design plans shall be submitted to the City of Newport Beach for review and approval by the applicable departments. A copy of these conditions of approval shall be incorporated into the drawings approved for the issuance of permits.
5. *To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees,*

disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Gray Residence including, but not limited to, Staff Approval (PA2025-0080). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

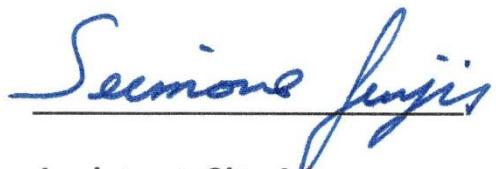
Prepared by:



Jenny Tran, Associate Planner

BMZ/jt

Approved by:



Assistant City Manager

Attachments:

- CD 1 Vicinity Map
- CD 2 Resolution No. ZA2022-037
- CD 3 Community Development Director Action Letter (PA2023-0038)
- CD 4 Community Development Director Action Letter (PA2024-0194)
- CD 5 Project Plans

Attachment No. CD 1

Vicinity Map

VICINITY MAP



Staff Approval
(PA2024-0194)

415 North Star Lane

Attachment No. CD 2

Resolution No. ZA2022-037

RESOLUTION NO. ZA2022-037

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2022-008 FOR ADDITIONS TO AN EXISTING SINGLE-FAMILY RESIDENCE LOCATED AT 415 NORTH STAR LANE (PA2022-020)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Gordon and Kristen Gray ("Applicants"), with respect to property located at 415 North Star Lane, requesting approval of a coastal development permit ("CDP").
2. The property is legally described as Lot 113 of Tract 4224, in the City of Newport Beach, County of Orange, State of California.
3. The Applicant proposes to construct a 990-square-foot second story addition, add an elevator, and convert 190 square-feet of garage to living area within an existing single-family residence with an attached 2-car garage and a detached 2-car garage. A CDP is required for the project since the proposed addition exceeds 10 percent of the existing floor area. No site improvements or bulkhead repair are proposed as part of the scope of work. The project complies with all applicable development standards, including height, setbacks and parking, and no deviations are requested.
4. The subject property is designated RS-D (Single Unit Residential Detached) by the General Plan Land Use Element and is located within the R-1-6,000 (Single-Unit Residential) Zoning District.
5. The subject property is located within the coastal zone. The Coastal Land Use Plan category is RSD-B (Single Unit Residential Detached [6.0 – 9.9 DU/AC]) and the property is located within the R-1-6,000 (Single-Unit Residential) Coastal Zone District.
6. A public hearing was held on May 26, 2022, via Zoom. A notice of time, place, and purpose of the hearing was given in accordance with the Newport Beach Municipal Code (NBMC). Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15301, Division 6, Chapter 3, Guidelines for Implementation of the California Environmental Quality Act ("CEQA") under Class 1 (Existing Facilities), because it has no potential to have a significant effect on the environment.

2. Class 1 exemption includes additions of less than 50 percent to existing structures. The proposed project consists of a 990-square-foot second story addition and the conversion of 190 square-feet of garage to living area. Net additions to the existing structure are approximately 35 percent. Therefore, the project complies with the scope identified under the Class 1 exemption.

SECTION 3. REQUIRED FINDINGS.

In accordance with Newport Beach Municipal Code (“NBMC”) Section 21.52.015 (Coastal Development Permits, Findings and Decision), the following findings and facts in support of such findings are set forth:

Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program.*

Facts in Support of Finding:

1. The proposed development complies with applicable residential development standards including, but not limited to, setbacks, height, and on-site parking.
 - A. The proposed development will provide the minimum required setbacks, which are ten (10) feet along the front property line abutting Newport Bay, six (6) feet along the rear property line, and six (6) feet along each side property lines.
 - B. The highest guardrail is no more than 24 feet high, and the highest roof ridge is no more than 29 feet in height, measured from the established grade level of 10.8 feet based on the North American Vertical Datum of 1988 (“NAVD88”), which complies with the maximum height limitation.
 - C. The project includes enclosed garage parking for four (4) vehicles, which exceeds the minimum parking requirement for single-family residences with less than 4,000 square feet of habitable floor area.
2. The neighborhood is predominantly developed with one (1)- and two (2)-story, single-family residences. The proposed design, bulk, and scale of the development will be consistent with the existing neighborhood pattern of development and expected future development.
3. A Coastal Hazards Report and Sea Level Rise Analysis was prepared Geo Soils, Inc. dated November 5, 2021, for the project. The current maximum bay water elevation is 7.7 North American Vertical Datum of 1988 (NAVD88) and is not expected to exceed the existing 10.9 feet (NAVD88) top of bulkhead elevation during high tide or storm events. The report analyzes future sea level rise scenarios assuming a 3-foot increase in the maximum water level over the next 75 years (i.e., the life of the structure). Therefore, the sea level is estimated to reach approximately 10.7 feet (NAVD88) - (the likely range

for sea level rise over 75-year design life of the structure based on low risk aversion estimates for sea level rise provided by the State of California, Sea Level Rise Guidance: 2018 Update).

4. On March 23, 2021, the City Council approved updated Waterfront Project Design Guidelines and Standards, Harbor Design Criteria Commercial & Residential Facilities. The guidelines require that any bulkhead structure permitted within the years 2021 through 2025 must have a minimum bulkhead elevation of 10.9 feet (NAVD88) with a design for adaptability elevation of 14.4 feet (NAVD88). The project has been conditioned to raise the bulkhead to an elevation of 10.9 feet (NAVD88). Geo Soils, Inc. has confirmed the bulkhead design can be raised up to 14.4 feet (NAVD88) if needed and in compliance with the updated guidelines.
5. The existing seawall/bulkhead does not need to be repaired/replaced per the report's recommendations, flooding, wave runup, and erosion will not significantly impact this property over the proposed 75-year economic life of the development. The report concludes that the proposed project will be safe from flooding hazards for the next 75 years with the existing bulkhead.
6. The finished floor elevation of the first floor of the existing living area is 11.56 feet (NAVD88), which exceeds the minimum 9.0-foot (NAVD88) elevation standard for new structures and exceeds the minimum requirements for sea level rise (10.9 feet NAVD 88) for the anticipated 75-year life of the structure.
7. Pursuant to NBMC Section 21.30.030(C)(3)(d)(i)(iv) – (Development Standards - Protective Structures), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). This requirement is included as a condition of approval that will need to be satisfied prior to final building permit inspection, respectively
8. The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c) – (Waterfront Development - Development Standards). This requirement is included as a condition of approval that will need to be satisfied prior to the issuance of building permits, respectively.
9. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.
10. The property is located adjacent to coastal waters. A Construction Erosion Control Plan was provided to implement temporary Best Management Practices (BMPs) during

construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived by construction chemicals and materials. The project design also addresses water quality through the inclusion of a post-construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.

11. The project design addresses water quality with a construction erosion control plan that outlines temporary Best Management Practices (BMPs) to be implemented during construction to minimize erosion and sedimentation, and to minimize pollution of runoff derived by construction chemicals and materials. No water quality impacts to coastal waters are anticipated based upon the location and elevation of the property.
12. Proposed landscaping complies with Implementation Plan Section 21.30.075 (Landscaping). A condition of approval is included that requires drought-tolerant species. Prior to issuance of building permits, the final landscape plans will be reviewed to verify invasive species are not planted.
13. The property is not located near designated public viewpoints or coastal view roads and will not impact public coastal views. The project site is not located adjacent to a coastal view road, public viewpoint, public park or beach, or public accessway, as identified in the Coastal Land Use Plan. Furthermore, an investigation of the project site and surrounding area did not identify any other public view opportunities. The project site may be located within the viewshed of distant public viewing areas, however the project is located on a coastal lot and will replace an existing single-family home with a new single-family home that complies with all applicable Local Coastal Program development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.

Finding:

B. *Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Facts in Support of Finding:

1. The project site is located between the nearest public road and the sea or shoreline; however, the project will not affect the public's ability to gain access to use and/or view the coast and nearby recreational facilities. The existing residential development neither provides nor inhibits public coastal access. Implementation Plan Section 21.30A.040 (Determination of Public Access/Recreation Impacts) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project involves additions to an existing single-family residence. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities.

2. The project is designed and sited so as not block or impede existing public access opportunities and occurs within the confines of private property. Existing coastal access conditions will not be affected by the project. Vertical and lateral coastal access is currently provided and will continue to be provided by North Star Beach, immediately across the street to the north of the subject property.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2022-008, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 26TH DAY OF MAY, 2022.



Jaime Murillo
Zoning Administrator

EXHIBIT "A"**CONDITIONS OF APPROVAL****Planning Division**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
3. Coastal Development Permit No. CD2022-008 shall expire unless exercised within 24 months from the date of approval as specified in NBMC Section 21.54.060 (Time Limits and Extensions), unless an extension is otherwise granted.
4. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
5. The Applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.
6. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
7. Prior to issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A", shall be incorporated into the Building Division and field sets of plans.
8. Prior to the issuance of a building permit, the Applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
9. *The existing seawall shall be maintained with a minimum top of wall elevation of 10.9 feet with adaptability up to 14.4 feet (NAVD88 datum) in accordance with the recommendations provided in the Coastal Hazards Report and Sea Level Rise Analysis prepared by Geo Soils, Inc. dated November 5, 2021.*
10. Prior to final building permit inspection, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices including the repair and maintenance, enhancement, reinforcement, or any other activity affecting the bulkhead, that results in any encroachment seaward of the authorized footprint of the

bulkhead or other shoreline protective device. The agreement shall be binding against the property owners and successors and assigns.

11. *Prior to the issuance of a building permit, the property owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development. This letter shall be scanned into the plan set prior to building permit issuance.*
12. This approval does not authorize any new or existing improvements (including landscaping) on California Coastal Permit Jurisdiction, State tidelands, public beaches, or the public right-of-way. Any improvements located on tidelands, submerged lands, and/or lands that may be subject to the public trust shall require a coastal development permit (CDP) approved by the California Coastal Commission (Coastal Commission). Prior to the issuance of building permits, the applicant shall provide a copy of said coastal development permit or CDP waiver or documentation from the Coastal Commission that subject improvements are not subject to the permit requirements of the Coastal Act and/or not located within the permit jurisdiction of the Coastal Commission.
13. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, wetland or their buffers.
14. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
15. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stockpiles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
16. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
17. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.

18. To the fullest extent permitted by law, Applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Gray Residence including, but not limited to, Coastal Development Permit No. CD2022-008 (PA2022-020)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by Applicant, City, and/or the parties initiating or bringing such proceeding. The Applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. The Applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Public Works Department

19. All improvements shall be constructed as required by Ordinance and the Public Works Department.
20. An encroachment permit is required for all work activities within the public right-of-way.
21. The damaged driveway approach shall be reconstructed per City Standard STD#162.
22. A new 36-inch box street tree shall be installed along the North Star Lane frontage.
23. All non-standard hardscape including pavers and rock within the North Star Lane frontage shall be removed and turf or drought tolerant landscaping installed.
24. The existing driveway shall be plugged per City Standard STD# 165.
25. A new sewer clean out shall be installed on the existing sewer lateral per City Standard STD# 406.
26. All improvements shall comply with the City's sight distance requirement. See City Standard STD# 110.

Building Division

27. Prior to issuance of a building permit, the approved Construction Pollution Prevention Plan (CPPP) shall be submitted with the Building Permit plans. Implementation shall be in compliance with the approved CPPP, and any changes could require separate review and approval by the Building Division.
28. A drainage plan will be required due to new roof structure over second floor addition. Any other new or replaced impervious surface areas must be included in determining

the required means of collecting site water runoff for percolation into site soils before discharging to city storm drain system.

Attachment No. CD 3

Community Development Director Action
Letter (PA2023-0038)



COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
949-644-3200
www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR
ACTION LETTER

Subject: **Gray Residence Substantial Conformance (PA2023-0038)**
▪ Staff Approval

Site Location **415 North Star Lane**

Applicant **Gordon and Kristen Gray**

Legal Description **Lot 113 of Tract 4224**

On July 20, 2023, the Community Development Director found the proposed project in substantial conformance and approved Staff Approval (PA2023-0038) allowing minor revisions to a previously approved residential remodel and addition approved by Coastal Development Permit (CDP) No. CD2022-008 (PA2022-020), which was approved by the Zoning Administrator on May 26, 2022. The applicant proposes to add 305 square feet of living area above a detached garage and connect the new living area to the existing house. The proposed changes do not intensify the existing use and are in substantial conformance with CD2022-008. This approval is based on the following analysis.

LAND USE AND ZONING

- **General Plan Land Use Plan Category:** RS-D (Single Unit Residential Detached)
- **Zoning District:** R-1-6000 (Single-Unit Residential)
- **Coastal Land Use Category:** RSD-B (Single Unit Residential Detached – 6.0 - 9.9 DU/AC)
- **Coastal Zoning District:** R-1-6000 (Single-Unit Residential)

I. PREVIOUS APPROVAL

On May 26, 2022, the Zoning Administrator approved CD2022-008 (PA2022-020) allowing a 990-square-foot second story addition, including an elevator, and the conversion of 290 square feet of garage area to living area within an existing single-unit residence that provides an attached 2-car garage and a detached 2-car garage. A CDP was required for the project as the proposed additions exceeded 10 percent of the existing floor area. The project complied with all applicable development standards and no deviations from development standards were requested or approved. The resolution for approval is included as Attachment No. CD 2.

II. PROPOSED CHANGES

The applicant requests a staff approval to allow an additional 305 square feet of living area above the existing detached garage and connect the added living area to the existing house, and a finding of substantial conformance with the previously approved CDP.

The proposed project conforms to all applicable development standards, including setbacks, lot coverage, height and off-street parking as evidenced by the project plans (Attachment No. CD 3) and illustrated in Table 1 below:

Table 1 – Development Standards			
	Existing	Approved	Proposed
Setbacks (min.)			
Front (bay)	10 feet	10 feet	10 feet
Sides	6 feet	6 feet	6 feet
Rear (street)	6 feet	6 feet	6 feet
Parking	2-car garage	4-car garage	4-car garage
Lot Coverage	60% of lot area	53% of lot area	55% of lot area
Floor Area (max.)	No maximum prescribed		
Height	24 feet flat roof 29 feet sloped roof	24 feet flat roof 29 feet sloped roof	24 feet flat roof 29 feet sloped roof

III. FINDINGS

Pursuant to Section 20.54.070 (Changes to an Approved Project) of the NBMC, the Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of an approved use without a public hearing where the Director first finds as follows:

Finding:

A. *The changes are consistent with all applicable provisions of this Zoning Code.*

Facts in Support of Finding:

1. The project site is located within the R-1-6,000 (Single-Unit Residential) Zoning District. The proposed project revisions comply with all applicable residential development standards and no deviations are requested.
2. The proposed minor plan revisions comport with the findings of approval for the previously approved CDP and the conditions of approval set forth by Resolution ZA2022-037 (Attachment No. CD 2).

Finding:

B. *The changes do not involve a feature of the project that was a basis for or subject of finding or exemptions in a negative declaration or Environmental Impact Report for the project.*

Fact in Support of Finding:

1. The approved project was found to be categorically exempt from the requirements of CEQA under Section 15301, Class 1 (Existing Facilities). Class 1 includes additions of less than 50 percent to existing structures. Including the proposed minor plan revisions, the project consists of net additions of approximately 46 percent. Therefore, the proposed modified project complies with the scope identified under the Class 1 exemption.

Finding:

C. *The changes do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.*

Facts in Support of Finding:

1. The property is within a developed neighborhood and the existing use of the structure as a single-unit residence will remain.
2. The proposed project was reviewed by relevant City departments including the Building Division, Public Works Department, and Fire/Life Safety Services. It was determined that adequate public and emergency vehicle access, public services, and utilities are provided to the subject property.

Finding:

D. *The changes do not result in an expansion or change in operational characteristics of the use.*

Facts in Support of Finding:

1. The project site is located within the R-1-6,000 (Single-Unit Residential) Zoning District. The proposed project revisions comply with all applicable residential development standards and no deviations are requested. The small expansion of floor area does not change or intensify the single unit structure.
2. All Facts in Support of Finding C incorporated by reference.

IV. CONDITIONS

1. All conditions of approval for Coastal Development Permit No. CD2022-008 (PA2022-020) shall remain in force and effect, as stated in Attachment No. CD 2.
2. Prior to the Issuance of a Building Permit, a copy of the Staff Approval shall be incorporated into the Building Division and field sets of plans.
3. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Gray Residence including, but not limited to, Staff Approval (PA2023-0038)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages that which City incurs in enforcing the indemnification provisions outlined in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period is specified by the NBMC. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Liane Schuller
Planning Consultant

Approved by:



Jim Campbell, Acting Community
Development Director

DL/s

Attachments:

CD 1 Vicinity Map
CD 2 ZA Resolution ZA2022-037
CD 3 Project Plans

Attachment No. CD 4

Community Development Director Action
Letter (PA2024-0194)



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915

(949) 644-3200 Fax: (949) 644-3229

www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER

APPLICATION:

Gray Residence (PA2024-0194)

- Staff Approval for Substantial Conformance

APPLICANT:

Srour & Associates

LOCATION:

415 North Star Lane

LEGAL DESCRIPTION:

Lot 113 of Tract No. 4224

On **November 21, 2024**, the Community Development Director approved Staff Approval (PA2024-0194) to allow changes to an approved project and found said changes to be minor and in substantial conformance with the approved Coastal Development Permit (PA2022-020) and prior Staff Approval (PA2023-0038). The Applicant proposes to increase the addition to the single-unit residence by 120 square feet on the first floor and raise the height of the roof approximately 5-feet to a height of approximately 28 feet. This approval is based on the findings and subject to the following conditions.

ZONING DISTRICT/GENERAL PLAN

- **General Plan Land Use Plan Category:** RS-D (Single Unit Residential Detached)
- **Zoning District:** R-1-6000 (Single-Unit Residential)
- **Coastal Land Use Plan Category:** RSD-B (Single Unit Residential Detached) – (6.0 – 9.9 DU/AC)
- **Coastal Zoning District:** R-1-6000 (Single-Unit Residential)

I. BACKGROUND AND PROPOSED CHANGES

On May 26, 2022, the Zoning Administrator approved a Coastal Development Permit (CDP) (PA2022-020) to allow the construction of a 990 square-foot second story addition, including an elevator, and the conversion of 290 square-feet of the garage to a living area within an existing single-unit dwelling with an attached two-car garage and a detached two-car garage (Attachment No. CD 2). A CDP was required for the project as the proposed additions exceeded 10% of the existing floor area. The project complied with all applicable development standards and no deviations from development standards were requested.

On July 20, 2023, the Community Development Director approved a Staff Approval (PA2023-0038) allowing minor changes to the approved CDP. The proposed changes included increasing the area of the addition by 305 square-feet above the detached

garage and connecting the new living area to the existing single-unit dwelling (Attachment No. CD 3). The changes were found to be in substantial conformance to the approved CDP.

On August 28, 2024, Building Permit No. XR2022-2463 was issued for construction of the project. On October 22, 2024, the applicant requested additional changes to the project that include an addition of 120 square-feet to the living area and raising the height of the dwelling approximately 4.89 feet to a height of 27-feet, 11.25-inches (approximately 28 feet).

II. FINDINGS

Pursuant to Section 20.54.070 (Changes to an Approved Project), the Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of the approved use, without a public hearing, and waive the requirement for a new coastal development permit application. This staff approval is based on the following findings and facts in support of the findings.

Finding:

A. *The changes are consistent with all applicable provisions of this Zoning Code.*

Facts in Support of Finding:

1. The proposed change complies with applicable residential development standards of Title 21 (Local Coastal Program Implementation Plan) of the Newport Beach Municipal Code (NBMC) including, but not limited to, floor area limitation, setbacks, height, and parking.
 - a. The property is in the R-1-6000 Zoning District that allows a maximum lot coverage of 60% pursuant to Section 21.18.030 (Residential Coastal Zoning Districts General Development Standards). The 120 square-foot addition will reduce a covered deck area and there are no changes to the proposed lot coverage. The proposed lot coverage for the property is 55%.
 - b. The project (including the proposed addition) provides the minimum required setbacks, which are 10-feet along the front property line along the bayside, 6-feet along each side property line, and 6-feet along the rear property line abutting North Star Lane.
 - c. The highest ridge for the sloped roof is approximately 28 feet from established grade, which is less than the maximum allowed 29-feet for a sloped roof.
 - d. The project includes garage parking for a total of three vehicles, complying with the minimum three-car garage parking requirement for single-unit dwellings with more than 4,000 square feet of habitable floor area. The

proposed habitable floor area, including the proposed change, is 4,390 square-feet and the existing single-unit dwelling provides a two-car garage that meets the required interior clear dimensions of 20-feet by 20-feet and another one-car garage that meets the required interior clear dimension of 10-feet by 20-feet.

Finding:

B. *The changes do not involve a feature of the project that was a basis for or subject of findings or exemptions in a negative declaration or Environmental Impact Report for the project.*

Facts in Support of Finding:

1. The project was categorically exempt from the requirements of CEQA under Class 3 (New Construction or Conversion of Small Structures), which exempts the demolition of up to three single-unit dwellings and construction of up to three single-unit dwellings in urbanized areas.
2. The proposed request is to construct an additional 120 square-feet of livable area for the single-unit dwelling and to raise the height of the dwelling. No new dwelling units are proposed, and the proposed change will not compromise the original Class 3 (New Construction or Conversion of Small Structures) exemption under the CEQA Guidelines.

Finding:

C. *The changes do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.*

Facts in Support of Finding:

1. The proposed change does not involve a feature that was specifically addressed or was the subject of a condition of approval for the coastal development permit. The proposed changes are consistent with the residential development standards of the NBMC and do not include any features that would impact public access or views. Therefore, the project would not impact the prior findings related to public access or views in the area.
2. The proposed change was not part of a specific consideration by the Zoning Administrator for approval.

Finding:

D. *The changes do not result in an expansion or change in operational characteristics of the use.*

Fact in Support of Finding:

1. The prior coastal development permit approved the remodel and addition of an existing single-unit dwelling and the proposed change will allow a minor addition to the overall scope of work. No new dwelling units are proposed, and the additional proposed changes will not alter the existing use of the property as a single-unit dwelling.

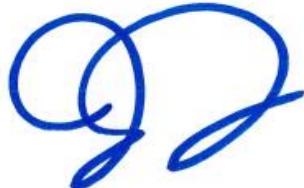
III. CONDITIONS OF APPROVAL

1. All previous conditions of approval for Coastal Development Permit (PA2022-020) and Staff Approval (PA2023-0038) shall remain in full force and effect.
2. The development authorized by this staff approval shall be in substantial conformance with the approved project plans (Attachment No. CD 3).
3. The Community Development Director may add to or modify conditions to this staff approval or revoke this staff approval upon determination that the addition, which is the subject of this staff approval, causes injury, or is detrimental to the public health, safety, peace, or general welfare of the community if the property is operated or maintained so as to constitute a public nuisance.
4. This approval does not relieve the applicant of compliance with other City or State requirements. The Applicant is required to obtain all applicable permits from the City Building Division and Fire Department. Prior to the issuance of any building, mechanical, and/or electrical permits, architectural drawings and structural design plans shall be submitted to the City of Newport Beach for review and approval by the applicable departments. A copy of these conditions of approval shall be incorporated into the drawings approved for the issuance of permits.
5. *To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Gray Residence including, but not limited to, Staff Approval (PA2024-0194)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed*

to the City pursuant to the indemnification requirements prescribed in this condition.

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered. For additional information on filing an appeal, contact the Planning Division at 949 644-3200.

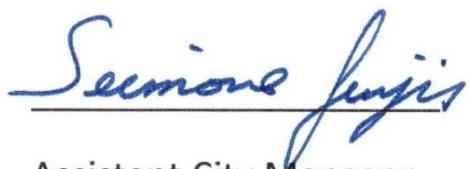
Prepared by:



Jenny Tran, Associate Planner

LAW/jt

Approved by:



Seemone Fujis
Assistant City Manager

Attachments:

- CD 1 Vicinity Map
- CD 2 Resolution No. ZA2022-037
- CD 3 Community Development Director Action Letter (PA2023-0038)
- CD 4 Project Plans

Attachment No. CD 5

Project Plans

Soils Recommendations:

EGA
consultants

CITY OF NEWPORT BEACH
Building Department
100 Civic Center Drive
Newport Beach, CA 92660

June 11, 2025
Project No. ML431.2

Attention: Eric Skarin, PE
via email: eskarin@newportbeachca.gov

Subject: ADDENDUM TO SOILS REPORT DATED 5/23/2023 in
RESPONSE TO CITY PLAN REVIEW (Counter) and
REVIEW AND APPROVAL OF FOUNDATION & GRADING PLANS for
PROPOSED RESIDENTIAL DEVELOPMENT
LOCATED at 415 NORTH STAR LANE
NEWPORT BEACH, CALIFORNIA

City of Newport Beach Plan Check No.: XR2022-2463, XR2024-6230

Associated References:
 1. "Geotechnical Investigation for Proposed Residential Remodel Located at 415 North Star Lane, Newport Beach, California" by EGA Consultants, Inc., dated May 10, 2023.
 2. "Foundation Plan, Gray Residence, 415 North Star Lane, Newport Beach, CA 92660" by McCullum Engineering, Inc., dated April 17, 2025.
 3. "Drainage & Grading Plan, Proposed Residence, 415 North Star Lane, Newport Beach, CA 92660" by B.A. Sims Engineering, Inc., dated June 11, 2025.

Dear Grading/Building Officials:

In response to our communications with the design team, and the geotechnical-related counter comments from Eric Skarin, PE, we have prepared this addendum to the above-referenced soils report May 10, 2023.

Since the issuance of the original soils report (reference 1), we have interfaced with the design team, and the general contractor, Drake Smith with Drake Construction. We acknowledge the extent of the proposed new building slabs and foundations is greater than that presumed in the original soils report.

Therefore, pursuant to our field inspections and modified building/grading plans; for the new building pad sections, we recommend removal and recompaction of the upper 3 feet (via 2 1/2" deep excavations + 6 inch scarification). The new engineered fill shall be placed in 8 inch thick lifts and compacted to a minimum 90% of the maximum density. Due to the presence of dry sands, soil cement and moisture conditioning via a 2-inch hose shall be employed.

It is our understanding that Tight Quarters Demo and Grading, Inc. is actively contracted to perform the site earthworks via conventional grading. In fact, on March 6, 2025 a pre-construction meeting was held on-site and attended by David Worthington with EGA Consultants, Drake Smith with Drake Construction, Tellford Cottam with Tight Quarters, and Bill Tuman, Building Inspector II with the City of Newport Beach.

In any case, for this newly modified "full grading" approach, the new building footings may be reduced from a minimum 30 inches to a minimum 24 inches deep. The reduction of minimum footing depth is justified now that the conventional grading is to be employed. All new footings will bear on 12 inches of newly engineered fill compacted to a minimum 90 percent relative compaction in accordance with ASTM D-1557.

375-C Monte Vista Avenue • Costa Mesa, CA 92627 • (949) 642-9309 • FAX (949) 642-1290

ADDITIONAL RECOMMENDATIONS:

Site Preparation

Prior to earthwork or construction operations, the site should be cleared of surface structures and buried obstructions and stripped of any vegetation, trees, and roots in the areas proposed for development. Removed vegetation and debris should then be disposed of off-site. A minimum of 3 feet of the soils below the existing street grade (upper pad) will require removal and recompaction in the areas to receive building pad fill.

Following removals, each excavated area should be inspected by the soils engineer or his designated representative prior to the placement of any fill. Holes or pockets of undocumented fill resulting from removal of buried obstructions discovered during this inspection should be filled with suitable compacted fill.

Fills

The on-site soils below three feet are suitable for reuse as compacted fill, provided the soil is free of organic materials, debris, and rock materials larger than four (4) inches in diameter. After removal of any loose, compressible soils, all areas to receive fill and/or other surface improvements should be scarified to a minimum depth of 12 inches, brought to at least 2 percent over optimum moisture conditions and compacted to at least 90 percent relative compaction (based on ASTM: D 1557). If necessary, import soils for near-surface fills should be predominately granular, possess a very low expansion potential, and be approved by the geotechnical engineer.

Lift thicknesses will be dependent on the size and type of equipment used. In general, fill should be placed in uniform lifts not exceeding 8 inches. Placement and compaction of fill should be in accordance with local grading ordinances under the observation and testing of the geotechnical consultant. We recommend that fill soils be placed at moisture contents at least 2 percent over optimum (based on ASTM: D 1557).

Note: the pad excavation will require temporary 1:1 laybacks per Appendix C, herein.

Backfill Suitability

The on-site soils may be used as trench backfill provided they are screened of rock sizes over 4 inches in mean diameter and any organic matter. Trench backfill should be compacted in uniform lifts (not exceeding 8 inches in compacted thickness) by mechanical means to at least 90 percent relative compaction (ASTM: D 1557).

GEOTECHNICAL OBSERVATION AND TESTING DURING CONSTRUCTION

We recommend that a qualified geotechnical consultant be retained to provide geotechnical engineering services, including geotechnical observation/testing, during the construction phase of the project. This is to verify the compliance with the design, specifications and/or recommendations, and to allow design changes in the event that subsurface conditions differ from those anticipated.

Geotechnical observations/testing should be performed at the following stages:

ADDENDUM TO SOILS REPORT DATED 5/10/2023
415 North Star Lane, Newport Beach, CA
Project No. ML431.2 - Gray Residence
June 11, 2025

ADDENDUM TO SOILS REPORT DATED 5/10/2023
415 North Star Lane, Newport Beach, CA
Project No. ML431.2 - Gray Residence
June 11, 2025

During ANY grading operations, including excavation, removal, filling, compaction, and backfilling, etc.
 After excavations for footings/grade beams to verify the adequacy of underlying materials.
 After excavation or retaining wall footings to verify the adequacy of underlying earth materials.
 During/after installation of water proofing for retaining walls, if any, prior to installation of sub-drain/backfilling.
 During/after installation of retaining wall sub-drain, if any, prior to backfilling.
 During/after installation of retaining wall backfill materials, if any, to verify proper compaction.
 After pre-soaking of new slab sub-grade earth materials, prior to pouring concrete.
 Verification of the placement of the slab underlayment prior to pouring concrete.
 Prior to slab pours to ensure proper subgrade compaction, capillary breaks, and moisture barriers.
 During backfill of drainage and utility line trenches, to verify proper compaction.
 When/if any unusual geotechnical conditions are encountered.

POLICY:
Please schedule an inspection with the geotechnical consultant prior to the pouring of ALL interior and exterior slabs (includes waste and protection slabs).

STATEMENT OF REVIEWED AND APPROVED PLANS FROM A GEOTECHNICAL STANDPOINT:

We have reviewed the above-referenced Foundation Plan by McCullum Engineering, Inc. (reference 2), and the Precise Grading Plan by B.A. Sims Engineering, Inc. (reference 3), and verify that the plans conform with the specifications outlined in the soils reports by EGA Consultants, and this Addendum dated June 11, 2025. The plans, bundled with this response, are electronically signed and stamped by representatives of EGA Consultants.

Based on the findings of our geotechnical investigation and our professional experience working on similar sites in the area, the proposed construction will not adversely impact the geologic stability/safety of the subject or adjoining properties.

All recommendations and soils values are in accordance with the 2022 CBC, and remain valid, unless revised in this response dated June 11, 2025.

This response memorandum shall be considered an addendum to the above-referenced soils report dated May 10, 2023.

In the event of a conflict between this addendum and the recommendations and specifications outlined in the soils report, the provisions of this addendum shall take precedence.

If you have any questions, please call.

Very truly yours,

EGA Consultants, Inc.
DAVID A. WORTHINGTON
No. CEG2124
EX- CERTIFIED 25
Principal Engineering Geologist/CEO

cc: (1) Michael Lee Architects, Attn: Josh Tully, AIA
(1) Drake Construction, Attn: Drake Smith

ADDITION TO SOILS REPORT DATED 5/10/2023
415 North Star Lane, Newport Beach, CA
Project No. ML431.2 - Gray Residence
June 11, 2025

ADDITION TO SOILS REPORT DATED 5/10/2023
415 North Star Lane, Newport Beach, CA
Project No. ML431.2 - Gray Residence
June 11, 2025

REGISTERED GEOLOGIST
DAVID A. WORTHINGTON
No. CEG2124
EX- CERTIFIED 25
Principal Engineering Geologist/CEO

STATE OF CALIFORNIA

josh tully architecture
703 pier ave, suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@jostullyarchitecture.com

GRAY RESIDENCE
New SFR
415 North Star Lane
Newport Beach, CA 92660

Project Name :
Project Address :
Revisions :
No. Date Description

03.24.25 New Bldg Submittal

Sheet Title :
Soils Report
Recommendations
& Demo

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

Sheet Number :

2
A-1.1f

Demolition Compliance:

Housing Crisis Act Compliance for Demolitions

Community Development Department
Planning Division
100 Civic Center Drive / P.O. Box 1768 / Newport Beach, CA 92658-8915
(949) 644-3204 Telephone / (949) 644-3229 Facsimile
www.newportbeachca.gov

General Information

The Housing Crisis Act of 2019 [SB 330 (Chapter 654, Statutes of 2019) and SB 8 (Chapter 161, Statutes of 2021)] set a temporary 10-year prohibition on reducing residential density when associated with the approval of a "housing development project", beginning January 1, 2020 and concluding on January 1, 2030. A "housing development project" is defined as: a residential project of one or more units; a mixed-use project with two-thirds of the floor area designated for residential use, or a transitional or supportive housing project. In addition, existing units that are defined as "protected" under the law (see below for qualifications) must be replaced with units that have an equivalent number of bedrooms, rents affordable at the same income category as the displaced tenant(s) (or if incomes are unknown, according to the proportion of lower income renter households in the jurisdiction), and displaced tenants must be provided relocation benefits. Assembly Bill No. 1218 (Chapter 754, Statutes of 2023) also prohibits the loss of protected units associated with the approval of a non-housing development project that requires the demolition of occupied or vacant protected units. Therefore, concurrent with the application of any development project that involves the demolition of any residential unit(s), or the application of a non-housing development project, the property owner shall answer the questions below for Housing Crisis Act compliance.

Site Address: 415 North Star Lane **Legal Description:** Lot 113, Tract 4224

1) Units proposed for demolition: 1 Units proposed for construction: 1

2) Are you proposing to redevelop the site with a "housing development project"? Yes No

For housing development projects, reductions in density are prohibited whether or not units are deemed "protected" and a demolition permit cannot be issued.

3) If you answer yes to any of the following questions, the unit(s) are considered "protected" and must be replaced:

- Currently, or within the last 5 years, are any of the units subject to a recorded covenant/ordinance, or law restricting rents to levels affordable to low- or very low-income households? Yes No
- Currently, or within the last 5 years, are any of the units occupied by low- or very low-income households (see attachment for current income limits)? Yes No

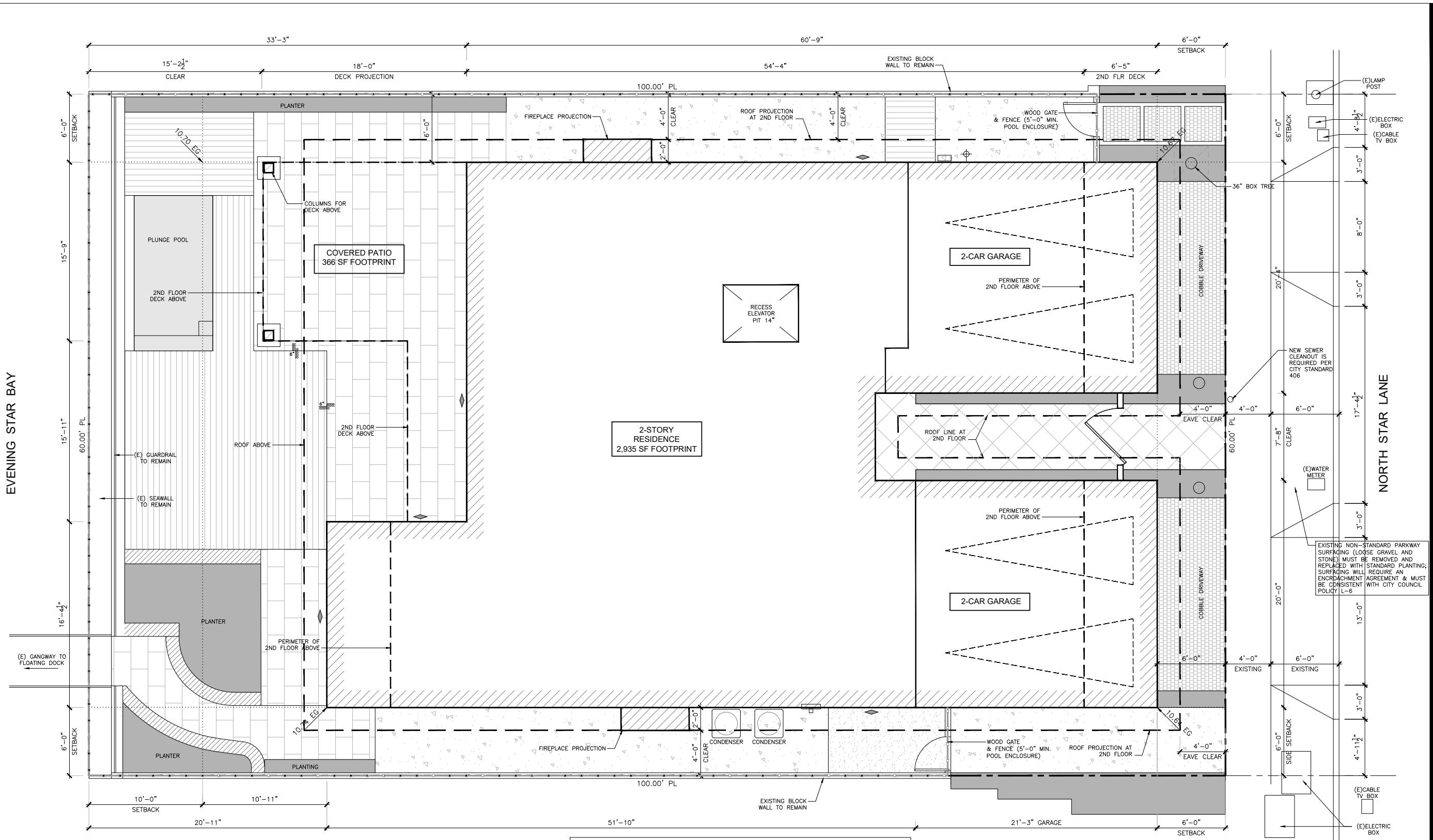
If any of the units proposed for demolition meet the "protected" criteria, please provide a summary of units (i.e., apartment number, size, number of bedrooms, household size, and income level of tenant) and schedule a meeting with a planner to discuss replacement requirements. A demolition permit cannot be issued until an agreement is executed with the City guaranteeing the replacement of the protected units and tenant relocation benefits.

Property Owner Certification (required):

I, Gordon Gray, hereby certify that I am the property owner of the above described property. I declare under the penalty of perjury, the facts, statements and information presented in this document are true and correct to the best of my knowledge and belief.

Signature: 07/02/2025 Date: (310) 995-3645 Phone Number: 310 995-3645

1 The City of Newport Beach does not have a local rent control ordinance. As such, the categories of "protected units" are limited to those stated above.
Updated 05/15/2024



josh tully
architecture

703 pier ave. suite b #102
hermosa beach, ca 90254
t: 310.480.2429
e: josh@joshtullyarchitecture.com

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JOSH TULLY ARCHITECTURE, INC.



GRAY RESIDENCE

415 North Star Lane
Newport Beach, CA 92660

Project Name : *Project Address*
Revisions :
Date Description

revisions :

Sheet Title :

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:
Sheet Number:

Sheet Number :

ZONING ADMINISTRATOR NOTES:

ZONING ADMINISTRATOR NOTES:

- 1. BUILDING SITE IS LOCATED IN A SPECIAL FLOOD HAZARD AREA (SFHA) AEB, ESTABLISHED IN FIRM DATE MARCH 21, 2019. TOP OF SLAB TO BE SET AT ONE FOOT ABOVE THE BASE FLOOD ELEVATION (BFE) OF 8.0 FEET NAVD88. IN NO CASE SHALL THE SLAB ELEVATION BE BELOW 9.0 FEET NAVD88, OR, AS REQUIRED BY PLANNING DEPARTMENT USING NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88). NMBC 15.50.200(C).
- 2. BUILDINGS AND STRUCTURES IN SFHA AEB SHALL HAVE THE LOWEST FLOOR ELEVATED ABOVE THE BFE PLUS 1 FOOT FOR A DESIGN FLOOD ELEVATION (DFE) (R301.2.4 AND R301.2.4.1 AS AMENDED NMBC 15.05.100. SEE TABLES 2-1 & 4-1, R301.2.4.2).
- 3. SFHA AE GARAGE AND CARPORT FINISHED SLAB MAY BE LOCATED BELOW THE BFE, PROVIDED THE SLAB ELEVATION IS ABOVE ADJACENT GRADE, SHOW A MINIMUM OF TWO FLOOD VENT OPENINGS AT OPPOSITE SIDES OF THE GARAGE ON THE FOUNDATION PLAN, EXTERIOR ELEVATIONS, AND FLOOR PLAN.
- 4. THE BOTTOM OF FLOOD VENT OPENINGS MUST BE WITHIN 1 FT. OF THE ADJACENT EXTERIOR GRADE.
- 5. THE TOP OF FLOOD VENT OPENINGS MUST BE BELOW THE DFE.
- 6. PROVIDE ONE SQUARE INCH OF OPENING PER EACH SQUARE FOOT OF GARAGE AREA. INDICATE THE LOCATION WITH DIMENSIONS AND AREAS OF THE OPENINGS ON THE EXTERIOR ELEVATIONS, FOUNDATION PLAN AND ARCHITECTURAL FLOOR PLAN. THE REQUIRED SQUARE INCHES MUST BE WITHIN REQUIREMENTS OF THE FLOOR PLAN AND FOUNDATION PLAN. THE MINIMUM DIMENSION IN ANY OPENING SHALL NOT BE LESS THAN 3 INCHES. NMBC 15.50.200 C-1.D, AND ASCE 7-16 SECTION 2.7.2.1. OR PROVIDE ENGINEERED OPENINGS FOR ASCE24 SECTION 2.7.2.2.
- 7. SFHA AE, WHEN TOP OF GARAGE FLOOR SLAB IS LOWER THAN THE BASE FLOOD ELEVATION (BFE), GARAGE WALLS MUST BE SUPPORTED OVER CONCRETE CURBS WITH TOP OF CURB ONE FOOT ABOVE THE BFE (NAVD88). SEE "LOWEST FLOOR" REGARDING RESTRICTION ON GARAGE SLAB NOT ALLOWED BELOW GRADE. NMBC 15.50.050 DEFINITIONS
- 8. SFHA AE, EXTERIOR WOOD STAIRS SHALL BE SUPPORTED OVER CONCRETE CURBS WITH TOP OF CURB ONE FOOT ABOVE THE BFE (NAVD88).
- 9. FOUNDATION HAS BEEN DESIGNED FOR LIQUEFACTION MITIGATION PER CITY POLICY.

Public Works Notes:

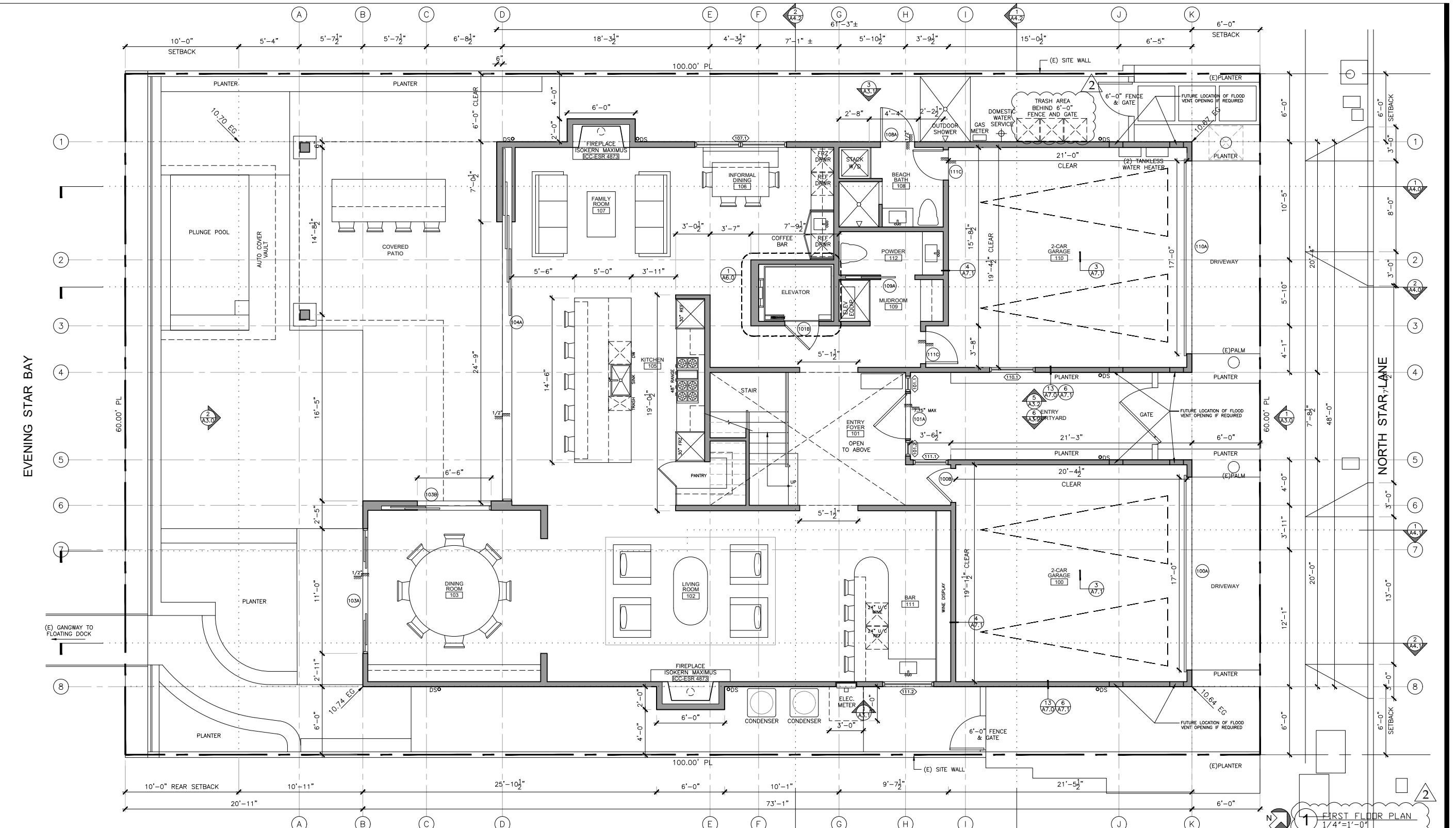
- An approved encroachment permit is required for all work activities within the public right-of-way. A Public Works Department encroachment permit inspection is required before the Building Department Permit Final can be issued. At the time of Public Works Department inspection, if any of the existing public improvements surrounding the site is damaged, new concrete sidewalk, curb and gutter, and alley/street pavement will be required. Additionally, if existing utilities infrastructure are deemed substandard, a new 1-inch water service, water meter box, sewer lateral and/or cleanout with box and lid will be required. 100% of the cost shall be borne by the property owner (Municipal Codes 14.24.020 and 14.08.030). Said determination and the extent of the reconstruction work shall be made at the discretion of the Public Works Inspector. Contractor is responsible to maintain the public right of way at all times during the construction project. A stop work notice may be issued for any damage or unmaintained portion of the public right of way."
- An encroachment agreement is required for all non-standard improvements within the public right of way. All non-standard improvements shall comply with City Council Policy L-6.
- All private irrigation sprinkler heads shall be installed and positioned in a manner that will not cause irrigation overspray onto the public right-of-way.
- All work related to water in the public right-of-way shall be performed by a C-34 licensed Pipeline Contractor or an A Licensed General Engineering Contractor.
- All work related to wastewater in the public right-of-way shall be performed by a C-42 licensed Sanitation Sewer Contractor or an A Licensed General Engineering Contractor.

PROVIDE ALARM FOR DOORS TO THE DWELLING THAT FORM PART OF THE POOL ENCLOSURE. THE ALARM SHALL PROVIDE AN AUDIBLE WARNING WHEN THE DOOR OR IT'S SCREEN, IF PRESENT, ARE OPENED. THE ALARMS SHALL BE LISTED AND CERTIFIED IN ACCORDANCE WITH UL2017 AND INDEPENDENTLY CERTIFIED TO THE ASTM STANDARD F2208. THE ALARMS SHALL BE EQUIPPED WITH A DEACTIVATION SWITCH LOCATED IN ACCORDANCE 54" ABOVE THE FLOOR FOR UNITS NOT REQUIRED TO BE ACCESSIBLE AND BETWEEN 48" AND 54" FOR UNITS REQUIRED TO BE ACCESSIBLE. 3109.2

<u>ESTABLISHED GRADE:</u>	
10.70 + 10.67 + 10.64 + 10.74 = 42.75/4 =	10.68
LOT AREA	6,000 SF
BUILDING FOOTPRINT	2,935 SF
COVERED PATIO	366 SF
LOT COVERAGE	3,301 SF (55%)



1 SITE PLAN 1/4"=1'-0"



GENERAL NOTES:

1. A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND UNDERPINNING.
2. THE MAXIMUM TIME TO COMPLETE CONSTRUCTION ON A PROJECT IS LIMITED TO 3 YEARS FROM THE DATE OF THE PERMIT FOR ALL PERMITS ISSUED AFTER JUNE 01, 2019 AS REQUIRED BY NEMC SECTION 15.02.095
3. DOMESTIC CLOTHES DRYER DUCT SHALL BE METAL WITH MIN. 4 INCHES IN DIAMETER. THE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET, INCLUDING TWO 90 DEGREE ELBOWS. A LENGTH OF 2 FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. (CMC 504.4.2.1).
4. EFFICIENCY RATINGS OF HEATING AND COOLING UNITS:
 - (N) AC UNIT AT EER 13, SEER 16
 - (N) FAU AT 95 AFUE
5. GUARDRAILS SHALL MEET THE FOLLOWING:
 - a. PROVIDE GUARDS WHERE THE OPEN SIDE IS MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE
 - b. GUARD HEIGHTS SHALL BE A MINIMUM 42"
 - c. OPENINGS BETWEEN INTERMEDIATE BALUSTERS SHALL PRECLUDE THE PASSAGE OF A 4" DIAMETER SPHERE
 - d. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM STAIRS SHALL PRECLUDE THE PASSAGE OF A 6" SPHERE
 - e. OPENINGS BETWEEN INTERMEDIATE BALUSTERS ON THE OPEN SIDE OF THE STAIRS SHALL PRECLUDE THE PASSAGE OF A 4 3/8" DIAMETER SPHERE
6. POOLS, SPAS, WALLS, FENCES, PATIO COVERS, AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS
7. FENCES, HEDGES, WALLS, RETAINING WALLS, GUARDRAILS, AND HANDRAILS OR ANY COMBINATION THEREOF SHALL NOT EXCEED 42 INCHES FROM THE EXISTING GRADE BEFORE CONSTRUCTION WITHIN THE REQUIRED FRONT

ZONING ADMINISTRATOR NO:

1. BUILDING SITE IS LOCATED IN A SPECIAL FLOOD HAZARD AREA (SFHA) AE8, ESTABLISHED IN FIRM DATED MARCH 21, 2019. TOP OF SLAB TO BE SET AT ONE FOOT ABOVE THE BASE FLOOD ELEVATION (BFE) OF 8.0 FEET NAVD88. IN NO CASE SHALL THE SLAB ELEVATION BE BELOW 9.0 FEET NAVD88, OR, AS REQUIRED BY PLANNING PRACTICE, USING NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88). NBMC 15.50.200(C).
2. BUILDING AND ATTACHED STRUCTURES IN AREA AE8 SHALL HAVE THE LOWEST FLOOR ELEVATED ABOVE THE BFE PLUS 1 FOOT FOR A DESIGN FLOOD ELEVATION (D.F.E.) (R301.2.4 AND R301.2.4.1 AS AMENDED NBMC 15.05.100. SEE TABLES 2-1 & 4-1 ASC24).
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4. THE BOTTOM OF FLOOD VENT OPENINGS MUST BE WITHIN 1 FT. OF THE ADJACENT EXTERIOR GRADE.
5. THE TOP OF FLOOD VENT OPENINGS MUST BE BELOW THE D.F.E.

6. PROVIDE ONE SQUARE INCH OF OPENING PER EACH SQUARE FOOT OF GARAGE AREA. INDICATE THE LOCATION WITH DIMENSIONS AND AREAS OF THE OPENINGS ON THE EXTERIOR ELEVATIONS. CONSIDERATION SHALL ALSO BE MADE FOR FLOOR PLANS. THE MINIMUM OPENING INCHES MUST MEET THE REQUIREMENTS OF ITEMS A & B ABOVE AND THE MINIMUM DIMENSION IN ANY DIRECTION SHALL NOT BE LESS THAN 3 INCHES. NBCM: 15.50,200 C.1.D, AND ASCE24 SECTION 2.7.2.1, OR PROVIDE ENGINEERED OPENINGS PER ASCE24 SECTION 2.7.2.2.
7. SFHA AE WHEN TOP OF GARAGE FLOOR SLAB IS LOWER THAN THE BASE FLOOD ELEVATION (BFE), GARAGE WALLS MUST BE SUPPORTED OVER CONCRETE CURBS WITH TOP OF CURB ONE FOOT ABOVE THE BFE (NAVDB8). SEE "LOWEST FLOOR" REGARDING SUPPORT OF GARAGE SLAB NOT ALLOWED BELOW GRADE. NBCM: 15.50,200 DEFLECTIONS
8. SFHA AE EXTERIOR WOOD STAIRS SHALL BE SUPPORTED OVER CONCRETE CURBS WITH TOP OF CURB ONE FOOT ABOVE THE BFE (NAVDB8)
9. FOUNDATION HAS BEEN DESIGNED FOR LIQUEFACTION MITIGATION PER CITY POLICY.

Sheet Title :
FIRST FLOOR
PLAN

A.P.N.: 117-711-13

Scale: 1/4" = 1'-0"

Issue Date: 03.24.2025

Drawn: JPT Checked:

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A30



GRAY
RESIDENCE
New SFR
415 North Star Lane
Newport Beach, CA 92660

Project Name :
Project Address :

Revisions :
No. Date Description

03.24.25 New Bldg Submittal

Sheet Title :
SECOND FLOOR
PLAN

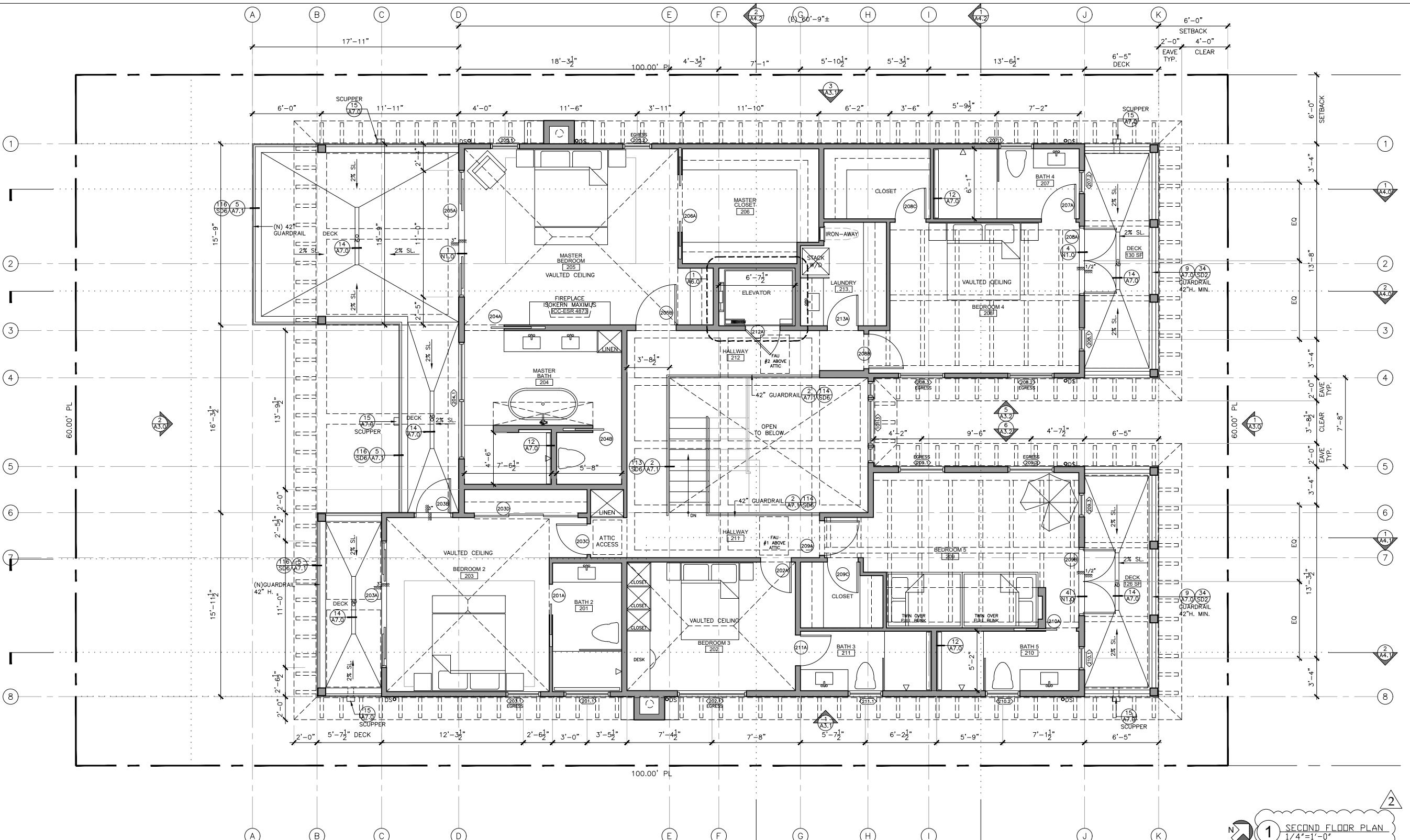
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- DOMESTIC CLOTHES DRYER DUCT SHALL BE METAL WITH MIN. 4 INCHES IN DIAMETER. THE EXHAUST DUCT SHALL NOT EXCEED TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 10 FEET, INCLUDING TWO 90 DEGREE ELBOWS. A LENGTH OF 2 FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. (CMC 504.4.2.1).
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- GUARDRAILS SHALL MEET THE FOLLOWING:
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- SFHA AEB, EXTERIOR WOOD STAIRS SHALL BE SUPPORTED OVER CONCRETE CURBS WITH TOP OF CURB ONE FOOT ABOVE THE BFE (NAVD88).
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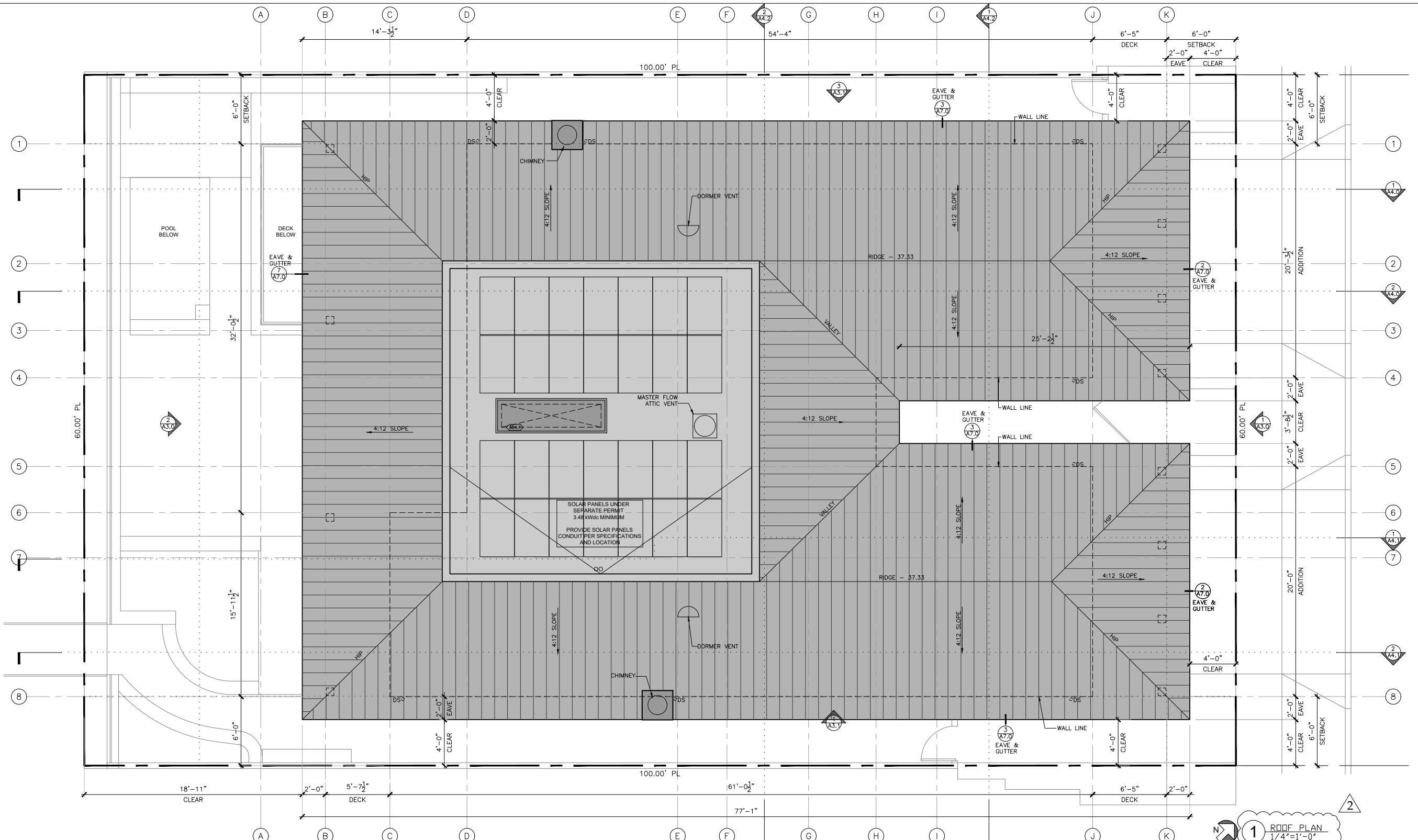
Project Name :		
Project Address :		
Revisions :		
No.	Date	Description
03.24.25		New Bldg Submittal

Sheet Title :
ROOF
PLAN

A.P.N.: 117-711-13
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Sheet Number :

A-2.2



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c. OPENINGS BETWEEN INTERMEDIATE BALUSTERS SHALL PRECLUDE THE PASSAGE OF 4" DIAMETER SPHERE.
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e. OPENINGS BETWEEN INTERMEDIATE BALUSTERS ON THE OPEN SIDE OF THE STAIRS SHALL PRECLUDE THE PASSAGE OF A 4-3/8" DIAMETER SPHERE.

ATTIC VENT CALCULATIONS

CONTRACTOR TO VERIFY IN FIELD
VENTILATION REQUIREMENTS:
1 S.F. NET OPENING PER EACH 150 S.F. OF ATTIC/CONCEALED SPACE

ATTIC/CONCEALED SPACE AREA: 1,523 S.F.
REQUIRED: 10.15 S.F. (=1,523 S.F./150 S.F.)

GAF "MASTER FLOW" ERV4 LOW PROFILE
POWERED ROOF MOUNT EXHAUST FAN
USE MIN. (1) AS REQUIRED

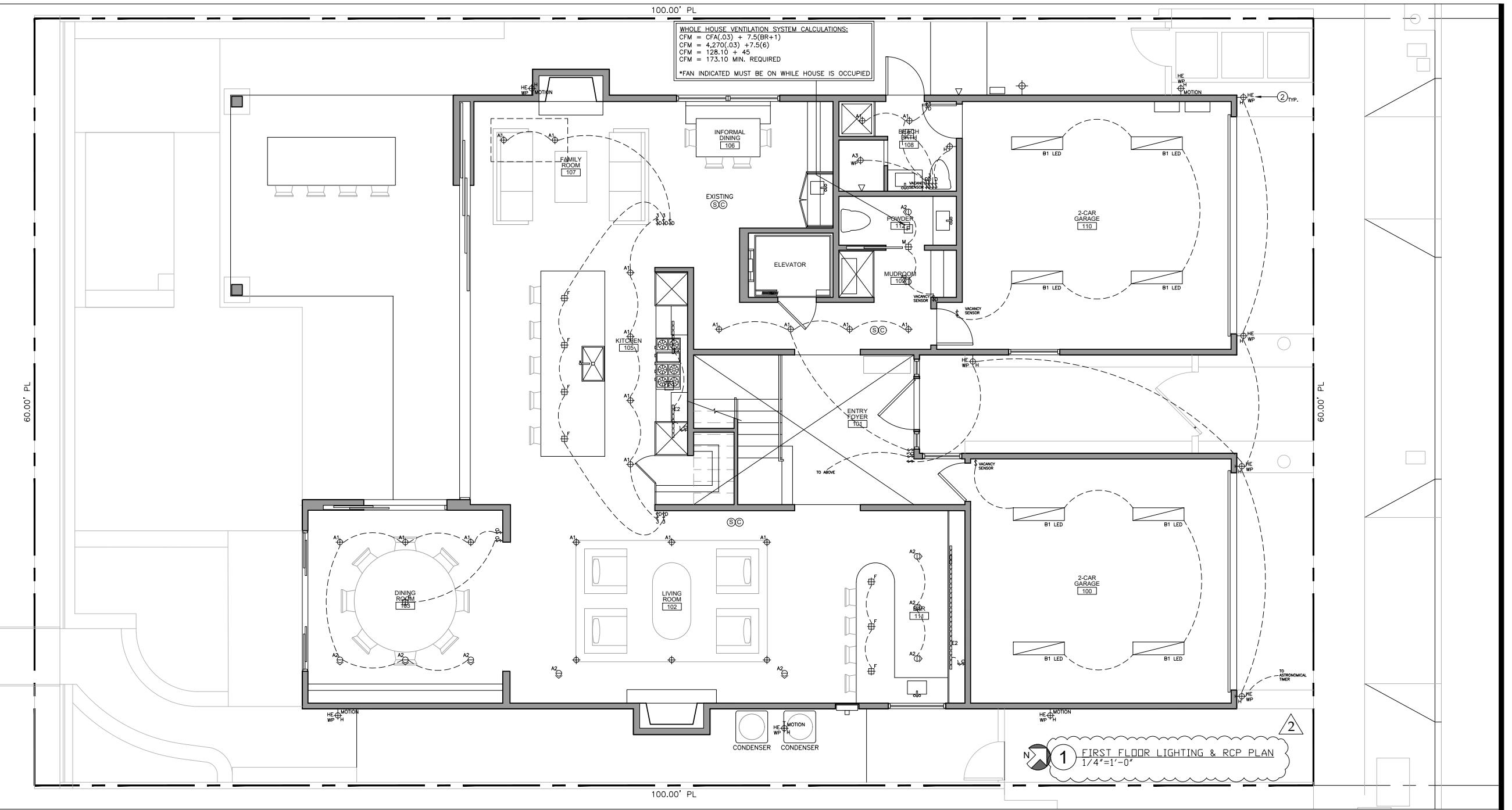
MAX. ATTIC SIZE SERVICED: 1,600 S.F.
UL 507 TESTED/APPROVED, CSA RATED
193 LINEAR FEET PROVIDED OF 2" SOFFIT
VENT AT EAVE (386 SQ. IN. = 2.68 SF)

ATTIC VENTILATION NOTES:

- OPENINGS SHALL BE PLACED SO AS TO PROVIDE CROSS VENTILATION OF THE ATTIC SPACE.
- THE NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE ATTIC AREA.
- OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/16" MINIMUM AND 1/4" MAXIMUM OPENING.
- SOFTEN THE REQUIRED VENTILATION AREA MUST BE LOCATED AT LEAST 3' ABOVE THE EAVE OR CORNICE VENTS, WITH THE BALANCE PROVIDED BY EAVE OR CORNICE VENTS.
- WHERE THE RATIO OF 1/300 IS USED TO VENT ATTICS, NOT LESS THAN 40% BUT NOT MORE THAN 50% OF THE VENTS SHALL BE LOCATED NOT MORE THAN 3' BELOW THE RIDGE.

ROOFING MATERIAL:

TIMBERLINE - COOL ROOF SERIES SHINGLES (CLASS 'A'), CHARCOAL/GREY COLOR. FIBER TECH COMPONENT-INCORPORATES FIBERS THAT ARE NON-COMBUSTIBLE. PROVIDING A UL CLASS "A" RATING - FIBERGLASS ASPHALT CONSTRUCTION (ENERGY STAR). LISTED CLASS A FIRE RATING -UL 790, ICC ESR-1475, ESR-3267.



LIGHTING & POWER SYMBOLS LEGEND:		
E EXISTING	RECESSED WALL MOUNTED FIXTURE	SEC SECURITY SYSTEM
EL EXISTING LOCATION, NEW FIXTURE	CEILING MOUNTED FIXTURE	LUTRON LV WALL SWITCH
FL FLUORESCENT	PENDANT FIXTURE	WALL SWITCH W/ DIMMER CONTROL
WP WATERPROOF	STRIP LIGHTING	3 WAY WALL SWITCH
ADU ADJUSTABLE	FLUORESCENT SURFACE FIXTURE	4 WAY WALL SWITCH
HE HIGH EFFICIENCY	UPPER CABINET, UNDER CABINET & COVER LIGHT	DUPLEX OUTLET
GFI GROUND FAULT INTERRUPTER	UNDER CABINET LIGHT	QUAD OUTLET
AFI ARC FAULT INTERRUPTER	TRACK LIGHTING	FLOOR OUTLET (FLUSH MOUNT)
E EXHAUST FAN-ENERGY STAR COMPLIANT, 110CFM, 1.0 SONE MAX. SOUND, HUMIDISTAT CONTROLLED, DUCTED TO EXTERIOR (ALL FLOORS)	EXTERIOR LANDSCAPE LIGHTING	GAS LINE
RD RECESSED DOWNLIGHT	CABLE TV	12" A.F.F.
RU RECESSED UPLIGHT	TELEPHONE	12" A.F.F.
EL EMERGENCY LIGHT WITH BACK-UP BATTERY	CABLE - DATA (INTERNET)	12" A.F.F.
DR DIRECTIONAL RECESSED DOWNLIGHT	SATELLITE	12" A.F.F.
WS WALL SCONCE	COM (CAT6) (NETWORK)	12" A.F.F.

LIGHT FIXTURES SPECIFICATIONS	
A1	TECH LIGHTING ELEMENT ENTRA 3" LED SQUARE FLANGED FLAT TRIM - EN3S-LH9WDAAC, EN3SF1F-OW
A2	TECH LIGHTING ELEMENT ENTRA 3" LED SQUARE FLANGED WALL WASH TRIM - EN3S-LH9WDAIC, EN3SF1W-WW
A3	TECH LIGHTING ELEMENT ENTRA 3" LED SQUARE FLANGED SHOWER BEVELED TRIM WITH SANDBLAST LENS - EN3S-LH9WDAAC, EN3SF1B-HW
D1	B-K LIGHTING VERSA SQUARE STAR LED BRASS POWDER COATED WHITE DOWN LIGHT 36" FLOOD 2700K
D2	WAC EXTERIOR LED STEP LIGHT STAINLESS STEEL FINISH - WL-LED100-C-SS
D3	DREAMSCAPE MESA GRANDE LED UPLIGHT WHITE WITH BRASS MOUNTING BOX
D4	LIGHTING FX REFLECTORE STELLATO RS-35H-BZ
D5	DASAL WALL LIGHT 2-300
D6	B-K LIGHTING SQUARE ADJUSTABLE WELL STAR (MR16) SW-16-BZW-9-11 BRONZE
D7	LUMIREE BOCA 631 - BELOW GRADE UPLIGHT 50MR16 12V, TRU-AIM 37W MR16 IR WFL60, LBB-(ORDER HOUSING AHEAD IF REQ'D)-DIF-LVR, VERIFY FINISH
D8	DREAMSCAPE MESA DL-126 EXT-B-702-11 SURFACE MOUNTED UPLIGHT, RUST BROWN FINISH, 20W MR-11 FLOOD LAMP, HOUSING NOT INCLUDED, VERIFY FINISH W/ ARCHITECT PRIOR TO ORDERING.

LEGEND	
X-X CLG	INDICATES CEILING/SOFFIT HEIGHT
7/8" SMOOTH STUCCO FINISH CEILING LID	
HARDWOOD CEILING LID	
DENOTES POTENTIAL SOFFIT AREAS. MECHANICAL SUB-CONTRACTORS TO CONFIRM SIZE & LOCATION OF DUCTING PRIOR TO FRAMING.	
ALL MECHANICAL SHAFT TO BE 1-HOUR FIRE RESISTANCE ASSEMBLIES	
CAPPED/ABANDON WATER & ELECTRICAL LINES	
NOTES:	
1. ALL LUMINAIRES SHALL BE HIGH EFFICACY Per Section 150.0(k)1.A.	
2. OUTDOOR LIGHTING ATTACHED TO THE BUILDING SHALL BE CONTROLLED BY A MANUAL ON/Off SWITCH AND BY A MOTION SENSOR WITH INTEGRAL PHOTO CONTROL. Per Section 150.0(k)3.	
3. KITCHEN EXHAUST SYSTEM VENTED TO OUTDOORS SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM.	
4. BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES MUST BE CONTROLLED BY A VACANCY SENSOR.	
5. RECESSED DOWNLIGHTS SHALL COMPLY WITH REFERENCE JOINT APPENDIX J4B REQUIREMENTS. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX J4B	

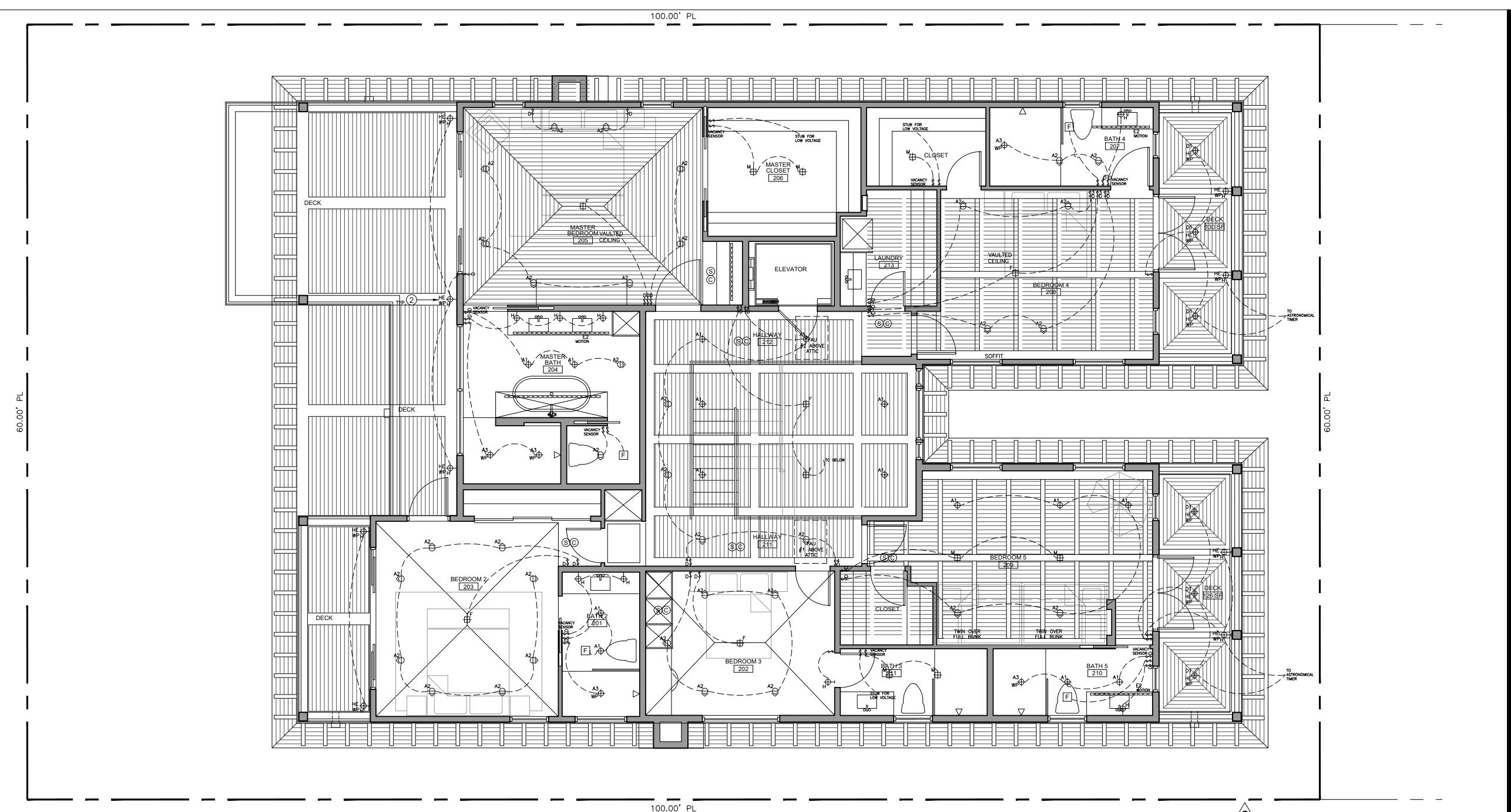
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GRAY
RESIDENCE
New SFR
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Newport Beach, CA 92660

Project Name :
 Project Address :
 Revisions :
 No. Date Description
 03.24.25 New Bldg Submittal

Sheet Title :
 RCP &
 LIGHTING PLAN
 A.P.N.: 117-711-13
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GRAY RESIDENCE

New SFR

415 North State Lane
Newport Beach, CA 92660

Project Name :

Project Address :

Sheet Title :
RCP &
LIGHTING PLAN

SEE SHEET A2.3 FOR
LEGEND & SYMBOLS

CAPPED ABANDON WATER & ELECTRICAL LINES

NOTES:

150.0(K)1A.

2. OUTDOOR LIGHTING ATTACHED TO THE BUILDING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND BY A MOTION SENSOR WITH INTEGRAL PHOTO CONTROL. Per Section 150.0(K)3.
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ue Date: 03.24.2025
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GRAY
RESIDENCE
New SFR
415 North Star Lane
Newport Beach, CA 92660

Project Name :
Project Address :
Revisions :
No. Date Description

03.24.25 New Bldg Submittal

1 FIRST FLOOR POWER & SIGNAL PLAN
1/4"=1'-0"

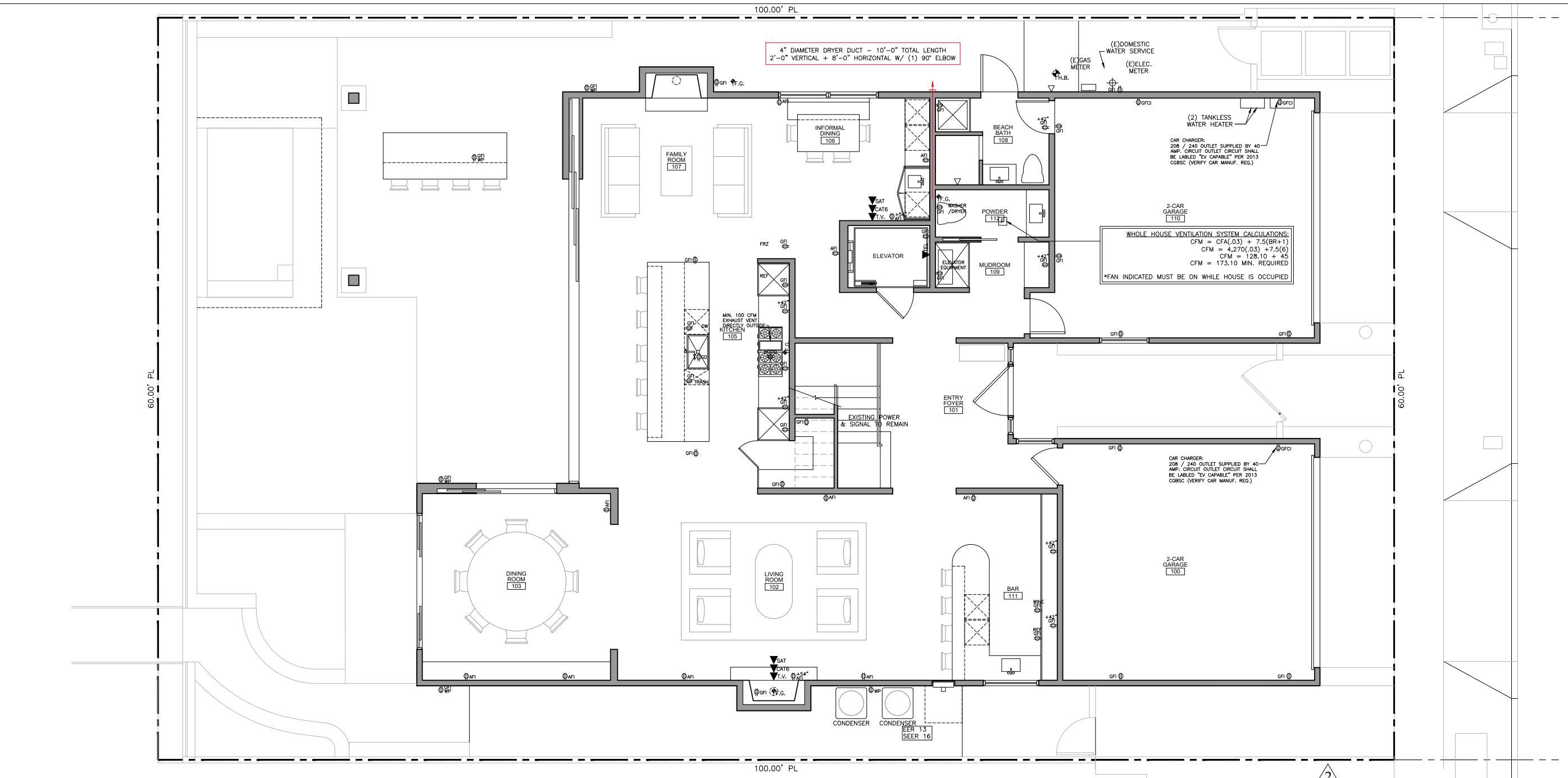
NOTE:
CAPPED ABANDON WATER
& ELECTRICAL LINES

LEGEND
DENOTES POTENTIAL SOFFIT
AREAS. MECHANICAL
SUB-CONTRACTORS TO CONFIRM
SIZE & LOCATION OF DUCTING
PRIOR TO FRAMING.
RA RETURN AIR
SA SUPPLY AIR
WALL REGISTER
ALL MECHANICAL SHAFT TO BE
1-HOUR FIRE RESISTANCE
ASSEMBLIES

Sheet Title :
POWER, SIGNAL
& MECHANICAL
PLAN

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

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LIGHTING & POWER SYMBOLS LEGEND:		
E EXISTING	RECESSED WALL MOUNTED FIXTURE	SEC SECURITY SYSTEM 42" A.F.F.
EL EXISTING LOCATION, NEW FIXTURE	CEILING MOUNTED FIXTURE	LUTRON LV WALL SWITCH 42" A.F.F.
FL FLUORESCENT	PENDANT FIXTURE	WALL SWITCH W/ DIMMER CONTROL 42" A.F.F.
WP WATERPROOF	STRIP LIGHTING	3 WAY WALL SWITCH 42" A.F.F.
ADJ ADJUSTABLE	FLUORESCENT SURFACE FIXTURE	4 WAY WALL SWITCH 42" A.F.F.
HE HIGH EFFICIENCY	UPPER CABINET, UNDER CABINET & COVER LIGHT	DUPLEX OUTLET 12" A.F.F.
GFI GROUND FAULT INTERRUPTER	UNDER CABINET LIGHT	QUAD OUTLET 12" A.F.F.
AFI ARC FAULT INTERRUPTER	TRACK LIGHTING	FLOOR OUTLET (FLUSH MOUNT)
EXHAUST FAN-ENERGY STAR COMPLIANT, 110CFM, 1.0 SONE MAX. SOUND, HUMIDISTAT CONTROLLED, DUCTED TO EXTERIOR (ALL FLOORS)		
RECESSED DOWNLIGHT	EXTERIOR LANDSCAPE LIGHTING	GAS LINE 12" A.F.F.
RECESSED UPLIGHT	CABLE TV 12" A.F.F.	HOSE BIB 12" A.F.F.
EMERGENCY LIGHT WITH BACK-UP BATTERY	TELEPHONE 12" A.F.F.	120-VOLT HARD WIRED & INTERCONNECTED SMOKE DETECTOR (WITH 9-VOLT BATTERY BACK-UP)
DIRECTIONAL RECESSED DOWNLIGHT	DATA CABLE (INTERNET) 12" A.F.F.	INTERCONNECTED HEAT DETECTOR RATED 190 F OR ABOVE
WALL SCONCE	SATELLITE 12" A.F.F.	HARD WIRED & INTERCONNECTED CARBON MONOXIDE ALARM (WITH 9-VOLT BATTERY BACK-UP)
	COM (CAT6) (NETWORK) 12" A.F.F.	

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Revisions :

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△	03.24.25	New Bldg Submittal

Sheet Title :
**POWER, SIGNAL
& MECHANICAL
PLAN**

A.P.N.: 117-711-13

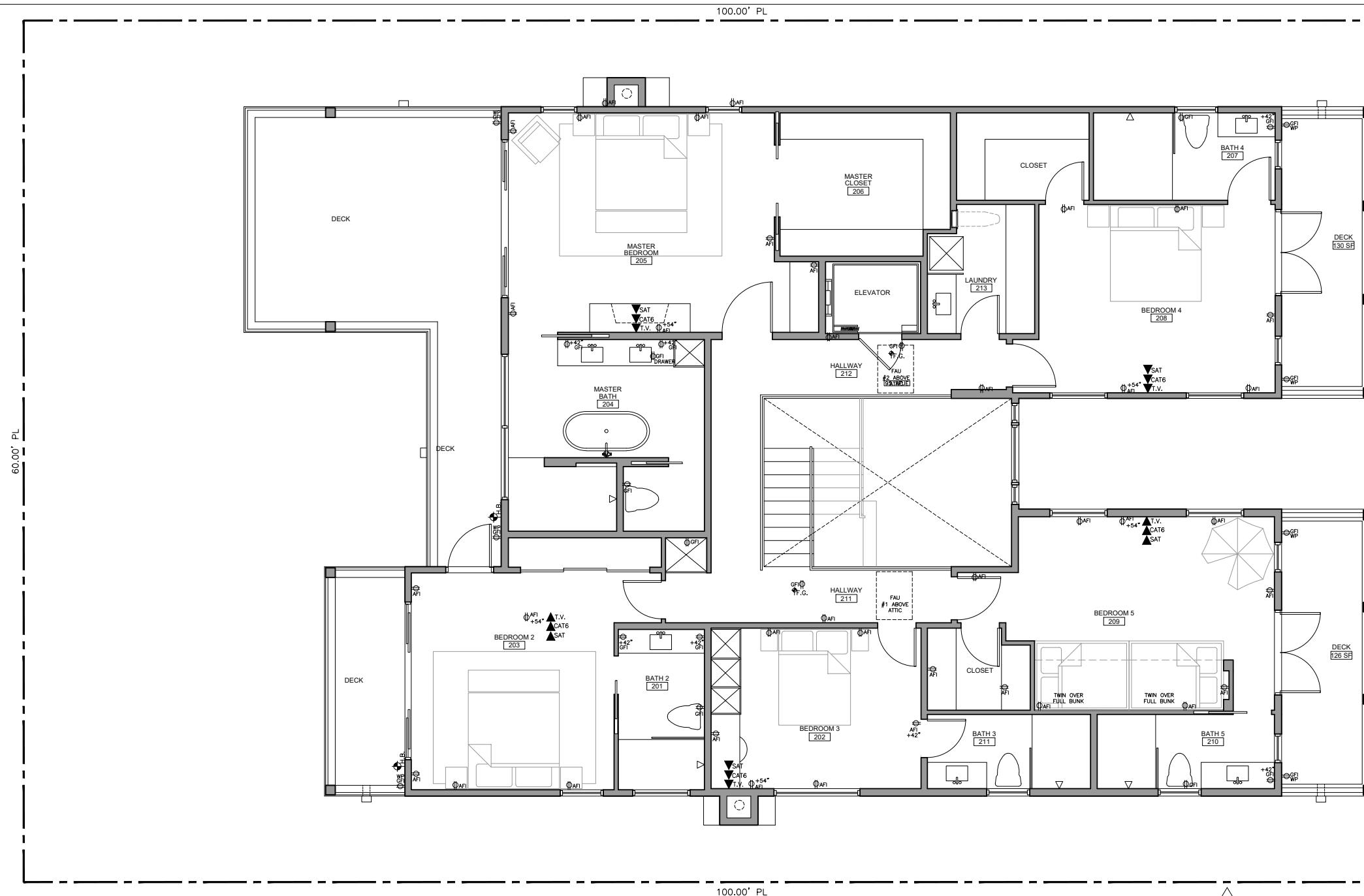
Scale: 1/4" = 1'-0"

Issue Date: 03.24.2025

Drawn: JPT Checked:

Sheet Number :

**SEE SHEET A2.5 FOR
LEGEND & SYMBOLS**



1 SECOND FLOOR POWER & SIGNAL PLAN
1/4"=1'-0"

NOTE:
CAPPED ABANDON WATER
& ELECTRICAL LINES

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Project Address :
Revisions :
No. Date Description

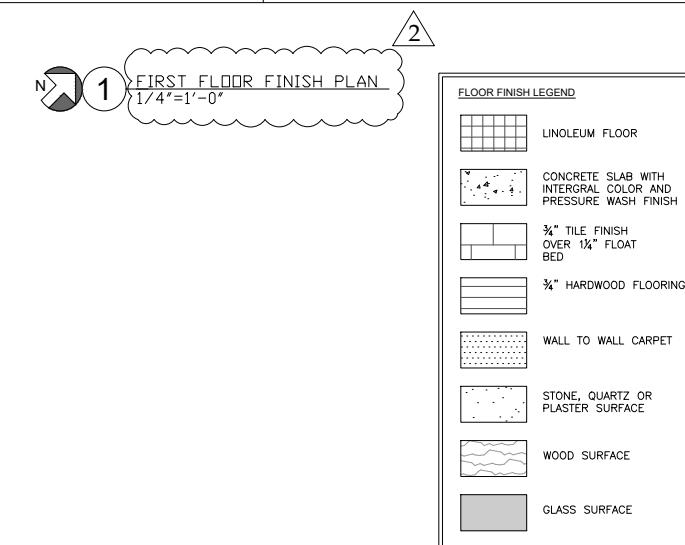
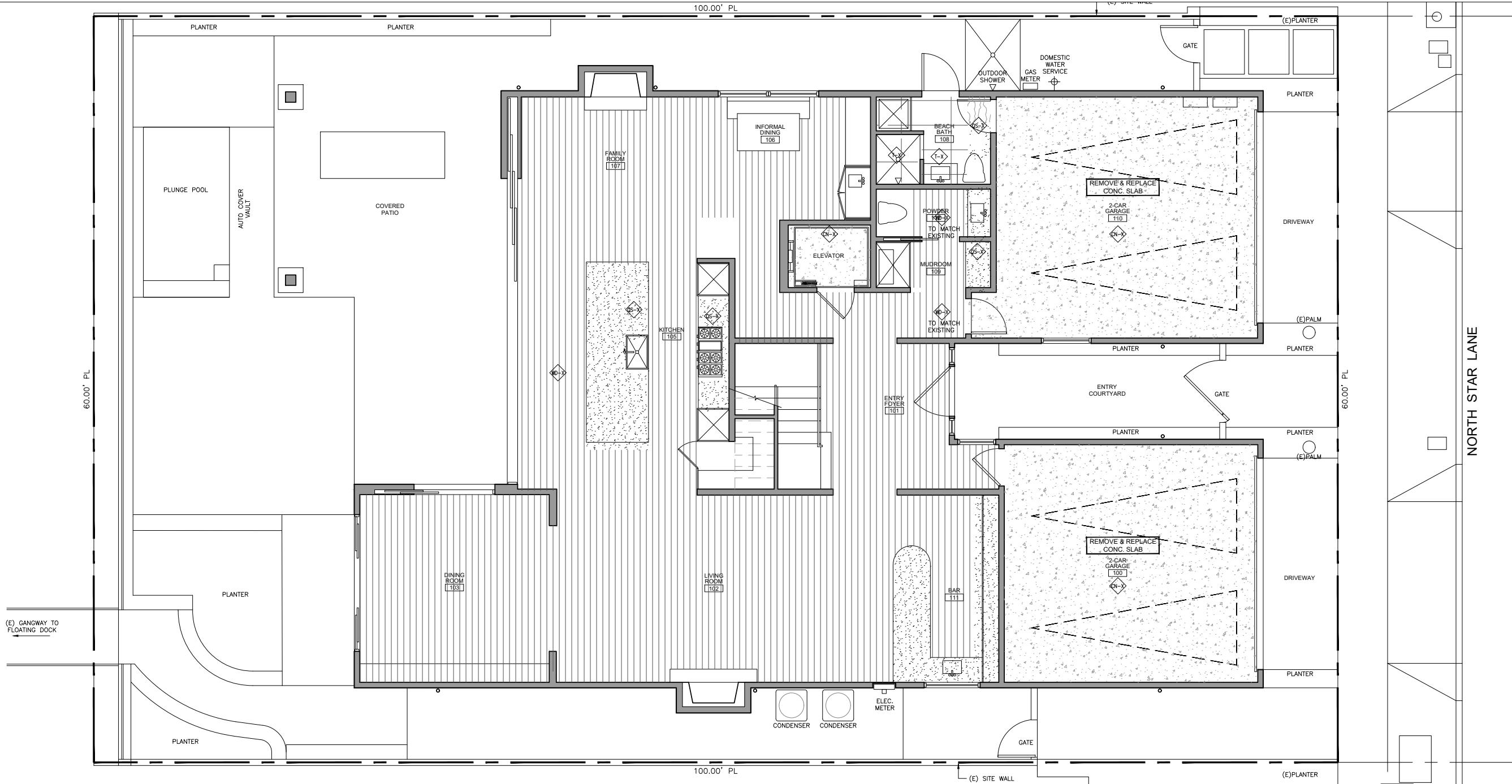
03.24.25 New Bldg Submittal

Sheet Title :
FINISH PLAN

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

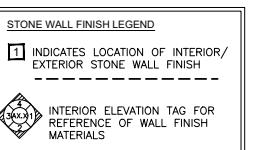
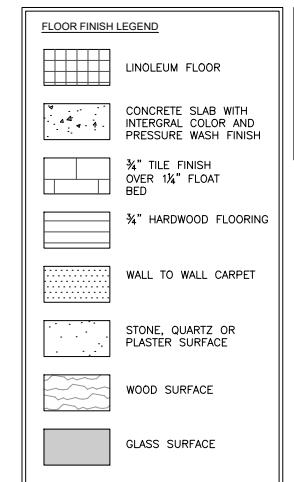
Sheet Number :

A-2.7





1 2
N 1 SECOND FLOOR FINISH PLAN
1/4" = 1'-0"



Sheet Title :
FINISH PLAN

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

Sheet Number :

A-2.8

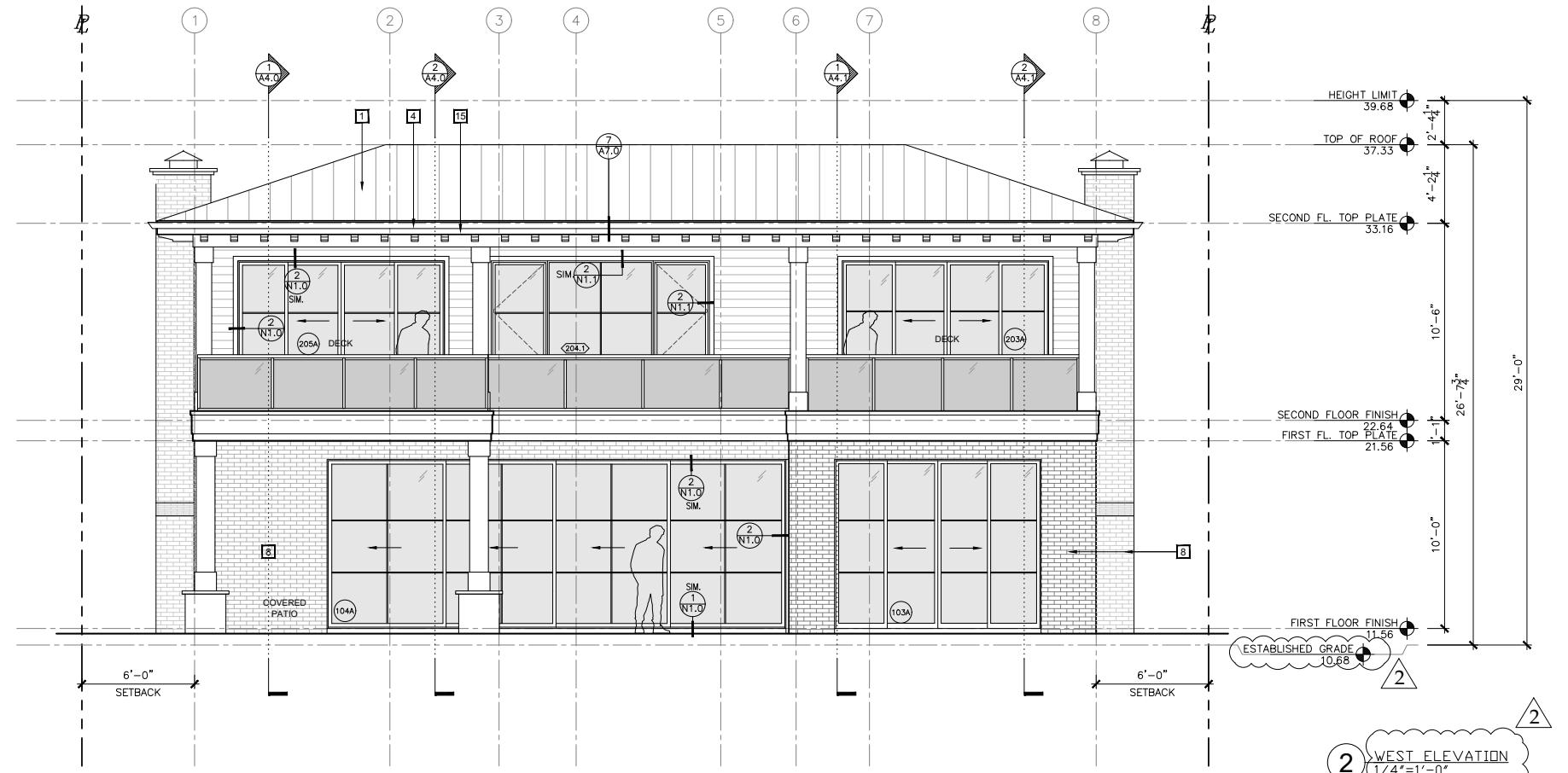
josh tully
architecture
703 pier ave, suite B #182
hermosa beach, ca 90254
t: 310.480.2429
e: josh@joshutullyarchitecture.com

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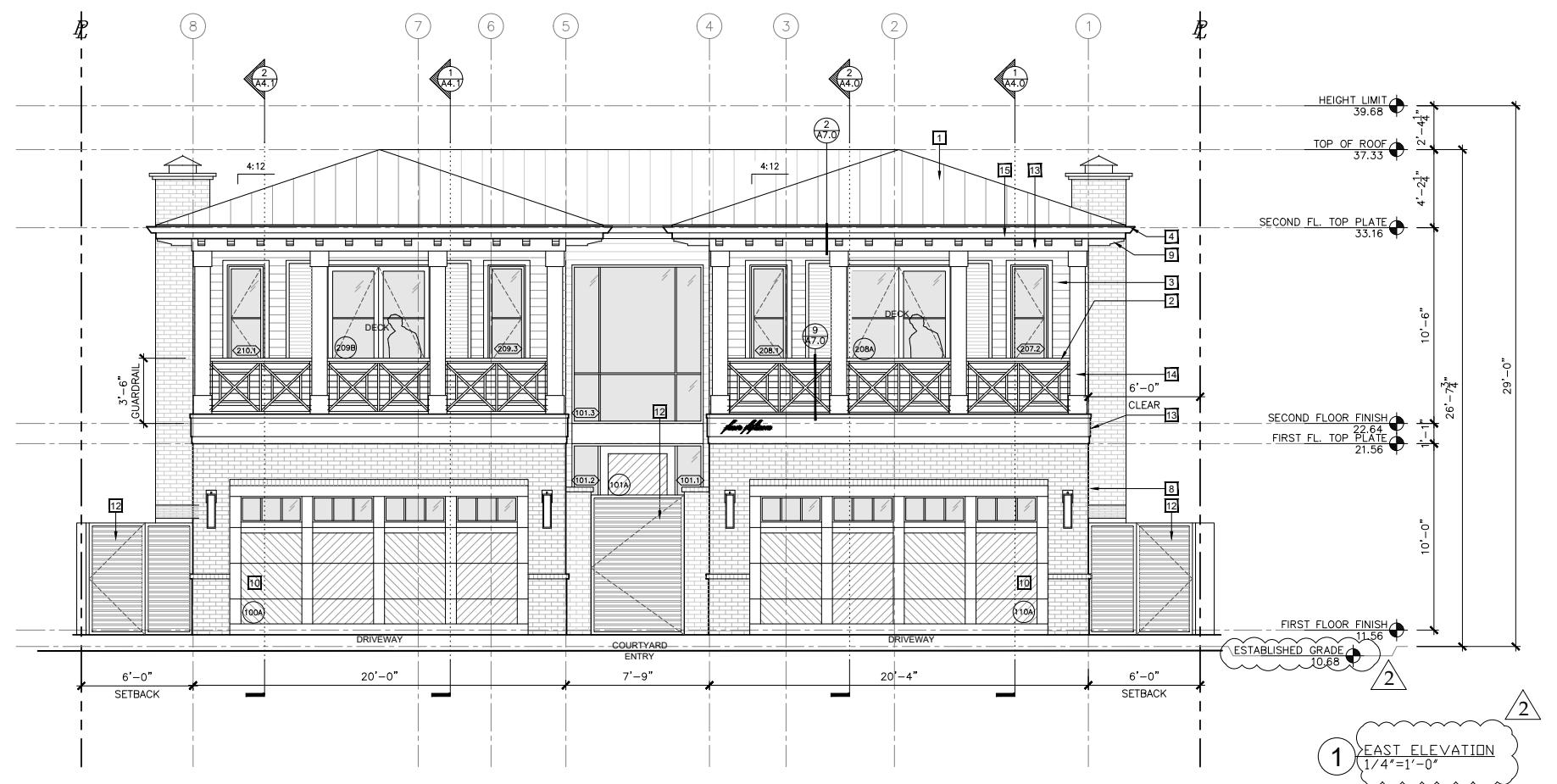


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GRAY RESIDENCE
New SFR
Project Address :
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Newport Beach, CA 92660

Revisions :
No. Date Description
03.24.25 New Bldg Submittal



GRAY
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New SFR
415 North Star Lane
Newport Beach, CA 92660



Project Name :
Project Address :
Revisions :
No. Date Description

03.24.25 New Bldg Submittal

Sheet Title :
EXTERIOR
ELEVATIONS

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

Sheet Number :

A-3.0

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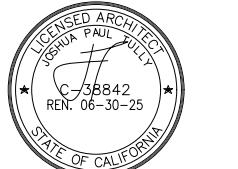
Project Name :
Project Address :
Revisions :
No. Date Description
03.24.25 New Bldg Submittal

Sheet Title :
EXTERIOR ELEVATIONS

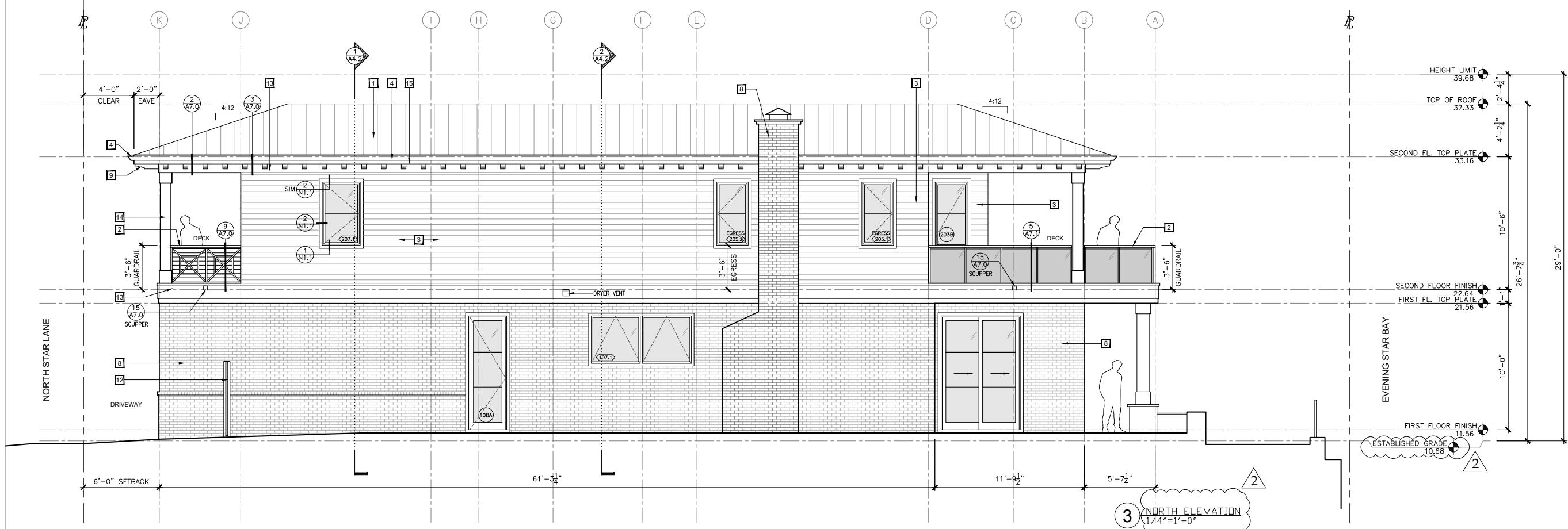
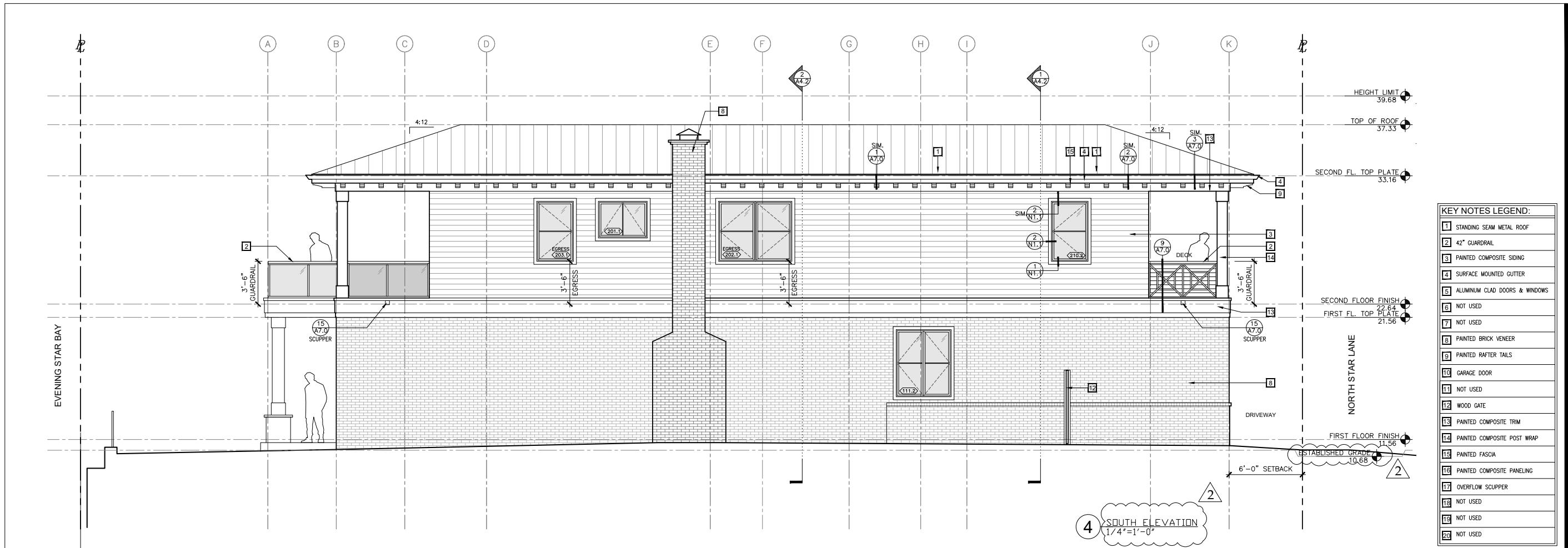
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Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:
Sheet Number :

A-3.1

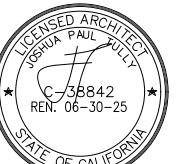
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KEY NOTES LEGEND:	
[1]	STANDING SEAM METAL ROOF
[2]	42" GUARDRAIL
[3]	PAINTED COMPOSITE SIDING
[4]	SURFACE MOUNTED GUTTER
[5]	ALUMINUM CLAD DOORS & WINDOWS
[6]	NOT USED
[7]	NOT USED
[8]	PAINTED BRICK VENEER
[9]	PAINTED RAFTER TAILS
[10]	GARAGE DOOR
[11]	NOT USED
[12]	WOOD GATE
[13]	PAINTED COMPOSITE TRIM
[14]	PAINTED COMPOSITE POST WRAP
[15]	PAINTED FASCIA
[16]	PAINTED COMPOSITE PANELING
[17]	OVERFLOW SCUPPER
[18]	NOT USED
[19]	NOT USED
[20]	NOT USED



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No.	Date	Description
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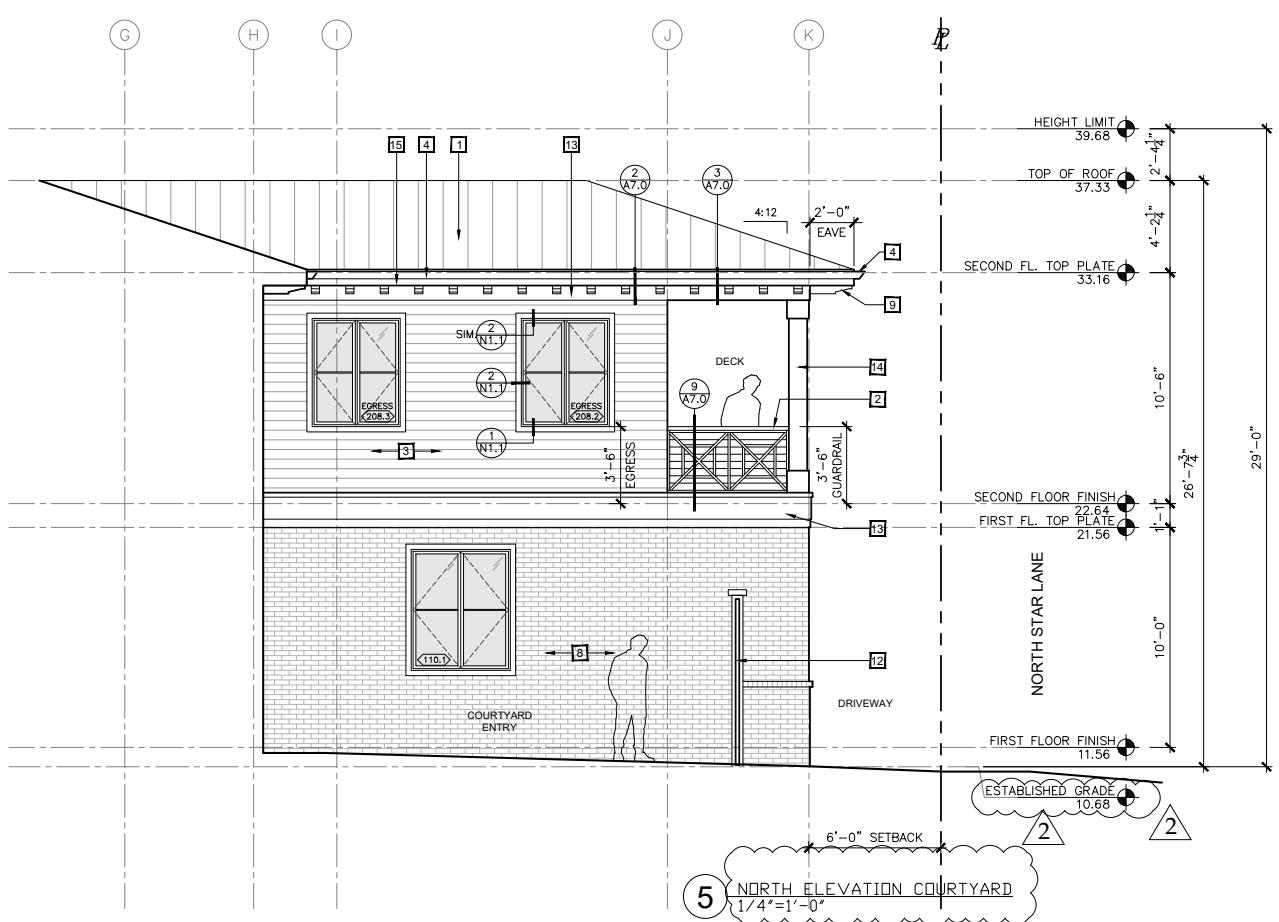
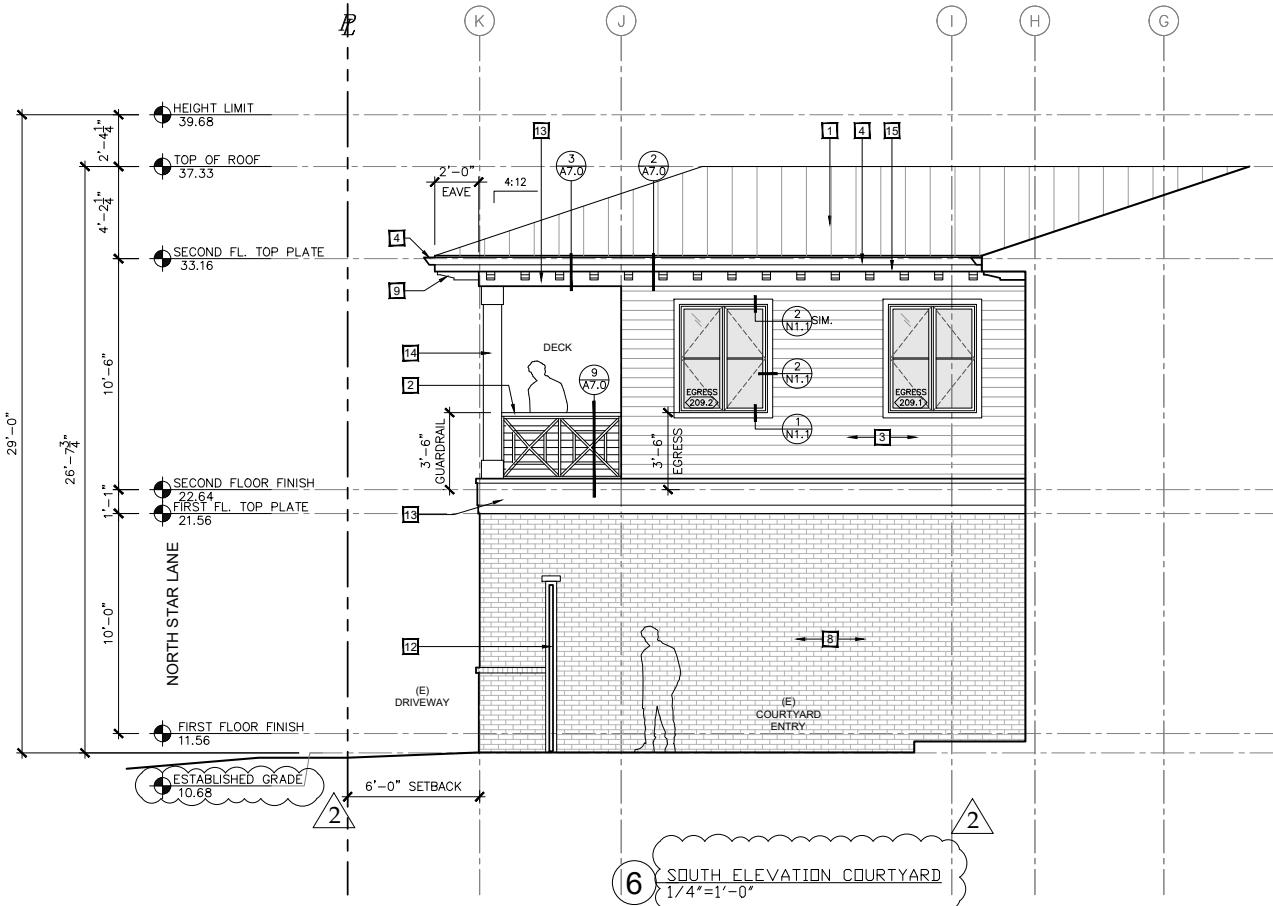
**EXTERIOR
ELEVATIONS**

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

Sheet Number :

A-3.2

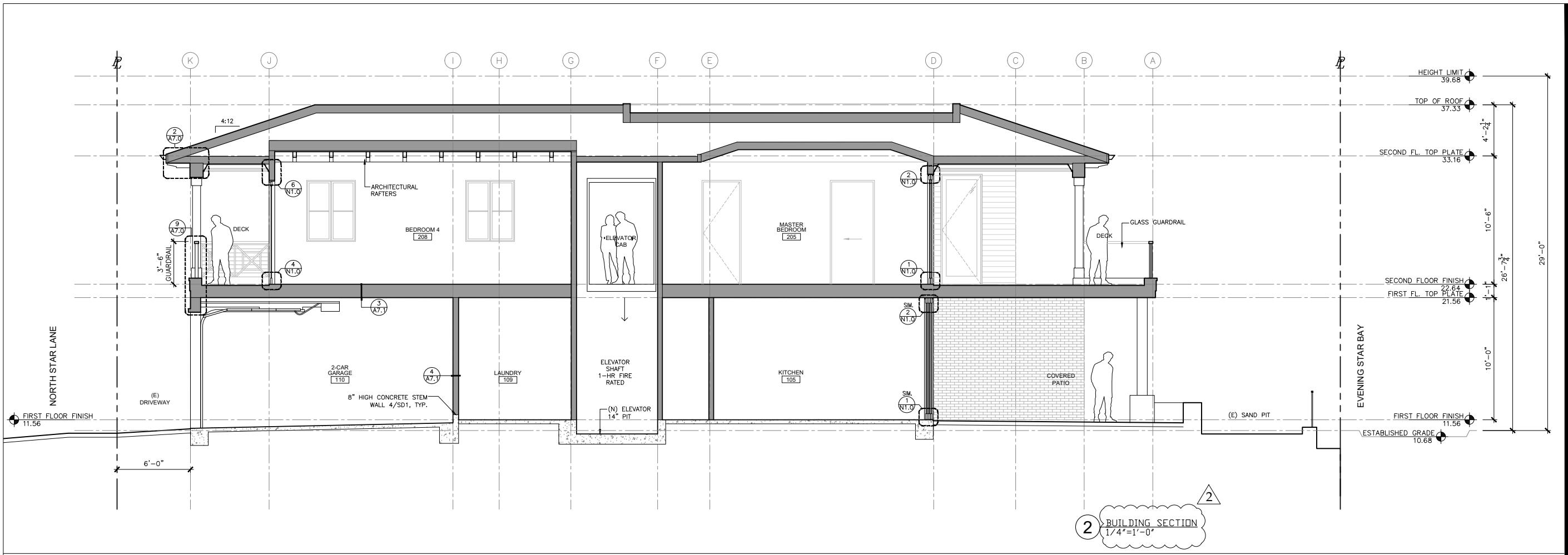
KEY NOTES LEGEND:	
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[2]	42" GUARDRAIL
[3]	PAINTED COMPOSITE SIDING
[4]	SURFACE MOUNTED GUTTER
[5]	ALUMINUM CLAD DOORS & WINDOWS
[6]	NOT USED
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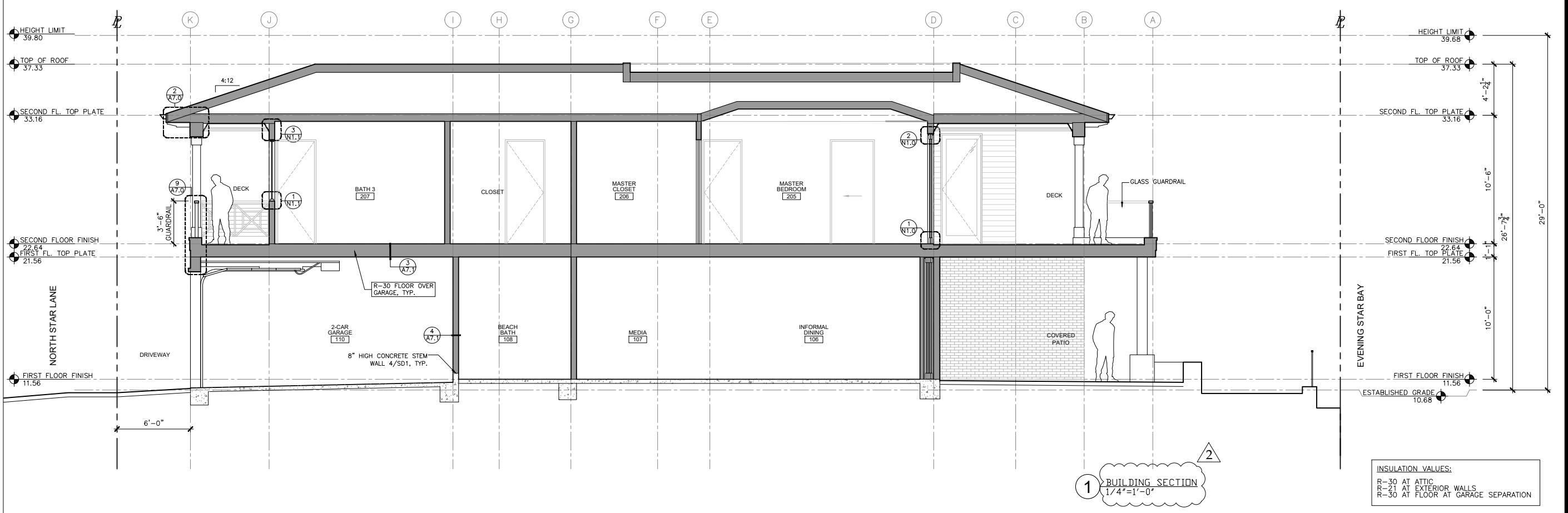
Project Name :
Project Address :
Revisions :
No. Date Description
03.24.25 New Bldg Submittal

**Sheet Title :
BUILDING
SECTIONS**

A.P.N.: 117-711-13
Scale: 1/4" = 1'-0"
Issue Date: 03.24.2025
Drawn: JPT Checked:

Sheet Number :

A-4.0



INSULATION VALUES:
R-30 AT ATTIC
R-21 AT EXTERIOR WALLS
R-30 AT FLOOR AT GARAGE SEPARATION

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New SFR
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Newport Beach, CA 92660

Project Name :
Project Address :
Revisions :
No. Date Description

03.24.25 New Bldg Submittal

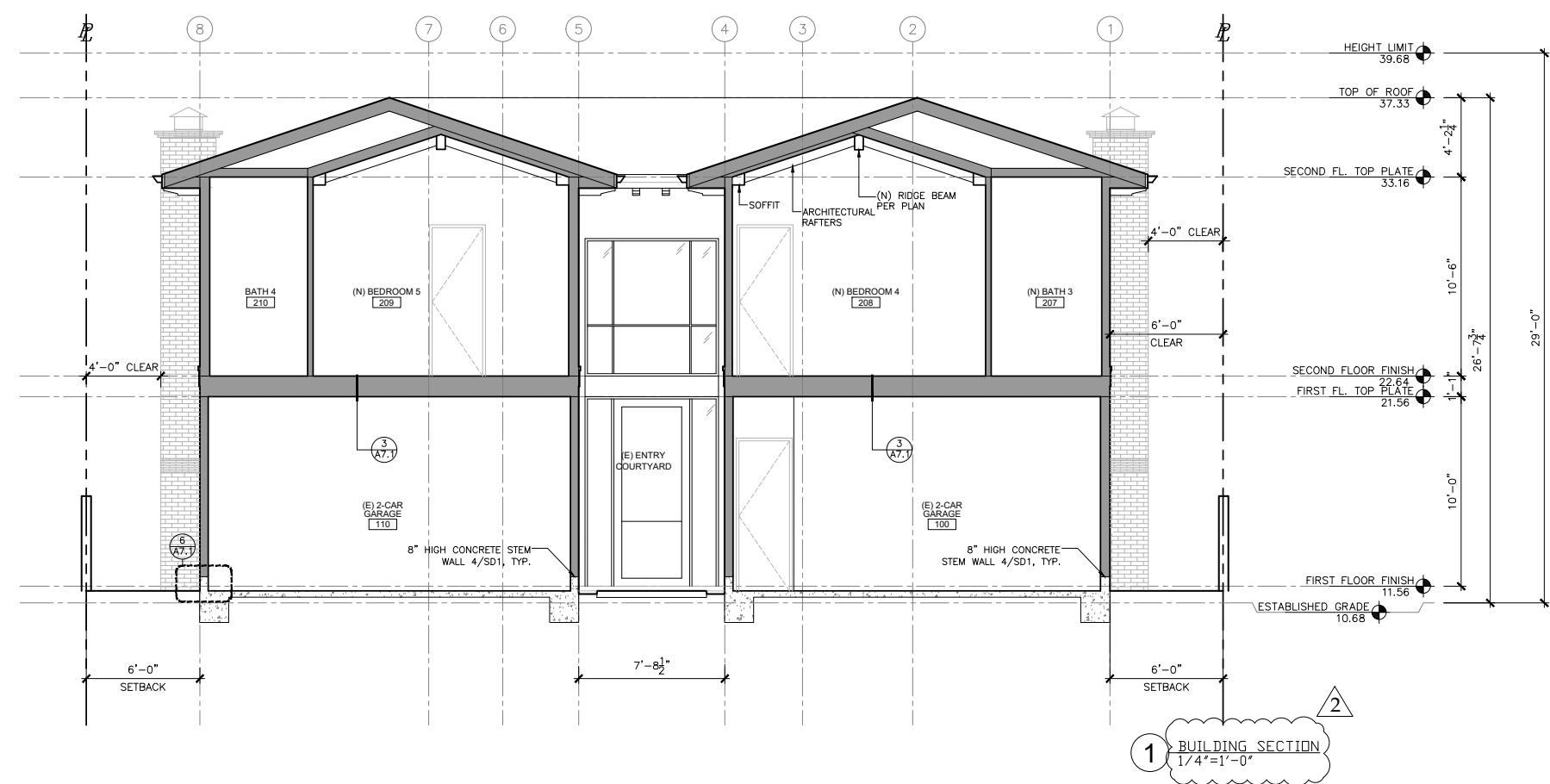
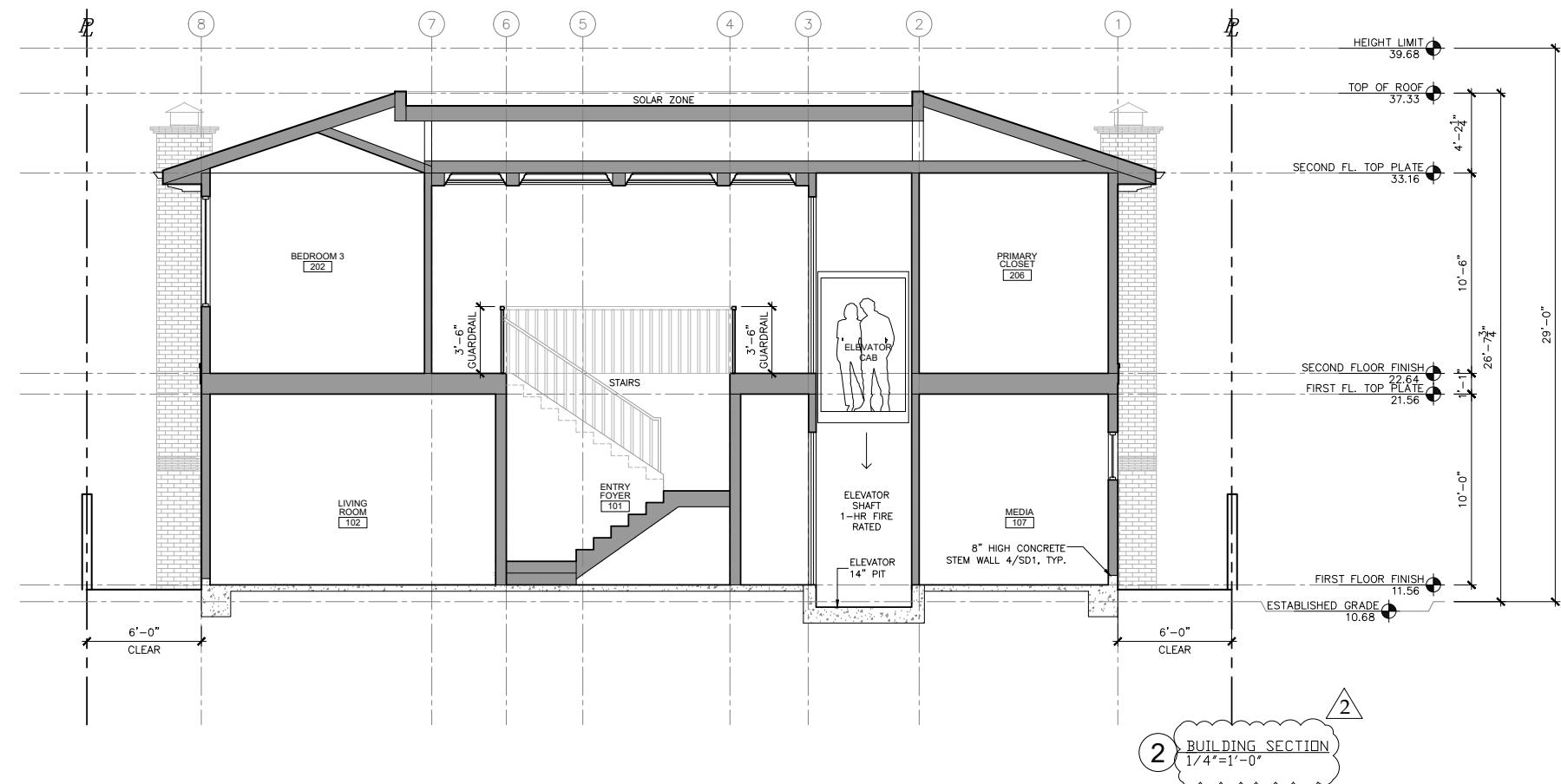
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BUILDING
SECTIONS

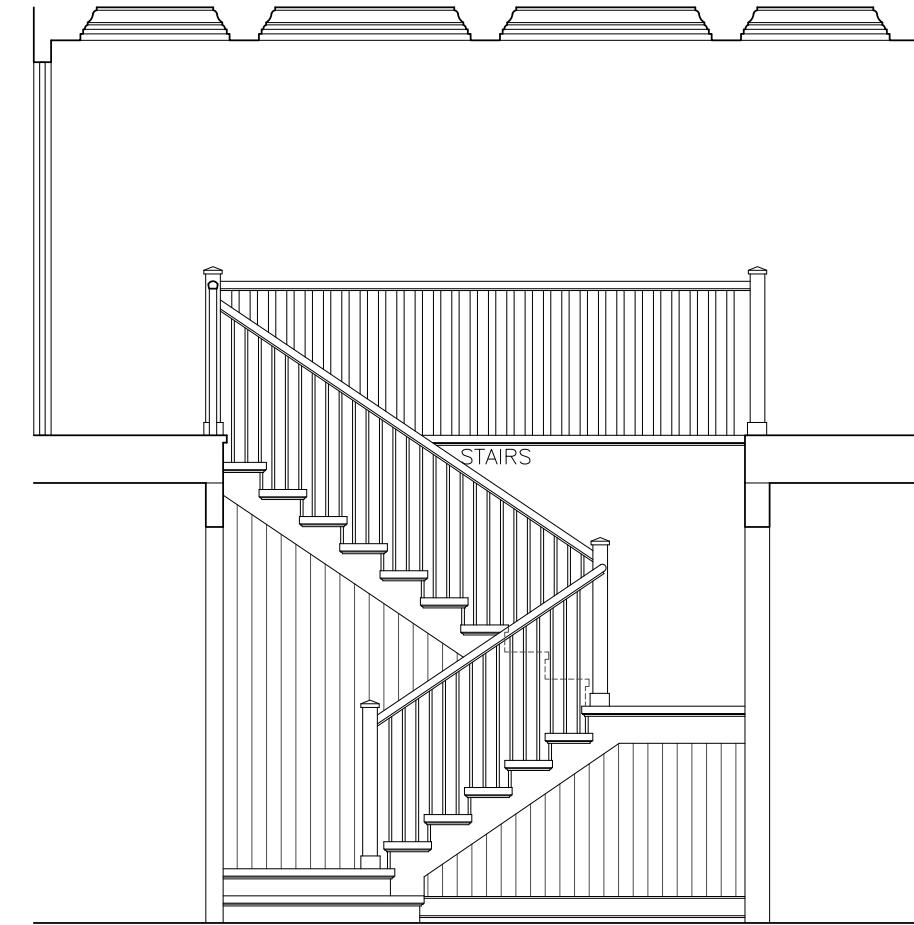
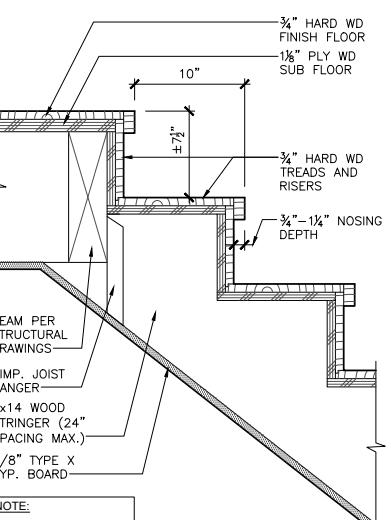
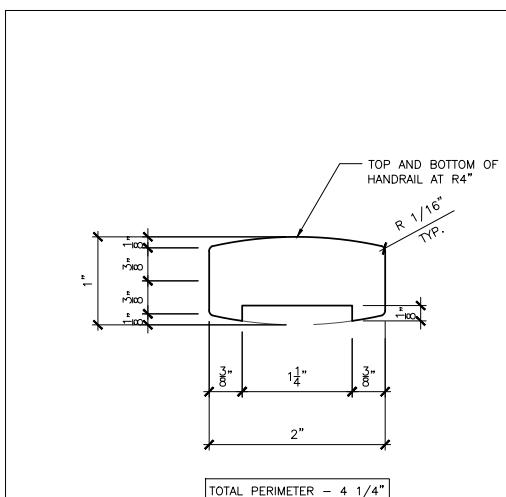
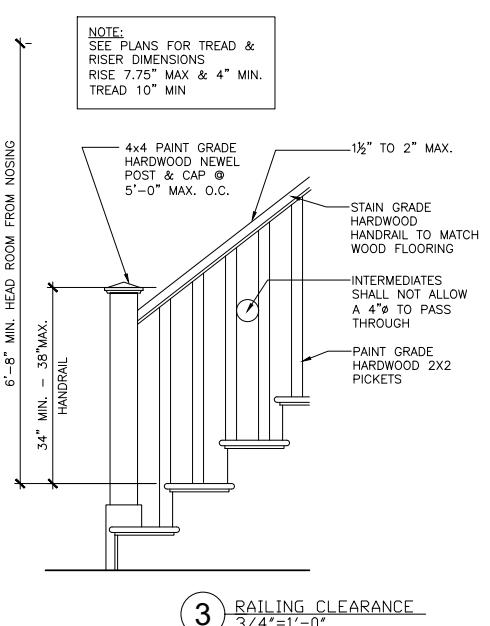
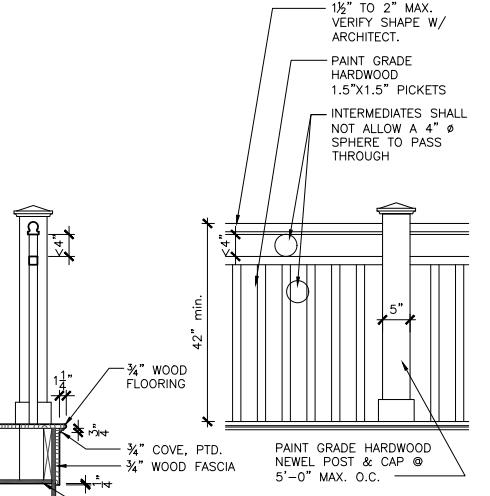
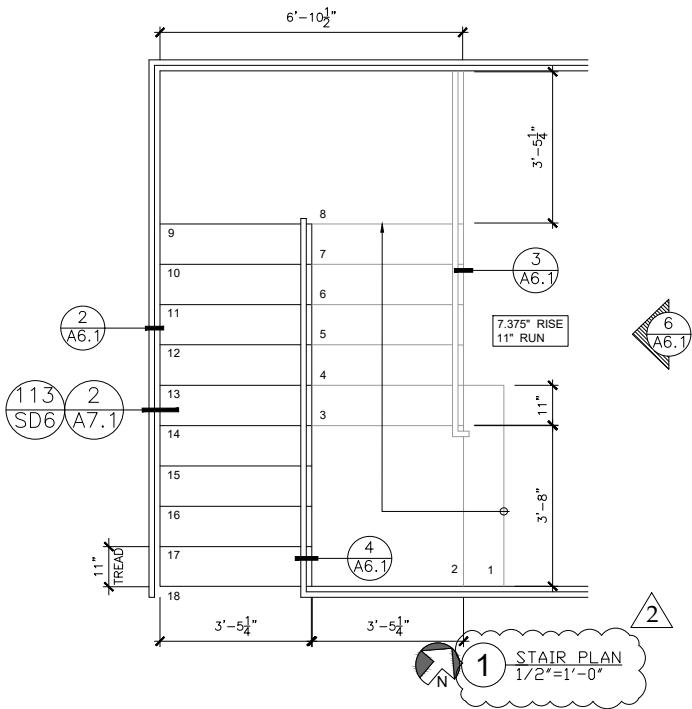
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6 STAIR ELEVATION
1/2" = 1'-0"

Revisions :		
No.	Date	Description
	03.24.25	New Bldg Submittal
<hr/>		
Sheet Title :		
ARCHITECTURAL		
DETAILS -		
STAIR		
<hr/>		
A.P.N.: 117-711-13		
Scale: 1/4" = 1'-0"		
Issue Date: 03.24.2025		
Drawn: JPT Checked:		

Sheet Title :
**ARCHITECTURAL
DETAILS -
STAIR**

A.P.N.: 117-711-13
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Issue Date: 03.24.2025
Drawn: JBT Checked:

Sheet Number :

A-6.1

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RESIDENCE**
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Newport Beach, CA 92660

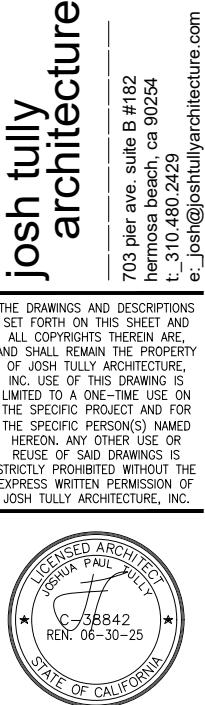
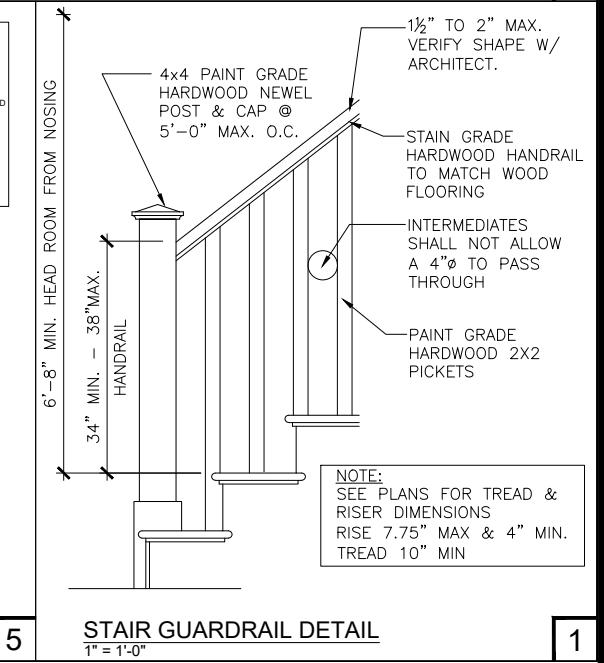
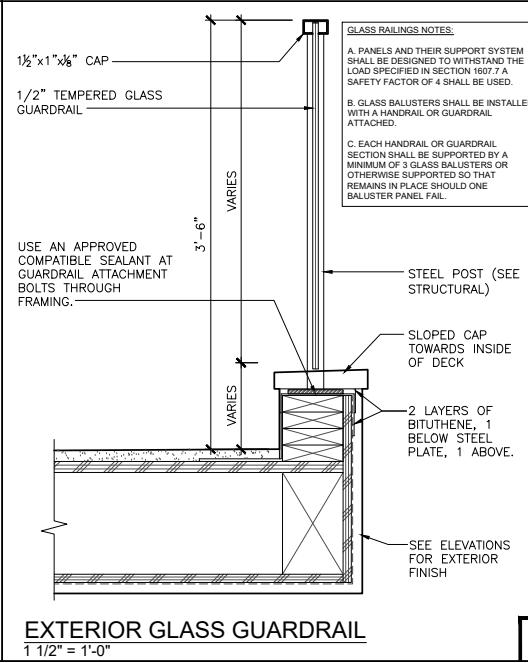
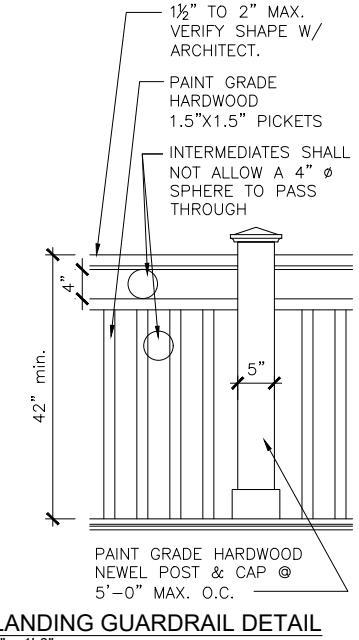
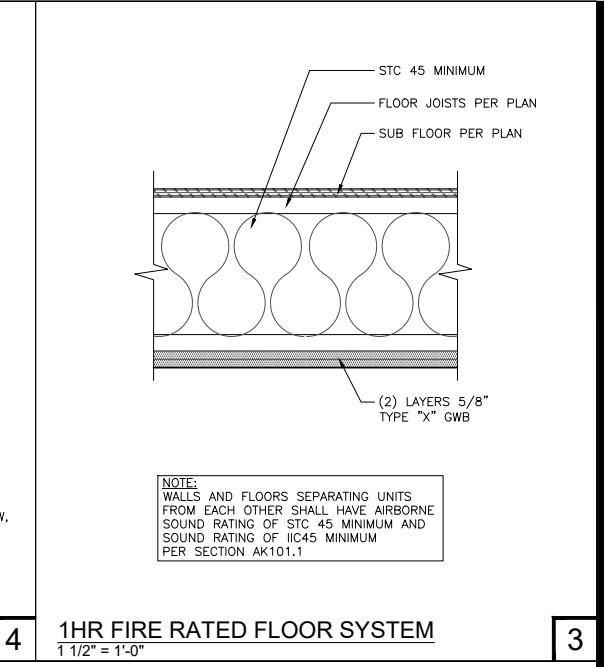
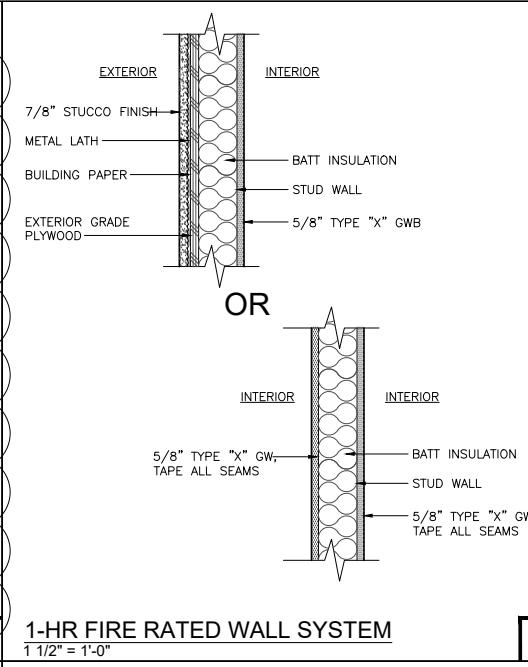
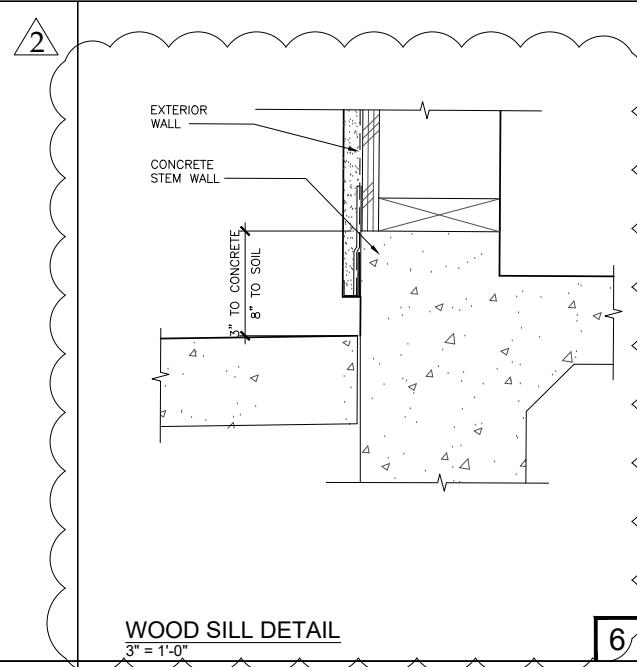
Project Name :	Project Address :

Revisions :	No. Date	Description
	03.24.25	New Bldg Submittal

**Sheet Title :
ARCHITECTURAL
DETAILS**

A.P.N.: 117-711-13
Scale: SEE DWGS
Issue Date: 03.24.2025
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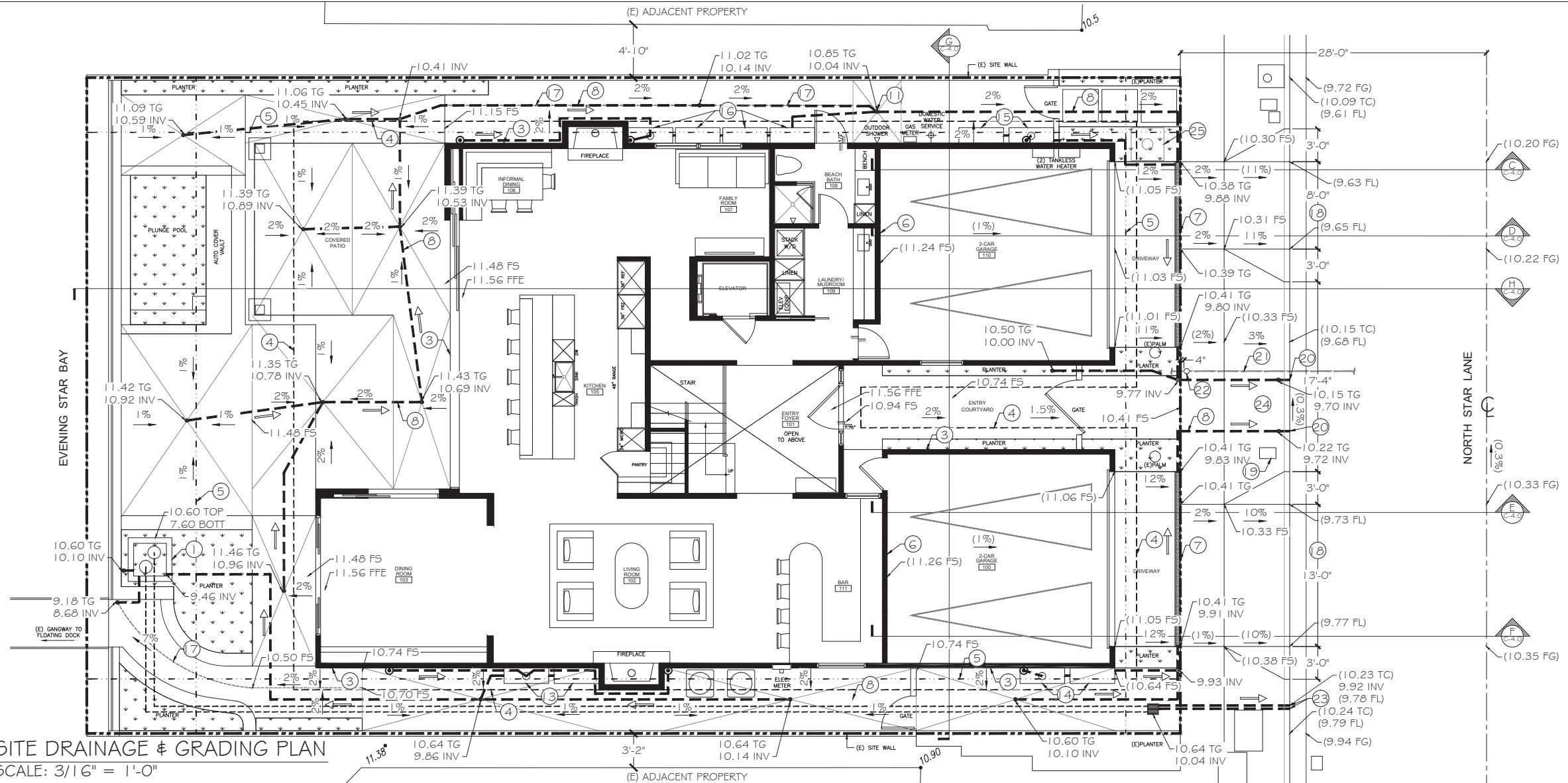


Project Name :
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No. Date **Description**
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ARCHITECTURAL
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A.P.N.: 117-711-13
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SITE DRAINAGE & GRADING PLAN

SCALE: 3/16" = 1'-0"

CONSTRUCTION NOTES

- (2) ZOELLER SUMP PUMPS, MODEL 264, WITH CHECK & GATE VALES IN 36" SQUARE X 48" DEPTH PRECAST BASIN (OLDCASTLE OR SIMILAR), DRILL 1" HOLES IN BOTTOM OF BASIN (AT 8" ON CENTER IN EACH DIRECTION) AND PLACE 1" OF 3/4" GRAVEL (WRAPPED IN MIRAFI GEOTEXTILE MATERIAL) BELOW TANK FOR INFILTRATION OF NUISANCE WATER. DESIGN OF THE SUMP POWER, SUPPLY, ALARMS, CONTROL PANEL, ETC. BY OTHERS. CONTRACTOR TO COORDINATE WITH MFG ENGINEER, ARCHITECT, AND MANUFACTURER. SEE DETAIL 'B' ON SHEET C-4.0 FOR MORE INFORMATION.
- PROPOSED BUILDING OUTLINE.
- PROPOSED ROOF OUTLINE.
- SETBACK LINE.
- BACK OF GARAGE.
- PROPOSED 6" TRENCH DRAIN, INVERT ELEVATION PER PLANS. SEE DETAILS '4 & 5' ON SHEET C-5.0.
- PROPOSED 4" SCH. 40 (OR SDR 35) PVC SITE DRAINAGE LINE.
- PROPOSED CURB DRAIN, PER CITY OF NEWPORT BEACH STANDARDS.
- EXISTING AREA DRAIN TO BE RELOCATED FOR OUTDOOR SHOWER PER ARCHITECTURAL PLANS.
- OUTDOOR SHOWER PER ARCHITECTURAL PLANS.
- PROVIDE (2) 130-GALLON BUSHMAN SLIMLINE TANKS FOR ROOF AREA 'D' (OR SIMILAR RAIN BARRELS WITH A MINIMUM OF 260-GALLON CAPACITY). SEE DETAIL 'A' ON SHEET C-4.0.
- PROVIDE (2) 130-GALLON BUSHMAN SLIMLINE TANKS FOR ROOF AREA 'C' (OR SIMILAR RAIN BARRELS WITH A MINIMUM OF 251-GALLON CAPACITY). SEE DETAIL 'A' ON SHEET C-4.0.
- PROVIDE (2) 130-GALLON BUSHMAN SLIMLINE TANKS FOR ROOF AREA 'B' (OR SIMILAR RAIN BARRELS WITH A MINIMUM OF 255-GALLON CAPACITY). SEE DETAIL 'A' ON SHEET C-4.0.

ROUGH GRADING CALCULATIONS

EARTHWORK QUANTITIES	CUT (CY)	FILL (CY)
ROUGH GRADING	-3	+5
OVER-EXCAVATION WORK (ASSUMING 3' OVER-EX)	-328	+328
TOTAL EARTHWORK	-331	+333
NET	0	+2

BENCH MARK:

ASSUMED BENCHMARK USED:
OCSCBM NBB-14-70
ELEV = 70.275
NAVD88 DATUM, 1992 ADJ.



REVISIONS			
No.	DESCRIPTION	APP	DATE
1	1ST PLAN CHECK		2/16/23
2	2ND PLAN CHECK		7/19/23
3	3RD PLAN CHECK		12/24/24
4	4TH PLAN CHECK		6/3/25
5	5TH PLAN CHECK		6/11/25
6	6TH PLAN CHECK		6/20/25

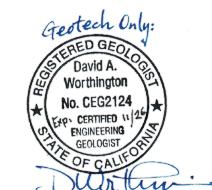
PLANS PREPARED BY:



EXP. 6/30/26

6/20/2025

DATE



DATE

DRAINAGE & GRADING PLAN
PROPOSED RESIDENCE
415 NORTH STAR LANE
NEWPORT BEACH, CA 92660

B.A. SIMS JOB # 21302 RG
DATE 6/20/2025
BUILDING PERMIT # XR2025-1095
C-1.0
SHT 1 OF 5

SHEET INDEX

C-1.0	DRAINAGE & GRADING PLAN
C-2.0	ROOF & DECK DRAINAGE PLAN
C-3.0	EROSION CONTROL PLAN
C-4.0	SECTIONS
C-5.0	DETAILS

PROPERTY INFORMATION

APN: 117-711-13
LOT 6, BLOCK B
TRACT NO. 3451
M.B. 37-70
LATITUDE & LONGITUDE: 33.62449, -117.89523
PROPERTY TYPE: RESIDENTIAL
LOT SIZE: 6,000 SQ. FT OR 0.138 ACRES
SITE ADDRESS: 415 N STAR LANE, NEWPORT BEACH, CA 92660

PROPERTY OWNER INFORMATION:
GORDON & KRISTEN GRAY
1324 BIENVENEDA AVE
PACIFIC PALISADES, CA 90272



VICINITY MAP
SCALE: NONE

SOILS ENGINEER CERTIFICATION

SOILS ENGINEER
EGA CONSULTANTS, INC.
375-C MONTE VISTA AVE
COSTA MESA, CA 92627
P: (949) 642 - 9309
(PLACE SEAL & WET SIGNATURE HERE)

THIS DRAGING PLAN HAS BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AS OUTLINED IN THE FOLLOWING SOILS AND GEOLOGICAL REPORT FOR THIS PROJECT.

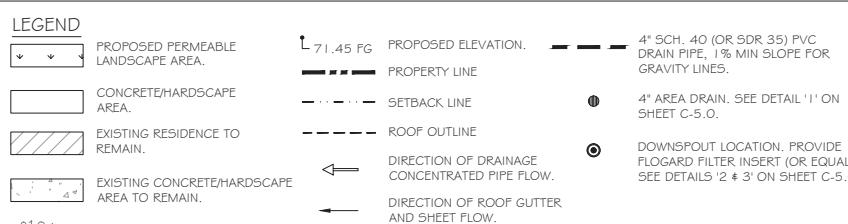
REPORT NO.: ML431.1
REPORT DATE(S): 5/1/2023 & 6/1/2025
BY: (PRINT NAME)
FIRM NAME: (SEE ABOVE)
DATE: _____

SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR. CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE PUBLIC RIGHT OF WAY AT ALL TIMES DURING THE CONSTRUCTION PROJECT. A STOP WORK NOTICE MAY BE ISSUED FOR ANY DAMAGE OR UN-MAINTAINED PORTION OF THE PUBLIC RIGHT OF WAY.

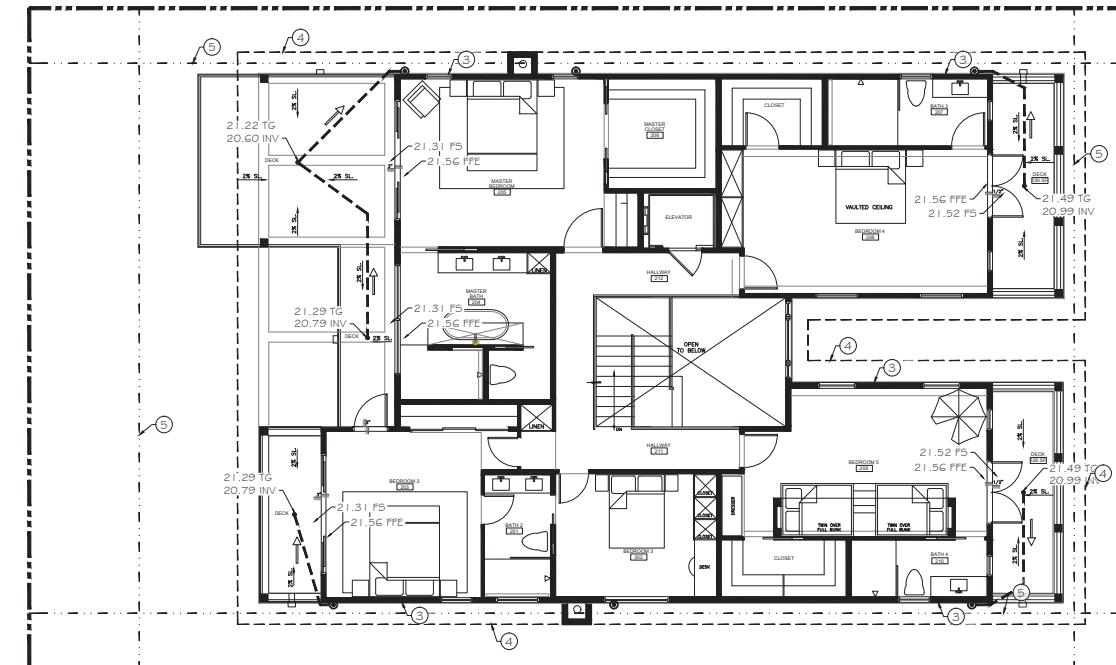
1. ALL WORK SHALL CONFORM TO CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (NBMC).
2. WORK HOURS ARE LIMITED FROM 7:00 AM TO 6:30 PM MONDAY THROUGH FRIDAY, 8:00 AM TO 6:00 PM SATURDAYS, AND NO WORK ON SUNDAYS AND HOLIDAYS PER SECTION 10-28-040 OF THE NBMC.
3. NOISE FROM EXCAVATION, DELIVERY, AND REMOVAL SHALL BE CONTROLLED PER SECTION 10-28-040 OF THE NBMC.
4. THE STAMPED SET OF APPROVED PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
5. DRAINAGE SYSTEM SHALL BE DESIGNED TO RETAIN CONCENTRATED AND SURFACE SHEET FLOW FROM DRY WEATHER AND RUNOFF AND MINOR RAIN EVENTS WITHIN THE SITE. NBMC 15.10.120.
6. FAILURE TO REQUEST INSPECTIONS AND / OR HAVE REMOVABLE EROSION DEVICES ON-SITE AT THE APPROPRIATE TIMES SHALL RESULT IN STOP WORK ORDER. NBMC 15.10.140.
7. NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER STREETS, GUTTERS, OR STORM DRAINS. ALL MATERIAL AND WASTE SHALL BE REMOVED FROM THE SITE. NBMC 15.10.020.
8. BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT. DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF EACH WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT. NBMC 15.10.040.
9. SEPARATE BUILDING PERMITS ARE REQUIRED FOR FREE STANDING STRUCTURES (FENCES, RETAINING WALLS, GAZEBO, PATIO COVER, ETC.)
10. AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.

11. A PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING DEPARTMENT PERMIT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEY/STREET PAVEMENT WILL BE REQUIRED. ADDITIONALLY, IF EXISTING UTILITIES INFRASTRUCTURE ARE DEEMED SUBSTANDARD, A NEW 1-INCH WATER SERVICE, WATER METER BOX, SEWER LATERAL, AND/OR CLEANOUT WITH BOX AND LID WILL BE REQUIRED. 100% OF THE COST SHALL BE BORNE BY THE PROPERTY OWNER (MUNICIPAL CODES 14.24.020 AND 14.08.030). SAID DETERMINATION AND THE EXTENT OF THE RECONSTRUCTION WORK

ALL SITE RUNOFF FROM NEW AND REPLACED IMPERVIOUS SURFACE MATERIALS MUST DRAIN TO THE STREET OR BE TREATED PRIOR TO DRAINING TO THE BAY.



101.77 (E) APPROXIMATE ELEVATION.



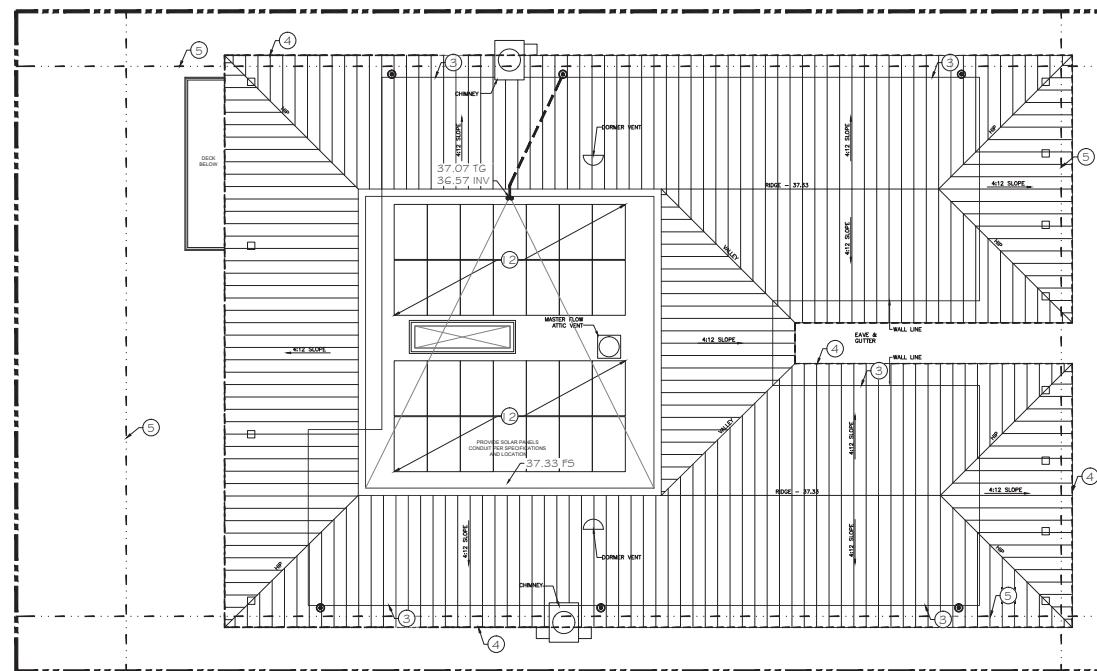
2ND FLOOR DRAINAGE PLAN

SCALE: 1 : 60 (OR 1" = 5'-0")

0 6' 12'

CONSTRUCTION NOTES

- ③ PROPOSED BUILDING OUTLINE.
- ④ PROPOSED ROOF OUTLINE.
- ⑤ SETBACK LINE.
- ⑫ PROPOSED SOLAR PANEL AREA, PER SEPARATE PERMIT. REFER TO ARCHITECTURAL PLANS FOR MORE INFO.



ROOF DRAINAGE PLAN

SCALE: 1 : 60 (OR 1" = 5'-0")

0 6' 12'

REFER TO SHEET C-1.O FOR IMPORTANT NOTES

LEGEND	DESCRIPTION
PROPOSED PERMEABLE LANDSCAPE AREA.	
CONCRETE/Hardscape Area.	
EXISTING RESIDENCE TO REMAIN.	
EXISTING CONCRETE/Hardscape Area to remain.	
0101.77 (E) APPROXIMATE ELEVATION.	
71.45 FG PROPOSED ELEVATION.	
PROPERTY LINE	
SETBACK LINE	
ROOF OUTLINE	
DIRECTION OF DRAINAGE CONCENTRATED PIPE FLOW.	
DIRECTION OF ROOF GUTTER AND SHEET FLOW.	
3" SCH. 40 (OR SDR 35) PVC DRAIN PIPE, 1% MIN SLOPE FOR GRAVITY LINES.	
DOWNSPOUT LOCATION. PROVIDE FLOGARD FILTER INSERT (OR EQUAL).	

BENCH MARK:

ASSUMED BENCHMARK USED:
OC5BM NB6-14-70

ELEV = 70.275

NAVD88 DATUM, 1992 ADJ.

LAT: 32.62449

LONG: -117.89523



Know what's below.
Call before you dig.

REVISIONS			
No.	DESCRIPTION	APP	DATE
1	1ST PLAN CHECK		2/6/23
2	2ND PLAN CHECK		7/19/23
3	3RD PLAN CHECK		12/24/24
4	4TH PLAN CHECK		6/3/25
5	5TH PLAN CHECK		6/11/25
6	6TH PLAN CHECK		6/20/25

PLANS PREPARED BY:

B.A. SIMS
ENGINEERING, INC
1341 ORIZABA AVENUE
LONG BEACH, CA 90804
(562) 735-4955
WWW.BASIMS.COM

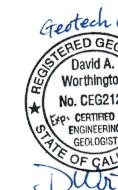


EXP. 6/30/26

ENGINEER NAME, RCE LICENSE NO.

6/20/2025

DATE



DATE

ROOF & DECK DRAINAGE PLAN
PROPOSED RESIDENCE
415 NORTH STAR LANE
NEWPORT BEACH, CA 92660

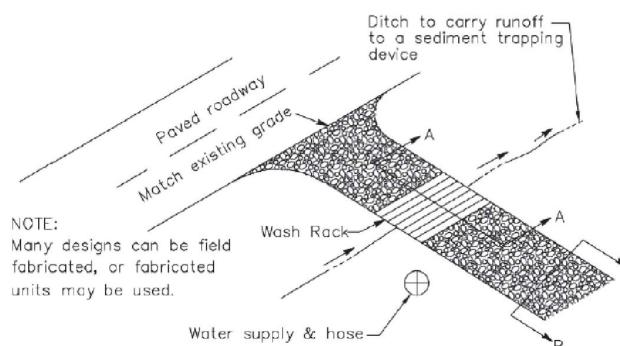
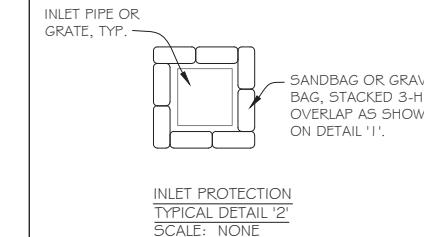
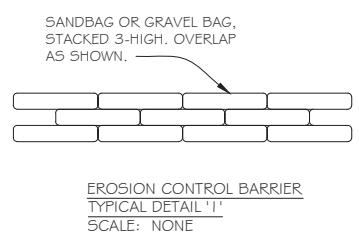
B.A. SIMS JOB #
21302 RG
DATE
6/20/2025
BUILDING PERMIT #
XR2025-1095
C-2.0
SHT 2 OF 5

EROSION CONTROL NOTES:

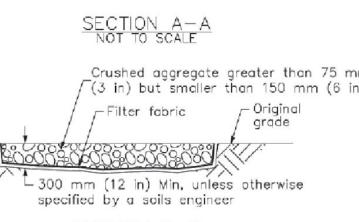
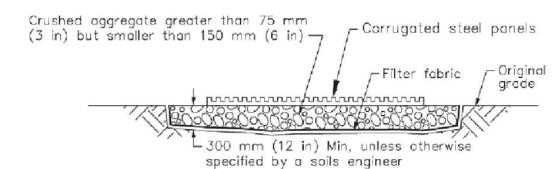
- 1 STABILIZE CONSTRUCTION ENTRANCE PER TC-1, TC-2, AND TC-3. CONTRACTOR TO MAINTAIN SITE AND ENTRANCE FREE OF TRASH, DEBRIS, AND EXCESS SEDIMENT ON A DAILY BASIS.
- 2 PLACE GRAVEL OR SANDBAG BARRIER AS SHOWN FOR EROSION & SEDIMENT CONTROL (SC-6 OR SC-8 RESPECTIVELY).
- 3 PLACE 3 HIGH GRAVEL BAG INLET/OUTLET SEDIMENT PROTECTION PER SC-10.
- 4 MATERIALS HANDLING AND STORAGE AREA PER WM-1, WM-2, AND WM-3.
- 5 WASTE MANAGEMENT PER WM-5, WM-6, WM-7, WM-8, AND WM-9.
- 6 CONSTRUCT SEDIMENT TRAP PER SC-3.

ADDITIONAL NOTES:

1. AVOID GRADING/CONSTRUCTION ACTIVITIES AT TIMES OF EXPECTED PRECIPITATION (EC-1).
2. ABOVE REFERENCED BMP DETAILS AVAILABLE ON-LINE AT WWW.CABMPHANDBOOKS.COM (SEE CONSTRUCTION LINK).



SEE TC-1, TC-2 AND TC-3 IN CALTRANS BMP FIELD MANUAL FOR ADDITIONAL INFORMATION ON CONSTRUCTION ENTRANCE.



CONSTRUCTION ENTRANCE
TYPICAL DETAIL '3'
SCALE: NONE

24 HOUR EMERGENCY CONTACT:

NAME: _____

ADDRESS: _____

PHONE NO.: _____

THE FOLLOWING BMPS AS OUTLINED IN, BUT NOT LIMITED TO, THE LATEST EDITION OF THE CASQA CONSTRUCTION BMP ONLINE HANDBOOK OR CALTRANS STORMWATER QUALITY HANDBOOKS (CONSTRUCTION SITE BMP MANUAL), MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE PROJECT ENGINEER OR THE BUILDING OFFICIAL)

EROSION CONTROL
EC1 - SCHEDULING
EC2 - PRESERVATION OF EXISTING VEGETATION
EC3 - HYDRAULIC MULCH
EC4 - HYDROSEEDING
EC5 - SOIL BINDERS
EC6 - STRAW MULCH
EC7 - GEOTEXTILES & MATS
EC8 - WOOD MULCHING
EC9 - EARTH DIKES AND DRAINAGE SWALES
EC10 - VELOCITY DISSIPATION DEVICES
EC11 - SLOPE DRAINS
EC12 - STREAMBANK STABILIZATION
EC13 - RESERVED
EC14 - COMPOST BLANKETS
EC15 - SOIL PREPARATION/ROUGHENING
EC16 - NON-VEGETATED STABILIZATION

TEMPORARY SEDIMENT CONTROL
SC1 - SILT FENCE
SC2 - SEDIMENT BASIN
SC3 - SEDIMENT TRAP
SC4 - CHECK DAM
SC5 - FIBER ROLLS
SC6 - GRAVEL BAG BERM
SC7 - STREET SWEEPING AND VACUUMING
SC8 - SANDBAG BARRIER
SC9 - STRAW BALE BARRIER
SC10 - STORM DRAIN INLET PROTECTION
SC11 - ACTIVE TREATMENT SYSTEMS
SC12 - TEMPORARY SILT DIKE
SC13 - COMPOST SOCKS & BERMS
SC14 - BIOFILTER BAGS

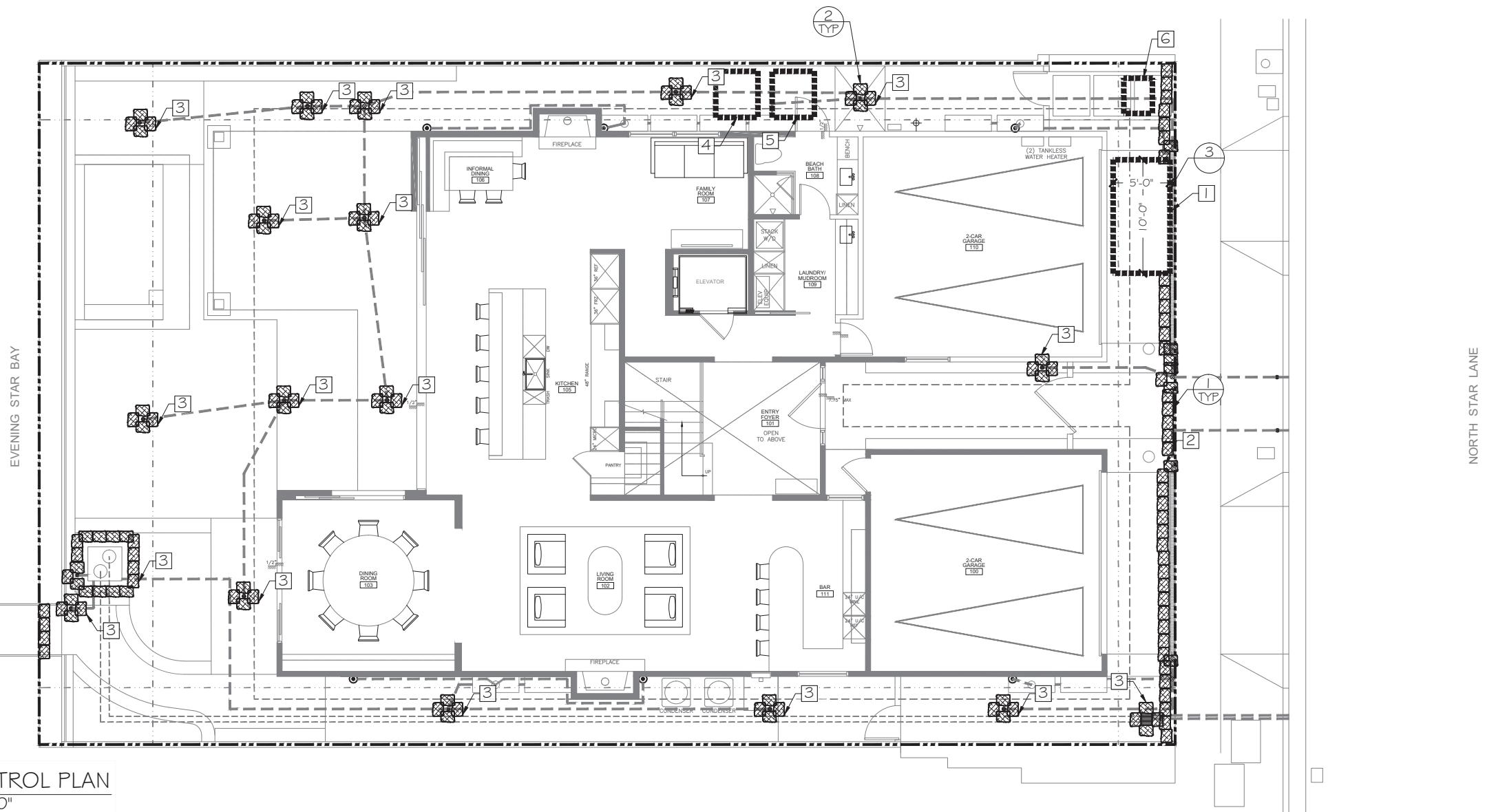
WIND EROSION CONTROL
WE1 - WIND EROSION CONTROL

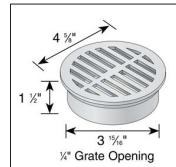
EQUIPMENT TRACKING CONTROL
TC1 - STABILIZED CONSTRUCTION ENTRANCE EXIT
TC2 - STABILIZED CONSTRUCTION ROADWAY
TC3 - ENTRANCE/OUTLET TIRE WASH

NON-STORMWATER MANAGEMENT
NS1 - WATER CONSERVATION PRACTICES
NS2 - DEWATERING OPERATIONS
NS3 - PAVING AND GRINDING OPERATIONS
NS4 - TEMPORARY STREAM CROSSING
NS5 - CLEAR WATER DIVERSION
NS6 - ILLICIT CONNECTION/DISCHARGE
NS7 - POTABLE WATER/IRRIGATION
NS8 - VEHICLE AND EQUIPMENT CLEANING
NS9 - VEHICLE AND EQUIPMENT FUELING
NS10 - VEHICLE AND EQUIPMENT MAINTENANCE
NS11 - PILE DRIVING OPERATIONS
NS12 - CONCRETE CURING
NS13 - CONCRETE FINISHING
NS14 - MATERIAL AND EQUIPMENT USE
NS15 - DEMOLITION ADJACENT TO WATER
NS16 - TEMPORARY BATCH PLANTS

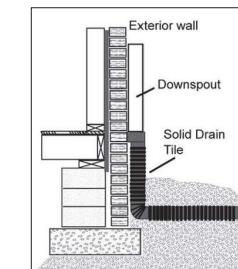
WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL
WM1 - MATERIAL DELIVERY AND STORAGE
WM2 - MATERIAL USE
WM3 - STOCKPILE MANAGEMENT
WM4 - SPILL PREVENTION AND CONTROL
WM5 - SOLID WASTE MANAGEMENT
WM6 - HAZARDOUS WASTE MANAGEMENT
WM7 - CONTAMINATION SOIL MANAGEMENT
WM8 - CONCRETE WASTE MANAGEMENT
WM9 - SANITARY/SEPTIC WASTE MANAGEMENT
WM10 - LIQUID WASTE MANAGEMENT

REFER TO SHEET C-1.O FOR IMPORTANT NOTES

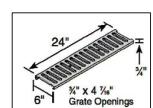




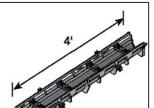
NDS AREA DRAIN 4" ROUND GRATE,
MODEL I1
SEE PLANS FOR LOCATION



1 NDS 4" AREA DRAIN DETAIL
SCALE: NONE



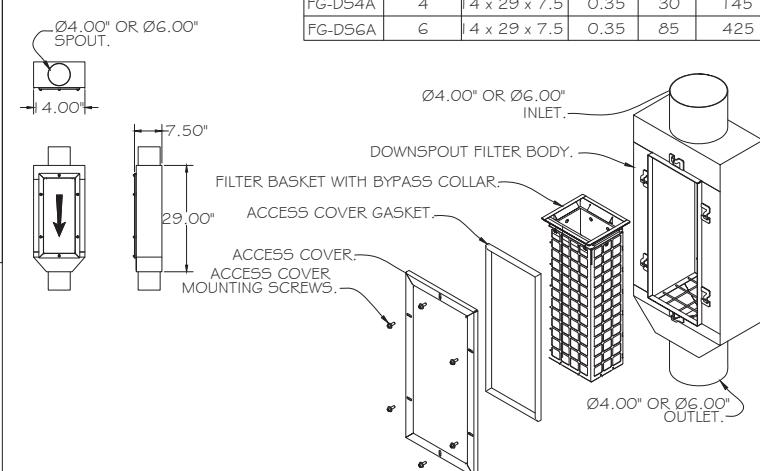
NDS 2' CHANNEL GRATE
MODEL DS-221
MATERIAL: GALV. STEEL
TRAFFIC LOADED



NDS CHANNEL DRAIN
MODEL DS-096 UP TO
DS-104*
MATERIAL: POLYETHYLENE

2 DOWNSPOUT CONNECTION
SCALE: NONE

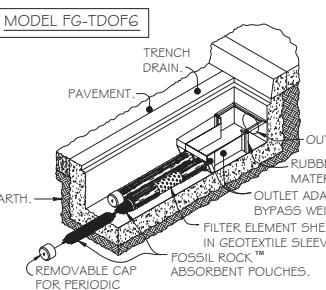
MODEL	INLET ID (Ø Inches)	BODY OD (Inches)	Solids Storage Capacity (Cu. Ft.)	Filtered Flow (GPM)	Bypass Capacity (GPM)
FG-D54A	4	4 x 29 x 7.5	0.35	30	145
FG-D56A	6	4 x 29 x 7.5	0.35	85	425



NOTES:

1. FLOGARD DOWNSPOUT FILTER IS AVAILABLE TO FIT MOST INDUSTRY STANDARD DOWNSPOUTS (SEE TABULATION).
2. FILTER INSERTS SHALL HAVE ADEQUATE BYPASS CAPACITY TO ALLOW DOWNSPOUT TO FLOW UNIMPEDED AT ALL TIMES.
3. FILTER ASSEMBLY SHALL BE CONSTRUCTED FROM STAINLESS STEEL (TYPE 304).
4. FILTER MEDIUM SHALL BE INSTALLED & MAINTAINED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

3 FLOGARD DOWNSPOUT FILTER
SCALE: NONE



NOTES:

1. FILTER INSERT SHALL HAVE A HIGH FLOW BYPASS FEATURE.
2. FILTER OUTLET ADAPTER SHALL BE CONSTRUCTED FROM STAINLESS STEEL TYPE 304. ALTERNATE OUTLET ADAPTOR FOR SHALLOW INSTALLATIONS SHALL BE PVC SCH-40.
3. FILTER MEDIUM SHALL BE FOSSIL ROCK, INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
4. STORAGE CAPACITY REFLECTS 80% OF MAXIMUM SOLIDS COLLECTION PRIOR TO IMPEDING FILTERING BYPASS.
5. FOR ALTERNATE OUTLET ADAPTER CONFIGURATIONS USED FOR EXTREMELY SHALLOW TRENCH DRAINS CONTACT OLDCASTLE STORMWATER SOLUTIONS FOR ENGINEERING ASSISTANCE.
6. FILTER ELEMENT SHOULD BE A MINIMUM OF ONE HALF THE LENGTH OF TRENCH. CONFIRM FLOW RATE UPON ORDER.

4 NDS TRENCH DRAIN DETAIL
SCALE: NONE



5 FLOGARD TRENCH DRAIN FILTER INSERT DETAIL
SCALE: NONE



REFER TO SHEET C-1.O FOR IMPORTANT NOTES

BENCH MARK:

ASSUMED BENCHMARK USED:
OC5BM NB6-14-70
ELEV = 70.275

NAVD88 DATUM, 1992 ADJ.

LAT: 32.62449
LONG: -117.89523



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PLANS PREPARED BY:

B.A. SIMS
ENGINEERING, INC
1341 ORIZABA AVENUE
LONG BEACH, CA 90804
(562) 735-4955
WWW.BASIMS.COM



EXP. 6/30/26

ENGINEER NAME, RCE LICENSE NO.

6/20/2025

DATE



Geotech Only:
David A. Worthington
No. CEG2124
EXP. 7/2/25

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Geotech Only:

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EXPRESS WRITTEN PERMISSION OF
JOSH TULLY ARCHITECTURE, INC.



Project Name : GRAY RESIDENCE
New SFR
415 North Star Lane
Newport Beach, CA 92660

Project Address :

Revisions :
No. Date Description
03.24.25 New Bldg Submittal

Sheet Title : DOOR
SCHEDULE
& DETAILS

A.P.N.: 117-711-13
Scale: SEE DWGS
Issue Date: 03.24.2025
Drawn: JPT Checked:
Sheet Number :

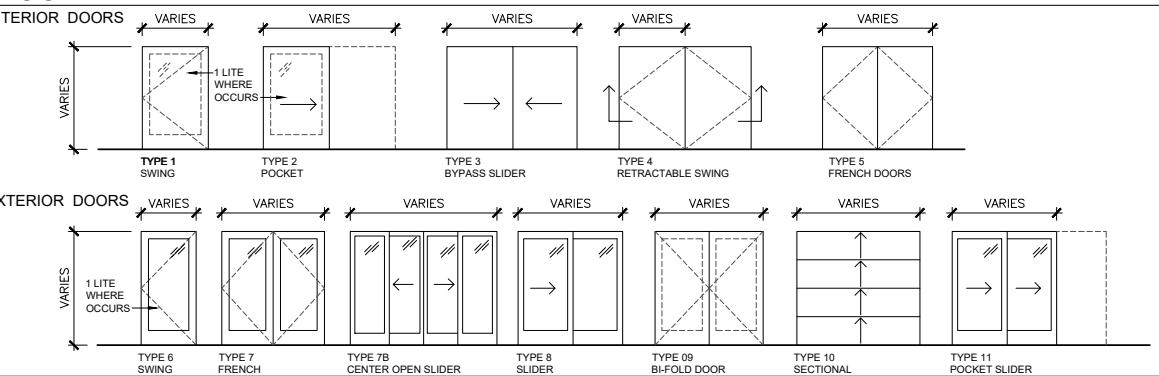
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DOOR SCHEDULE

CONTRACTOR TO VERIFY U-FACTOR
AND SHGC TO MATCH SHEET T.24-2

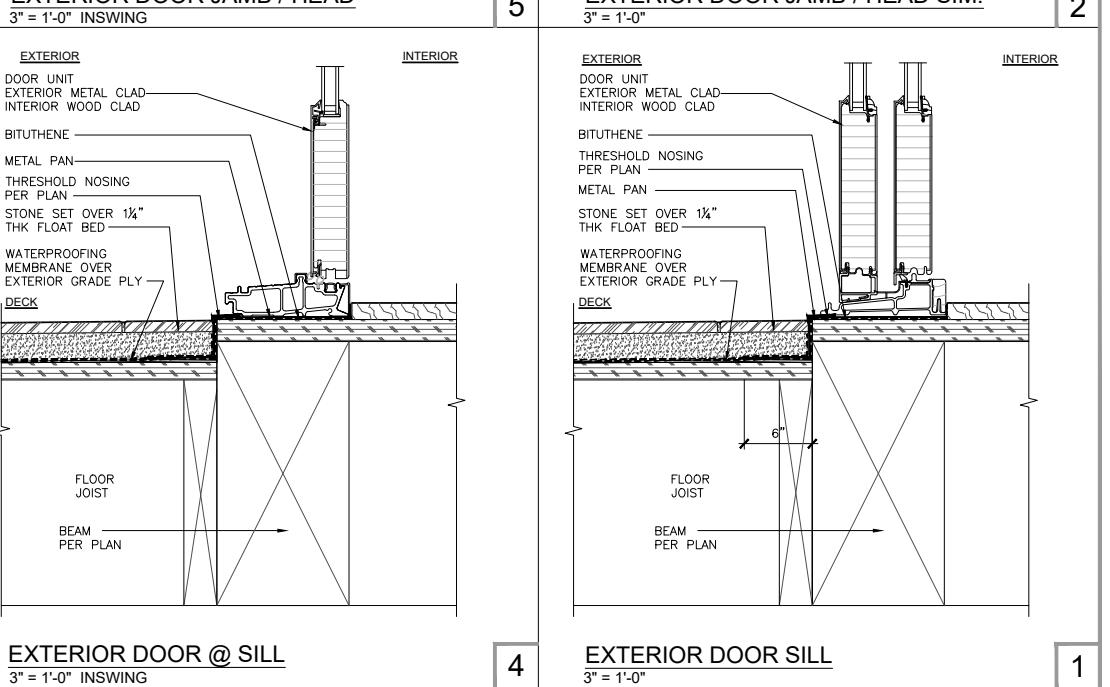
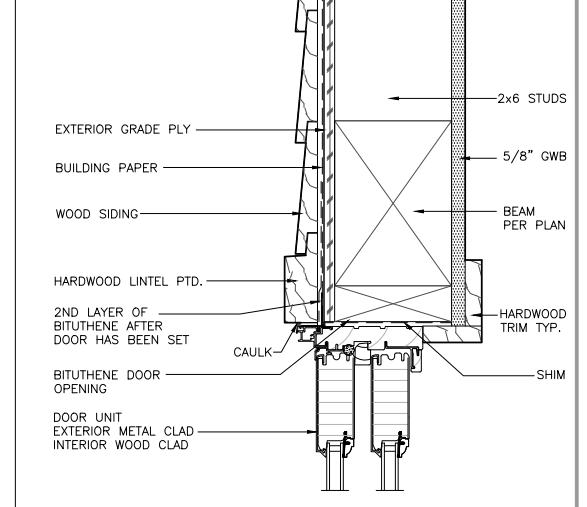
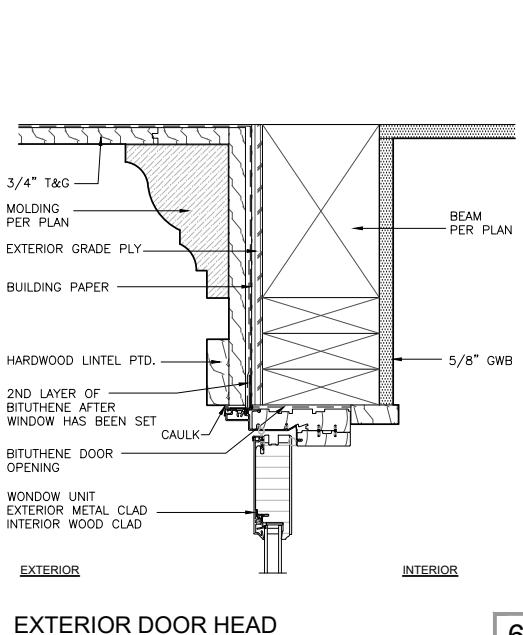
	SYMBOL	SIZE (WxH)	TYPE	THICKNS.	CORE	MATERIAL	FINISH	HARDWARE	HEAD	JAMB	SILL	U-FACTOR	SHGC	MANUFACTURER	NOTES AND GLAZING
1ST FLR.	100A	16'-0" x 8'-0"	TYPE 10	1-3/4"	INSUL-STEEL	WOOD CLAD	STAIN GRADE		-	-	-				
	100B	3'-0" x 9'-0"	TYPE 1												CUSTOM ENTRY DOOR, REMOVE AND REPLACE
	101A	4'-0" x 10'-0"	TYPE 6												
	103A	11'-0" x 9'-0"	TYPE 7B			ALUMINUM CLAD WOOD						0.35	0.25	MARVIN	TEMPERED, POOL ALARM
	103B	6'-6" x 9'-0"	TYPE 11			ALUMINUM CLAD WOOD						0.35	0.25	MARVIN	TEMPERED, POOL ALARM
	104A	24'-10" x 9'-0"	TYPE 11			ALUMINUM CLAD WOOD						0.35	0.25	MARVIN	TEMPERED, POOL ALARM
	108A	3'-0" x 9'-0"	TYPE 6			ALUMINUM CLAD WOOD						0.35	0.25	MARVIN	TEMPERED, POOL ALARM
	110A	16'-0" x 8'-0"	TYPE 10		INSUL-STEEL	WOOD CLAD	STAIN GRADE								
2ND FLR.	203A	11'-0" x 8'-6"	TYPE 7B		Glass	ALUMINUM CLAD WOOD	PAINTED					0.35	0.25	MARVIN	
	203B	3'-0" x 8'-6"	TYPE 1												TEMPERED
	205A	11'-0" x 8'-6"	TYPE 7B												TEMPERED
	208A	6'-0" x 8'-6"	TYPE 7												TEMPERED
	209B	6'-0" x 8'-6"	TYPE 7												TEMPERED
1ST FLR.	101B	3'-0" x 8'-6"	TYPE 1		SOLID	WOOD	PAINT GRADE								20 MIN. FIRE-RATED DOOR SELF CLOSING, SELF LATCHING
	108B	2'-8" x 8'-6"	TYPE 1												
	109A	3'-6" x 8'-6"	TYPE 2												PROVIDE 100 SQ. IN. MIN. (TOP & BOTTOM) OPEN'G MAKEUP AIR CMC SECT. 504.3.1
	111C	2'-10" x 8'-6"	TYPE 1												20 MIN. FIRE-RATED DOOR SELF CLOSING, SELF LATCHING
2ND FLR.	201A	2'-8" x 8'-6"	TYPE 1												
	201B	2'-8" x 8'-6"	TYPE 2												
	202A	2'-8" x 8'-6"	TYPE 1												
	203C	2'-8" x 8'-6"	TYPE 1												
	203D	9'-0" x 8'-6"	TYPE 3												
	204A	3'-6" x 8'-6"	TYPE 2												
	204B	2'-6" x 8'-6"	TYPE 2												
	205B	3'-6" x 8'-6"	TYPE 5												
	206A	5'-0" x 8'-6"	TYPE 2												
	207A	3'-0" x 8'-6"	TYPE 1												
	208B	3'-0" x 8'-6"	TYPE 1												
	208C	2'-8" x 8'-6"	TYPE 1												
	209A	3'-0" x 8'-6"	TYPE 1												
	209C	2'-8" x 8'-6"	TYPE 2												
	210A	2'-8" x 8'-6"	TYPE 2												
	210A	3'-0" x 8'-6"	TYPE 1												20 MIN. FIRE-RATED DOOR SELF CLOSING, SELF LATCHING
															ALL DOORS TO BE SINGLE-LITE U.N.O.

DOOR TYPES



EGRESS NOTES:
1. NET CLEAR OPENING AREA OF NOT LESS THAN 5.7 SF
2. MINIMUM CLEAR OPENING HEIGHT OF 24"
3. MINIMUM CLEAR OPENING WIDTH OF 20"
4. THE BOTTOM OF THE LANDING OPENING SHALL NOT BE MORE THAN 44" FROM THE FLOOR
5. SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR, TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY, YARD OR COURT MUST COMPLY WITH THE DEFINITION: "AN OPEN SPACE, UNOBSTRUCTED FROM THE GROUND TO THE SKY." THEREFORE, INGRESS/EGRESS OPENINGS WHICH OPEN UNDER OR ONTO DECKS, ROOFS, OR CONCRETE SLIDES ARE NOT CONSIDERED PUBLIC WAYS.
6. WINDOW CONTROL OPENING DEVICE SHALL NOT REDUCE THE REQUIRED NET CLEAR OPENING AREA OF THE WINDOW

LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. THE EXTERIOR LANDING OR FINISHED FLOOR SHALL NOT BE MORE THAN 7-3/4" FROM THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LOWER LANDING OR FLOOR.





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WINDOW SCHEDULE

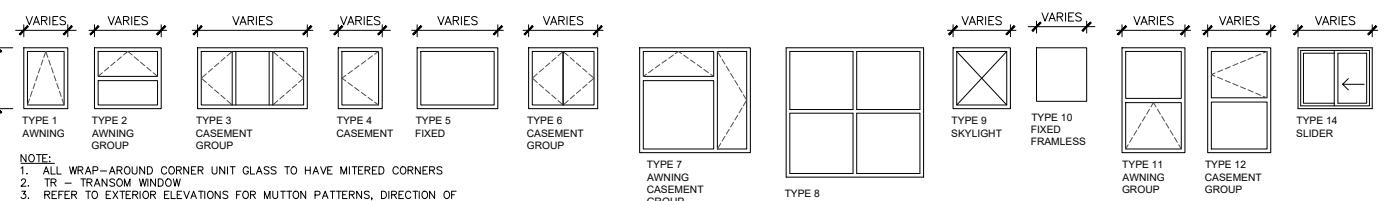
CONTRACTOR TO VERIFY U-FACTOR
AND SHGC TO MATCH SHEET T.24-2

*ALL WINDOWS TO BE MEASURED BY SUB
CONTRACTOR DURING CONSTRUCTION

SYMBOL	WINDOW SIZE (WxH)	TYPE	HEAD HEIGHT ABV. F.F.	FRAME MAT'L	FRAME FINISH	GLAZING	U-FACTOR	SHGC	MANUFACTURER	WINDOW COVERING	NOTES AND GLAZING
101.1	1'-6" x 10'-0"	TYPE 5	10'-0"	ALUMINUM CLAD WOOD	PAINTED	LOW 'E'	0.35	0.25	MARVIN		
101.2	1'-6" x 10'-0"	TYPE 5	10'-0"								
101.3	7'-0" x 8'-6"	TYPE 5	18'-0"								
63.1	4'-0" x 8'-0"	EXISTING OPERATION									OMIT
107.1	8'-0" x 3'-0"	EXISTING OPERATION	9'-0"								REMOVE AND REPLACE
111.1	3'-0" x 5'-0"	TYPE 4	9'-0"								TEMPERED
111.2	4'-6" x 5'-0"	TYPE 6	9'-0"								TEMPERED, POOL ALARM
201.1	4'-0" x 3'-0"	TYPE 4	8'-6"								TEMPERED
202.1	6'-0" x 5'-0"	TYPE 6	8'-6"								EGRESS, TEMPERED
203.1	3'-0" x 5'-0"	TYPE 4	8'-6"								EGRESS, TEMPERED
204.1	10'-0" x 4'-6"	TYPE 3	8'-6"								TEMPERED
205.1	2'-6" x 5'-0"	TYPE 4	8'-6"								EGRESS, TEMPERED
205.2	2'-6" x 5'-0"	TYPE 4	8'-6"								EGRESS, TEMPERED
207.1	3'-0" x 5'-0"	TYPE 4	8'-6"								TEMPERED
207.2	2'-0" x 5'-0"	TYPE 4	8'-6"								TEMPERED
208.1	2'-0" x 5'-0"	TYPE 4	8'-6"								TEMPERED
208.2	4'-0" x 5'-0"	TYPE 6	8'-6"								EGRESS, TEMPERED
208.3	4'-0" x 5'-0"	TYPE 6	8'-6"								EGRESS, TEMPERED
209.1	4'-0" x 5'-0"	TYPE 6	8'-6"								EGRESS, TEMPERED
209.2	4'-0" x 5'-0"	TYPE 6	8'-6"								EGRESS, TEMPERED
209.3	2'-0" x 5'-0"	TYPE 4	8'-6"								TEMPERED
210.1	2'-0" x 5'-0"	TYPE 4	8'-6"								TEMPERED
210.2	3'-0" x 5'-0"	TYPE 4	8'-6"								TEMPERED
211.1	3'-0" x 5'-0"	TYPE 4	8'-6"	✓	✓	✓	✓	✓	✓	✓	TEMPERED
304.1	3'-0" x 9'-8"	TYPE 5									ESR-4108

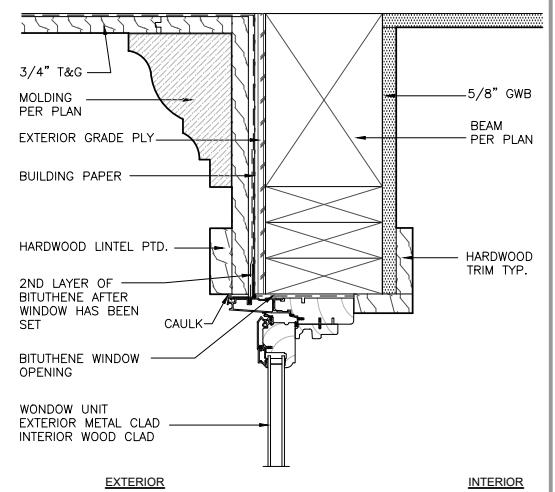
ALL WINDOWS TO BE DUAL GLAZED U.O.

WINDOW TYPES

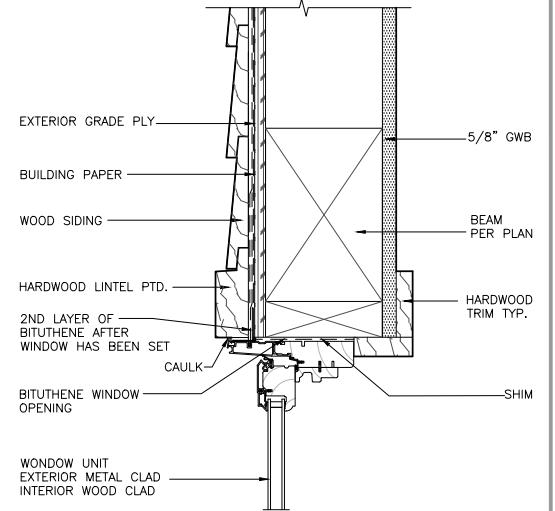


NOTE:
1. ALL WRAP-AROUND CORNER UNIT GLASS TO HAVE MITERED CORNERS
2. THE TRANSOM WINDOW
3. REFER TO EXTERIOR ELEVATIONS FOR MUTTON PATTERNS, DIRECTION OF SWING, AND FIXED VS. OPERABLE.

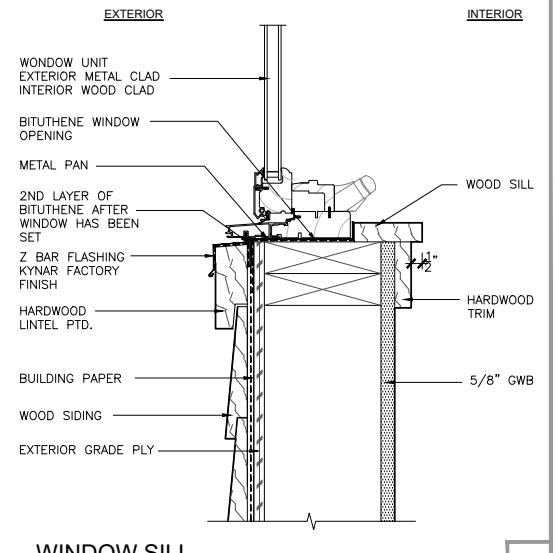
EGRESS NOTES:
1. NET CLEAR OPENING AREA OF NOT LESS THAN 5.7 SF
2. MINIMUM CLEAR OPENING HEIGHT OF 24"
3. MINIMUM CLEAR OPENING WIDTH OF 24"
4. THE BOTTOM OF WINDOW OPENING SHALL NOT BE MORE THAN 44" FROM THE FLOOR
5. SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR, TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY, YARD OR COURT MUST COMPLY WITH THE DEFINITION: "AN OPEN SPACE, UNOBSTRUCTED FROM THE GROUND TO THE SKY; THEREFORE, EGRESS/EGRESS OPENINGS WHICH OPEN INTO OR OUTSIDE ROOFS, OR COVERED PATIOS ARE NOT ACCEPTABLE.
6. WINDOW CONTROL OPENING DEVICE SHALL NOT REDUCE THE REQUIRED NET CLEAR OPENING AREA OF THE WINDOW



WINDOW HEAD
3" = 1'-0"



WINDOW HEAD & JAMB SIM.
3" = 1'-0"



WINDOW SILL
3" = 1'-0"

ENFORCEMENT REQUIREMENTS FOR DOCUMENTATION BY OTHERS

Certificate of Installation. For all buildings, the person in charge of the construction or installation, who is eligible under Division 3 of the Business and Professions Code to accept responsibility for the construction or installation of fixtures, materials, components, or manufactured devices regulated by Part 6 or the Appliance Efficiency Regulations (responsible person) shall sign and submit Certificate of Installation documentation as specified in Section 10-103(a) to certify conformance with Part 6. If more than one person has responsibility for the construction or installation, each person shall sign and submit the Certificate of Installation documentation applicable to the portion of the construction or installation for which they are responsible; alternatively, the person with chief responsibility for the construction or installation shall sign and submit the Certificate of Installation documentation for the entire construction or installation scope of work for the project. Subject to the requirements of Section 10-103(a), persons who prepare Certificate of Installation documentation (documentation authors) shall sign a declaration statement on the documents they prepare to certify the information provided on the documentation is accurate and complete in accordance with the applicable requirements of 10-103(a), the signatures provided by responsible persons and documentation authors shall be on separate documents or pipe documents or electronic signatures on pipe documents or electronic signatures on electronic documents conforming to the electronic signature specifications in Reference Joint Appendix A.

Certificate of Installation and Diagnostic Test (CFR or CF3R Verification). For all buildings, for which compliance requires HERS field verification, certified HERS Rater who performed the field verification and diagnostic testing in accordance with applicable procedures specified in Reference Appendices RA2, RA3, NA1, and NA2. All applicable Certificate of Verification documentation shall be completed, signed, and submitted by the certified HERS Rater who performed the field verification and diagnostic testing services (responsible person) in accordance with the requirements of Section 10-103(g), and Reference Appendices RA2, and NA1, to certify conformance with Part 6. If more than one rater has responsibility for the HERS verification for the building, each rater shall sign and submit the Certificate of Verification documentation applicable to the portion of the building for which they are responsible. Subject to the requirements of Section 10-103(g), persons who prepare Certificate of Verification documentation (documentation authors) shall sign a declaration statement on the documents they prepare to certify the information provided on the documentation is accurate and complete. The signatures provided by responsible persons and documentation authors shall be on electronic signatures on electronic documents.

Compliance, Operating, Maintenance, and Ventilation Information to be provided by Builder.

1. Compliance. All domestic hot water piping shall be insulated as specified in Section 609.11 of the California Building Code. According to the following piping conditions shall have a minimum insulation thickness of 1 inch of R-value of 7.7:

- i. The first 5 feet of hot and cold water pipes from the storage tank or water heater.
- ii. All hot water piping with a nominal diameter equal to or greater than $\frac{1}{4}$ inch and less than 1 inch.
- iii. All hot water piping with a nominal diameter less than $\frac{1}{4}$ inch that is:

a. Associated with a domestic hot water insulation system;

b. From the heating source to a storage tank or between storage tanks; or

c. Buried below grade.

B. Piping for space conditioning system, solar water-heating system collector loop, and distribution piping for steam and hydronic devices. Piping shall meet the requirements of Section 120.3(c).

2. Operating information. At final inspection, the enforcement agency shall require the builder to leave in the building, copies of the completed, signed, and submitted compliance documents for the building owner at occupancy. For low-rise residential buildings, such information shall, at a minimum, include copies of all Certificate of Compliance, Certificate of Installation, and Certificate of Verification documentation submitted. These documents shall be in paper or electronic format and shall conform to the applicable requirements of Section 10-103(a).

B. For nonresidential buildings, high-rise residential buildings and hotels and motels, at final inspection, the enforcement agency shall require the builder to leave in the building, copies of the completed, signed, and submitted compliance documents for the building owner at occupancy. For nonresidential buildings, high-rise residential buildings and hotels and motels, such information shall include copies of all Certificate of Compliance, Certificate of Installation, Acceptance and Certificate of Verification documentation submitted. These documents shall be in paper or electronic format and shall conform to the applicable requirements of Section 10-103(a).

3. Maintenance information. The enforcement agency shall require the builder to leave in the building, for the building owner at occupancy, maintenance information for all features, materials, components, and manufactured devices that require routine maintenance for efficient operation. Required routine maintenance actions shall be clearly stated and incorporated on a readily accessible label. The label may be required by title and/or publication number, the operation and maintenance manual for that particular model and type of feature, material, component or manufactured device. For low-rise residential buildings, this information shall include a schedule of all interior luminaires and lamps installed to comply with Section 150.0(k). This information shall be in paper or electronic format.

4. Ventilation information. For low-rise residential buildings, the enforcement agency shall require the builder to leave in the building, for the building owner at occupancy, a description of the quantities of outdoor air that the ventilation system(s) are designed to provide to the building's conditioned space, and instructions for proper operation and maintenance of the ventilation system. This information shall be in paper or electronic format.

For buildings or tenant spaces that are not individually owned and operated, or are centrally operated, Compliance, Operating, Maintenance & Ventilation information shall be provided to the person(s) responsible for operating and maintaining the feature, material, component or mechanical ventilation device installed in the building.

INDOOR AIR QUALITY AND MECHANICAL VENTILATION

150.0(j): Requirements for Ventilation and Indoor Air Quality. All dwelling units shall meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in Section 150.0(j) below. All dwelling units shall comply with Section 150.0(j) below.

150.0(j)(1): Amendments to ASHRAE 62.2 requirements. A. Window operation is not a permissible method of providing the dwelling unit ventilation airflow specified in subsections C, E, or F below. B. Continuous operation of central forced air system air handlers used in central fan integrate ventilation systems is not a permissible method of providing the dwelling unit ventilation airflow required in Section 4 of ASHRAE Standard 62.2.

C. Single family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces shall have mechanical ventilation airflow provided at rates determined in accordance with ASHRAE 62.2 Sections 4.1 and 4.1.2 as specified in subsections i, ii, and iii.

D. Air filtration shall conform to the specifications in Section 150.0(m)12. Compliance with ASHRAE 62.2 Sections 6.7 (Minimum Filtration) and 6.7.1 (Filter Pressure Drop) shall not be required.

E. Multifamily attached dwelling units shall have mechanical ventilation airflow provided at rates determined in accordance with the following subsections i or ii below. When subsection ii is utilized for compliance, all dwelling units within the multifamily building shall use the same ventilation system type.

i. Continuously operating supply ventilation systems, or continuously operating exhaust ventilation systems shall be allowed to be used to provide required dwelling unit ventilation airflow if the dwelling-unit envelope leakage is less than or equal to 0.3 cubic feet per minute at 50 Pa (0.2 inch water) or if the dwelling-unit envelope surface area is confirmed by field verification and diagnostic testing in accordance with the procedures specified in Reference Appendix RA3.8.

ii. Continuously operating supply ventilation systems, or continuously operating exhaust ventilation systems shall be balanced for each dwelling unit served at a rate equal to or greater than the rate specified by Equation 150.0-B [ASHRAE 62.2.4.1.1], but no more than twenty percent greater than the specified rate. These systems shall utilize balancing means to ensure the dwelling-unit airflows can be adjusted to meet this balancing requirement. These system balancing means may include but not be limited to constant air regulation devices, orifice plates, and variable speed central fans.

G. Kitchen range hoods shall be rated for sound in accordance with Section 7.2 of ASHRAE 62.2. EXCEPTION to Section 150.0(j): Kitchen range hoods shall be rated for sound at a static pressure determined at working speed as specified in HVI 916 section 7.2.

H. Compliance with ASHRAE 62.2 Section 6.5.2 (Space Conditioning System Ducts) shall not be required.

I. Compliance with ASHRAE 62.2 Section 4.4 (Control and Operation) shall require manual switches associated with dwelling unit ventilation systems to have a label clearly displaying the following text, or equivalent text: "This switch controls the indoor air quality ventilation for the dwelling. Use it on unless the outdoor air quality is very poor."

150.0(j)(2): Field Verification and Diagnostic Testing. A. Airflow Performance. The dwelling unit ventilation airflow required by Sections 150.0(j)1C, 150.0(j)1E, and 150.0(j)1F shall be confirmed through field verification and diagnostic testing in accordance with the applicable procedures specified in Reference Residential Appendix RA3.7.

B. Kitchen Range Hoods. The installed kitchen range hood shall be field verified in accordance with the procedures in Reference Residential Appendix RA3.7.4 to confirm the model is rated by HVI to comply with the following requirements:

i. The minimum ventilation airflow rate as specified in Section 5 of ASHRAE 62.2.

ii. The maximum sound rating as specified in Section 150.0(j)1G.

150.0(j)(3): Mechanical Ventilation for Indoor Air Quality for Additions. i. Additions to an existing dwelling unit that increase the conditioned floor area of the existing dwelling unit by more than 1,000 square feet shall have mechanical ventilation airflow in accordance with Sections 150.0(j)1C, 150.0(j)1E, or 150.0(j)1F as applicable. The dwelling unit mechanical ventilation airflow rate shall be based on the conditioned floor area of the entire dwelling unit comprised of the existing dwelling unit conditioned floor area plus the addition conditioned floor area.

ii. New dwelling units that are additions to an existing building shall have mechanical ventilation airflow provided in accordance with Sections 150.0(j)1C, 150.0(j)1E, or 150.0(j)1F as applicable. The mechanical ventilation airflow rate shall be based on the conditioned floor area of the new dwelling unit.

The following summarizes the key requirements for most newly constructed residences.

1. A dwelling unit mechanical ventilation system shall be provided. The airflow rate provided by the system shall be confirmed through field verification and diagnostic testing in accordance with the applicable procedures specified in Reference Residential Appendix RA3.7.

2. Kitchen and bathroom shall have local exhaust systems vented to the outdoors.

3. Clothes dryers shall be vented to the outdoors.

4. Ventilation air shall come from the outdoors and shall not be transferred from adjacent dwelling units, garages, unconditioned attics or crawlspaces.

5. Ventilation system controls shall be labeled and the home owner shall be provided with instructions on how to operate the system.

6. Combustion appliances shall be properly vented and air systems shall be designed to prevent back drafting.

7. The walls and openings between the house and the garage shall be sealed or gasketed.

8. Habitable rooms shall have windows with a ventilation area of at least 4 percent of the floor area.

9. Mechanical systems including heating and air-conditioning systems that supply air to habitable spaces shall have MERV 13 filters or better and be designed to accommodate the system's air filter media rated pressure drop for the system design airflow rate.

10. Dedicated air inlets (not exhaust) that are part of the ventilation system design shall be located away from known contaminants.

11. A carbon monoxide alarm shall be installed in each dwelling unit in accordance with NFPA 720.

12. Air-moving equipment used to meet the dwelling unit ventilation requirement and the local ventilation exhaust requirement shall be rated in terms of airflow and sound:

a. Dwelling unit ventilation and continuously operating local exhaust fans must be rated at a maximum of 1.0 sone (measurement of sound).

b. Demand-controlled local exhaust fans must be rated at a maximum of 3.0 sone.

c. Kitchen exhaust fans must be rated at a maximum of 3.0 sone at one or more airflow settings greater than or equal to 100 CFM.

d. Remotely located air-moving equipment (mounted outside habitable spaces) are exempt from the sound requirements provided there is at least 4 feet of ductwork between the fan and the interior grille.

Dwelling Unit Mechanical Ventilation Calculation

(Continuous Fan or Indoor Air Quality (IAQ) Fan)

Each dwelling unit mechanical ventilation system must meet the minimum CFM required from the CF1R and field verified with diagnostic testing of airflow performance. In addition, the fan must be certified with a maximum sound rating of 1.0 or less.

Custom Residence = 160 CFM

Table 4-16: Prescriptive Duct Sizing for Single-Fan Exhaust Systems (ASHRAE 62.2, Table 5.0)

Duct Type	Flex Duct		Smooth Duct																
	50	80	100	125	150	200	250	300	50	80	100	125	150	200	250	300			
Diameter ^a , inches																			
Maximum Length ^b & ^c , feet	3	X	X	X	X	X	X	X	5	X	X	X	X	X	X	X	X		
	4	56	4	X	X	X	X	X	114	31	10	X	X	X	X	X	X		
	5	NL	81	42	16	2	X	X	NL	152	91	51	28	4	X	X	X		
	6	NL	NL	91	55	18	1	NL	NL	NL	168	112	53	25	9	X	X	X	
	7	NL	NL	NL	161	78	40	19	NL	NL	NL	NL	NL	148	88	54	X	X	X
	8 and above	NL	NL	NL	NL	189	111	69	NL	NL	NL	NL	NL	NL	133	X	X	X	

a. For nonductular ducts, calculate the diameter as four times the cross-sectional area divided by the perimeter.

b. This table assumes no elbows. Deduct 15 feet of allowed duct length for each elbow.

c. NL = no limit on duct length of this size.

d. X = not allowed; any length of duct this size with assumed turns and fitting will exceed the rated pressure drop.

150.0(j): PIPE INSULATION FOR NEW RESIDENTIAL BUILDINGS

Water piping, solar water-heating system piping, and space conditioning system line insulation thickness and conductivity. Piping shall be insulated as follows:

A. All domestic hot water piping shall be insulated as specified in Section 609.11 of the California Building Code.

B. For nonresidential buildings, high-rise residential buildings and hotels and motels, at final inspection, the enforcement agency shall require the builder to leave in the building, copies of the completed, signed, and submitted compliance documents for the building owner at occupancy. For nonresidential buildings, high-rise residential buildings and hotels and motels, such information shall include copies of all Certificate of Compliance, Certificate of Installation, Acceptance and Certificate of Verification documentation submitted. These documents shall be in paper or electronic format and shall conform to the applicable requirements of Section 10-103(a).

C. For nonresidential buildings, high-rise residential buildings and hotels and motels, at final inspection, the enforcement agency shall require the builder to leave in the building, copies of the completed, signed, and submitted compliance documents for the building owner at occupancy. For nonresidential buildings, high-rise residential buildings and hotels and motels, such information shall include copies of all Certificate of Compliance, Certificate of Installation, Acceptance and Certificate of Verification documentation submitted. These documents shall be in paper or electronic format and shall conform to the applicable requirements of Section 10-103(a).

D. Piping for space conditioning system, solar water-heating system collector loop, and distribution piping for steam and hydronic devices.

For buildings or tenant spaces that are not individually owned and operated, or are centrally operated, Compliance, Operating, Maintenance & Ventilation information shall be provided to the person(s) responsible for operating and maintaining the feature, material, component or mechanical ventilation device installed in the building.

2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. *Exceptions may apply.

(Original 08/19)

Building Envelope Measures

\$110.6(a): Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 cfm per square foot or less when tested per NFRC 400, ASTM E283 or AAMA/WDMA/CSA 101.1S.2/140-2011.

\$110.6(b): Labeling. Fenestration products and exterior doors must have a label meeting the requirements of Section 10-111(a).

\$110.6(b): Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather stripped.

\$110.7: Air Leakage. All joints, penetrations, and other openings in the

NOTES

CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS FOR POURED-IN-PLACE CONTINUOUS AND SPREAD FOOTINGS. THE CONCRETE MIX DESIGN SHALL ADDRESS BLEEDING, SHRINKAGE AND CURLING AS DESCRIBED IN ACI 302.24-06, TO BE APPROVED BY E.O.R.

PROVIDE A CORROSION RESISTANT WEEP SCREEN AT FOUNDATION PLATE WHICH ALLOWS TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. MINIMUM HEIGHT ABOVE GRADE 4".

FOR ALL SHEARWALLS **B**, **C**, **D** & **E** - SILL PLATES AND PANEL EDGE STUDS SHALL BE 3X MEMBERS

FOUNDATION SILLS SHALL BE NATURALLY DURABLE OR PRESERVATIVE TREATED WOOD

ALL HOLD DOWNS MUST BE IN PLACE PRIOR TO FOUNDATION INSPECTION

ALL BOLT HOLES SHALL BE DRILLED 1/32 TO 1/16 INCHES OVERRIDED

MINIMUM 3"X3"X0.229" SQUARE PLATE WASHERS SHALL BE USED WITH ALL ANCHOR BOLTS IN SHEAR WALL SILL PLATES

CONTRACTORS RESPONSIBLE FOR THE CONSTRUCTION OF A WIND OR SEISMIC FORCE RESISTING SYSTEM/COMPONENT LISTED IN THE "STATEMENT OF SPECIAL INSPECTION" SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE LABS INSPECTORS AND THE OWNER PRIOR TO THE COMMENCEMENT OF WORK ON SUCH SYSTEM OR COMPONENT PER 2016 CBC

HOLDOWN CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE APPROVED PLATE WASHERS; AND HOLDOWNS SHALL BE RETIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING. CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE STEEL PLATE WASHERS

PROVIDE LEAD HOLE 40%-70% TO THREADED SHANK DIAMETER AND FULL DIAMETER FOR SMOOTH SHANK PORTION.

IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED

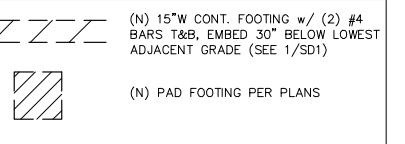
SPECIAL INSPECTION (BY A CERTIFIED INSPECTOR) IS REQUIRED FOR THE FOLLOWING:

ELEMENT(S) TYPE OF INSPECTION

-FIELD WELDS.....CONTINUOUS INSPECTION
-SHEAR PANELS WHERE THE FASTENER SPACING OF THE SHEATHING IS 4 INCHES OR CENTER OR LESS.....PERIODIC INSPECTION
-SIMPSON SET-XP EPOXY.....CONTINUOUS INSPECTION
-CONCRETE WITH f_c OVER 2500 PSI.....CONTINUOUS INSPECTION

***ALL PLUMBING AND HVAC PLAN TO BE COORDINATED DIRECTLY WITH A.O.R. TO INSURE COMPATIBILITY WITH STRUCTURAL PLANS. A.O.R. RESPONSIBLE FOR COORDINATION OF ELECTRICAL, PLUMBING AND HVAC RUNS.

FOUNDATION KEY



PAD SCHEDULE

P1	24"X24"X12" THK. CONC. PAD W/(3) #4 EA. WAY
P2	30"X30"X12" THK. CONC. PAD W/(4) #4 EA. WAY
P3	36"X36"X16" THK. CONC. PAD W/(5) #4 EA. WAY
P4	42"X42"X16" THK. CONC. PAD W/(6) #4 EA. WAY

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PROJECT Gray Residence
415 North Star Lane
Newport Beach, CA 92660

DRAWING Foundation Plan

REVISIONS BY

4/17/25 EWM

△ 4/17/25 EWM

NOTES

ROOF DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING. FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO SUPPORTS. FLOOR SHALL HAVE TONGUE AND GROOVE OR BLOCKED PANEL EDGES. PLYWOOD SPANS SHALL CONFORM WITH TABLE 2306.2

ALL DIAPHRAGM AND SHEAR WALL NAILING SHALL UTILIZE COMMON NAILS

U.N.O., ALL 2x ROOF RAFTER AND FLOOR JOIST FRAMING MEMBERS SHALL BE MINIMUM GRADE DOUGLAS FIR-LARCH NO. 2 OR BETTER. ALL BEAMS, HEADERS, AND POSTS SHALL BE MINIMUM DOUGLAS FIR-LARCH NO. 1 OR BETTER. ALL VERTICAL WALL FRAMING MEMBERS SHALL BE DOUGLAS FIR-LARCH NO. 2 OR BETTER.

FIELD WELDING TO BE DONE BY WELDERS CERTIFIED BY THE LABDS FOR STRUCTURAL STEEL, REINFORCING STEEL. CONTINUOUS INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED.

SHOP WELDS MUST BE PERFORMED IN A CITY BLDNG. DEPT. LICENSED FABRICATOR'S SHOP.

ROOFING MATERIAL NOT TO EXCEED 6 PSF

ROOF SHEATHING SHALL BE 15/32" CDX APA-RATED SHEATHING, EXPOSURE 1, MIN. SPAN RATING 24", NAILED WITH 8d COMMON @ 6" o.c. EDGES & BOUNDARIES AND 12" o.c. AT INTERMEDIATE FRAMING MEMBERS.

FLOOR SHEATHING SHALL BE 23/32" CDX APA-RATED STURD-I-FLOOR, T&G, EXPOSURE 1, MIN. SPAN RATING 20" o.c., NAILED WITH 10d COMMON @ 6" o.c. EDGES & BOUNDARIES AND 12" o.c. AT INTERMEDIATE FRAMING MEMBERS, U.N.O.

A LICENSED FABRICATOR IS REQUIRED FOR ALL STRUCTURAL STEEL, GLULAM BEAMS AND PARALLAM

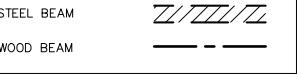
GLULAM AND PARALLAM BEAMS MUST BE FABRICATED BY A LICENSED SHOP

3x4 OR 2x6 MINIMUM STUD SIZE @ 16" o.c. REQUIRED FOR BEARING WALLS OVER 10 FEET IN HT.

DRAG LINE DL

DRAG LINE: SIMPSON ST6236 @ ALL BREAKS AND DIAPHRAGM EDGE NAILING.

FRAMING KEY



FJ1	11 1/2" TJI 110 F.J. @ 16" o.c. (FB-1)
FJ2	11 1/2" TJI 360 F.J. @ 16" o.c. (FB-4)
FJ3	(2) 1 3/4x11 1/2 MICROLAM LVL (1.9E) F.J. @ 16" o.c. (FB-45)
DJ1	2x10 D.J. @ 16" o.c. (FB-3)

MAX SPAN = 15 FT.

MAX SPAN = 18 FT.

DOUBLE JOISTS

2x10 D.J. @ 16" o.c. (FB-3)

MAX SPAN = 8 FT.

*RIP FOR SLOPE, MINIMUM DEPTH = 7.25"

NOTE: ALL NON-BEARING WALLS PARALLEL TO F.J. DIRECTION TO HAVE DOUBLE JOISTS DIRECTLY BELOW

3x4 OR 2x6 MINIMUM STUD SIZE @ 16" o.c. REQUIRED FOR BEARING 10 FEET IN HEIGHT, OR TALLER

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PROJECT
Gray Residence
415 North Star Lane
Newport Beach, CA 92660

DRAWING
Floor Framing Plan

REVISIONS
6/15/23 EWM
4/17/25 EWM

BY
EWM

JOB# 21-052
ENGINEER EWM

DRAWN

CHECKED

FILE Gray.dwg

DATE 7/18/22

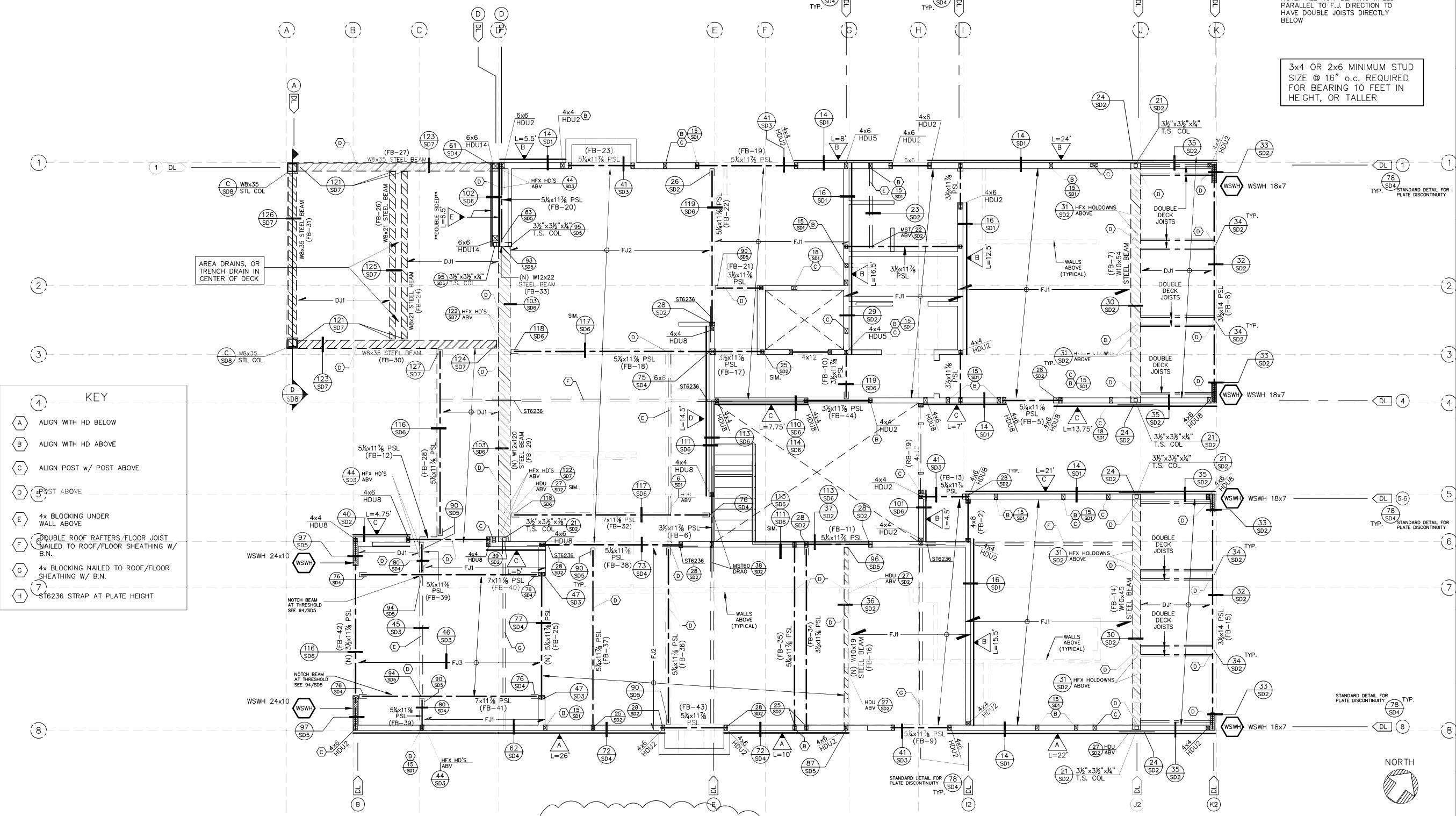
SCALE 1/4"=1'-0"

SHEET S2

OF 14

SHETS

1



FLOOR FRAMING PLAN

SCALE 1/4"=1'-0"

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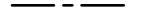
SYMBOLS/ABBREVIATIONS:

F.J. = FLOOR JOISTS (N) = NEW
 R.R. = ROOF RAFTERS (E) = EXISTING
 C.J. = CEILING JOISTS RB = ROOF BEAM/JOIST
 K.P. = KING POST FB = FLOOR BEAM/JOIST
 TYP. = TYPICAL HNGR = HANGER
 O.C. = ON CENTER SIMP. = SIMPSON
 B.N. = BOUNDARY NAILING PSL = PARALLAM, TRUJOIST
 E.N. = EDGE NAILING M.B. = MACHINE BOLT
 SIM. = SIMILAR R.B. = RIDGE BEAM/BOARD
 V.I.F. = VERIFY IN FIELD HDR = HEADER
 BLKN'G = BLOCKING UNO = UNLESS NOTE OTHERWISE

***NO TOP HUNG DOORS (ALL DOORS TO BE SUPPORTED BY TRACK AT BOTTOM)

PERIODIC SPECIAL INSPECTION IS REQUIRED FOR WOOD SHEAR WALLS, SHEAR PANELS, AND DIAPHRAGMS, INCLUDING NAILING, BOLTING, ANCHORING, AND OTHER FASTENING TO COMPONENTS OF THE SEISMIC FORCE RESISTING SYSTEM. SPECIAL INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED WHERE THE FASTENER SPACING OF THE SHEATHING IS 4 INCHES ON CENTER OR LESS

FRAMING KEY

STEEL BEAM 
 WOOD BEAM 

RR1	2x8 R.R. @ 16" o.c. (RB-1) MAX SPAN = 14 FT.
RR2	2x12 R.R. @ 16" o.c. (RB-2) MAX SPAN = 17 FT.
RR3	4x4 R.R. @ 16" o.c.
CJ1	2x6 C.J. @ 16" o.c. MAX SPAN = 13 FT. (RB-4)
CJ2	2x8 C.J. @ 16" o.c. MAX SPAN = 15 FT. (RB-3)

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PROJECT Gray Residence
 415 North Star Lane
 Newport Beach, CA 92660

DRAWING Roof Framing Plan

REVISIONS 6/15/23 BY EWM
 4/17/25 EWM
 JOB# 21-052
 ENGINEER EWM
 DRAWN
 CHECKED
 FILE Gray.dwg
 DATE 7/18/22
 SCALE 1/4"=1'-0"

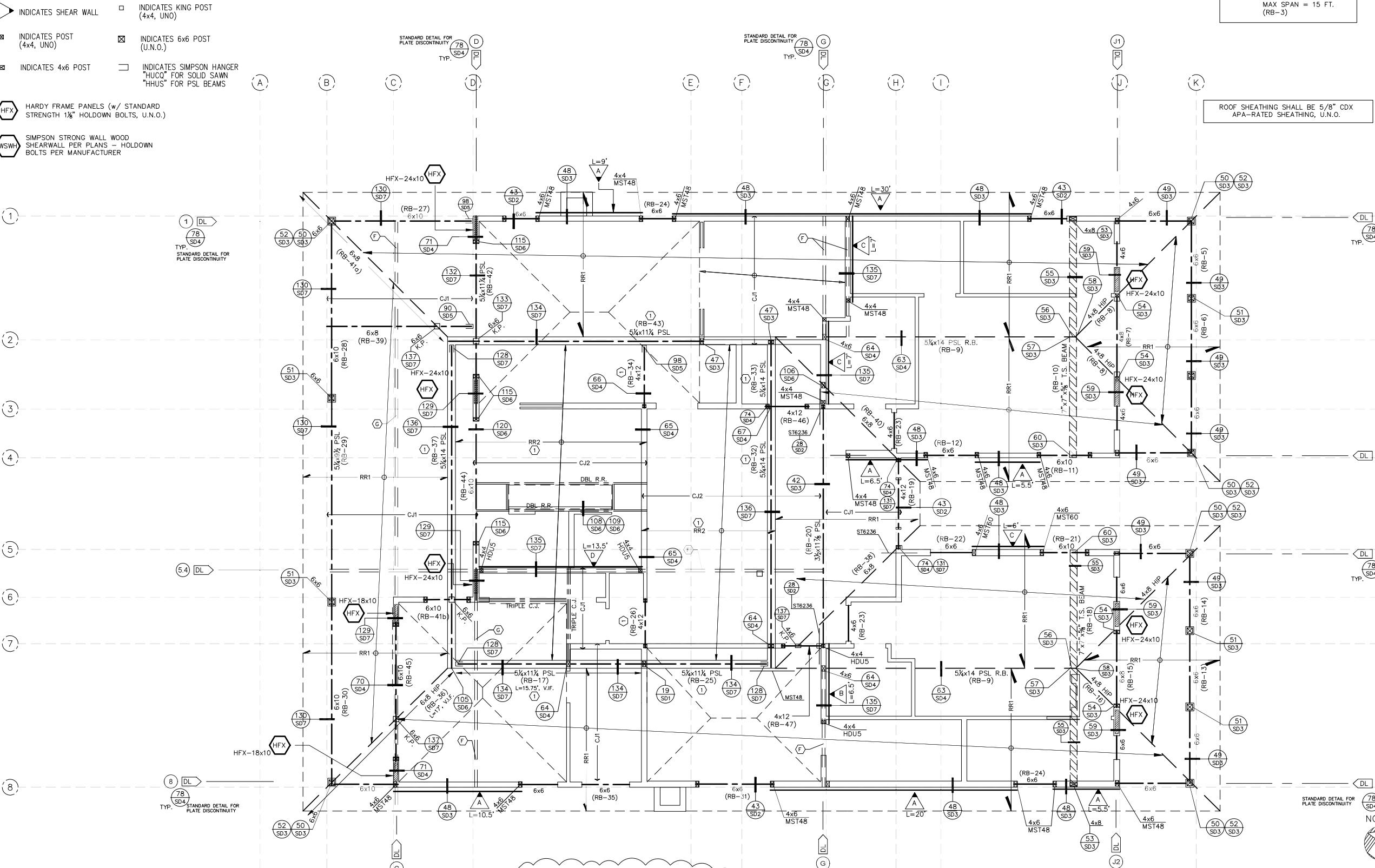
SHEET S3
 OF 14 SHEETS

SCALE 1/4"=1'-0"

1

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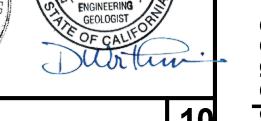
- △ INDICATES SHEAR WALL
- INDICATES KING POST (4x4, UNO)
- ☒ INDICATES POST (4x4, UNO)
- ☒ INDICATES 6x6 POST (UNO)
- ☒ INDICATES 4x6 POST
- INDICATES SIMPSON HANGER "HUCO" FOR SOLID SAWN "HHUS" FOR PSL BEAMS
-  HARDY FRAME PANELS (w/ STANDARD STRENGTH 1/8" HOLDOWN BOLTS, U.N.O.)
-  SIMPSON STRONG WALL WOOD SHEARWALL PER PLANS - HOLDOWN BOLTS PER MANUFACTURER

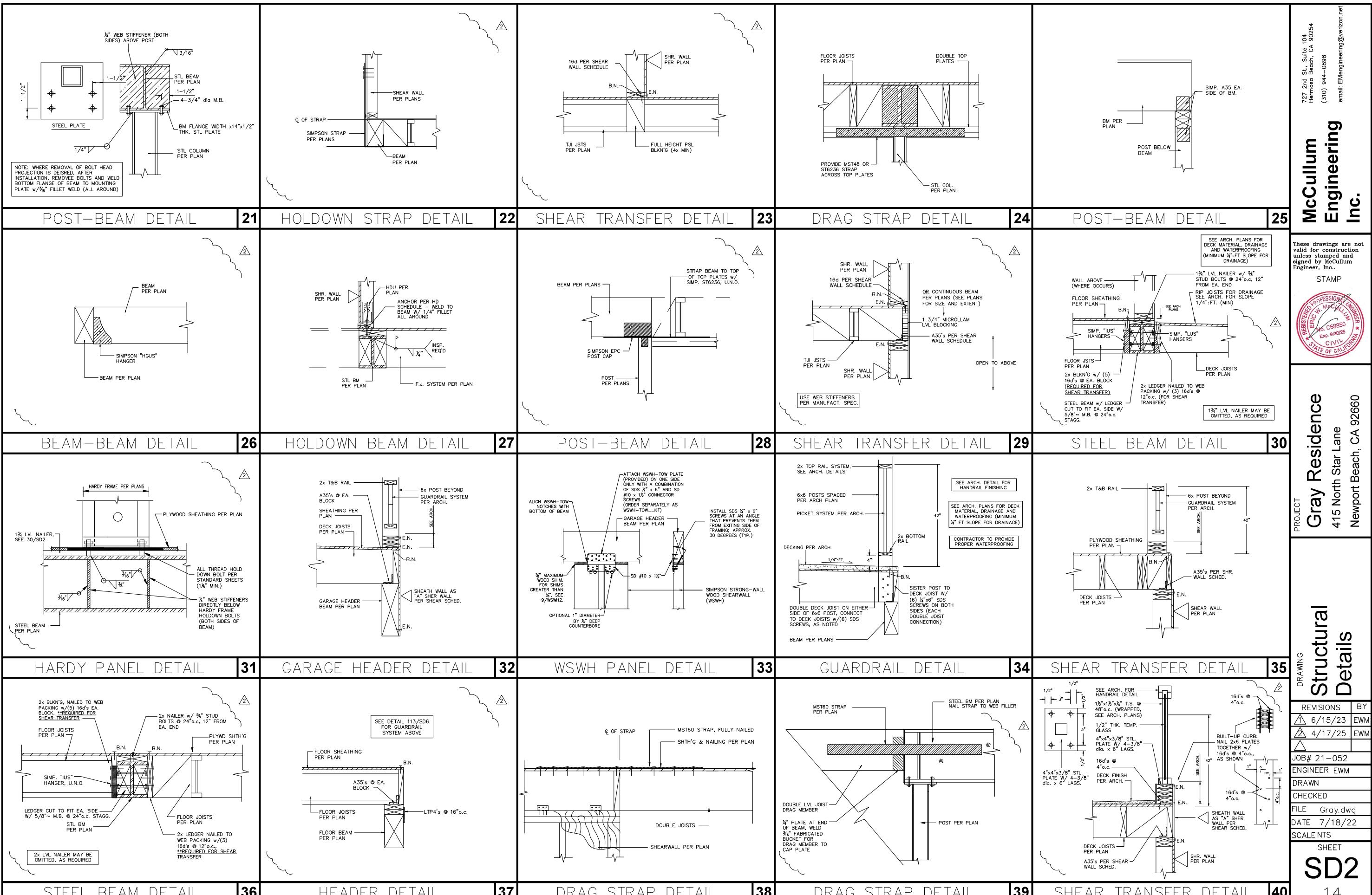


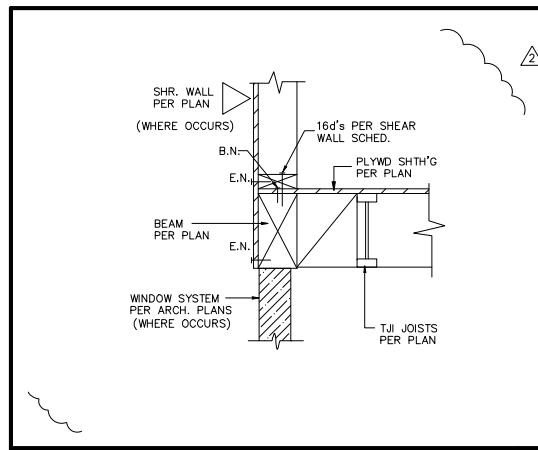
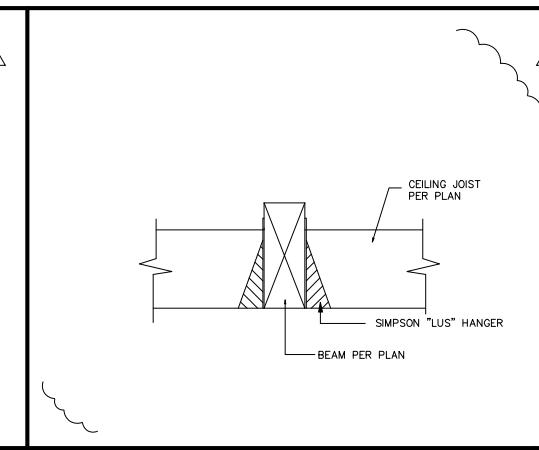
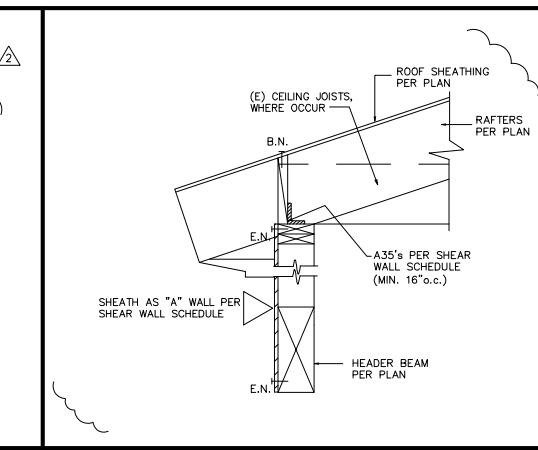
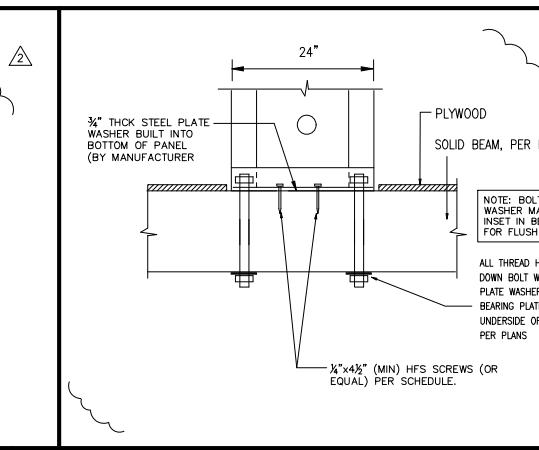
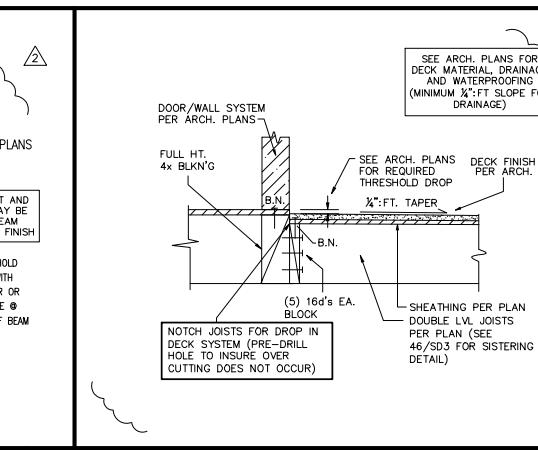
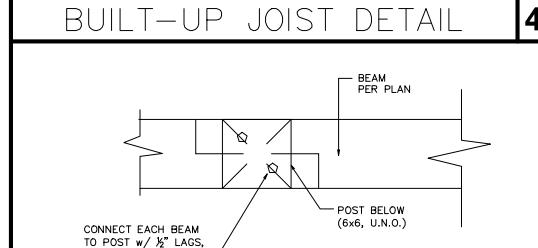
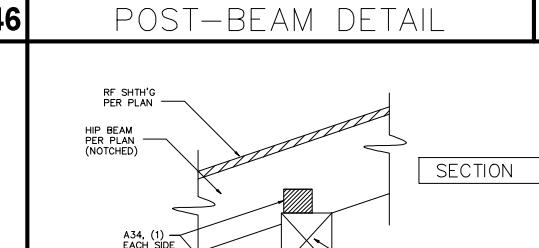
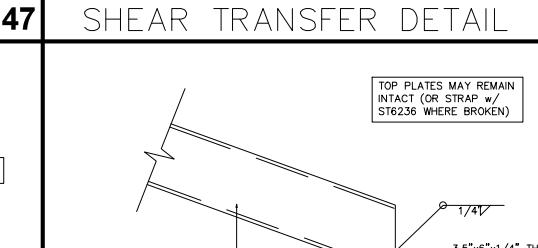
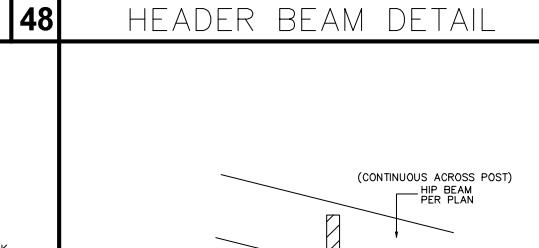
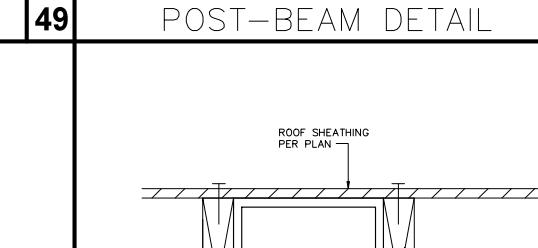
SCALE 1/4"=1'-0"

1

FOOTING DETAIL 1	HOLDOWN DETAIL 2	HOLDOWN DETAIL 3	FOOTING DETAIL 4	HOLDOWN DETAIL 5
			INTENTIONALLY BLANK	INTENTIONALLY BLANK
HOLDOWN-BEAM DETAIL 6	FOOTING DETAIL 7	STAIR DETAIL 8		
INTENTIONALLY BLANK				
11	POST-BASE DETAIL 12	INTENTIONALLY BLANK	13	14
				INTENTIONALLY BLANK
16	17	18	19	20
14	14	14	14	14





				
SHEAR TRANSFER DETAIL 41	CEILING BEAM DETAIL 42	ROOF BEAM DETAIL 43	HARDY PANEL DETAIL 44	DECK JOIST DETAIL 45
				
BUILT-UP JOIST DETAIL 46	POST-BEAM DETAIL 47	SHEAR TRANSFER DETAIL 48	HEADER BEAM DETAIL 49	POST-BEAM DETAIL 50
POST-BEAM DETAIL 51	HIP-BEAM DETAIL 52	BENT STEEL BEAM DETAIL 53	POST-HIP DETAIL 54	STEEL BEAM DETAIL 55
BENT STEEL BEAM DETAIL 56	BEAM-BEAM DETAIL 57	BENT STEEL BEAM DETAIL 58	HARDY PANEL DETAIL 59	BENT STEEL BEAM DETAIL 60

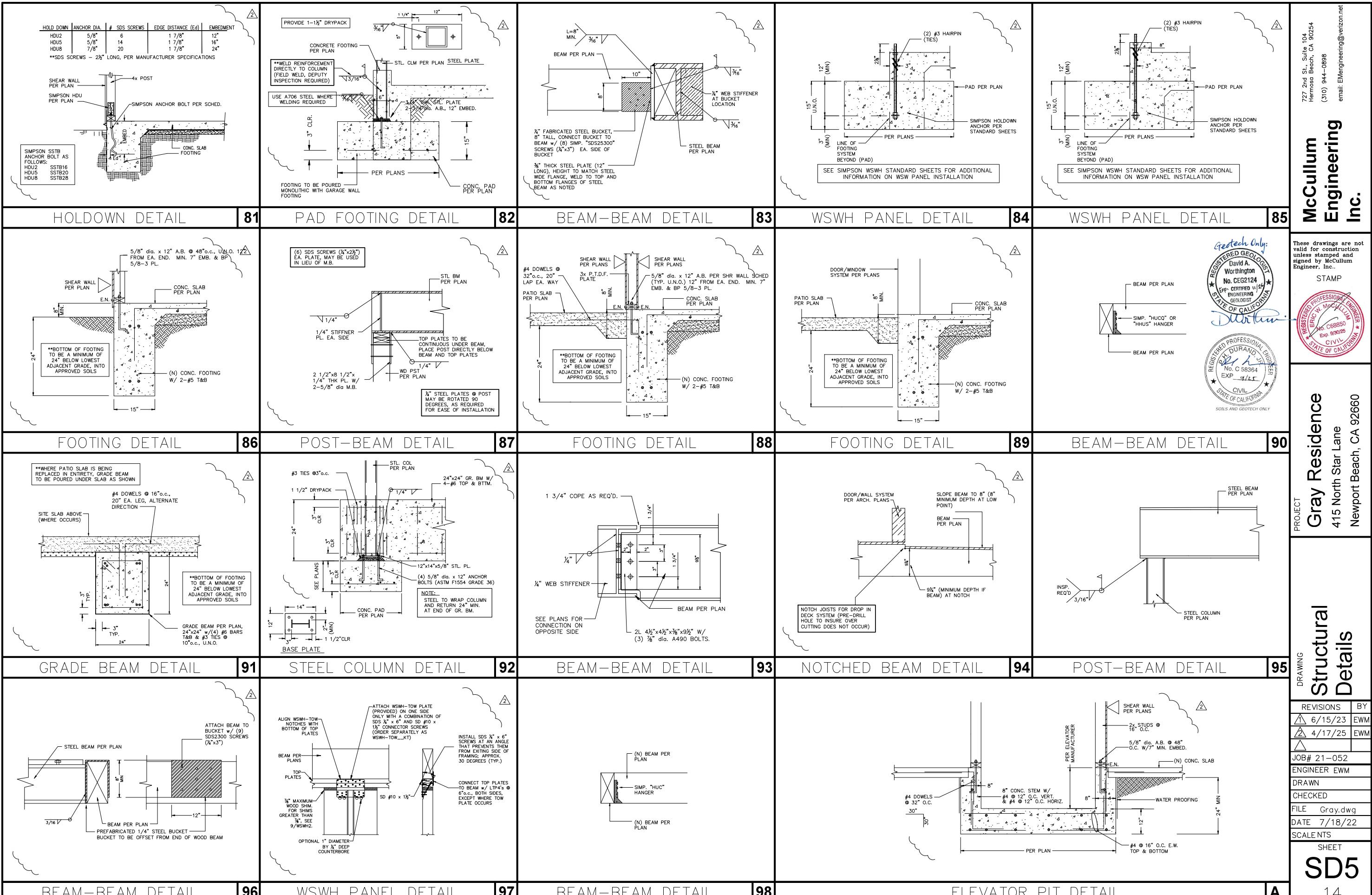
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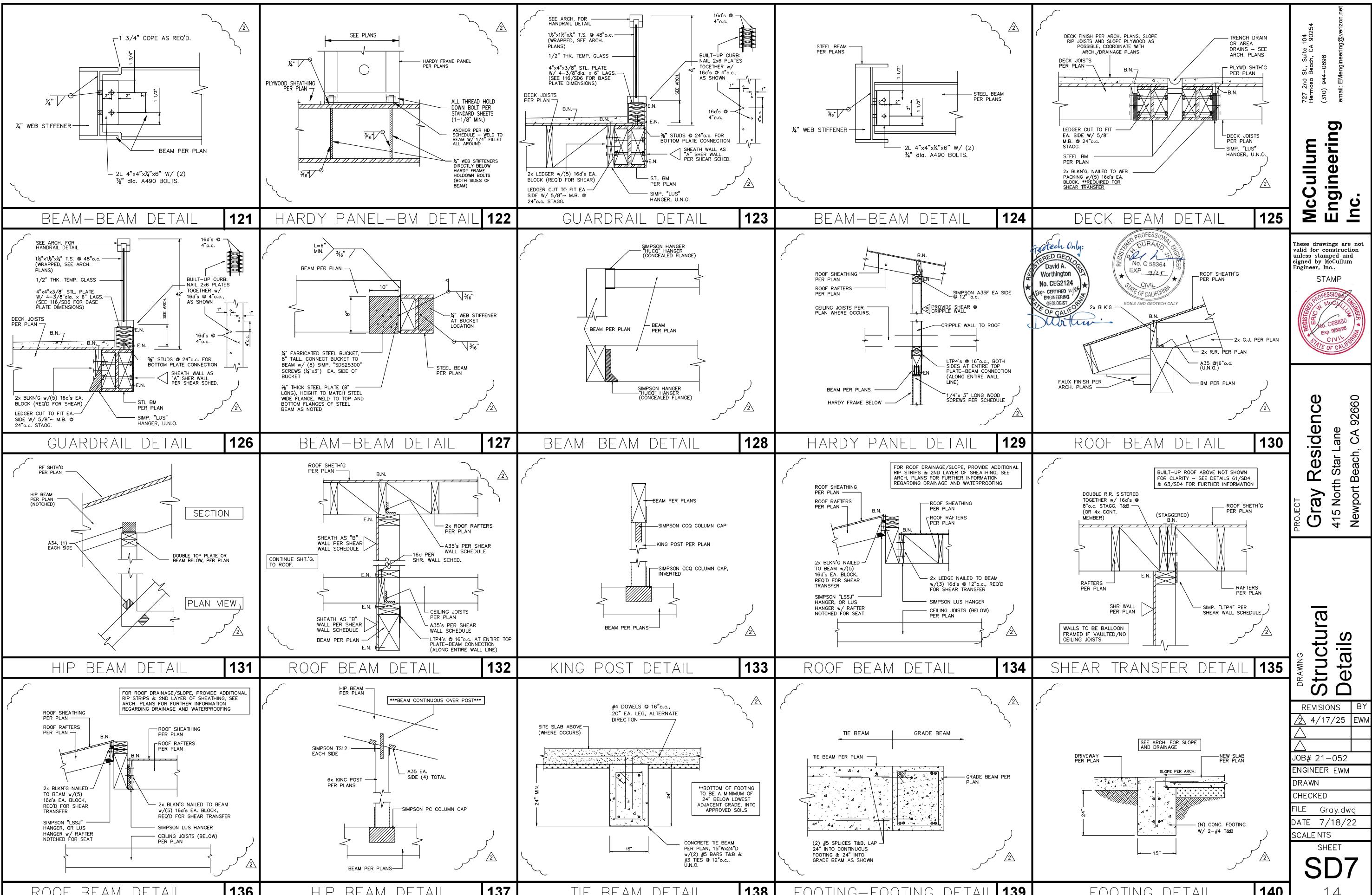


PROJECT
Gray Residence
415 North Star Lane
Newport Beach, CA 92660
DRAWING
Structural
Details

REVISIONS	BY
6/15/23	EWM
4/17/25	EWM
JOB# 21-052	
ENGINEER EWM	
DRAWN	
CHECKED	
FILE Gray.dwg	
DATE 7/18/22	
SCALENTS	
SHEET SD4	
OF 14	SHETS



SHEAR TRANSFER DETAIL 101 	SHEAR TRANSFER DETAIL 102 	FLOOR BEAM DETAIL 103 	FOOTING DETAIL 104 	ROOF BEAM DETAIL 105
HIP BEAM DETAIL 106 	FOOTING DETAIL 107 	SKYLIGHT DETAIL 108 	SKYLIGHT DETAIL 109 	SHEAR TRANSFER DETAIL 110
SHEAR TRANSFER DETAIL 111 	SLAB DETAIL 112 	GUARDRAIL DETAIL 113 	GUARDRAIL DETAIL 114 	POST-BEAM DETAIL 115
GUARDRAIL DETAIL 116	FLOOR BEAM DETAIL 117	BEAM-BEAM DETAIL 118	JOSIT-BEAM DETAIL 119	ROOF BEAM DETAIL 120



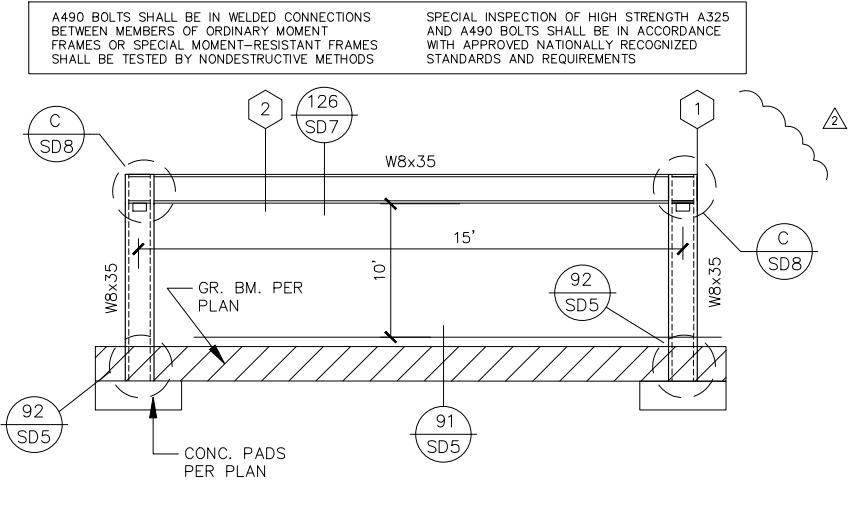
<p>F</p> <p>MOMENT FRAME ELEVATION – DRAG LINE Z</p> <p>NOTE: NTS. DIMENSIONS ARE APPROXIMATE, CONDITIONS TO BE VERIFIED IN FIELD PRIOR TO FABRICATION AND ASSEMBLY</p> <p>A490 BOLTS SHALL BE IN WELDED CONNECTIONS BETWEEN MEMBERS OF ORDINARY MOMENT FRAMES OR SPECIAL MOMENT-RESISTANT FRAMES SHALL BE TESTED BY NONDESTRUCTIVE METHODS</p> <p>SPECIAL INSPECTION OF HIGH STRENGTH A325 AND A490 BOLTS SHALL BE IN ACCORDANCE WITH APPROVED NATIONALLY RECOGNIZED STANDARDS AND REQUIREMENTS</p> 	<p>D</p> <p>MOMENT FRAME CONN.</p> <p>A</p> <p>MOMENT FRAME CONN.</p> <p>STIFFNERS BOTH SIDES (SAME THICKNESS OF BEAM FLANGE)</p> <p>STEEL BEAM PER PLAN</p> <p>STEEL COLUMN PER PLAN</p> <p>10' 15'</p> <p>GR. BM. PER PLAN</p> <p>CONC. PADS PER PLAN</p> <p>126 SD7</p> <p>91 SD5</p> <p>92 SD5</p> <p>92 SD8</p> <p>1</p> <p>2</p> <p>3</p> <p>4</p> <p>5</p> <p>6</p> <p>7</p> <p>8</p> <p>9</p> <p>10</p> <p>1/8"</p> <p>B</p> <p>DRAWING Structural Details</p> <p>REVISIONS 4/17/25</p> <p>BY EWM</p> <p>JOB# 21-052</p> <p>ENGINEER EWM</p> <p>DRAWN</p> <p>CHECKED</p> <p>FILE Gray.dwg</p> <p>DATE 7/18/22</p> <p>SCALENTS</p> <p>SD8</p> <p>ALL STEEL TO BE RED OXYDE PRIMED</p> <p>NAILER AS REQUIRED</p> <p>STIFFNERS BOTH SIDES (SAME THICKNESS OF BEAM FLANGE)</p> <p>STEEL BEAM PER PLAN</p> <p>STEEL COLUMN PER PLAN</p> <p>10</p> <p>9</p> <p>8</p> <p>7</p> <p>6</p> <p>5</p> <p>4</p> <p>3</p> <p>2</p> <p>1</p> <p>FOR ALL CONNECTION NOTES AND CALL OUTS REFERENCED DETAIL A/SD9</p> <p>WELDED CONNECTIONS BETWEEN MEMBERS OF ORDINARY MOMENT FRAMES OR SPECIAL MOMENT-RESISTANT FRAMES SHALL BE TESTED BY NONDESTRUCTIVE METHODS PER SECTION 1703.</p>	<p>C</p> <p>14</p> <p>OF</p> <p>McCullum Engineering Inc.</p> <p>727 2nd St., Suite 104 Hermosa Beach, CA 90254 (310) 944-0898 email: EMengineering@verizon.net</p> <p>These drawings are not valid for construction unless stamped and signed by McCullum Engineer, Inc.</p> <p>STAMP</p> <p>REGISTERED PROFESSIONAL ENGINEER ERIC W. McCULLUM CIVIL STATE OF CALIFORNIA Exp. 9/30/25</p> <p>Notes: 1. CJP groove weld at top and bottom flanges. At top flange, either (1) remove weld backing, backgouge, and add 5/16" minimum fillet weld; or (2) leave backing in place and add 5/16" fillet under backing. At bottom flange, remove weld backing, backgouge, and add 5/16" minimum fillet weld. Weld: QC-QA Category AH/T. 2. Weld access hole, see Figure 3-5 FEMA 350. 3. Provide non-backable weld tabs. Remove weld tabs after welding and grind end of weld length at weld access hole. 4. Shear tab of thickness equal to that of beam web. Shear tab length shall be so as to allow 1/8" overlap with the weld access hole at top and bottom, and the width shall extend 2" minimum back along the beam, beyond the end of the weld access hole. 5. Full-depth partial penetration from far side. Weld: QC-QA Category BM/T. 6. Filled weld shear tab to beam web. Weld size shall be equal to the thickness of the shear tab minus 1/16". Weld shall extend over the top and bottom one-third of the shear tab height and across the top and bottom. Weld: QC-QA Category BM/L. 7. Erection bolts: 2-3/4" dia. A325 BOLTS. 8. AISC minimum continuous fillet weld under buckling (3/8", U.N.O.) 9. CJP typical QC-QA Category BM/T. For exterior beam-column connections (beam one side only), weld of continuity plate to column flange at free side may be fillet welds at top and bottom face of plate. 10. AISC minimum continuous fillet weld under buckling.</p> <p>MOMENT FRAME CONNECTION PER FEMA 350 WUF-W</p>
<p>F</p> <p>MOMENT FRAME ELEVATION – DRAG LINE Z</p>	<p>D</p> <p>MOMENT FRAME CONN.</p> <p>B</p> <p>DRAWING Structural Details</p> <p>REVISIONS 4/17/25</p> <p>BY EWM</p> <p>JOB# 21-052</p> <p>ENGINEER EWM</p> <p>DRAWN</p> <p>CHECKED</p> <p>FILE Gray.dwg</p> <p>DATE 7/18/22</p> <p>SCALENTS</p> <p>SD8</p> <p>ALL STEEL TO BE RED OXYDE PRIMED</p> <p>NAILER AS REQUIRED</p> <p>STIFFNERS BOTH SIDES (SAME THICKNESS OF BEAM FLANGE)</p> <p>STEEL BEAM PER PLAN</p> <p>STEEL COLUMN PER PLAN</p> <p>10</p> <p>9</p> <p>8</p> <p>7</p> <p>6</p> <p>5</p> <p>4</p> <p>3</p> <p>2</p> <p>1</p> <p>FOR ALL CONNECTION NOTES AND CALL OUTS REFERENCED DETAIL A/SD9</p> <p>WELDED CONNECTIONS BETWEEN MEMBERS OF ORDINARY MOMENT FRAMES OR SPECIAL MOMENT-RESISTANT FRAMES SHALL BE TESTED BY NONDESTRUCTIVE METHODS PER SECTION 1703.</p>	<p>C</p> <p>14</p> <p>OF</p> <p>McCullum Engineering Inc.</p> <p>727 2nd St., Suite 104 Hermosa Beach, CA 90254 (310) 944-0898 email: EMengineering@verizon.net</p> <p>These drawings are not valid for construction unless stamped and signed by McCullum Engineer, Inc.</p> <p>STAMP</p> <p>REGISTERED PROFESSIONAL ENGINEER ERIC W. McCULLUM CIVIL STATE OF CALIFORNIA Exp. 9/30/25</p> <p>Notes: 1. CJP groove weld at top and bottom flanges. At top flange, either (1) remove weld backing, backgouge, and add 5/16" minimum fillet weld; or (2) leave backing in place and add 5/16" fillet under backing. At bottom flange, remove weld backing, backgouge, and add 5/16" minimum fillet weld. Weld: QC-QA Category AH/T. 2. Weld access hole, see Figure 3-5 FEMA 350. 3. Provide non-backable weld tabs. Remove weld tabs after welding and grind end of weld length at weld access hole. 4. Shear tab of thickness equal to that of beam web. Shear tab length shall be so as to allow 1/8" overlap with the weld access hole at top and bottom, and the width shall extend 2" minimum back along the beam, beyond the end of the weld access hole. 5. Full-depth partial penetration from far side. Weld: QC-QA Category BM/T. 6. Filled weld shear tab to beam web. Weld size shall be equal to the thickness of the shear tab minus 1/16". Weld shall extend over the top and bottom one-third of the shear tab height and across the top and bottom. Weld: QC-QA Category BM/L. 7. Erection bolts: 2-3/4" dia. A325 BOLTS. 8. AISC minimum continuous fillet weld under buckling (3/8", U.N.O.) 9. CJP typical QC-QA Category BM/T. For exterior beam-column connections (beam one side only), weld of continuity plate to column flange at free side may be fillet welds at top and bottom face of plate. 10. AISC minimum continuous fillet weld under buckling.</p> <p>MOMENT FRAME CONNECTION PER FEMA 350 WUF-W</p>
<p>G</p>	<p>E</p> <p>MOMENT FRAME CONN.</p>	<p>C</p>

TABLE 2304.10.1
FASTENING SCHEDULE

CONNECTION	FASTENING ¹	LOCATION
1. Joist to sill or girder	3 - 8d common (2 1/2" x 0.131") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	toenail
2. Bridging to joist	2 - 8d common (2 1/2" x 0.131") 2 - 3" x 0.131" nails 2 - 3" 14 gage staples	toenail each end
3. 1" x 6" subfloor or less to each joist	2 - 8d common (2 1/2" x 0.131")	face nail
4. Wider than 1" x 6" subfloor to each joist	3 - 8d common (2 1/2" x 0.131")	face nail
5. 2" subfloor to joist or girder	2 - 16d common (3 1/2" x 0.162")	blind and face nail
6. Sole plate to joist or blocking	16d (3 1/2" x 0.135") @ 16" o.c. 3" x 0.131" nails @ 8" o.c. 3" 14 gage staples @ 12" o.c. 3 - 16d (3 1/2" x 0.135") @ 16" 4 - 3" x 0.131" nails @ 16" 4 - 3" 14 gage staples per 16"	typical face nail
7. Top plate to stud	2 - 16d common (3 1/2" x 0.162") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	end nail
8. Stud to sole plate	4 - 8d common (2 1/2" x 0.131") 4 - 3" x 0.131" nails 3 - 3" 14 gage staples 2 - 16d common (3 1/2" x 0.162") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	toenail
9. Double studs	16d (3 1/2" x 0.135") @ 24" o.c. 3" x 0.131" nail at 8" o.c. 3" 14 gage staple at 8" o.c.	face nail
10. Double top plates Double top plates	16d (3 1/2" x 0.135") @ 16" o.c. 3" x 0.131" nail at 12" o.c. 3" 14 gage staple at 12" o.c. 8-16d common (3 1/2" x 0.162") 12-3" x 0.131" nails 12-3" 14 gage staples	typical face nail
11. Blocking between joists or rafters to top plate	3 - 8d common (2 1/2" x 0.131") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	toenail
12. Rim joist to top plate	8d (2 1/2" x 0.131") @ 6" o.c. 3" x 0.131" nail at 6" o.c. 3" 14 gage staple at 6" o.c.	toenail
13. Top plates, laps and intersections	2 - 16d common (3 1/2" x 0.162") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	face nail
14. Continuous header, two pieces	16d common (3 1/2" x 0.162") 16" o.c. along edge	
15. Ceiling joists to plate	3 - 8d common (2 1/2" x 0.131") 5 - 3" x 0.131" nails 5 - 3" 14 gage staples	toenail
16. Continuous header to stud	4 - 8d common (2 1/2" x 0.131")	toenail
17. Ceiling joists, laps over partitions (see Section 2308.10.4.1, Table 2308.10.4.1)	3 - 16d common (3 1/2" x 0.162") minimum, Table 2308.10.4.1 4 - 3" x 0.131" nails 4 - 3" 14 gage staples	face nail
18. Ceiling joists to parallel rafters (see Section 2308.10.4.1, Table 2308.10.4.1)	3 - 16d common (3 1/2" x 0.162") minimum, Table 2308.10.4.1 4 - 3" x 0.131" nails 4 - 3" 14 gage staples	face nail
19. Rafter to plate (see Section 2308.10.1, Table 2308.10.1)	3 - 8d common (2 1/2" x 0.131") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	toenail
20. 1" diagonal brace to each stud and plate	2 - 8d common (2 1/2" x 0.131") 2 - 3" x 0.131" nails 3 - 3" 14 gage staples	face nail
21. 1" x 8" sheathing to each bearing	3 - 8d common (2 1/2" x 0.131")	face nail
22. Wider than 1" x 8" sheathing to each bearing	3 - 8d common (2 1/2" x 0.131")	face nail
23. Built-up corner studs	16d common (3 1/2" x 0.162") 3" x 0.131" nails 3" 14 gage staples	24" o.c. 16" o.c. 16" o.c.
24. Built-up girder and beams	20d common (4" x 0.192") 32" o.c. 3" x 0.131" nail at 24" o.c. 3" 14 gage staple at 24" o.c. 2 - 20d common (4" x 0.192") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	face nail at top and bottom staggered on opposite sides
25. 2" planks	16d common (3 1/2" x 0.162")	at each bearing
26. Collar tie to rafter	3 - 16d common (3" x 0.148") 4 - 3" x 0.131" nails 4 - 3" 14 gage staples	face nail
27. Jack rafter to hip	3 - 16d common (3" x 0.148") 4 - 3" x 0.131" nails 4 - 3" 14 gage staples 2 - 16d common (3 1/2" x 0.162") 3 - 3" x 0.131" nails	toenail
28. Roof rafter to 2-by ridge beam	2 - 16d common (3 1/2" x 0.162") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples 2-16d common (3 1/2" x 0.162") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	toenail
29. Joist to band joist	3 - 16d common (3 1/2" x 0.162") 4 - 3" x 0.131" nails 4 - 3" 14 gage staples	face nail
30. Ledger strip	3 - 16d common (3 1/2" x 0.162") 4 - 3" x 0.131" nails 4 - 3" 14 gage staples	face nail

NOTES & SPECIFICATIONS

31. Wood structural panels and particleboard ¹ Subfloor, roof and wall sheathing (to framing)	1/2" and less 19/32" to 3/4"	6d c,1 8d or 6d e 2 3/8" x 0.113" nail p 2" 16 gage p	
Single Floor (combination subfloor - underlayment to framing)	7/8" to 1" 1 1/8" to 1 1/4"	8d c 10d or 8d d 6d e	
	7/8" to 1" 1 1/8" to 1 1/4"	8d e 10d or 8d e	
	1 1/8" to 1 1/4"	8d e	
		3000 PSI @ 28 DAYS	
		3500 PSI @ 28 DAYS	
		3500 PSI @ 28 DAYS	
		3000 PSI @ 28 DAYS	
		3000 PSI @ 28 DAYS	
		3000 PSI @ 28 DAYS	
		3000 PSI @ 28 DAYS	

CONCRETE

- 1) ALL PHASES OF WORK PERTAINING TO CONCRETE CONSTRUCTION SHALL CONFORM TO 2019 CBC CHAPTER 19 (BASED ON ACI-318, LATEST ADOPTED EDITION) FOR REINFORCED CONCRETE.
- 2) MINIMUM ULTIMATE COMPRESSIVE CONCRETE STRENGTHS ('c) SHALL BE:
SLAB ON GRADE 3000 PSI @ 28 DAYS
STRUCTURAL DECK 3500 PSI @ 28 DAYS
COLUMNS 3500 PSI @ 28 DAYS
FOOTINGS 3000 PSI @ 28 DAYS
CONCRETE/GRADE BEAMS 3000 PSI @ 28 DAYS
CAISSESS 3000 PSI @ 28 DAYS
POST TENSION SLABS 3000 PSI @ 28 DAYS

- 3) CONTINUOUS INSPECTION BY AN APPROVED DEPUTY INSPECTOR IS REQUIRED FOR CAISSESS, GRADE BEAMS, STRUCTURAL SLABS, AND OTHER CONCRETE MEMBERS WHERE DESIGN COMPRESSIVE STRENGTH VALUE EXCEEDS 2500 PSI.

- 4) CEMENT SHALL BE TYPE I, LOW ALKALI, CONFORMING TO A.S.T.M. C-150. THE CONCRETE MIX DESIGN SHALL ADDRESS BLEEDING, SHRINKAGE AND CURLING AS DESCRIBED IN ACI 302.24-06., TO BE APPROVED BY E.O.R.

- 5) ALL PRIMARY REINFORCEMENT SHALL BE PER ASTM A-615, GRADE 60 ksi STEEL. ALL TIES AND STIRRUPS SHALL CONFORM TO A.S.T.M. A-615, GRADE 60 ksi STEEL.

- 6) UNLESS NOTED OTHERWISE, SPLICES OF REINFORCING SHALL BE LAPPED A MINIMUM OF 40 BAR DIAMETERS AND SECURELY WIRED TOGETHER, USING A MINIMUM OF 16 GA. WIRE. SPLICES OF ADJACENT REINFORCING BARS SHALL BE STAGGERED WHEREVER POSSIBLE. WHERE SPECIFICALLY CALLED OUT, WELDING OF REINFORCING BARS SHALL BE PERFORMED BY A CERTIFIED WELDER USING E90 SERIES ELECTRODES PER AWS D1.4, LATEST EDITION.

- 7) INTERIOR CONCRETE SLABS ON GRADE SHALL HAVE A STEEL TROWEL FINISH. DRIVEWAYS, WALKS, AND GARAGE SLABS SHALL HAVE A BROOM FINISH AND SHALL BE PITCHED TO SHED WATER.

- 8) PRIOR TO POURING INTERIOR CONCRETE FLOOR SLABS, ALL SOIL BELOW FLOOR SHALL BE COMPAKTED TO REQUIRED DENSITY AND MOISTENED TO A DEPTH NOT LESS THAN 18" OR PER SOILS REPORT.

- 9) CLEAR COVERAGE OF CONCRETE OVER REINFORCING BARS, ANCHOR BOLTS, AND ALL OTHER CONCRETE INSERTS, UNLESS OTHERWISE SPECIFIED, SHALL BE AS FOLLOWS:
POURED AGAINST EARTH 3" CLEAR
FORMED CONCRETE 2" CLEAR

- 10) FORMS FOR CONCRETE SHALL BE LAID OUT AND CONSTRUCTED TO PROVIDE THE SPECIFIED CAMBERS SHOWN ON THE DRAWINGS. DECK CAMBERING SHOWN ON PLANS IS INTENDED TO PROVIDE A LEVEL DECK. ANY SLOPING FOR DRAINAGE SHALL BE ADDED OR SUBTRACTED FROM CAMBERING AS APPROPRIATE. THE DECK THICKNESS SHALL NOT BE REDUCED IN ORDER TO ACHIEVE DECK SLOPES.

- 11) DRYPACK UNDER BASEPLATES, SILL PLATES, AND WHERE OTHERWISE NOTED ON DRAWINGS SHALL CONSIST OF APPROVED NON-SHRINK HIGH STRENGTH GROUT. WHEN SPACE BETWEEN TWO SURFACES REQUIRES DRYPACK, IT SHALL BE PACKED BY TAMPING OR RAMMING WITH A BAR OR ROD UNTIL THE VOIDS ARE COMPLETELY FILLED.

- 12) PLACEMENT OF CONCRETE SHALL CONFORM TO A.C.I. STANDARD 614 AND PROJECT SPECIFICATIONS. WIRE BRUSH OR SANDBLAST ALL CONCRETE SURFACES AGAINST WHICH CONCRETE IS TO BE PLACED.

- 13) IF COLUMNS AND WALLS ARE PLACED WITH FLOORS, MINIMUM TIME OF TWO HOURS MUST ELAPSE BETWEEN END OF COLUMN OR WALL POUR AND BEGINNING OF FLOOR POUR.

- 14) PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING. DO NOT CUT ANY REINFORCING WHICH MAY CONFLICT. COPING IN CONCRETE IS NOT PERMITTED, EXCEPT AS SHOWN. NOTIFY THE PROJECT STRUCTURAL ENGINEER IN ADVANCE OF CONDITIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS.

- 15) COVER TO BEAM REINFORCEMENT TO BE 2" MINIMUM, UNLESS NOTED OTHERWISE.

- 16) ARCHITECTURAL DRAWINGS TO BE REFERRED TO FOR DECK SLOPES, DRAINAGE, PLUMBING, FRAMING AND ELECTRICAL HARDWARE.

- 17) REINFORCEMENT CALLED OUT IN DETAILS SHALL BE IN ADDITION TO THAT SHOWN ON PLANS (U.N.O.). REINFORCING METHODS SHOWN IN DETAILS SHALL BE USED AS APPLICABLE.

- 18) WHEN A MONOLITHIC POUR IS NOT POSSIBLE, CONSTRUCTION JOINTS SHALL BE APPROVED BY THE PROJECT STRUCTURAL ENGINEER.

- 19) SHORING SHALL NOT BE REMOVED UNTIL CONCRETE HAS ACHIEVED MINIMUM 28 DAY COMPRESSIVE STRENGTH. FIFTEEN DAYS AFTER CONCRETE POUR IS COMPLETED THE PROJECT STRUCTURAL ENGINEER MAY DETERMINE, BASED ON COMPRESSION TESTS, IF SHORING MAY BE REMOVED.

- 20) ALL DECK SURFACES EXPOSED TO WEATHER SHALL BE WATERPROOFED. SEE ARCHITECTURAL DOCUMENTS FOR SPECIFICATIONS.

- 21) PER 2019 CBC SECTION 1704.4, SPECIAL DEPUTY INSPECTION IS REQUIRED FOR ALL EPOXY-ADHESIVE INSTALLATION OF ANCHOR BOLTS OR REINFORCING BARS INTO EXISTING CONCRETE. NON-SHRINK GROUT INSTALLATION OF REINFORCING BAR DOWELS (e.g. NEW SLAB TO EXISTING FOOTING) DOES NOT REQUIRE SPECIAL INSPECTION.

- 22) GROUT: GROUT BENEATH COLUMN BASES OR BEARING PLATES SHALL BE 5000 psi MINIMUM NON-SHRINK DRY PACK MATERIAL. FLOWABLE GROUT MAY BE USED WITH EOR APPROVAL. AT BEAMS, INSTALL GROUT UNDER BEARING PLATES BEFORE MEMBER IS INSTALLED. AT COLUMNS, INSTALL GROUT UNDER BASE PLATES AFTER COLUMN HAS BEEN PLUMBED BUT PRIOR TO FLOOR OR ROOF INSTALLATION. GROUT DEPTH SHALL BE SUFFICIENT TO ALLOW GROUT OR DRY PACK TO BE PLACED.

CONCRETE (continued)

- 22) CONCRETE SHALL BE THOROUGHLY CONSOLIDATED IN A MANNER THAT WILL ENCASE THE REINFORCEMENT AND INSERTS, FILL THE FORMS, AND PRODUCE A SURFACE OF UNIFORM TEXTURE FREE OF ROCK POCKETS AND EXCESSIVE VOIDS. CONCRETE SHALL BE CONSOLIDATED BY MEANS OF HIGH FREQUENCY INTERNAL VIBRATORS WITHOUT CAUSING WATER OR CEMENT PASTE TO FLUSH TO THE SURFACE. INTERNAL VIBRATORS TYPE, SIZE, AND NUMBER SHALL BE APPROVED BY THE ENGINEER.
- 23) ALL CONNECTORS AND METAL HARDWARE IN CONTACT WITH PRESSURE TREATED TIMBER SHALL HAVE CORROSION RESISTANT COATINGS OR PROTECTION, SUCH AS "ZMAX", HOT DIPPED GALVANIZED, OR BE STAINLESS STEEL.

2019 CALIFORNIA BUILDING CODE SHEARWALL SCHEDULE 1-1-2019 (w/ 2019 LARUCP Amendments)

SHEAR-WALL NOTATION	STRUCTURAL I-PIRATED WOOD STRUCTURAL PANEL THICKNESS	COMMON NAIL SPACING @ BOUNDARIES & EDGES (B.N. & E.N.)	ALLOWABLE SHEAR FT (WOOD STUDS @16" o.c., U.N.O.)	SLIDING ANCHOR SYSTEM			
				FIELD NAILING @ 12" O.C.	(REDUCED BY 25%)	5/8" A.B. SPACING	A35 OR LTP4 FRAMING CLIP SPACING
A	15/32"	8d @ 6" o.c.	210#/FT.	48"	24"	6"	12"
B	15/32"	8d @ 4" o.c.	320#/FT.	48"	16"	4"	9"
C	15/32"	8d @ 3" o.c.	410#/FT.	44"	12"	3"	6"
D	15/32"	8d @ 2" o.c.	540#/FT.	32"	9"	SEE LAG SPACING → 5"	