



**CITY OF NEWPORT BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION ACTION REPORT**

TO: CITY COUNCIL, CITY MANAGER, AND PLANNING COMMISSION  
FROM: Jaime Murillo, Acting Community Development Director  
SUBJECT: Report of actions taken by the Zoning Administrator, and/or Community Development Director for the week ending December 19, 2025.

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**COMMUNITY DEVELOPMENT DIRECTOR  
OR ZONING ADMINISTRATOR ACTIONS**  
(Non-Hearing Items)

Item 1: Greaves Residence Staff Approval for Minor Change to Modification Permit (PA2025-0227)  
Site Address: 910 Kings Road

Action: Approved

Council District 2

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.



COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION  
100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915  
949-644-3200  
[www.newportbeachca.gov](http://www.newportbeachca.gov)

## **COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER**

**Subject:** Greaves Residence (PA2025-0227)  
▪ Staff Approval

**Site Location:** 910 Kings Road

**Applicant:** Christopher Greaves

**Legal Description:** Lot 10 of Block G of Tract 1219

On **December 19, 2025**, the Community Development Director approved the staff approval filed as PA2025-0227, authorizing a minor change to the modification permit filed as PA2025-0157. The modification permit allowed a 515-square-foot addition to an existing single-unit dwelling with an attached, legally nonconforming, two-car garage. The proposed change will allow for an additional 118 square feet beyond the original approval to accommodate an expanded entry area.

### **LAND USE AND ZONING**

- **General Plan Land Use Plan Category:** Single Unit Residential Detached (RS-D)
- **Zoning District:** Single-Unit Residential (R-1)

### **I. BACKGROUND AND PROPOSED CHANGES**

On September 25, 2025, the Zoning Administrator adopted Resolution No. ZA 2025-059 (Attachment No. CD 2) approving a modification permit allowing a 515-square-foot (15%) addition to an existing 2,912-square-foot, two-story, single-unit dwelling with an attached 422-square-foot two-car garage. The existing garage provides the minimum Newport Beach Municipal Code (NBMC) required depth of 20 feet; however, its width is substandard at 19 feet, 8 inches, where 20 feet is required, and is therefore considered nonconforming. A modification permit was required pursuant to Section 20.38.060 (Nonconforming Parking) of the NBMC as the applicant is proposing an addition greater than 10% of the dwelling's existing gross floor area without altering the garage for compliance with current standards.

The proposed changes include increasing the addition by 118 square feet to accommodate an expanded entry area. This would increase the total addition to 633 square feet (19%), resulting in a total gross floor area of 3,967 square feet.

This approval is based on the following findings and is subject to the following conditions.

## II. FINDINGS

The Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of the approved use without a public hearing subject to the findings provided in Section 20.54.070(B)(1) of the NBMC. In this case, the Community Development Director has determined that the proposed changes are in substantial conformance with modification permit filed as PA2025-0157.

### Finding:

A. *The changes are consistent with all applicable provisions of this Zoning Code.*

### Facts in Support of Finding:

1. The subject property is located within the Single-Unit Residential (R-1) Zoning District and is categorized as Single Unit Residential Detached (RS-D) by the land use element of the general plan. These designations are intended to provide for areas appropriate for the development of detached single-family residential dwelling units, each located on a single legal lot. The proposed changes do not alter the project's land use and the project remains consistent with the intent of these designations.
2. With the exception of garage width, the project conforms to all other applicable development standards including floor area limit, setbacks, height, number of off-street parking spaces, and parking space depth.

### Finding:

B. *The changes do not involve a feature of the project that was a basis for or subject of findings or exemptions in a negative declaration or Environmental Impact Report for the project.*

### Facts in Support of Finding:

1. The original project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.
2. The Class 3 exempts the demolition of up to three single-unit dwellings and additions to existing structures of up to 10,000 square feet. The proposed changes results in a 633-square-foot addition to an existing single-unit dwelling within a developed neighborhood. Therefore, the Class 3 exemption is applicable.

Finding:

- C. *The changes do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.*

Fact in Support of Finding:

1. Condition of approval No. 6 of the approved modification permit specifies that any change to the approved plans, including addition beyond the approved scope of work, requires review by the Planning Division and that significant changes may require an amendment to or the processing of a new modification permit. This condition is intended to allow a staff level review to determine whether a proposed change would remain consistent with the intent of the approved modification permit. The basis for approving the modification permit was that increasing the garage width by four inches to meet the 20-foot requirement would significantly increase the scope and cost of the project while providing negligible benefit, as the garage would still function as a two-car garage. Therefore, allowing an addition beyond 10% was deemed appropriate. While the change increased the addition by 115 square feet, the project remains consistent with the intent of the modification permit.

Finding:

- D. *The changes do not result in an expansion or change in operational characteristics of the use*

Fact in Support of Finding:

1. The approved modification permit authorized an addition to an existing single-unit dwelling. The proposed changes will allow for a larger addition but does not result in a change to the density or the use of the property.

**III. CONDITIONS**

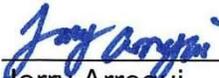
1. All previous conditions of approval for the Modification Permit filed as PA2025-0157 shall remain in full force and effect.
2. The development authorized by this Staff Approval shall be in substantial conformance with the approved project plans (Attachment No. CD 3)
3. The Community Development Director may add or modify conditions to this staff approval or revoke this staff approval upon determination that the addition, which is the subject of this staff approval, causes injury, or is detrimental to the public health,

safety, peace, or general welfare of the community if the property is operated or maintained so as to constitute a public nuisance.

**APPEAL PERIOD:** An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within 14 days following the date the action or decision was rendered. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:

Approved by:



Jerry Arregui  
Assistant Planner



Jaime Murillo, AICP  
Acting Community Development Director

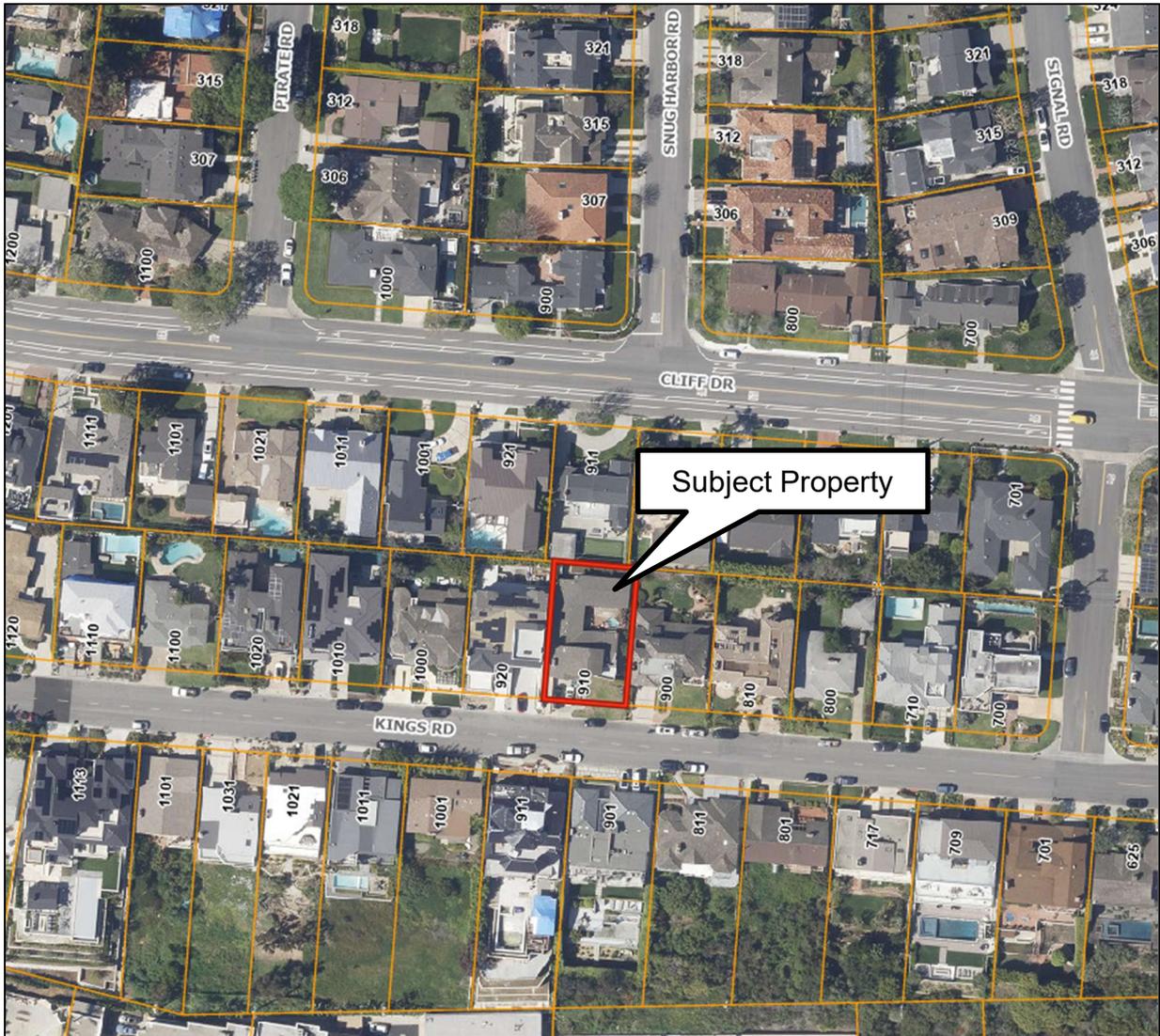
JP/ja

- Attachments:
- CD 1 Vicinity Map
  - CD 2 Resolution No. ZA2025-059
  - CD 3 Project Plans

# **Attachment No. CD 1**

Vicinity Map

# VICINITY MAP



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Staff Approval (PA2025-0227)

**910 Kings Road**

# **Attachment No. CD 2**

Resolution No. ZA2025-059

## RESOLUTION NO. ZA2025-059

### **A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA, APPROVING A MODIFICATION PERMIT FOR AN ADDITION GREATER THAN 10 PERCENT TO A SINGLE-UNIT DWELLING WITH A LEGAL NONCONFORMING GARAGE LOCATED AT 910 KINGS ROAD (PA2025-0157)**

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Christopher Greaves (Applicant), with respect to property located at 910 Kings Road, and legally described as Lot 10 of Block G of Tract 1219 (Property).
2. The Applicant requests a modification permit to allow a 515 square-foot addition to an existing 2,912 square-foot, two-story, single-unit dwelling with an attached 422 square-foot two-car garage that is considered legal nonconforming due to its interior dimensions. The existing garage provides the minimum required depth; however, the existing width is substandard at 19 feet, 8 inches, where the requirement is 20 feet. A modification permit is required pursuant to Section 20.38.060 (Nonconforming Parking) of Newport Beach Municipal Code (NBMC) as the Applicant proposes an addition greater than 10% of the existing gross square footage of the dwelling without altering the garage for compliance (Project). The Project meets all other applicable development standards, and no other deviations are requested.
3. The Property is designated Single Unit Residential Detached (RS-D) by the General Plan Land Use Element and is located within the Single-Unit Residential (R-1) Zoning District.
4. The Property is not located within the coastal zone.
5. A public hearing was held on September 25, 2025, online via Zoom. A notice of time, place and purpose of the hearing was given in accordance with Chapter 20.62 (Public Hearings) of the NBMC. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

#### SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.

2. The Class 3 exempts the demolition of up to three single-unit dwellings and additions of up to 10,000 square feet to existing structures. The Project is remodel and 515-square-foot addition to an existing single-unit dwelling within a developed neighborhood. Therefore, the Class 3 exemption is applicable.
3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The Project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

### SECTION 3. REQUIRED FINDINGS.

#### ***Modification Permit***

In accordance with Section 20.52.050(E) (Modification Permits – Required Findings) of the NBMC, the following findings and facts in support of such findings are set forth:

#### Finding:

- A. *The requested modification will be compatible with existing development in the neighborhood.*

#### Facts in Support of Finding:

1. The Property is developed with a 2,912-square-foot, two-story, single-unit dwelling with an attached 422-square-foot two-car garage. The modification permit will allow for a 515-square-foot addition to the first floor of an existing two-story, single-unit dwelling to accommodate an expanded kitchen and dining area, and an expansion to the master bedroom walk-in closet. The Project results in a total interior living area of 3,397 square feet.
2. The surrounding neighborhood is comprised of single-, two- and three-story, single-unit dwellings which are between 3,000 to 6,000 square feet in size. The addition is proposed on the first floor of a two-story dwelling which conforms with all other applicable development standards, including, but not limited to, floor area limit, setbacks, and height. The Project will be consistent with the size and height of other dwellings in the neighborhood.
3. Table 3-10 (Off-Street Parking Requirements) of Section 20.40.040 (Off-Street Parking Spaces Required) of the NBMC requires a minimum of two parking spaces, in a garage, for a detached single-unit dwelling with less than 4,000 square feet of habitable area. The Project includes a nonconforming two-car garage that will continue to provide the minimum number of required parking spaces.

4. Pursuant to Table 3-14 (Minimum Interior Dimensions) of Section 20.40.090 (Parking Standards for Residential Uses) of the NBMC, residential properties with lot width exceeding 40 feet require a two-car garage to provide a minimum interior dimension of 20-feet wide by 20-feet deep. However, on lots that are 30 feet wide or less, only a 17-foot, 6-inch wide and 19-feet deep garage is required. The Property is approximately 65 feet wide and therefore requires a 20-foot by 20-foot garage. The Project maintains a nonconforming two-car garage that is 19 feet, 8 inches wide by 20 feet, 1 inch deep which is adequately sized for the parking of two vehicles. The Property will continue to provide the same amount of off-street parking as other similar sized dwellings in the neighborhood.
5. The Project will not result in a change to the density or the use of the Property.

Finding:

- B. *The granting of the modification permit is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.*

Facts in Support of Finding:

1. Section 20.38.060 (Nonconforming Parking) of the NBMC specifies that residential developments are considered to have nonconforming parking if the developments do not have the required number or type of parking spaces or because amendments to the NBMC have changed the dimensions of required parking spaces subsequent to the original construction. The existing single-unit dwelling was built in 1955 and is in conformance with the development standards at the time of construction, including parking. As a result of the amendments to Title 20 (Planning and Zoning) of the NBMC in 2010, a 20-foot width and 20-foot depth is now required for a two-car garage and the dwelling is considered to be legal nonconforming for parking.
2. The proposed addition and remodel does not include any changes to the attached garage. Modifying the garage walls for compliance with the 20-foot width requirement would require the relocation of the left side garage wall footing, widening the garage slab, widening the driveway, and reframing the garage wall and roof. Altering the garage width by 4 inches to meet the 20-foot requirement would significantly increase the scope and cost of the Project while providing negligible benefits as the garage can still accommodate the parking of two vehicles with the current width.
3. The granting of the modification permit is necessary to allow an addition of 15% to an existing single-unit dwelling that was constructed in compliance with garage standards in effect at the time of original construction. Although the existing garage width dimension is not in compliance with current development standards, it is adequate in size for the parking of two vehicles.

Finding:

- C. *The granting of the modification permit is necessary due to practical difficulties associated with the property and the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code.*

Facts in Support of Finding:

1. A strict application of the NBMC would require the relocation of the left garage wall by 4 inches to achieve the 20-foot width requirement which would subsequently require widening the garage slab, widening of the driveway and reframing of the garage wall and roof, adding significant scope and cost to the Project.
2. The purpose and intent of the NBMC's parking requirements is for single-unit dwellings under 4,000 square feet of livable area to provide a garage that accommodates the parking of two vehicles. Although the existing garage has substandard width, the garage still provides an area suitable for the parking of two vehicles, consistent with the intent of the parking requirement for single-unit dwellings.

Finding:

- D. *There are no alternatives to the modification permit that could provide similar benefits to the applicants with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.*

Facts in Support of Finding:

1. Modifying the garage for compliance with current interior garage dimension requirements would provide a negligible benefit and would unreasonably require significant alterations to the garage, which is beyond the scope of the planned addition and alterations. If the garage is brought into compliance with the required garage dimensions, the number of parking spaces provided would not increase and would not provide additional off-street parking. The 19-foot 8-inch garage width has not proven to be detrimental to any neighboring properties.
2. The Applicant intends to create additional kitchen and dining space and additional storage in the master bedroom closet for total increase of 515 square feet. An alternative to the project would be to reduce the size of the addition from 515 to 333 square feet, 10% of the existing gross-floor area of the structure, as authorized by Subsection 20.38.060(A) of the NBMC. However, this alternative would significantly reduce the amount of addition, impact the objectives of the Project and would not provide similar benefits to the Applicant.
3. Although the width of the garage does not meet the minimum 20-foot requirement, there is adequate space in the garage to accommodate two vehicles. The 19-foot 8-inch garage width has not proven to be detrimental to the occupants of the dwelling or any neighboring properties.

Finding:

- E. *The granting of the modification permit would not be detrimental to public health, safety, or welfare, to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.*

Facts in Support of Finding:

1. Fact 1 in support of Finding D is hereby incorporated by reference.
2. The Property is also developed with a driveway in front of the garage that is 20 feet wide by 20 feet deep. Section 20.40.090 (Parking Standards for Residential Uses) of the NBMC allows parking on driveways located within the front setback that are at least 20 feet deep. Although driveway parking spaces are not required, the driveway would accommodate two additional parking spaces that help offset the marginally narrower parking spaces inside the garage and results in up to four on-site parking spaces.
3. The proposed first floor addition conforms to all applicable development standards, including, but not limited to setbacks, height, and will maintain adequate protection of light, air, and privacy. The addition will not preclude access to the dwelling and will be consistent with the scale of other two-story dwellings in the neighborhood.
4. The Project complies with the maximum floor area limitation of 9,002 square feet as the proposed addition will result in a total floor area is 3,849 square feet. Therefore, the proposed addition would not result in a change in intensity that is inconsistent with the provisions of the NBMC.
5. The approval of this Modification Permit is conditioned such that the Applicant is required to obtain all necessary permits in accordance with the Building Code and other applicable Codes.
6. The approval of this Modification Permit is conditioned that the Applicant is required to maintain the garage to be permanently available for parking purposes with its existing interior dimensions to remain unobstructed.

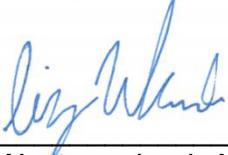
## SECTION 4. DECISION.

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby finds this project is categorically exempt from the California Environmental Quality Act pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.

2. The Zoning Administrator of the City of Newport Beach hereby approves the Modification Permit filed as PA2025-0157, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Chapter 20.64 (Appeals) of the NBMC.

**PASSED, APPROVED, AND ADOPTED THIS 25<sup>TH</sup> DAY OF SEPTEMBER 2025**



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Liz Westmoreland, AICP, Zoning Administrator

**EXHIBIT "A"**

## CONDITIONS OF APPROVAL

**Planning Division**

1. The Project shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. The Project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
3. The Applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Modification Permit.
4. This Modification Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the Property is operated or maintained to constitute a public nuisance.
5. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 (Planning and Zoning) of the NBMC.
6. *Any change to the approved plans, including any demolition or addition beyond the approved scope of work shall require review by the Planning Division prior to commencement of work. Significant changes may require an amendment to or the processing of a new modification permit or may require the garage structure to be modified into compliance with Section 20.40.090 (Parking Standards for Residential Uses) of the NBMC.*
7. Prior to issuance of the building permits, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans
8. *The garage shall be permanently available and maintained for parking purposes. The interior clear dimensions (19 feet, 8 inches wide by 20 feet, 1 inch deep) shall be kept clear of obstructions including cabinets, shelving, or similar features, except as provided in Section 20.40.090 (Parking Standards for Residential Uses) of the NBMC, that prevents the ability to adequately park two vehicles.*
9. Prior to the issuance of a building permit, the Applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.

10. Should the Property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or the leasing agent.
11. Construction activities shall comply with Section 10.28.040 (Construction Activity – Noise Regulations) of the NBMC, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday and 8:00 a.m. and 6:30 p.m. on Saturday. Noise-generating construction activities are not allowed on Sundays or Holidays.
12. To the fullest extent permitted by law, Applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Greaves Residence including, but not limited to Modification Permit No. PA2025-0157**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by Applicant, City, and/or the parties initiating or bringing such proceeding. The Applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The Applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

### **Building Division**

13. The Applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code.

### **Public Works Department**

14. The Applicant is required to obtain an encroachment permit for all work located within the public right of way.
15. The Applicant shall remove the existing brick wall, concrete wall and steps from the public right of way.

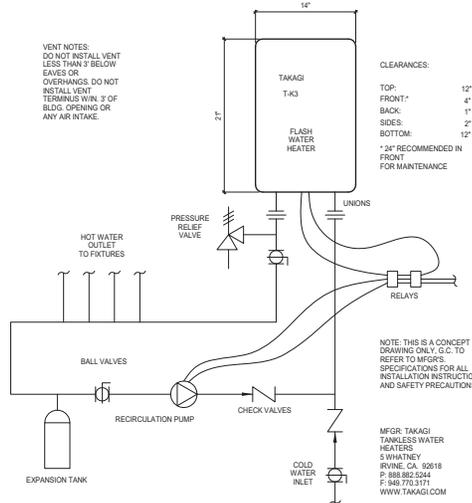
# **Attachment No. CD 3**

Project Plans





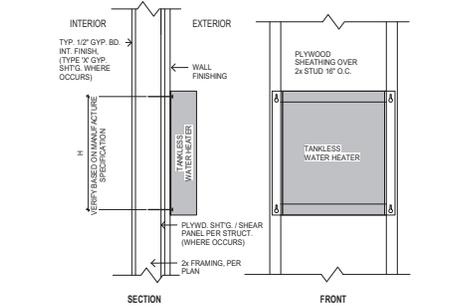
**ON DEMAND WATER HEATER**



**CLEARANCES:**  
 TOP: 12"  
 FRONT: 4"  
 BACK: 1"  
 SIDES: 2"  
 BOTTOM: 12"  
 \*2" RECOMMENDED IN FRONT FOR MAINTENANCE

NOTE: THIS IS A CONCEPT DRAWING ONLY. C/O TO REFER TO MFRS. SPECIFICATIONS FOR ALL INSTALLATION INSTRUCTIONS AND SAFETY PRECAUTIONS

MFR: TAKAGI  
 TANKLESS WATER HEATERS  
 5 WHITNEY  
 IRVINE, CA 92618  
 P: 888.882.5344  
 F: 949.771.3171  
 WWW.TAKAGI.COM



**DOOR/ WINDOW NOTES**

1. ALL DOORS AND WINDOWS SHALL MEET CITY'S SECURITY ORDINANCE.
2. ALL EXTERIOR DOORS & WINDOWS SHALL BE WEATHER TIED AND PROVIDED WITH INSECT SCREEN METAL. DOORS & WINDOWS SHALL BE IN COMPLIANCE WITH ANSI STD. A13 OR A1342.
3. THE MANUFACTURED WINDOWS AND SLIDING DOOR SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL PERFORMANCE RATING COUNCIL (NRC) AND COMPLIANCE WITH THE ENERGY CALCULATIONS.
4. THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E1300.
5. ALL TEMPERED GLASS (TG) SHALL BE ACOTCHED, SAND-BLASTED, CERAMIC-FRIND, LASER ETCHED, OR EMBOSSED PER CRC 2406.4.
6. GLAZING AND INSULATION SHALL CONFORM TO THE STATE ENERGY INSULATION STANDARD.
7. DEAD BOLT LOCKS ARE REQUIRED ON ALL EXTERIOR DOORS (INCLUDING HOUSE TO GARAGE).
8. GLAZING SHALL BE SAFETY GLAZING IF LESS THAN 7'2" ABOVE BATHROOM FINISH FLOOR.
9. SLIDING GLASS DOORS AND WINDOWS LOCATED LESS THAN 16 FEET ABOVE ANY SURFACE AVAILABLE FOR USE BY THE PUBLIC SHALL BE CAPABLE OF BEING LOCKED SECURELY. MOVABLE PANELS SHALL NOT BE EASILY REMOVED FROM THE FRAME.
10. ALL MAIN OR FRONT ENTRY TO DWELLINGS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE WITHOUT OPENING DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEW, A VIEW PORT, WINDOW, OR OTHER OPENING.
11. ALL SWINGING DOORS SHALL BE EQUIPPED WITH A DEAD BOLT WITH A MINIMUM THROW OF 1 INCH AND AN EMBEDMENT OF NOT LESS THAN 5/8 INCH.
12. THE INACTIVE LEAF OF A PAIR OF DOORS AND THE UPPER LEAF OF DUTCH DOORS SHALL BE EQUIPPED WITH A DEAD BOLT.
13. NON-REMOVABLE PINS SHALL BE USED IN PIN TYPE HINGES WHICH ARE ACCESSIBLE FROM THE OUTSIDE WHEN THE DOOR IS CLOSED.
14. UNFRAMED GLASS DOORS SHALL BE FULLY TEMPERED GLASS NOT LESS THAN 1/2" THICK.
15. UNFRAMED GLASS DOORS SHALL BE FULLY TEMPERED GLASS NOT LESS THAN 1/4" THICK.
16. ANY GLASS WHICH IS LOCATED WITHIN 40 INCHES OF THE BLOCKING DEVICE ON A DOOR SHALL BE FULLY TEMPERED OR HAVE APPROVED METAL BARS, SCREENS OR GRILLS.
17. IT IS CONTRACTOR'S RESPONSIBILITY TO CONFIRM DOOR/WINDOW ROUGH OPENING DIMENSIONS WITH THE MANUFACTURER PRIOR TO BEGIN CONSTRUCTION.
18. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325 (1999-4)
19. EMERGENCY EGRESS: A. MIN. SET CLEAR OPENING OF 5.7 SQUARE FEET. B. MIN. SET CLEAR HEIGHT OF 24 INCHES. C. WINDOW SHALL CLEAR OPENING EMERGENCY EGRESS NO MORE THAN 44 INCHES ABOVE THE FLOOR.
20. PENETRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS.

**CONSTRUCTION NOTES**

1. DEMOLITION CONTRACTOR SHALL RELOCATE REUSABLE MATERIALS TO DESIGNATED SALVAGE AREA. NON-USABLE MATERIALS SHALL BE PLACED APPROPRIATELY IN REFUSE BIN AND SHALL BE COVERED AT NIGHT AND DURING RELATIVE HIGH WINDS. RAIN, ETC. REFUSE BIN SHALL BE COVERED DURING TRANSFER TO AND FROM DUMP SITE. CONTRACTOR TO BE LIABLE FOR REFUSE SPILLING. ALL DEBRIS TO BE HAULED AWAY AND CLEAN-UP SHALL BE COMPLETED TO BROOM FINISH. EXISTING MATERIALS AND/OR STRUCTURE TO REMAIN SHALL BE PROTECTED FROM DUST, PAINT CHIPPING, ETC. BY USE OF PLASTIC OR WHATEVER IS REQUIRED FOR PROPER PROTECTION. EXISTING STRUCTURES SHALL HAVE BRACING AND SHORING AS REQUIRED TO PROTECT THE EXISTING STRUCTURE. PROVIDE DE-WATERING FACILITIES FOR CONSTRUCTION AS REQUIRED. COORDINATE AS-BUILT INFORMATION, STRUCTURAL, ETC. TO DESIGNER/ENGINEER AS REQUIRED.
2. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
3. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PALLETS, TRANSFORMERS, VALVES, TAPS, PUMPS, VALVES, METERS, PURTRENCHES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
4. WHEN UTILITIES METER ALTERATION / RELOCATION OCCUR, INSTALLATION PROCEDURES SHALL BE VERIFIED AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO INSTALLATION.
5. ALL CONSTRUCTION WASTE AND DEBRIS MUST BE CONTAINERIZED AT ALL TIMES.
6. DUST CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
7. CONCRETE SLAB AND UNDER-FLOOR INFLECTIONS SHALL BE MADE AFTER A FINISH SLAB O UNDER-FLOOR REINFORCING STEEL AND BUILDINGSERVICE EQUIPMENT, CONDUITS, PIPING OR THE ANCHILARY BUILDING TRADE PRODUCTS OR EQUIPMENT ARE INSTALLED, BUT BEFORE ANY CONCRETE IS PLACED OR FLOOR SHEATHING IS INSTALLED, INCLUDING THE SUBFLOOR. (R109.1.1.1)
8. ROUGH INSPECTION OF PLUMBING, MECHANICAL GAS AND ELECTRICAL SYSTEMS SHALL BE MADE PRIOR TO COVERING OR CONCEALMENT, BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED, AND PRIOR TO FRAMING INSPECTION. (R109.1.2)
9. WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604 OF THE CPC. INSTALLATION STANDARDS OF APPENDIX I OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC 604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE.

**GENERAL NOTES**

1. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
2. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND AMENDMENTS.
3. PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET.
4. UFER GROUND IS REQUIRED AT NEW ELECTRICAL SERVICE.
5. UNDERGROUND UTILITIES REQUIRED FOR ELECTRICAL, CABLE TV, AND TELEPHONE
6. ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY ALIATED COMBINATION-TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT
7. ALL RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, OUTDOORS, CRAWL SPACES BASEMENTS, KITCHEN COUNTERTOP SURFACES, SINK, LAUNDRY AREAS AND WET AREAS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL
8. PROVIDE MECHANICAL VENTILATION FOR BATHROOMS AND LAUNDRY ROOMS WITHOUT OPENABLE WINDOW.
9. THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILAR WITH ALL CONTRACT DOCUMENTS, SURVEY THE PROPERTY AND BECOME FAMILAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COST SUBMITTED SHALL BE BASED ON A THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIALS OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER OR ENGINEER OF RECORD.
10. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
11. IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER AND THE DESIGNER/ENGINEERS SHALL BE NOTIFIED, IN WRITING, IMMEDIATELY.

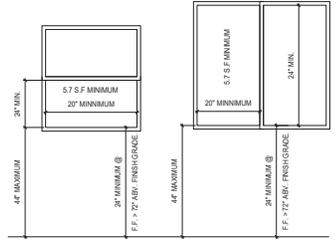
12. DEMOLITION CONTRACTOR SHALL RELOCATE REUSABLE MATERIALS TO DESIGNATED SALVAGE AREA. NON-USABLE MATERIALS SHALL BE PLACED APPROPRIATELY IN REFUSE BIN AND SHALL BE COVERED AT NIGHT AND DURING RELATIVE HIGH WINDS, RAIN, ETC. REFUSE BIN SHALL BE COVERED DURING TRANSFER TO AND FROM DUMP SITE. CONTRACTOR TO BE LIABLE FOR REFUSE SPILLING. ALL DEBRIS TO BE HAULED AWAY AND CLEAN-UP SHALL BE COMPLETED TO BROOM FINISH. EXISTING MATERIALS AND/OR STRUCTURE TO REMAIN SHALL BE PROTECTED FROM DUST, PAINT CHIPPING, ETC. BY USE OF PLASTIC OR WHATEVER IS REQUIRED FOR PROPER PROTECTION. EXISTING STRUCTURES SHALL HAVE BRACING AND SHORING AS REQUIRED TO PROTECT THE EXISTING STRUCTURE. PROVIDE DE-WATERING FACILITIES FOR CONSTRUCTION AS REQUIRED. COORDINATE AS-BUILT INFORMATION, STRUCTURAL, ETC. TO DESIGNER/ENGINEER AS REQUIRED.
13. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
14. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PALLETS, TRANSFORMERS, VALVES, TAPS, PUMPS, VALVES, METERS, PURTRENCHES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
15. WHEN UTILITIES METER ALTERATION / RELOCATION OCCUR, INSTALLATION PROCEDURES SHALL BE VERIFIED AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO INSTALLATION.

**GENERAL WINDOW NOTES**

- EMERGENCY EGRESS**
1. MIN. SET CLEAR OPENING OF 5.7 SQUARE FEET.
  2. MIN. SET CLEAR HEIGHT OF 24 INCHES.
  3. WINDOW SILL CLEAR OPENING EMERGENCY EGRESS NO MORE THAN 44 INCHES ABOVE THE FLOOR.

**WINDOW AND DOOR NOTE**

1. WINDOW MANUFACTURER AND INSTALLER SHALL INSURE THAT ALL WINDOWS MEET OR EXCEED ALL EGRESS REQUIREMENTS OF CRC R310 & R312
2. ALL WINDOWS AND SLIDING GLASS DOORS SHALL BE INSTALLED PER AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION AAMA 2600-02 RECOMMENDATIONS STANDARD PROCEDURE FOR INSTALLATION OF WINDOWS WITH INTEGRAL MOUNTING FLANGES IN STUD FRAME CONSTRUCTION.
3. INSTALL AN ISOLATION MEMBRANE BELOW THE THRESHOLD OF ALL SLIDING GLASS DOORS THAT REST ON A CONCRETE SLAB
4. ALL SEALANT SHALL BE OF HIGH QUALITY AND REVIEWED FOR COMPATIBILITY WITH ASPHALTIC MEMBRANES AND FLASHING MATERIAL.



**RESIDENCE ADDITION AND REMODEL**

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**BATHROOM EXHAUST REQUIREMENTS**

TABLE 150.0-E  
 DEMAND-CONTROLLED LOCAL VENTILATION EXHAUST AIRFLOW RATES AND CAPTURE EFFICIENCY

APPLICATION	COMPLIANCE CRITERIA
Enclosed kitchen or nonenclosed kitchen	Vented range hood, including appliance-range hood combinations, shall meet either the capture efficiency (CE) or the airflow rate specified in Table 150.0-G as applicable.
Enclosed kitchen	Other kitchen exhaust fans, including downdraft: 300 cfm (150 L/s) or a capacity of 5 ACH
Nonenclosed kitchen	Other kitchen exhaust fans, including downdraft: 300 cfm (150 L/s)
Bathroom	50 cfm (25 L/s)

**KITCHEN EXHAUST REQUIREMENTS**

CEEC Table 150.0-G: Kitchen Range Hood Airflow Rates (Cfm) and ASTM E3087 Capture Efficiency (CE) Ratings According To Dwelling Unit Floor Area and Kitchen Range Fuel Type

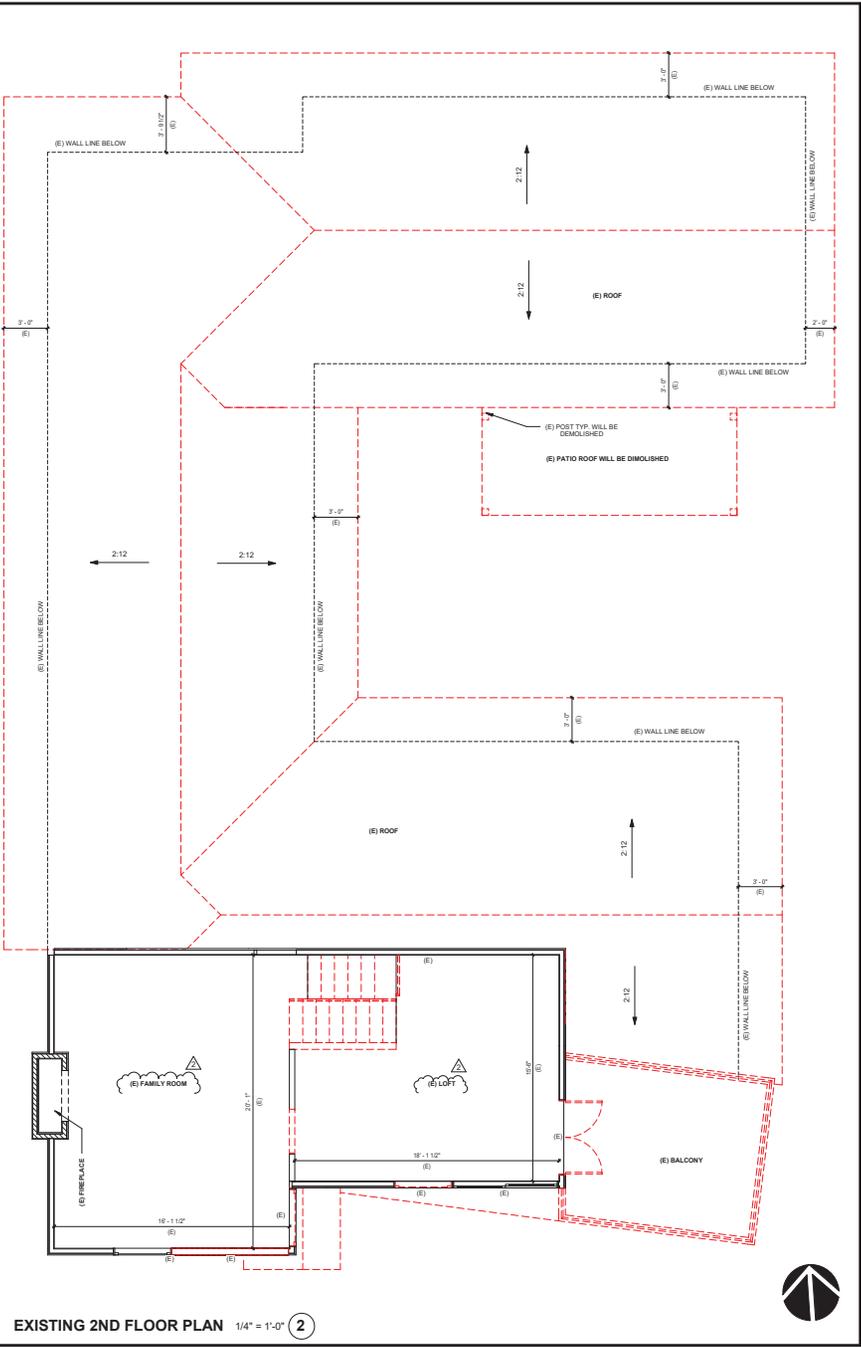
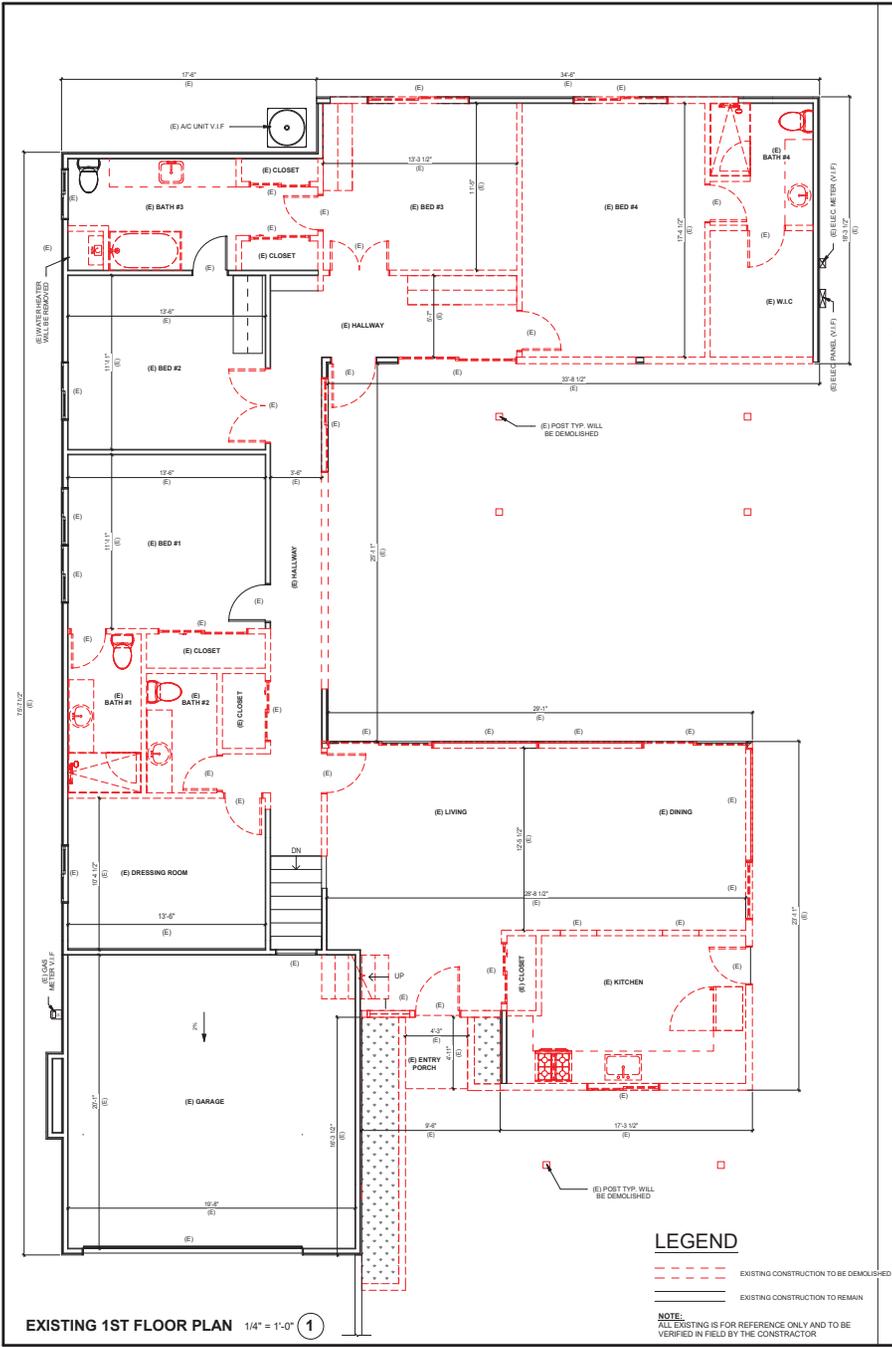
Dwelling floor area (ft <sup>2</sup> )	Electric Range	Natural Gas Range
>1500	50% CE or 110 cfm	70% CE or 180 cfm
>1000-1500	50% CE or 110 cfm	80% CE or 250 cfm
750-1000	55% CE or 130 cfm	85% CE or 280 cfm
<750	65% CE or 160 cfm	85% CE or 280 cfm

DELTA	DATE	DESCRIPTION
▲	07-17-2025	1ST CORRECTIONS
▲	08-12-2025	2ND CORRECTIONS

IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY TO VERIFY THE EXISTING AS-BUILT SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR VERIFYING WITH THE BUILDING CODES AND THE CODES OF CONSTRUCTION SHALL BE APPLICABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING AS-BUILT SPECIFICATIONS ADDRESSING SUCH PROVIDED ELEMENTS OR CONDITIONS SHALL BE RECORDED AND APPROVED BY THE CONTRACTOR OR OWNER PRIOR TO ANY PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCY OR CONSTRUCTION PRACTICES PROCESSED AND NOT BE FOLLOWED.



**GENERAL NOTES & DETAILS**



**RESIDENCE ADDITION AND REMODEL**

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**RESIDENCE ADDITION AND REMODEL**  
**910 KINGS RD, NEWPORT BEACH, CA 92663**

DELTA	DATE	DESCRIPTION
▲	07-17-2025	1ST CORRECTIONS
▲	06-18-2025	2ND CORRECTIONS

IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY PRIOR TO BE BIDDING CONSTRUCTION TO REVIEW THE ORIGINAL DRAWING SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER SHOULD BE RESPONSIBLE AND AWARE OF ANY CHANGES TO THE ORIGINAL DRAWING SPECIFICATIONS AND TO BE RESPONSIBLE FOR ANY CHANGES TO THE ORIGINAL DRAWING SPECIFICATIONS. THE CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR ANY CHANGES TO THE ORIGINAL DRAWING SPECIFICATIONS. THE CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR ANY CHANGES TO THE ORIGINAL DRAWING SPECIFICATIONS.



ONE DESIGNER MANY STYLES

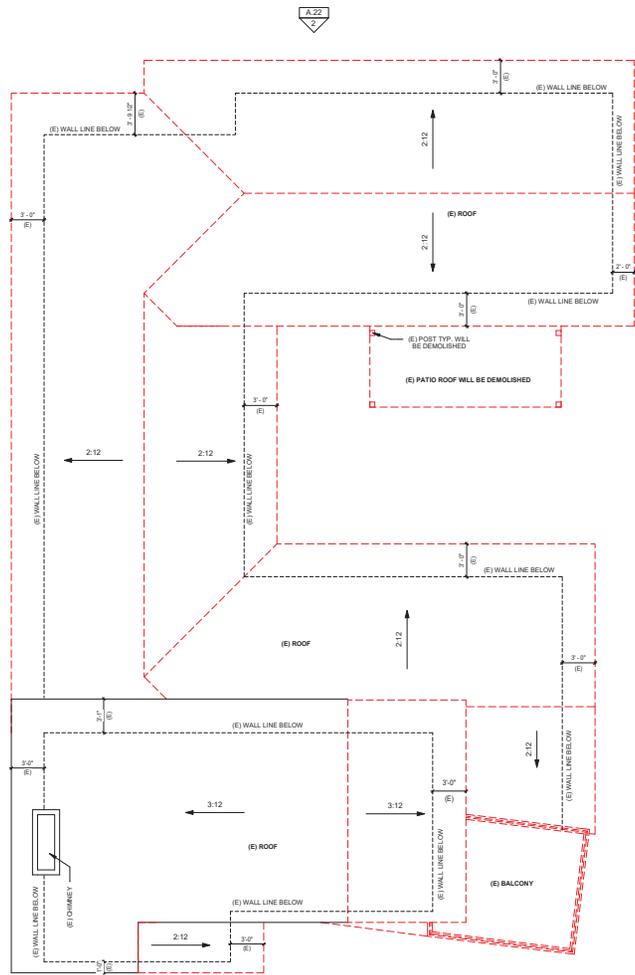
**EXISTING FLOOR PLANS**



**LEGEND**

- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING CONSTRUCTION TO REMAIN

**NOTE:**  
ALL EXISTING IS FOR REFERENCE ONLY AND TO BE VERIFIED IN FIELD BY THE CONTRACTOR



EXISTING ROOF PLAN 3/16" = 1'-0" 1

**RESIDENCE ADDITION AND REMODEL**

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**RESIDENCE ADDITION AND REMODEL**  
**910 KINGS RD, NEWPORT BEACH, CA 92663**

DELTA	DATE	DESCRIPTION
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▲	06-12-2025	2ND CORRECTIONS

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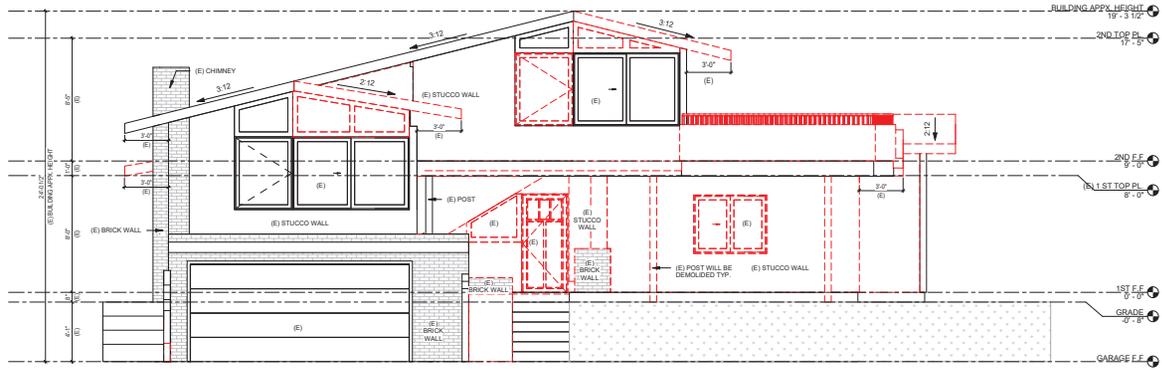


EXISTING ROOF PLAN

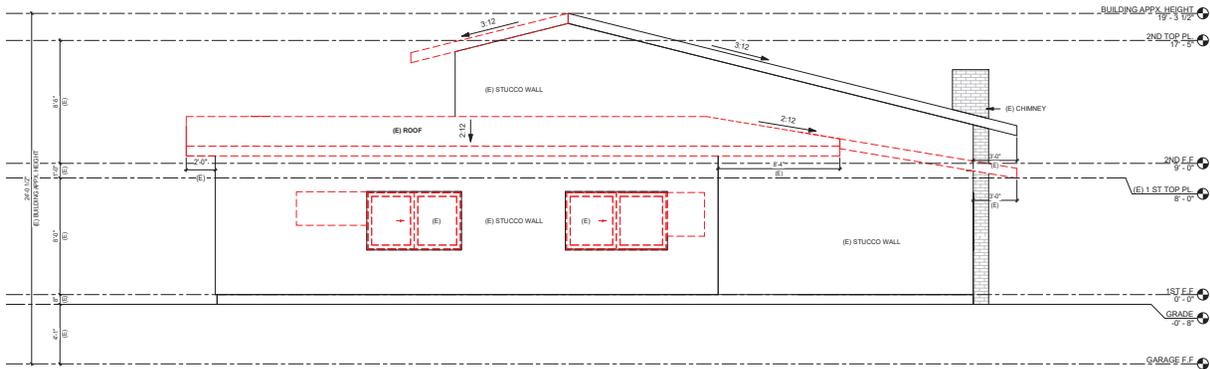
**LEGEND**

- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING CONSTRUCTION TO REMAIN

**NOTE:**  
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EXISTING SOUTH ELEVATION 1/4" = 1'-0" ①



EXISTING NORTH ELEVATION 1/4" = 1'-0" ②

**RESIDENCE  
ADDITION AND  
REMODEL**

**PROJECT CONTACT**

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**RESIDENCE ADDITION AND  
REMODEL**  
  
**910 KINGS RD, NEWPORT  
BEACH, CA 92663**

DELTA	DATE	DESCRIPTION
▲	07-17-2025	1ST CORRECTIONS
▲	06-12-2025	2ND CORRECTIONS

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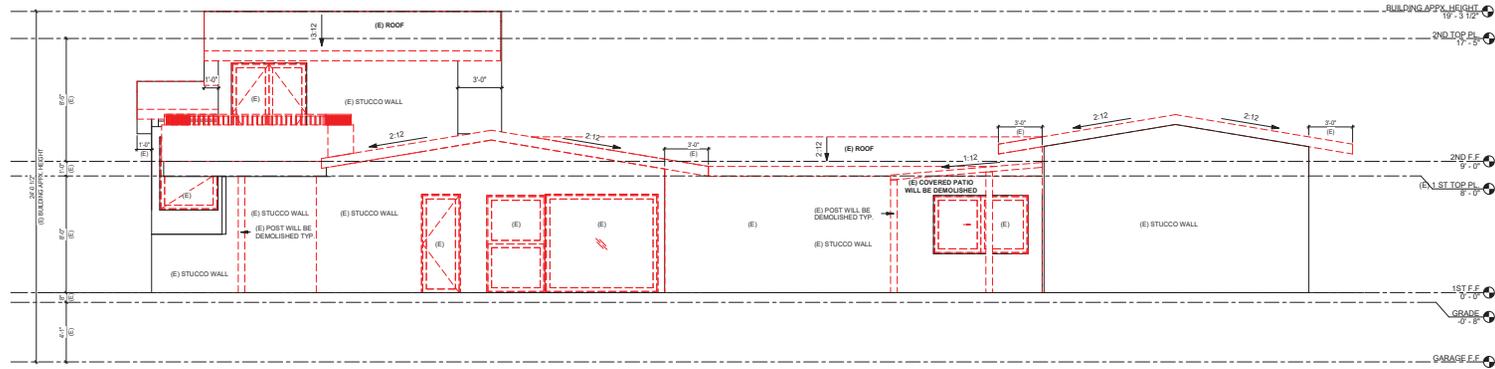


EXISTING  
ELEVATIONS

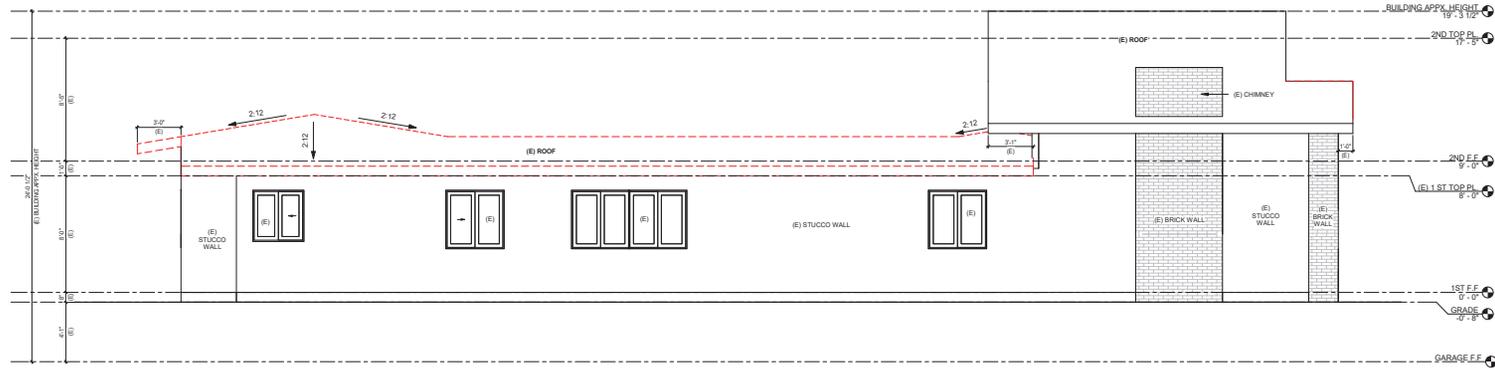
**LEGEND**

- - - - - EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING CONSTRUCTION TO REMAIN

**NOTE:**  
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EXISTING EAST ELEVATION 1/4" = 1'-0" ①



EXISTING WEST ELEVATION 1/4" = 1'-0" ②

**RESIDENCE  
ADDITION AND  
REMODEL**

**PROJECT CONTACT**

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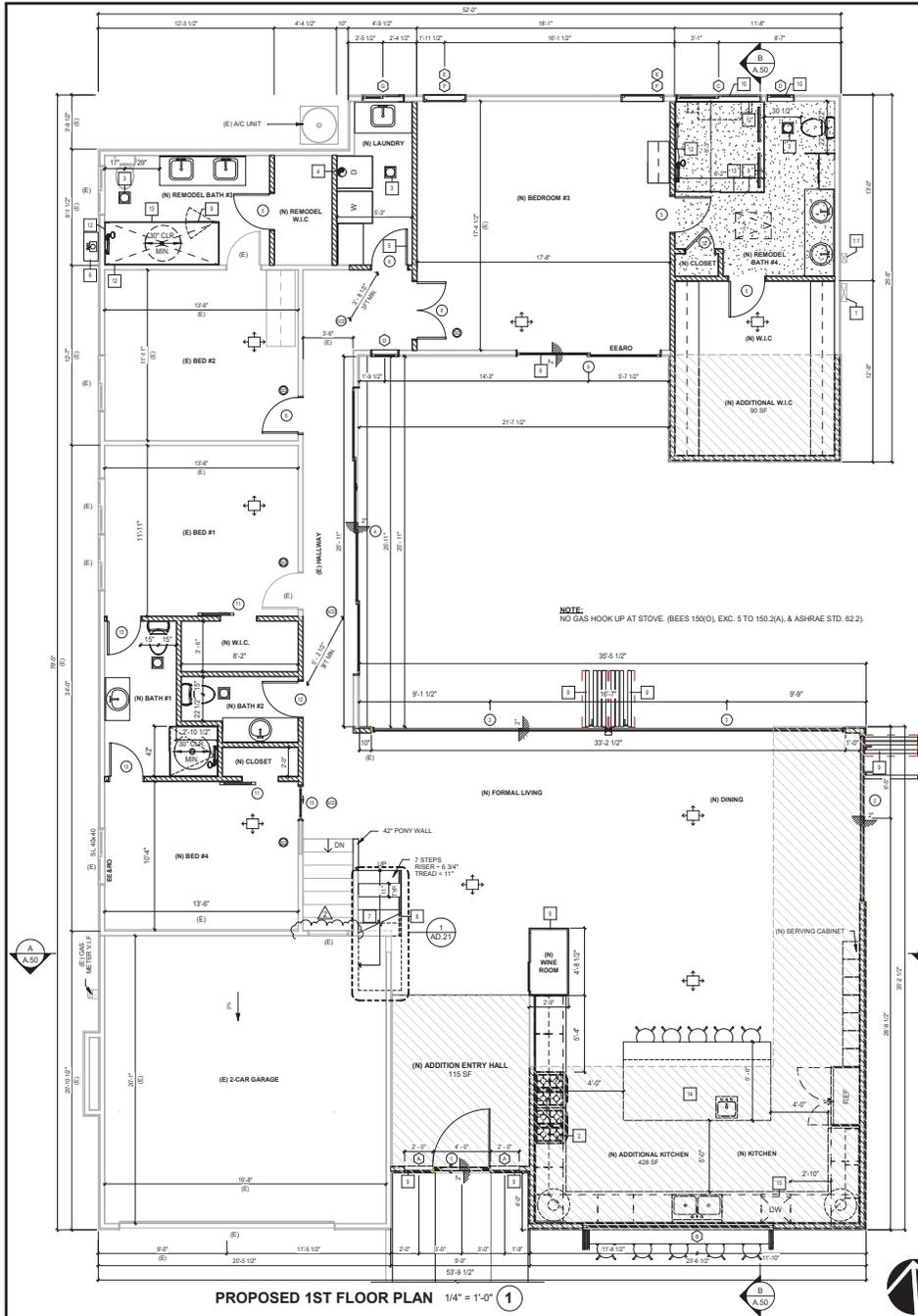
**RESIDENCE ADDITION AND  
REMODEL**  
  
**910 KINGS RD, NEWPORT  
BEACH, CA 92663**

DELTA	DATE	DESCRIPTION
▲	07-17-2025	1ST CORRECTIONS
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EXISTING  
ELEVATIONS



PROPOSED 1ST FLOOR PLAN 1/4" = 1'-0" 1

FLOOR PLAN KEYNOTES

- 1 (E) MAIN HOUSE ELECTRICAL PANEL (V.F.F)
- 11 (E) MAIN HOUSE ELECTRICAL METER (V.F.F)
- 2 EXHAUST FAN FOR ABOVE KITCHEN ELECTRICAL RANGE SHALL BE MINIMUM 50% CE OR 110 CFM (EXHAUST THROUGH ROOF)
- 3 EXHAUST FAN FOR ABOVE BATHROOM SHALL BE ENERGY STAR RATED CEILING MOUNTED LIGHT FIXTURE WITH INTERMITTENT HUMIDITY CONTROL PER CIRCULAR 5 BETWEEN 50% MIN. DIAL TO THE OUTSIDE. EQUIPPED WITH A BACK DRAFT DAMPER. SILENT DUCT PER USE AS PERMANENT OR REQUIRED BY MANUFACTURERS INSTALLATIONS AND APPROVED BY THE BUILDING OFFICIAL. EXHAUST THROUGH ROOF.
- 4 LOUVER DOOR TO PROVIDE 100SQ IN MAKE-UP AIR
- 8 (N) TANKLESS WATER HEATER
- 7 PROVIDE 1/2" TYPE 'N' DRY-B. ON WALLS AND CEILING OF ENCLOSED UNSEASIBLE SPACE UNDER STAIRS
- 12 3/4" HIGH STAIR RAILING
- 10 TEMPERED GLASS
- 9 OBTURATED, TEMPERED GLASS
- 11 (N) PARAPET WALL 1/2" HEIGHT OF BACONY
- 11.1 24" HIGH METAL GUARDRAIL
- 12 SMOOTH NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" INCHES ABOVE THE DRAIN INLET.
- 13 2" SHOWER CURB
- 14 3/4" HIGH KITCHEN COUNTER ISLAND
- 15 BUILT-IN UNDER-COUNTER DISHWASHER
- 16 (N) POST

FLOOR PLAN NOTES

- 1 VERIFY ALL APPLIANCE EQUIPMENT AND FIXTURE DIMENSIONS AND INSTALLATION REQUIREMENTS PRIOR TO CASEWORK FABRICATION INSTALLATION.
- 2 FINISH END WALLS OF CABINETS FLANKING OPENING TO MATCH CABINET FACE. PRIME & PAINT EXPOSED GYP. BD. WALL TO MATCH WALLS. INSTALL MATCHING BASE BD.
- 3 EXTEND FLOORING UNDER APPLIANCES RESTING ON FLOOR.
- 4 SHOWER COMPARTMENTS AND WALLS ABOVE BATH TUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" INCHES ABOVE THE DRAIN INLET.
- 5 OFFSET ALL IMMEDIATELY ADJACENT DOOR OPENINGS 4" FROM PERPENDICULAR WALL UNO.
- 6 CEILING HEIGHTS INDICATED ARE MEASURED FROM FINISH FLOOR TO BOTTOM OF CEILING FINISH.
- 7 SMOKE DETECTORS WILL BE PROVIDED PER CHAPTER 3.0. THE SMOKE DETECTOR WILL BE HARD WIRED WITH BATTERY BACK-UP AND LOCATED (1) IN EACH BEDROOM, HALLWAY, OUTSIDE BEDROOMS, AND ON EACH STORY. SMOKE DETECTOR ALARM SIGNALS MUST BE AUDIBLE IN SLEEPING AREAS WHICH MAY REQUIRE INTERCONNECTED SMOKE DETECTORS WITHIN THE UNIT. SEE UTILITY PLANS FOR LOCATIONS. INSTALL AND LOCATE PER MFGOR. LISTED REQUIREMENTS.
- 8 PROVIDE CARBON MONOXIDE DETECTOR ALARMS ON CEILINGS OR WALLS OUTSIDE SLEEPING ROOMS CHAPTER 3.0.3.
- 9 BATHROOM FANS MUST BE ENERGY STAR W/ HUMIDISTAT CONTROLLER AND MUST BE DUCTED TO THE EXTERIOR OF THE BUILDING
- 10 ALL NEW WINDOWS TO BE DUAL PANES TO MEET CURRENT ENERGY STANDARD REQUIREMENTS.
- 11 PROVIDE BACKING FOR ALL ACCESSORIES, FIXTURES AND WINDOW COVERINGS.
- 12 PROVIDE TWO LAYERS OF GRADE D OR 60 MINUTE GRADE D PAPER OVER ALL WOOD BASE SHEATHING AT EXTERIOR WALLS.
- 13 A MINIMUM 26 GAUGE, CORROSION RESISTANT OR PLASTIC WEEP SCREED WITH A MINIMUM VERTICAL FLANGE OF 3/8" INCHES SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. SCREED SHALL BE A MINIMUM OF 4" INCHES ABOVE EARTH OR 2" INCHES ABOVE PAVED AREAS. (CRC R703.7.2)
- 14 ACCESS TO ATTIC FURNACE MUST BE WITHIN 20' OF UNIT AND SHALL HAVE A CONTINUOUS SLOID WALKWAY AT LEAST 24" WIDE. A SWITCH CONTROL IS ALSO REQUIRED. (CMC 304.4.1)
- 15 DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET (4267 MM) INCLUDING TWO 90 DEGREE (1.57 RAD) ELBOWS. A LENGTH OF 2 FEET (610 MM) SHALL BE DEDUCTED FOR EACH 90 DEGREE (1.57 RAD) ELBOW IN EXCESS OF TWO.
- 16 PROVIDE LOW CONSUMPTION WATER CLOSURES FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- 17 WATER HEATER MUST BE STRAPPED TO WALL.
- 18 EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH A NATURAL LIGHT IN ACCORDANCE WITH SECTION 903.1 OR SHALL BE PROVIDED AN AVERAGE ILLUMINATION OF 6 FEET-CANDELS OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL.
- 19 GLAZING WHICH IS LESS THAN 60 INCHES FROM A FLOOR AND WITHIN A 24" ARC OF A DOORWAY'S VERTICAL EDGE MUST COMPLY WITH CH 3.0.3.
- 20 LANDINGS AT DOOR LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STARWAY OR THE DOOR, WHICHEVER IS GREATER. (REES 150.0(N)4.D)
- 21 ALL WATER HEATER INSTALLATION LOCATIONS, REGARDLESS OF PROPOSED WATER HEATING SYSTEM, SHALL HAVE:
  - A. 120V ELECTRICAL RECEPTACLE THAT IS WITHIN 4 FEET FROM THE WATER HEATER.
  - B. A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE.
  - C. CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE FINISH SURFACE BELOW.
  - D. A GAS SUPPLY LINE WITH AVAILABLE CAPACITY FOR NOT LESS THAN A 200,000 BTU/HR SYSTEM.

DOOR/WINDOW REMARKS

- (1) DOOR SHALL HAVE A MINIMUM CLEAR WIDTH OF 32" WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP WITH THE DOOR OPEN AT 90 DEGREE.
- (2) DOOR SHALL HAVE A MINIMUM CLEAR HEIGHT OF 78", MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP.
- (3) DOOR SHALL BE READILY OPENABLE FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- (4) GARAGE TO HOUSE DOOR: SELF-CLOSING, TIGHT FITTING, SOLID WOOD, 1-3/8" THICK DOOR, NOT LESS THAN 20 MIN FERATED DOOR AT OPENING TO DWELLING (CBC 715.4.3)
- (5) MIN. 72" ABOVE FINISH FLOOR IN BATHROOMS.
- (6) THE MANUFACTURED WINDOWS AND SLIDING DOOR SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONALS FENESTRATION RATINGS COUNCIL (NFRC) AND COMPLIANCE WITH THE ENERGY CALCULATIONS.
- (7) THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E1000.
- (8) ALL TEMPERED GLASS (T.G.) SHALL BE ACID-ETCHED, SAND-BLASTED, CERAMIC-FRED, ASER-ETCHED, OR EMBOSSED PER CRC 2403.6.
- (9) DEAD BOLT LOCKS ARE REQUIRED ON ALL EXTERIOR DOORS.
- (10) GLAZING SHALL BE SAFETY GLAZING IF LESS THAN 72" ABOVE BATHROOM FINISH FLOOR

SYMBOL LEGEND

	2x4 WALL		LAUNDRY DRYER EXHAUST		22X30 ATTIC ACCESS
	3/4" HOSE BIBB WITH BACK-FLOW PREVENTOR		SMOKE DETECTOR COMBINED WITH CO DETECTOR HARDWIRED WITH BATTERY BACKUP		ATTIC FURNACE COMBUSTION AND MAKE-UP AIR FROM THE OUTSIDE (PIPE THROUGH ROOF)
	EXHAUST FAN FOR ABOVE KITCHEN ELECTRICAL RANGE SHALL BE MINIMUM 50% CE OR 110 CFM (EXHAUST THROUGH ROOF)		SMOKE DETECTOR HARDWIRED w/ BATTERY BACK UP		TANKLESS WATER HEATER PER T24
	EXHAUST FAN FOR ABOVE BATHROOM SHALL BE ENERGY STAR RATED CEILING MOUNTED LIGHT w/ VENT 50 CFM MIN. INTERMITTENT HUMIDITY CONTROL PER CIRC. 404.8.8. TRIVEN NON-BURN SHALL BE DUCTED TO OUTSIDE THROUGH ROOF EXTERIOR WALL.		AC CONDENSER UNIT ON PAD M.F.M.		DOOR TYPE, SEE SCHEDULE A.30
	CEILING AIR DIFFUSER		WINDOW TYPE, SEE SCHEDULE A.30		KEY NOTE
	FLOOR DEPRESSION		FLOOR DEPRESSION		

NEW WINDOW SCHEDULE

NOTE: FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS.

NUMBER	WINDOW SIZE	QTY	DESCRIPTION	U-FACTOR	SHGC	REMARKS
A	2'-0" x 4'-0"	2	FIX WINDOW, GLASS, FRAME, FINISH PER MFG	0.3	0.22	NEW, TEMPERED GLASS
B	10'-0" x 4'-0"	1	FOLDING WINDOW, GLASS, FRAME, FINISH PER MFG	0.3	0.22	NEW
C	6'-0" x 3'-0"	1	SLIDER, GLASS, FRAME, FINISH PER MFG	0.3	0.22	NEW, OBTURATED TEMP. @BATH (3), (10)
D	2'-0" x 3'-0"	1	FIX WINDOW, GLASS, FRAME, FINISH PER MFG	0.3	0.22	NEW, OBTURATED TEMP. @BATH (3), (10)
E	5'-0" x 2'-0"	2	AWNING, GLASS, FRAME, FINISH PER MFG	0.3	0.22	NEW
F	3'-0" x 5'-0"	2	FIX WINDOW, GLASS, FRAME, FINISH PER MFG	0.3	0.22	NEW
G	3'-0" x 3'-0"	1	SLIDER, GLASS, FRAME, FINISH PER MFG	0.3	0.22	NEW
H	7'-0" x 2'-0"	1	FIX WINDOW, GLASS, FRAME, FINISH PER MFG	0.3	0.22	NEW
I	8'-0" x 3'-0"	1	FIX WINDOW, GLASS, FRAME, FINISH PER MFG	0.3	0.22	NEW
J	4'-0" x 2'-0"	1	FIX WINDOW, GLASS, FRAME, FINISH PER MFG	0.3	0.22	NEW
Grand total:		13				

NEW DOOR SCHEDULE

NOTE: FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS.

NUMBER	DOOR SIZE	QTY	DESCRIPTION	U-FACTOR	SHGC	REMARKS
1	4'-0" x 8'-0"	1	EXTERIOR DOOR, 1 WOOD PANEL, SOLID CORE, FRAMELESS, PAINTED FINISH	0.5		NEW, EXTERIOR DOOR (1) (2) (3) (9)
2	11'-0" x 7'-0"	1	HOLLOW CORE, TEMPERED GLASS, FOLDING DOOR, VINYL FRAME, PAINTED FINISH	0.3	0.22	INSTALL WITH PLEATED SCREEN, EXTERIOR DOOR
3	10'-0" x 7'-0"	2	HOLLOW CORE, TEMPERED GLASS, FOLDING DOOR, VINYL FRAME, PAINTED FINISH	0.3	0.22	INSTALL WITH PLEATED SCREEN, EXTERIOR DOOR
4	20'-0" x 7'-0"	1	SLIDING DOOR, 4 PANEL, TEMPERED DUAL GLASS, SOLID CORE, VINYL FRAME, PAINTED FINISH	0.3	0.22	INSTALL WITH PLEATED SCREEN, EXTERIOR DOOR
5	2'-0" x 7'-0"	3	HOLLOW CORE, 1 PANEL, WOOD FRAME, PAINTED FINISH			NEW, INTERIOR DOOR
6	2'-0" x 7'-0"	1	1 PANEL LOUVER, HOLLOW CORE, PAINTED FINISH			NEW, INTERIOR DOOR
7	3'-10" x 7'-0"	1	POCKET DOOR, SOLID CORE, WOOD FRAME, PAINTED FINISH	0.3	0.22	NEW, EXTERIOR DOOR
8	4'-0" x 7'-0"	1	SLIDING DOOR, 2 PANEL, SWING, HOLLOW CORE, WOOD FRAME, PAINTED FINISH			NEW, INTERIOR DOOR
9	10'-0" x 7'-0"	1	SLIDER DOOR, TEMPERED DUAL GLASS, VINYL FRAME, PAINTED FINISH	0.3	0.22	INSTALL WITH PLEATED SCREEN, EXTERIOR DOOR
10	2'-0" x 7'-0"	1	HOLLOW CORE 1 PANEL, WOOD FRAME, PAINTED FINISH			NEW, CLOSET DOOR
11	2'-0" x 7'-0"	1	POCKET DOOR, HOLLOW CORE, WOOD FRAME, PAINTED FINISH			NEW, INTERIOR DOOR
12	2'-0" x 7'-0"	1	HOLLOW CORE 1 PANEL, WOOD FRAME, PAINTED FINISH			NEW, INTERIOR DOOR
13	2'-0" x 7'-0"	1	HOLLOW CORE 1 PANEL, WOOD FRAME, PAINTED FINISH			NEW, INTERIOR DOOR
14	4'-0" x 8'-0"	1	POCKET DOOR, SOLID CORE, WOOD FRAME, PAINTED FINISH	0.3	0.22	NEW, EXTERIOR DOOR
15	2'-0" x 7'-0"	1	POCKET DOOR, HOLLOW CORE, WOOD FRAME, PAINTED FINISH			NEW, INTERIOR DOOR
Grand total:		19				

RESIDENCE ADDITION AND REMODEL

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RESIDENCE ADDITION AND REMODEL  
910 KINGS RD, NEWPORT BEACH, CA 92663

DELTA	DATE	DESCRIPTION
	07-17-2025	1ST CORRECTIONS
	06-12-2025	2ND CORRECTIONS

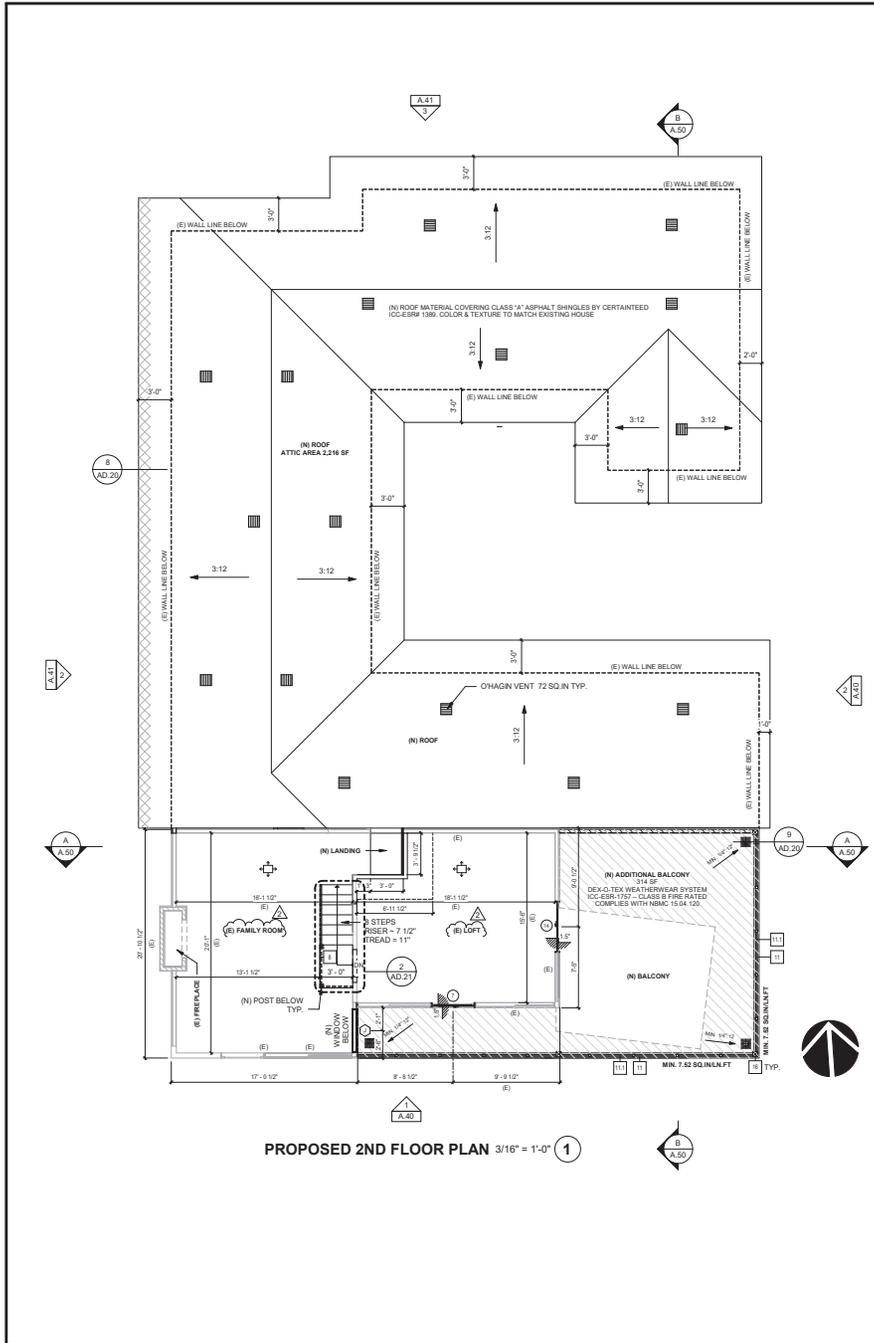
IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY PRIOR TO BEGINNING CONSTRUCTION TO REVIEW THE ORIGINALS AND WRITING SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER IS A PARTY. THE USER OF THESE DOCUMENTS SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION ADDRESSING SUCH PROJECTS OR ERRORS OR OMISSIONS ONLY AS INDICATED HEREIN. THE CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED WITHIN THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED WITHIN THE WORK.



ONE DESIGNER MANY STYLES

PROPOSED 1ST FLOOR PLAN

A.30



PROPOSED 2ND FLOOR PLAN 3/16" = 1'-0" 1

FLOOR PLAN KEYNOTES

- 1 (N) DUAL GANG 400A
- 1.1 (N) SUB PANEL 200A
- 2 EXHAUST FAN FOR ABOVE KITCHEN ELECTRICAL RANGE SHALL BE MINIMUM 50% CE OR 110 CFM (EXHAUST THROUGH ROOF)
- 3 EXHAUST FAN FOR BATHROOM SHALL BE ENERGY STAR RATED CEILING MOUNTED LIGHT W/VENT. 60CFM MIN. INTERMITTENT W/SENSIVITY CONTROL. PER CACAO 2.5. BETWEEN 6:45PM SHALL BE DUCTED TO OUTSIDE THROUGH ROOF
- 4 MIN. 4" DIA. TO THE OUTSIDE. EQUIPPED WITH A BACK DRAFT DAMPER. DUCT LENGTH OR SIZE AS PERMITTED OR REQUIRED BY MANUFACTURERS INSTALLATIONS AND APPROVED BY THE BUILDING OFFICIAL. (EXHAUST THROUGH ROOF)
- 5 LOUVER DOOR TO PROVIDE 100SQ IN MAKE-UP AIR
- 6 DOOR BETWEEN GARAGE AND LIVING AREA SHALL BE 20 MIN. RATED 1-3/8 SOLID CORE WOOD DOOR WITH CLOSER AND LATCHING HARDWARE. SMOKE SEAL @ JAMB. HEAD @ METAL THRESHOLD.
- 7 PROVIDE 5/8" TYPE "X" GYP.BD. ON WALLS AND CEILING OF ENCLOSED UNSEABLE SPACE UNDER STAIRS
- 8 36" HIGH STAR RAILING
- 9 TEMPERED GLASS
- 10 OBSCURED, TEMPERED GLASS
- 11 (N) PARAPET WALL 18" HEIGHT OF BALCONY
- 11.1 24" HIGH METAL GUARDRAIL
- 11.2 SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET.
- 13 2" SHOWER CURB.
- 14 36" HIGH KITCHEN COUNTER ISLAND
- 15 BUIL-IN UNDER-COUNTER DISHWASHER
- 16 (N) POST
- 17 (N) TANKLESS WATER HEATER

SYMBOL LEGEND

(E) 2X4 WALL  
 (N) 2X4 INTERIOR WALL  
 (N) 2X4 EXTERIOR WALL / INFILL WITH INSULATION PER I-24  
 CEILING AIR DIFFUSER  
 DECK DRAIN  
**LEGEND**  
 DOOR TYPE. SEE SCHEDULE A.30  
 WINDOW TYPE. SEE SCHEDULE A.30  
 KEY NOTE  
 FLOOR DEPRESSION

RESIDENCE ADDITION AND REMODEL

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RESIDENCE ADDITION AND REMODEL  
 910 KINGS RD, NEWPORT BEACH, CA 92663

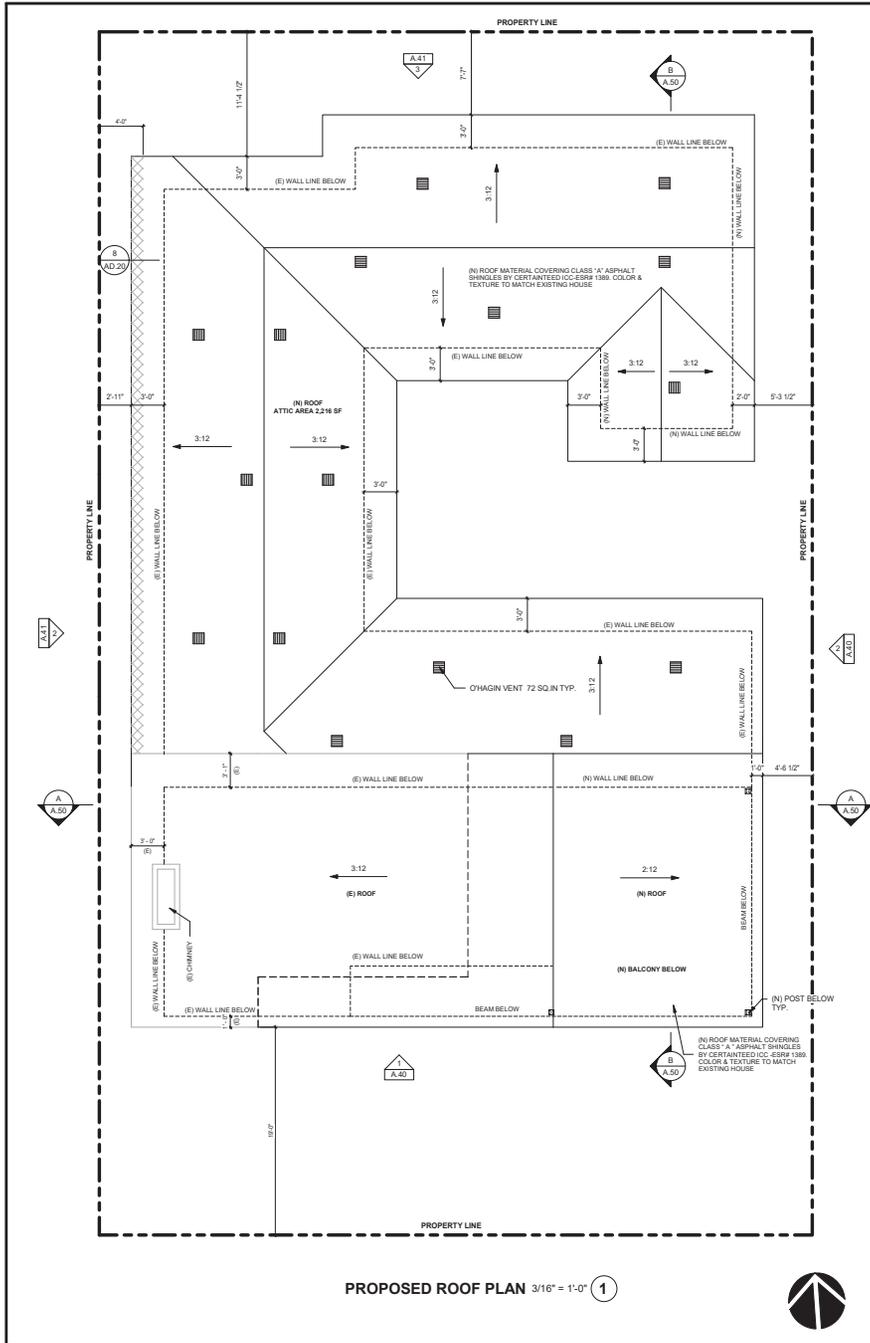
DELTA	DATE	DESCRIPTION
▲	07-17-2025	1ST CORRECTIONS
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ONE DESIGNER MANY STYLES

PROPOSED 2ND FLOOR PLAN



**ROOF PLAN GENERAL NOTES**

- (N) ROOF MATERIAL COVERING CLASS 'A' ASPHALT SHINGLES BY CERTAINTED ICC-ES ESR-1389. COLOR & TEXTURE TO MATCH EXISTING HOUSE.
- PROJECTIONS LESS THAN 5'-0" (HOUSE WITH NO SPRINKLER) TO PROPERTY LINE TO BE 1-HOUR CONSTRUCTION, TYP.
- ROOF VENT - SEE ROOF VENTILATION CALCULATION.

**ROOF VENTILATION CALCULATION**

(N) ATTIC AREA: 2,216 SF  
 USE BALANCE METHOD:  
 NET VENT AREA REQUIRE: 2.2'x16.000' x 144 SQ IN. = 1,064 SQ IN  
 1/2 OF VENT AREA WILL BE PLACED AT HIGH PART OF ROOF (EXHAUST VENT)  
 1/2 OF VENT AREA WILL BE PLACED AT LOW PART OF ROOF (INTAKE VENT)  
 LOW: USE 8 UNITS O'HAGIN VENT (72 SQ IN./UNIT)  
 HIGH: USE 8 UNITS O'HAGIN VENT (72 SQ IN./UNIT)

**ROOF VENTILATION NOTES: (CRC R806)**

- ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATION OPENINGS SHALL HAVE AT LEAST DIM. OF 1/8" MIN. AND 1/4" MAX. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4" SHALL BE PROVIDED W/ CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE, CLOTH, OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIM. OF 1/8" MIN. AND 1/4" MAX. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQUIREMENTS OF CRC R802.7. REQUIRED VENTILATION OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR.
- THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/200 IF ONE OR MORE OF THE FOLLOWING ARE MET: 1. IN CLIMATE ZONES 14 & 16, A CLASS II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING; 2. AT LEAST 80% AND MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST OF THE SPACE SHALL BE PERMITTED.
- WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. OF A 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHING. AND AT THE LOCATION OF THE VENT.
- VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH MFRG.'S INSTALLATION INSTRUCTIONS. INSTALLATION OF VENTILATORS IN ROOF SYSTEMS SHALL BE IN ACCORDANCE W/ THE REQS. OF SECTION R802, INSTALLATION OF VENTILATORS.)

**RESIDENCE ADDITION AND REMODEL**

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**RESIDENCE ADDITION AND REMODEL**  
**910 KINGS RD, NEWPORT BEACH, CA 92663**

DELTA	DATE	DESCRIPTION
▲	07-17-2025	1ST CORRECTIONS
▲	08-12-2025	2ND CORRECTIONS

IT IS THE CONTRACTOR'S OR OWNER/BUILDER'S RESPONSIBILITY PRIOR TO BEING BIDDING OR CONTRACTING TO REVIEW THE DESIGNER'S DRAWINGS AND SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER/BUILDER SHOULD BE AWARE AND IN ACCORDANCE WITH THE BUILDING CODE AND ALL OTHER APPLICABLE REGULATIONS. THE CONTRACTOR OR OWNER/BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR OR OWNER/BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR OR OWNER/BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.



ONE DESIGNER MANY STYLES

**PROPOSED ROOF PLAN**

### ELEVATION KEYNOTES

- 1 (N) ROOF MATERIAL COVERING CLASS "A" ASPHALT SHINGLES BY CERTAINTED CC-ESR# 1385. COLOR & PER THE INSTALLATION OF ROOF COVERINGS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- 2 (N) 2 1/2" VINYL MOLDING TRIM FOR ALL WINDOWS
- 3 TEMP. GLASS
- 4 TEMP. OBSCURED GLASS
- 5 (N) PARAPET WALL 18" HEIGHT OF BACONY
- 6 (N) 24" HIGH METAL GUARDRAIL
- 7 (N) POST
- 8 (N) STUCCO, PAINT AND MATERIAL TO MATCH EXISTING
- 9 (N) BRICK WALL TO MATCH EXISTING
- 10 (N) FASCIA & TRIMMING - PAINT TO MATCH EXISTING HOUSE.

### ELEVATION NOTES

1. PROVIDE FIRE BLOCKING IN CONCEALED SPACES 19" O.C. HORIZONTAL VERTICALLY AT THE CEILING AND FLOOR LEVELS. CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STAIR AND LANDING, OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, WIRES, CHIMNEYS AND FIREPLACES. (CIRC 902.11)
2. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" TO THE EXPOSED GROUND SHALL BE PRESSURE TREATED OR NATURALLY DURABLE TO RESIST DECAY. (CIRC 902.2)
3. ALL WALLS TO BE SMOOTH FINISH U.O.
4. CONTRACTOR TO INCLUDE ALL FINISH AND COLOR SPECIFIED BY OWNER AND INTERIOR DESIGNER.
5. CONTRACTOR TO VERIFY W/ OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION.
6. MIN. 3/8" COX PL WOOD THROUGH-OUT @ OUTSIDE FACE OF WALL
7. CONTRACTOR TO INCLUDE INSULATION OF CLOSET ORGANIZER. (SELECTED BY OWNER)
8. CONTRACTOR TO VERIFY ALL OWNER'S APPLIANCE MANUAL SPEC. PRIOR TO CONSTRUCTION.
9. DESIGN BUILT CABINET TO FIT
10. ALL INTERIOR, DOOR, WINDOW SIDE, HEAD AND SILL TO BE MOLDING
11. EXTERIOR CONCRETE LANDING TO COMPLY 2002 CRC R31.3
  - A. THERE SHALL BE A LANDING ON FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 48 INCHES MEASURING IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).
  - B. LANDINGS AT THE REQUIRED DOOR SHALL NOT MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING SHALL BE NOT MORE THAN 7 3/8 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING
12. GROUND ADJACENT TO THE FOUNDATION SHALL BE MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE FOUNDATION WALL. (CIRC 900.1)

### LEGENDS

- ⊗ DOOR TYPE, SEE SCHEDULE A.30
- ⊕ WINDOW TYPE, SEE SCHEDULE A.30
- ⊞ KEY NOTE
- ⊞ FLOOR DEPRESSION
- ⊞ EGRESS ESCAPE & RESCUE OPENING

## RESIDENCE ADDITION AND REMODEL

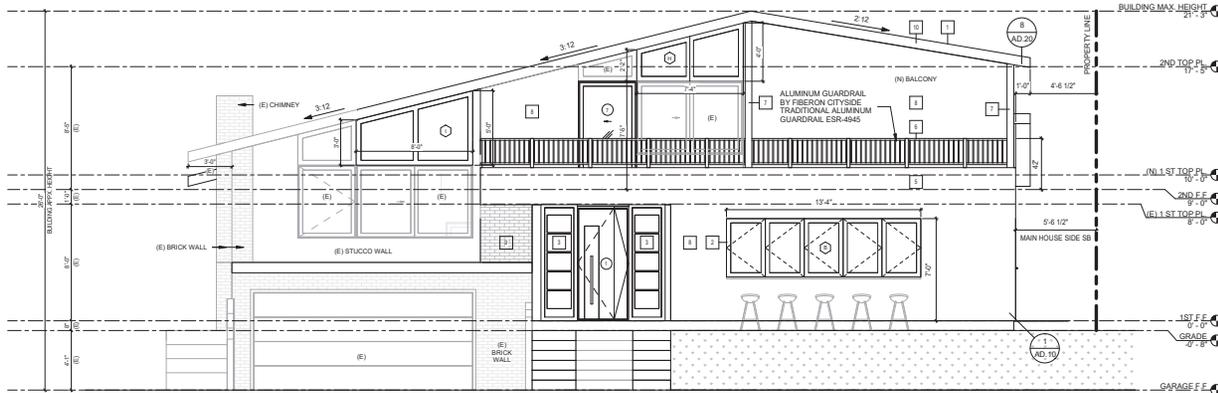
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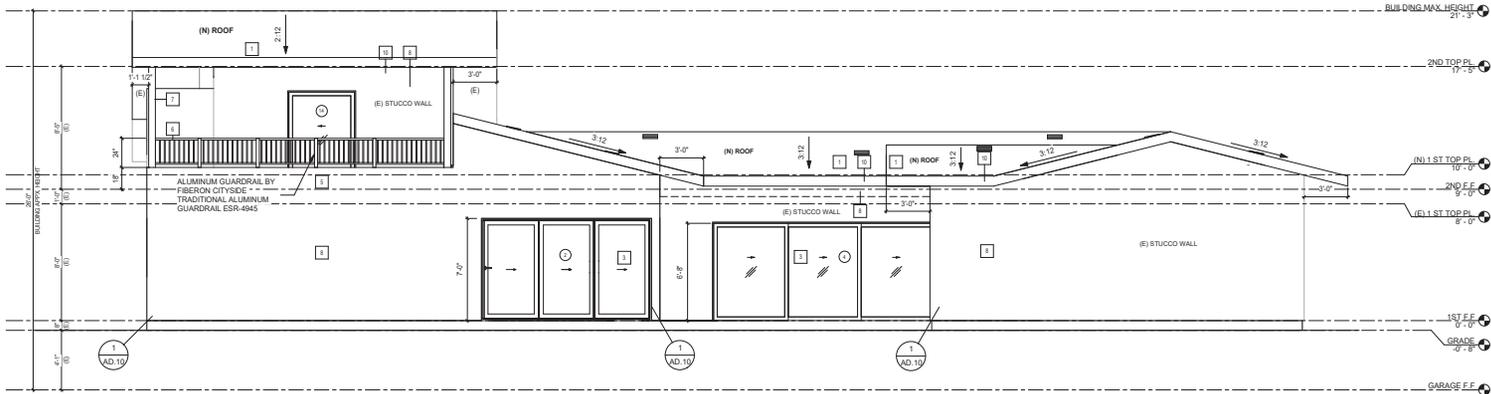
### OWNERSHIP

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**RESIDENCE ADDITION AND REMODEL**  
**910 KINGS RD, NEWPORT BEACH, CA 92663**



PROPOSED SOUTH ELEVATION 1/4" = 1'-0" 1



PROPOSED EAST ELEVATION 1/4" = 1'-0" 2

DELTA	DATE	DESCRIPTION
⚠	07-17-2025	1ST CORRECTIONS
⚠	08-12-2025	2ND CORRECTIONS

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### PROPOSED ELEVATIONS

### ELEVATION KEYNOTES

- 1 (N) ROOF MATERIAL COVERING CLASS "A" ASPHALT SHINGLES BY CERTAINTED ICC-ES ESR-1389. COLOR & FOR THE INSTALLATION OF ROOF COVERING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- 2 (N) 2 1/2" VINYL MOLDING TRIM FOR ALL WINDOWS
- 3 TEMP. GLASS
- 4 TEMP. OBSCURED GLASS
- 5 (N) PARAPET WALL 18" HEIGHT OF BACONY
- 6 (N) 24" HIGH METAL GUARDRAIL
- 7 (N) POST
- 8 (N) STUCCO, PAINT AND MATERIAL TO MATCH EXISTING
- 9 (N) BRICK WALL TO MATCH EXISTING
- 10 (N) FASCIA & TRIMMING - PAINT TO MATCH EXISTING HOUSE.

### ELEVATION NOTES

- 1 PROVIDE FIRE BLOCKING IN CONCEALED SPACES 10" O.C. HORIZONTAL VERTICALLY AT THE CEILING AND FLOOR LEVELS. CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STAIR AND LANDING, OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, WIRES, CHIMNEYS AND PRE-FASCIA. (CRC R312.2)
- 2 ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" TO THE EXPOSED GROUND SHALL BE PRESSURE TREATED OR NATURALLY DURABLE TO (CRC R312.2)
- 3 ALL WALLS TO BE SMOOTH FINISH U.N.O.
- 4 CONTRACTOR TO INCLUDE ALL FINISH AND COLOR SPECIFIED BY OWNER AND INTERIOR DESIGNER.
- 5 CONTRACTOR TO VERIFY W/ OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION.
- 6 MIN. 3/8" COX PLYWOOD THROUGH-OUT @ OUTSIDE FACE OF WALL
- 7 CONTRACTOR TO INCLUDE INSULATION OF CLOSEST ORGANIZER. (SELECTED BY OWNER)
- 8 CONTRACTOR TO VERIFY ALL OWNER'S APPLIANCE MANUAL SPEC. PRIOR TO CONSTRUCTION.
- 9 DESIGN BUILT CABINET TO FIT
- 10 ALL INTERIOR, DOOR, WINDOW SIDE, HEAD AND SILL TO BE MOLDING
- 11 EXTERIOR CONCRETE LANDING TO COMPLY 2023 CRC R311.3  
A. TRIM SHALL BE ALIGNED ON FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4" UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).
- 12 LANDINGS AT THE REQUIRED DOOR SHALL NOT MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING SHALL BE NOT MORE THAN 7 3/4 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING
- 13 GROUND ADJACENT TO THE FOUNDATION SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE FOUNDATION WALL. (CRC R401.3)

### LEGENDS

- DOOR TYPE, SEE SCHEDULE A.30
- WINDOW TYPE, SEE SCHEDULE A.30
- KEY NOTE

## RESIDENCE ADDITION AND REMODEL

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RESIDENCE ADDITION AND REMODEL  
910 KINGS RD, NEWPORT BEACH, CA 92663

DELTA	DATE	DESCRIPTION
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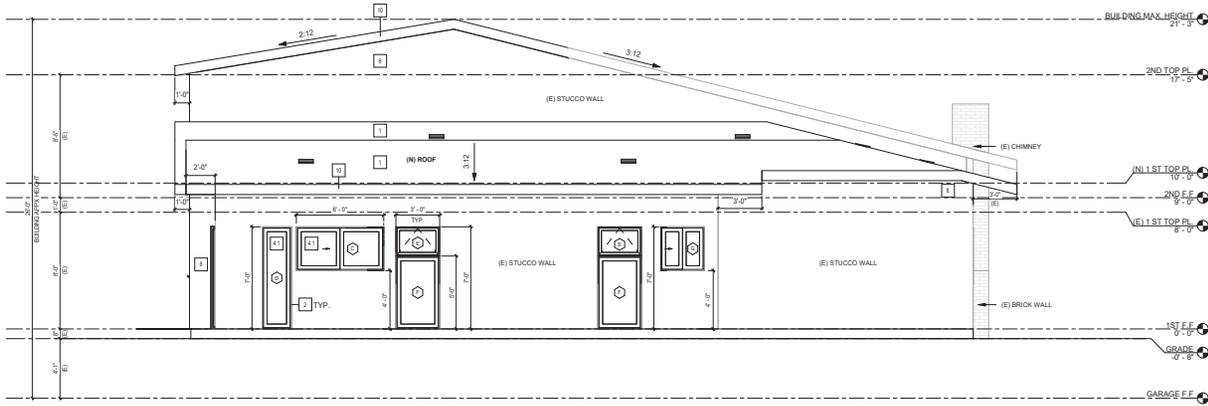


ONE DESIGNER MANY STYLES

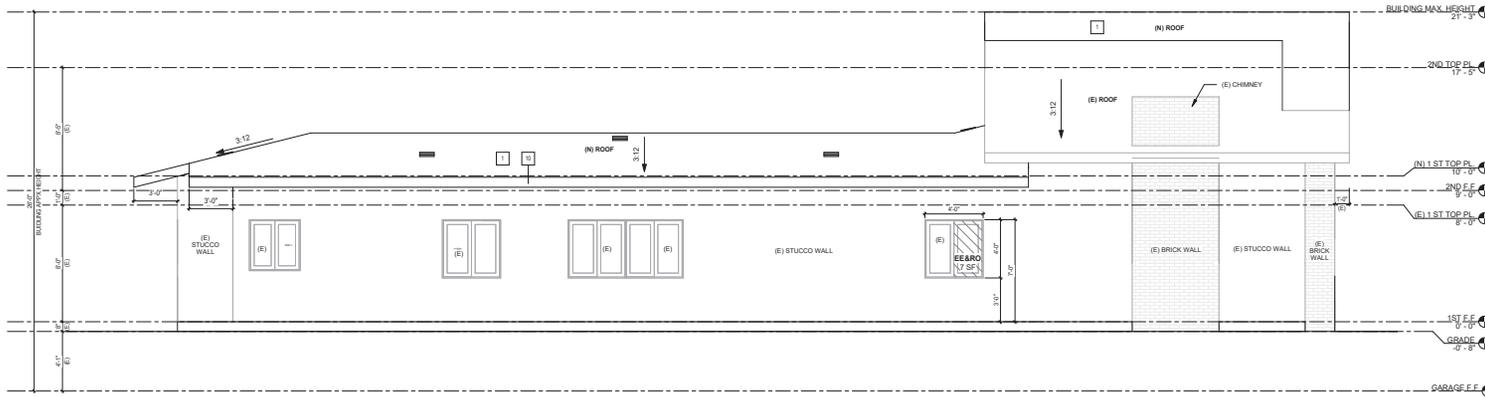
*J. Thompson*

### PROPOSED ELEVATIONS

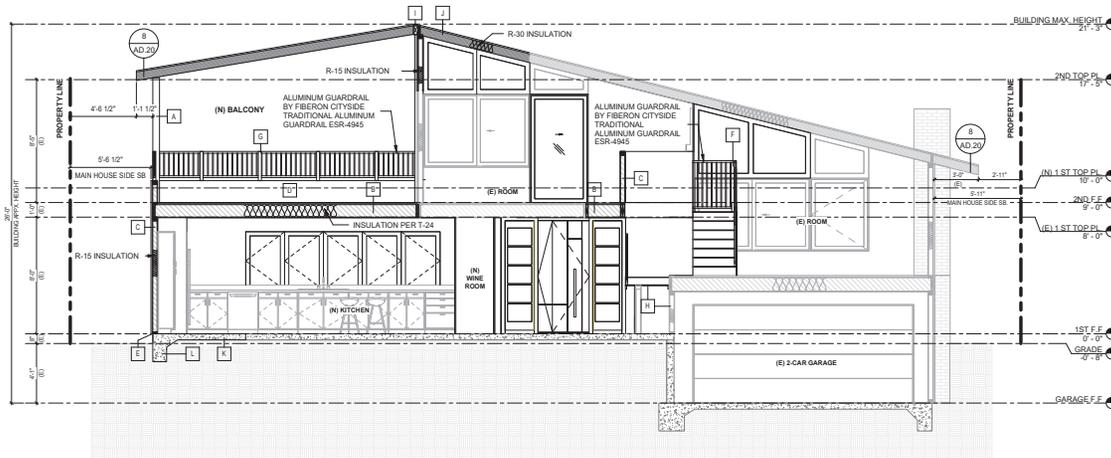
A.41



PROPOSED NORTH ELEVATION 1/4" = 1'-0" 3



PROPOSED WEST ELEVATION 1/4" = 1'-0" 2



PROPOSED SECTION A-A 1/4" = 1'-0" (A)

**SECTION KEYNOTES**

- A (N) POST
- B (N) 2x FLOOR JOISTS PER STRUCT
- C (N) 2x4 STUD WALL PER STRUCT
- D (N) PARAPET WALL 18" HEIGHT OF BACONY
- E WEEP SCREED FOR STUCCO, 2" ABOVE PAVED AREAS, 8" ABOVE NATURAL GRADE.
- F (N) 36" HIGH METAL GUARDRAIL
- G (N) 24" HIGH METAL GUARDRAIL
- H PROVIDE 5/8" TYPE "X" GYP BD. ON WALLS AND CEILING OF ENCLOSED UNSEABLE SPACE UNDER STAIRS
- I (N) 4x8 RIDGE BOARD PER STRUCT.
- J (N) 2x ROOF RAFTER PER STRUCT.
- K (N) CONCRETE SLAB PER STRUCT.
- L (N) FOOTING PER STRUCT
- M (N) ROOF VENT

**SECTION NOTES**

1. PROVIDE FIRE BLOCKING IN CONCEALED SPACES 12" O.C. HORIZONTAL, VERTICALLY AT THE CEILING AND FLOOR LEVELS, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STAIR AND LANDING, OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, WIRES, CHIMNEYS AND FIREPLACES. CRC R302.11.
2. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS, AND ARE LESS THAN 8" TO THE EXPOSED END SHALL BE PRESSURE TREATED OR NATURALLY DURABLE TO DECAY. CRC R017.203.
3. ALL WALLS TO BE SMOOTH FINISH U.O.
4. CONTRACTOR TO INCLUDE ALL FINISH AND COLOR SPECIFIED BY OWNER AND INTERIOR DESIGNER.
5. CONTRACTOR TO VERIFY W/ OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION.
6. MIN. 3/8" CDX PLYWOOD THROUGH-OUT @ OUTSIDE FACE OF WALL.
7. CONTRACTOR TO INCLUDE INSULATION OF CLOSET ORGANIZER. (SELECTED BY OWNER)
8. CONTRACTOR TO VERIFY ALL OWNERS APPLIANCE MANUAL SPEC. PRIOR TO CONSTRUCTION.
9. DESIGN BUILT CABINET TO FIT
10. ALL INTERIOR, DOOR, WINDOW SIDE, HEAD AND SILL TO BE MOLDING
11. EXTERIOR CONCRETE LANDING TO COMPLY 2022 CRC R311.3  
A. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SWEPT. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4" UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT)
- B. LANDINGS AT THE REQUIRED DOOR SHALL NOT MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPT THE LANDING SHALL BE NOT MORE THAN 1 3/4 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING
12. GROUND ADJACENT TO THE FOUNDATION SHALL FALL A MINIMUM OF 8 INCHES WITHIN THE FIRST 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE FOUNDATION WALL. (CRC R401.3)

**LEGEND**

XX KEY NOTE

**RESIDENCE ADDITION AND REMODEL**

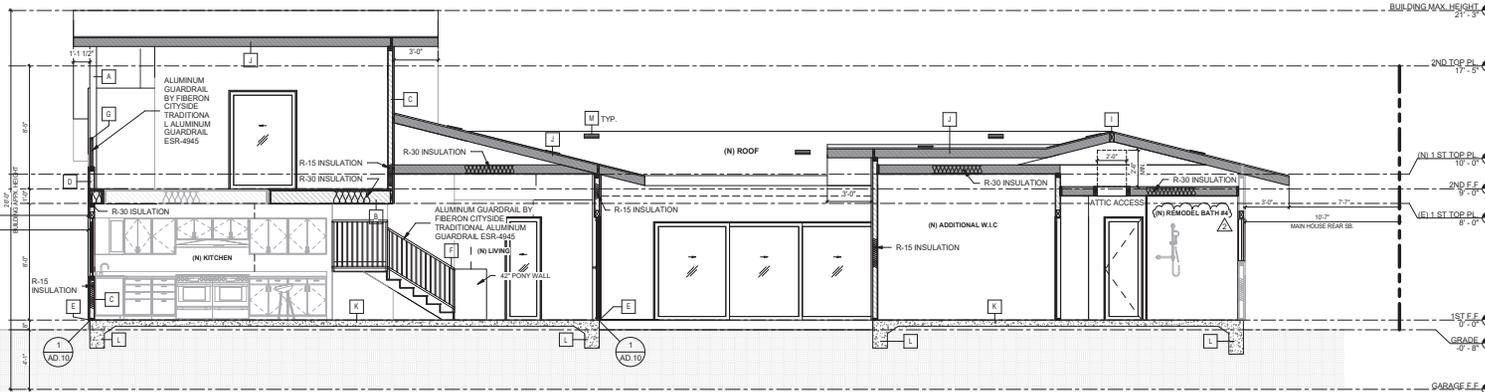
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**RESIDENCE ADDITION AND REMODEL**  
**910 KINGS RD, NEWPORT BEACH, CA 92663**



PROPOSED SECTION B-B 1/4" = 1'-0" (B)

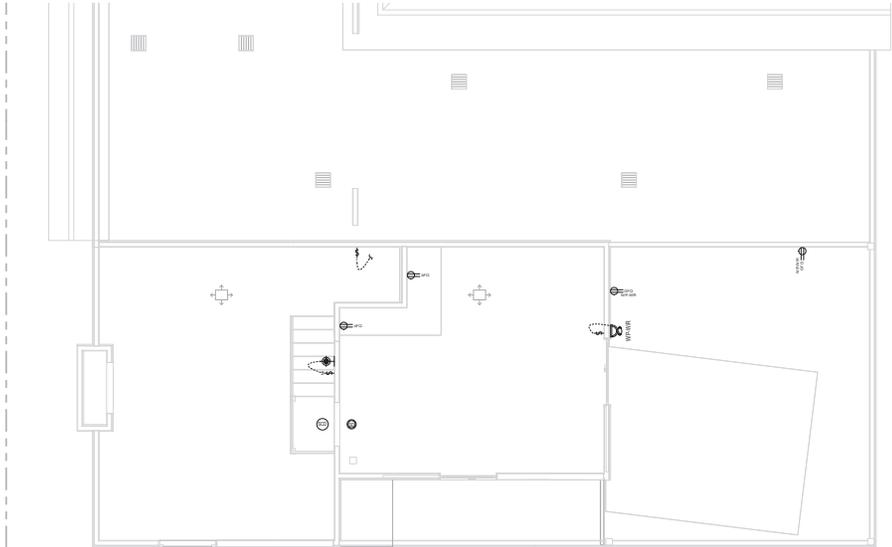
DELTA	DATE	DESCRIPTION
▲	07-17-2025	1ST CORRECTIONS
▲	06-12-2025	2ND CORRECTIONS

IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY PRIOR TO BEING CONSTRUCTION TO VERIFY THE DESIGNER'S WRITING SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER SHALL BE RESPONSIBLE AND CONSISTENT WITH THE BUILDING CODES AND ALL APPLICABLE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DESIGNER'S WRITING SPECIFICATIONS ADDRESSING SUCH PROVISIONS OR COMMENTS SHALL BE EXPEDITIOUSLY RESPONDED TO BY THE CONTRACTOR OR OWNER PRIOR TO ANY PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT BEING FOLLOWED.



**PROPOSED SECTIONS**





2 PROPOSED ELECTRICAL 2ND FLOOR PLAN  
1/4" = 1'-0"

**ELECTRICAL NOTES**

1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA ELECTRICAL CODE (CEC) CALIFORNIA ENERGY CODE, AND ALL APPLICABLE LOCAL REGULATIONS.
2. ALL 120V, 15A AND 20A OUTLETS IN HABITABLE SPACES (BEDROOMS, LIVING ROOMS, KITCHENS, ETC.) SHALL HAVE AFCI PROTECTION PER CEC 210.12.
3. GFCI PROTECTION IS REQUIRED FOR ALL OUTLETS IN BATHROOMS, KITCHENS (SERVING COUNTERTOPS), GARAGES, LAUNDRY AREAS, BASEMENTS, AND ALL OUTDOOR LOCATIONS PER CEC 210.8.
4. ALL NEW OUTLETS SHALL BE TAMPER-RESISTANT. OUTDOOR OUTLETS SHALL BE WEATHER-RESISTANT (W/R) WITH IN-USE (BUBBLE-TYPE) COVERS PER CEC 405.8.
5. SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED PER CEC 907.2.11. THEY SHALL BE INSTALLED IN ALL SLEEPING ROOMS, OUTSIDE EACH SLEEPING AREA, AND ON EVERY LEVEL.
6. ALL LIGHTING FIXTURES SHALL BE HIGH EFFICACY PER CALIFORNIA ENERGY CODE (TITLE 24) RECESSED FIXTURES IN INSULATED CEILING MUST BE GRATED AND AIRTIGHT (AT).
7. KITCHEN COUNTERTOP OUTLETS SHALL BE SPACED NO MORE THAN 48 INCHES APART, WITH AT LEAST TWO DEDICATED 20A SMALL APPLIANCE CIRCUITS PER CEC 210.53(B).
8. BATHROOMS SHALL HAVE AT LEAST ONE 20A DEDICATED CIRCUIT, SERVING ONLY BATHROOM OUTLETS PER CEC 210.11(C)(3).
9. A DEDICATED 20A CIRCUIT IS REQUIRED FOR THE LAUNDRY AREA PER CEC 210.11(C)(2), SERVING ONLY LAUNDRY EQUIPMENT OUTLETS.
10. OUTDOOR LIGHTING SHALL BE CONTROLLED BY A PHOTOCELL, MOTION SENSOR, OR ASTRONOMICAL TIME CLOCK PER CALIFORNIA ENERGY CODE.
11. ELECTRICAL SERVICE PANEL SHALL HAVE A MINIMUM 3 FEET OF CLEARANCE IN FRONT, 30 INCHES WIDE, AND 6.5 FEET HIGH PER CEC 110.26.
12. ALL METALLIC PIPING SYSTEMS (WATER, GAS) SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND PER CEC 250.154.
13. GROUNDING ELECTRODE SYSTEM SHALL INCLUDE A UFER GROUND (CONCRETE-ENCASED ELECTRODE) OR AN APPROVED GROUND ROD PER CEC 250.52.
14. AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED IN ATTICS, UNDERFLOOR SPACES, AND BASEMENTS USED FOR STORAGE OR CONTAINING EQUIPMENT, WITH THE SWITCH NEAR THE ACCESS POINT PER CEC 210.70(A)(2).
15. ELECTRICAL PANELS AND DISCONNECTS SHALL BE PERMANENTLY LABELED, AND CIRCUITS IDENTIFIED CLEARLY FOR ALL DWELLING UNITS PER CEC 110.22.
16. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS AND WALK-IN CLOSETS AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY AN OCCUPANT OR VACANCY SENSOR PROVIDING AUTOMATIC OFF FUNCTIONALITY. (CEC SECTION 90.50(A)(2.1))
17. ADD THE FOLLOWING INDOOR LIGHTING CONTROLS NOTES ON THE DRAWINGS (CEC SECTION 150.00(D)):
  - A. KIDS AUTO-OFF CONTROLS FOR LIGHTING IN DRAWERS AND CABINETS.
  - B. UNDERSHELF, DISPLAY CABINETS, SWITCHED OUTLETS CONTROLLED SEPARATE FROM CEILING LIGHTING.
  - C. LIGHTING IN HABITABLE SPACES SHALL HAVE ACCESSIBLE WALL-MOUNTED DIMMING CONTROLS.

**CEILING/ELECTRICAL PLAN LEGEND**

- EXHAUST FAN FOR ABOVE KITCHEN ELECTRICAL RANGE SHALL BE MINIMUM 50% CE OR 110 CFM (EXHAUST THROUGH ROOF)
- EXHAUST FAN SHALL BE ENERGY STAR RATED, CEILING MOUNTED LIGHT w/ VENT 50 CFM MIN., INTERMITTENT W/ HUMIDITY CONTROL, PER CMC 402.8. BETWEEN 60"-66" SHALL BE DUCTED TO OUTSIDE THROUGH ROOF/EXTERIOR WALL
- EXHAUST FAN PER 1-24
- ELECTRICAL PANEL/METER PER KEYNOTE
- SMOKE DETECTOR HARDWIRED w/ BATTERY BACK UP
- SMOKE DETECTOR COMBINED WITH CO DETECTOR, HARDWIRED WITH BATTERY BACKUP.
- 22X30 ATTIC ACCESS
- TANKLESS WATER HEATER PER 1-24
- HEAT PUMP ON 3" THICK CONCRETE PAD
- HEATPUMP + AIR HANDLER
- SWITCH W/ VACANCY SENSOR
- SWITCH W/ OCCUPANCY SENSOR
- SWITCH W/ MOTION SENSOR
- 3-WAY SWITCH
- 3-WAY DIMMER SWITCH
- DIMMER SWITCH
- ON/OFF SWITCH
- GARBAGE DISPOSAL
- HIGH EFFICACY VANITY WALL LIGHT
- HIGH EFFICACY EXTERIOR WALL SCONCE LIGHT
- L.E.D. RECESSED LIGHT FIXTURE
- CEILING MOUNTED HANGING LED LIGHT FIXTURE (PENDANT)
- L.E.D. RECESSED LIGHT FIXTURE (W/ WATER PROOF)
- WALL LIGHT FIXTURE
- UNDER CABINET LIGHT
- 110V DUPLEX OUTLET, GROUND FAULT CIRCUIT INTERRUPT (ENTIRE CIRCUIT)
- 110V DUPLEX OUTLET, ARC FAULT CIRCUIT INTERRUPT (ENTIRE CIRCUIT)
- 110V DUPLEX OUTLET, AFCI GFCI
- 110V FLOOR OUTLET, GFCI
- HIGH EFFICACY PHOTOCELL WITH MOTION SENSOR COMBINATIONS
- DRYER EXHAUST
- CEILING AIR DIFFUSER
- WIP: WATER PROOF
- W/R: WEATHER-RESISTANT

**RESIDENCE ADDITION AND REMODEL**

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*[Signature]*

**MAIN HOUSE - PROPOSED ELECTRICAL 2ND FLOOR PLANS**