



CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION ACTION REPORT

TO: CITY COUNCIL, CITY MANAGER, AND PLANNING COMMISSION

FROM: Jaime Murillo, Acting Community Development Director

SUBJECT: Report of actions taken by the Zoning Administrator, and/or Community Development Director for the week ending December 19, 2025.

COMMUNITY DEVELOPMENT DIRECTOR OR ZONING ADMINISTRATOR ACTIONS (Non-Hearing Items)

Item 1: Greaves Residence Staff Approval for Minor Change to Modification Permit (PA2025-0227)
Site Address: 910 Kings Road

Action: Approved

Council District 2

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within fourteen (14) days following the date the action or decision was rendered unless a different period is specified by the Municipal Code (e.g., Title 19 allows ten (10) day appeal period for tentative parcel and tract maps, lot line adjustments, or lot mergers). For additional information on filing an appeal, contact the Planning Division at 949 644-3200.



COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
949-644-3200

www.newportbeachca.gov

COMMUNITY DEVELOPMENT DIRECTOR ACTION LETTER

Subject: Greaves Residence (PA2025-0227)

- Staff Approval

Site Location: 910 Kings Road

Applicant: Christopher Greaves

Legal Description: Lot 10 of Block G of Tract 1219

On **December 19, 2025**, the Community Development Director approved the staff approval filed as PA2025-0227, authorizing a minor change to the modification permit filed as PA2025-0157. The modification permit allowed a 515-square-foot addition to an existing single-unit dwelling with an attached, legally nonconforming, two-car garage. The proposed change will allow for an additional 118 square feet beyond the original approval to accommodate an expanded entry area.

LAND USE AND ZONING

- **General Plan Land Use Plan Category:** Single Unit Residential Detached (RS-D)
- **Zoning District:** Single-Unit Residential (R-1)

I. BACKGROUND AND PROPOSED CHANGES

On September 25, 2025, the Zoning Administrator adopted Resolution No. ZA 2025-059 (Attachment No. CD 2) approving a modification permit allowing a 515-square-foot (15%) addition to an existing 2,912-square-foot, two-story, single-unit dwelling with an attached 422-square-foot two-car garage. The existing garage provides the minimum Newport Beach Municipal Code (NBMC) required depth of 20 feet; however, its width is substandard at 19 feet, 8 inches, where 20 feet is required, and is therefore considered nonconforming. A modification permit was required pursuant to Section 20.38.060 (Nonconforming Parking) of the NBMC as the applicant is proposing an addition greater than 10% of the dwelling's existing gross floor area without altering the garage for compliance with current standards.

The proposed changes include increasing the addition by 118 square feet to accommodate an expanded entry area. This would increase the total addition to 633 square feet (19%), resulting in a total gross floor area of 3,967 square feet.

This approval is based on the following findings and is subject to the following conditions.

II. FINDINGS

The Community Development Director may authorize minor changes to an approved site plan, architecture, or the nature of the approved use without a public hearing subject to the findings provided in Section 20.54.070(B)(1) of the NBMC. In this case, the Community Development Director has determined that the proposed changes are in substantial conformance with modification permit filed as PA2025-0157.

Finding:

A. *The changes are consistent with all applicable provisions of this Zoning Code.*

Facts in Support of Finding:

1. The subject property is located within the Single-Unit Residential (R-1) Zoning District and is categorized as Single Unit Residential Detached (RS-D) by the land use element of the general plan. These designations are intended to provide for areas appropriate for the development of detached single-family residential dwelling units, each located on a single legal lot. The proposed changes do not alter the project's land use and the project remains consistent with the intent of these designations.
2. With the exception of garage width, the project conforms to all other applicable development standards including floor area limit, setbacks, height, number of off-street parking spaces, and parking space depth.

Finding:

B. *The changes do not involve a feature of the project that was a basis for or subject of findings or exemptions in a negative declaration or Environmental Impact Report for the project.*

Facts in Support of Finding:

1. The original project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.
2. The Class 3 exempts the demolition of up to three single-unit dwellings and additions to existing structures of up to 10,000 square feet. The proposed changes results in a 633-square-foot addition to an existing single-unit dwelling within a developed neighborhood. Therefore, the Class 3 exemption is applicable.

Finding:

- C. *The changes do not involve a feature of the project that was specifically addressed or was the subject of a condition(s) of approval for the project or that was a specific consideration by the applicable review authority in the project approval.*

Fact in Support of Finding:

1. Condition of approval No. 6 of the approved modification permit specifies that any change to the approved plans, including addition beyond the approved scope of work, requires review by the Planning Division and that significant changes may require an amendment to or the processing of a new modification permit. This condition is intended to allow a staff level review to determine whether a proposed change would remain consistent with the intent of the approved modification permit. The basis for approving the modification permit was that increasing the garage width by four inches to meet the 20-foot requirement would significantly increase the scope and cost of the project while providing negligible benefit, as the garage would still function as a two-car garage. Therefore, allowing an addition beyond 10% was deemed appropriate. While the change increased the addition by 115 square feet, the project remains consistent with the intent of the modification permit.

Finding:

- D. *The changes do not result in an expansion or change in operational characteristics of the use*

Fact in Support of Finding:

1. The approved modification permit authorized an addition to an existing single-unit dwelling. The proposed changes will allow for a larger addition but does not result in a change to the density or the use of the property.

III. CONDITIONS

1. All previous conditions of approval for the Modification Permit filed as PA2025-0157 shall remain in full force and effect.
2. The development authorized by this Staff Approval shall be in substantial conformance with the approved project plans (Attachment No. CD 3)
3. The Community Development Director may add or modify conditions to this staff approval or revoke this staff approval upon determination that the addition, which is the subject of this staff approval, causes injury, or is detrimental to the public health,

safety, peace, or general welfare of the community if the property is operated or maintained so as to constitute a public nuisance.

APPEAL PERIOD: An appeal or call for review may be filed with the Director of Community Development or City Clerk, as applicable, within 14 days following the date the action or decision was rendered. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:

Approved by:



Jerry Arregui
Assistant Planner



Jaime Murillo, AICP
Acting Community Development Director

JP/ja

Attachments: CD 1 Vicinity Map
CD 2 Resolution No. ZA2025-059
CD 3 Project Plans

Attachment No. CD 1

Vicinity Map

VICINITY MAP



Staff Approval (PA2025-0227)

910 Kings Road

Attachment No. CD 2

Resolution No. ZA2025-059

RESOLUTION NO. ZA2025-059

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA, APPROVING A MODIFICATION PERMIT FOR AN ADDITION GREATER THAN 10 PERCENT TO A SINGLE-UNIT DWELLING WITH A LEGAL NONCONFORMING GARAGE LOCATED AT 910 KINGS ROAD (PA2025-0157)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Christopher Greaves (Applicant), with respect to property located at 910 Kings Road, and legally described as Lot 10 of Block G of Tract 1219 (Property).
2. The Applicant requests a modification permit to allow a 515 square-foot addition to an existing 2,912 square-foot, two-story, single-unit dwelling with an attached 422 square-foot two-car garage that is considered legal nonconforming due to its interior dimensions. The existing garage provides the minimum required depth; however, the existing width is substandard at 19 feet, 8 inches, where the requirement is 20 feet. A modification permit is required pursuant to Section 20.38.060 (Nonconforming Parking) of Newport Beach Municipal Code (NBMC) as the Applicant proposes an addition greater than 10% of the existing gross square footage of the dwelling without altering the garage for compliance (Project). The Project meets all other applicable development standards, and no other deviations are requested.
3. The Property is designated Single Unit Residential Detached (RS-D) by the General Plan Land Use Element and is located within the Single-Unit Residential (R-1) Zoning District.
4. The Property is not located within the coastal zone.
5. A public hearing was held on September 25, 2025, online via Zoom. A notice of time, place and purpose of the hearing was given in accordance with Chapter 20.62 (Public Hearings) of the NBMC. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.

2. The Class 3 exempts the demolition of up to three single-unit dwellings and additions of up to 10,000 square feet to existing structures. The Project is remodel and 515-square-foot addition to an existing single-unit dwelling within a developed neighborhood. Therefore, the Class 3 exemption is applicable.
3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The Project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

SECTION 3. REQUIRED FINDINGS.

Modification Permit

In accordance with Section 20.52.050(E) (Modification Permits – Required Findings) of the NBMC, the following findings and facts in support of such findings are set forth:

Finding:

- A. *The requested modification will be compatible with existing development in the neighborhood.*

Facts in Support of Finding:

1. The Property is developed with a 2,912-square-foot, two-story, single-unit dwelling with an attached 422-square-foot two-car garage. The modification permit will allow for a 515-square-foot addition to the first floor of an existing two-story, single-unit dwelling to accommodate an expanded kitchen and dining area, and an expansion to the master bedroom walk-in closet. The Project results in a total interior living area of 3,397 square feet.
2. The surrounding neighborhood is comprised of single-, two- and three-story, single-unit dwellings which are between 3,000 to 6,000 square feet in size. The addition is proposed on the first floor of a two-story dwelling which conforms with all other applicable development standards, including, but not limited to, floor area limit, setbacks, and height. The Project will be consistent with the size and height of other dwellings in the neighborhood.
3. Table 3-10 (Off-Street Parking Requirements) of Section 20.40.040 (Off-Street Parking Spaces Required) of the NBMC requires a minimum of two parking spaces, in a garage, for a detached single-unit dwelling with less than 4,000 square feet of habitable area. The Project includes a nonconforming two-car garage that will continue to provide the minimum number of required parking spaces.

4. Pursuant to Table 3-14 (Minimum Interior Dimensions) of Section 20.40.090 (Parking Standards for Residential Uses) of the NBMC, residential properties with lot width exceeding 40 feet require a two-car garage to provide a minimum interior dimension of 20-feet wide by 20-feet deep. However, on lots that are 30 feet wide or less, only a 17-foot, 6-inch wide and 19-feet deep garage is required. The Property is approximately 65 feet wide and therefore requires a 20-foot by 20-foot garage. The Project maintains a nonconforming two-car garage that is 19 feet, 8 inches wide by 20 feet, 1 inch deep which is adequately sized for the parking of two vehicles. The Property will continue to provide the same amount of off-street parking as other similar sized dwellings in the neighborhood.
5. The Project will not result in a change to the density or the use of the Property.

Finding:

- B. *The granting of the modification permit is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.*

Facts in Support of Finding:

1. Section 20.38.060 (Nonconforming Parking) of the NBMC specifies that residential developments are considered to have nonconforming parking if the developments do not have the required number or type of parking spaces or because amendments to the NBMC have changed the dimensions of required parking spaces subsequent to the original construction. The existing single-unit dwelling was built in 1955 and is in conformance with the development standards at the time of construction, including parking. As a result of the amendments to Title 20 (Planning and Zoning) of the NBMC in 2010, a 20-foot width and 20-foot depth is now required for a two-car garage and the dwelling is considered to be legal nonconforming for parking.
2. The proposed addition and remodel does not include any changes to the attached garage. Modifying the garage walls for compliance with the 20-foot width requirement would require the relocation of the left side garage wall footing, widening the garage slab, widening the driveway, and reframing the garage wall and roof. Altering the garage width by 4 inches to meet the 20-foot requirement would significantly increase the scope and cost of the Project while providing negligible benefits as the garage can still accommodate the parking of two vehicles with the current width.
3. The granting of the modification permit is necessary to allow an addition of 15% to an existing single-unit dwelling that was constructed in compliance with garage standards in effect at the time of original construction. Although the existing garage width dimension is not in compliance with current development standards, it is adequate in size for the parking of two vehicles.

Finding:

- C. *The granting of the modification permit is necessary due to practical difficulties associated with the property and the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code.*

Facts in Support of Finding:

1. A strict application of the NBMC would require the relocation of the left garage wall by 4 inches to achieve the 20-foot width requirement which would subsequently require widening the garage slab, widening of the driveway and reframing of the garage wall and roof, adding significant scope and cost to the Project.
2. The purpose and intent of the NBMC's parking requirements is for single-unit dwellings under 4,000 square feet of livable area to provide a garage that accommodates the parking of two vehicles. Although the existing garage has substandard width, the garage still provides an area suitable for the parking of two vehicles, consistent with the intent of the parking requirement for single-unit dwellings.

Finding:

- D. *There are no alternatives to the modification permit that could provide similar benefits to the applicants with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.*

Facts in Support of Finding:

1. Modifying the garage for compliance with current interior garage dimension requirements would provide a negligible benefit and would unreasonably require significant alterations to the garage, which is beyond the scope of the planned addition and alterations. If the garage is brought into compliance with the required garage dimensions, the number of parking spaces provided would not increase and would not provide additional off-street parking. The 19-foot 8-inch garage width has not proven to be detrimental to any neighboring properties.
2. The Applicant intends to create additional kitchen and dining space and additional storage in the master bedroom closet for total increase of 515 square feet. An alternative to the project would be to reduce the size of the addition from 515 to 333 square feet, 10% of the existing gross-floor area of the structure, as authorized by Subsection 20.38.060(A) of the NBMC. However, this alternative would significantly reduce the amount of addition, impact the objectives of the Project and would not provide similar benefits to the Applicant.
3. Although the width of the garage does not meet the minimum 20-foot requirement, there is adequate space in the garage to accommodate two vehicles. The 19-foot 8-inch garage width has not proven to be detrimental to the occupants of the dwelling or any neighboring properties.

Finding:

- E. The granting of the modification permit would not be detrimental to public health, safety, or welfare, to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.*

Facts in Support of Finding:

1. Fact 1 in support of Finding D is hereby incorporated by reference.
2. The Property is also developed with a driveway in front of the garage that is 20 feet wide by 20 feet deep. Section 20.40.090 (Parking Standards for Residential Uses) of the NBMC allows parking on driveways located within the front setback that are at least 20 feet deep. Although driveway parking spaces are not required, the driveway would accommodate two additional parking spaces that help offset the marginally narrower parking spaces inside the garage and results in up to four on-site parking spaces.
3. The proposed first floor addition conforms to all applicable development standards, including, but not limited to setbacks, height, and will maintain adequate protection of light, air, and privacy. The addition will not preclude access to the dwelling and will be consistent with the scale of other two-story dwellings in the neighborhood.
4. The Project complies with the maximum floor area limitation of 9,002 square feet as the proposed addition will result in a total floor area is 3,849 square feet. Therefore, the proposed addition would not result in a change in intensity that is inconsistent with the provisions of the NBMC.
5. The approval of this Modification Permit is conditioned such that the Applicant is required to obtain all necessary permits in accordance with the Building Code and other applicable Codes.
6. The approval of this Modification Permit is conditioned that the Applicant is required to maintain the garage to be permanently available for parking purposes with its existing interior dimensions to remain unobstructed.

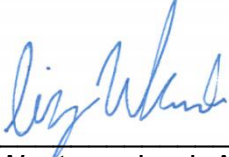
SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby finds this project is categorically exempt from the California Environmental Quality Act pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.

2. The Zoning Administrator of the City of Newport Beach hereby approves the Modification Permit filed as PA2025-0157, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Chapter 20.64 (Appeals) of the NBMC.

PASSED, APPROVED, AND ADOPTED THIS 25TH DAY OF SEPTEMBER 2025



Liz Westmoreland, AICP, Zoning Administrator

EXHIBIT “A”**CONDITIONS OF APPROVAL****Planning Division**

1. The Project shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. The Project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
3. The Applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Modification Permit.
4. This Modification Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the Property is operated or maintained to constitute a public nuisance.
5. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 (Planning and Zoning) of the NBMC.
6. *Any change to the approved plans, including any demolition or addition beyond the approved scope of work shall require review by the Planning Division prior to commencement of work. Significant changes may require an amendment to or the processing of a new modification permit or may require the garage structure to be modified into compliance with Section 20.40.090 (Parking Standards for Residential Uses) of the NBMC.*
7. Prior to issuance of the building permits, a copy of the Resolution, including conditions of approval Exhibit “A” shall be incorporated into the Building Division and field sets of plans
8. *The garage shall be permanently available and maintained for parking purposes. The interior clear dimensions (19 feet, 8 inches wide by 20 feet, 1 inch deep) shall be kept clear of obstructions including cabinets, shelving, or similar features, except as provided in Section 20.40.090 (Parking Standards for Residential Uses) of the NBMC, that prevents the ability to adequately park two vehicles.*
9. Prior to the issuance of a building permit, the Applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.

10. Should the Property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or the leasing agent.
11. Construction activities shall comply with Section 10.28.040 (Construction Activity – Noise Regulations) of the NBMC, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday and 8:00 a.m. and 6:30 p.m. on Saturday. Noise-generating construction activities are not allowed on Sundays or Holidays.
12. To the fullest extent permitted by law, Applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Greaves Residence including, but not limited to Modification Permit No. PA2025-0157**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by Applicant, City, and/or the parties initiating or bringing such proceeding. The Applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The Applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Building Division

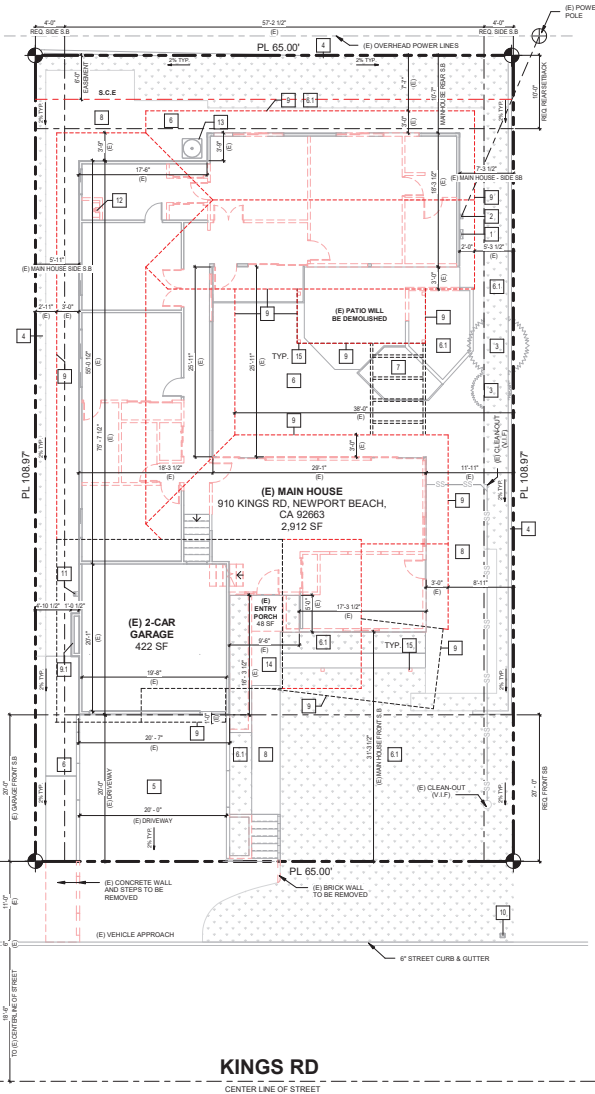
13. The Applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code.

Public Works Department

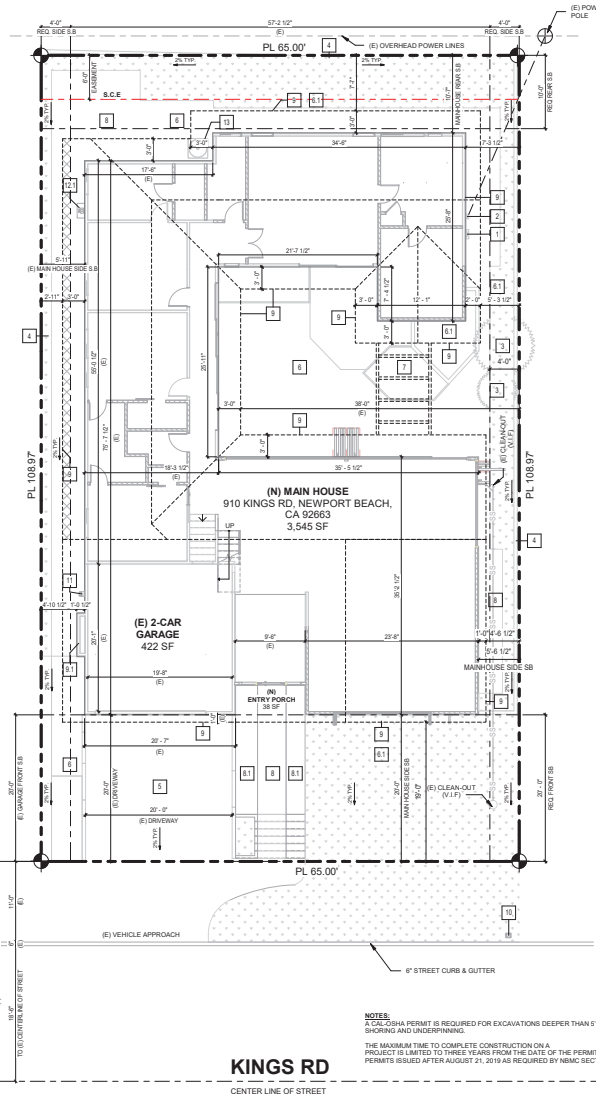
14. The Applicant is required to obtain an encroachment permit for all work located within the public right of way.
15. The Applicant shall remove the existing brick wall, concrete wall and steps from the public right of way.

Attachment No. CD 3

Project Plans



EXISTING SITE PLAN 1/8" = 1'-0" ②



PROPOSED SITE PLAN 1/8" = 1'-0" ①

SITE PLAN KEYNOTES

- | | |
|--|------------------------------------|
| 1 (E) MAIN HOUSE ELECTRICAL PANEL (V.I.F.) | 8.1 (E) PERVIOUS SURFACES |
| 2 (E) MAIN HOUSE ELECTRICAL METER (V.I.F.) | 8.1 (N) WALKWAY |
| 3 (E) TREE | 8.1 (E) CHIMNEY |
| 4 (E) TREE FENCE | |
| 5 (E) DRIVEWAY | |
| 6 (E) IMPERVIOUS SURFACES | |
| 7 (E) POOL | |
| 8 (E) WALKWAY | |
| 9 ROOF FLOOR LINE ABOVE | |
| 10 WATER METER (V.I.F.) | |
| 11 (E) GAS METER (V.I.F.) | |
| 12 TANKLESS WATER HEATER WILL BE RELOCATED | |
| 13 (E) A/C UNIT | |
| 14 (E) LANDING | |
| 15 (E) POST | |
| | 12 RELOCATED TANKLESS WATER HEATER |

SYMBOL LEGEND

- 2% DRAINAGE DIRECTION AND SLOPE
- PROPERTY LINE CORNER POINTS AND ELEVATION DATUM
- KEYNOTE CALLOUT
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- SS SS SEWER LINE
- S.C.E. SOUTHERN CALIFORNIA EDISON

RESIDENCE ADDITION AND REMODEL

PROJECT CONTACT

TOM VO
959 SOUTH COAST DRIVE, COSTA MESSA,
CA 92626, SUITE 325
PHONE: (714) 299-4770
EMAIL: HOMEBASEDS@GMAIL.COM

OWNERSHIP

CHRISTOPHER LAWRENCE GREAVES
910 KINGS ROAD, NEWPORT BEACH,
CA 92663
PHONE: (714) 369-7762
EMAIL: LAWRENCE@GREAVESCOMPANY.COM

RESIDENCE ADDITION AND REMODEL

910 KINGS RD, NEWPORT BEACH, CA 92663

DELTA	DATE	DESCRIPTION
▲	07-17-2025	1ST CORRECTIONS
▲	06-12-2025	2ND CORRECTIONS

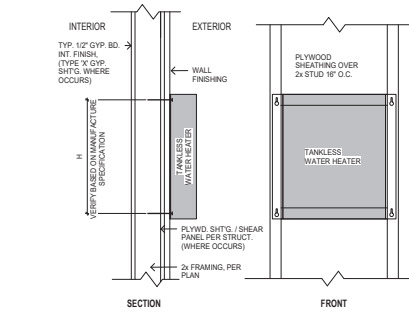
IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND TO COMPLY WITH ALL APPLICABLE REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND TO COMPLY WITH ALL APPLICABLE REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND TO COMPLY WITH ALL APPLICABLE REGULATIONS AND ORDINANCES.

TJM Design
ONE DESIGNER MANY STYLES

SITE PLANS

A.01

GENERAL WINDOW NOTES



- [illegible]

11. IN THE EVENT A DISCREPANCY SHALL ARISE IN THE CONTRACT DOCUMENTS, THE OWNER AND THE DESIGN/ENGINEER SHALL BE NOTIFIED, IN WRITING, IMMEDIATELY.

12. REMEDIATION CONTRACTOR SHALL DEDICATE RELIEVABLE MATERIALS TO DESIGNATED SALVAGE AREA. NON-SALVAGE MATERIALS SHALL BE PLACED APPROPRIATELY IN REFUSE BIN AND SHALL BE COVERED AT NIGHT AND DURING RELATIVE HIGH WINDS, RAIN, ETC. REFUSE BIN SHALL BE MAINTAINED FULLY OPEN AND UNLOCKED AT ALL TIMES. ALL EXISTING MATERIALS SHALL BE REMOVED FROM THE PROJECT AREA. ALL EXISTING BRACING AND CLEAN-UP SHALL BE COMPLETED TO BRUCCO FINISH. EXISTING MATERIALS AND/OR STRUCTURE TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY BRACING AND SHORING AS REQUIRED TO PROTECT THE EXISTING STRUCTURE. PROVIDE DE-WATERING FACILITIES FOR CONSTRUCTION AS REQUIRED. COORDINATE AS-BUILT INFORMATION, STRUCTURAL, ETC. TO DESIGN/ENGINEER AS REQUIRED.

13. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOIL WASTE, PETROLEUM BYPRODUCTS, SOLS, PARTICULARLY, COAL, COAL WASTE, OR OTHER SOLID WASTE SHALL BE PLACED IN OR NEAR ANY STORM DRAINAGE SYSTEM OR OTHER AREAS GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET.

14. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULLBOXES, TRANSFORMERS, VALVES, PUMPS, VALVES, METER, METERINGS, ETC.) OR TO THE LOCATION OF ANY EXISTING OR PROPOSED UTILITY STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

15. WHEN UTILITIES METER ALTERATION /RELOCATION OCCUR, INSTALLATION PROCEDURES SHALL BE VERIFIED AND APPROVED BY THE

-
- Figure 1 consists of two diagrams, (a) and (b), illustrating minimum clearances for different vehicle types. Diagram (a) shows a 20' minimum clearance for a vehicle with a height of 5.75' F minimum and a width of 20' minimum. Diagram (b) shows a 24' minimum clearance for a vehicle with a height of 5.75' F minimum and a width of 24' minimum. Both diagrams indicate a 24' minimum clearance for the vehicle's height and a 44' maximum clearance for the vehicle's width.

APPLICATION	COMPLIANCE CRITERIA
Enclosed kitchen or nonenclosed kitchen	Vented range hood, including appliance-range hood combinations, shall meet either the capture efficiency (CE) or the airflow rate specified in Table 150.0-G as applicable.
Enclosed kitchen	Other kitchen exhaust fans, including downdraft: 300 cfm (150 L/s) or a capacity of 5 ACH
Nonenclosed kitchen	Other kitchen exhaust fans, including downdraft: 300 cfm (150 L/s)
Bathroom	50 cfm (25 L/s)

Dwelling floor area (ft ²)	Electric Range	Natural Gas Range
>1500	50% CE or 110 cfm	70% CE or 180 cfm
>1000-1500	50% CE or 110 cfm	80% CE or 250 cfm
750-1000	55% CE or 130 cfm	85% CE or 280 cfm
<750	65% CE or 160 cfm	85% CE or 280 cfm

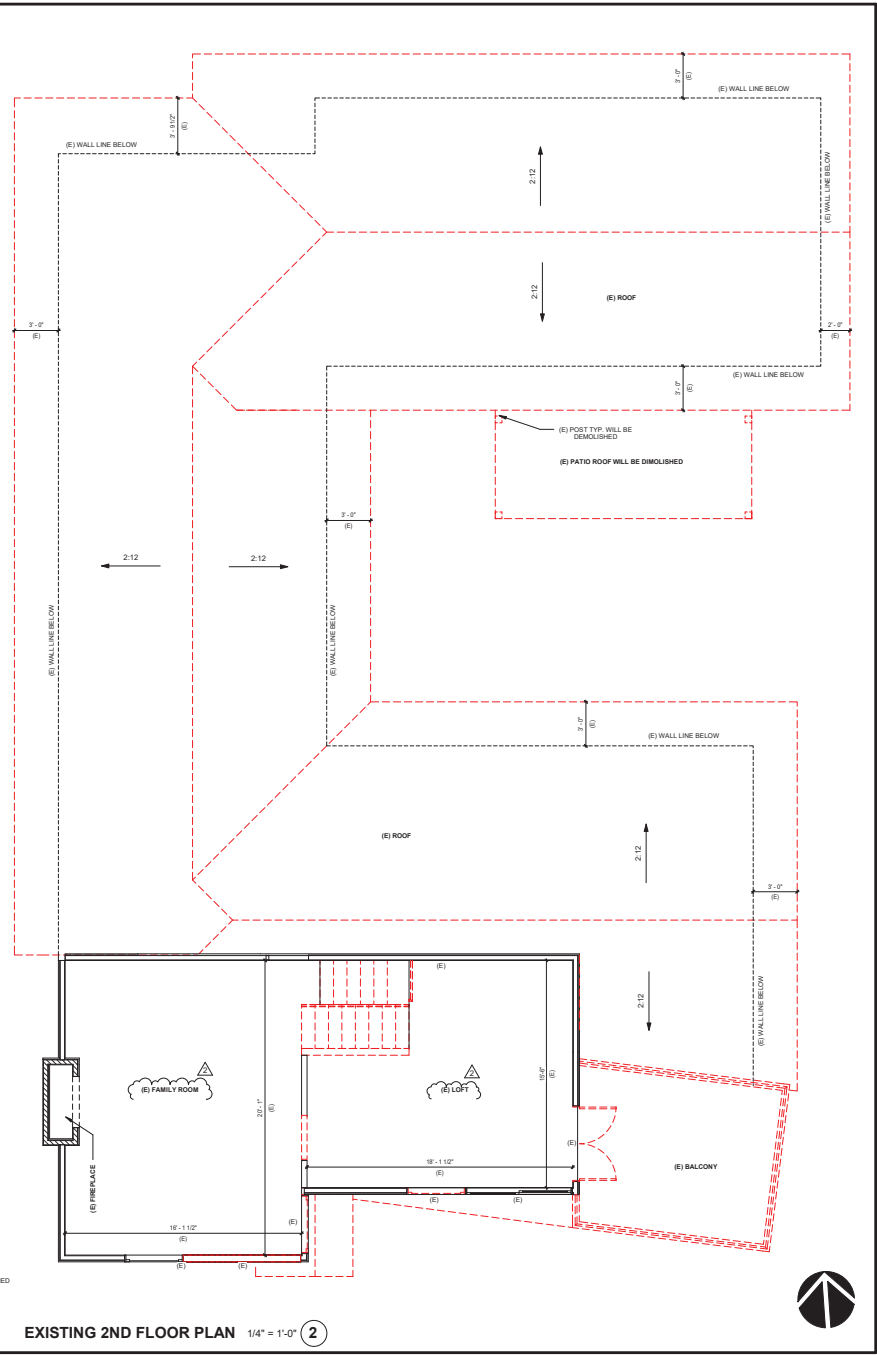
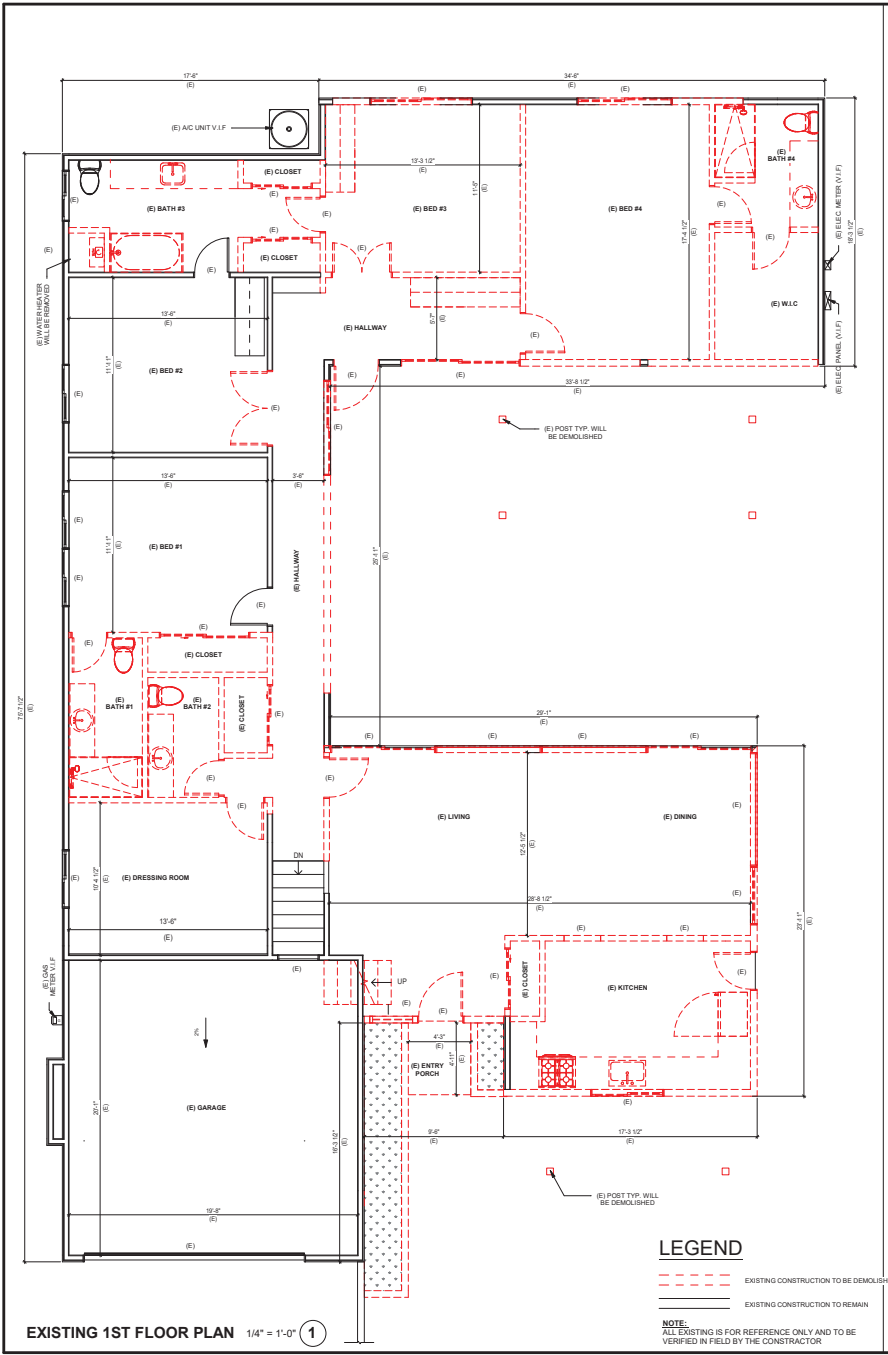
910 KINGS RD, NEWPORT
BEACH, CA 92663

DELTA	DATE	DESCRIPTION
1	07-17-2025	1ST CORRECTIONS
2	08-12-2025	2ND CORRECTIONS

IS THE CONTRACTORS OR OWNER-BUILDER'S RESPONSIBILITY PRIOR TO OR DURING CONSTRUCTION TO NOTIFY THE DESIGNER IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER-BUILDER THOROUGHLY KNOWLEDGEABLE WITH THE BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD BE AWARE. WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED ERRORS OR OMISSIONS MUST BE SUBMITTED TO THE DESIGNER AND SIGNED BY THE CONTRACTOR OR OWNER-BUILDER BEFORE PROCEEDING WITH THE WORK. THE DESIGNER WILL BE HELD HARMLESS FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT BEING FOLLOWED.



GENERAL NOTES & DETAILS



RESIDENCE ADDITION AND REMODEL

PROJECT CONTACT

TOM VO
959 SOUTH COAST DRIVE, COSTA MESSA,
CA 92626, SUITE 325
PHONE: (714) 299-4770
EMAIL: HOMEBASEDS@GMAIL.COM

OWNERSHIP

CHRISTOPHER LAWRENCE GREAVES
910 KINGS ROAD, NEWPORT BEACH,
CA 92663
PHONE: (714) 369-7762
EMAIL: LAWRENCE@GREAVESCOMPANY.COM

RESIDENCE ADDITION AND
REMODEL

910 KINGS RD, NEWPORT
BEACH, CA 92663

DELTA	DATE	DESCRIPTION
▲	07-17-2025	1ST CORRECTIONS
▲	06-12-2025	2ND CORRECTIONS

IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY TO PROVIDE THE CONTRACTOR WITH THE CORRECT INFORMATION TO BE USED IN THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE INFORMATION PROVIDED BY THE OWNER AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



EXISTING FLOOR
PLANS

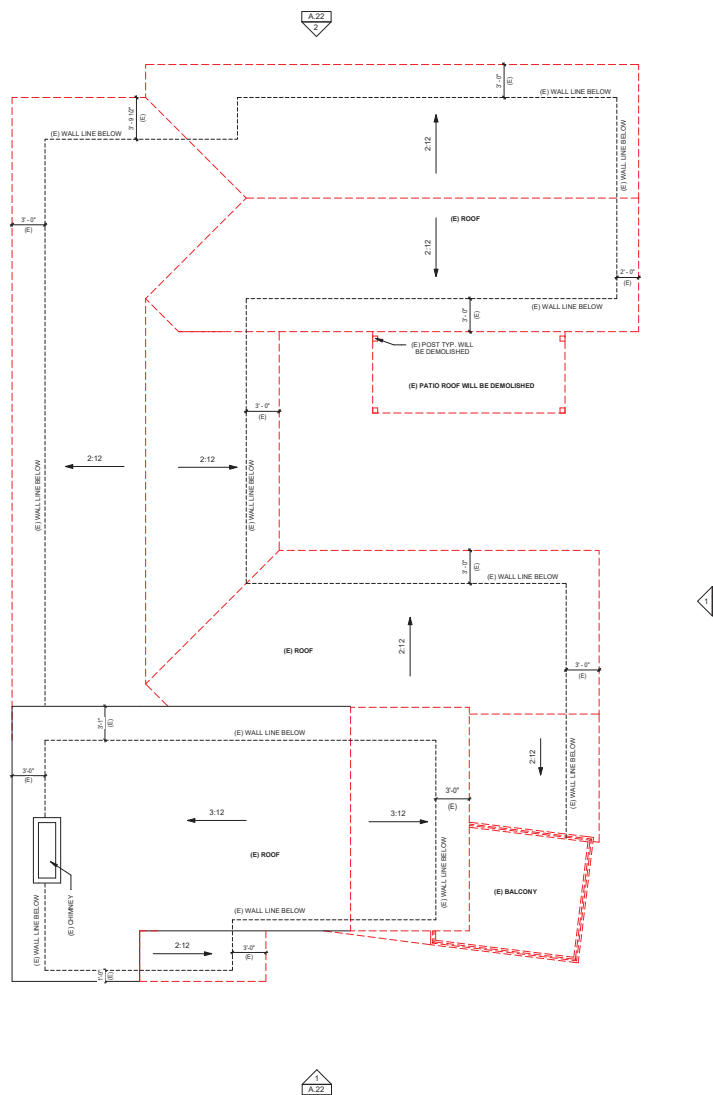


LEGEND

--- EXISTING CONSTRUCTION TO BE DEMOLISHED
 --- EXISTING CONSTRUCTION TO REMAIN

NOTE:

ALL EXISTING IS FOR REFERENCE ONLY AND TO BE VERIFIED IN FIELD BY THE CONTRACTOR



EXISTING ROOF PLAN 3/16" = 1'-0" 1

RESIDENCE ADDITION AND REMODEL

PROJECT CONTACT

TOM VO
 959 SOUTH COAST DRIVE, COSTA MESSA,
 CA 92626, SUITE 325
 PHONE: (714) 299-4770
 EMAIL: HOMEBASEDS@GMAIL.COM

OWNERSHIP

CHRISTOPHER LAWRENCE GREAVES
 910 KINGS ROAD, NEWPORT BEACH,
 CA 92663
 PHONE: (714) 369-7762
 EMAIL: LAWRENCE@GREAVESCOMPANY.COM

RESIDENCE ADDITION AND REMODEL

910 KINGS RD, NEWPORT BEACH, CA 92663

DELTA	DATE	DESCRIPTION
△	07-17-2025	1ST CORRECTIONS
△	06-12-2025	2ND CORRECTIONS

IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY PRIOR TO BEGINNING CONSTRUCTION TO VERIFY THE DESIGNER'S ASSUMPTIONS OF ANY RELEVANT EXISTING CONDITIONS OR SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER'S ASSUMPTIONS MAY VARY. THE CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER'S ASSUMPTIONS MAY VARY. THE CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER'S ASSUMPTIONS MAY VARY. THE CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER'S ASSUMPTIONS MAY VARY.

TJM
 Design
 ONE DESIGNER MANY STYLES

EXISTING ROOF PLAN

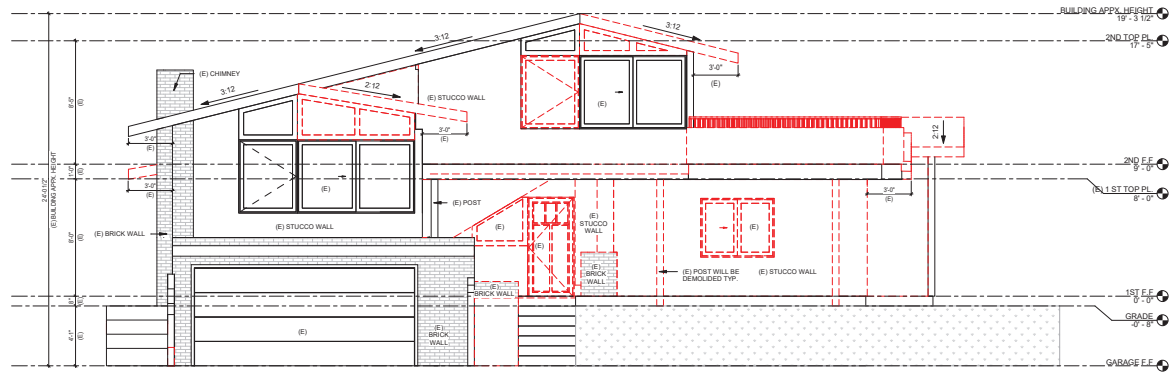
A.21

LEGEND

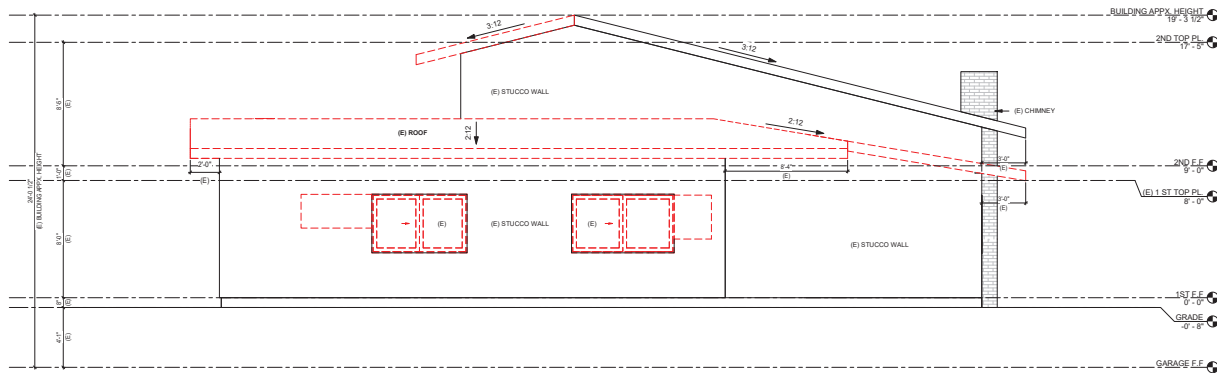
--- EXISTING CONSTRUCTION TO BE DEMOLISHED
 --- EXISTING CONSTRUCTION TO REMAIN

NOTE

ALL EXISTING IS FOR REFERENCE ONLY AND TO BE DEMOLISHED ENTIRE



EXISTING SOUTH ELEVATION 1/4" = 1'-0" ①



EXISTING NORTH ELEVATION 1/4" = 1'-0" ②

RESIDENCE ADDITION AND REMODEL

PROJECT CONTACT

TOM VO
 959 SOUTH COAST DRIVE, COSTA MESSA,
 CA 92626, SUITE 325
 PHONE: (714) 299-4770
 EMAIL: HOMEBASEDS@GMAIL.COM

OWNERSHIP

CHRISTOPHER LAWRENCE GREAVES
 910 KINGS ROAD, NEWPORT BEACH,
 CA 92663
 PHONE: (714) 369-7762
 EMAIL: LAWRENCE@GREAVESCOMPANY.COM

RESIDENCE ADDITION AND
REMODEL
 910 KINGS RD, NEWPORT
BEACH, CA 92663

DELTA	DATE	DESCRIPTION
▲	07-17-2025	1ST CORRECTIONS
▲	06-12-2025	2ND CORRECTIONS

IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY PRIOR TO BEGINNING CONSTRUCTION TO VERIFY THE DESIGNER'S ASSUMPTIONS OF ANY MATERIALS, METHODS, OR CONSTRUCTION OF WHICH A CONTRACTOR OR OWNER ASSUMES RESPONSIBILITY. THE CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR ANY MATERIALS, METHODS, OR CONSTRUCTION OF WHICH A CONTRACTOR OR OWNER ASSUMES RESPONSIBILITY. THE CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR ANY MATERIALS, METHODS, OR CONSTRUCTION OF WHICH A CONTRACTOR OR OWNER ASSUMES RESPONSIBILITY. THE CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR ANY MATERIALS, METHODS, OR CONSTRUCTION OF WHICH A CONTRACTOR OR OWNER ASSUMES RESPONSIBILITY.

TJM Design
 ONE DESIGNER MANY STYLES

EXISTING
ELEVATIONS

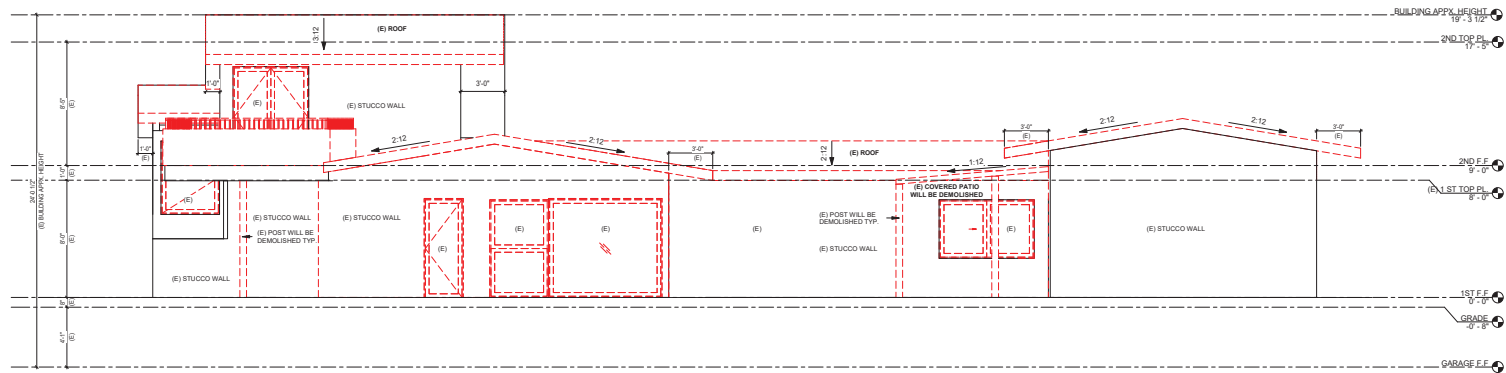
A.22

LEGEND

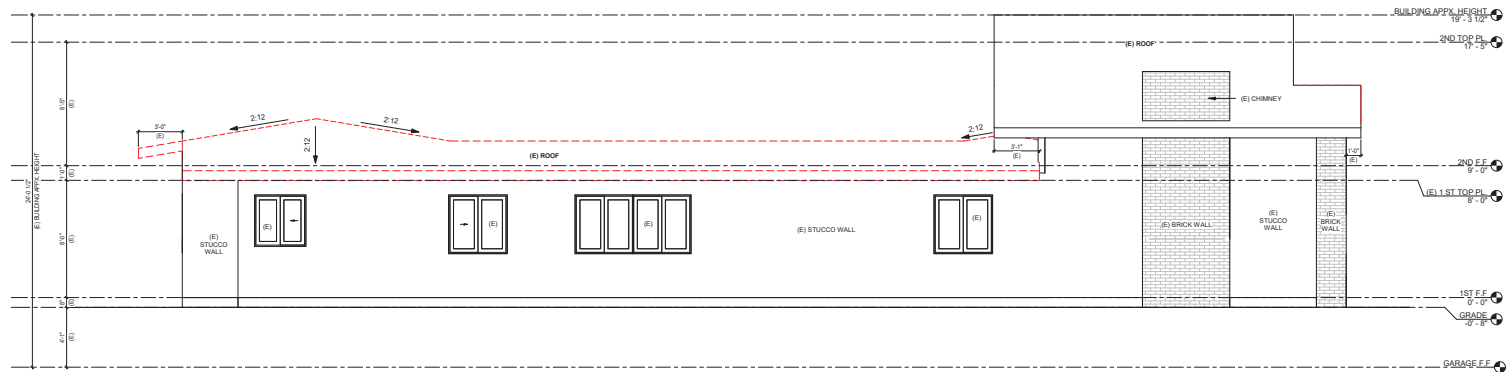
--- EXISTING CONSTRUCTION TO BE DEMOLISHED
 --- EXISTING CONSTRUCTION TO REMAIN

NOTE

ALL EXISTING IS FOR REFERENCE ONLY AND TO BE DEMOLISHED ENTIRE



EXISTING EAST ELEVATION 1/4" = 1'-0" ①



EXISTING WEST ELEVATION 1/4" = 1'-0" ②

RESIDENCE ADDITION AND REMODEL

PROJECT CONTACT

TOM VO
 959 SOUTH COAST DRIVE, COSTA MESSA,
 CA 92626, SUITE 325
 PHONE: (714) 299-4770
 EMAIL: HOMEBASEDS@GMAIL.COM

OWNERSHIP

CHRISTOPHER LAWRENCE GREAVES
 910 KINGS ROAD, NEWPORT BEACH,
 CA 92663
 PHONE: (714) 369-7762
 EMAIL: LAWRENCE@GREAVESCOMPANY.COM

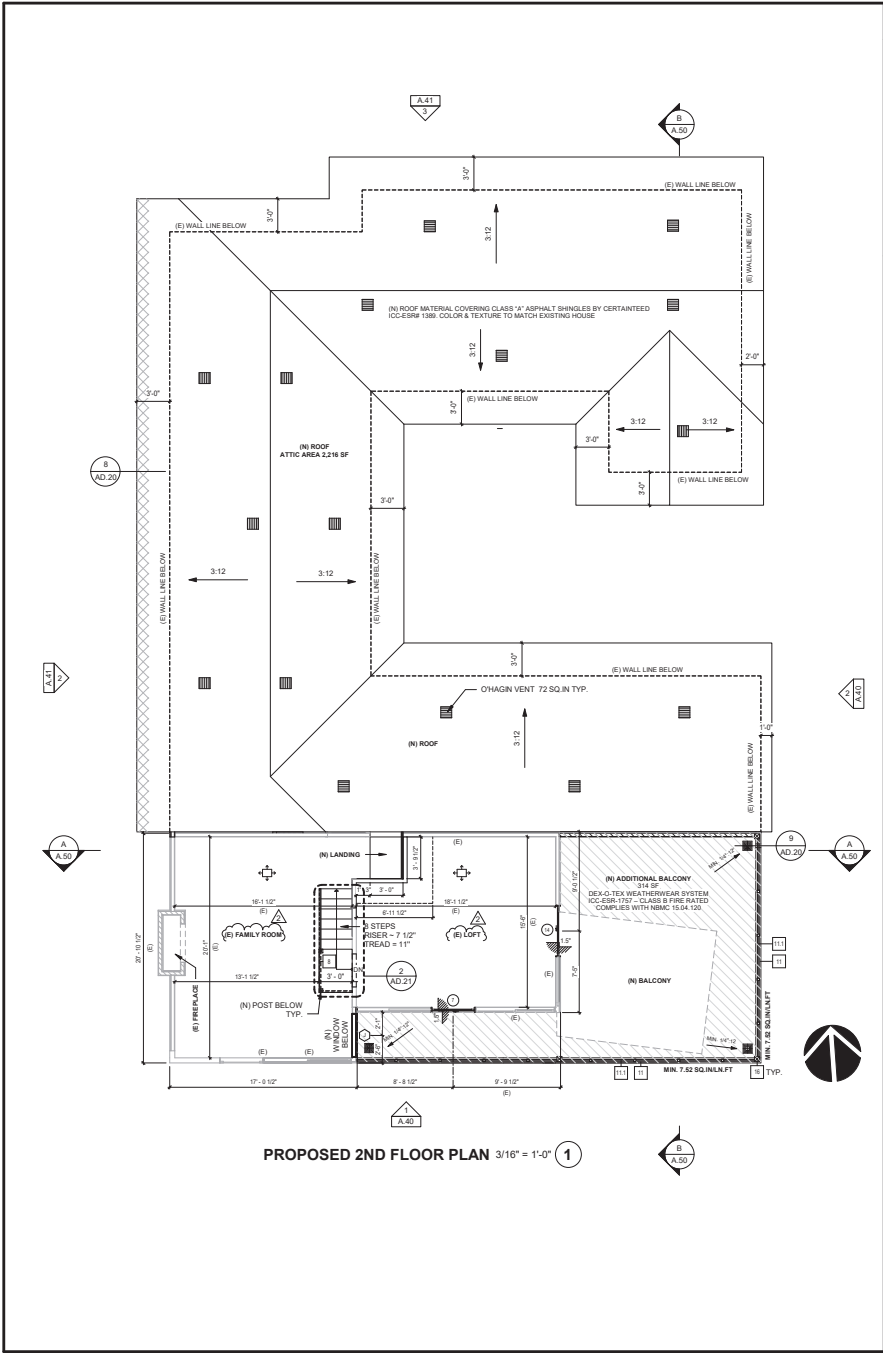
RESIDENCE ADDITION AND
REMODEL
 910 KINGS RD, NEWPORT
BEACH, CA 92663

DELTA	DATE	DESCRIPTION
▲	07-17-2025	1ST CORRECTIONS
▲	06-12-2025	2ND CORRECTIONS

IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY PRIOR TO BEGINNING CONSTRUCTION TO VERIFY THE DESIGNER'S LISTING OF ANY APPLICABLE ORDINANCES AND TO OBTAIN THE SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER/OWNER/ARCHITECT MUST BE AWARE. THE CONTRACTOR OR OWNER/OWNER/ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGNER'S LISTING OF ANY APPLICABLE ORDINANCES AND TO OBTAIN THE SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER/OWNER/ARCHITECT MUST BE AWARE. THE CONTRACTOR OR OWNER/OWNER/ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGNER'S LISTING OF ANY APPLICABLE ORDINANCES AND TO OBTAIN THE SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER/OWNER/ARCHITECT MUST BE AWARE.

TJM Design
 ONE DESIGNER MANY STYLES

EXISTING
ELEVATIONS



FLOOR PLAN KEYNOTES

- 1

(N) DUAL GANG 400A
- 1.1

(N) SUB PANEL 200A
- 2

EXHAUST FAN FOR ABOVE KITCHEN ELECTRICAL RANGE SHALL BE MINIMUM 50% CE OR 1/2 CM EXHAUST THROUGH ROOF
- 3

EXHAUST FAN FOR BATHROOM SHALL BE ENERGY STAR RATED CEILING MOUNTED LIGHT W/VENT 80CFM MIN. INTERMITTENT W/INTEGRITY CONTROL PER CACAO 3.5. BETWEEN 65-80% SHALL BE DUCTED TO OUTSIDE THROUGH ROOF
- 4

MIN. 4" DIA. TO THE OUTSIDE. EQUIPPED WITH A BACK DRAFT DAMPER, DUCT LENGTH OR SIZE AS PERMITTED OR REQUIRED BY MANUFACTURERS INSTALLATIONS AND APPROVED BY THE BUILDING OFFICIAL. (EXHAUST THROUGH ROOF)
- 5

DOOR BETWEEN GARAGE AND LIVING AREA SHALL BE 20 MIN. RATED 1-3/8" SOLID CORE WOOD DOOR WITH CLOSER AND LATCHING HARDWARE, SMOKE SEAL @ JAMB. HEAD @ META. THREE SHCLO.
- 6

DOOR UNDER STAIRS
- 7

PROVIDE 5/8" TYPE "X" GYP.BD. ON WALLS AND CEILING OF ENCLOSED UNSEABLE SPACE UNDER STAIRS
- 8

36" HIGH STAIR RAILING
- 9

TEMPERED GLASS
- 10

OBSCURED, TEMPERED GLASS
- 11

(N) PARAPET WALL 18" HEIGHT OF BACONY
- 11.1

24" HIGH METAL GUARDRAIL
- 12

SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET.
- 13

2" SHOWER CURB.
- 14

36" HIGH KITCHEN COUNTER ISLAND
- 15

BUIL-IN UNDER COUNTER DISHWASHER
- 16

(N) POST
- 17

(N) TANKLESS WATER HEATER

SYMBOL LEGEND

- (E) 2X4 WALL
- (N) 2X4 INTERIOR WALL
- (N) 2X4 EXTERIOR WALL / INFLL WITH INSULATION PER 1-24
- CEILING AIR DIFFUSER
- DECK DRAIN
- LEGEND
- DOOR TYPE, SEE SCHEDULE A.30
- WINDOW TYPE, SEE SCHEDULE A.30
- KEY NOTE
- FLOOR DEPRESSION

RESIDENCE
ADDITION AND
REMODEL

PROJECT CONTACT

TOM VO
959 SOUTH COAST DRIVE, COSTA MESSA,
CA 92626, SUITE 325
PHONE: (714) 299-4770
EMAIL: HOMEBASEDS@GMAIL.COM

OWNERSHIP

CHRISTOPHER LAWRENCE GREAVES
910 KINGS ROAD, NEWPORT BEACH,
CA 92663
PHONE: (714) 369-7762
EMAIL: LAWRENCE@GREAVESCOMPANY.COM

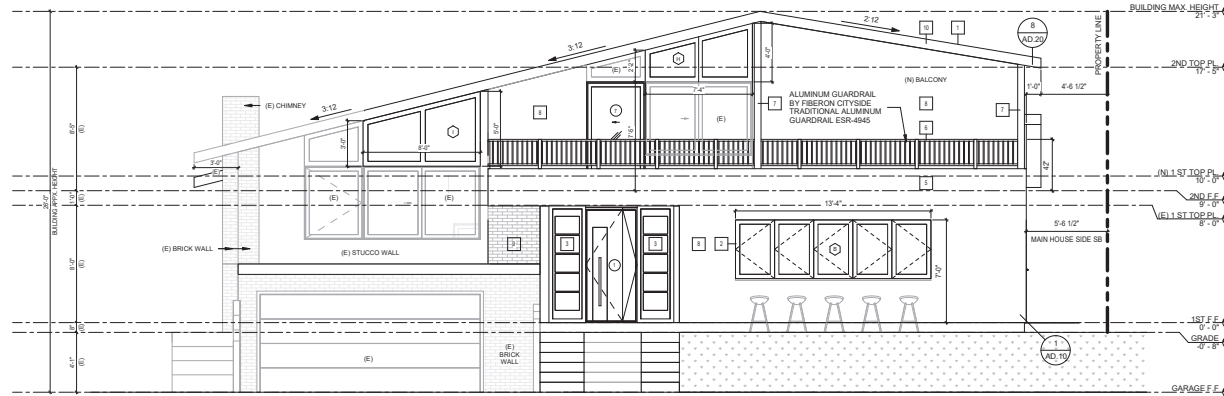
RESIDENCE ADDITION AND
REMODEL
910 KINGS RD, NEWPORT
BEACH, CA 92663

DELTA	DATE	DESCRIPTION
<div></div>	07-17-2025	1ST CORRECTIONS
<div></div>	06-12-2025	2ND CORRECTIONS
<div></div>		
<div></div>		
<div></div>		
<div></div>		
<div></div>		
<div></div>		
<div></div>		

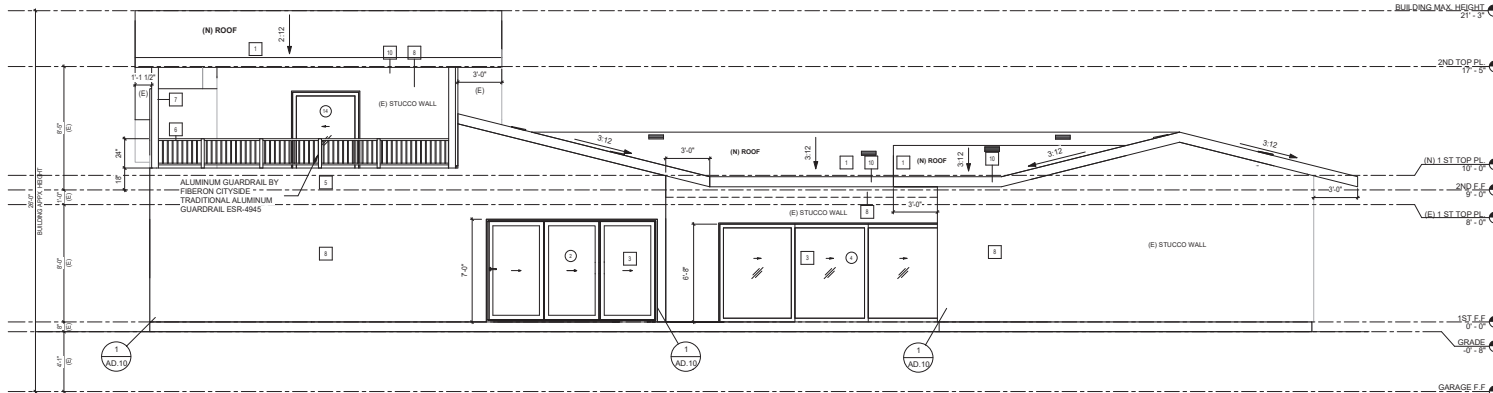
IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY PRIOR TO BE DURING CONSTRUCTION TO NOTIFY THE DESIGNER IN WRITING OF ANY REQUESTS FOR CHANGES OR REQUESTS FOR SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER'S BUILDING TECHNICIAN IS NOT AWARE. ANY CHANGES OR REQUESTS FOR SPECIFICATIONS ADDRESSING SUCH REQUESTS BEFORE OR DURING CONSTRUCTION SHALL BE REJECTED. THE CONTRACTOR OR OWNER SHALL NOT PROCEED WITH THE WORK. THE DESIGNER WILL BE HELD RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT BEING FOLLOWED.



PROPOSED 2ND
FLOOR PLAN



PROPOSED SOUTH ELEVATION 1/4" = 1'-0" ①



PROPOSED EAST ELEVATION 1/4" = 1'-0" ②

ELEVATION KEYNOTES

- 1 (N) ROOF MATERIAL COVERING CLASS "A" ASPHALT SHINGLES BY CERTAINTED CC-ESR# 1385 COLOR & PER THE INSTALLATION OF ROOF COVERING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- 2 (N) 2 1/2" VINYL MOLDING TRIM FOR ALL WINDOWS
- 3 TEMP. GLASS
- 4 TEMP. OBSCURED GLASS
- 5 (N) PARAPET WALL 18" HEIGHT OF BACONY
- 6 (N) 24" HIGH METAL GUARDRAIL
- 7 (N) POST
- 8 (N) STUCCO, PAINT AND MATERIAL TO MATCH EXISTING
- 9 (N) BRICK WALL TO MATCH EXISTING
- 10 (N) FASCIA & TRIMMING - PAINT TO MATCH EXISTING HOUSE.

ELEVATION NOTES

1. PROVIDE FIRE BLOCKING IN CONCEALED SPACES 16" O.C. HORIZONTAL, VERTICALLY AT THE CEILING AND FLOOR LEVELS. CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STAIR AND LANDING, OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, WIRES, CHIMNEYS AND PREPARED. (CIRC 1817.22)
2. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" TO THE EXPOSED GROUND SHALL BE PRESSURE TREATED OR NATURALLY DURABLE TO RESIST. (CIRC 1817.22)
3. ALL WALLS TO BE SMOOTH FINISH U.O.
4. CONTRACTOR TO INCLUDE ALL FINISH AND COLOR SPECIFIED BY OWNER AND INTERIOR DESIGNER.
5. CONTRACTOR TO VERIFY W/ OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION.
6. MIN. 3/8" COX PLYWOOD THROUGH OUT @ OUTSIDE FACE OF WALL
7. CONTRACTOR TO INCLUDE INSULATION OF CLOSET ORGANIZER (SELECTED BY OWNER)
8. CONTRACTOR TO VERIFY AL. OWNER'S APPLIANCE MANUAL SPEC. PRIOR TO CONSTRUCTION.
9. DESIGN BUILT CABINET TO FIT
10. ALL INTERIOR, DOOR, WINDOW SIDE, HEAD AND SILL TO BE MOLDING
11. EXTERIOR CONCRETE LANDING TO COMPLY 2022 CIRC R311.3
A. THERE SHALL BE A LANDING ON FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 INCH VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).
12. LANDINGS AT THE REQUIRED DOOR SHALL NOT MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING SHALL BE NOT MORE THAN 7 3/4 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING
13. GROUND ADJACENT TO THE FOUNDATION SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE FOUNDATION WALL. (CIRC R401.3)

LEGENDS

- 10 DOOR TYPE, SEE SCHEDULE A 30
- 11 WINDOW TYPE, SEE SCHEDULE A 30
- 12 KEY NOTE
- 13 FLOOR DEPRESSION
- 14 EGRESS ESCAPE & RESCUE OPENING

RESIDENCE ADDITION AND REMODEL

PROJECT CONTACT

TOM VO
959 SOUTH COAST DRIVE, COSTA MESSA,
CA 92626, SUITE 325
PHONE: (714) 299-4770
EMAIL: HOMEBASEDS@gmail.com

OWNERSHIP

CHRISTOPHER LAWRENCE GREAVES
910 KINGS ROAD, NEWPORT BEACH,
CA 92663
PHONE: (714) 369-7762
EMAIL: LAWRENCE@GREAVESCOMPANY.COM

RESIDENCE ADDITION AND
REMODEL
910 KINGS RD, NEWPORT
BEACH, CA 92663

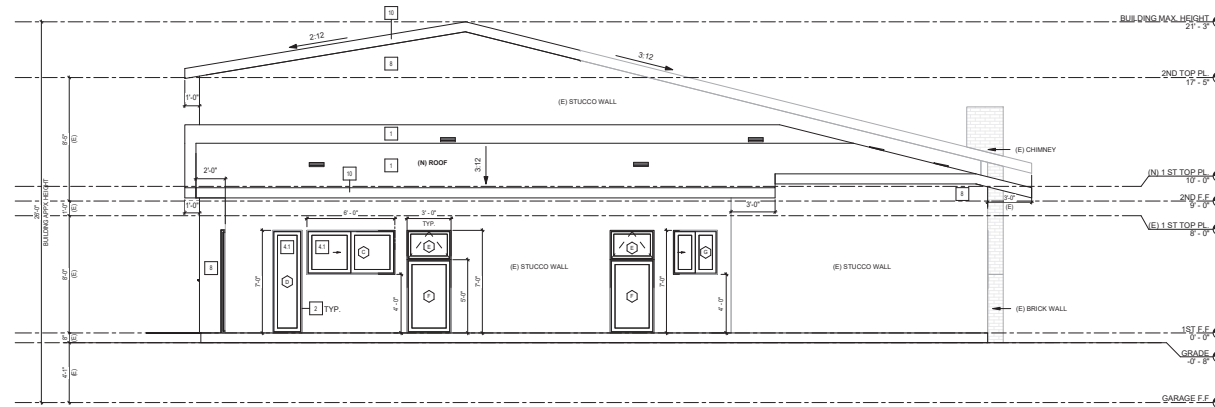
DELTA	DATE	DESCRIPTION
1	07-17-2025	1ST CORRECTIONS
2	06-12-2025	2ND CORRECTIONS

IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY PRIOR TO BEGINNING CONSTRUCTION TO REVIEW THE DESIGNER'S WRITING OF ANY AND ALL SPECIFICATIONS AND TO VERIFY THE ACCURACY OF THE SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER/BUILDER PROVIDES. THE CONTRACTOR OR OWNER/BUILDER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE SPECIFICATIONS AND FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR OR OWNER/BUILDER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR OR OWNER/BUILDER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR OR OWNER/BUILDER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.

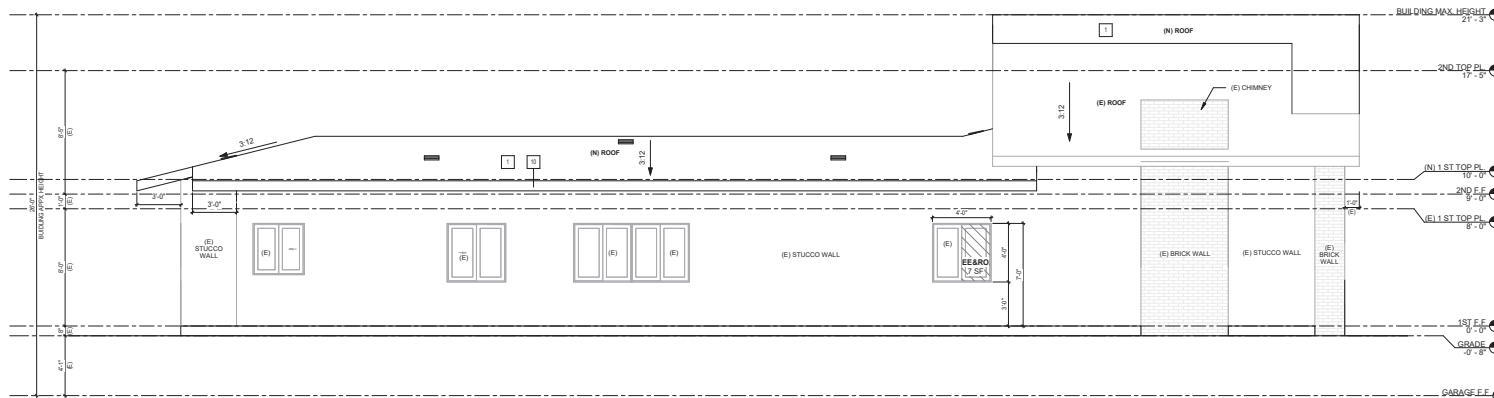
TJM Design
ONE DESIGNER MANY STYLES

PROPOSED
ELEVATIONS

A.40



PROPOSED NORTH ELEVATION 1/4" = 1'-0" 3



PROPOSED WEST ELEVATION 1/4" = 1'-0" 2

ELEVATION KEYNOTES

- 1 (N) ROOF MATERIAL COVERING GLASS 7" ASPHALT SHINGLES BY CERTAINTED CC-ESR® 1389 COLOR & FOR THE INSTALLATION OF ROOF COVERING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- 2 (N) 2 1/2" VINYL MOLDING TRIM FOR ALL WINDOWS
- 3 TEMP. GLASS
- 4 TEMP. OBSCURED GLASS
- 5 (N) PARAPET WALL 18" HEIGHT OF BACONY
- 6 (N) 24" HIGH METAL GUARDRAIL
- 7 (N) POST
- 8 (N) STUCCO, PAINT AND MATERIAL TO MATCH EXISTING
- 9 (N) BRICK WALL TO MATCH EXISTING
- 10 (N) FASCIA & TRIMMING - PAINT TO MATCH EXISTING HOUSE.

ELEVATION NOTES

- 1 PROVIDE FIRE BLOCKING IN CONCEALED SPACES 10" O.C. HORIZONTAL VERTICALLY AT THE CEILING AND FLOOR LEVELS. CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STAIR AND LANDING, OPENINGS AROUND VENTS, PIPES, DUCTS, WIRES, CHIMNEYS AND PREPLACES, CRC R301.11.
- 2 ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" TO THE EXPOSED GROUND SHALL BE PRESSURE TREATED OR NATURALLY DURABLE TO DECAY, CRC R301.20.
- 3 ALL WALLS TO BE SMOOTH FINISH U.N.O.
- 4 CONTRACTOR TO INCLUDE ALL FINISH AND COLOR SPECIFIED BY OWNER AND INTERIOR DESIGNER.
- 5 CONTRACTOR TO VERIFY W/ OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION.
- 6 MIN. 3/8" CDX PLYWOOD THROUGH-OUT @ OUTSIDE FACE OF WALL.
- 7 CONTRACTOR TO INCLUDE INSULATION OF CLOSET ORGANIZER, (SELECTED BY OWNER).
- 8 CONTRACTOR TO VERIFY ALL OWNER'S APPLIANCE MANUAL SPEC. PRIOR TO CONSTRUCTION.
- 9 DESIGN BUILT CABINET TO FIT
- 10 ALL INTERIOR, DOOR, WINDOW SIDE, HEAD AND SILL TO BE MOLDING
- 11 EXTERIOR CONCRETE LANDING TO COMPLY 2021 CRC R31.1.3
 - A. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 8 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).
 - B. LANDINGS AT THE REQUIRED DOOR SHALL NOT MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING SHALL BE NOT MORE THAN 7 3/4 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING
 - C. GROUND ADJACENT TO THE FOUNDATION SHALL FALL A MINIMUM OF 8 INCHES WITHIN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE FOUNDATION WALL. (CRC R60.1.3)

LEGENDS

- DOOR TYPE, SEE SCHEDULE A.30
- WINDOW TYPE, SEE SCHEDULE A.30
- KEY NOTE

RESIDENCE ADDITION AND REMODEL

PROJECT CONTACT

TOM VO
959 SOUTH COAST DRIVE, COSTA MESSA,
CA 92626, SUITE 325
PHONE: (714) 299-4770
EMAIL: HOMEBASEDS@GMAIL.COM

OWNERSHIP

CHRISTOPHER LAWRENCE GREAVES
910 KINGS ROAD, NEWPORT BEACH,
CA 92663
PHONE: (714) 369-7762
EMAIL: LAWRENCE@GREAVESCOMPANY.COM

RESIDENCE ADDITION AND
REMODEL
910 KINGS RD, NEWPORT
BEACH, CA 92663

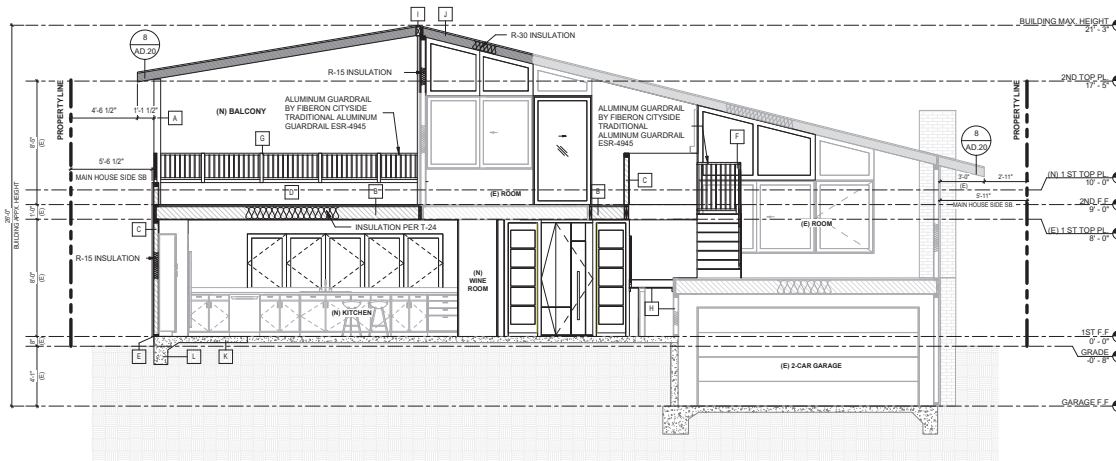
DELTA	DATE	DESCRIPTION
1	07-17-2025	1ST CORRECTIONS
2	08-12-2025	2ND CORRECTIONS

IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY PRIOR TO BEGINNING CONSTRUCTION TO REVIEW THE DESIGNER'S DRAWING SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER'S DESIGNER IS RESPONSIBLE FOR PROVIDING. THE CONTRACTOR OR OWNER'S DESIGNER SHALL BE RESPONSIBLE FOR PROVIDING THE CONTRACTOR OR OWNER'S DESIGNER WITH THE FOLLOWING INFORMATION: ADDRESSING SLOPE PROVIDED EXISTING OR CONSIDERED BEING AS INDICATED FROM THE CONSTRUCTION OF THE CONTRACTOR OR OWNER'S DESIGNER. THE CONTRACTOR OR OWNER'S DESIGNER SHALL BE RESPONSIBLE FOR PROVIDING THE CONTRACTOR OR OWNER'S DESIGNER WITH THE FOLLOWING INFORMATION: ADDRESSING SLOPE PROVIDED EXISTING OR CONSIDERED BEING AS INDICATED FROM THE CONSTRUCTION OF THE CONTRACTOR OR OWNER'S DESIGNER. THE CONTRACTOR OR OWNER'S DESIGNER SHALL BE RESPONSIBLE FOR PROVIDING THE CONTRACTOR OR OWNER'S DESIGNER WITH THE FOLLOWING INFORMATION: ADDRESSING SLOPE PROVIDED EXISTING OR CONSIDERED BEING AS INDICATED FROM THE CONSTRUCTION OF THE CONTRACTOR OR OWNER'S DESIGNER.

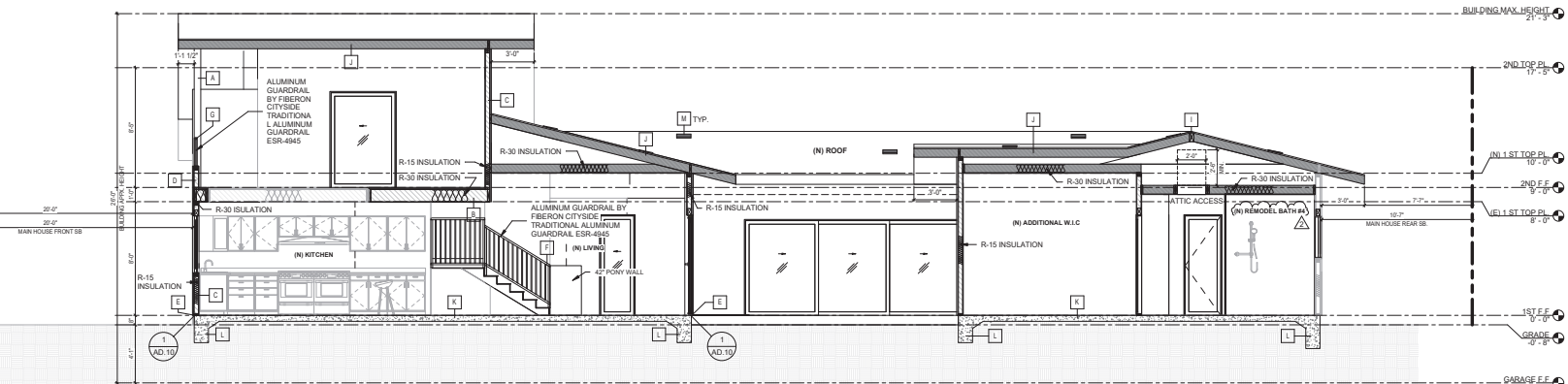
TJM Design
ONE DESIGNER MANY STYLES

PROPOSED
ELEVATIONS

A.41



PROPOSED SECTION A-A 1/4" = 1'-0" (A)



PROPOSED SECTION B-B 1/4" = 1'-0" (B)

SECTION KEYNOTES

- (A) (N) POST
- (B) (N) 2x FLOOR JOISTS PER STRUCT
- (C) (N) 2x4 STUD WALL PER STRUCT
- (D) (N) PARAPET WALL 18" HEIGHT OF BACONY
- (E) WEEP SCREED FOR STUCCO, 2" ABOVE PAVED AREAS, 8" ABOVE NATURAL GRADE.
- (F) (N) 36" HIGH METAL GUARDRAIL
- (G) (N) 24" HIGH METAL GUARDRAIL
- (H) PROVIDE 5/8" TYPE "X" GYP BD. ON WALLS AND CEILING OF ENCLOSED UNSEABLE SPACE UNDER STAIRS
- (I) (N) 4x8 RIDGE BOARD PER STRUCT.
- (J) (N) 2x ROOF RAFTER PER STRUCT.
- (K) (N) CONCRETE SLAB PER STRUCT.
- (L) (N) FOOTING PER STRUCT
- (M) (N) ROOF VENT

SECTION NOTES

1. PROVIDE FIRE BLOCKING IN CONCEALED SPACES 12" O.C. HORIZONTAL, VERTICALLY AT THE CEILING AND FLOOR LEVELS, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STAIR AND LANDING, OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, WIRES, CHIMNEYS AND FIREPLACES. CRC R302.11.
2. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS, AND ARE LESS THAN 8" TO THE EXPOSED GROUND SHALL BE PRESURE TREATED OR NATURALLY DURABLE TO DECAY. CRC R301.2(3).
3. ALL WALLS TO BE SMOOTH FINISH U.N.O.
4. CONTRACTOR TO INCLUDE ALL FINISH AND COLOR SPECIFIED BY OWNER AND INTERIOR DESIGNER.
5. CONTRACTOR TO VERIFY W/ OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION.
6. MIN. 3/8" CDX PLYWOOD THROUGH-OUT @ OUTSIDE FACE OF WALL.
7. CONTRACTOR TO INCLUDE INSULATION OF CLOSET OR HANGER. (SELECTED BY OWNER)
8. CONTRACTOR TO VERIFY ALL OWNER'S APPLIANCE MANUAL SPEC. PRIOR TO CONSTRUCTION.
9. DESIGN BUILT CABINET TO FIT
10. ALL INTERIOR, DOOR, WINDOW SIDE, HEAD AND SILL TO BE MOLDING
11. EXTERIOR CONCRETE LANDING TO COMPLY 2022 CRC R311.3
 - A. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR, THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SWING. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36" MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4" UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).
 - B. LANDINGS AT THE REQUIRED DOOR SHALL NOT MORE THAN 1/2" INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPT THE LANDING SHALL BE NOT MORE THAN 1 3/4" INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING
12. GROUND ADJACENT TO THE FOUNDATION SHALL FALL A MINIMUM OF 8" INCHES WITHIN THE FIRST 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE FOUNDATION WALL. (CRC R601.3)

LEGEND

XX KEY NOTE

RESIDENCE ADDITION AND REMODEL

PROJECT CONTACT

TOM VO
959 SOUTH COAST DRIVE, COSTA MESSA,
CA 92626, SUITE 325
PHONE: (714) 299-4770
EMAIL: HOMEBASEDS@GMAIL.COM

OWNERSHIP

CHRISTOPHER LAWRENCE GREAVES
910 KINGS ROAD, NEWPORT BEACH,
CA 92663
PHONE: (714) 369-7762
EMAIL: LAWRENCE@GREAVESCOMPANY.COM

RESIDENCE ADDITION AND
REMODEL
910 KINGS RD, NEWPORT
BEACH, CA 92663

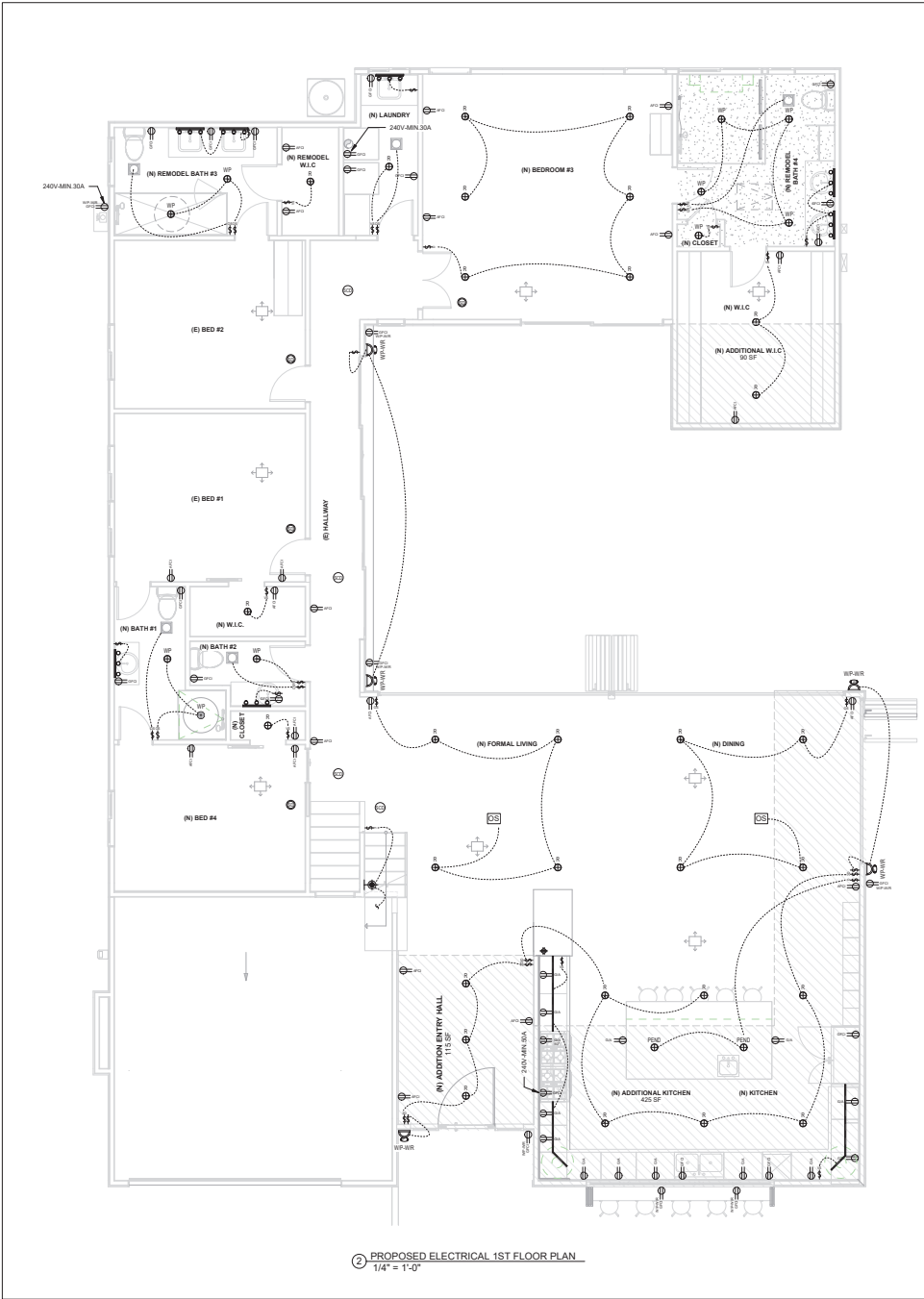
DELTA	DATE	DESCRIPTION
▲	07-17-2025	1ST CORRECTIONS
▲	06-12-2025	2ND CORRECTIONS

IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY PRIOR TO BEGINNING CONSTRUCTION TO VERIFY THE DESIGNER IS WRITING IN WRITING OF ANY CHANGES TO THE DESIGN. THE DESIGNER IS NOT RESPONSIBLE FOR ANY CHANGES TO THE DESIGN. THE DESIGNER IS NOT RESPONSIBLE FOR ANY CHANGES TO THE DESIGN. THE DESIGNER IS NOT RESPONSIBLE FOR ANY CHANGES TO THE DESIGN.

TJM Design
ONE DESIGNER MANY STYLES

PROPOSED SECTIONS

A.50



ELECTRICAL NOTES

1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE, AND ALL APPLICABLE LOCAL REGULATIONS.
2. ALL 120V, 15A AND 20A OUTLETS IN HABITABLE SPACES (BEDROOMS, LIVING ROOMS, KITCHENS, ETC.) SHALL HAVE AFCI PROTECTION PER CEC 210.12.
3. GFCI PROTECTION IS REQUIRED FOR ALL OUTLETS IN BATHROOMS, KITCHENS (SERVING COUNTERTOPS), GARAGES, LAUNDRY AREAS, BASEMENTS, AND ALL OUTDOOR LOCATIONS PER CEC 210.8.
4. ALL NEW OUTLETS SHALL BE TAMPER-RESISTANT. OUTDOOR OUTLETS SHALL BE WEATHER-RESISTANT (WR) WITH IN-USE (BUBBLE-TYPE) COVERS PER CEC 406.8.
5. SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED PER CEC 907.2.1. THEY SHALL BE INSTALLED IN ALL SLEEPING ROOMS, OUTSIDE EACH SLEEPING AREA, AND ON EVERY LEVEL.
6. ALL LIGHTING FIXTURES SHALL BE HIGH EFFICACY PER CALIFORNIA ENERGY CODE (TITLE 24). RECESSED FIXTURES IN INSULATED CEILING MUST BE IC-RATED AND AIRTIGHT (AT).
7. KITCHEN COUNTERTOP OUTLETS SHALL BE SPACED NO MORE THAN 48 INCHES APART, WITH AT LEAST TWO DEDICATED 20A SMALL APPLIANCE CIRCUITS PER CEC 210.52(8).
8. BATHROOMS SHALL HAVE AT LEAST ONE 20A DEDICATED CIRCUIT, SERVING ONLY BATHROOM OUTLETS PER CEC 210.11(C)(3).
9. A DEDICATED 20A CIRCUIT IS REQUIRED FOR THE LAUNDRY AREA PER CEC 210.11(C)(2), SERVING ONLY LAUNDRY EQUIPMENT OUTLETS.
10. OUTDOOR LIGHTING SHALL BE CONTROLLED BY A PHOTOCELL, MOTION SENSOR, OR ASTRONOMICAL TIME CLOCK PER CALIFORNIA ENERGY CODE.
11. ELECTRICAL SERVICE PANEL SHALL HAVE A MINIMUM 3 FEET OF CLEARANCE IN FRONT, 30 INCHES WIDE, AND 6.5 FEET HIGH PER CEC 110.26.
12. ALL METALLIC PIPING SYSTEMS (WATER, GAS) SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND PER CEC 250.154.
13. GROUNDING ELECTRODE SYSTEM SHALL INCLUDE A UFER GROUND (CONCRETE-ENCASED ELECTRODE) OR AN APPROVED GROUND ROD PER CEC 250.52.
14. AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED IN ATTICS, UNDERFLOOR SPACES, AND BASEMENTS USED FOR STORAGE OR CONTAINING EQUIPMENT, WITH THE SWITCH NEAR THE ACCESS POINT PER CEC 210.70(A)(4).
15. ELECTRICAL PANELS AND DISCONNECTS SHALL BE PERMANENTLY LABELED, AND CIRCUITS IDENTIFIED CLEARLY FOR ALL DWELLING UNITS PER CEC 110.22.
16. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS AND WALK-IN CLOSETS AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY AN OCCUPANT OR VACANCY SENSOR PROVIDING AUTOMATIC OFF FUNCTIONALITY. (CEC SECTION 909.2.1.1.)
17. ADD THE FOLLOWING INDOOR LIGHTING CONTROLS NOTES ON THE DRAWINGS (CEC SECTION 150.0(K)(2)).
 - A. KIDS AUTO-OFF CONTROLS FOR LIGHTING IN DRAWERS AND CABINETS.
 - B. UNDERSHELF, DISPLAY CABINETS, SWITCHED OUTLETS CONTROLLED SEPARATE FROM CEILING LIGHTING.
 - C. LIGHTING IN HABITABLE SPACES SHALL HAVE ACCESSIBLE WALL-MOUNTED DIMMING CONTROLS.

CEILING/ELECTRICAL PLAN LEGEND

EXHAUST FAN FOR ABOVE KITCHEN ELECTRICAL RANGE SHALL BE MINIMUM 50% CE OR 110 CFM (EXHAUST THROUGH ROOF)

EXHAUST FAN SHALL BE ENERGY STAR RATED, CEILING MOUNTED LIGHT w/ VENT 50 CFM MIN, INTERMITTENT W/ HUMIDITY CONTROL, PER CMC 402.3. BETWEEN 50%-80% SHALL BE DUCTED TO OUTSIDE THROUGH ROOF/EXTERIOR WALL

WATER HEATER PER 1/4"

ELECTRICAL PANEL/METER PER KEYNOTE

SMOKE DETECTOR HARDWIRED w/ BATTERY BACK UP

SMOKE DETECTOR COMBINED WITH CO DETECTOR, HARDWIRED WITH BATTERY BACKUP.

22X30 ATTIC ACCESS

TANKLESS WATER HEATER PER 1/4"

HEAT PUMP UNIT ON 3" THICK CONCRETE PAD

HEATPUMP + AIR HANDLER

SWITCH W/ VACANCY SENSOR

SWITCH W/ OCCUPANCY SENSOR

SWITCH W/ MOTION SENSOR

3-WAY SWITCH

3-WAY DIMMER SWITCH

DIMMER SWITCH

ON/OFF SWITCH

GARBAGE DISPOSAL

HIGH EFFICACY VANITY WALL LIGHT

HIGH EFFICACY EXTERIOR WALL SCONCE LIGHT

L.E.D. RECESSED LIGHT FIXTURE

CEILING MOUNTED HANGING LED LIGHT FIXTURE (PENDANT)

L.E.D. RECESSED LIGHT FIXTURE (W/ WATER PROOF)

WALL LIGHT FIXTURE

UNDER CABINET LIGHT

110V DUPLEX OUTLET, GROUND FAULT CIRCUIT INTERRUPTER (ENTIRE CIRCUIT)

110V DUPLEX OUTLET, ARC FAULT CIRCUIT INTERRUPTER (ENTIRE CIRCUIT)

110V DUPLEX OUTLET, AFCI GFCI

110V FLOOR OUTLET, GFCI

HIGH EFFICACY PHOTOCELL WITH MOTION SENSOR COMBINATIONS

DRYER EXHAUST

CEILING AIR DIFFUSER

WIP: WATER PROOF

WR: WEATHER - RESISTANT

RESIDENCE
ADDITION AND
REMODEL

PROJECT CONTACT

TOM VO
959 SOUTH COAST DRIVE, COSTA MESSA,
CA 92626, SUITE 325
PHONE: (714) 299-4770
EMAIL: HOMEBASEDS@GMAIL.COM

OWNERSHIP

CHRISTOPHER LAWRENCE GREAVES
910 KINGS ROAD, NEWPORT BEACH,
CA 92663
PHONE: (714) 369-7762
EMAIL: LAWRENCE@GREAVESCOMPANY.COM

RESIDENCE ADDITION AND
REMODEL
910 KINGS RD, NEWPORT
BEACH, CA 92663

DELTA	DATE	DESCRIPTION
1	07-17-2025	1ST CORRECTIONS
2	08-12-2025	2ND CORRECTIONS

IT IS THE CONTRACTOR'S OR OWNER-BUILDER'S RESPONSIBILITY PRIOR TO BEGINNING CONSTRUCTION TO REVIEW THE DESIGNER'S DRAWINGS FOR ANY UNRESOLVED DISCREPANCIES OR OMISSIONS IN THE DRAWING SPECIFICATIONS OF WHICH A CONTRACTOR OR OWNER-BUILDER THEREAFTER AWARE, SHALL BE RESPONSIBLE FOR CORRECTING AND AMENDING. INSTRUCTIONS OF CORRECTION SHOULD BE IN WRITING. THE CONTRACTOR OR OWNER-BUILDER SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS IN THE DRAWINGS SHALL BE HELD LIABLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT BEING FOLLOWED.

TJM Design
ONE DESIGNER MANY STYLES

MAIN HOUSE -
PROPOSED
ELECTRICAL 1ST
FLOOR PLANS

